



CDR PROJECT APPLICATION FORM

Note: For a project application to be considered for a Civic Design Review agenda, complete and accurate submittals must be received no later than 4 P.M. on the submission date. A submission does not guarantee placement on the agenda of the next CDR meeting date.

L&I APPLICATION NUMBER:

ZP-2025-012431

What is the trigger causing the project to require CDR Review? Explain briefly.

This project proposes more than 100,000 sq. ft. of new gross floor area with a primary use in the
wholesale, distribution and storage use category and affects property in a residential district.

PROJECT LOCATION

| | |
|--|-------------------------------|
| Planning District: _____ | Council District: <u>10th</u> |
| Address: <u>1685 and 1719 Fulmer Street</u> | |
| <u>Philadelphia, PA 19115</u> | |
| Is this parcel within an Opportunity Zone? | Yes No X Uncertain |
| If yes, is the project using Opportunity Zone Funding? | Yes No |

CONTACT INFORMATION

| | |
|---|--|
| Applicant Name: <u>Katherine E. Missimer, Esq.</u> | Primary Phone: <u>215-569-1664</u> |
| Email: <u>kmissimer@klehr.com</u> | Address: <u>1835 Market St., Ste. 1400</u> |
| | <u>Philadelphia, PA 19103</u> |
| Property Owner: <u>SIF III Fulmer Business Center LLC</u> | Developer: <u>Stonemont Financial Group and Nuveen</u> |
| Architect: <u>Ware Malcomb</u> | |



SITE CONDITIONS

Site Area: 466,166 sq. ft.

Existing Zoning: I-2 Are Zoning Variances required? Yes No

Proposed Use:

123,120 sq. ft. of storage and warehouse use with 5,000 sq. ft. of accessory office space.

Proposed # of Parking Units:

108 accessory parking spaces, 50 trailer loading spaces and 32 trailer parking spaces for a total of 140 parking spaces and 50 loading spaces.

COMMUNITY MEETING

Community meeting held: Yes No

If yes, please provide written documentation as proof.

If no, indicate the date and time the community meeting will be held:

Date: TBD. Time: _____

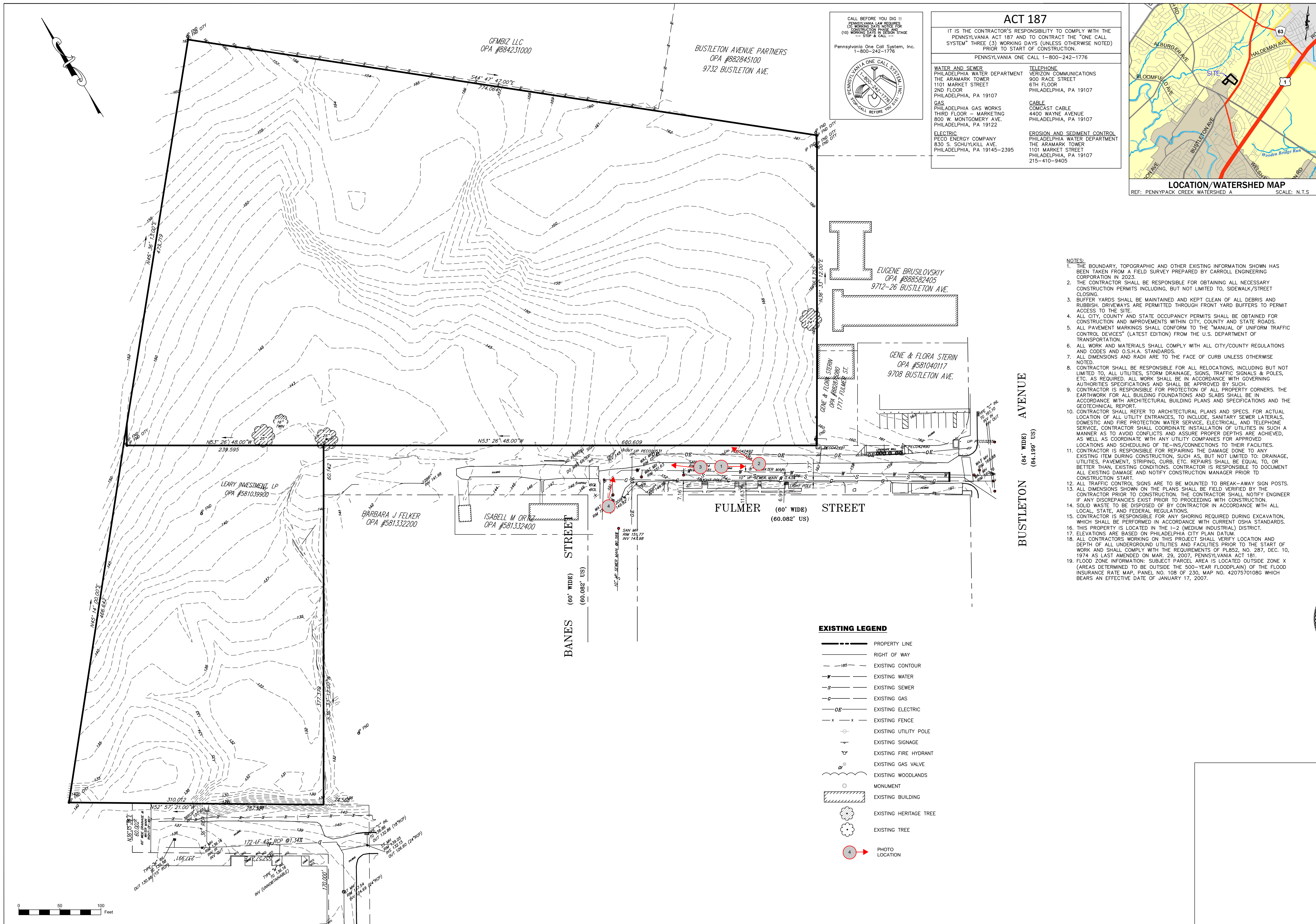
ZONING BOARD OF ADJUSTMENT HEARING

ZBA hearing scheduled: Yes No NA

If yes, indicate the date hearing will be held:

Date: _____

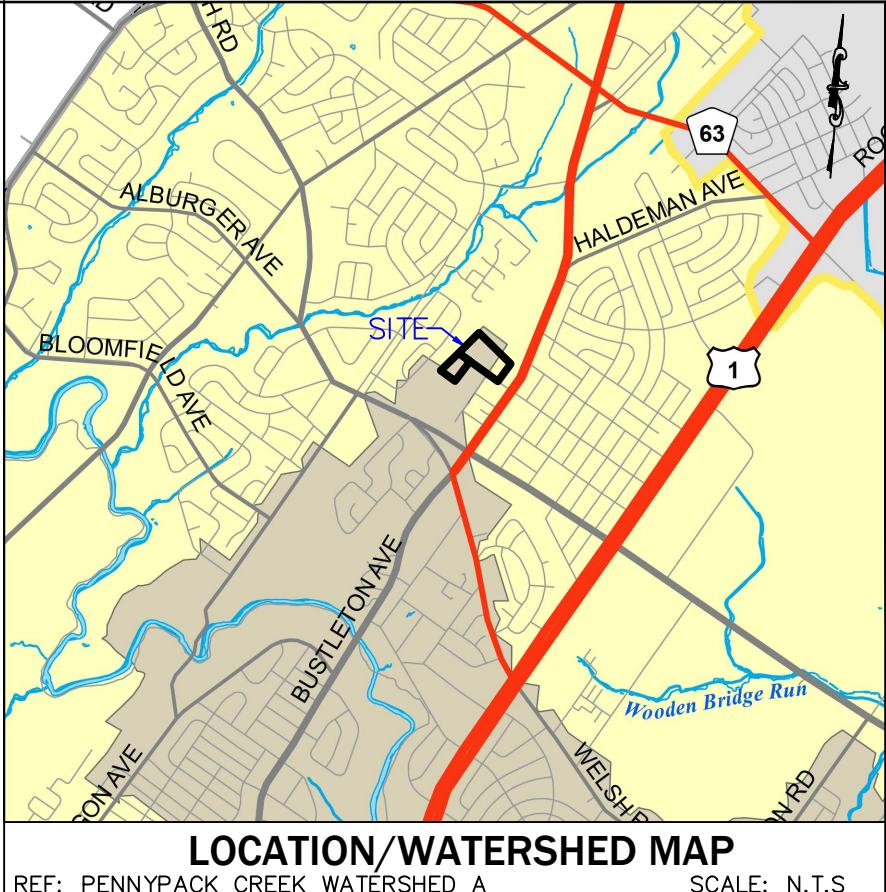




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ACT 187
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTRACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.
 PENNSYLVANIA ONE CALL 1-800-242-1776

| | |
|--|--|
| WATER AND SEWER PHILADELPHIA WATER DEPARTMENT THE ARMARK TOWER 1101 MARKET STREET 2ND FLOOR PHILADELPHIA, PA 19107 GAS PHILADELPHIA GAS WORKS THIRD FLOOR - MARKETING 800 W. MONTGOMERY AVE. PHILADELPHIA, PA 19122 ELECTRIC PECO ENERGY COMPANY 830 S. SCHUYLKILL AVE. PHILADELPHIA, PA 19145-2395 | TELEPHONE VERIZON COMMUNICATIONS 900 RACE STREET 6TH FLOOR PHILADELPHIA, PA 19107 CABLE COMCAST CABLE 4400 WAYNE AVENUE PHILADELPHIA, PA 19107 EROSION AND SEDIMENT CONTROL PHILADELPHIA WATER DEPARTMENT THE ARMARK TOWER 1101 MARKET STREET PHILADELPHIA, PA 19107 215-410-9405 |
|--|--|



Holmes Cunningham LLC
 409 E. Butler Ave., Unit 5
 DoylesTown, PA 18801
 (215) 386-3330
 www.hcengineering.net

HC
 HOLMES CUNNINGHAM
 ENGINEERING

- NOTES:**
- THE BOUNDARY, TOPOGRAPHIC AND OTHER EXISTING INFORMATION SHOWN HAS BEEN TAKEN FROM A FIELD SURVEY PREPARED BY CARROLL ENGINEERING CORPORATION IN 2023.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING, BUT NOT LIMITED TO, SIDEWALK/STREET CLOSING.
 - BUFFER YARDS SHALL BE MAINTAINED AND KEPT CLEAN OF ALL DEBRIS AND RUBBISH. DRIVEWAYS ARE PERMITTED THROUGH FRONT YARD BUFFERS TO PERMIT ACCESS TO THE SITE.
 - ALL CITY, COUNTY AND STATE OCCUPANCY PERMITS SHALL BE OBTAINED FOR CONSTRUCTION AND IMPROVEMENTS WITHIN CITY, COUNTY AND STATE ROADS.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION) FROM THE U.S. DEPARTMENT OF TRANSPORTATION.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECS. FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE, SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-INS/CONNECTIONS TO THEIR FACILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO: DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
 - ALL TRAFFIC CONTROL SIGNS ARE TO BE MOUNTED TO BREAK-AWAY SIGN POSTS.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ANY SHORING REQUIRED DURING EXCAVATION, WHICH SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS.
 - THIS PROPERTY IS LOCATED IN THE I-2 (MEDIUM INDUSTRIAL) DISTRICT.
 - ELEVATIONS ARE BASED ON PHILADELPHIA CITY PLAN DATUM.
 - ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO THE START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF PL652, NO. 287, DEC. 10, 1974 AS LAST AMENDED ON MAR. 29, 2007, PENNSYLVANIA ACT 181.
 - FLOOD ZONE INFORMATION: SUBJECT PARCEL AREA IS LOCATED OUTSIDE ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 108 OF 230, MAP NO. 42075701086 WHICH BEARS AN EFFECTIVE DATE OF JANUARY 17, 2007.

- EXISTING LEGEND**
- — — — — PROPERTY LINE
 - — — — — RIGHT OF WAY
 - 100 — — — — — EXISTING CONTOUR
 - — — — — EXISTING WATER
 - — — — — EXISTING SEWER
 - — — — — EXISTING GAS
 - — — — — EXISTING ELECTRIC
 - x — — — — — EXISTING FENCE
 - — — — — EXISTING UTILITY POLE
 - — — — — EXISTING SIGNAGE
 - — — — — EXISTING FIRE HYDRANT
 - — — — — EXISTING GAS VALVE
 - — — — — EXISTING WOODLANDS
 - — — — — MONUMENT
 - — — — — EXISTING BUILDING
 - — — — — EXISTING HERITAGE TREE
 - — — — — EXISTING TREE
 - — — — — PHOTO LOCATION

REVISIONS

| Date | Description |
|------|-------------|
| | |

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STONEMONT FINANCIAL INDUSTRIAL
 1688 & 1719 FULMER STREET
 OPA# 885600380 & 88500013
 CITY OF PHILADELPHIA, PENNSYLVANIA

EXISTING FEATURES PLAN

STEPHEN R. MURPHY
 PROFESSIONAL ENGINEER
 LICENSE NO. 1000000000
 PA Lic. No. S10056907

| | |
|----------|------------|
| HCE Job | 1487 |
| Date | 12/19/2025 |
| Scale | 1"=50' |
| Designed | RC |
| Sheet | 2 of 2 |

Drawing No.
C0.1
 1487A_EXISTING INDUSTRIAL.DWG



Photo #1
Along Fulmer towards Bustleton



Photo #2
Along Fulmer into Site

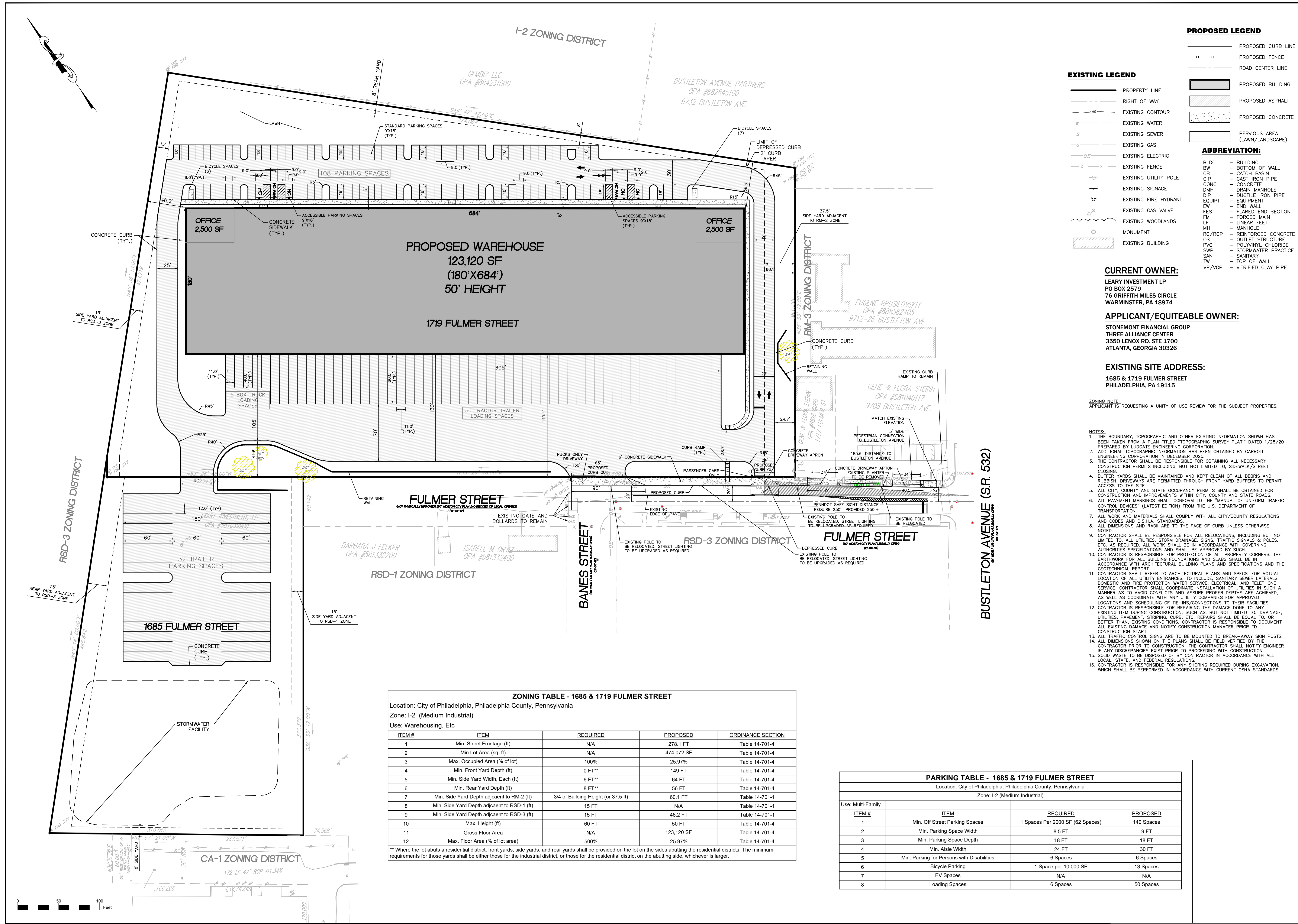


Photo #3
Along Fulmer towards Baner



Photo #4
Along Baner into Site





- PROPOSED LEGEND**
- PROPOSED CURB LINE
 - PROPOSED FENCE
 - ROAD CENTER LINE
 - PROPOSED BUILDING
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - PERVIOUS AREA (LAWN/LANDSCAPE)
- EXISTING LEGEND**
- PROPERTY LINE
 - RIGHT OF WAY
 - EXISTING CONTOUR
 - EXISTING WATER
 - EXISTING SEWER
 - EXISTING GAS
 - EXISTING ELECTRIC
 - EXISTING FENCE
 - EXISTING UTILITY POLE
 - EXISTING SIGNAGE
 - EXISTING FIRE HYDRANT
 - EXISTING GAS VALVE
 - EXISTING WOODLANDS
 - MONUMENT
 - EXISTING BUILDING
- ABBREVIATION:**
- BLDG - BUILDING
 - BW - BOTTOM OF WALL
 - CB - CATCH BASIN
 - CIP - CAST IRON PIPE
 - CONC - CONCRETE
 - DMH - DRAIN MANHOLE
 - DIP - DUCTILE IRON PIPE
 - EQUIPT - EQUIPMENT
 - EW - END WALL
 - FES - FLARED END SECTION
 - FM - FORCED MAIN
 - LF - LINEAR FEET
 - MANHOLE - MANHOLE
 - RC/RCP - REINFORCED CONCRETE PIPE
 - OS - OUTLET STRUCTURE
 - PVC - POLYVINYL CHLORIDE
 - SWP - STORMWATER PRACTICE
 - SAN - SANITARY
 - TW - TOP OF WALL
 - VP/VCP - VITRIFIED CLAY PIPE

CURRENT OWNER:
LEARY INVESTMENT LP
PO BOX 2579
76 GRIFFITH MILES CIRCLE
WARMINSTER, PA 18974

APPLICANT/EQUITABLE OWNER:
STONEMONT FINANCIAL GROUP
THREE ALLIANCE CENTER
3550 LENOX RD, STE 1700
ATLANTA, GEORGIA 30326

EXISTING SITE ADDRESS:
1685 & 1719 FULMER STREET
PHILADELPHIA, PA 19115

- NOTES:**
- THE BOUNDARY, TOPOGRAPHIC AND OTHER EXISTING INFORMATION SHOWN HAS BEEN TAKEN FROM A PLAN TITLED "TOPOGRAPHIC SURVEY PLAN" DATED 1/28/20 PREPARED BY LUDGATE ENGINEERING CORPORATION.
 - ADDITIONAL TOPOGRAPHIC INFORMATION HAS BEEN OBTAINED BY CARROLL ENGINEERING CORPORATION IN DECEMBER 2023.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING, BUT NOT LIMITED TO, SIDEWALK/STREET CLOSING.
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ZONING TABLE - 1685 & 1719 FULMER STREET
Location: City of Philadelphia, Philadelphia County, Pennsylvania
Zone: I-2 (Medium Industrial)
Use: Warehousing, Etc

| ITEM # | ITEM | REQUIRED | PROPOSED | ORDINANCE SECTION |
|--------|---|-------------------------------------|------------|-------------------|
| 1 | Min. Street Frontage (ft) | N/A | 278.1 FT | Table 14-701-4 |
| 2 | Min Lot Area (sq. ft) | N/A | 474,072 SF | Table 14-701-4 |
| 3 | Max. Occupied Area (% of lot) | 100% | 25.07% | Table 14-701-4 |
| 4 | Min. Front Yard Depth (ft) | 0 FT** | 149 FT | Table 14-701-4 |
| 5 | Min. Side Yard Depth, Each (ft) | 6 FT** | 64 FT | Table 14-701-4 |
| 6 | Min. Rear Yard Depth (ft) | 8 FT** | 56 FT | Table 14-701-4 |
| 7 | Min. Side Yard Depth adjacent to RM-2 (ft) | 3/4 of Building Height (or 37.5 ft) | 60.1 FT | Table 14-701-1 |
| 8 | Min. Side Yard Depth adjacent to RSD-1 (ft) | 15 FT | N/A | Table 14-701-1 |
| 9 | Min. Side Yard Depth adjacent to RSD-3 (R) | 15 FT | 46.2 FT | Table 14-701-1 |
| 10 | Max. Height (ft) | 60 FT | 50 FT | Table 14-701-4 |
| 11 | Gross Floor Area | N/A | 123,120 SF | Table 14-701-4 |
| 12 | Max. Floor Area (% of lot area) | 500% | 25.07% | Table 14-701-4 |

** Where the lot abuts a residential district, front yards, side yards, and rear yards shall be provided on the lot on the sides abutting the residential districts. The minimum requirements for those yards shall be either those for the industrial district, or those for the residential district on the abutting side, whichever is larger.

PARKING TABLE - 1685 & 1719 FULMER STREET
Location: City of Philadelphia, Philadelphia County, Pennsylvania
Zone: I-2 (Medium Industrial)

| ITEM # | ITEM | REQUIRED | PROPOSED |
|--------|--|---------------------------------|------------|
| 1 | Min. Off Street Parking Spaces | 1 Space Per 2000 SF (62 Spaces) | 140 Spaces |
| 2 | Min. Parking Space Width | 8.5 FT | 9 FT |
| 3 | Min. Parking Space Depth | 18 FT | 18 FT |
| 4 | Min. Aisle Width | 24 FT | 30 FT |
| 5 | Min. Parking for Persons with Disabilities | 6 Spaces | 6 Spaces |
| 6 | Bicycle Parking | 1 Space per 10,000 SF | 13 Spaces |
| 7 | EV Spaces | N/A | N/A |
| 8 | Loading Spaces | 6 Spaces | 50 Spaces |

Holmes Cunningham LLC
409 E. Butler Ave., Unit 5
Doylesstown, PA 18901
(215) 586-3330
www.hcengineering.net

REVISIONS

| Date | Description |
|-----------|-----------------------------|
| 7/15/2026 | REVISED FOR ZONING COMMENTS |
| 2/23/2026 | REVISED PER STREET COMMENTS |

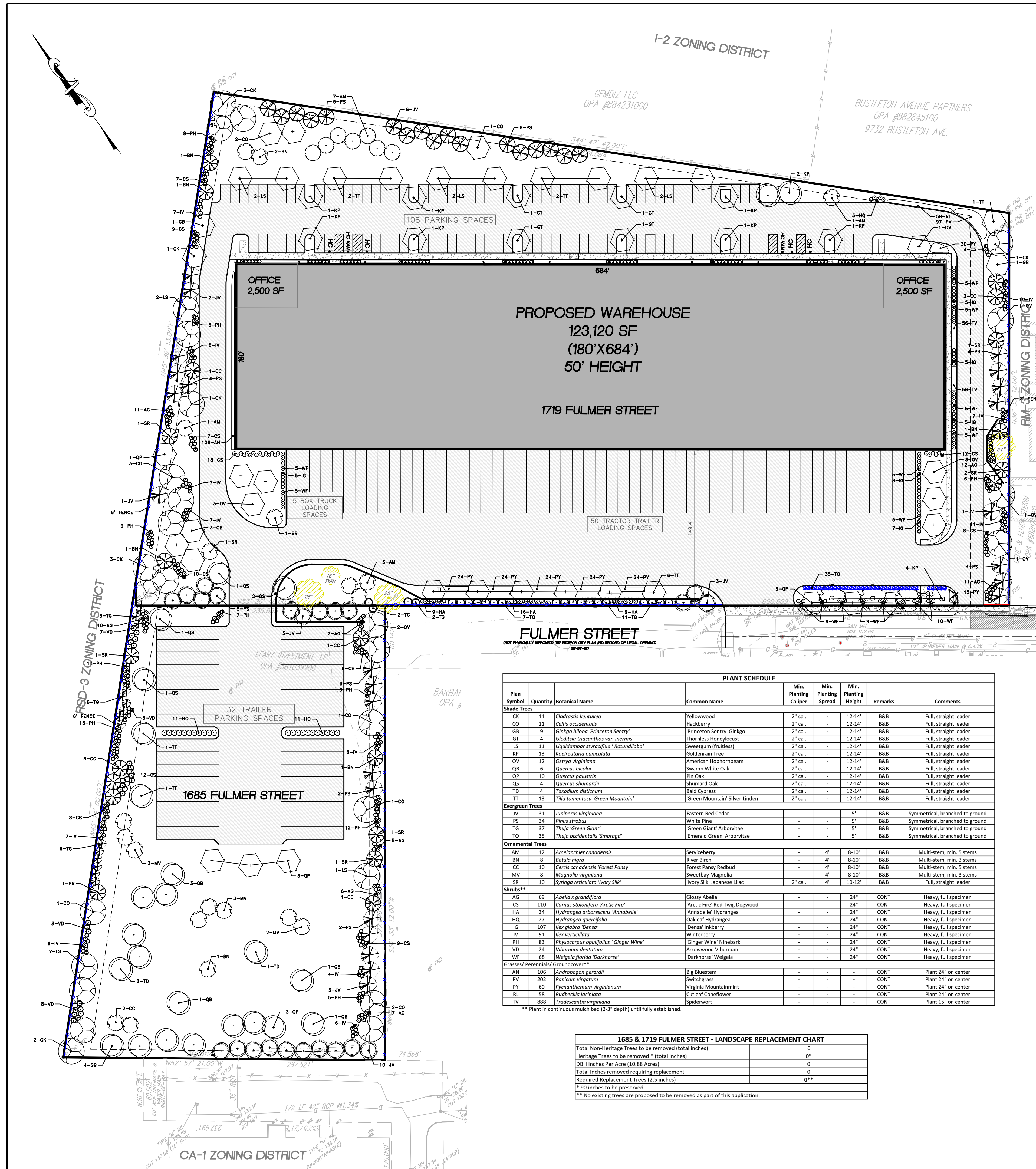
STONEMONT FINANCIAL INDUSTRIAL
1685 & 1719 FULMER STREET
OPA # 885600380 & 88500013
CITY OF PHILADELPHIA, PENNSYLVANIA

ZONING SITE PLAN

HCE Job 1487A
Date 12/19/2025
Scale 1"=50'
Designed RC
Sheet 1 of 3

Drawing No. **CO.0**





| Zoning Code | Requirement | Plan Proposed |
|--|--|---|
| Chapter 14-705(2)(b) Street Tree Requirements | (2)(a) At least one street tree per 35 ft. of linear frontage shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks. | N/A |
| Chapter 14-705(1)(b) Landscape Buffering Between Different Zoning Districts | (i) The applicant shall provide a min. 8-ft. wide buffer along the entirety of the lot line that abuts a lot in a different zoning district. (ii) Buffer shall include at least one tree and three shrubs per 20 linear feet. (iii) Buffers between Industrial and Residential zoning districts shall include a fence, wall or berm at least eight feet in height. (iv) All other landscape buffers required under this section shall include a fence, wall or berm at least six feet in height. | <p>3219 Fulmer St. Eastern property line abutting RM-2 district: 345' 345/20 = 18 trees</p> <p>1685 Fulmer St. Eastern property line abutting RSD-1 district: 437' 437/20 = 22 trees</p> <p>(437/20) x 4 = 88 shrubs</p> <p>(1)(b) A min. of 50% of the required buffer shall be evergreen species.</p> <p>(1)(b) A landscape buffer shall be provided along non-primary frontages and the side and rear lot lines of a lot in an industrial (I) zoning district that abuts a lot in a Residential (RM/ RSD) district</p> <p>1719 Fulmer St. Western property line [1719 Fulmer St.]: 473' 473/20 = 24 trees</p> <p>(473/20) x 4 = 95 shrubs</p> <p>Western property line [1685 Fulmer St.]: 490' 490/20 = 25 trees</p> <p>(490/20) x 4 = 98 shrubs</p> |
| Chapter 14-705(1)(c) Yard Tree Requirements | Trees are required to be planted in the yards of all industrial zoning districts. Parking lots, areas of required parking lot landscape, areas of required vegetated buffer areas are excluded from yard tree requirement calculations. Yard trees must be provided at a rate of one tree per 1,600 sf of open area. 1719 Fulmer St. Applicable yard area: 65,019 sf 65019/ 1600 = 40 trees | <p>1685 Fulmer St. Applicable yard area: 74,475 sf 74475/ 1600 = 47 trees</p> <p>4 shade trees 30 evergreen trees 8 ornamental trees</p> <p>21 shade trees 15 evergreen trees 11 ornamental trees</p> |
| Chapter 14-803(5)(c) Perimeter Screening from Abutting Residential Zoning District | When a parking lot/loading space abuts a lot in a Residential zoning district, a continuous screen shall be provided between the parking lot/loading space and the abutting lot. (1) For lots 5,000 sf in size or greater, the applicant shall provide a min. 8-ft wide buffer consisting of at least one tree per 20 linear feet, four shrubs per 20 linear feet, and a minimum 5-ft. high opaque fence, wall or berm. (3) A min. of 50% of the required buffer shall be evergreen species. | <p>satisfied by buffer requirements above</p> <p>satisfied by buffer requirements above</p> |
| Chapter 14-803(5)(d) Perimeter Screening from Public Streets for Parking Lots | Where there is no structure located between a parking lot/loading space and a street frontage, a landscaped area shall be installed so as to screen the view of the parking area from the street. The landscaped area shall be constructed along the entire length of the side of the parking lot/loading space that faces the street frontage. (1)(a) Along all street frontages, the applicant shall provide a min. 5-ft. wide buffer. Such buffer shall consist of at least one shade tree per 20 linear feet and four shrubs per 20 linear feet. Along Fulmer Street: 174' (not incl. driveway opening) 174/20 = 9 shade trees | <p>satisfied by interior landscape for parking lots below along with:</p> <p>4 shade trees (+ parking interior trees) 30 evergreen trees (+ parking interior shrubs)</p> |
| Chapter 14-803(5)(e) Interior Landscaping Requirements for Parking Lots | (1) Interior parking lots and off-street loading areas shall provide an interior landscaped area calculated as a min. of 30% of the total area of all parking spaces, loading spaces, driveways that provide access to parking/ loading spaces and drive aisles. 1719 Fulmer St. parking area: 140,530 sf 1685 Fulmer St. parking area: 36,458 sf Total parking areas: 173,978 sf 173978 x .30 = 52,193 sf | <p>17,516 sf of 10% interior landscape 17516/200 = 88 trees</p> <p>(17516/200) x 3 = 263 shrubs</p> <p>(17516/200) x 15 = 1314 perennials/ groundcover</p> <p>Total Landscape Proposed: 108 shade trees, 137 evergreen trees, 48 ornamental trees, 613 shrubs, 1314 perennials/groundcover</p> |

ZONING NOTE: APPLICANT IS REQUESTING A UNITY OF USE. REVIEW FOR THE SUBJECT PROPERTIES.

CURRENT OWNER:
LEARY INVESTMENT LP
PO BOX 2679
76 GRIFFITH MILES CIRCLE
WARMINSTER, PA 18974

APPLICANT/EQUITABLE OWNER:
STONEMONT FINANCIAL GROUP
THREE ALLIANCE CENTER
3550 LENOX RD. STE 1700
ATLANTA, GEORGIA 30326

EXISTING SITE ADDRESS:
1685 & 1719 FULMER STREET
PHILADELPHIA, PA 19115

Holmes Cunningham LLC
409 E. Butler Ave., Unit 6
Doylestown, PA 18901
(215) 986-3330
www.hcengineering.net

| Date | Description |
|-----------|-----------------------------|
| 3/16/2026 | REVISED FOR ZONING COMMENTS |
| 2/23/2026 | REVISED PER STREET COMMENTS |
| 4/20/2026 | REVISED PER CLIENT COMMENTS |

STONEMONT FINANCIAL INDUSTRIAL
1685 & 1719 FULMER STREET
OP# 885000380 & 885000013
CITY OF PHILADELPHIA, PENNSYLVANIA

ZONING LANDSCAPE PLAN

LANDSCAPE LEGEND

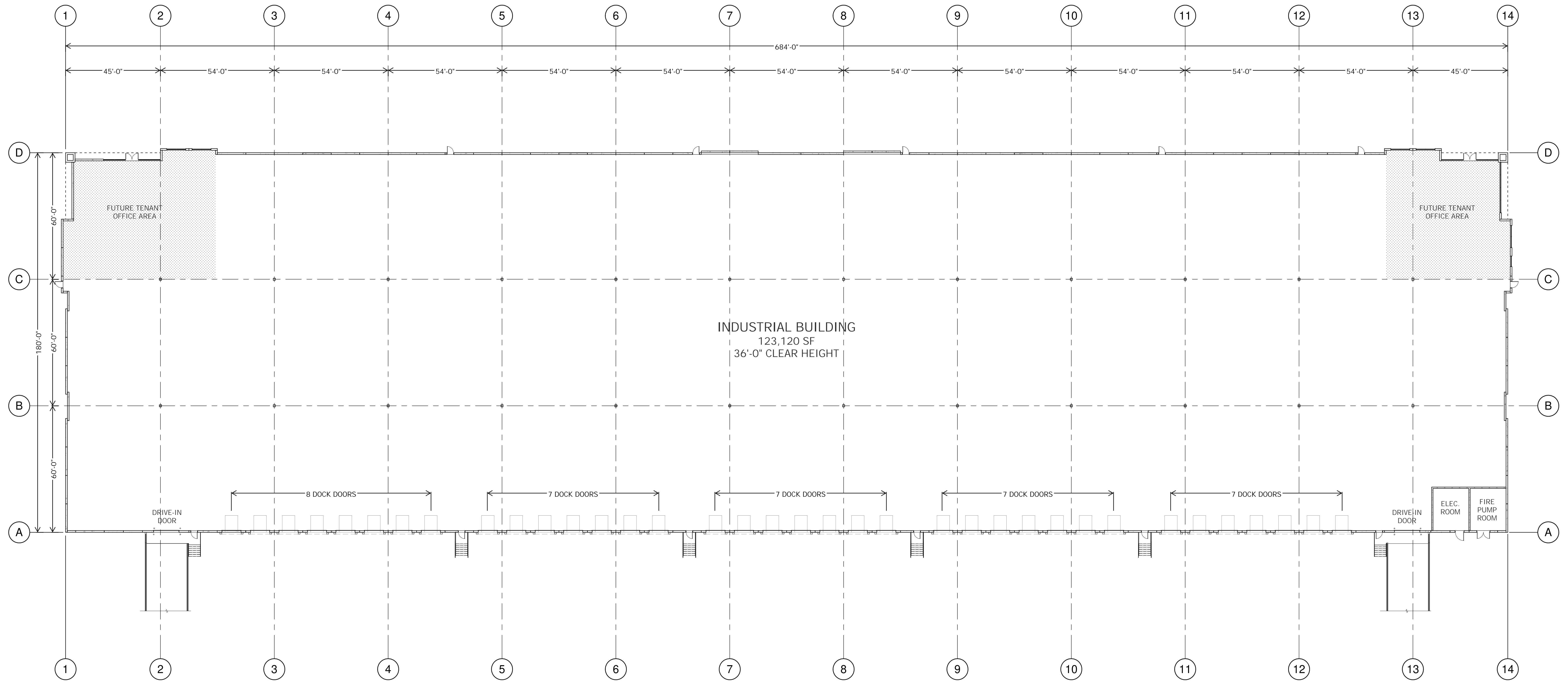
- Parking Lot Tree
- Screening Landscape
- Parking Lot Screening
- Yard Landscape
- Existing Heritage Tree
- Existing Tree (Non Heritage)
- Screening Fence
- Decorative Fence

- NOTES:
- THE EASTERN PROPERTY BOUNDARY ABUTS RM-2 ZONING DISTRICT. BUFFERING PER CHAPTER 14-803(5)(C) IS PROVIDED.
 - THE WESTERN PROPERTY BOUNDARY ABUTS RSD-3 ZONING DISTRICT. BUFFERING PER CHAPTER 14-803(5)(C) IS PROVIDED.
 - ALL EXISTING TREES ARE PROPOSED TO REMAIN WHICH ARE THE 4 HERITAGE TREES NOTED ON THE PLAN.

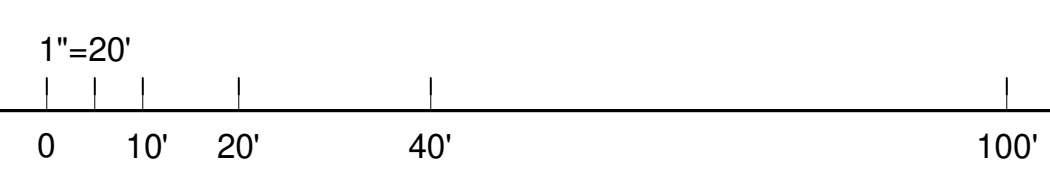
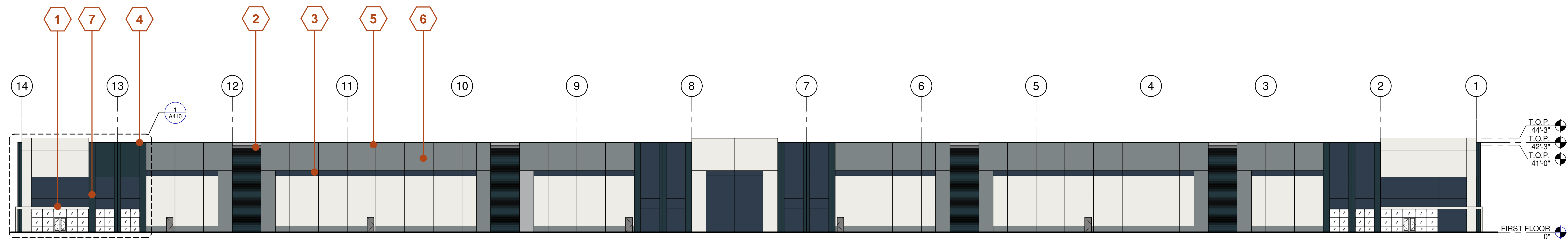
| Plan Symbol | Quantity | Botanical Name | Common Name | Min. Planting Cal. | Min. Planting Spread | Min. Planting Height | Remarks | Comments |
|---|----------|--|--------------------------------|--------------------|----------------------|----------------------|---------|---------------------------------|
| Shade Trees | | | | | | | | |
| CK | 13 | <i>Corymbia kentsukei</i> | Yellowwood | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| CO | 13 | <i>Cornus occidentalis</i> | Hackberry | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| GB | 9 | <i>Ginkgo biloba 'Princeton Sentry'</i> | Princeton Sentry Ginkgo | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| GT | 4 | <i>Gleditsia triacanthos var. inermis</i> | Thornless Honeylocust | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| LS | 13 | <i>Liquidambar styraciflua 'Reticulata'</i> | Sweetgum (Fluless) | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| KP | 13 | <i>Koelerutaria paniculata</i> | Goldenrain Tree | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| OV | 12 | <i>Quercus virginiana</i> | American Hopbalmbeam | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| OS | 6 | <i>Quercus bicolor</i> | Swamp White Oak | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| QP | 10 | <i>Quercus palustris</i> | Pin Oak | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| CO | 4 | <i>Quercus shumardii</i> | Shumard Oak | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| TD | 4 | <i>Taxodium distichum</i> | Bald Cypress | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| TT | 13 | <i>Tilia tomentosa 'Green Mountain'</i> | 'Green Mountain' Silver Linden | 2" cal. | - | 12-14' | B&B | Full, straight leader |
| Evergreen Trees | | | | | | | | |
| JV | 31 | <i>Juniperus virginiana</i> | Eastern Red Cedar | - | - | 5' | B&B | Symmetrical, branched to ground |
| PS | 34 | <i>Pinus strobus</i> | White Pine | - | - | 5' | B&B | Symmetrical, branched to ground |
| TS | 37 | <i>Thuja 'Green Giant'</i> | 'Green Giant' Arborvitae | - | - | 5' | B&B | Symmetrical, branched to ground |
| TO | 35 | <i>Thuja occidentalis 'Smaragd'</i> | 'Emerald Green' Arborvitae | - | - | 5' | B&B | Symmetrical, branched to ground |
| Ornamental Trees | | | | | | | | |
| AM | 12 | <i>Ameiobcher canadensis</i> | Serviceberry | - | 4' | 8-10' | B&B | Multi-stem, min. 5 stems |
| BN | 8 | <i>Betula nigra</i> | River Birch | - | 4' | 8-10' | B&B | Multi-stem, min. 3 stems |
| CC | 10 | <i>Cornus canadensis 'Forest Pansy'</i> | Forest Pansy Dogwood | - | 4' | 8-10' | B&B | Multi-stem, min. 5 stems |
| MV | 8 | <i>Magnolia virginiana</i> | Sweetbay Magnolia | - | 4' | 8-10' | B&B | Multi-stem, min. 3 stems |
| SR | 10 | <i>Syringa reticulata 'Wavy Silk'</i> | 'Wavy Silk' Japanese Lilac | 2" cal. | 4' | 10-12' | B&B | Full, straight leader |
| Shrubs** | | | | | | | | |
| AG | 69 | <i>Abelia x grandiflora</i> | Glossy Abelia | - | - | 24" | CONT | Heavy, full specimen |
| CS | 110 | <i>Cornus stolonifera 'Arctic Fire'</i> | 'Arctic Fire' Red Twig Dogwood | - | - | 24" | CONT | Heavy, full specimen |
| HA | 34 | <i>Hydrangea arborescens 'Annabelle'</i> | 'Annabelle' Hydrangea | - | - | 24" | CONT | Heavy, full specimen |
| HD | 27 | <i>Hydrangea quercifolia</i> | Oakleaf Hydrangea | - | - | 24" | CONT | Heavy, full specimen |
| IG | 107 | <i>Ilex glabra 'Demi'</i> | 'Demi' Holly | - | - | 24" | CONT | Heavy, full specimen |
| IV | 93 | <i>Ilex verticillata</i> | Winterberry | - | - | 24" | CONT | Heavy, full specimen |
| PH | 83 | <i>Physocarpus opulifolius 'Ginger Wine'</i> | 'Ginger Wine' Ninebark | - | - | 24" | CONT | Heavy, full specimen |
| VD | 24 | <i>Viburnum dentatum</i> | Aronwood Viburnum | - | - | 34" | CONT | Heavy, full specimen |
| WF | 68 | <i>Weigela florida 'Darkhorse'</i> | 'Darkhorse' Weigela | - | - | 24" | CONT | Heavy, full specimen |
| Grasses/ Perennials/ Groundcover** | | | | | | | | |
| AN | 105 | <i>Andropogon gerardii</i> | Big Bluestem | - | - | - | CONT | Plant 24" on center |
| PV | 202 | <i>Panicum virgatum</i> | Switchgrass | - | - | - | CONT | Plant 24" on center |
| PT | 60 | <i>Psychotrium virginianum</i> | Virginia Mountainmint | - | - | - | CONT | Plant 24" on center |
| RL | 58 | <i>Rudbeckia hirta</i> | Cutleaf Coneflower | - | - | - | CONT | Plant 24" on center |
| TV | 888 | <i>Tradescantia virginiana</i> | Spiderwort | - | - | - | CONT | Plant 15" on center |

| 1685 & 1719 FULMER STREET - LANDSCAPE REPLACEMENT CHART | |
|--|-----|
| Total Non-Heritage Trees to be removed (total inches) | 0 |
| Heritage Trees to be removed * (Total inches) | 0* |
| DBH (inches) Per Acre (10.88 Acres) | 0 |
| Total Inches removed requiring replacement | 0 |
| Required Replacement Trees (2.5 inches) | 0** |
| * 90 inches to be preserved | |
| ** No existing trees are proposed to be removed as part of this application. | |

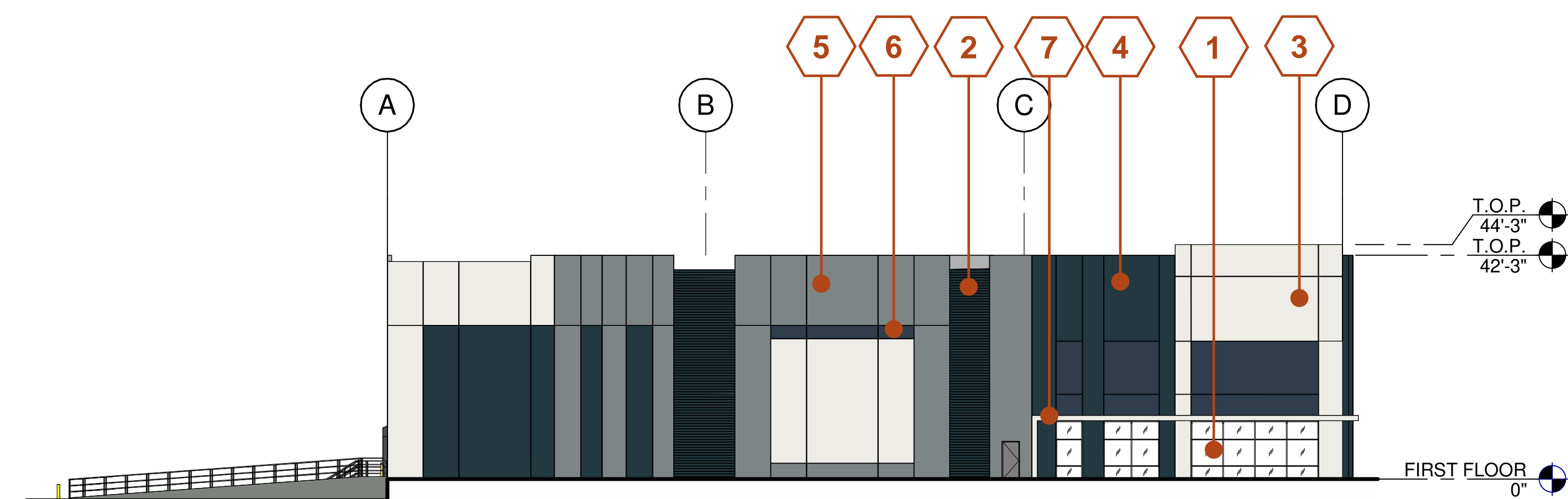




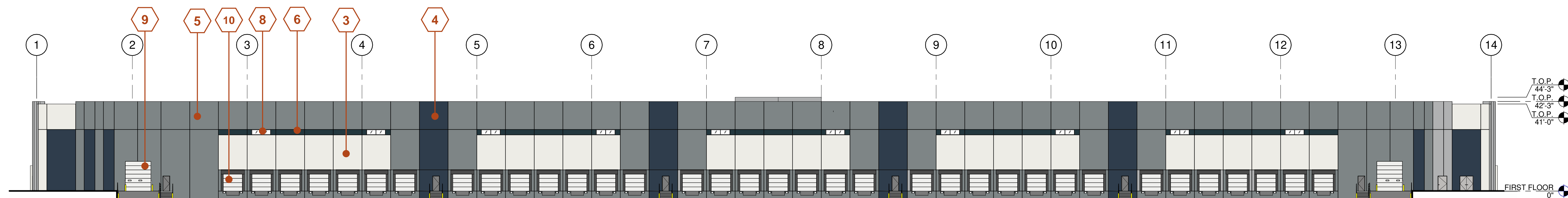
SCALE: 1" = 20'



NORTH EXTERIOR ELEVATION ①
SCALE: 1" = 20'-0"



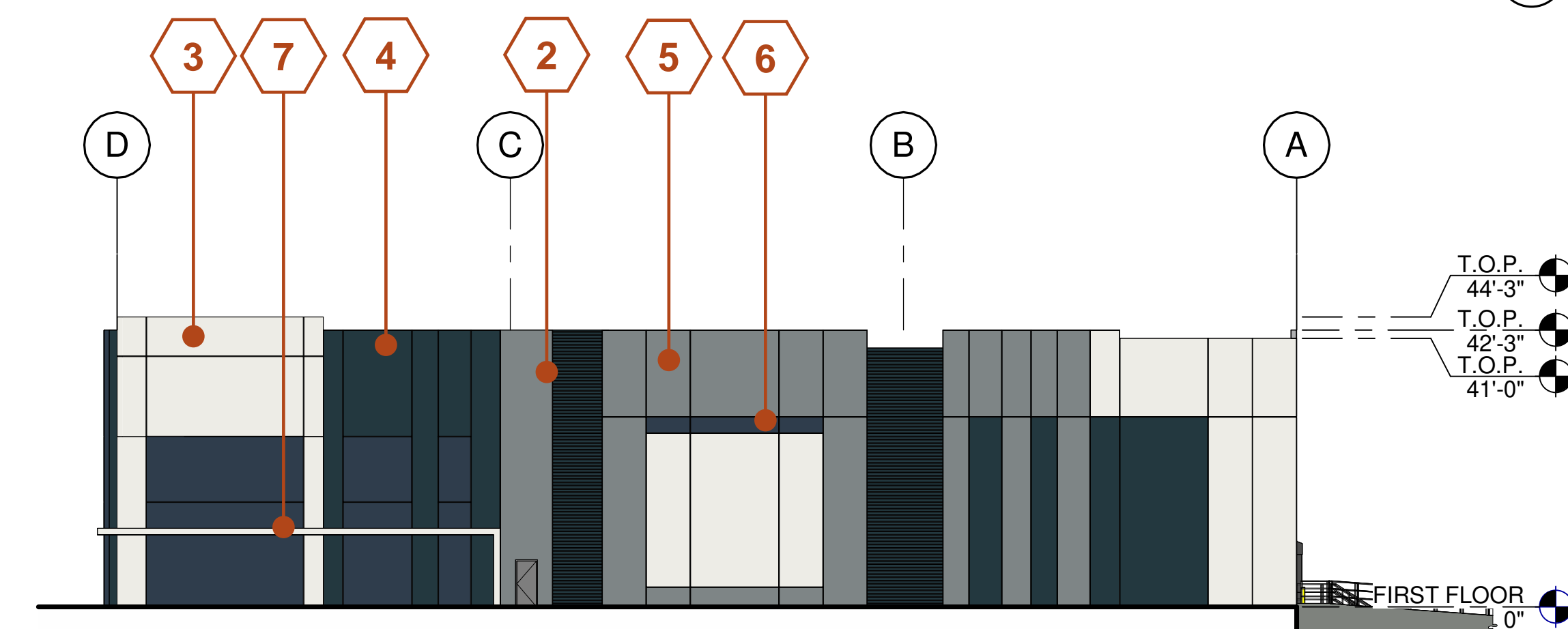
EAST EXTERIOR ELEVATION ②
SCALE: 1" = 20'-0"



SOUTH EXTERIOR ELEVATION ③
SCALE: 1" = 20'-0"

- ① STOREFRONT SYSTEM
CLEAR ALUMINIUM MULLION WITH
CLEAR VISION GLAZING
- ② FORMLINER
TBD
- ③ EXTERIOR PAINT 01
SW 7005 PURE WHITE
- ④ EXTERIOR PAINT 02
SW 6237 DARK NIGHT

- ⑤ EXTERIOR PAINT 03
SW 7074 SOFTWARE
- ⑥ EXTERIOR PAINT 04
SW 6244 NAVAL
- ⑦ METAL CANOPY
MATTE FINISH ALUCOBOND :WHITE
- ⑧ CLERESTORY
- ⑨ DRIVE-IN DOOR
- ⑩ OVERHEAD DOOR



WEST EXTERIOR ELEVATION ④
SCALE: 1" = 20'-0"



nuveen

1719 FULMER STREET - PHILADELPHIA, PA - NJY25-0081-00

EXTERIOR ELEVATIONS

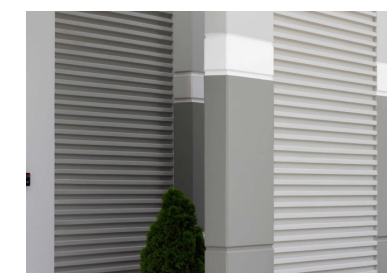
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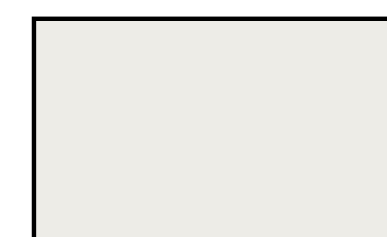
MATERIAL PALETTE



1 STOREFRONT SYSTEM
CLEAR ALUMINIUM MULLION WITH
CLEAR VISION GLAZING



2 FORMLINER
TBD



3 EXTERIOR PAINT 01
SW 7005 PURE WHITE



4 EXTERIOR PAINT 02
SW 6237 DARK NIGHT



5 EXTERIOR PAINT 03
SW 7074 SOFTWARE



6 EXTERIOR PAINT 04
SW 6244 NAVAL



7 METAL CANOPY
MATTE FINISH ALUCOBOND :WHITE



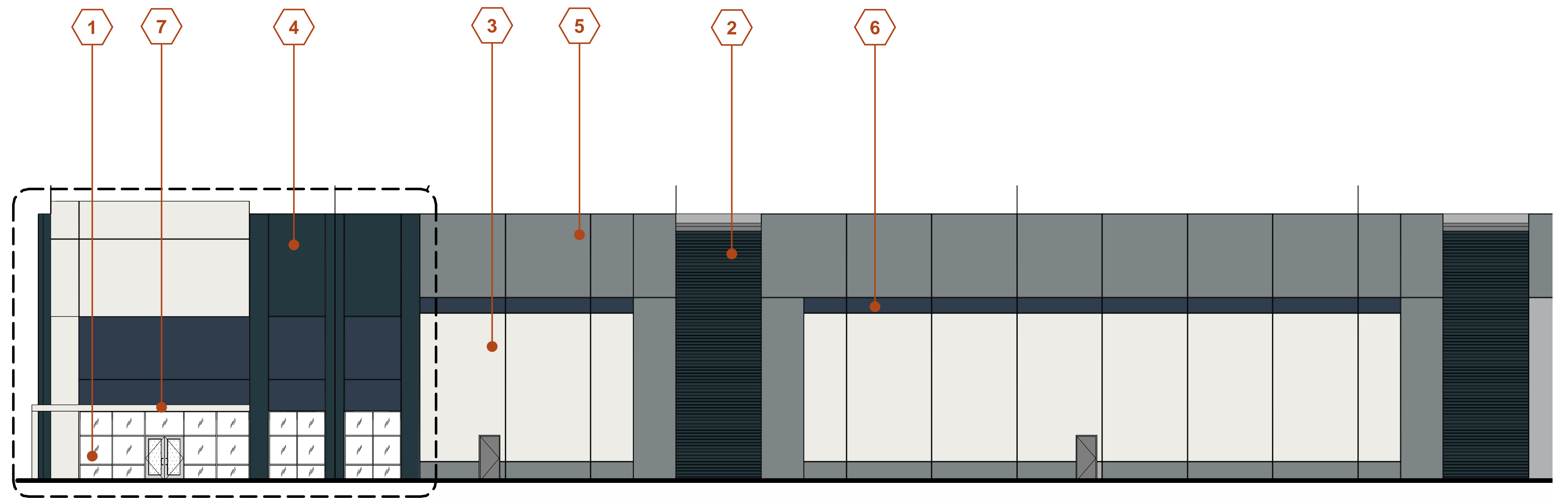
8 CLERESTORY



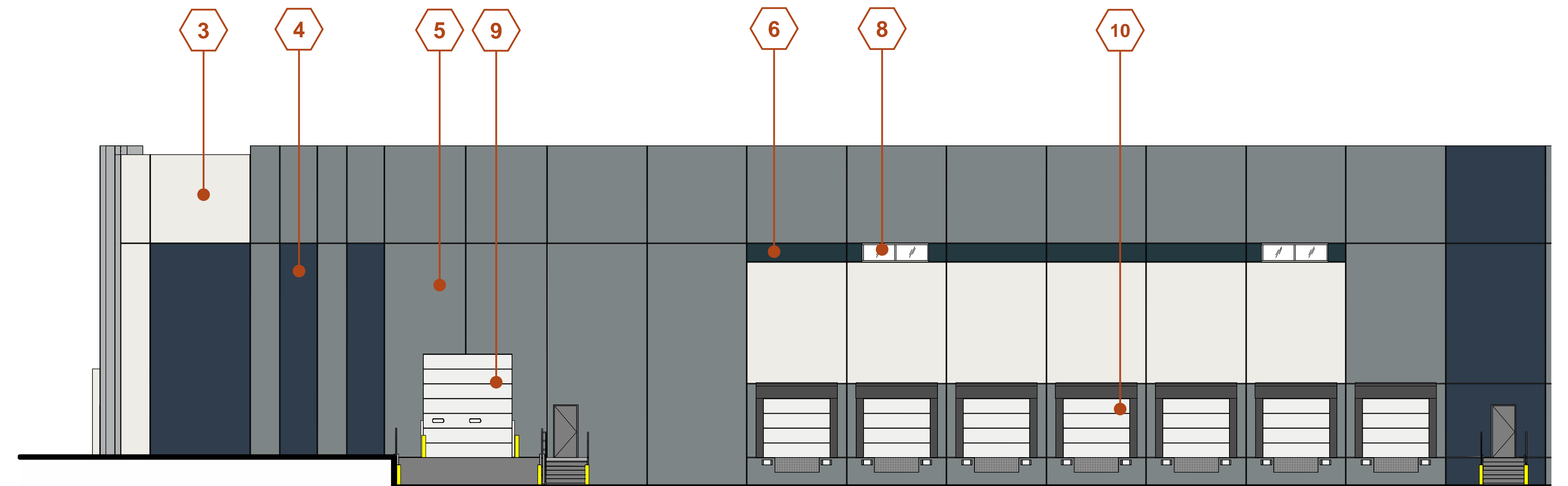
9 DRIVE-IN DOOR



10 OVERHEAD DOOR



ENLARGED NORTH ELEVATION



ENLARGED SOUTH ELEVATION











| Water Efficiency | | |
|---|---|--|
| (6) Outdoor Water Use | Maintain on-site vegetation without irrigation. OR, Reduce of watering requirements at least 50% from the calculated baseline for the site's peak watering month. | The site proposes landscaping that will not require irrigation once established. |
| Sustainable Sites | | |
| (7) Pervious Site Surfaces | Provides vegetated and/or pervious open space that is 30% or greater of the site's Open Area, as defined by the zoning code. Vegetated and/or green roofs can be included in this calculation. | The site proposes 35% green / pervious area, where 0% is required. |
| (8) Rainwater Management | Conform to the stormwater requirements of the Philadelphia Water Department(PWD) and either: A) Develop a green street and donate it to PWD, designed and constructed in accordance with the PWD Green Streets Design Manual, OR B) Manage additional runoff from adjacent streets on the development site, designed and constructed in accordance with specifications of the PWD Stormwater Management Regulations | The site does not propose a Green Street or capture and treat road runoff. The elevation of the existing road does not allow for capture and management on-site, however the site is reducing the runoff on-site to account for the off-site road work proposed so that all PWD standards will be met. |
| (9) Heat Island Reduction (excluding roofs) | Reduce the heat island effect through either of the following strategies for 50% or more of all on-site hardscapes: A) Hardscapes that have a high reflectance, an SRI>29. B) Shading by trees, structures, or solar panels. | Shade trees are provided throughout the auto parking lot and around the perimeter of the site's paved areas to help minimize the heat island effect. |
| Energy and Atmosphere | | |
| (10) Energy Commissioning and Energy Performance - Adherence to the New Building Code | PCPC notes that as of April 1, 2019 new energy conservation standards are required in the Philadelphia Building Code, based on recent updates of the International Energy Conservation Code (IECC) and the option to use ASHRAE 90.01-2016. PCPC staff asks the applicant to state which path they are taking for compliance, including their choice of code and any options being pursued under the 2018 IECC. ⁱⁱ | The project shall follow the requirements of 2018 IECC and will demonstrate Energy Code compliance using ComCheck. |
| (11) Energy Commissioning and Energy Performance - Going beyond the code | Will the project pursue energy performance measures beyond what is required in the Philadelphia code by meeting any of these benchmarks? ⁱⁱⁱ •Reduce energy consumption by achieving 10% energy savings or more from an established baseline using | Best practices will be followed in selecting energy efficient building and site lighting fixtures, with motion sensors where applicable to minimize usage. |

Civic Design Review Sustainable Design Checklist

Sustainable design represents important city-wide concerns about environmental conservation and energy use. Development teams should try to integrate elements that meet many goals, including:

- Reuse of existing building stock
- Incorporation of existing on-site natural habitats and landscape elements
- Inclusion of high-performing stormwater control
- Site and building massing to maximize daylight and reduce shading on adjacent sites
- Reduction of energy use and the production of greenhouse gases
- Promotion of reasonable access to transportation alternatives

The Sustainable Design Checklist asks for responses to specific benchmarks. These metrics go above and beyond the minimum requirements in the Zoning and Building codes. All benchmarks are based on adaptations from Leadership in Energy and Environmental Design (LEED) v4 unless otherwise noted.

| Categories | Benchmark | Does project meet benchmark? If yes, please explain how. If no, please explain why not. |
|--|---|---|
| Location and Transportation | | |
| (1) Access to Quality Transit | Locate a functional entry of the project within a ¼-mile (400-meter) walking distance of existing or planned bus, streetcar, or rideshare stops, bus rapid transit stops, light or heavy rail stations. | Yes, a bus stop is located at the nearest intersection, less than 200' from the property line. |
| (2) Reduced Parking Footprint | All new parking areas will be in the rear yard of the property or under the building, and unenclosed or uncovered parking areas are 40% or less of the site area. | Auto Parking is located in the rear yard of the property, with the loading court located in the front due to existing site grades |
| (3) Green Vehicles | Designate 5% of all parking spaces used by the project as preferred parking for green vehicles or car share vehicles. Clearly identify and enforce for sole use by car share or green vehicles, which include plug-in electric vehicles and alternative fuel vehicles. | No, this project does not provide preferred parking for electric vehicles, as not required by code. |
| (4) Railway Setbacks (Excluding frontages facing trolleys/light rail or enclosed subsurface rail lines or subways) | To foster safety and maintain a quality of life protected from excessive noise and vibration, residential development with railway frontages should be setback from rail lines and the building's exterior envelope, including windows, should reduce exterior sound transmission to 60dBA. (If setback used, specify distance) | N/A - this development does not include residential uses. |
| (5) Bike Share Station | Incorporate a bike share station in coordination with and conformance to the standards of Philadelphia Bike Share. | Bike share station is not included, however 13 bicycle stalls are provided. |

| | ASHRAE standard 90.1-2016 (LEED v4.1 metric). •Achieve certification in Energy Star for Multifamily New Construction (MFNC). •Achieve Passive House Certification | |
|--|---|--|
| (12) Indoor Air Quality and Transportation | Any sites within 1000 feet of an interstate highway, state highway, or freeway will provide air filters for all regularly occupied spaces that have a Minimum Efficiency Reporting Value (MERV) of 13. Filters shall be installed prior to occupancy. ^{iv} | Property is not within 1,000 feet of a highway - air filters are not planned at this time. |
| (13) On-Site Renewable Energy | Produce renewable energy on-site that will provide at least 3% of the project's anticipated energy usage. | None planned at this time, however rooftop solar is being considered by the applicant. |
| Innovation | | |
| (14) Innovation | Any other sustainable measures that could positively impact the public realm. | None at this time. Applicant will continue to explore options for increased sustainability through the remainder of building design. |

ⁱ Railway Association of Canada (RAC)'s "Guidelines for New Development in Proximity to Railway Operations. Exterior Sound transmission standard from LEED v4, BD+C, Acoustic Performance Credit.

ⁱⁱ Title 4 The Philadelphia Building Construction and Occupancy Code See also, "The Commercial Energy Code Compliance" information sheet: <https://www.phila.gov/li/Documents/Commercial%20Energy%20Code%20Compliance%20Fact%20Sheet--Final.pdf> and the "What Code Do I Use" information sheet: <https://www.phila.gov/li/Documents/What%20Code%20Do%20I%20Use.pdf>

ⁱⁱⁱ LEED 4.1, Optimize Energy Performance in LEED v4.1 For Energy Star: www.energystar.gov For Passive House, see www.phius.org

^{iv} Section 99.04.504.6 "Filters" of the City of Los Angeles Municipal Code, from a 2016 Los Angeles Ordinance requiring enhanced air filters in homes near freeways

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



INSTRUCTIONS

This Checklist is an implementation tool of the *Philadelphia Complete Streets Handbook* (the “Handbook”) and enables City engineers and planners to review projects for their compliance with the Handbook’s policies. The handbook provides design guidance and does not supersede or replace language, standards or policies established in the City Code, City Plan, or Manual on Uniform Traffic Control Devices (MUTCD).

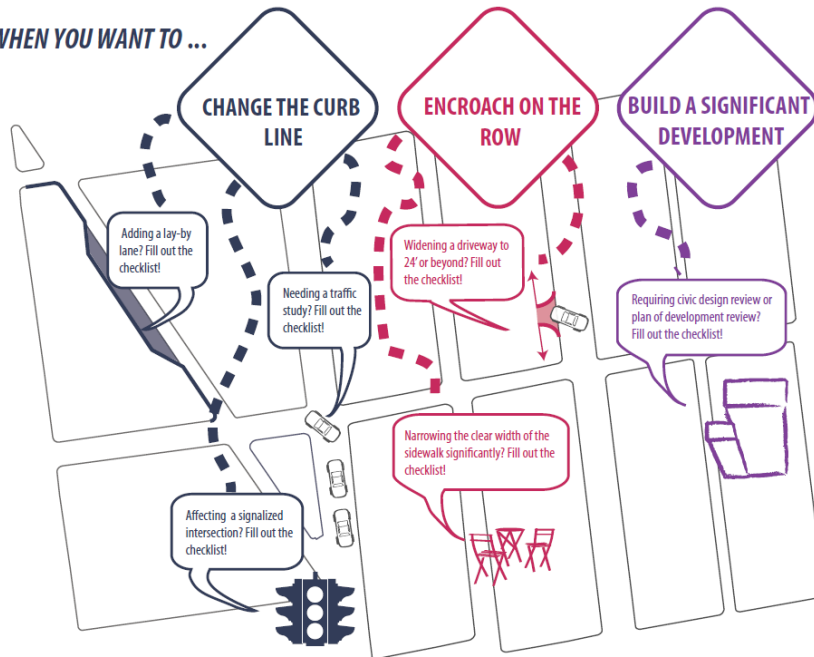
The Philadelphia City Planning Commission receives this Checklist as a function of its Civic Design Review (CDR) process. This checklist is used to document how project applicants considered and accommodated the needs of all users of city streets and sidewalks during the planning and/or design of projects affecting public rights-of-way. Departmental reviewers will use this checklist to confirm that submitted designs incorporate complete streets considerations (see §11-901 of The Philadelphia Code). Applicants for projects that require Civic Design Review shall complete this checklist and attach it to plans submitted to the Philadelphia City Planning Commission for review, along with an electronic version.

The Handbook and the checklist can be accessed at

<http://www.phila.gov/CityPlanning/projectreviews/Pages/CivicDesignReview.aspx>

WHEN DO I NEED TO FILL OUT THE COMPLETE STREETS CHECKLIST?

WHEN YOU WANT TO ...



PRELIMINARY PCPC REVIEW AND COMMENT:

DATE

FINAL STREETS DEPT REVIEW AND COMMENT:

DATE

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



INSTRUCTIONS (continued)

APPLICANTS SHOULD MAKE SURE TO COMPLY WITH THE FOLLOWING REQUIREMENTS:

This checklist is designed to be filled out electronically in Microsoft Word format. Please submit the Word version of the checklist. Text fields will expand automatically as you type.

All plans submitted for review must clearly dimension the widths of the Furnishing, Walking, and Building Zones (as defined in Section 1 of the Handbook). "High Priority" Complete Streets treatments (identified in Table 1 and subsequent sections of the Handbook) should be identified and dimensioned on plans.

All plans submitted for review must clearly identify and site all street furniture, including but not limited to bus shelters, street signs and hydrants.

Any project that calls for the development and installation of medians, bio-swales and other such features in the right-of-way may require a maintenance agreement with the Streets Department.

ADA curb-ramp designs must be submitted to Streets Department for review

Any project that significantly changes the curb line may require a City Plan Action. The City Plan Action Application is available at <http://www.philadelphiastreet.com/survey-and-design-bureau/city-plans-unit>. An application to the Streets Department for a City Plan Action is required when a project plan proposes the:

- Placing of a new street;
- Removal of an existing street;
- Changes to roadway grades, curb lines, or widths; or
- Placing or striking a city utility right-of-way.

Complete Streets Review Submission Requirement*:

- EXISTING CONDITIONS SITE PLAN, should be at an identified standard engineering scale
 - FULLY DIMENSIONED
 - CURB CUTS/DRIVEWAYS/LAYBY LANES
 - TREE PITS/LANDSCAPING
 - BICYCLE RACKS/STATIONS/STORAGE AREAS
 - TRANSIT SHELTERS/STAIRWAYS
- PROPOSED CONDITIONS SITE PLAN, should be at an identified standard engineering scale
 - FULLY DIMENSIONED, INCLUDING DELINEATION OF WALKING, FURNISHING, AND BUILDING ZONES AND PINCH POINTS
 - PROPOSED CURB CUTS/DRIVEWAYS/LAYBY LANES
 - PROPOSED TREE PITS/LANDSCAPING
 - BICYCLE RACKS/STATIONS/STORAGE AREAS
 - TRANSIT SHELTERS/STAIRWAYS

***APPLICANTS PLEASE NOTE: ONLY FULL-SIZE, READABLE SITE PLANS WILL BE ACCEPTED. ADDITIONAL PLANS MAY BE REQUIRED AND WILL BE REQUESTED IF NECESSARY**

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



GENERAL PROJECT INFORMATION

- | | |
|---|---|
| <p>1. PROJECT NAME <u>1719 Fulmer Street</u></p> <p>3. APPLICANT NAME Tony Poole</p> <p>4. APPLICANT CONTACT INFORMATION tony.poole@stonemontfinancial.com <u>(404) 867-3005</u></p> <p>6. OWNER NAME SIF III Fulmer Business Center LLC c/o Nuveen Alternative Advisor LLC 2300 N. Field St. Ste 1650 Dallas Texas 75201</p> <p>7. OWNER CONTACT INFORMATION <u>Gabriel Schultz</u> gabriel.schultz@nuveen.com</p> <p>8. ENGINEER / ARCHITECT NAME <u>Joseph D. Janos, P.E.</u></p> <p>9. ENGINEER / ARCHITECT CONTACT INFORMATION <u>Traffic Planning & Design, Inc. 1617</u> <u>JFK Boulevard, Suite 1230</u> <u>Philadelphia, PA 19103</u> <u>Phone: 215-622-2525</u> <u>Email: JJanos@TrafficPD.com</u></p> <p>10. STREETS: List the streets associated with the project. Complete Streets Types can be found at www.phila.gov/map under the "Complete Street Types" field. Complete Streets Types are also identified in Section 3 of the Handbook.</p> | <p>2. DATE <u>03/25/2026</u></p> <p>5. PROJECT AREA: list precise street limits and scope <u>Proposed Industrial Development at 1685 & 1719 Fulmer Street. Work includes widening of Fulmer Street for the construction of one (1) new full-access driveway apron approx. 470' NW of the intersection of Fulmer Street and Bustleton Avenue also one (1) new full-access driveway apron approx. 260' NW of the intersection of Fulmer Street and Bustleton Avenue. New sidewalk and curb along the northern side of Fulmer Street, existing driveway apron upgrades at the two accesses of the adjacent property located approx. 85' and 195' NW of the intersection of Fulmer Street and Bustleton Avenue, and roadway rehabilitation for the full width of Fulmer Street within the limits of work.</u></p> |
|---|---|

Also available here: <http://metadata.phila.gov/#home/datasetdetails/5543867320583086178c4f34/>

| STREET | FROM | TO | COMPLETE STREET TYPE |
|----------------------|-------------------------|---------------------|----------------------------------|
| <u>Fulmer Street</u> | <u>Bustleton Avenue</u> | <u>Banes Street</u> | <u>Lower Density Residential</u> |
| _____ | _____ | _____ | _____ |
| _____ | _____ | _____ | _____ |
| _____ | _____ | _____ | _____ |

11. Does the **Existing Conditions** site survey clearly identify the following existing conditions with dimensions?
- | | | | |
|---|---|-----------------------------|---|
| a. Parking and loading regulations in curb lanes adjacent to the site | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | |
| b. Street Furniture such as bus shelters, honor boxes, etc. | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| c. Street Direction | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | |
| d. Curb Cuts | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> |
| e. Utilities, including tree grates, vault covers, manholes, junction boxes, signs, lights, poles, etc. | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> |

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



f. Building Extensions into the sidewalk, such as stairs and stoops YES NO N/A

APPLICANT: General Project Information

Additional Explanation / Comments: Nothing additional.

DEPARTMENTAL REVIEW: General Project Information

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



PEDESTRIAN COMPONENT (Handbook Section 4.3)

12. SIDEWALK: list Sidewalk widths for each street frontage. Required Sidewalk widths are listed in Section 4.3 of the Handbook.

| STREET FRONTAGE | TYPICAL SIDEWALK WIDTH (BUILDING LINE TO CURB) Required / Existing / Proposed | CITY PLAN SIDEWALK WIDTH Existing / Proposed |
|----------------------|---|--|
| Fulmer Street | 10 / 0 / 10 | 13 / 10 |
| _____ | ____ / ____ / ____ | ____ / ____ |
| _____ | ____ / ____ / ____ | ____ / ____ |
| _____ | ____ / ____ / ____ | ____ / ____ |

13. WALKING ZONE: list Walking Zone widths for each street frontage. The Walking Zone is defined in Section 4.3 of the Handbook, including required widths.

| STREET FRONTAGE | WALKING ZONE Required / Existing / Proposed |
|--|--|
| Fulmer Street (West of STA 02+10) | 5 / 0 / 6 |
| Fulmer Street (East of STA 02+10) | 5 / 0 / 5 |
| _____ | ____ / ____ / ____ |
| _____ | ____ / ____ / ____ |

14. VEHICULAR INTRUSIONS: list Vehicular Intrusions into the sidewalk. Examples include but are not limited to; driveways, lay-by lanes, etc. Driveways and lay-by lanes are addressed in sections 4.8.1 and 4.6.3, respectively, of the Handbook.

EXISTING VEHICULAR INTRUSIONS

| INTRUSION TYPE | INTRUSION WIDTH | PLACEMENT |
|--------------------------------|-----------------|--|
| Driveway (Site Drive A) | 34' | Approx. 195' NW of Fulmer Street & Bustleton Avenue |
| Driveway (Site Drive B) | 34' | Approx. 85' NW of Fulmer Street & Bustleton Avenue |
| _____ | _____ | _____ |
| _____ | _____ | _____ |

PROPOSED VEHICULAR INTRUSIONS

| INTRUSION TYPE | INTRUSION WIDTH | PLACEMENT |
|----------------------|-----------------|--|
| Site Access A | 75' | Approx. 470' NW of Fulmer Street & Bustleton Avenue |
| Site Access B | 24' | Approx. 260' NW of Fulmer Street & Bustleton Avenue |
| _____ | _____ | _____ |
| _____ | _____ | _____ |

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



PEDESTRIAN COMPONENT (continued)

DEPARTMENTAL
APPROVAL

15. When considering the overall design, does it create or enhance a pedestrian environment that provides safe and comfortable access for all pedestrians at all times of the day?

YES NO

YES NO

APPLICANT: Pedestrian Component

Additional Explanation / Comments: The walking zone of the proposed sidewalk located along the northern side of Fulmer Street and east of STA 02+10 has been lowered from 6' to 5' to tie into the existing sidewalk at the intersection of Bustleton Avenue.

DEPARTMENTAL REVIEW: Pedestrian Component

Reviewer Comments:

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



BUILDING & FURNISHING COMPONENT (Handbook Section 4.4)

16. BUILDING ZONE: list the MAXIMUM, **existing and proposed** Building Zone width on each street frontage. The Building Zone is defined as the area of the sidewalk immediately adjacent to the building face, wall, or fence marking the property line, or a lawn in lower density residential neighborhoods. The Building Zone is further defined in section 4.4.1 of the Handbook.

| STREET FRONTAGE | MAXIMUM BUILDING ZONE WIDTH Existing / Proposed |
|----------------------|--|
| Fulmer Street | 13 / 0 |
| _____ | ____ / ____ |
| _____ | ____ / ____ |
| _____ | ____ / ____ |

17. FURNISHING ZONE: list the MINIMUM, **recommended, existing, and proposed** Furnishing Zone widths on each street frontage. The Furnishing Zone is further defined in section 4.4.2 of the Handbook.

| STREET FRONTAGE | MINIMUM FURNISHING ZONE WIDTH Recommended / Existing / Proposed |
|--|--|
| Fulmer Street (West of STA 02+10) | 3.5 / 0 / 4 |
| Fulmer Street (East of STA 02+10) | 3.5 / 0 / 3.5 |
| _____ | ____ / ____ / ____ |
| _____ | ____ / ____ / ____ |

18. Identify proposed “high priority” building and furnishing zone design treatments that are incorporated into the design plan, where width permits (see Handbook Table 1). Are the following treatments identified and dimensioned on the plan?

- Bicycle Parking
- Lighting
- Benches
- Street Trees
- Street Furniture

- YES NO N/A
 YES NO N/A
 YES NO N/A
 YES NO N/A
 YES NO N/A
 YES NO N/A
 YES NO N/A

DEPARTMENTAL APPROVAL

- YES NO
 YES NO
 YES NO
 YES NO
 YES NO
 YES NO
 YES NO

19. Does the design avoid tripping hazards?

- YES NO N/A

20. Does the design avoid pinch points? Pinch points are locations where the Walking Zone width is less than the required width identified in item 13, or requires an exception

- YES NO N/A

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



BUILDING & FURNISHING COMPONENT (continued)

- | | | |
|---|--|--|
| 21. Do street trees and/or plants comply with street installation requirements (see sections 4.4.7 & 4.4.8) | YES <input type="checkbox"/> NO <input type="checkbox"/> N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 22. Does the design maintain adequate visibility for all roadway users at intersections? | YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A <input type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |

APPLICANT: Building & Furnishing Component

Additional Explanation / Comments: The furnishing zone of the proposed sidewalk located along the northern side of Fulmer Street and east of STA 02+10 has been lowered from 4' to 3.5' to tie into the existing sidewalk at the intersection of Bustleton Avenue. There is no sidewalk in existing conditions so maximum building zone width is shown as 13'.

DEPARTMENTAL REVIEW: Building & Furnishing Component

Reviewer Comments:

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



BICYCLE COMPONENT (Handbook Section 4.5)

23. List elements of the project that incorporate recommendations of the Pedestrian and Bicycle Plan, located online at <http://phila2035.org/wp-content/uploads/2012/06/bikePedfinal2.pdf>

24. List the existing and proposed number of bicycle parking spaces, on- and off-street. Bicycle parking requirements are provided in The Philadelphia Code, Section 14-804.

| BUILDING / ADDRESS | REQUIRED SPACES | ON-STREET | ON SIDEWALK | OFF-STREET |
|--------------------|-----------------|---------------------|---------------------|---------------------|
| | | Existing / Proposed | Existing / Proposed | Existing / Proposed |
| _____ | _____ | ____ / ____ | ____ / ____ | ____ / ____ |
| _____ | _____ | ____ / ____ | ____ / ____ | ____ / ____ |
| _____ | _____ | ____ / ____ | ____ / ____ | ____ / ____ |
| _____ | _____ | ____ / ____ | ____ / ____ | ____ / ____ |

25. Identify proposed “high priority” bicycle design treatments (see Handbook Table 1) that are incorporated into the design plan, where width permits. Are the following “High Priority” elements identified and dimensioned on the plan?

- Conventional Bike Lane
- Buffered Bike Lane
- Bicycle-Friendly Street
- Indego Bicycle Share Station

YES NO N/A

YES NO N/A

YES NO N/A

YES NO N/A

DEPARTMENTAL APPROVAL

YES NO

YES NO

YES NO

YES NO

26. Does the design provide bicycle connections to local bicycle, trail, and transit networks?

YES NO N/A

YES NO

27. Does the design provide convenient bicycle connections to residences, work places, and other destinations?

YES NO N/A

YES NO

APPLICANT: Bicycle Component

Additional Explanation / Comments: The scope of work associated with this project only pertains to the addition of the site driveways and modification of the existing accesses at the adjacent property, with roadway widening to accommodate a WB-62 design vehicle. Therefore, the roadway layout of Fulmer Street is to remain as existing.

DEPARTMENTAL REVIEW: Bicycle Component

Reviewer Comments:

COMPLETE STREETS HANDBOOK CHECKLIST

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CURBSIDE MANAGEMENT COMPONENT (Handbook Section 4.6)

- | | | |
|---|--|---|
| 28. Does the design limit conflict among transportation modes along the curb? | YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> | DEPARTMENTAL APPROVAL YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 29. Does the design connect transit stops to the surrounding pedestrian network and destinations? | YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A <input type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 30. Does the design provide a buffer between the roadway and pedestrian traffic? | YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A <input type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 31. How does the proposed plan affect the accessibility, visibility, connectivity, and/or attractiveness of public transit? | | YES <input type="checkbox"/> NO <input type="checkbox"/> |

The proposed design provides an ADA compliant connection from the intersection of Fulmer Street and Bustleton Avenue to the proposed site at the driveway access, through the adjacent existing property's frontage. This design also provides access to the existing bus stop at the intersection of Fulmer Street and Bustleton Avenue.

APPLICANT: Curbside Management Component

Additional Explanation / Comments: Nothing additional.

DEPARTMENTAL REVIEW: Curbside Management Component

Reviewer Comments:

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



VEHICLE / CARTWAY COMPONENT (Handbook Section 4.7)

32. If lane changes are proposed, identify existing and proposed lane widths and the design speed for each street frontage;

| STREET | FROM | TO | LANE WIDTHS Existing / Proposed | DESIGN SPEED |
|--|-------------------------------|----------------------------|------------------------------------|---------------------------|
| <u>Northern side of Fulmer Street</u> | <u>Busleton Avenue</u> | <u>Banes Street</u> | <u>12 / 12.5</u> | <u>None Posted</u> |
| _____ | _____ | _____ | ____ / ____ | _____ |
| _____ | _____ | _____ | ____ / ____ | _____ |
| _____ | _____ | _____ | ____ / ____ | _____ |

33. What is the maximum AASHTO design vehicle being accommodated by the design? WB-62

34. Will the project affect a historically certified street? An [inventory of historic streets](#)⁽¹⁾ is maintained by the Philadelphia Historical Commission. YES NO

35. Will the public right-of-way be used for loading and unloading activities? YES NO

36. Does the design maintain emergency vehicle access? YES NO

37. Where new streets are being developed, does the design connect and extend the street grid? YES NO N/A

38. Does the design support multiple alternative routes to and from destinations as well as within the site? YES NO N/A

39. Overall, does the design balance vehicle mobility with the mobility and access of all other roadway users? YES NO

DEPARTMENTAL APPROVAL

YES NO

YES NO

YES NO

YES NO

YES NO

YES NO

YES NO

APPLICANT: Vehicle / Cartway Component

Additional Explanation / Comments: Nothing additional.

DEPARTMENTAL REVIEW: Vehicle / Cartway Component

Reviewer Comments:

(1) http://www.philadelphiastreet.com/images/uploads/documents/Historical_Street_Paving.pdf

COMPLETE STREETS HANDBOOK CHECKLIST

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URBAN DESIGN COMPONENT (Handbook Section 4.8)

- 40. Does the design incorporate windows, storefronts, and other active uses facing the street?
- 41. Does the design provide driveway access that safely manages pedestrian / bicycle conflicts with vehicles (see Section 4.8.1)?
- 42. Does the design provide direct, safe, and accessible connections between transit stops/stations and building access points and destinations within the site?

YES NO N/A

YES NO N/A

YES NO N/A

DEPARTMENTAL APPROVAL

YES NO

YES NO

YES NO

APPLICANT: Urban Design Component

Additional Explanation / Comments: Nothing additional.

DEPARTMENTAL REVIEW: Urban Design Component

Reviewer Comments: _____

COMPLETE STREETS HANDBOOK CHECKLIST

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INTERSECTIONS & CROSSINGS COMPONENT (Handbook Section 4.9)

43. If signal cycle changes are proposed, please identify Existing and Proposed Signal Cycle lengths; if not, go to question No. 48.

| SIGNAL LOCATION | EXISTING CYCLE LENGTH | PROPOSED CYCLE LENGTH |
|-----------------|-----------------------|-----------------------|
| _____ | _____ | _____ |
| _____ | _____ | _____ |
| _____ | _____ | _____ |
| _____ | _____ | _____ |

- | | | | DEPARTMENTAL APPROVAL | | |
|---|---|-----------------------------|------------------------------|------------------------------|-----------------------------|
| | | | YES | NO | |
| 44. Does the design minimize the signal cycle length to reduce pedestrian wait time? | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| 45. Does the design provide adequate clearance time for pedestrians to cross streets? | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| 46. Does the design minimize pedestrian crossing distances by narrowing streets or travel lanes, extending curbs, reducing curb radii, or using medians or refuge islands to break up long crossings? <i>If yes, City Plan Action may be required.</i> | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| 47. Identify "High Priority" intersection and crossing design treatments (see Handbook Table 1) that will be incorporated into the design, where width permits. Are the following "High Priority" design treatments identified and dimensioned on the plan? | | | | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| ▪ Marked Crosswalks | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| ▪ Pedestrian Refuge Islands | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| ▪ Signal Timing and Operation | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| ▪ Bike Boxes | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| 48. Does the design reduce vehicle speeds and increase visibility for all modes at intersections? | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| 49. Overall, do intersection designs limit conflicts between all modes and promote pedestrian and bicycle safety? | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |

APPLICANT: Intersections & Crossings Component
 Additional Explanation / Comments: Nothing additional.

DEPARTMENTAL REVIEW: Intersections & Crossings Component
 Reviewer Comments: _____

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



ADDITIONAL COMMENTS

APPLICANT

Additional Explanation / Comments: Nothing additional.

DEPARTMENTAL REVIEW

Additional Reviewer Comments: _____