

ADDRESS: 1500-10 N BROAD ST

Proposal: Rehabilitate buildings; construct addition

Review Requested: Final Approval

Owner: Temple University

Applicant: Aisha Branham, MGA Partners

History: 1909; Alfred Edward Burk Mansion, Temple University; Simon & Bassett, architects; 1954, addition, L. Manfredi, architect

Individual Designation: 1/26/1971

District Designation: None

Staff Contact: Ted Maust, theodore.maust@phila.gov

OVERVIEW: This application proposes extensive rehabilitation and restoration of the Alfred Burk Mansion and its associated 1954 addition as well as the conservatory at the rear of the property at 1500 N. Broad Street. The buildings have been vacant for many years and have undergone several stabilization projects.

The scope of work for the main building includes repairs and patching of the masonry, roof and window replacement, and restoration of the front door. A new vestibule is proposed at the rear between the mansion and its addition.

The application proposes a partial restoration of the balustrade along the perimeter wall, using surviving balusters to restore the portion in front of the mansion and installing a metal picket fence between limestone piers on the historic granite base for other portions of the site.

The project proposes the addition of accessibility ramps and site work to replace the parking lot with a lawn which mediates the grade change between the mansion and the conservatory.

The conservatory would also receive masonry repair and restoration as well as a new roof. The elevation facing the mansion would feature large windows and French doors evoking its historic greenhouse appearance, whereas the elevations along Jefferson and Carlisle Streets, and facing north would largely retain their current appearance with some small non-historic openings infilled.

SCOPE OF WORK: Rehabilitate buildings; construct addition.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
 - The proposed vestibule is differentiated from the historic mansion but compatible in scale and proportion.
- *Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*
 - The proposed vestibule requires no demolition of the mansion. If removed in the future, it would not negatively impact the historic resource.

STAFF RECOMMENDATION: Approval, pursuant to Standards 9 and 10.



Figure 1: Subject property in its immediate surroundings.



Figure 2: Broad St elevation, documented in the Historic American Buildings Survey, 1972.



Figure 3: Jefferson St elevation, documented in the Historic American Buildings Survey, 1972.



Figure 4: Image of the conservatory published in *The Architect & Engineer of California*, Vol. XXVI, No. 1, August 1911, page 96.



Figure 5: Historic Commission files, 1970.

Burk Mansion Renewal

1500 N Broad Street



Architects

234 Market Street

Philadelphia

Pennsylvania 19106

215.925.0100

mgapartners.com

Daniel Kelley FAIA

Catherine Broh AIA

Amy Stein AIA

April 2, 2026

Dr. Jon Farnham
Philadelphia Historical Commission

Re: Burk Mansion | 1500 North Broad Street
Historical Commission Preliminary Review

Dear Dr. Farnham,

We are enthusiastic to share plans for Temple University's rehabilitation and adaptive reuse of the admired Burk Mansion – one of the character-defining buildings of NRHP's North Broad Street Mansion District and listed individually on Philadelphia's Register of Historic Places.

Project Background

This application seeks final approval for alterations to Burk Mansion at 1500 North Broad Street. The mansion and its separate conservatory building were designed by architects Simon and Bassett in the Italian Renaissance style and constructed in 1909. A later addition was added to the side of the mansion in 1954 by architect Louis Manfredi. Temple University acquired the property in 1971 for use by the School of Social Administration and later as a childcare center. Due to a fire, the buildings have been vacant since 1995 and subsequently fell into disrepair. In 2012 the university invested in a significant stabilization of the mansion and conservatory to preserve the structures for future use. This application proposes to rehabilitate the property for use as a University-Community Extension Center, with public-facing programs and events, as well as space for the Temple University Gateway program.

Scope of Work

The scope of work consists of a comprehensive renewal of the buildings and site. The University's goals are to preserve and restore significant historic features at the exterior, and to modernize the building for occupancy, accessibility, and code compliance. Much of the building interior will be replaced due to necessary structural repairs, new infrastructure, and the loss of materials from extensive water infiltration and environmental issues.

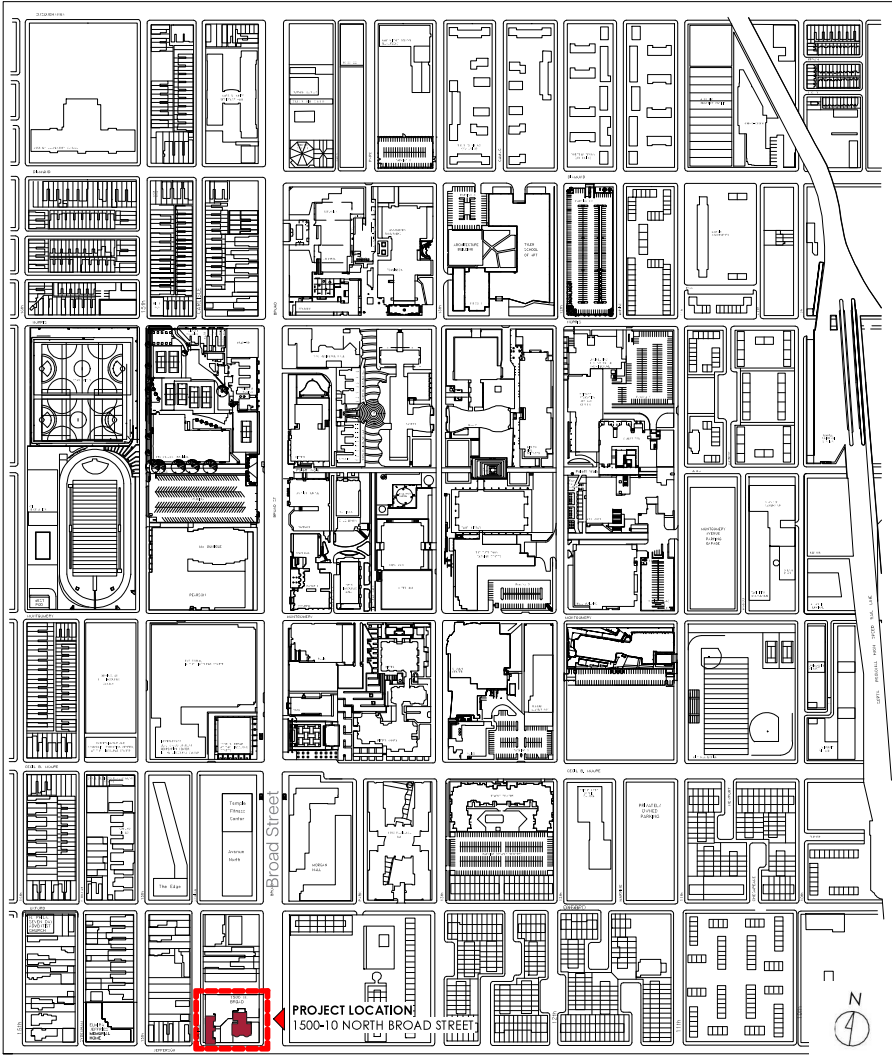
Below is a summary of the exterior alterations that we are seeking your approval for today.

- Restore the existing limestone balustrade at the site's perimeter and infill missing material with metal picket fencing.
- Reconfigure the existing entrance at Broad Street for accessibility and regrade the site to accommodate an accessible entrance at the side of the mansion.
- Restore stone masonry and stucco facades throughout the project.
- Replace windows and doors throughout the project; this includes altering six windows to accommodate new doors.
- Restore the mansion's main entrance door at Broad Street and add façade lighting at the mansion and conservatory main entrances.
- Remove the mansion's elevator penthouse and replace roofing throughout project.
- Raise the grade between the mansion and conservatory for accessibility between the two buildings. Existing stone site stairs will be removed.
- Add a modest rear addition to serve as an entrance and to access the fire stair.
- Rehabilitate the site with new landscape, grading, paved walks, site walls, parking lot, pad-mounted equipment, fencing, lighting, and signage.

We look forward to meeting with the Historical Commission to review these proposed alterations, and to advance this exciting project for the North Philadelphia community.



Site Location



Jefferson Street

Commitment to Historic Resources



1 Baptist Temple, 1823 N Broad Street



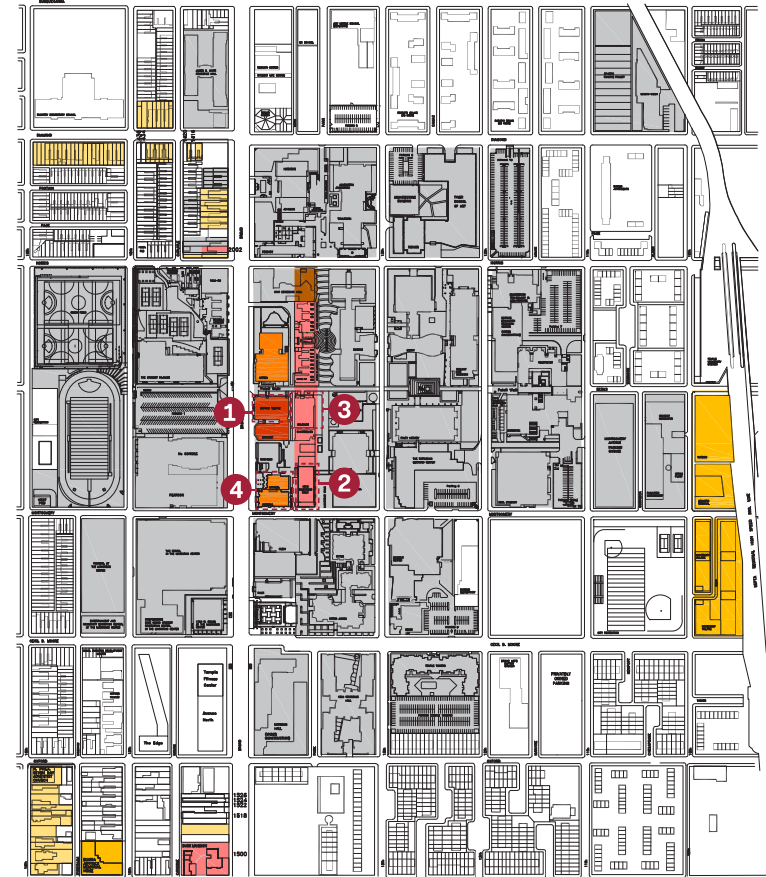
2 Fox School of Business, 1810 Liacouras Walk



3 Sullivan Hall, 1330 Polett Walk



4 Conwell & Carnell Halls, 1801-1803 N Broad Street



- Temple property
- Temple building, property declared historic by PHC, but building exempt from PHC review
- Temple building, property declared historic by Philadelphia Historical Commission
- Temple building, declared historic by PHC + eligible for National Historic Register by PHMC
- Temple ground lease
- Building/property not owned by Temple + declared historic by PHC
- Temple building eligible for National Historic Register by PHMC

Map of Historic Resources on Temple University Campus

Burk Mansion

Neighborhood Context



New Freedom Theater, 1346 N Broad Street



Project Home Kairos House, 1440 N Broad Street



Nest Apartments, 1500 N Carlisle Street



Temple University, Rock Hall,
1715 N Broad Street



Ellis House, 1430 N Broad Street



1432 to 1600 N Broad Street

Burk Mansion

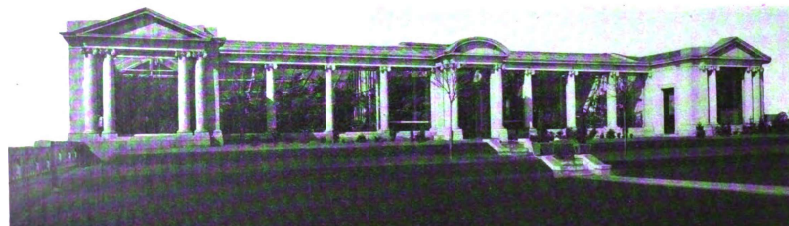
Historic Context



Historic American Buildings Survey, 1973



Historic American Buildings Survey, 1973



The Architect and Engineer of California Magazine, 1911



1909
Burk Mansion completed

1945
Upholsterers' International Union purchases & renovates Burk Mansion

1971
Temple University purchases & renovates Burk Mansion for School of Social Administration
Philadelphia Register of Historic Places

1993
Mechanical Fire at Burk Mansion

2012
Burk Mansion Stabilized

Alfred E. Burk's death transitions ownership to siblings

1921

Mansion Addition completed

1954

Temple University locates Childcare Center in Burk Mansion

1975

National Register of Historic Places #85000674 North Broad Street Mansion District

1985

Burk Mansion Vacated

1995

Existing Conditions
Overview



Conservatory (1909)
 Simon and Bassett
 1 Story
 3,150 GSF

Load Bearing Masonry Exterior
 with Steel & Wood Interior
 Structure



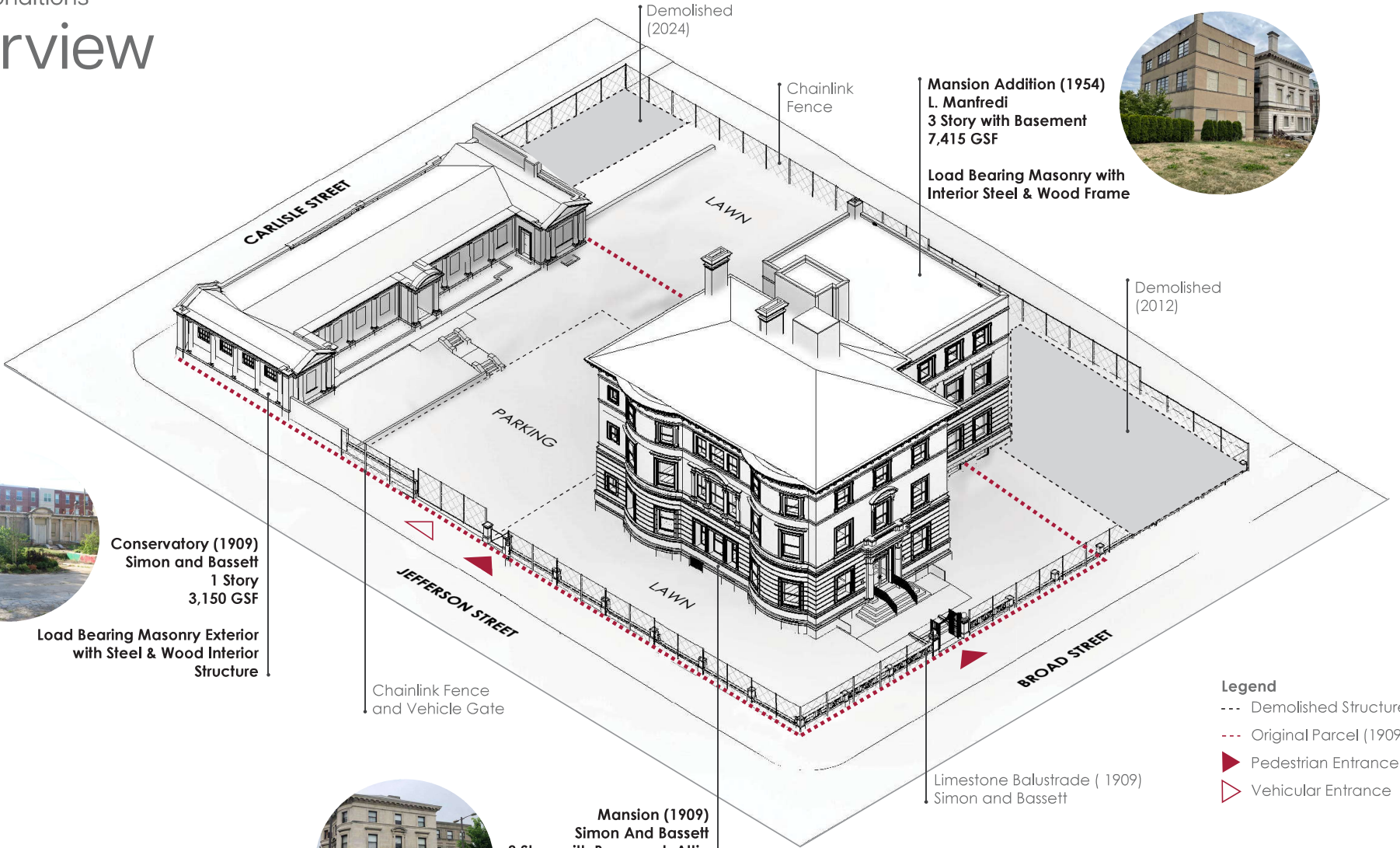
Mansion (1909)
 Simon And Bassett
 3 Story with Basement, Attic
 13,895 GSF

Load Bearing Masonry with
 Interior Steel & Wood Frame



Mansion Addition (1954)
 L. Manfredi
 3 Story with Basement
 7,415 GSF

Load Bearing Masonry with
 Interior Steel & Wood Frame

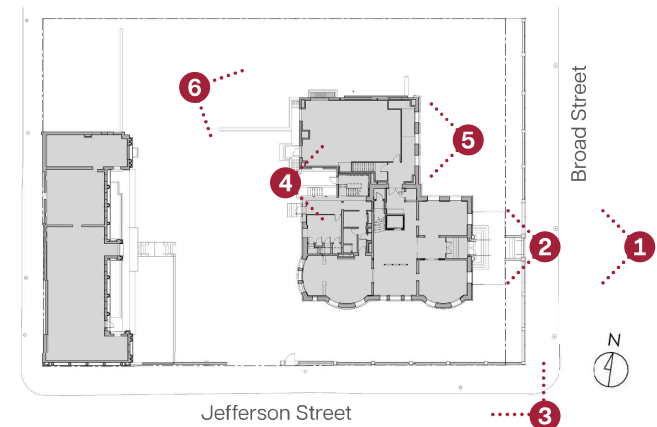
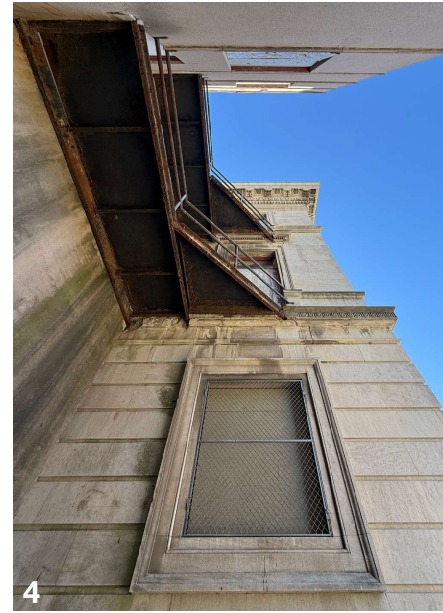


- Legend**
- Demolished Structure
 - Original Parcel (1909)
 - ▶ Pedestrian Entrance
 - ▷ Vehicular Entrance



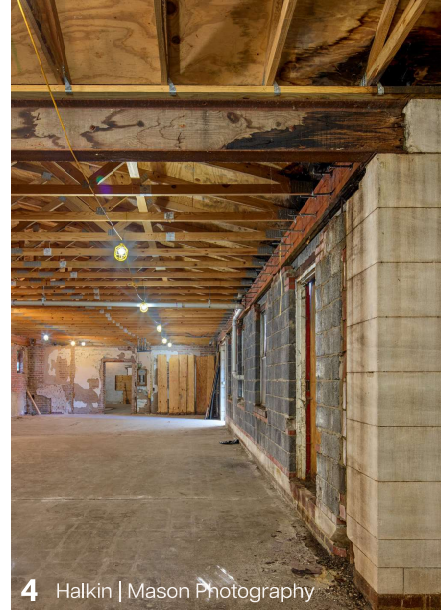
Existing Conditions

Mansion Exterior



Existing Conditions

Conservatory

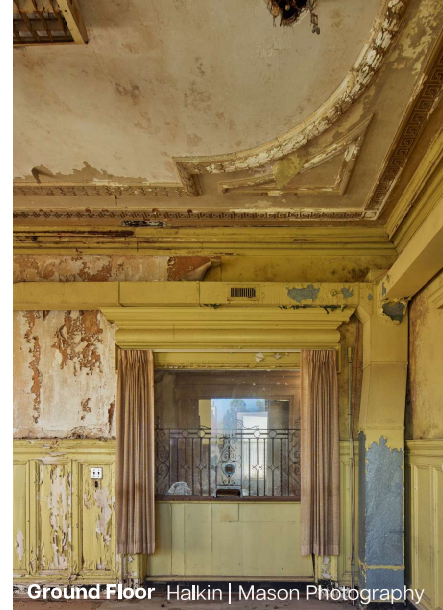


Existing Conditions

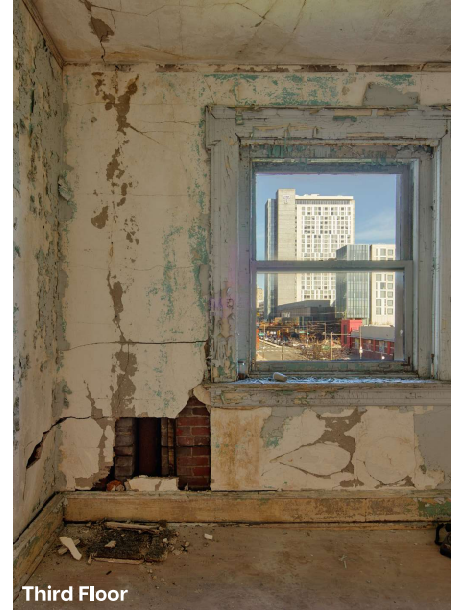
Mansion Interior



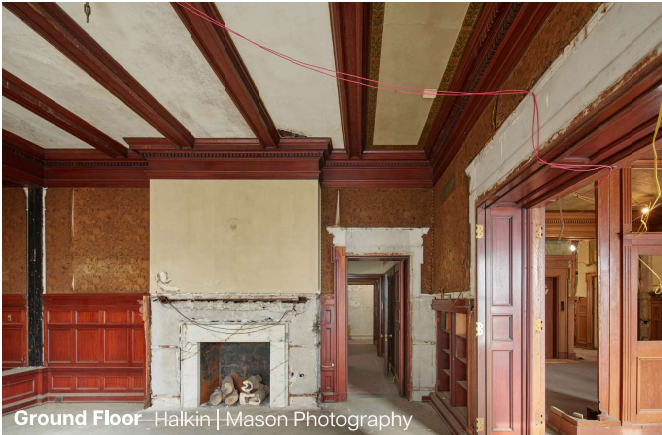
Ground Floor Halkin | Mason Photography



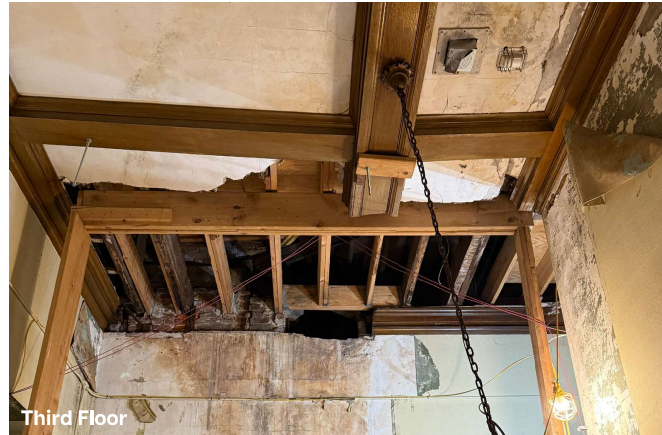
Ground Floor Halkin | Mason Photography



Third Floor



Ground Floor Halkin | Mason Photography



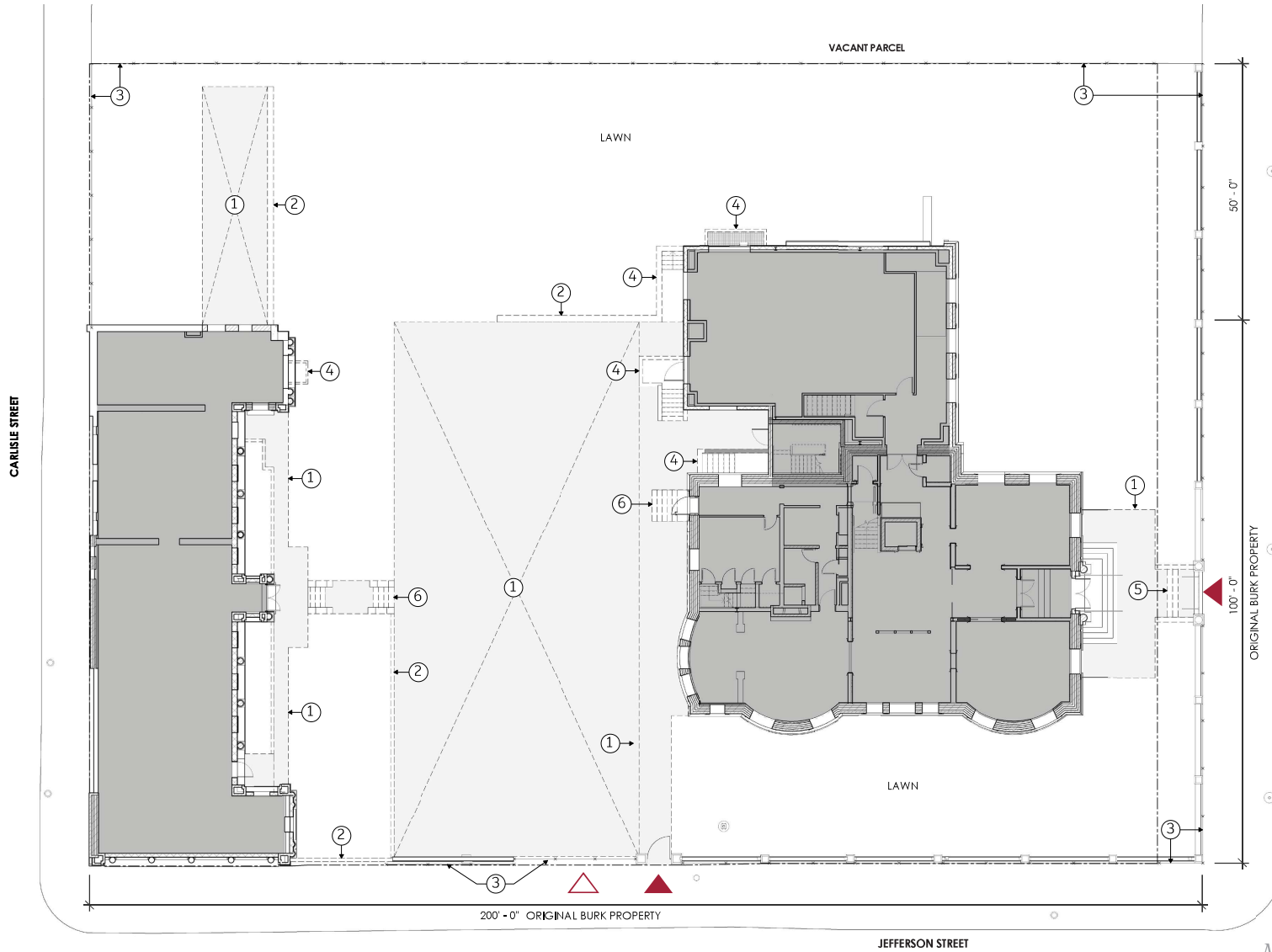
Third Floor



Basement

Site Plan

Existing



Site Demolition Key Notes

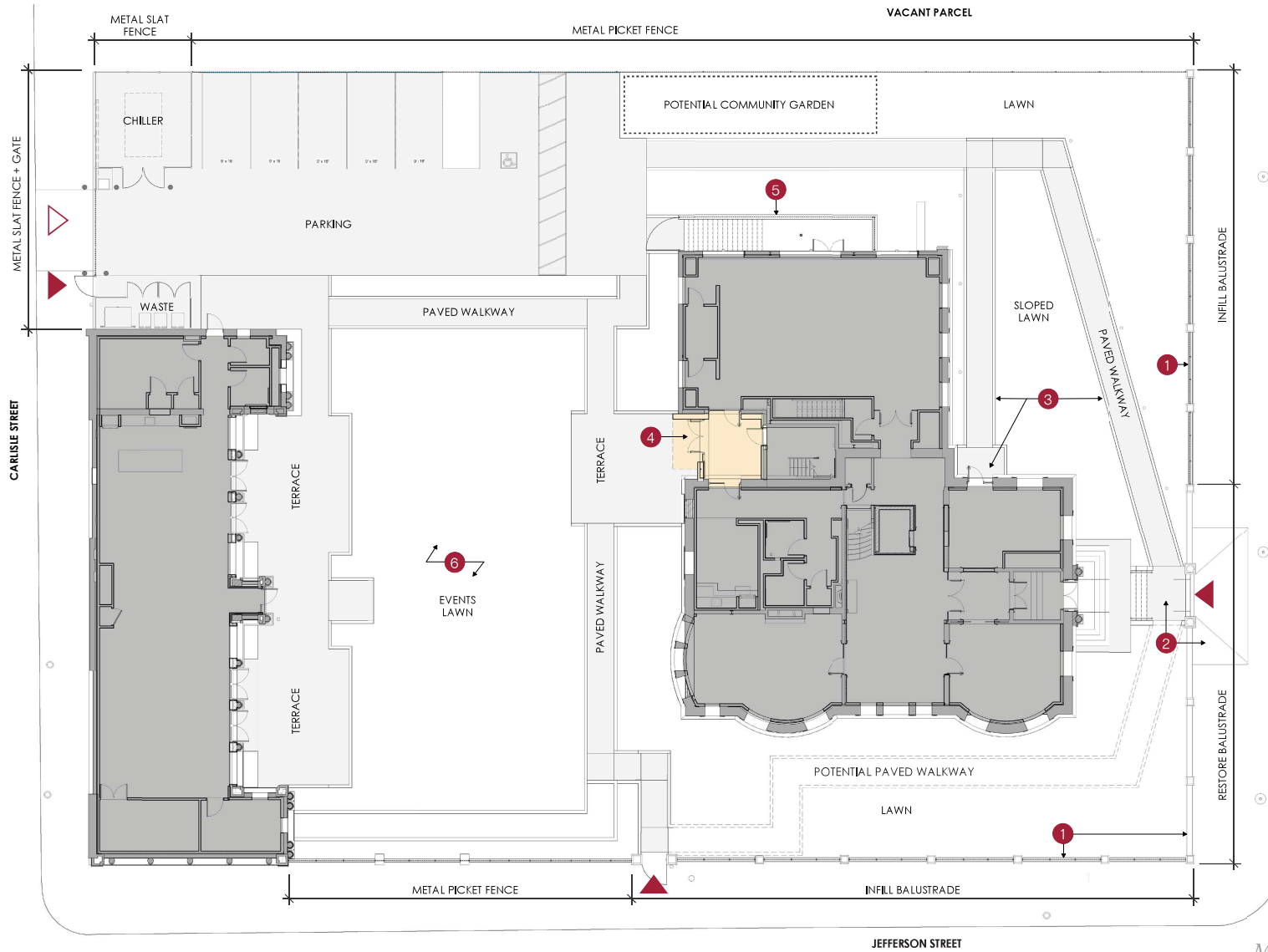
- ① Remove asphalt and/or concrete paving.
- ② Remove wood, CMU, or rubble site wall.
- ③ Remove chain link fence and vehicle gate.
- ④ Remove areaway.
- ⑤ Remove and salvage stone steps.
- ⑥ Remove stone steps.

Legend

- ▲ Pedestrian gate
- △ Vehicular gate



Proposed



Site Key Notes

- 1 Restore existing limestone balustrade at site perimeter + infill missing material with metal picket fencing.
- 2 Reconfigure existing entrance stairs at Broad Street to provide accessible entrance gate.
- 3 Regrade site for a sloped walk + accessible entrance at the side of the mansion.
- 4 Rear vestibule addition and accessible entrance.
- 5 New areaway and basement access.
- 6 Raise grade at events lawn to provide accessible site; terraced landscape to mediate grade change at Jefferson Street.

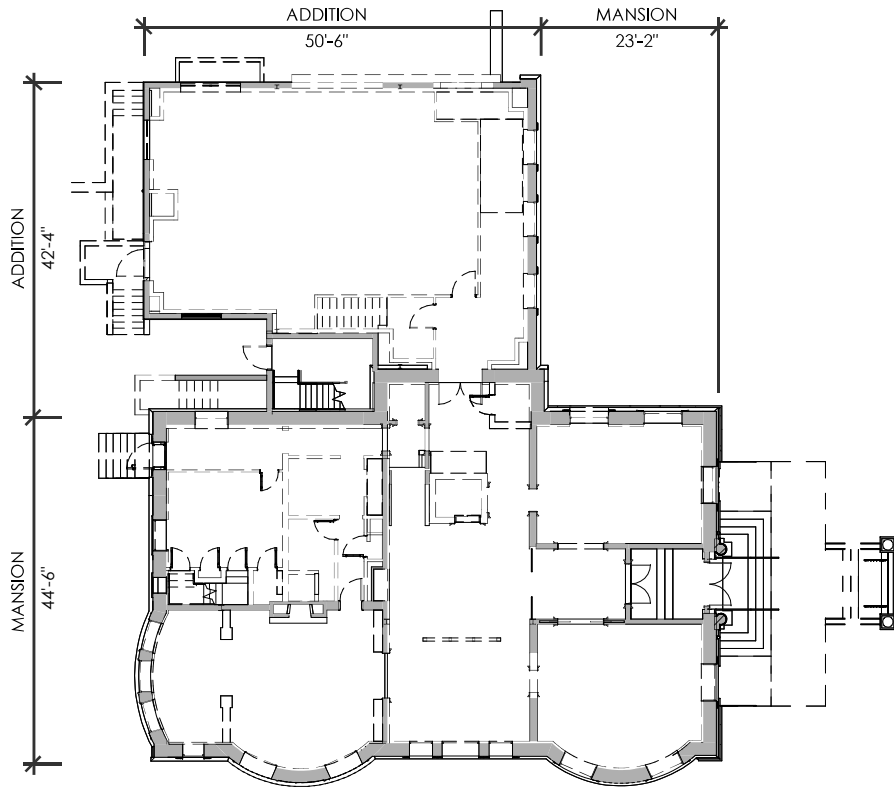
Legend

- Pedestrian gate
- Vehicular gate

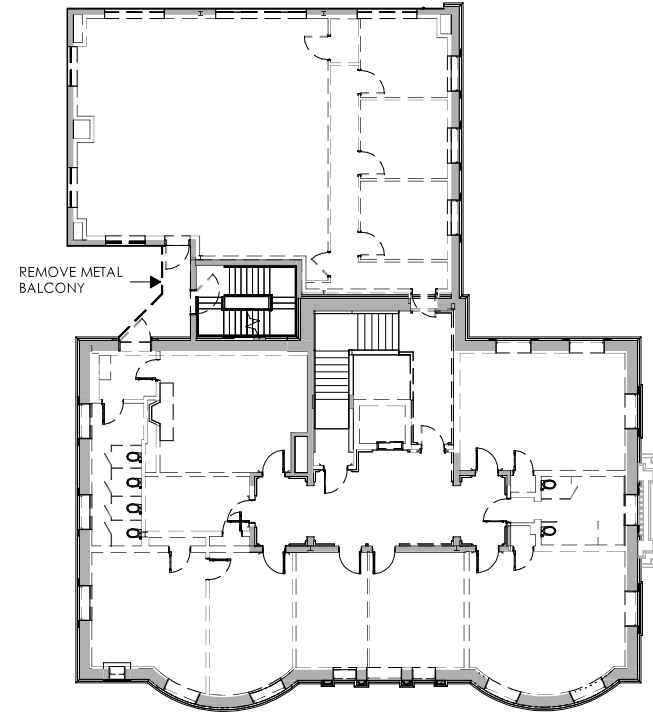


Mansion Plans

Existing



Mansion Ground Floor



Mansion 2nd Floor

General Demolition Notes

- 1 Existing masonry bearing walls, steel framing, and chimneys to remain.
- 2 Structural wood framing to be repaired/replaced (40% est.)
- 3 Interior partitions and building infrastructure to be removed.
- 4 Exterior windows to be replaced - see elevations.

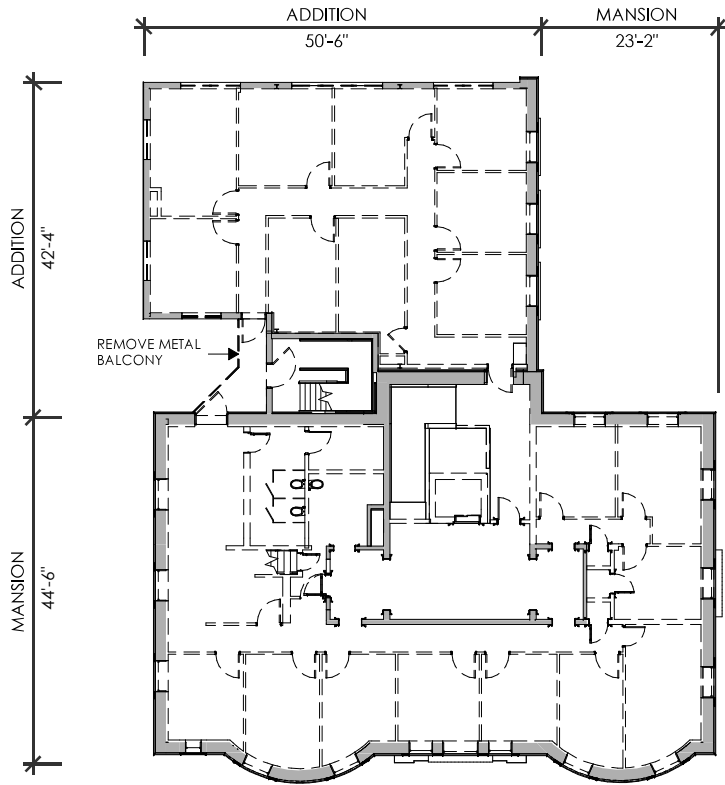
Legend

- Existing construction to remain.
- Existing vertical construction to remain.
- Existing construction to be demolished
- Existing horizontal construction to be demolished.
- Existing door and frame to be demolished.
- Key note.

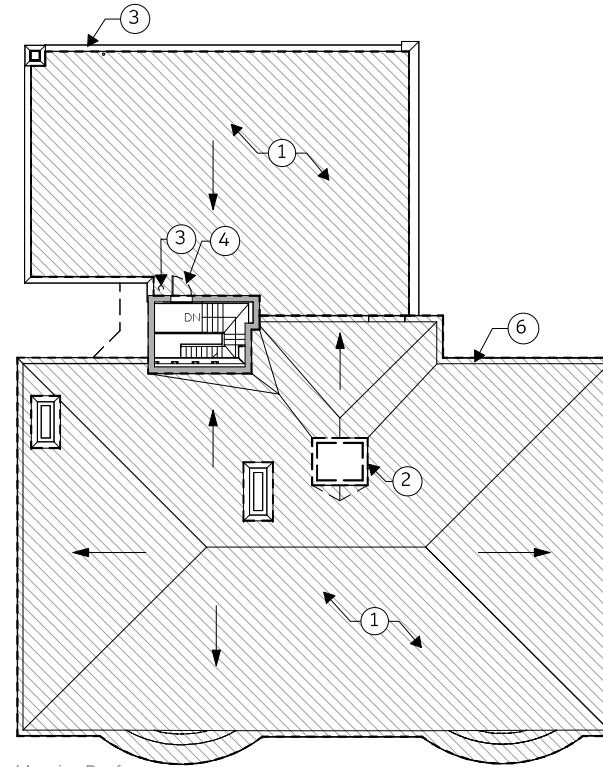


Mansion Plans

Existing



Mansion 3rd Floor



Mansion Roof

General Demolition Notes

- 1 Existing masonry bearing walls, steel framing, and chimneys to remain.
- 2 Structural wood framing to be repaired/replaced (40% est.)
- 3 Interior partitions and building infrastructure to be removed.
- 4 Exterior windows to be replaced - see elevations.

Legend

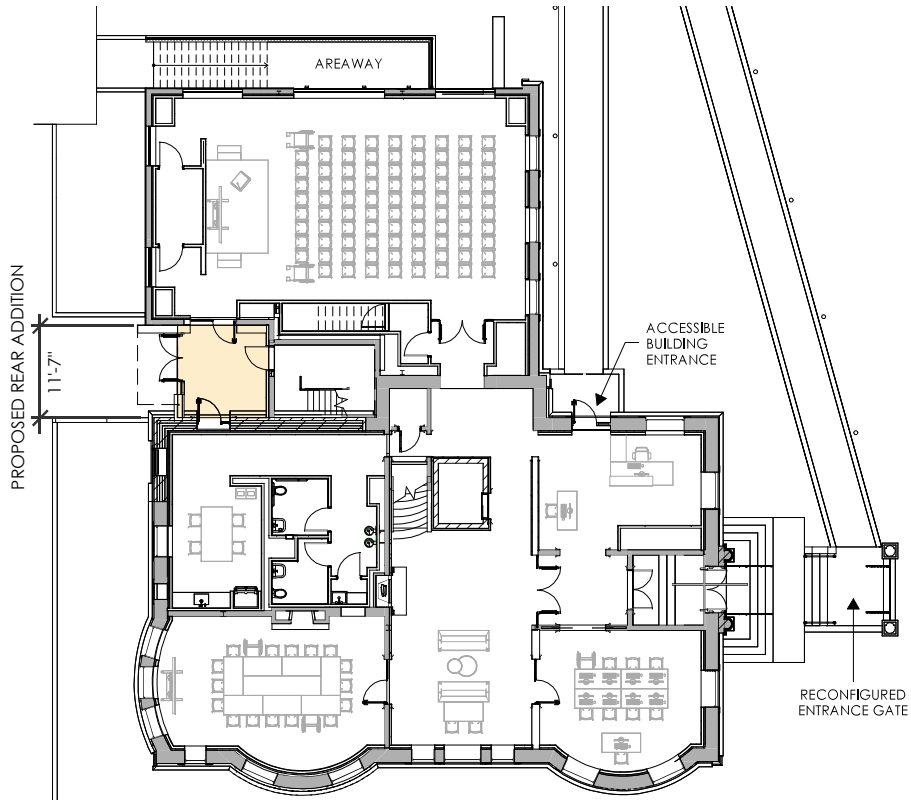
- Existing construction to remain.
- Existing vertical construction to remain.
- Existing construction to be demolished
- Existing horizontal construction to be demolished.
- Existing door and frame to be demolished.
- Key note.

Roof Demolition Key Notes

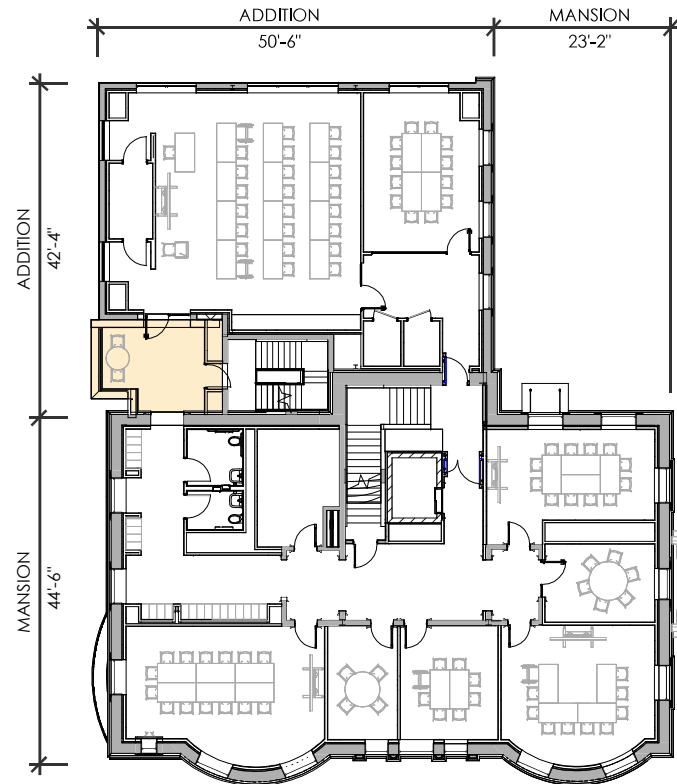
- ① Remove roofing assembly to wood decking, repair sheathing, prepare for new roofing.
- ② Remove existing elevator penthouse, prepare for new roofing infill.
- ③ Remove plumbing piping.
- ④ Remove existing door, prepare rough opening for new door.
- ⑤ Remove sheathing at perimeter for replacement of built-in gutter.



Proposed



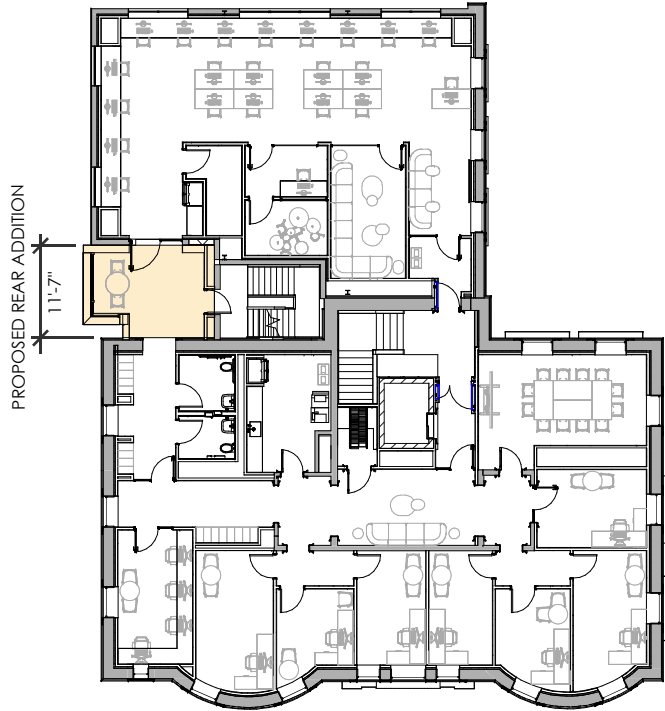
Mansion Ground Floor



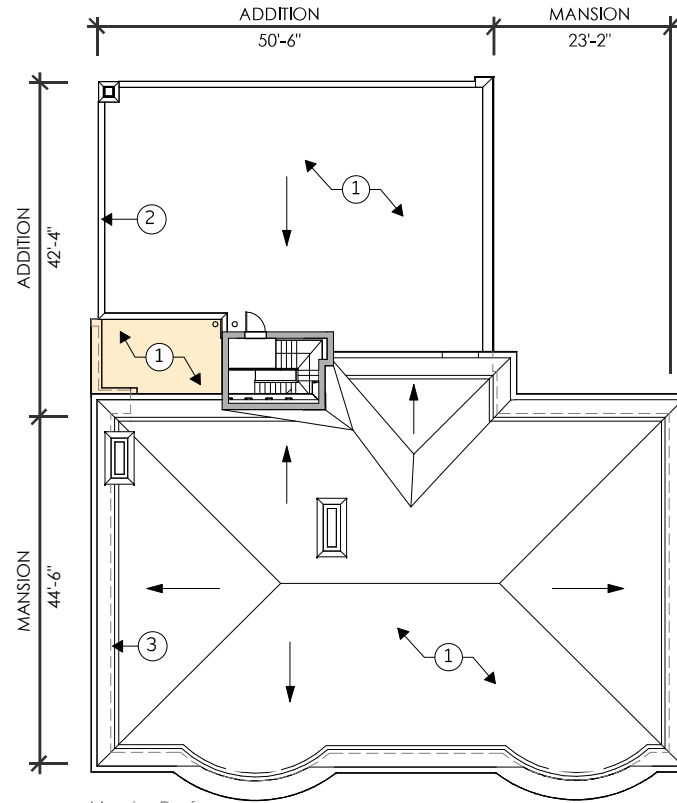
Mansion 2nd Floor



Proposed



Mansion 3rd Floor



Mansion Roof

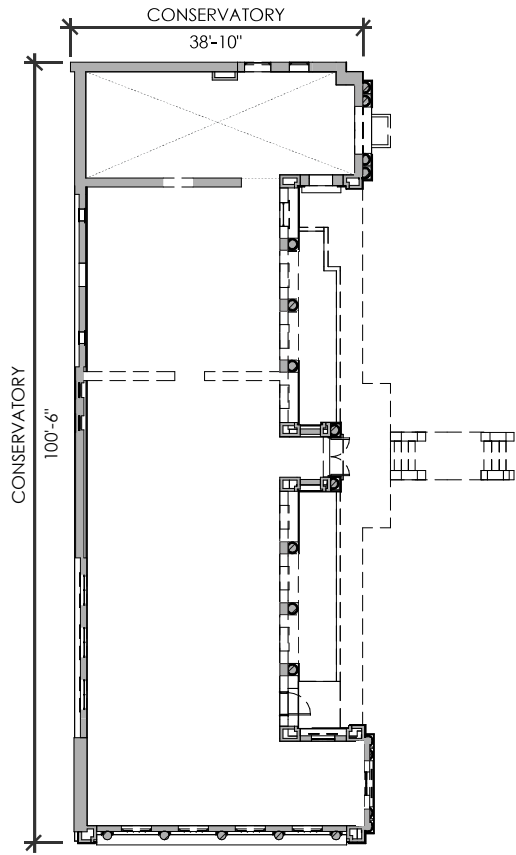
Roof Key Notes

- ① Membrane roofing assembly.
- ② Repair stone coping - see masonry restoration scope.
- ③ Built-in gutter to replace previously abandoned gutter.

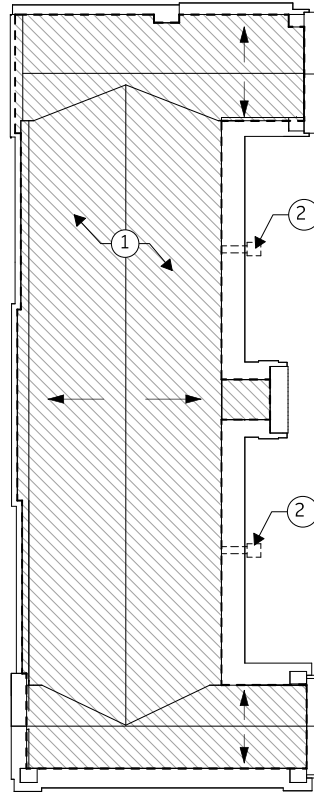


Conservatory Plans

Existing



Conservatory Ground Floor



Conservatory Roof

General Demolition Notes

- 1 Existing masonry bearing walls and steel framing to remain.
- 2 Structural wood framing to be repaired/replaced (10% est.)
- 3 Interior partitions and building infrastructure to be removed.
- 4 Exterior windows to be replaced - see elevations.

Legend

- Existing construction to remain.
- Existing vertical construction to remain.
- Existing construction to be demolished
- Existing horizontal construction to be demolished.
- Existing door and frame to be demolished.
- Key note.

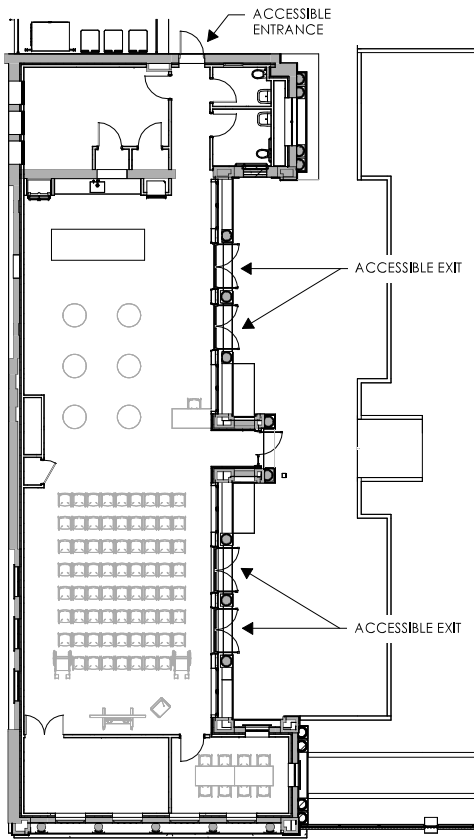
Roof Demolition Key Notes

- ① Remove roofing assembly to wood decking, repair sheathing, prepare for new roofing.
- ② Remove existing flood light and framing.

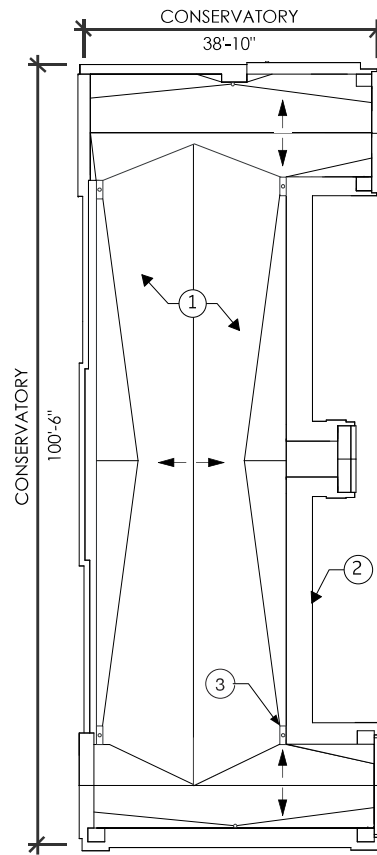


Conservatory Plans

Proposed



Conservatory Ground Floor



Conservatory Roof

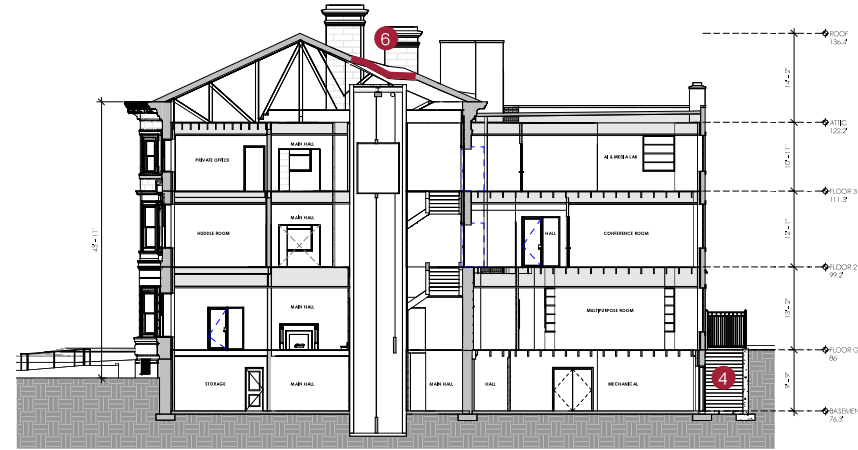
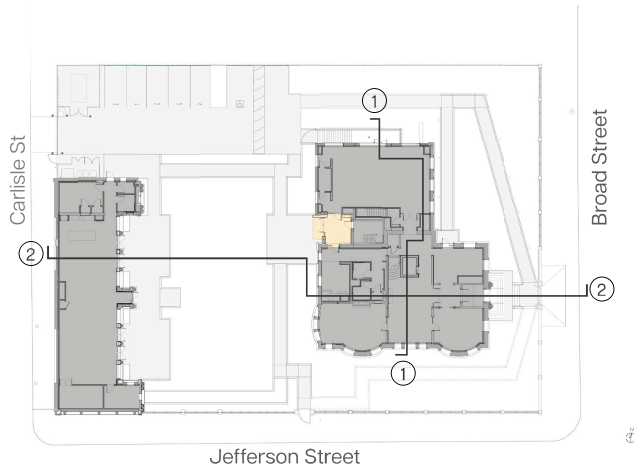
Roof Key Notes

- ① Membrane roofing assembly.
- ② Repair stone coping - see restoration scope.
- ③ Built-in gutter and rain water conductors.



Site Sections

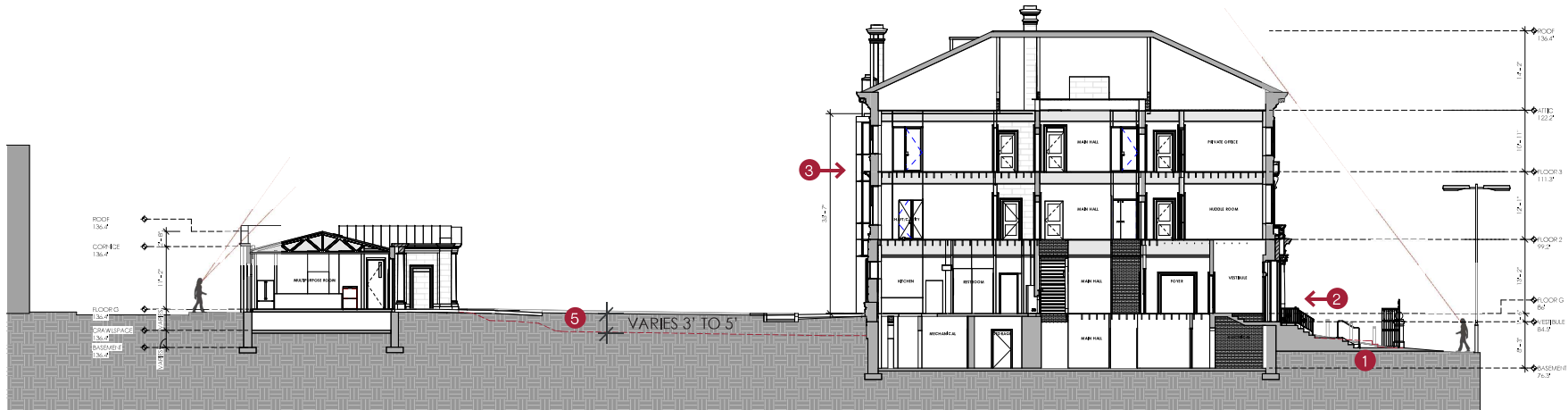
Proposed



Section 1 - North South

Building Section Key Notes

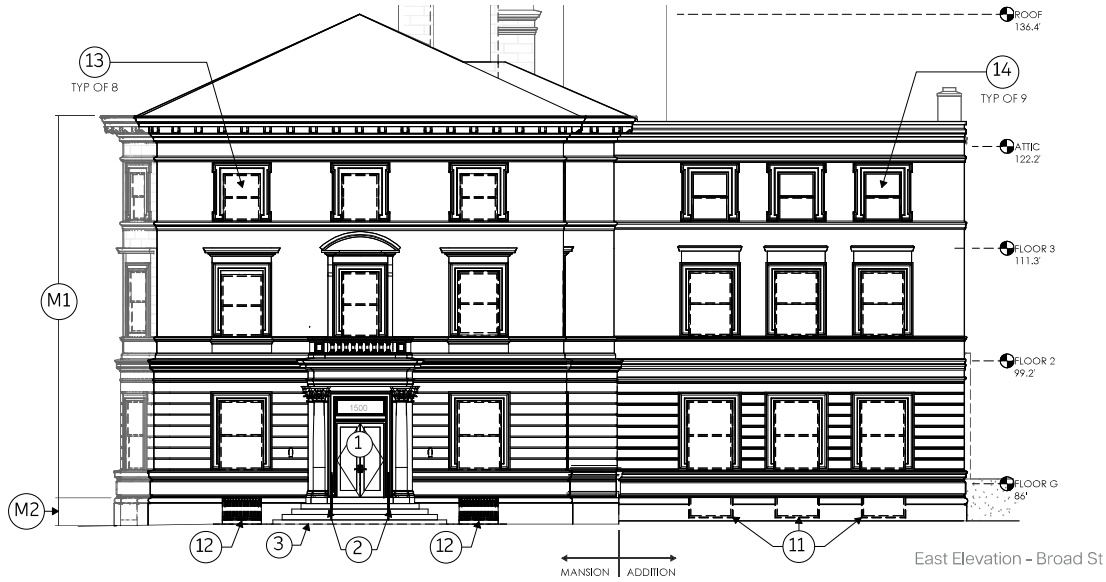
- 1 Reconfigure existing entrance stairs at Broad Street to provide accessible entrance gate.
- 2 Regrade site for a sloped walk + accessible entrance at the side of the mansion.
- 3 Rear vestibule addition and accessible entrance.
- 4 New areaway and basement access.
- 5 Raise grade at events lawn to provide accessible site; terraced landscape to mediate grade change at Jefferson Street.
- 6 Infill roof opening at new lower elevator shaft



Section 2 - East West

Mansion Elevations

Existing



Mansion Demolition Key Notes

- ① Existing wood door and frame.
- ② Existing decorative metal railing.
- ③ Existing stone steps.
- ④ Remove existing areaway.
- ⑤ Remove existing louver.
- ⑥ Remove existing electrical conduit.
- ⑦ Remove existing stone steps. Salvage decorative metal railings + return to owner.
- ⑧ Remove existing metal fire landing and metal railing.
- ⑨ Remove existing CMU/stucco infill wall at prior link building.
- ⑩ Remove existing wood window + lintel. Salvage + return decorative metal grate to owner. Prepare opening for infill.
- ⑪ Remove existing wood window + lintel, prepare opening for CMU/stucco infill.
- ⑫ Remove existing wood window + lintel. Salvage + reinstall decorative metal gate.
- ⑬ Remove existing wood window + lintel. Remove protective plywood cover.
- ⑭ Remove existing wood window. Existing steel lintel to remain.
- ⑮ Remove existing wood window and masonry wall below sill; prepare opening for new door.
- ⑯ Refurbish existing metal window and lintel. Add interior storm.
- ⑰ Remove existing metal door and frame + wood lintel.
- ⑱ Remove existing metal door.
- ⑲ Remove existing metal door and transom window.
- ⑳ Remove existing floodlight.

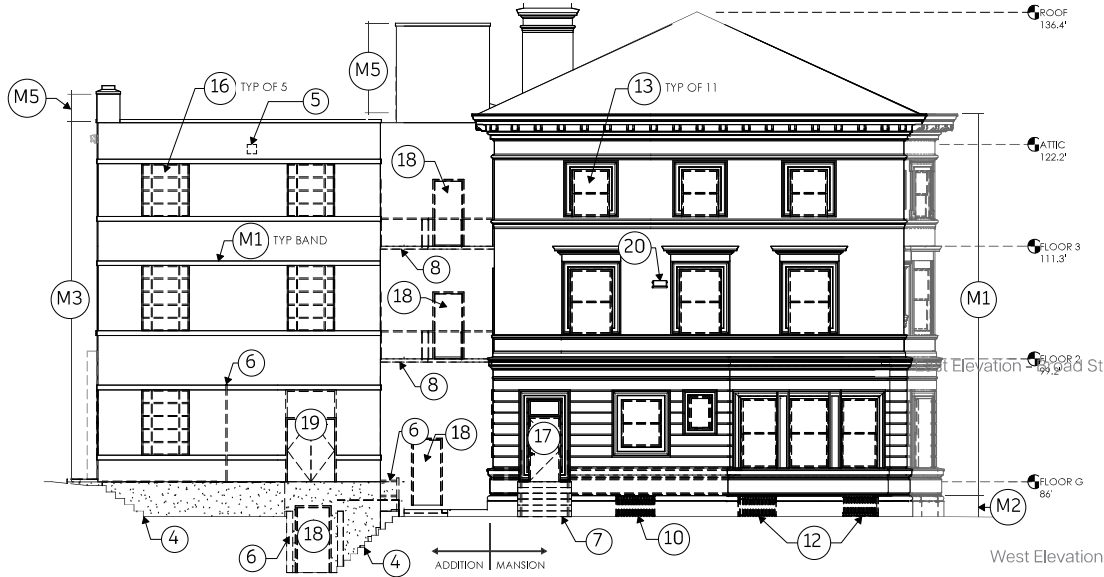
Material Key

- (M1) Limestone
- (M2) Granite
- (M3) Stucco
- (M4) Porcelain
- (M5) Buff Brick

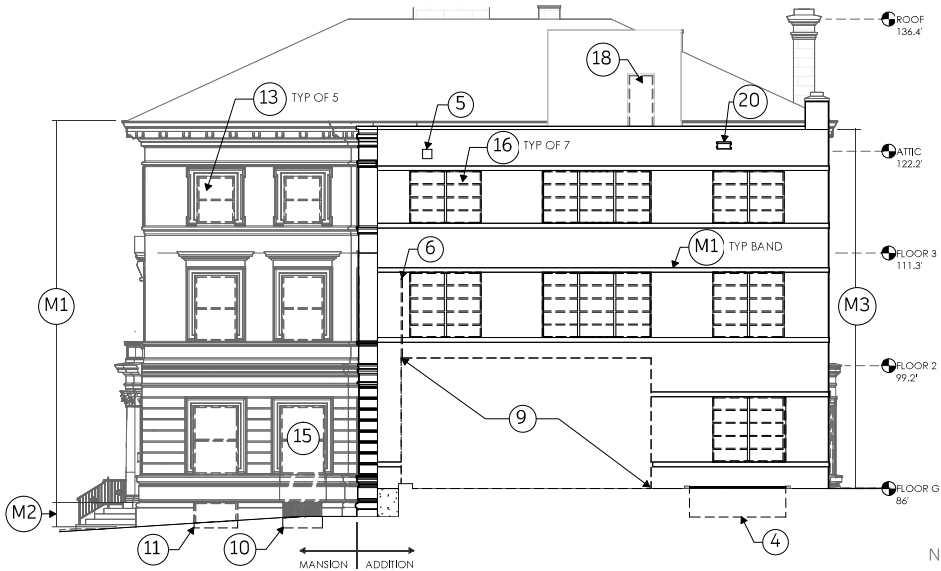


Mansion Elevations

Existing



West Elevation



North Elevation

Mansion Demolition Key Notes

- ① Existing wood door and frame.
- ② Existing decorative metal railing.
- ③ Existing stone steps.
- ④ Remove existing areaway.
- ⑤ Remove existing louver.
- ⑥ Remove existing electrical conduit.
- ⑦ Remove existing stone steps. Salvage decorative metal railings + return to owner.
- ⑧ Remove existing metal fire landing and metal railing.
- ⑨ Remove existing CMU/stucco infill wall at prior link building.
- ⑩ Remove existing wood window + lintel. Salvage + return decorative metal grate to owner. Prepare opening for infill.
- ⑪ Remove existing wood window + lintel, prepare opening for CMU/stucco infill.
- ⑫ Remove existing wood window + lintel. Salvage + reinstall decorative metal gate.
- ⑬ Remove existing wood window + lintel. Remove protective plywood cover.
- ⑭ Remove existing wood window. Existing steel lintel to remain.
- ⑮ Remove existing wood window and masonry wall below sill; prepare opening for new door.
- ⑯ Refurbish existing metal window and lintel. Add interior storm.
- ⑰ Remove existing metal door and frame + wood lintel.
- ⑱ Remove existing metal door.
- ⑲ Remove existing metal door and transom window.
- ⑳ Remove existing floodlight.

Material Key

- (M1) Limestone
- (M2) Granite
- (M3) Stucco
- (M4) Porcelain
- (M5) Buff Brick

Mansion Elevations

Proposed



East Elevation - Broad St



South Elevation - Jefferson St

Mansion Key Notes

- ① Refurbish existing wood door and frame.
- ② Refurbish existing decorative metal railing.
- ③ Refurbish existing stone steps.
- ④ New areaway.
- ⑤ CMU/stucco infill.
- ⑥ New sloped walk.
- ⑦ CMU/stucco infill with waterproofing at raised grade.
- ⑧ CMU/parging infill with waterproofing at raised grade.
- ⑨ Painted aluminum window to match historic profile.
- ⑩ Painted aluminum window to match historic profile. New steel lintel. Refurbish existing decorative metal grate.
- ⑪ Painted aluminum window to match historic profile. New steel lintel.
- ⑫ Painted aluminum window to match historic profile. Refurbish existing steel lintel.
- ⑬ New glazed aluminum door/frame.
- ⑭ Refurbish existing metal window and lintel. Add interior storm.
- ⑮ Painted aluminum windows to match historic profile of former door. New steel lintel.
- ⑯ Painted aluminum window to match historic profile. New steel lintel.
- ⑰ New metal door.
- ⑱ Decorative light fixture.
- ⑲ Downlight.
- ⑳ Linear down light.
- ㉑ Flagpole mounted to sill.

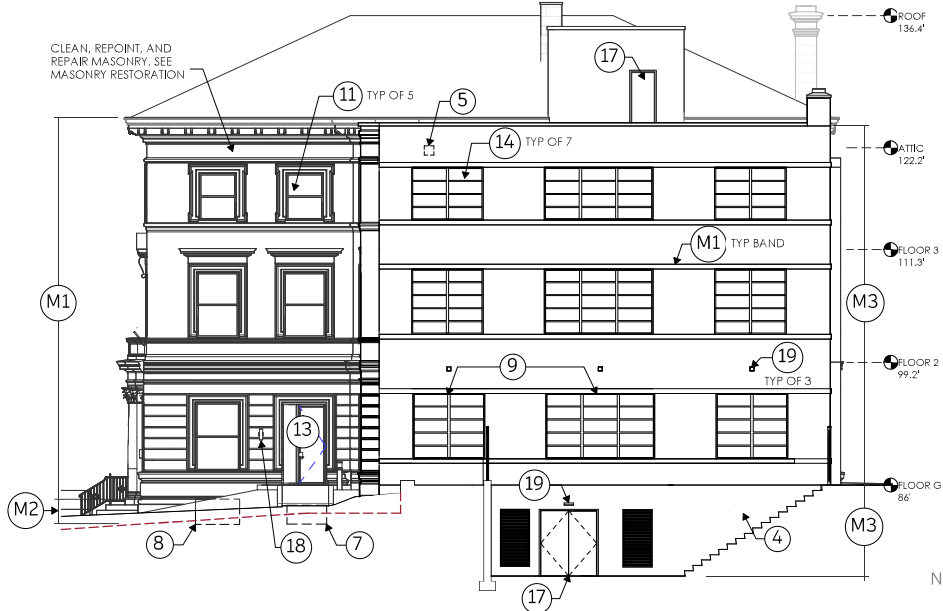
Material Key

- (M1) Limestone
- (M2) Granite
- (M3) Stucco
- (M4) Porcelain
- (M5) Buff Brick

Proposed



West Elevation



North Elevation

Mansion Key Notes

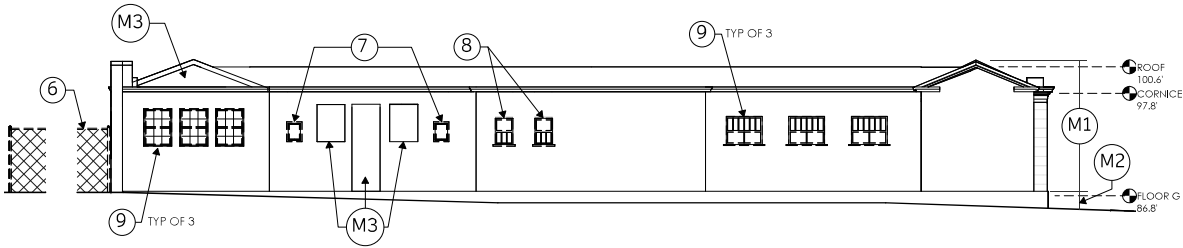
- ① Refurbish existing wood door and frame.
- ② Refurbish existing decorative metal railing.
- ③ Refurbish existing stone steps.
- ④ New areaway.
- ⑤ CMU/stucco infill.
- ⑥ New sloped walk.
- ⑦ CMU/stucco infill with waterproofing at raised grade.
- ⑧ CMU/parging infill with waterproofing at raised grade.
- ⑨ Painted aluminum window to match historic profile.
- ⑩ Painted aluminum window to match historic profile. New steel lintel. Refurbish existing decorative metal grate.
- ⑪ Painted aluminum window to match historic profile. New steel lintel.
- ⑫ Painted aluminum window to match historic profile. Refurbish existing steel lintel.
- ⑬ New glazed aluminum door/frame.
- ⑭ Refurbish existing metal window and lintel. Add interior storm.
- ⑮ Painted aluminum windows to match historic profile of former door. New steel lintel.
- ⑯ Painted aluminum window to match historic profile. New steel lintel.
- ⑰ New metal door.
- ⑱ Decorative light fixture.
- ⑲ Downlight.
- ⑳ Linear down light.
- ㉑ Flagpole mounted to sill.

Material Key

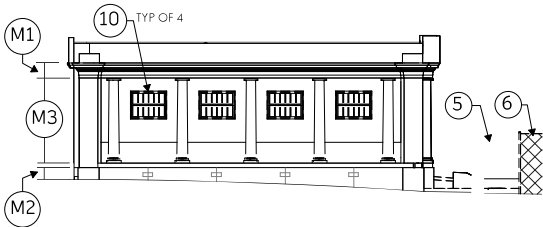
- (M1) Limestone
- (M2) Granite
- (M3) Stucco
- (M4) Porcelain
- (M5) Buff Brick
- (M6) Glass Curtain Wall (at shaded area)

Conservatory Elevations

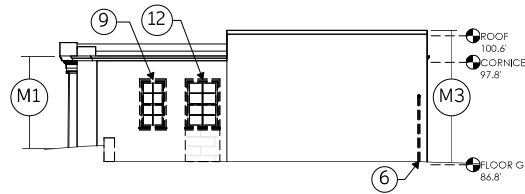
Existing



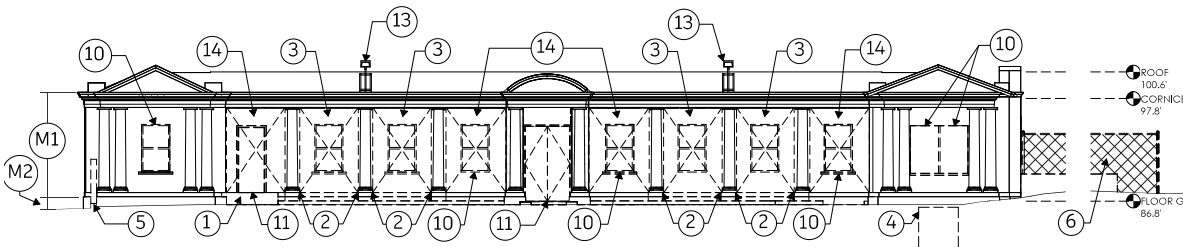
West Elevation - Carlisle St



South Elevation - Jefferson St



North Elevation



East Elevation

Conservatory Demolition Key Notes

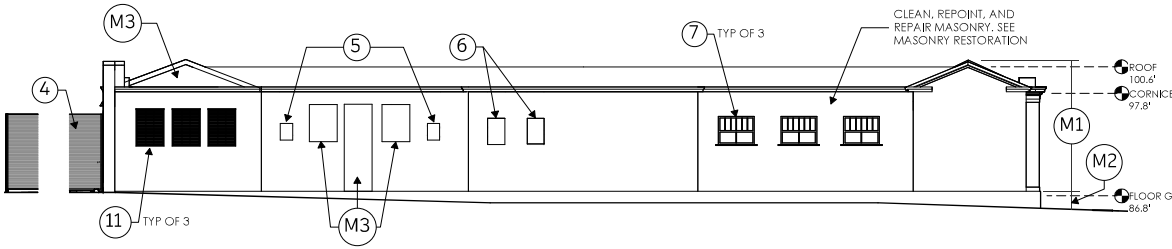
- ① Remove existing concrete ramp.
- ② Remove existing masonry base below sill; prepare for new door.
- ③ Remove existing CMU/stucco infill wall; prepare for new door.
- ④ Remove existing lightwell and louver; prepare for masonry infill.
- ⑤ Remove existing CMU site wall, stone curb to remain.
- ⑥ Remove existing chain link perimeter fence.
- ⑦ Remove existing fans + wood lintel.
- ⑧ Remove existing wood window + steel lintel.
- ⑨ Remove existing wood window + lintel.
- ⑩ Remove existing metal window + protective plywood cover.
- ⑪ Remove existing metal door and frame.
- ⑫ Remove existing wood window + lintel, remove masonry wall below sill; prepare opening for new door.
- ⑬ Remove existing flood light.
- ⑭ Remove existing CMU/stucco infill wall; prepare for new window.

Material Key

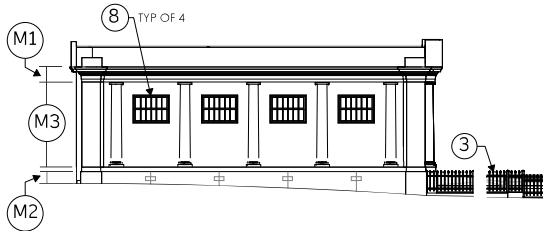
- (M1) Limestone
- (M2) Granite
- (M3) Stucco

Conservatory Elevations

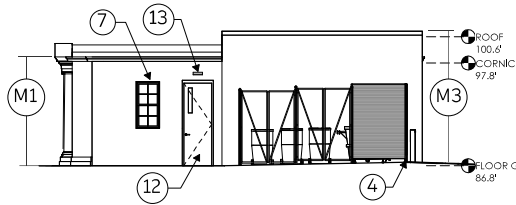
Proposed



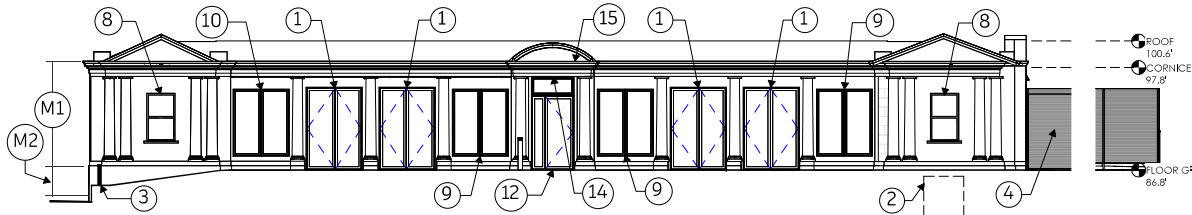
West Elevation - Carlisle St



South Elevation - Jefferson St



North Elevation



East Elevation

Conservatory Key Notes

- ① New french doors.
- ② CMU/stucco infill and parging at raised grade.
- ③ Existing stone curb with new aluminum picket fencing.
- ④ New metal screen fence with operable gate.
- ⑤ CMU/stucco infill at existing opening.
- ⑥ Stone infill at existing opening.
- ⑦ Painted aluminum window to match historic profile. New steel lintel.
- ⑧ Painted aluminum window to match historic profile. Existing steel lintel to remain.
- ⑨ Painted aluminum window. New steel lintel.
- ⑩ Painted aluminum window and CMU/stucco infill at existing opening. Existing steel lintel to remain.
- ⑪ Louvers at existing opening. New steel lintel.
- ⑫ New aluminum door/frame.
- ⑬ Downlight.
- ⑭ Linear downlight.
- ⑮ Linear uplight.

Material Key

- (M1) Limestone
- (M2) Granite
- (M3) Stucco

Proposed Views

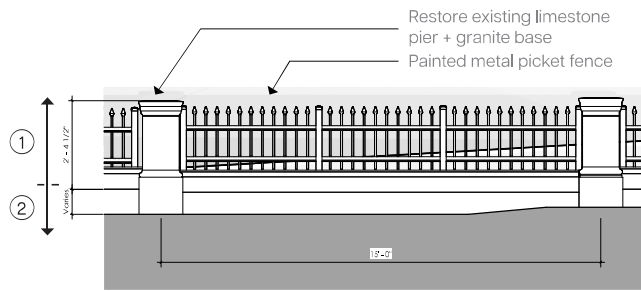
Balustrade Alterations



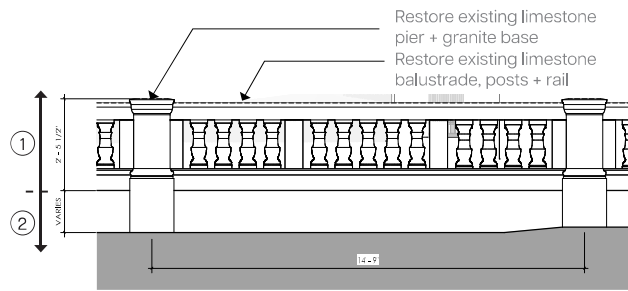
View From Broad Street Looking Northwest

Proposed Balustrade Alteration Notes

- Remove chain link fence from Balustrade perimeter.
- Existing historic fabric to be restored; new infill material used where fabric is missing.
- Existing decorative metal entrance gate on Broad Street to be refurbished.
- Remove chain link vehicle gate on Jefferson Street; replace with metal picket fence.



Infilled Balustrade (11 Bays)



Restored Balustrade (4 Bays)

Material Key

- ① Limestone
- ② Granite/Precast

Proposed Views

Balustrade Alterations



Jefferson Street



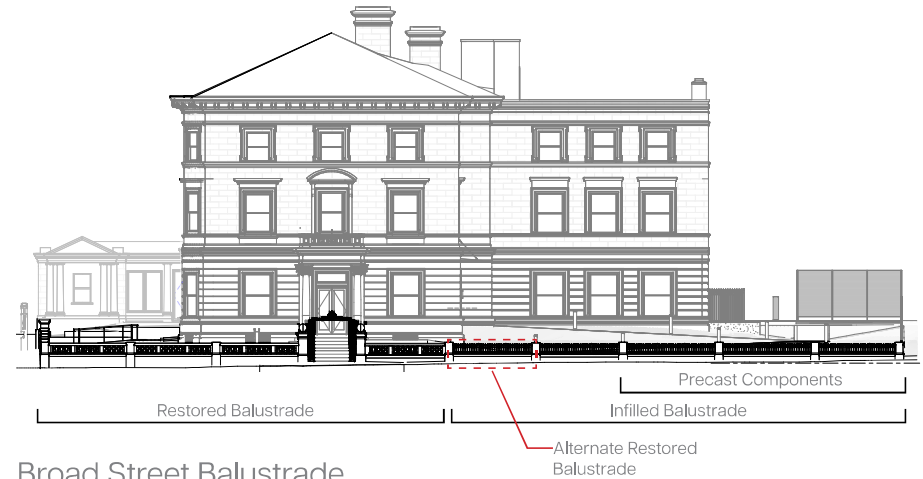
Broad Street



Existing Conditions



Jefferson Street Balustrade



Broad Street Balustrade

Proposed Views

Accessible Entrance



View from Broad Street Looking Southwest



North Elevation at Accessible Entrance



View of Main Entrance from Broad Street Looking Southwest

Proposed Accessible Entrance Notes

- Reconfigure (push back) existing entrance steps on Broad Street to create an accessible forecourt.
- Regrade site to add accessible walkways throughout site connecting to the main entrance.
- Raise grade approximately 4.5 feet at side of Mansion to create an accessible entrance at former window.
- Remove masonry below window to accommodate a new door and lighting sconce.
- Infill (2) basement windows at Mansion and (3) at Addition where grade is raised.

Proposed Views

Raised Events Lawn



View of Events Lawn from Jefferson Street Looking Northeast



View of Jefferson Street Ramp



Aerial View of Events Lawn Looking Northwest

Proposed Raised Events Lawn Notes

- Raise grade approximately 3 to 5 feet between the Mansion and Conservatory to create an accessible events lawn.
- Add a ramp and sloped walk from the Jefferson Street gate to the Mansion's rear entrance.
- Create a stepped garden along Jefferson Street to mediate the grade change.
- Historic stone wall base along Jefferson Street will be retained; stone steps at Conservatory and Mansion will be removed.

Proposed Views

Rear Addition



Aerial View of Mansion Looking Northeast



Proposed West Elevation of Mansion



View of Jefferson Street Gate

Proposed Rear Addition Notes

- A modest glass addition is inserted between the Mansion and its Addition to provide fire stair access.
- The rear addition is comprised of a two-story glass bay within a porcelain panel frame that provides a reveal at the Mansion; the glass mullions align with the horizontal datum of each building.
- Infill the existing Mansion service entrance with a window and transom.
- Remove the existing non-code compliant metal balcony to the fire stair.

Proposed Views

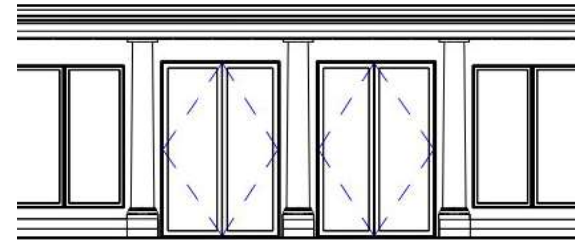
Conservatory Alterations



View of Conservatory from Jefferson Street Looking Northwest



Aerial View of Conservatory, Terrace and Events Lawn



East Elevation at Proposed Doors and Windows

Proposed Conservatory Alteration Notes

- Restore existing stone masonry and stucco; see restoration scope.
- Replace windows to match historic profiles at west, south, and north facades; see elevations for louver locations and infilled windows.
- At east colonnade, enlarge (8) existing window openings to include (4) double doors and (4) full-height windows which were originally plate glass; see windows details.
- Replace existing walkway at east colonnade with paved terrace (approximately 20 feet wide) and landscaping.

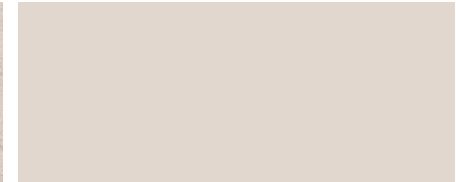
Proposed
Material Palette



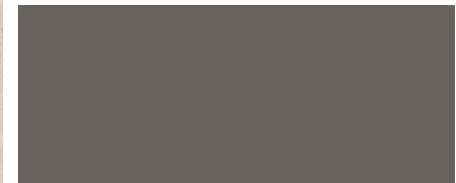
Mansion Windows, similar to Graham S2200 Double Hung with custom trim to match historic profile TBD



Existing Limestone (New to Match)



Proposed Stucco Coating - Mineral Silicate



Proposed Window and Door Color



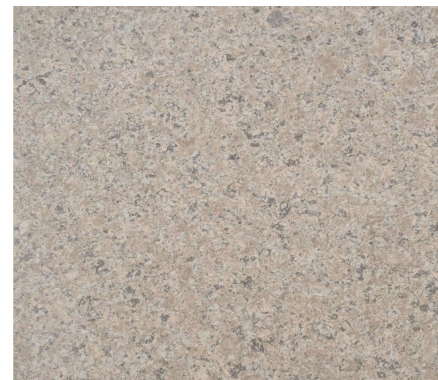
Proposed Porcelain Panels



Mansion Entrance Door (To Be Restored)



1954 Addition Windows, similar to Graham SR6700 TBD



Existing Granite (New to Match)



Proposed Roofing - PVC Membrane with Profile Bars

Masonry Restoration
Mansion



East Elevation - Broad St

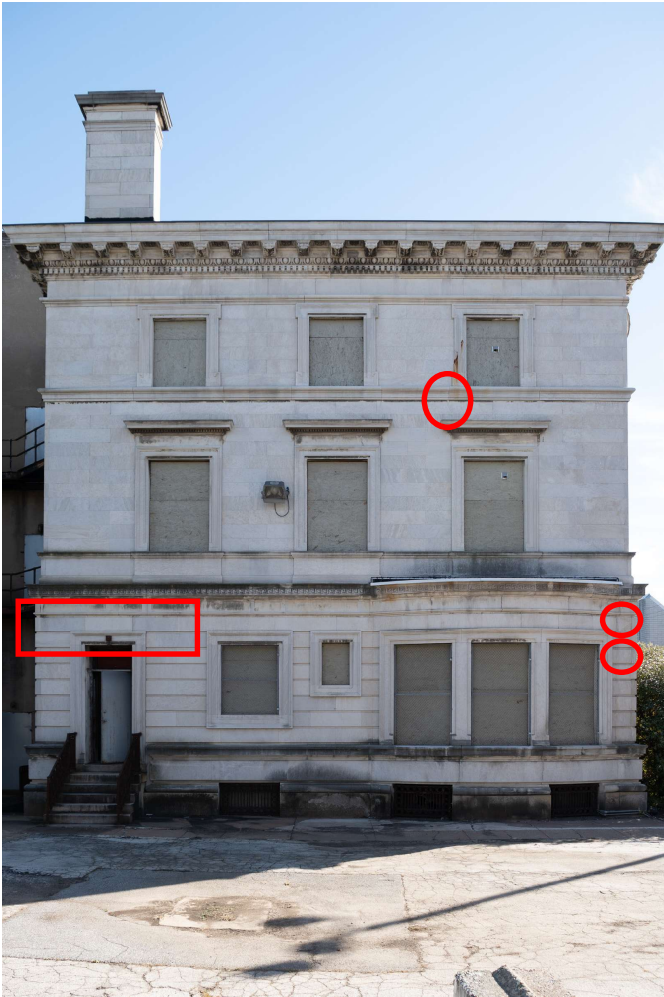


West Elevation

Masonry Restoration General Notes

- 1 Repairs for conditions causing or allowing water infiltration.
- 2 Repairs for conditions that may lead to life safety issues.
- 3 Repairs for conditions that could lead to further material loss if not addressed.
- 4 Typical repairs:
 - Crack repairs
 - Repointing
 - Dutchman repairs
 - Patching
 - Reset displaced stone units
 - Replace damaged stone units
 - Cleaning
 - Stucco repair (Addition)
 - Stucco mineral silicate coating (Addition)
 - Replace brick chimney wash coat.

Masonry Restoration
Mansion



West Elevation - Mansion



Dutchman repair

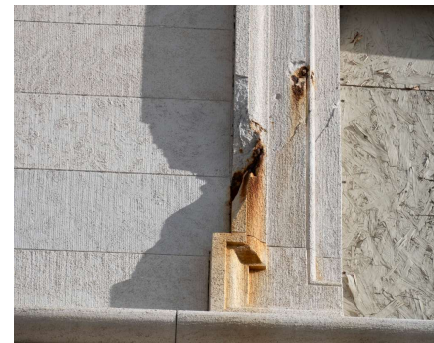
Repointing

Crack repair

Dutchman repair



Clean general and heavy soiling



Dutchman repair

Masonry Restoration
Mansion



West Elevation - Addition



Replace brick wash coat



Repair detached stucco

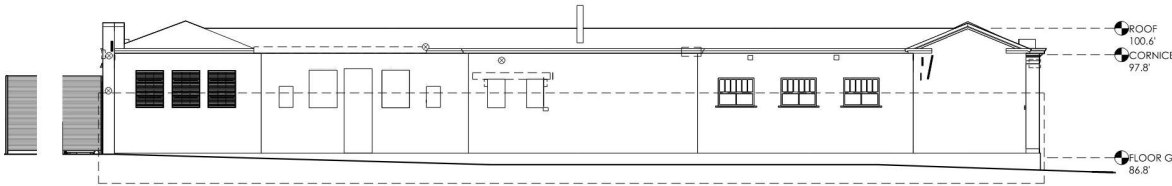


Replace damaged coping stone



Repair stucco crack

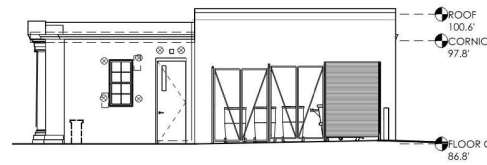
Conservatory



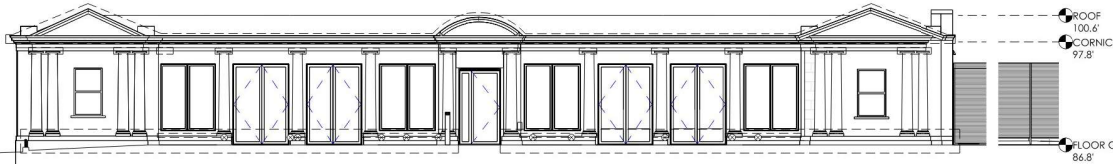
West Elevation - Carlisle Street



South Elevation - Jefferson Street



North Elevation



East Elevation

Masonry Restoration General Notes

- 1 Repairs for conditions causing or allowing water infiltration.
- 2 Repairs for conditions that may lead to life safety issues.
- 3 Repairs for conditions that could lead to further material loss if not addressed.
- 4 Typical repairs:
 - Crack repairs
 - Repointing
 - Dutchman repairs
 - Patching
 - Reset displaced stone units
 - Replace damaged stone units
 - Cleaning
 - Paint removal
 - Stucco repair + mineral silicate coating

Conservatory



West Elevation - Carlisle Street



Clean general and heavy soiling



Replace damaged stone units



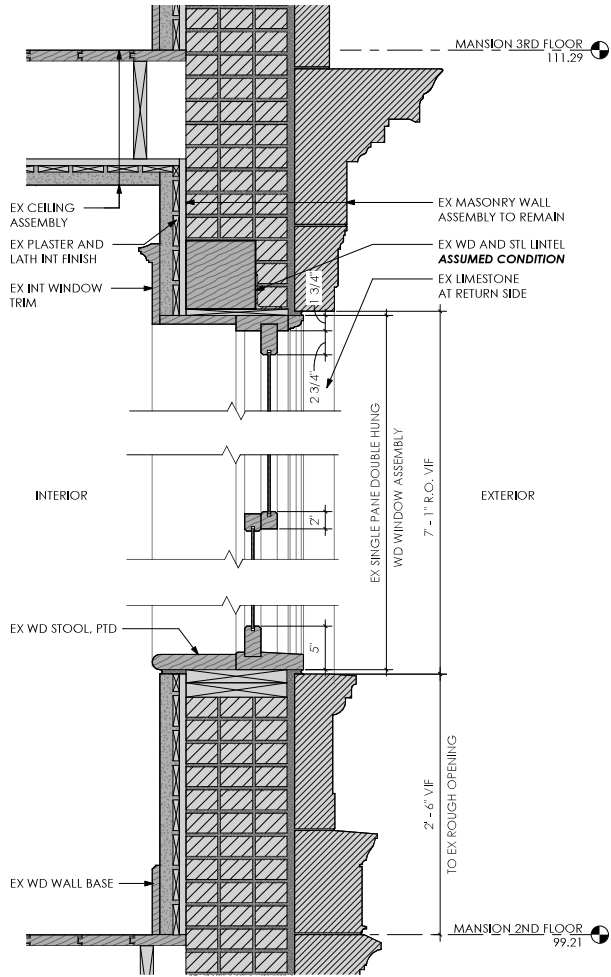
Remove paint



Replace missing cornice

Typical Window Details

Mansion Existing



Typical Existing Window Detail at Mansion

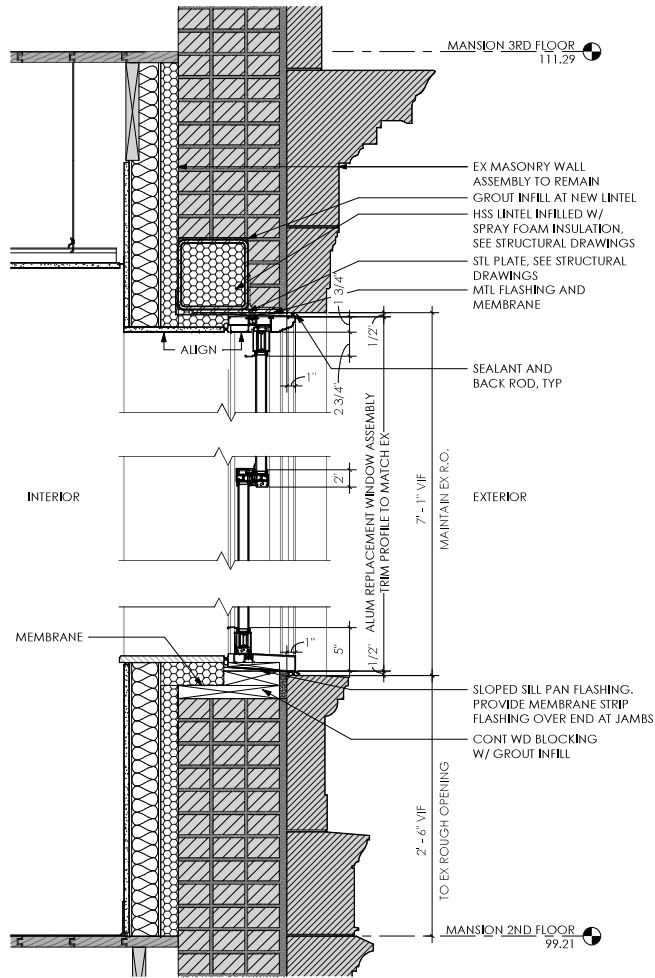


Proposed Mansion Window Alteration Notes

- Wood window and wood lintel replacement in Mansion is required due to severe deterioration; window probes are underway to determine head, jamb, and sill conditions at existing masonry wall.
- Replace existing wood lintels at Mansion with steel lintels.
- Replace existing wood windows with thermally broken aluminum windows to match historic profile.

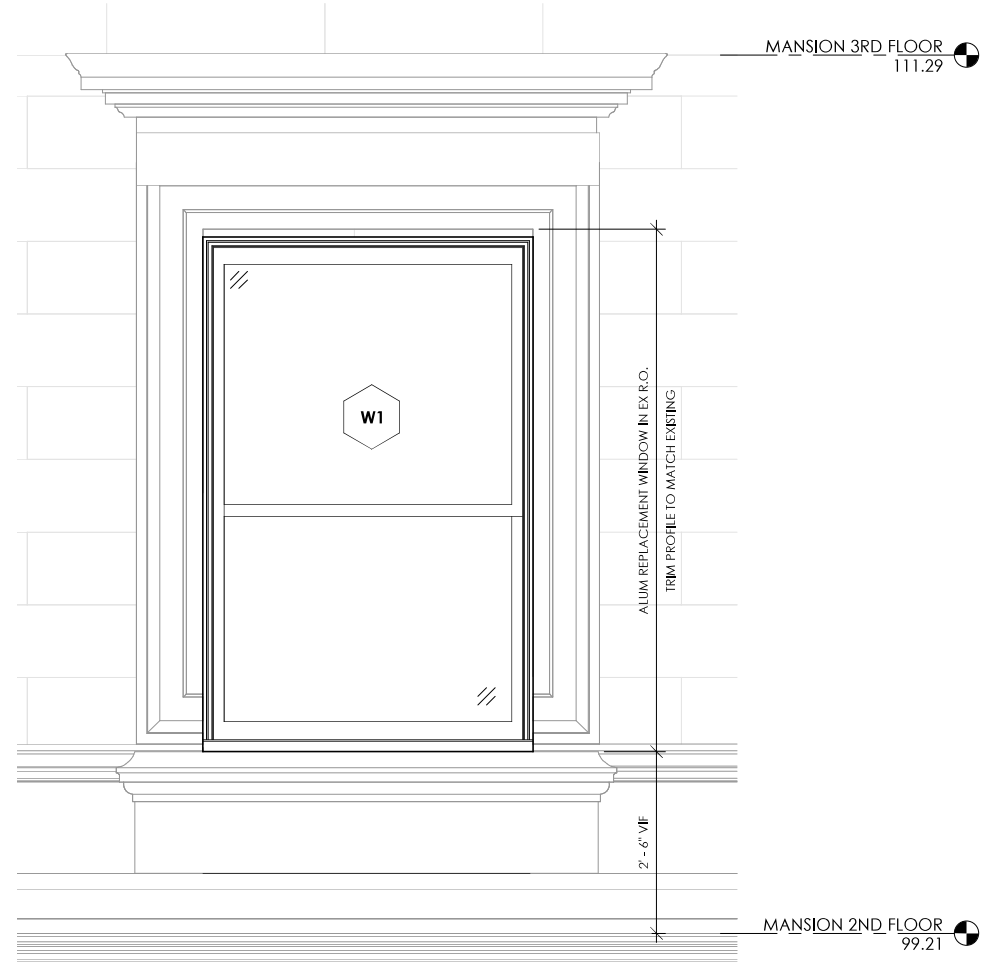
Typical Window Details

Mansion Proposed



Typical Proposed Window Detail at Mansion

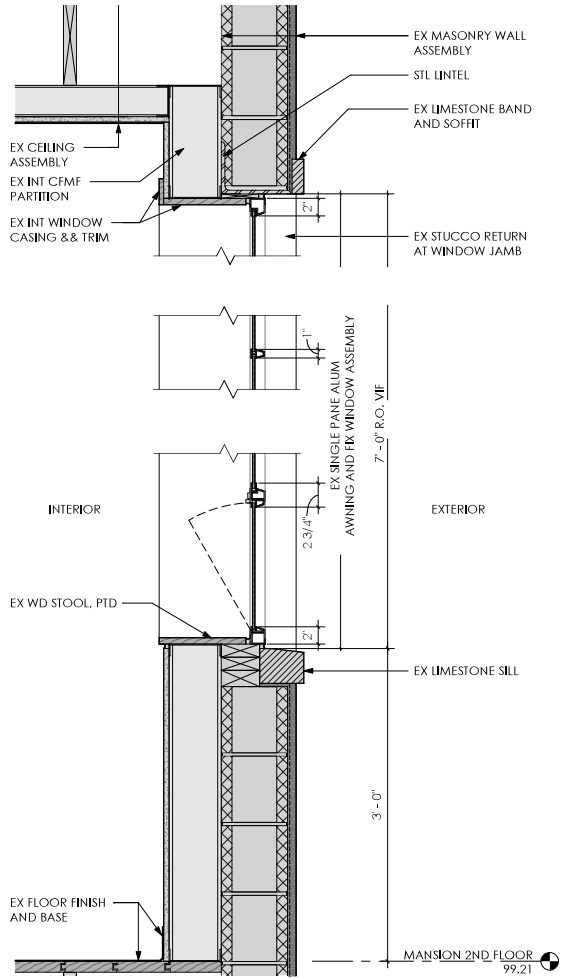
Final Detail to be Reviewed & Approved by HC Staff



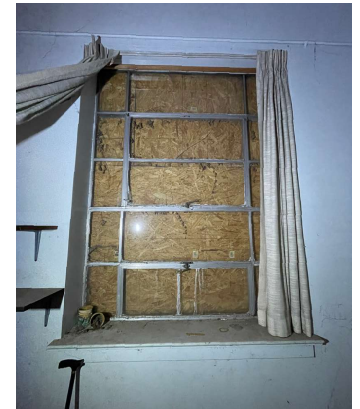
Typical Proposed Window Elevation at Mansion

Typical Window Details

Addition Existing



Typical Existing Window Detail at Addition

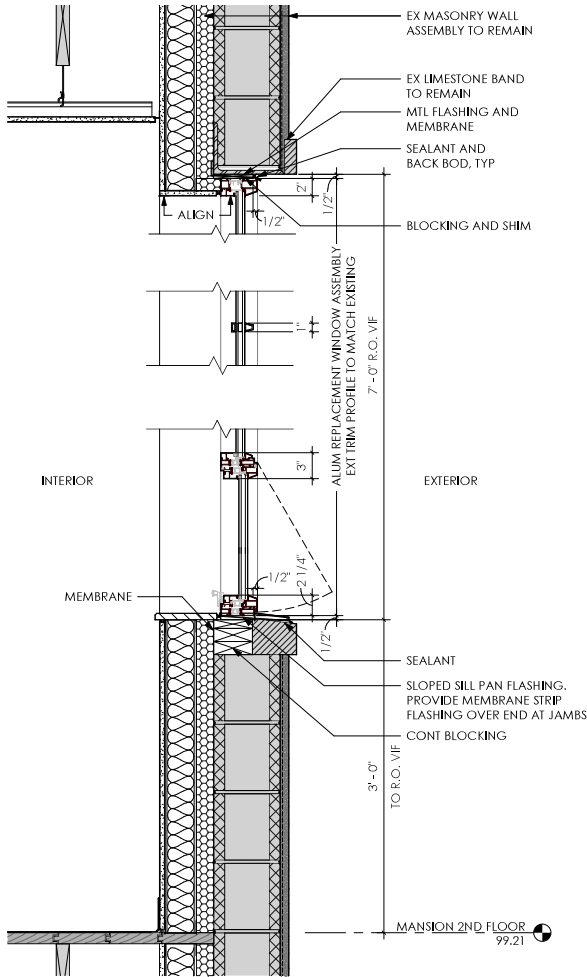


Proposed Addition Window Alteration Notes

- Aluminum window replacement in Addition is recommended to comply with energy code and maintenance goals of Temple University.
- Refurbish existing steel lintels at masonry wall.
- Replace existing aluminum windows with thermally broken aluminum windows to match historic profile.

Typical Window Details

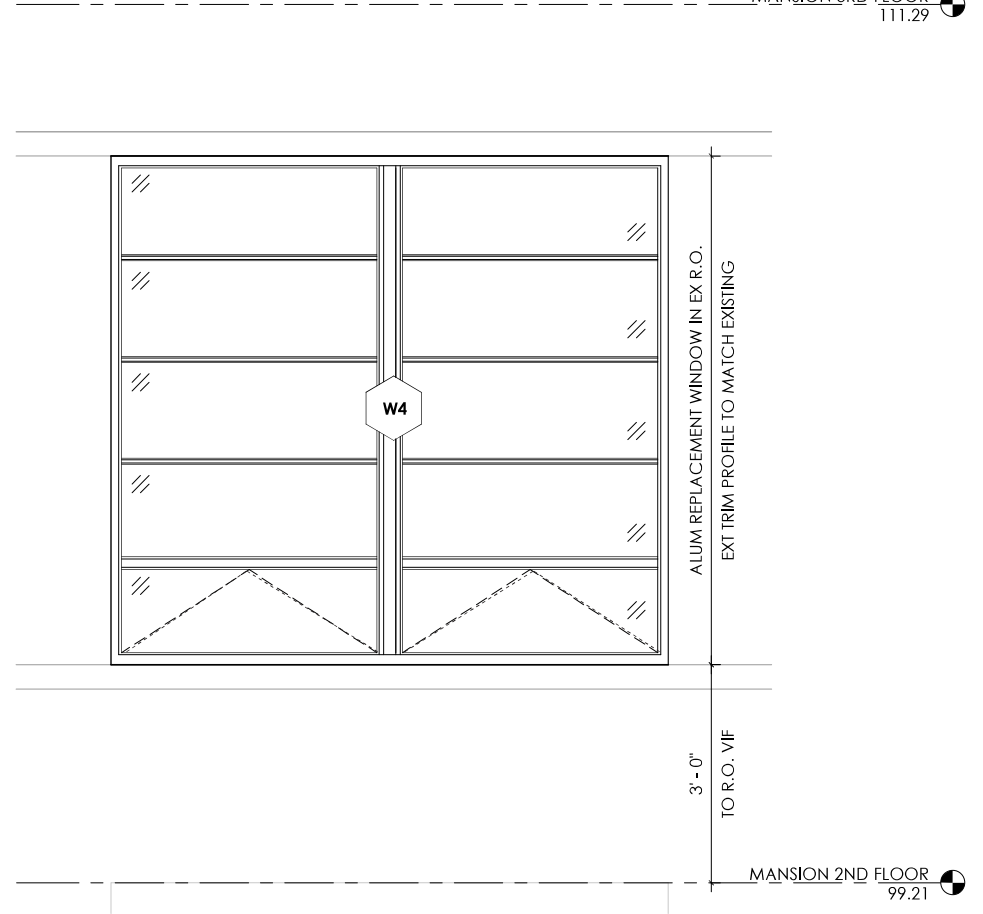
Addition Proposed



Typical Proposed Window Detail at Addition

Final Detail to be Reviewed & Approved by HC Staff

MANSION 3RD FLOOR
111.29

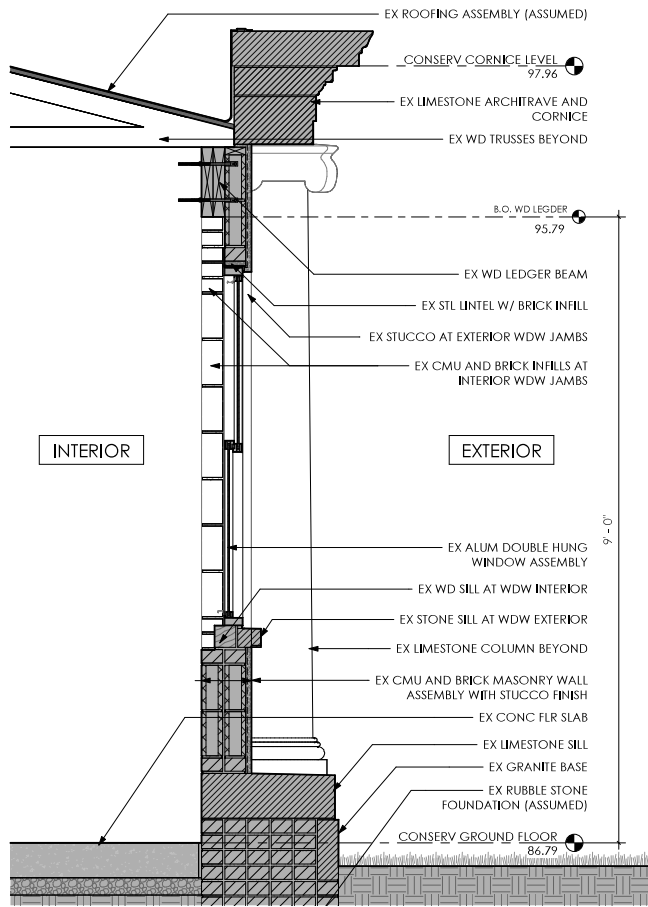


Typical Proposed Window Elevation at Addition

Operable awning window placement is under review by Temple University

Typical Window Details

Conservatory Existing



Typical Existing Window Section at Conservatory

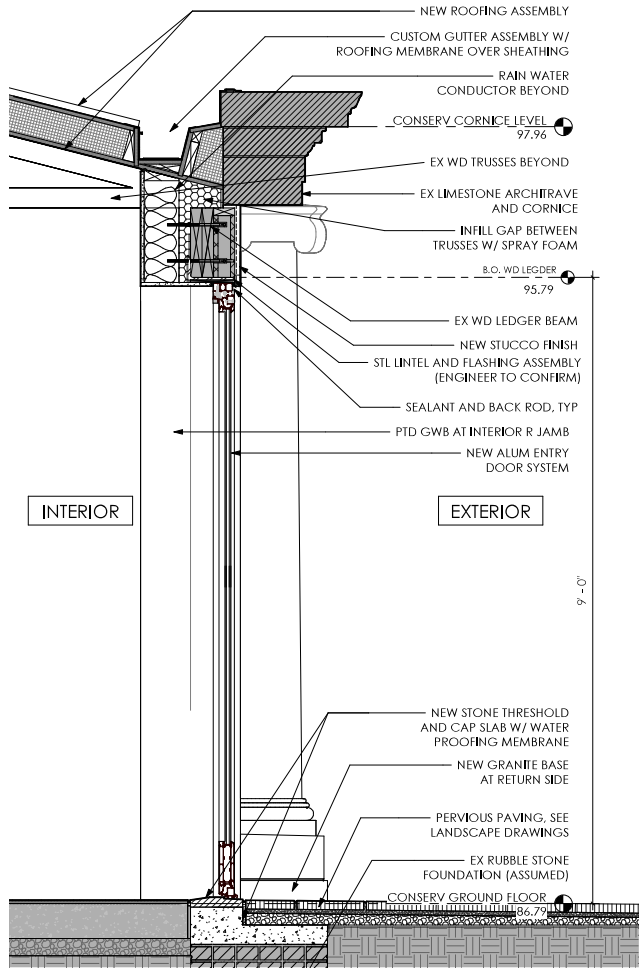


Proposed Conservatory Window Alteration Notes

- Wood and aluminum window replacement at Conservatory is recommended due to deterioration of wood, and for aluminum windows to comply with energy code and maintenance goals of Temple University.
- Replace wood lintels with steel lintels at masonry wall; Refurbish existing steel lintels.
- Replace existing wood and aluminum windows with thermally broken aluminum windows to match historic profile.
- Replace (4) aluminum windows with double doors at new terrace; remove stone sill for accessible access.

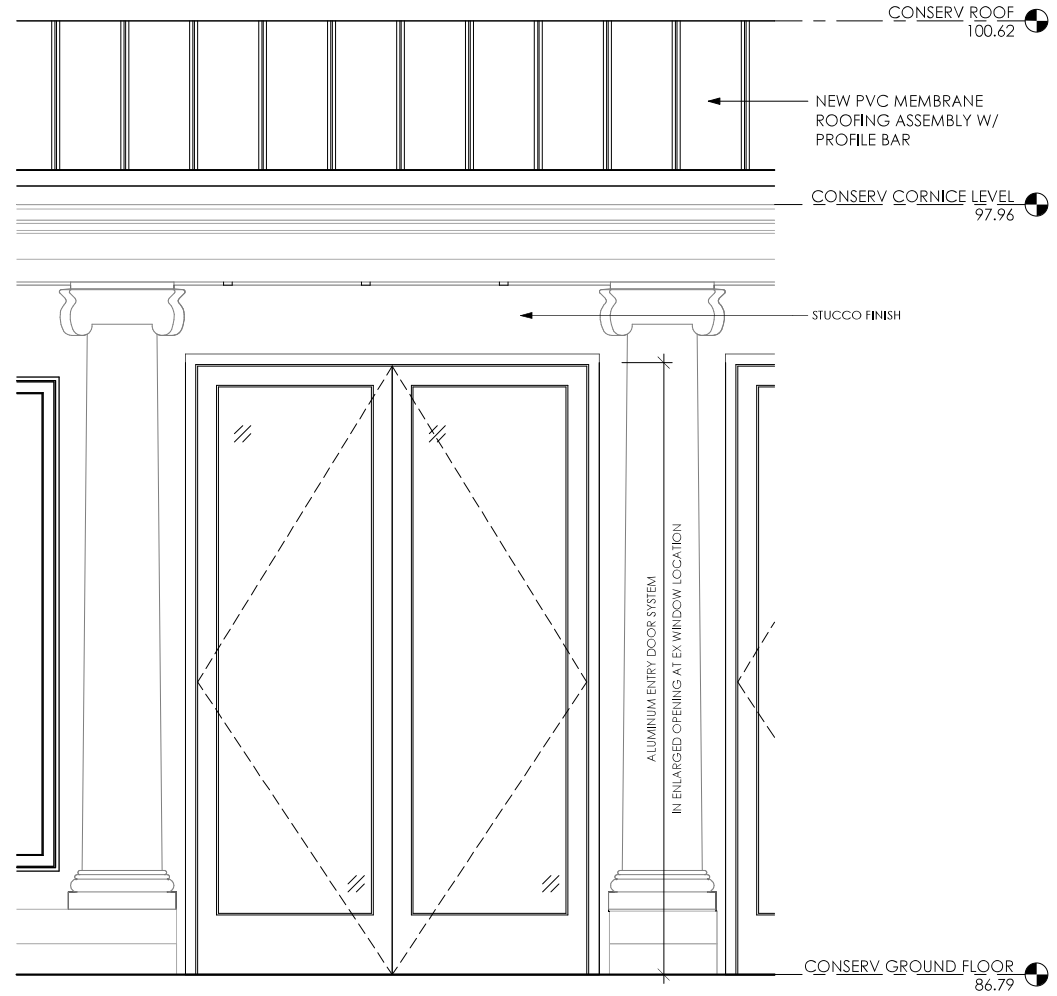
Typical Window Details

Conservatory Proposed



Proposed Door Section at Conservatory Terrace

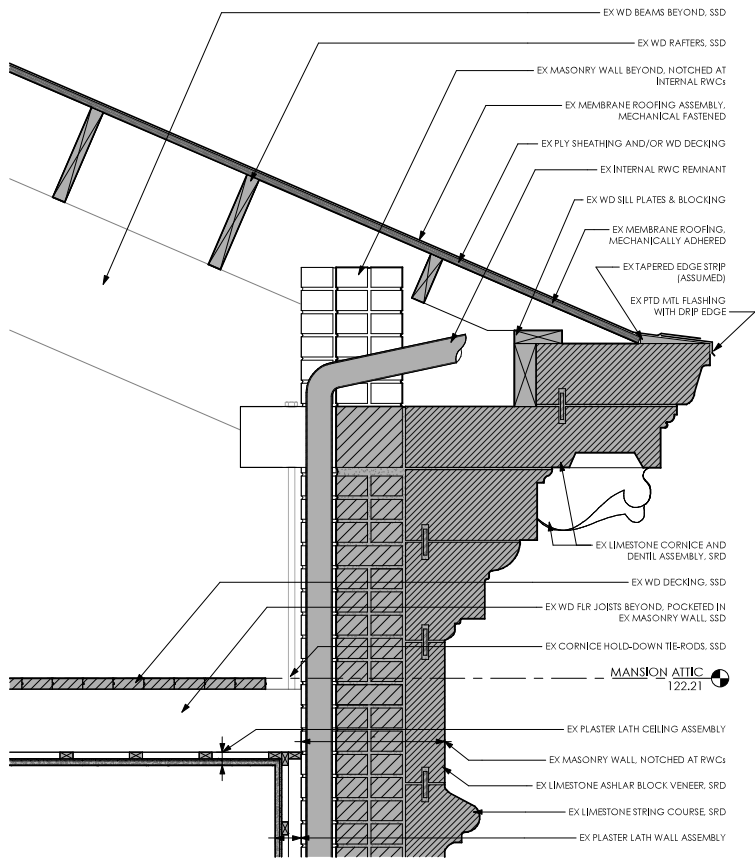
Final Detail to be Reviewed & Approved by HC Staff



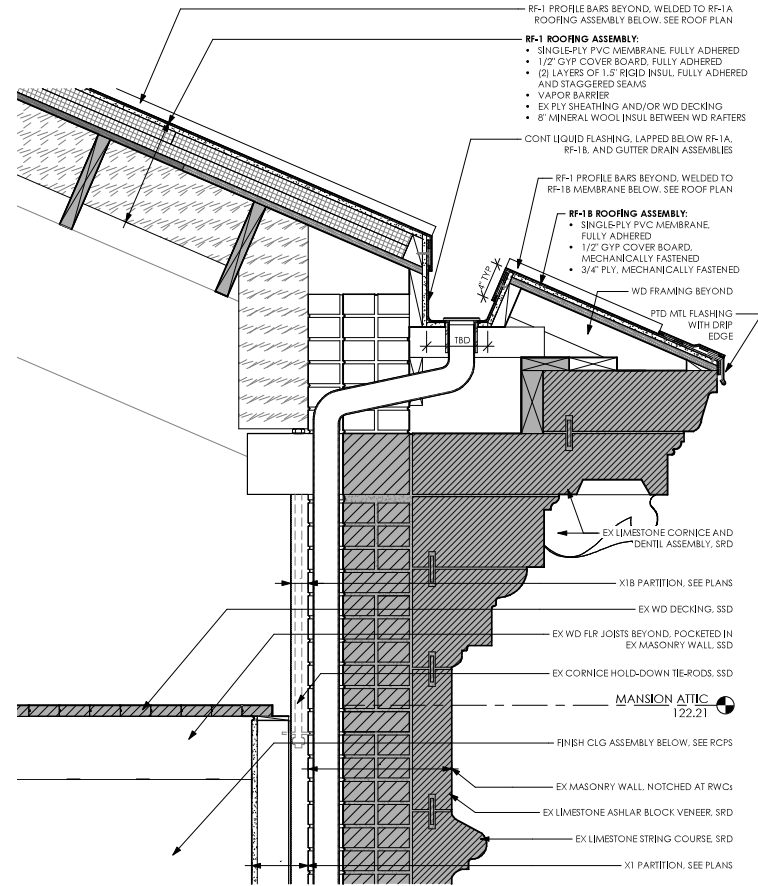
Proposed Door Elevation at Conservatory Terrace (4 bays)

Typical Roof Details

Mansion



Existing Section at Mansion Eave



Proposed Section at Mansion Eave

Final Detail to be Reviewed & Approved by HC Staff

Signage Approaches

Broad Street Entrance

1 Pin lettering, central flag



View of Entrance from Broad Street Looking West

2 Pin lettering, twin flags



3 Site wall



Proposed Signage Notes

- Temple University is requesting approval for all signage options; their selection process is underway.
- One or two identity banners at second story windows mounted to flagpoles at limestone window sill, similar to appearance at historic designation.
- Bronze pin letters bar-mounted to limestone architrave above main entrance.
- Freestanding campus-standard building sign placed adjacent to main entrance.
- Freestanding stone site wall (3 feet high) placed adjacent to sloped walk.
- Plaque sign at entrance gate, pin-mounted to limestone pillars.

Signage Approaches

Conservatory + Jefferson Street Gate



View of Conservatory from Jefferson Street Looking Northwest



View of Jefferson Street Gate Looking North

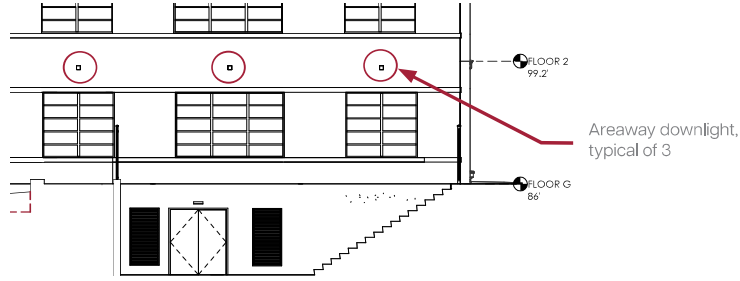
Proposed Signage Notes

- Identity banner at Conservatory corner, mounted to metal frame at limestone joints, similar to existing flagpole location.
- Plaque sign at entrance gate pin-mounted to limestone pillar.

Proposed Fixtures + Locations



Linear downlight mounted at limestone soffit with 2.5" painted aluminum shield angle



Mansion North Areaway



Decorative Wall Sconce

Similar in size and materiality to historic fixtures shown above.



Decorative wall sconces at original sconce locations



Linear uplight mounted in pediment with 1" painted aluminum shield angle

Linear downlight mounted above main entrance door with 2.5" painted aluminum shield angle



Linear Downlight/Uplight

1" x 3/4"



Areaway Downlight

6" x 6"

Mansion Main Entrance

Conservatory Main Entrance

Thank You



M G A P A R T N E R S