

ADDRESS: 4275 VIOLA ST

Proposal: Completely demolish building; stucco party wall

Review Requested: Final Approval

Owner: Haverford Square Viola LLC

Applicant: Francis Henriquez, FH Demolition

History: 1897, Henry E. Flower, architect

Individual Designation: None

District Designation: Parkside Historic District, Contributing, 12/11/2009

Staff Contact: Jon Farnham, jon.farnham@phila.gov

OVERVIEW: The property with a three-story rowhouse at 4275 Viola Street is classified as contributing in the Parkside Historic District. The Department of Licenses and Inspections (L&I) cited the property as Imminently Dangerous on June 25, 2026 (CF-2026-075935). L&I indicated on the violation poster hung on the building that the owner needed to obtain a permit to repair the “rear side wall” and the “interior.” In response to the violation, a demolition contractor working for the property owner submitted application DP-2026-00768 to L&I and the Historical Commission requesting approval for the complete demolition of the building. Plans submitted with the demolition application call out the rear of the rear ell as the “area of potential collapse.” Photographs taken by the L&I inspector show a collapse at the rear of the rear ell.

The property at 4275 Viola Street has been neglected for many years. The current owner, Haverford Square Properties, purchased 4275 Viola Street on May 14, 2023. L&I issued Imminently Dangerous violations for the property on December 31, 2021 (CF-2021-122157), January 12, 2023 (CF-2023-003176 and 003177), May 17, 2025 (CF-2025-044552), and the current violation on June 25, 2026. On September 12, 2025, L&I issued make-safe building permit RP-2025-006366 to a contractor working for the current owner to address the deterioration and repair the rear ell to comply violations CF-2023-003177 and CF-2025-044552, but no work was ever undertaken and the permit for the repair work expired on June 25, 2026.

SCOPE OF WORK:

- Completely demolish building
- Stucco party wall

STANDARDS FOR REVIEW:

Section 14-1005(6)(d) of the City of Philadelphia’s historic preservation ordinance enumerates restrictions on demolition and stipulates that:

- No building permit shall be issued for the demolition of a historic building ... unless the Historical Commission finds that issuance of the building permit is necessary in the public interest, or unless the Historical Commission finds that the building ... cannot be used for any purpose for which it is or may be reasonably adapted.
 - The application does not attempt to demonstrate that the demolition is necessary in the public interest or that the building cannot be reasonably adapted and therefore fails to justify the complete demolition under Section 14-1005(6)(d) of the Philadelphia Code. The building should be repaired as proposed in the make-safe building permit RP-2025-006366 issued in 2025. If the repair cannot be safely accomplished because of additional deterioration, the rear ell should be demolished and the front, main block stabilized and sealed.

STAFF RECOMMENDATION: Denial, pursuant to Section 14-1005(6)(d) of the Philadelphia Code.



Figure 1. 4275 Viola Street, July 22, 2025.

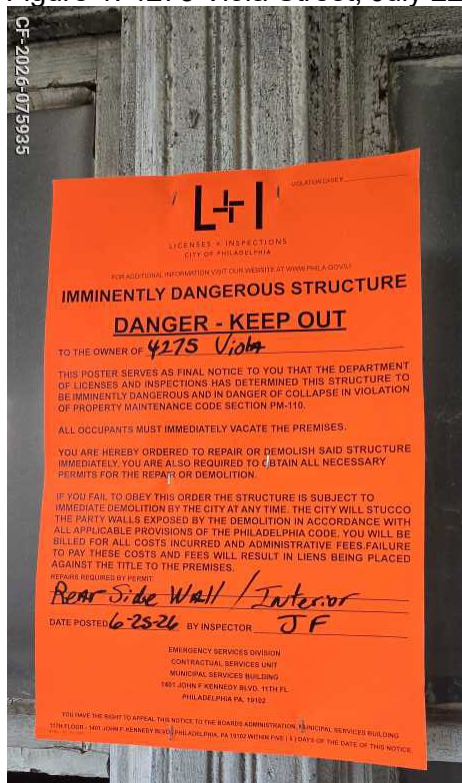


Figure 2. Department of Licenses and Inspections Imminently Dangerous poster for CF-2026-075935 affixed to 4275 Viola Street.



Figure 3. Department of Licenses and Inspections photograph of the rear of rear ell at 4275 Viola Street from CF-2026-075935.

CF-2026-075935



Figure 4. Department of Licenses and Inspections photograph of the rear of rear ell at 4275 Viola Street from CF-2026-075935.

4275 Viola Street Demolition Application Materials

JAMES A CLANCY, PE, LS

ENGINEERING

PLANNING

LAND SURVEYING

601 Asbury Ave. National Park, N.J. 08063

(856) 853-7306

Fax (856) 853-7381

07/14/2026

City of Philadelphia
Dept. of Lic. & Inspections
Permit Services-Bldg. Services Unit
Public Services Concourse- Municipal Services Bldg. 1401 Arch Street
Philadelphia, PA 19102

Re: Pre-Construction Survey Acknowledgment

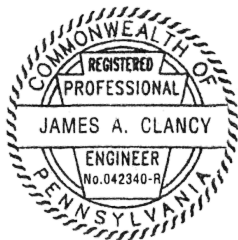
4275 Viola St Philadelphia, PA 19104

Dear Plans Examiner:

Clancy and Associates agree to monitor the demolition activity and preexisting conditions listed in the Preconstruction Survey and the Demolition Plan.

Please feel free to contact us at 856-583-7306 if you have any questions or comments.

Respectfully,



James A Clancy
PA Professional Engineer
Lic # 42340 - R



Building Demolition Site Safety Plan – Public Information Form

The Demolition Contractor shall submit this form with a Building Demolition Permit application.

A written document, which contains a comprehensive set of minimum safety requirements for demolition sites, is required to ensure the safety of the Demolition Contractor's personnel as well as the safety of the general public, and the protection of adjoining property.

Property Address

Identify the location of work for the permit.

If a specific location applies or only one or multiple buildings on a site will be demolished, note the additional information in the space provided.

1

Address: 4275 Viola St

Specific Location: _____

Description of Structure

Identify the height and dimensions of the existing building.

2

Building Height

Maximum height above grade: 36 feet

Number of stories above grade: 3

Number of stories below grade: 1

Building Dimensions

Length: +/- 56 feet

Width: +/- 16.5 feet

Safety Provisions

Identify all potential site hazards along with the method for their remediation (i.e., encapsulation and/or removal).

3

Safety Exposures & Environmental Issues (check all that apply):

These materials shall be removed from the site prior to the commencement of the demolition work. All pipes, tanks, boilers, or similar devices containing fuel shall be purged of such fuel.

☐ Hazardous Substances (i.e. paints, fuels, flammables, PCB's, etc.)

Present: ☐ Yes ☒ No

Removed: ☐ Yes ☒ No

Described method of disposal: _____

☐ Asbestos (An asbestos inspection report, which is a pre-requisite for a demolition permit, is required for all buildings, except for those constructed on or after January 1, 1980, or for buildings last legally used as a 3-family or less)

N/A ☐ Other (attach additional sheets as necessary): _____

Means of Protection

Identify all means of protection to be utilized within the site to ensure the safety of the general public and the protection of adjoining property, buildings, appurtenances, and related structures.

A. Site Safety Zone

B. Walkways in Safety Zone

4

Protection of Adjacent Properties, Walkways, and Public Way (check all that apply):

Demolition operations shall not commence until the applicable protection is in place.

A. Site Safety Zone

☒ A site Safety Zone has been established and is clearly shown on the drawings.

Describe: Site Safety Zone has been established to comply with requirements for hand demolition.

☐ If mechanical demolition methods will be used, the minimum Safety Zone shall be equal to or greater than half the height of the building to be demolished. Otherwise, the minimum Safety Zone shall be equal to or greater than one-quarter of the height of the building to be demolished.

☒ A Site Plan has been prepared to indicate the location of all property lines, adjacent walkways, streets, easements, all existing buildings, neighboring structures on adjacent lots, location of utilities, extend of demolition, and planned pedestrian protections.

B. Walkways in Safety Zone

☒ Walkways / Public ways within the Safety Zone.

Provide description of protection to be used: Sidewalk will be fully closed.



Department of
Licenses and Inspections
CITY OF PHILADELPHIA

DO NOT MAIL THIS APPLICATION

Means of Protection

(Continued)

C. Adjacent Buildings in Safety Zone

- If protection is required of any adjoining property, the Demolition Contractor shall obtain approval/authorization from the owner of the adjoining property prior to entering such property. Adjacent property owner must be notified of any impact of jointly owned party walls / foundations a minimum of 10 days in advance of work.

4

D. Structures in Safety Zone

C. Adjacent Buildings in Safety Zone

- ☐ Building to be demolished is higher than the roof of adjoining building. Indicate the height differential and method(s) of protection, if applicable.
Describe: N/A - Building to be demolished is the same height as adjoining buildings.
- ☐ Temporary shoring provided to protect adjacent structures.
Describe: N/A
- ☐ Lateral bracing or underpinning to protect footings, foundations, exterior walls, party walls, chimneys, etc. of adjacent structures.
Describe: N/A

D. Structures in Safety Zone

- ☐ Miscellaneous structures are present within the Safety Zone.
Describe the type and location in relation to the demolition work, and protection measures to be used:
N/A
- ☐ Traffic / Utility poles and trees to be protected.
Describe protection: No utility poles or traffic lights are present, tree will be protected with scaffold and plywood.

Site Restoration

Describe and select all applicable site restoration methods.

5

Restoration of Site (check all that apply):

- ☒ Adjacent foundation walls shall be properly treated prior to backfilling of areas below grade.
Describe: Wall will be waterproofed prior to backfilling.
- ☒ Openings in exposed party walls will require closing.
Describe: Joist pockets to be filled with brick and non-shrink grout.
- ☒ Party Wall Protection (select one):
 - ☐ Separate Party Wall Protection Permit obtained to treat exposed interior walls.
Party Wall Protection Permit Number: _____
 - ☒ Wall Covering Treatment work scope for exposed interior walls is included under scope of the Demolition Permit application.
Describe type of treatment: Wall shall be stuccoed over as per provided detail.
 - ☐ Interior wall exposure will not be created at a Party Wall as part of the Demolition Permit.

Professional Engineer's Certification

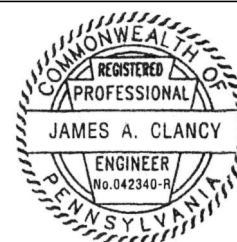
If required in accordance with Chapter 33 of the Philadelphia Building Code.

Signature of Design Professional: _____

Date: 7/16/26



Digitally signed by
James A Clancy
Date: 2026.07.16
06:49:46 -04'00'



Professional Seal

Demolition Supervisor's Name: Francis Henriquez

Demolition Supervisor's Signature: Francis Henriquez

Date: 07 / 14 / 2026

WORK SAFETY DEMOLITION PLAN

FOR

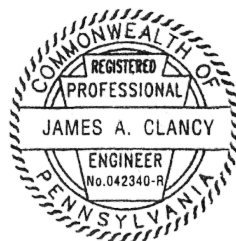
COMPLETE DEMOLITION OF
VACANT 3-STORY
STRUCTURE w/ CELLAR at
4275 Viola Street
PHILADELPHIA, PA 19104

PROJECT
26-122
4275 Viola Street

PHILADELPHIA, PA 19104

PREPARED FOR:

CITY OF PHILADELPHIA DEPARTMENT
OF
LICENSES AND INSPECTIONS
MUNICIPAL SERVICES BUILDING 1401
JOHN F. KENNEDY BLVD
PHILADELPHIA, PA 19102



July 13th, 2026

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1.0 PURPOSE/ DESCRIPTION

1.1 Purpose

The intent of this work plan is to provide guidelines for the COMPLETE demolition of the existing vacant 3-story, masonry structure with cellar.

1.2 Descriptions

- **The site consists of a 3-story, vacant, single-family, masonry structure with cellar.**
- **The cellar slab is more than 5'-0" below grade.**
 1. It is Type IIIB construction.
 2. Approximately 35'-0" in height.
 3. It appears to be in very poor condition. **The building has suffered fire, smoke and water damage and is designated as an "Unsafe Structure – in violation"**
Case #: CF-2026-075935.
- To the North there are open areas/ rear yards and an alley. The open areas belong to the following properties: 4254 through 4250 Parkside Ave.
- Adjacent structures to the North do not share a party wall with the subject to be demolished and are outside of the safety zone. The structures to the North are 3-story, multi-family masonry structures of Type IIIB construction.
- To the North-East there are open areas/rear yards.
- The structure to the East is a non-vacant 3-story existing single-family, masonry structure.
 - It is Type III-B construction.
 - Approximately 35'-0" in height
 - It appears to be in fair-poor condition.
 - Adjacent structure to the East shares a party wall with the subject to be demolished.
- To the West is a 6'-0" wide Alley and a vacant lot (4273 Viola St).

2.0 SCOPE

- Sidewalk closure for pedestrian safety.
- Protection of adjacent properties.
- Monitoring of adjacent structures prior, during and post the demolition activity.
- Interior demolition of partitions
- Removal of exterior roofing, wall and floor assemblies.
- Removal of foundations.
- Backfilling of the site.

3.0 PREREQUISITE

- Contractor shall conform to City of Philadelphia Code Demolition Requirements
- Contractor shall review the survey, monitoring and work plans with personnel performing the work.
- Posting of demolition & sidewalk closure permits.
- Contractor shall contact PECO about any electrical lines mounted to the structure.
- **Contractor shall assure all disconnects of gas, electric and water etc.**
- **Shall any asbestos be discovered, no demolition activity shall take place prior to the asbestos abatement by qualified party. N/A (single-family residence)**
- Contractor shall take all preconstruction and/or demolition photos.
- Contractor shall move and spot heavy equipment.
- Fire watch when required.
- Contractor shall notify the adjacent neighbors of the scheduled demolition min. 10 days before commencement.

4.0 RESOURCES REQUIRED

- Hand tools
- Power machinery: to load debris only
- Fire extinguishers
- Scissor Lift for high reach access
- Wet hose and tarps for dust control
- Electric hand tools
- Air compressor
- Dump Truck

5.0 SAFETY REQUIREMENTS

Site Specific Rules

Dust Control

The demolition shall only take place during days with temperature > 32 Degrees Fahrenheit.

Dust. Dust producing operations shall be wetted down to the extent necessary to control the dust. Debris generated from construction and demolition shall be adequately wetted and covered before being transported from the site. Construction materials to be stored on site shall be adequately wetted and covered when possible to prevent dust emissions. Roadways on the site, and all vehicle access points to the site, shall be adequately wetted and swept of materials that could give rise to dust emissions.

Dust control fencing. A dust control fabric shall be securely attached to all temporary perimeter protection fencing. The material shall be a minimum of five feet in height with a minimum blockage of 50%. Information placed on the fabric shall be limited to identification of the responsible Demolition Contractor and any information required by law.

Materials chutes. A material chute is a slide, closed in on all sides, through which material is moved from a high place to a lower one. No material shall be dropped more than twenty feet to any point lying outside of the exterior walls of a building or outside of a structure, except through the use of a materials chute. All materials chutes, or sections thereof, shall be entirely closed, except for openings equipped with closures at or about floor level for the insertion of materials. At all stories below the top floor, such openings shall be kept closed when not in use. Chutes shall be designed and constructed of such strength as to eliminate failure due to impact of materials or debris loaded therein.

Demolition work hours shall be 7:00am to 5:00 pm.

There is no smoking in the structure or on premises.

Safety Requirements

- Secured Site
- Required safety gear and equipment for demolition.
- Pre-demolition safety meeting with inspector
- Disconnect Utilities
- Pedestrian Protection 8'-0" high construction fence shall be installed.
- Fall Protection
- Dust Control (wet method)
- Notification of adjacent neighbors
- Protection and monitoring of Adjacent Properties
- **Verify that no persons (other than demolition crew) & animals are present in the building prior to the commencement of the demolition.**

Site Special Precautions

- Concrete Cutting, Crystalline Silica Dust Respiratory Hazard
 - o Wet methods shall be utilized
 - o Filtering Face Mask shall be utilized
- Fire Extinguishers shall be present at the work area
- Materials Lifting, Handling and Rigging
 - o Material shall be rigged only by trained personnel
 - o Rigging shall be checked daily for wear and tear/ tagged if out of service
- Electrical Safety/ Shock Hazard
 - o All circuits shall be protected by GFCI
 - o Only heavy duty extension cords in good condition shall be utilized
- Ground-men Safety-Struck by Hazard
 - o High visibility clothing and hardhats shall be worn at all times while working
 - o Communication with Equipment Operators shall be maintained
- Dust Control
 - o Water from hose shall be used when feasible to minimize the migration of dust.
 - In subfreezing conditions water shall not be used as it may pose additional hazards.
- Fall Hazard
 - o All employees exposed to fall hazard shall be properly trained
 - o Body harness shall be inspected before each use
 - o Re-tractable lanyards shall be tied to structural members.
- Debris Falling
 - o Entire Sidewalk shall be closed off to protect pedestrians with 8'-0" fence. Sidewalk Closure permit shall be secured.

6.0 MONITORING OF THE DEMOLITION AND PROCEDURES

6.1 Pre Demolition Activities

- Contractor to erect 8'-0" fencing for site access closure.
- Contractor to provide silt fencing around storm inlets within 100' of the property.
- Pre-demolition and post-demolition photos shall be taken to document the conditions of the existing structure as well as the adjacent properties.
- Heating, air-conditioning and related mechanical and power equipment, if present, shall be dismembered and removed by qualified technician in the respective trade.
- Prior to the commencement of demolition operations, all pipes, tanks, boilers, or similar devices containing fuel and located in the area authorized to be demolished by the permit shall be purged of such fuel.
- Contractor to ensure all utility connections have been discontinued.
- Sewer lateral shall be sealed off from the main sewer line by a licensed plumber.
- Shall any asbestos be present; no demolition activity shall be initiated prior to the removal of the asbestos by respective, qualified trade.
- Verify that no persons (other than demolition crew) or animals are present in the building prior to the commencement of the demolition.
- Protect adjacent roofs and alleys within safety zone as per demolition plans.
- Contractor to review Demolition Plan for sequence of demolition.

6.2 Building Demolition

- Monitoring of the subject and adjacent structures shall be on a continuous basis. Demolition contractor to observe both structures in detail, monitorings for any signs of settlement, movements or developing cracks.
- Any structural element that is being dismembered shall not support any load other than its own weight. No wall, chimney, or other structural part shall be left at any time in such condition that it may collapse or be toppled by wind, vibration, or any other cause. The method of removal of any structural member shall not destabilize remaining members. All handling and movement of material or debris shall be controlled such that it will not develop unaccounted impact loads on the structure. Failure to do so could result in the potential collapse of structure.
- Power Machinery to be utilized to load debris only.
- Handheld machinery to be utilized for entire duration of the demolition.
- Prior to the demolition of any walls, G.C. shall provide clean vertical saw-cut at the exterior of shared party wall or wherever a masonry wall abuts an adjacent masonry wall.
 - Saw-cutting shall occur prior to the removal of roof/floor assembly and prior to the removal of the exterior walls.

Prior to Structure Demolition:

- Remove any interior non-loadbearing partitions, interior finishes, doors, window frames, debris, and other miscellaneous non-structural elements.

The demolition of this structure shall be handled sequentially as described in this report. Demolition crew will start their work at the rear/side 1 and 2 story portions of the property and work their way towards the front of the property to clear the area of potential collapse first. Once the area of potential collapse has been cleared, work may continue on the remaining portions of the structure. The structure to be demolished shall be completed entirely "by-hand" utilizing Handheld Machinery only for the entire duration. Power Machinery to be utilized to load debris only. Structure to be demolished SHARES a bearing wall/party wall with the adjacent structure.

Demolition Sequence:

- Remove any interior non-loadbearing partitions, interior finishes, doors, window frames, debris, and other miscellaneous non-structural elements by hand.
- Begin with the removal of the rear/side 1 & 2 story portions of the structure around potential collapse area of the existing roofing, flashing, roof sheathing and roof rafters by hand.
 - o Once the roof assembly has been removed, the 2nd floor (non-party walls) shall be taken down to the floor-assembly by hand.
 - o Sequentially continue to remove 2nd-1st floor joists and exterior walls (non-party walls) at each level in the same manner, by hand in 3'-0" sections down to the ground
 - In no instance are any walls higher than 3'-0" above the floor level allowed to remain overnight unless braced by the roof framing or temporary braces.
 - No debris shall remain on the floor-assembly overnight.

- Following removal of the building area of potential collapse, proceed with the removal of the remaining 2-story and 3-story portion of the structure, the chimney, existing roofing, flashing, roof sheathing and roof rafters by hand.
 - o Once the roof assembly has been removed, the 3rd floor (non-party walls) shall be taken down to the floor-assembly by hand.
 - o Sequentially continue to remove 3rd-1st floor joists and exterior walls/porch (non-party walls) at each remaining level in the same manner, by hand in 3'-0" sections down to the ground.
 - In no instance are any walls higher than 3'-0" above the floor level allowed to remain overnight unless braced by the roof framing or temporary braces.
 - No debris shall remain on the floor-assembly overnight.
 - o Once all the 1st floor framing assemblies and porch slab have been removed, begin removal of the foundation (non-party walls) by hand.
 - o Post removal of the foundation walls, break up and remove the existing slab on grade in cellar to allow water infiltration. Following the breaking of the slab on grade, the exterior of exposed foundation wall that enclose interior space of adjoining property shall be water proofed in accordance with Section 4- B-1805 of the Philadelphia Building Code, whether or not such walls will remain exposed after construction. No former interior party wall above the foundation of such an adjoining structure shall be left exposed without protection from weather damage. Any joist pockets in exposed brick party walls shall be filled with brick and non-shrink grout. Exposed walls then shall be covered with stucco as per Easy Wall Covering Permit and the code bulletin. (The standards for wall covering installations are included in this submission.)
- 1. After the slab on grade has been removed and the adjacent foundation wall has been waterproofed and stucco applied above grade level, the cellar shall be backfilled in accordance with Section 4-B-3303.7.
- 2. Site grading after demolition. Where a structure is demolished or removed and no new construction is contemplated, the vacant lot shall be graded in accordance with the Building Code. The following demolition material shall not to be used as backfill combustible and fibrous material including metal, reinforcing steel, wood, plastic, plaster, ceramic, roofing materials, trash, household garbage or ash, and any other such debris. The fill shall be covered with a uniform layer of clean, inert, granular material four inches or more in depth. Existing concrete paving may remain as a covering. The owner and/or the general contractor for the demolition shall be responsible for compliance with this regulation.

6.3 Site Cleanup

- Sidewalk shall be cleared of any post-demolition debris and broom swept.
- Materials from demolition shall not be stored overnight on a sidewalk, street or surrounding lot, as may otherwise be permitted, unless placed in a construction dumpster licensed pursuant to § 11-610 of the Philadelphia Code, or in a dump truck, debris transfer trailer or other motor vehicle licensed under the Pennsylvania Motor Vehicle Code. Loose material shall be removed upon completion of demolition activity at the end of each day, and the area of temporary storage swept clean.

Exception: Where the Streets Department has authorized the closure of such sidewalk or street and the sidewalk, street or surrounding lot is enclosed as part of the safety zone established by the demolition contractor pursuant to Section B-3033.8.1.

OPERATIONS MONITORING

- THE SPECIAL INSPECTOR (S.I.) MUST BE REGISTERED AND LICENSED AS PA. ENGINEER AND A SPECIAL INSPECTOR FOR THE CITY OF PHILADELPHIA. THE S.I. MUST BE KNOWLEDGEABLE OF, AND IMPLEMENT ALL THE CITY OF PHILADELPHIA MONITORING PLAN REQUIREMENTS PURSUANT, BUT NOT LIMITED TO, SECTION 4-B-1704 OF THE PHILADELPHIA CODE, WHICH REQUIRES BUILDINGS OR STRUCTURES ADJOINING OR ADJACENT TO EXCAVATIONS, DEMOLITION, OR CONSTRUCTION TO BE MONITORED TO ENSURE THE STRUCTURAL INTEGRITY OF THE ADJACENT BUILDING OR STRUCTURE.
- THE SPECIAL INSPECTOR MUST BE HIRED BY THE OWNER/DEVELOPER OR DEMOLITION CONTRACTOR PRIOR TO THE START OF CONSTRUCTION ACTIVITY ON THE PROJECT.
- THE SPECIAL INSPECTOR MUST SUBMIT ALL REQUIRED AND GENERAL FIELD REPORTS TO THE OWNER/DEVELOPER, CONTRACTOR, AND PROJECT ENGINEER OF RECORD.

SCOPE:

- THE SPECIAL INSPECTOR (S.I.) MUST PRE- INSPECT, PERIODICALLY INSPECT , AND MONITOR ALL THE BUILDING WALLS DIRECTLY ADJACENT TO THE WORKSITE AREA, INCLUDING THE CORRESPONDING FRONT, REAR AND SIDE WALLS OF THE ADJACENT PROPERTIES.
- THE SPECIAL INSPECTOR MUST RECORD ALL EXISTING WALL DEFECTS AND CONTINUE TO MONITOR ALL WALLS FOR ANY DEVIATION FROM THE EXISTING, INCLUDING BUT NOT LIMITED TO ANY ACTUAL OR PERCEIVED MOVEMENTS, SETTLEMENT, VIBRATION, WALL BRICK OR PLASTER CRACKING AND WALL BOWING DURING DEMOLITION AND/OR EXCAVATION WORK.
- THE SPECIAL INSPECTOR MUST INSPECT THE ENTIRE GROUND EXCAVATION AND MUST OBSERVE AND REPORT ALL UNEXPECTED FINDINGS INCLUDING, BUT NOT LIMITED TO, LARGE DEBRIS ITEMS, TANKS, SOIL INFILL, AND SOIL OR CONDITIONS WHICH DEVIATE FROM THE ANTICIPATED.

FREQUENCY:

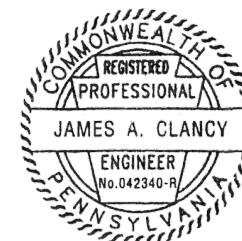
- INITIAL OBSERVATIONS AND REPORTS MUST BE PERFORMED **PRIOR TO THE START OF ANY DEMOLITION WORK.**
- S.I. INSPECTIONS FOR ALL DEMOLITION WORK MUST BE CONDUCTED **CONTINUOUSLY.**
- S.I. INSPECTIONS FOR REMOVAL OF FOUNDATION WALLS MORE THAN 5' DEEP MUST BE CONDUCTED **PRIOR TO, AND CONTINUOUSLY** DURING TO COURSE OF DEMOLITION.

TOLERANCES:

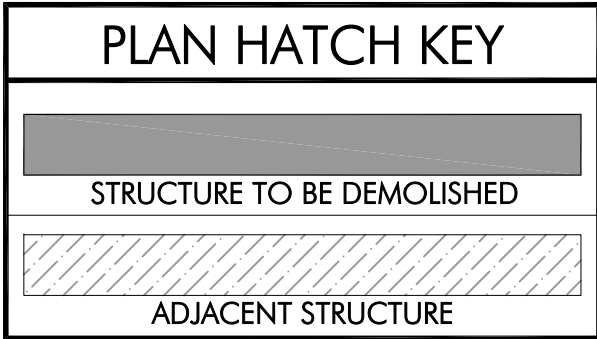
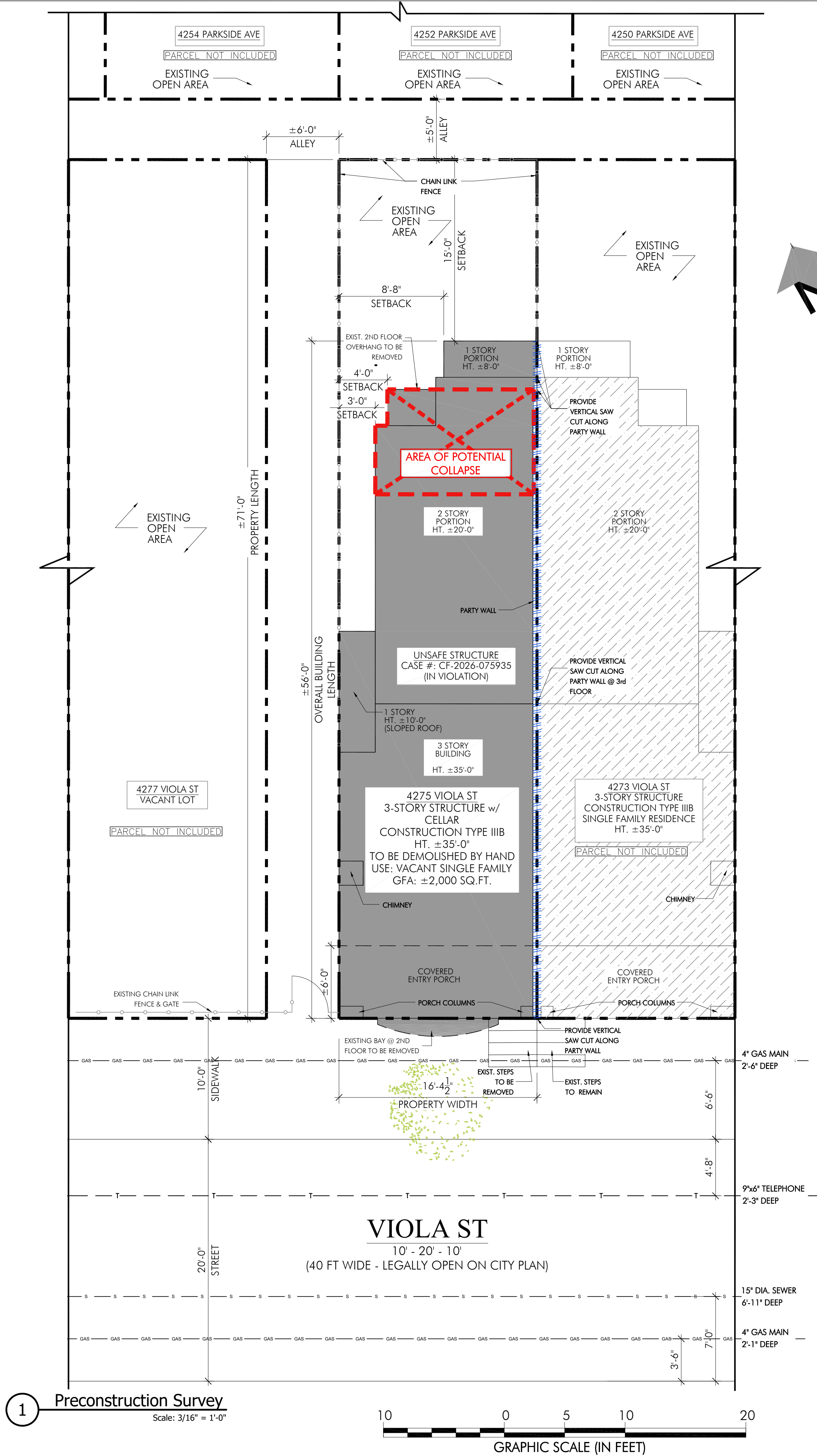
- THE SPECIAL INSPECTOR SHALL NOT ASSUME ANY ALLOWABLE TOLERANCE UNLESS OTHERWISE NOTED HEREIN OR ON THE DEMOLITION PLANS.
- ANY DEVIATION FROM EXPECTED CONDITIONS PER THE PLANS, REPORTS OR OTHER PROJECT DOCUMENTS MUST BE RECORDED AND REPORTED TO THE PROJECT ENGINEER ON RECORD BY THE S.I.

OBSERVATION:

- UPON PRELIMINARY VISUAL OBSERVATION OF THE EXISTING SITE, DEFECTS HAVE BEEN NOTED AND ARE LISTED IN PRE-CONSTRUCTION SURVEY. THE SPECIAL INSPECTOR MUST REEXAMINE THE SITE PRIOR TO THE START OF DEMOLITION ACTIVITY AND REPORT ALL OBSERVED DEFECTS OR CONCERNS.
- DURING THE ENTIRETY OF THE WORK, ANY DEFECTS OR CONCERNS THAT ARE OBSERVED MUST BE DOCUMENTED BY THE SPECIAL INSPECTOR AND REPORTED DIRECTLY TO ALL THE PROJECT'S RECORD PARTIES. IN THE EVENT OF AN IMMINENT EMERGENCY, IMMEDIATE CONTACT MUST BE MADE WITH THE CITY OF PHILADELPHIA L & I. BY THE S.I.
- THE MINIMUM MONITORING SCHEDULE MUST BE CONDUCTED AS PER THE PHILADELPHIA CODE: B-1704.6. (1) AND /OR AS DIRECTED HEREIN. THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- THE SPECIAL INSPECTOR MUST SUBMIT THE REQUIRED INSPECTION REPORTS TO THE CITY OF PHILADELPHIA OR AS REQUIRED UNDER THE PHILADELPHIA CODE SECTIONS RELEVANT TO THE MONITORING DIRECTIVES.



PROJECT NAME: 4275 Viola St Philadelphia, PA 19104		Owner: Haverford Square Viola LLC 614 S 04th St Philadelphia, PA 19147	
DATE ISSUED 07-13-26	REVISION DESCRIPTION Issued for Demolition Permit Application	SHEET TITLE Monitoring Plan	
SCALE: As Noted		M-1	
DATE: 07-13-26			
		DRAWING NO.	

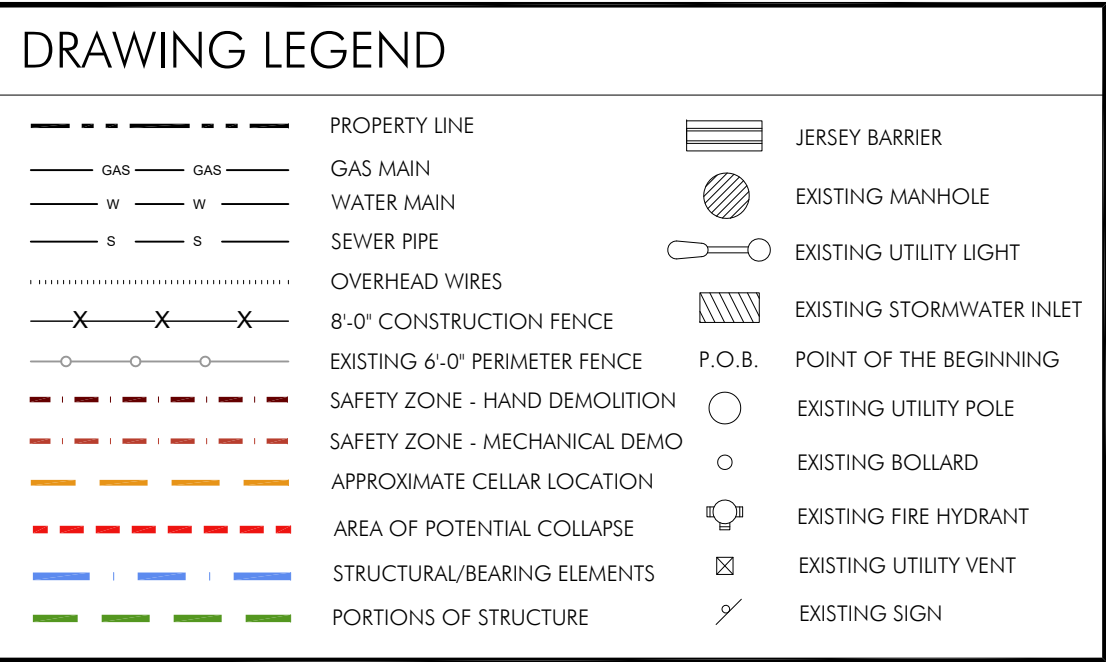


NOTES:

PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 (1974), AND AS AMENDED, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION. PENNSYLVANIA ONE CALL SYSTEM: 20261802122-000

UTILITIES SHOWN ARE TAKEN FROM PUBLIC RECORD. THE CONTRACTOR MUST VERIFY THE EXACT LOCATION AND DEPTH.

ANY OVERHEAD ELECTRICAL AND UTILITY WIRES SHALL BE COVERED TO AVOID POTENTIAL INJURY. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE WIRE COVERING WITH UTILITY COMPANY.



2 Interior Conditions (4275 Viola St) N.T.S.



PA ONE CALL: 20261802122-000
L&I VIOLATION - ID STRUCTURE
CASE NUMBER: CF-2026-075935

ENGINEER'S SEAL

PROJECT NAME: 4275 Viola St Philadelphia, PA 19104

Owner: Haverford Square Viola LLC 614 S 04th St Philadelphia, PA 19147

DATE ISSUED: 12-5-25

REVISION DESCRIPTION: Issued for Demolition Application

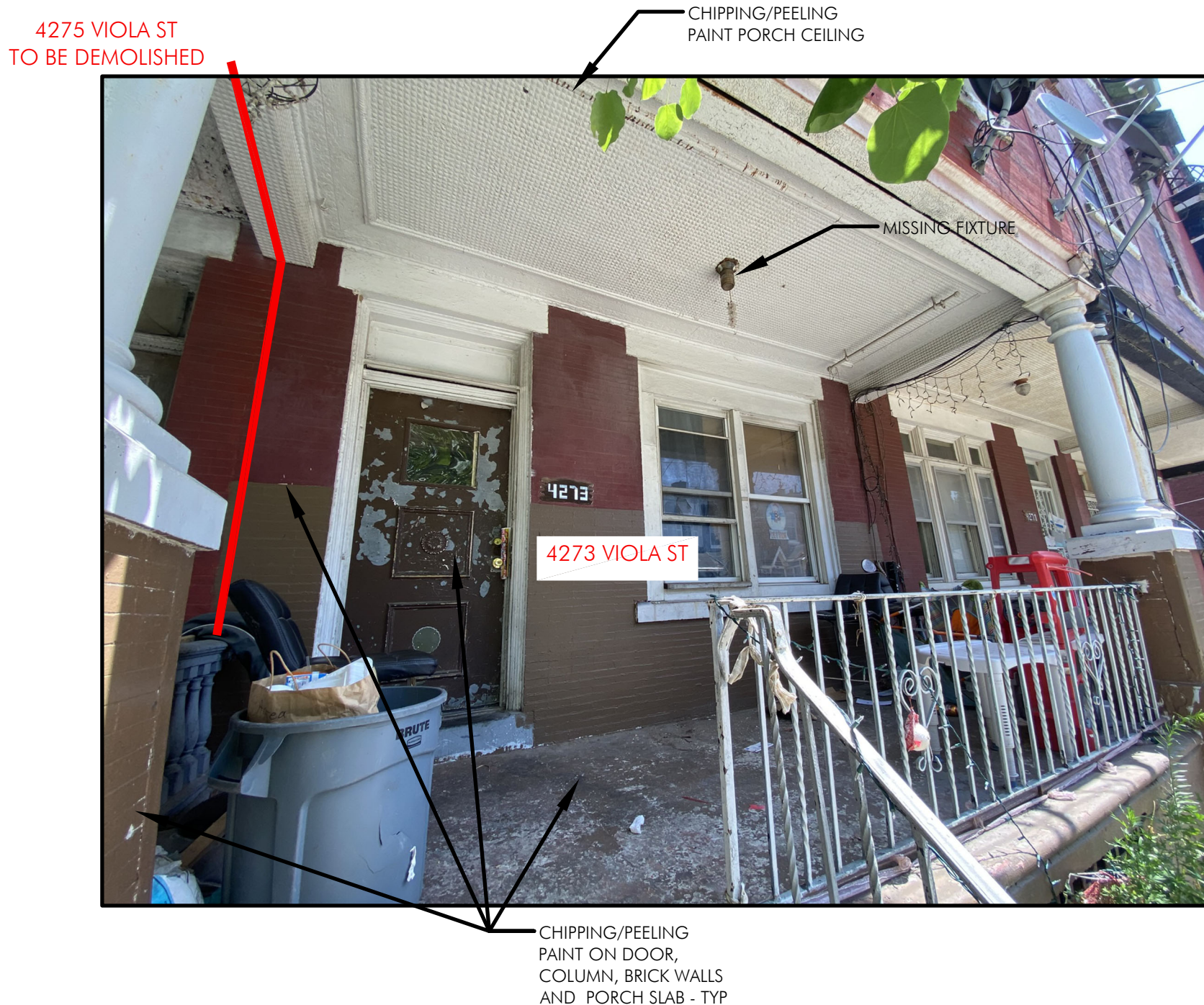
PROJECT NO: 26-122

SCALE: As Noted

DATE: 7-13-26

SHEET TITLE: Pre-Construction Survey Sheet 1

PCS-1



SUBJECT OF DEMOLITION REFERENCE PICTURE OF FRONT WITH TREE WITHOUT LEAVES TAKEN FROM CITY OF PHILADELPHIA ATLAS- DATED DEC. 19, 2022

PA ONE CALL: 20261802122-000
L&I VIOLATION - ID STRUCTURE
CASE NUMBER: CF-2026-075935

ENGINEER'S SEAL

PROJECT NAME: 4275 Viola St Philadelphia, PA 19104		OWNER: Haverford Square Viola LLC 614 S 04th St Philadelphia, PA 19147	
DATE ISSUED: 12-5-25	REVISION DESCRIPTION: Issued for Demolition Application	PROJECT NO: 26-122	SCALE: As Noted
SHEET TITLE: Pre-Construction Survey Sheet 2		DATE: 7-13-26	

PCS-2

DRAWING NO.



- ALFA ENGINEERING INC.,

- CONSULTING ENGINEERS - DESIGN - INSPECTION -
MEP - FORENSIC ENGINEERING - ARCHITECTURAL DESIGN

1444 S. 13th Street - Philadelphia - Pa - 19147

Tel: (215) 909-5028 - email: gballouze@yahoo.com - www.alfaengineeringcorp.com

Date: July. 28, 2026

Re: Evaluation of Structure Prior to Demolition Order.

For: 4275 Viola Street Phila.

To: Contractor

To whom it may concern:

As requested, Alfa Engineer visited the property at the above-mentioned address on July 27, 2026. The purpose of the visit was to visually examine the conditions of the property pursuant to a demolition order for the rear portion of the property and provide an engineering report.

EVALUATION

Our evaluation of the property revealed the following.

- The subject property is an attached structure consisting of three stories in the front and two-stories in the rear with a basement.
- The property was in a severely dilapidated condition, leaving the two-story rear portion in imminent danger of collapse.
- The three-story portion compromised as well, as evidence of structurally adverse issues such as cracking, movement and bulging were observed. Also, separations and step cracks were found to have developed in the side and front walls.
- The separation cracks were found 1) At the vertical connection line of the side brick wall to the front wall, starting from grade up to third floor. The crack was about 1-1/4" wide at the very top. 2) Another vertical corner crack formed in the front along the intersection of the side brick wall and front wall and above the wood column. The crack started from the second floor up to the roof; it was a separation crack as well and was approximately 1" wide. 3) In addition, serious step cracks were visible in the side wall on the second floor and below the roof chimney.
- Furthermore, the front wall was out of a plumb due to bulge on the second floor.
- The mansard roof deteriorated in the front along the sides of the brick wall.
- The front wall was tied back with metal plate to the frame system of the mansard roof.
- The front porch foundation walls had cracks and missing bricks and deteriorated floor system.

CONCLUSION

Based on assessment, it was concluded with a reasonable degree of certainty that due to dangerous conditions of the property, it is wisely suggested that the front portion be secured somehow if practically possible prior to commencing demolition of the rear portion.

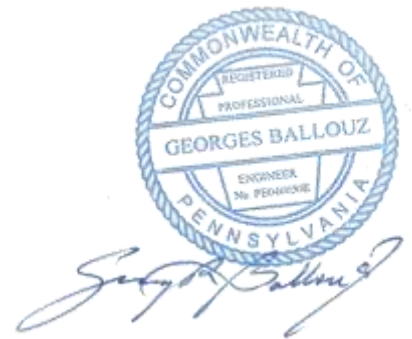
The front portion should be braced on the side and front at least to secure and safe. However, it may be practically difficult to do bracing in the front due to the height of the structure, which needs a long and diagonal brace to be run and tied properly to the Street. This will require closing the Street to traffic by approval from Street Department. On the other hand, bracing the side wall is doable but will not be sufficient to secure the front portion if decided to disregard front bracing. Keep in mind that the front bay gravity load impact on the front bulged wall should be considered.

In conclusion, whatever decision is rendered, safety will always be the goal.

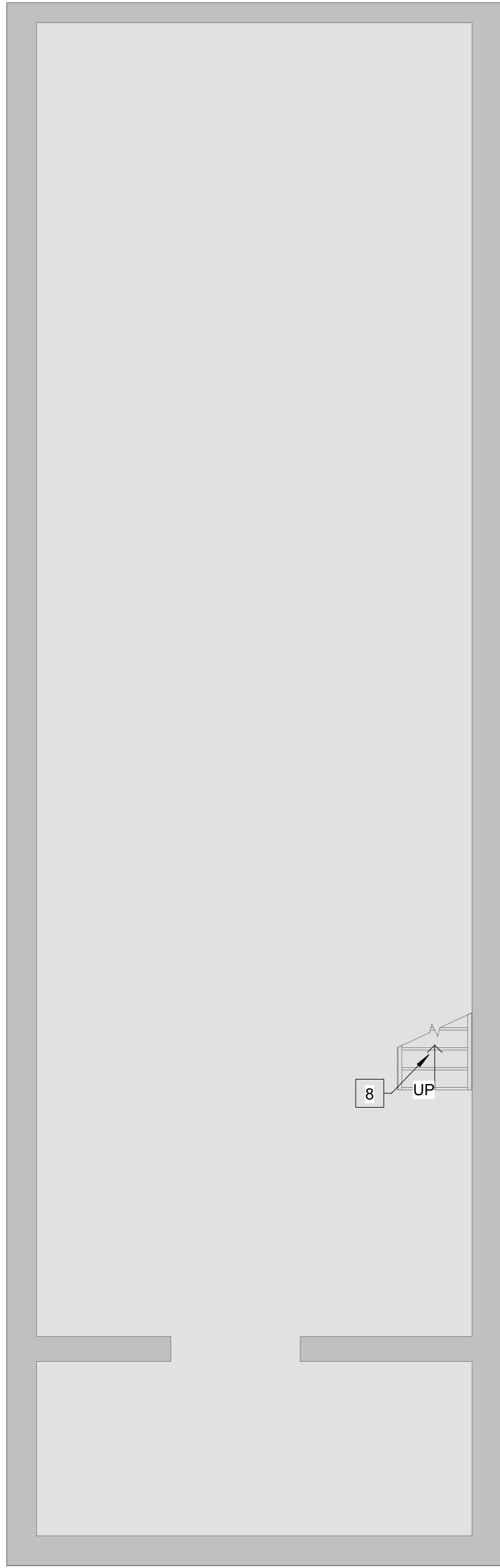
We thank you for being of service to you. Should you have any questions, please call us

Sincerely,

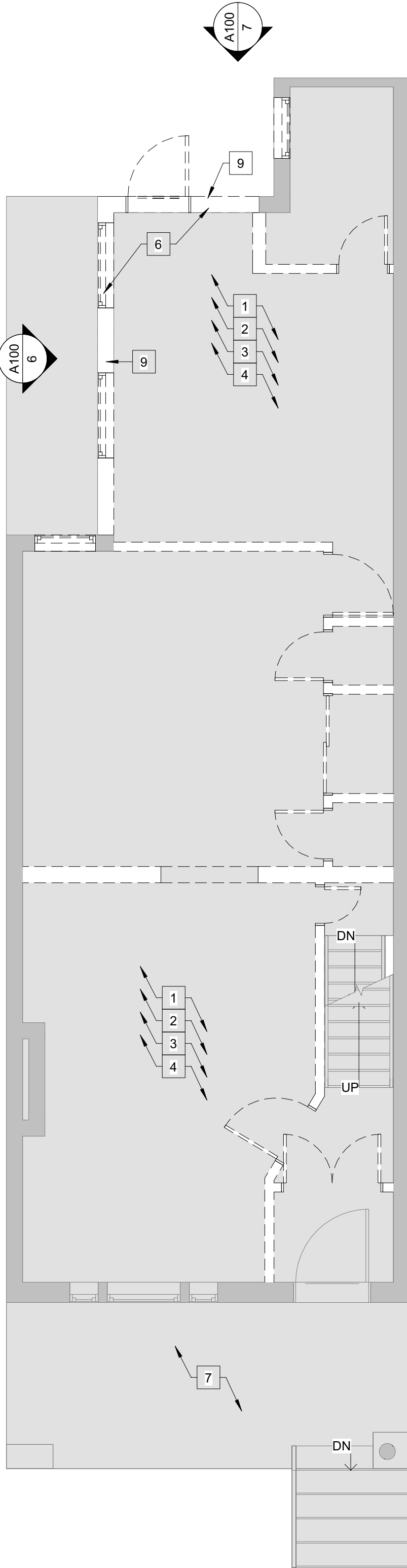
Alfa Engineering



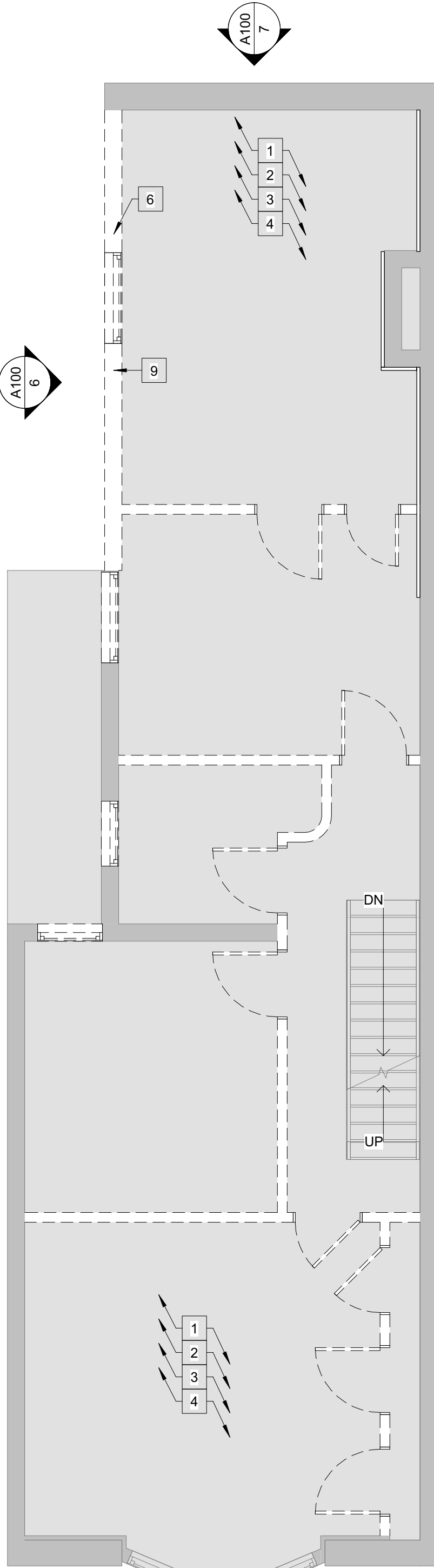
4275 Viola Street Make-Safe Application Materials
for Permit RP-2025-006366, Issued in 2025



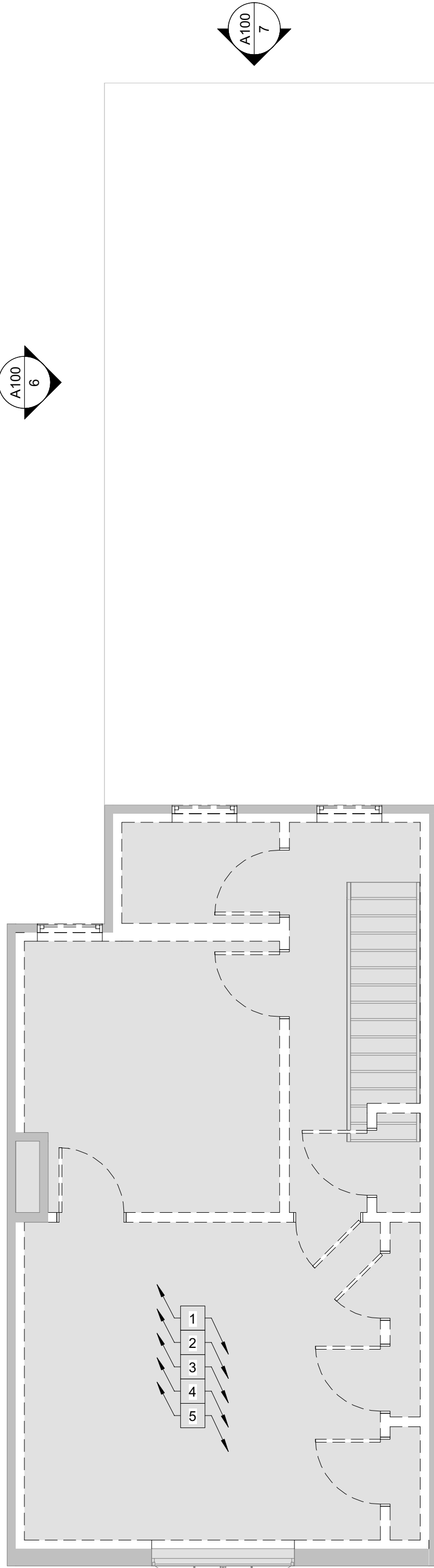
1 BASEMENT PLAN
1/4" = 1'-0"



2 FIRST FLOOR - DEMO
1/4" = 1'-0"



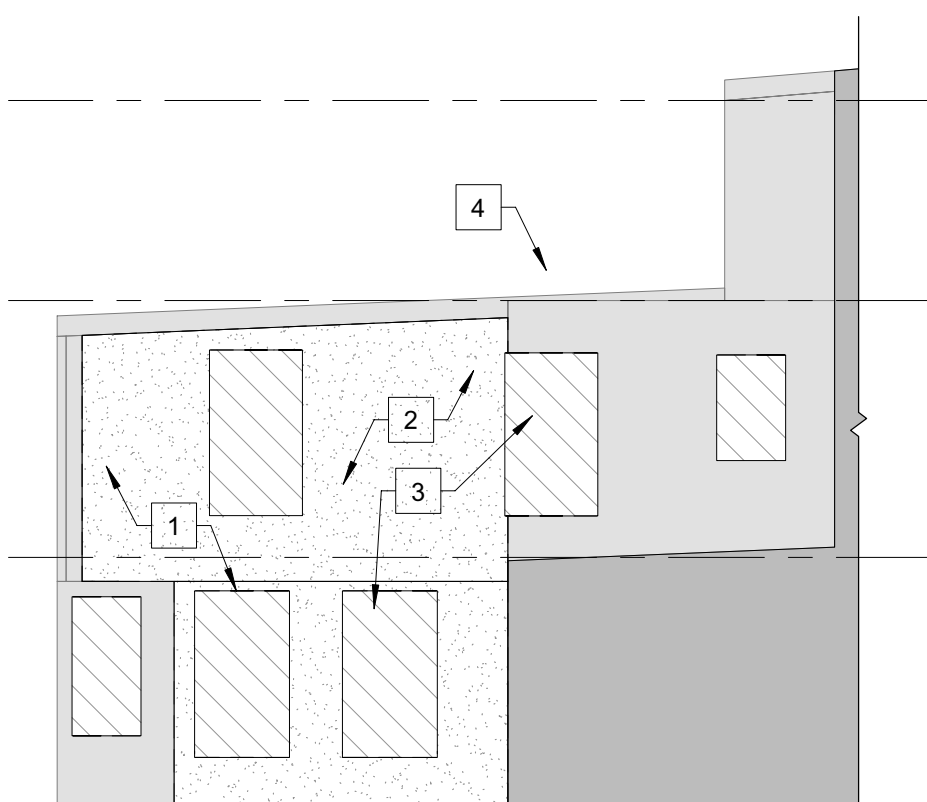
3 SECOND FLOOR - DEMO
1/4" = 1'-0"



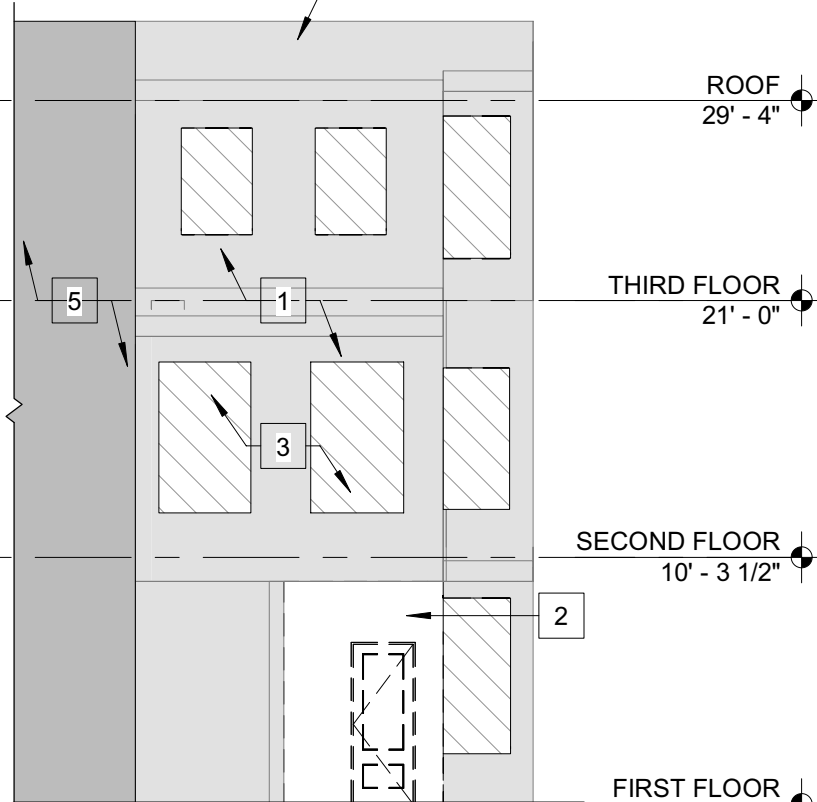
4 THIRD FLOOR - DEMO
1/4" = 1'-0"



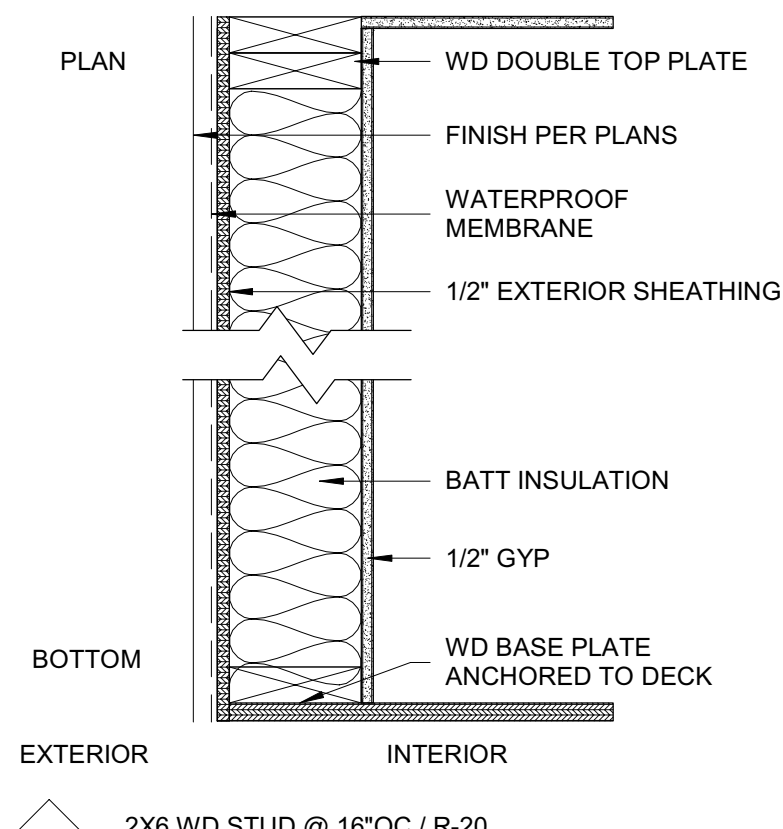
EXISTING PHOTOS



6 SIDE ELEVATION
1/8" = 1'-0"



7 REAR ELEVATION
1/8" = 1'-0"



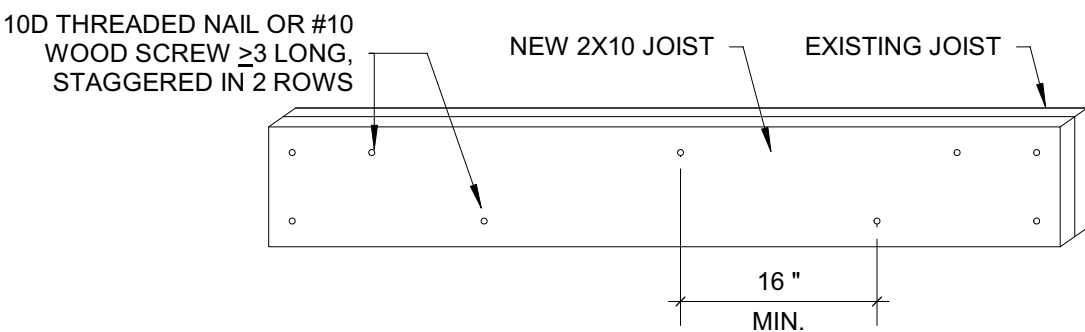
WALL TYPES

GENERAL NOTES - ARCHITECTURAL	
A	EXISTING BUILDING SHELL, BUILDING FRAMING & FOUNDATION ARE TO REMAIN
B	G.C. IS TO INVESTIGATE ALL EXISTING CONDITIONS TO ASSESS THE SCOPE OF DEMOLITION DURING THE INITIAL DEMOLITION PROCESS. G.C. IS TO SHORE EXISTING FRAMING AS REQUIRED DURING DEMOLITION
C	G.C. IS TO VERIFY THE EXISTING FRAMING MEMBERS ARE ADEQUATE ACCORDING TO INTERNATIONAL BUILDING CODE TO STRUCTURALLY SUPPORT THE BUILDING LOADS. G.C. IS TO REPLACE THE EXISTING DAMAGED FRAMING MEMBERS MEMBERS WITH NEW FRAMING MEMBERS AS REQUIRED.
D	VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO START OF ANY WORK. CONTACT ARCHITECTS FOR ANY DISCREPANCY BASED ON FIELD CONDITIONS & CONSTRUCTION DOCUMENTS AND GET NEW DIRECTION FROM ARCHITECT OR OWNER. FAILURE TO INSPECT EXISTING CONDITIONS IN FIELD WILL RESULT IN ACCEPTANCE OF ALL RESPONSIBILITIES W/OUT ADDITIONAL COMPENSATION FROM OWNER OR ARCHITECT
E	PROVIDE ACCESS DOOR FOR SHOWER & BATHTB PLUMBING
F	PROVIDE EXHAUST FAN IN ALL ALL BATHROOMS
G	PROVIDE SMOKE DETECTORS OR COMBINATION SMOKE DETECTORS & CARBON MONOXIDE DETECTOR AS REQUIRED BY ALL APPLICABLE CODES
H	G.C. TO PATCH, REPAIR & PREP EXISITNG WALLS AS REQUIRED TO RECEIVE NEW FINISH. ALL EXISTING WALLS TO BE READY FOR NEW FINISH.

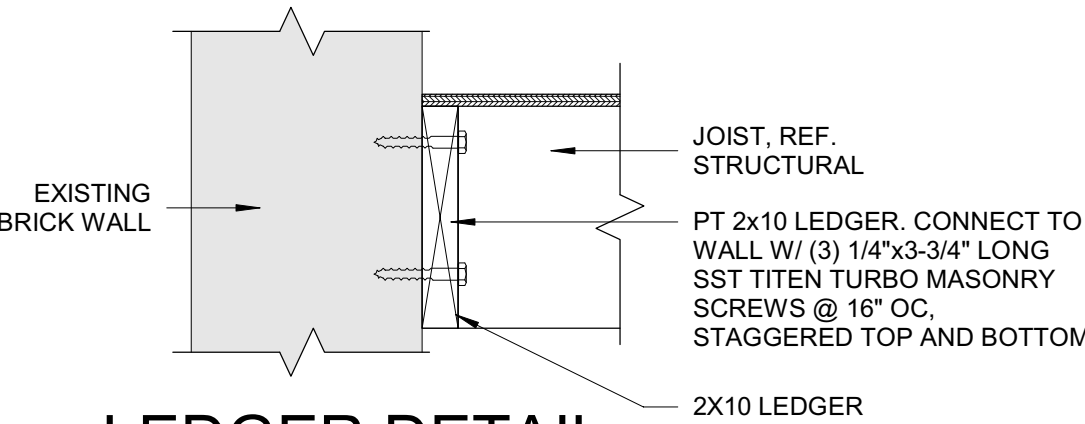
SHEET NOTES - ARCHITECTURAL	
1	TREAT DAMAGED W/ SMOKE SEALER
2	REMOVE EXISTING DAMAGED WALLS
3	PATCH AND REPAIR EXISTING FLOORS AND CEILINGS AS REQUIRED
4	REMOVE EXISTING DAMAGED WINDOWS AND INFILL WITH PLYWOOD
5	REPAIR/REPLACE DAMAGED BRICKS ON INTERIOR, REPOINT BRICKS AS NEEDED.
6	REMOVE EXISTING DAMAGED EXTERIOR WALL AND REPLACE WITH NEW IN EXISTING LOCATION BRACE EXISTING FLOOR JOISTS PRIOR TO REMOVAL AND SECURE JOISTS TO NEW WALL
7	PATCH AND REPAIR PORCH FLOOR AS REQUIRED
8	PATCH AND REPAIR EXISTING STAIR AS REQUIRED
9	ADD TEMPORARY 2X4 BRACING WALL TO BE CONSTRUCTED BEFORE DEMO/REPAIR OF DAMAGED FRAMING MEMBERS

SHEET NOTES - ELEVATION	
1	AREA IN GRAY TO REMAIN, PATCH AND REPAIR AS REQUIRED
2	REMOVE EXISTING DAMAGED EXTERIOR WALL AND REPLACE WITH NEW IN EXISTING LOCATION
3	REMOVE EXISTING DAMAGED WINDOWS AND INFILL WITH PLYWOOD
4	PATCH AND REPAIR EXISTING ROOF AS REQUIRED
5	ADJACENT RESIDENCE

ARCHITECTURAL LEGEND	
	NEW WALL
	EXISTING WALL
	FIRE RATED WALL
	BATT INSULATION



8 SISTERING DETAIL
3/4" = 1'-0"



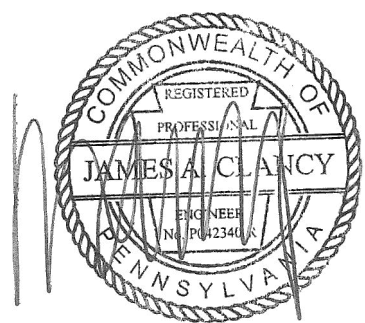
9 LEDGER DETAIL
1 1/2" = 1'-0"

BUILDING APPROVAL



LEVEL NINE ARCHITECTS, LLC.
3060 W. JEFFERSON ST.
PHILADELPHIA, PA 19121
WWW.LEVEL9ARCH.COM
TEL: (215) 529 - 8332

YAKUBOV RESIDENCE
4275 VIOLA ST, PHILADELPHIA, PA 19104



DESIGNER: BCH/JMB
REVIEWER: Approver
ISSUED: 09/05/2024
REVISIONS:

SCALE : AS NOTED
JOB NO. : 2459

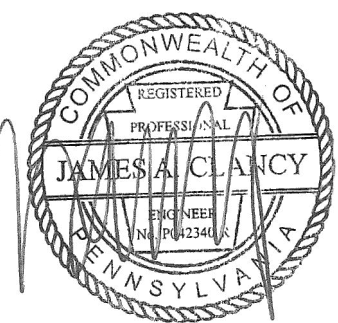
SHEET TITLE:
MAKE SAFE

SHEET NO.
A100

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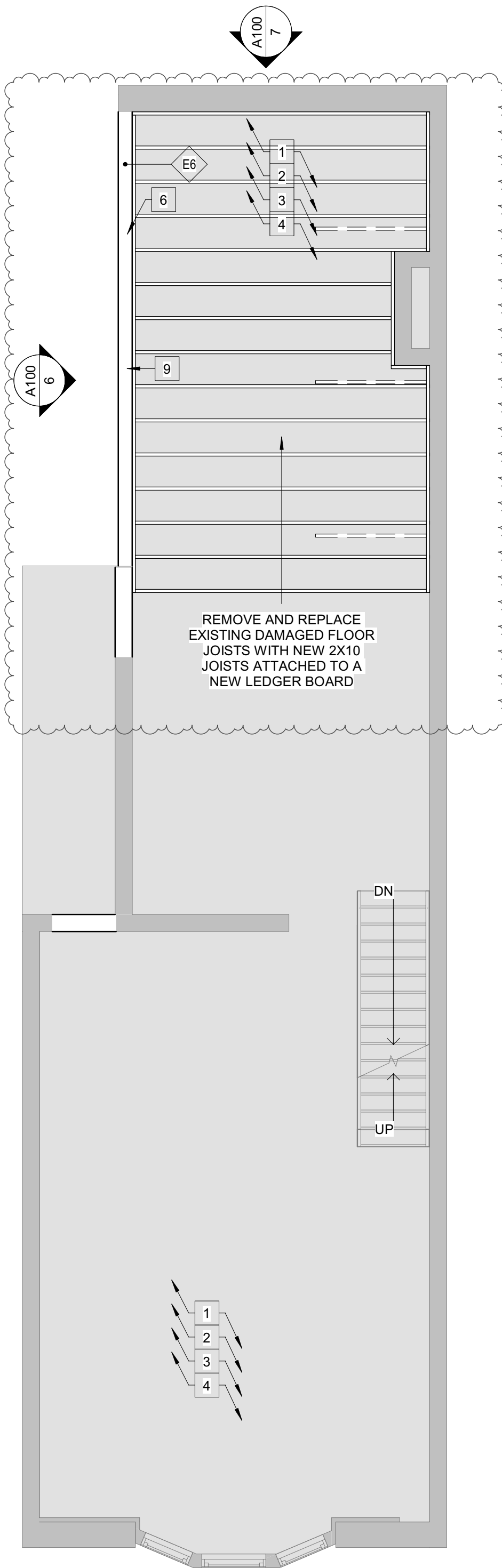


4275 VIOLA ST, PHILADELPHIA, PA 19104

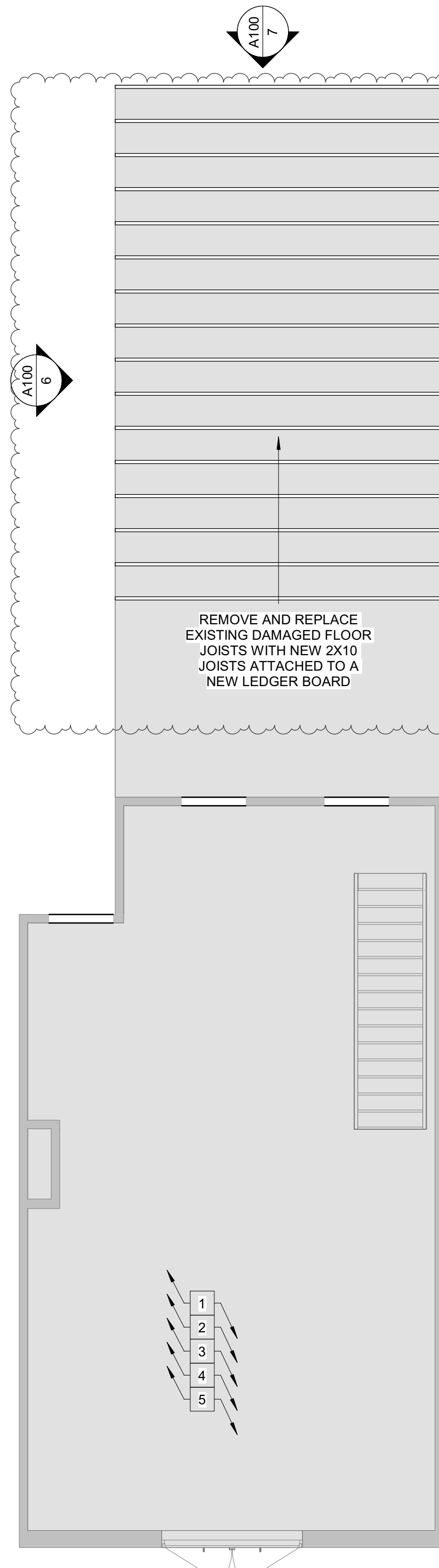


MAKE SAFE

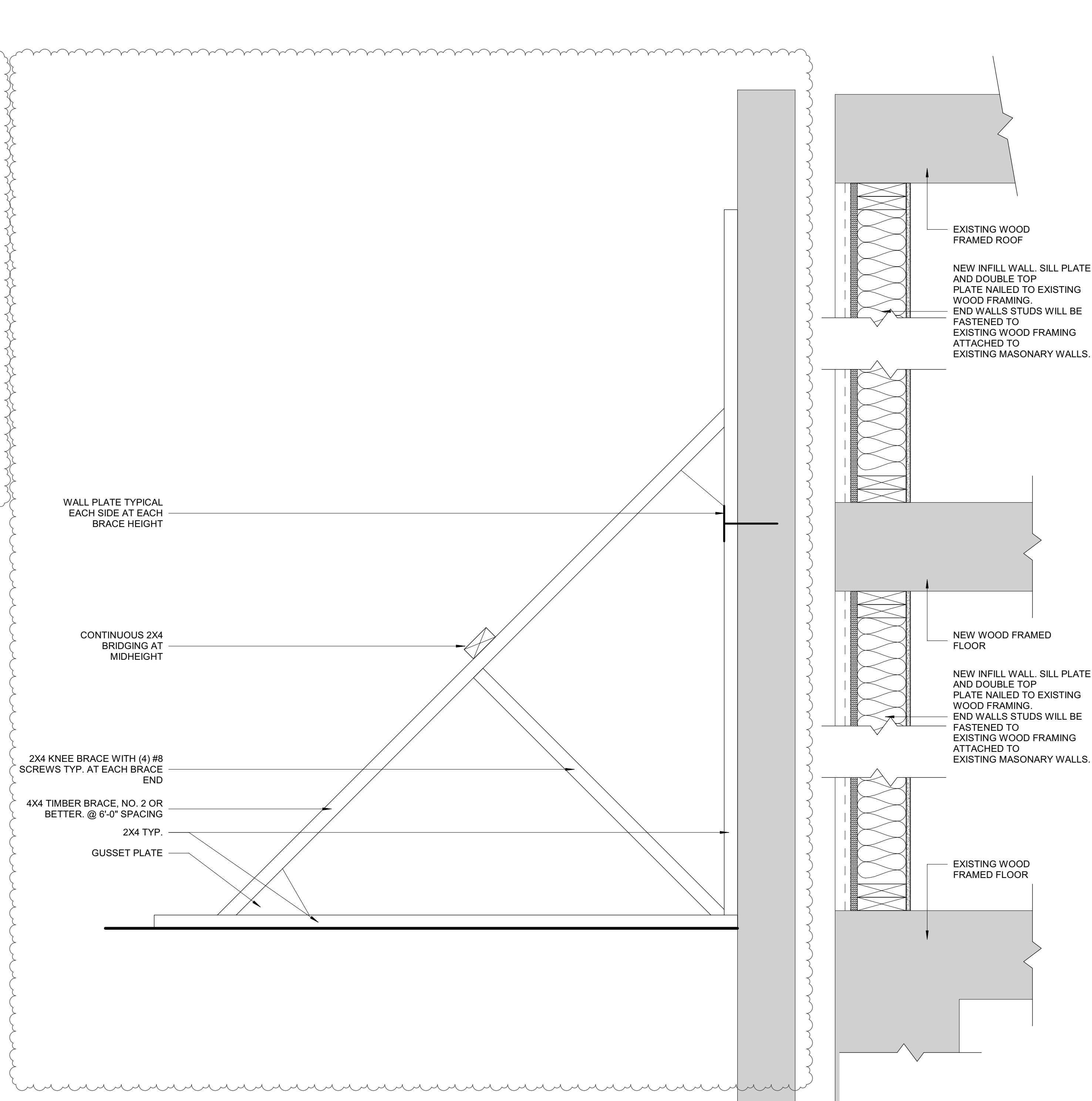
A101



2 SECOND FLOOR - ARCH
1/4" = 1'-0"



3 THIRD FLOOR - ARCH
1/4" = 1'-0"



4 NEW WALL INFILL & SHORING DETAILS

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BUILDING APPROVAL



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