

ADDRESS: 2039 SPRUCE ST

Proposal: Construct addition and roof decks with pilothouse; replace slate roofing and windows

Review Requested: Final Approval

Owner: 2039 Spruce LLC

Applicant: Agata Reister, Landmark Architectural Design

History: 1880; Francis Stokes House

Individual Designation: None

District Designation: Rittenhouse Fidler Historic District, Contributing, 2/8/1995

Staff Contact: Heather Hendrickson, heather.hendrickson@phila.gov

OVERVIEW: This application proposes to demolish a bay and a small one-story building at the rear of the building in order to construct a five-story addition. The application also proposes two roof decks and two pilot houses. The renovation also includes replacement of windows with vinyl windows and the re-roofing of side and rear slate mansard segments with asphalt shingles designed to imitate the appearance of slate.

The addition and work to the side and rear will not be visible from the public right-of-way. It is unclear how visible the front pilot house may be; it will be set back from the front parapet by about 10 feet and reach a maximum height of 10 feet. A visibility study including a mock-up of the pilot house height may be helpful to understand the impact on the historic building and the surrounding district.

The application includes limited information about the juncture between the proposed addition and the rear of the existing ell, as well as changes to the rear roof to accommodate the roof deck. A detailed demolition plan and section drawings of these areas would clarify the scope of removal of historic material.

SCOPE OF WORK:

- Construct addition and roof decks with pilothouse
- Replace slate roofing and windows

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
 - The proposed railing for the front roof deck is not a compatible material.
- *Roofs Guideline: Recommended: Designing rooftop additions, elevator or stair towers, decks or terraces, dormers, or skylights when required by a new or continuing use so that they are inconspicuous and minimally visible on the site and from the public right-of-way and do not damage or obscure character-defining historic features.*
 - The front pilot house may be visible from the public right-of-way. Adapting the plan to have both roof decks accessed by the central pilot house would better meet the Standards.

STAFF RECOMMENDATION: Denial, pursuant to Standards 9 and the Roofs Guideline.



Figure 1: Subject property in its immediate context.



4-07-2026

To: Philadelphia Historical Commission

Re: 2039 Spruce Street Proposed roof deck with access pilot houses and rear story addition.

Dear Ms. Chantry,

Thank you for the opportunity to present this project to the Philadelphia Historic Commission.

Please find the pertinent information below:

Site Address: 2039 Spruce Street

Building Frontage: Spruce Street

Project Contacts:

1) Agata Reister (Landmark Architectural Design)

1325 Snyder Ave, Philadelphia, PA 19148

Agata@landmarkaia.com

609-954-8504, 215-755-9050

2) Felicia Diarra (Landmark Architectural Design)

1325 Snyder Ave, Philadelphia, PA 19148

Felicia@landmarkaia.com

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Owner/Developer Information: 2039 Spruce LLC (Uri Jacobson) 1000 Easton Rd. Suite 108 Wyncote, PA 19095

The existing structure is 4 stories with walk out basement walkout and cellar.



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VINCENT MANDINI, A.I.A. ARCHITECT
AGATA M. REISTER PARTNER

The proposed roof decks with access pilot houses would occur at the existing structure. They would only serve the units directly below. The proposed rear addition would extend from the basement level and match the height and number of stories of the existing structure.

The existing materials consist of brownstone (front façade) brick, slate and metal clad at existing bays.

The proposed materials at the rear will comprise of fiber cement siding (@ addition only), composite 1x trim for corners of the addition, cornice and window casings at existing dormers.

The slate at the façade facing Spruce street is to remain. The slate at the side and rear of the property is proposed to be removed and replaced by asphalt shingles.

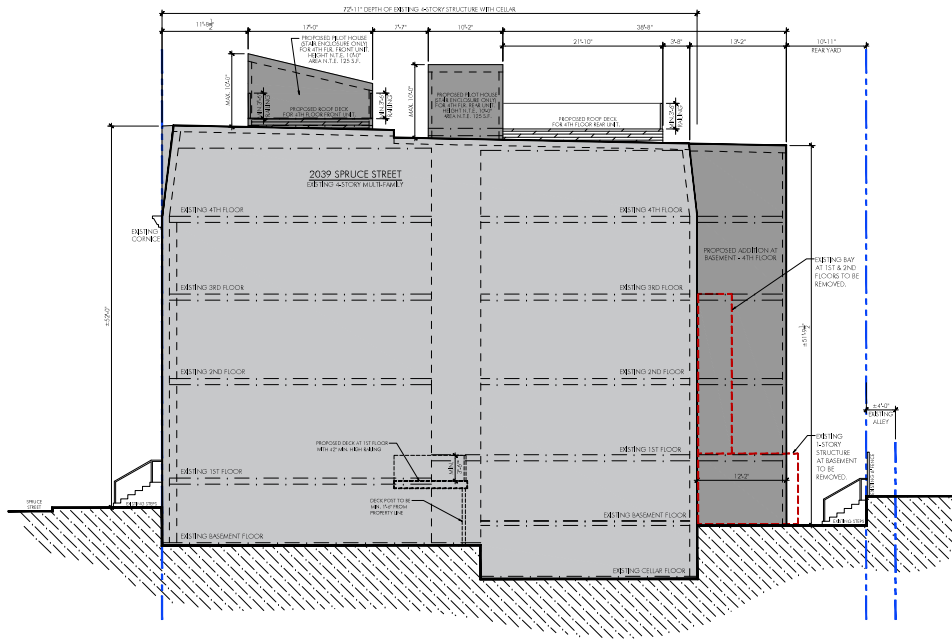
The proposed front (Spuce St.) windows will be metal clad wood. The proposed rear windows (alley side and rear) will be vinyl.

All material colors and selections to be reviewed and approved by PHC.

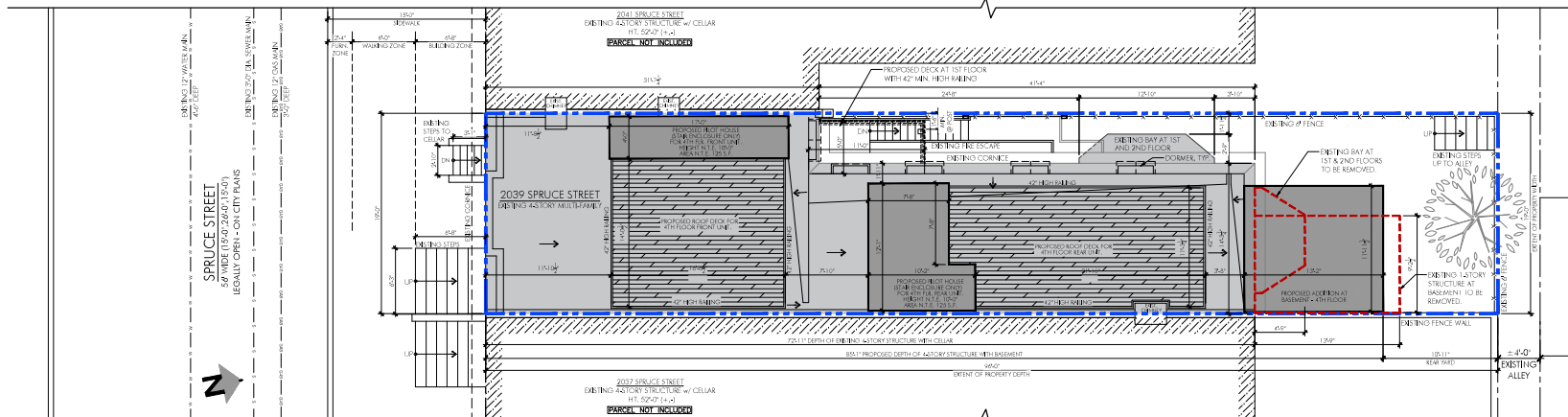
Respectfully submitted by Landmark Architectural Design

ZONING INFORMATION:		RM-1		
PROPERTY: 2039 SPRUCE STREET	ZONING OVERLAY: CENTER CITY OVERLAY DISTRICT - PARKING GARAGE GROUND FLOOR USE CONTROL AREA CENTER CITY OVERLAY DISTRICT - SPRUCE STREET AREA CENTER CITY OVERLAY DISTRICT - CENTER CITY COMMERCIAL DISTRICT CONTROL AREA NARCOTICS INJECTION SITES OVERLAY DISTRICT CENTER CITY OVERLAY DISTRICT - RESIDENTIAL PARKING CONTROL AREA	REQUIREMENTS OF RM-1	EXISTING	PROPOSED
USE:		(1) SEE BELOW	9 RESIDENTIAL UNITS	NO CHANGE
LOT AREA:		MIN. 1,440 SQ. FT.	1,824 SQ. FT.	NO CHANGE
LOT WIDTH:		MIN. 16'-0"	19'-0"	NO CHANGE
OCCUPIED AREA:		75%, 80% CORNER LOTS	1,355 SQ. FT. (74.3%)	1,367 SQ. FT. (74.9%)
OPEN AREA:		25%, 20% CORNER LOTS	469 SQ. FT. (25.7%)	457 SQ. FT. (25.1%)
REAR YARD DEPTH:		9'-0" MIN.	9'-3"	10'-11"
# OF STORIES:		N/A	4-STORY + BASEMENT	NO CHANGE
HEIGHT:		38'-0"	± 52'-0"	NO CHANGE

[1] A MINIMUM 360 S.F. OF LOT AREA IS REQUIRED PER DWELLING UNIT FOR THE FIRST 1,440 S.F. OF LOT AREA. A MINIMUM OF 480 S.F. OF LOT AREA IS REQUIRED PER DWELLING UNIT FOR THE LOT AREA IN EXCESS OF 1440 S.F. WHENEVER THE CALCULATION OF PERMITTED NUMBER OF DWELLING UNITS RESULTS IN A FRACTION OF A DWELLING UNIT, THEN THE NUMBER OF PERMITTED DWELLING UNITS SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER.



2 Zoning Profile (for Reference Only)
Scale: 1/8" = 1'-0"



1 Zoning Plan
Scale: 3/16" = 1'-0"

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CONSULTANT:

CONSULTANTS:

PROJECT NAME
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1000 Eastern Rd. Suite 108
Wyncote, PA 19095

DATE PREPARED: 03/26/26
DATE SUBMITTED FOR REVIEW: 03/26/26
DATE APPROVED: 03/26/26

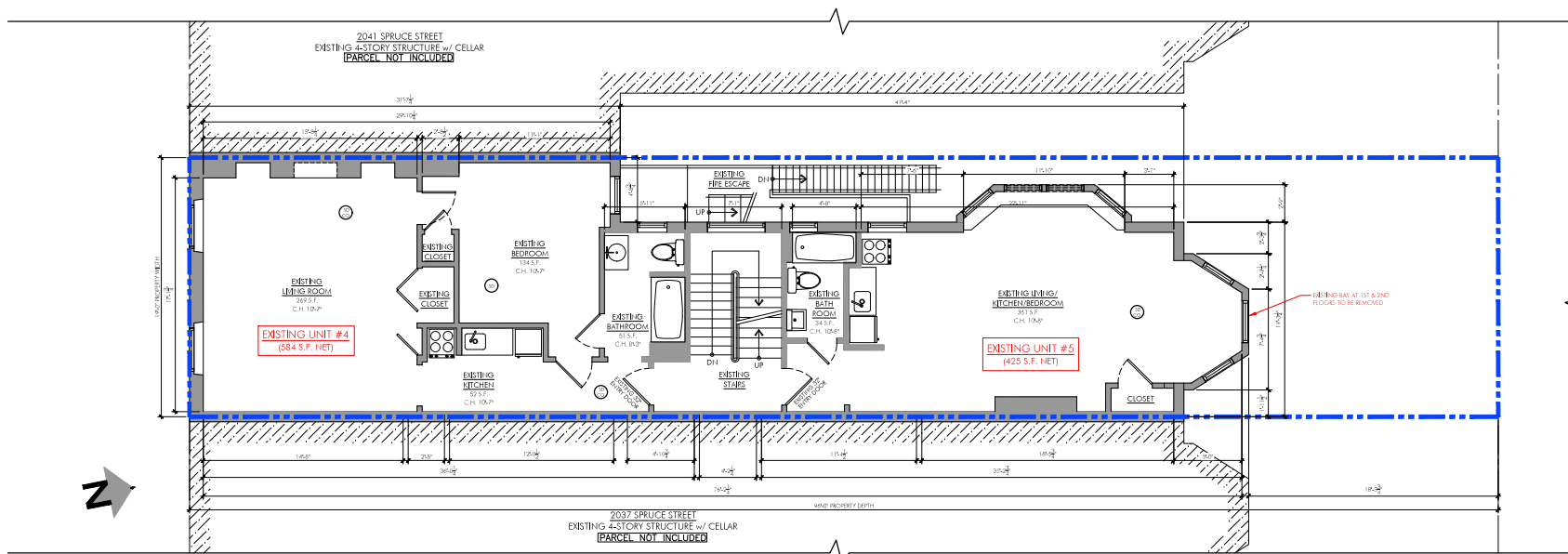
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SUBMITTED FOR REVIEW
SUBMITTED FOR REVIEW

PROJECT NUMBER: v26-103
DATE: 03-26-26
SCALE: As Noted
DRAWN BY: FD

SHEET TITLE: Zoning Plan
SHEET NO.: 1

03-26-26
As Noted
FD

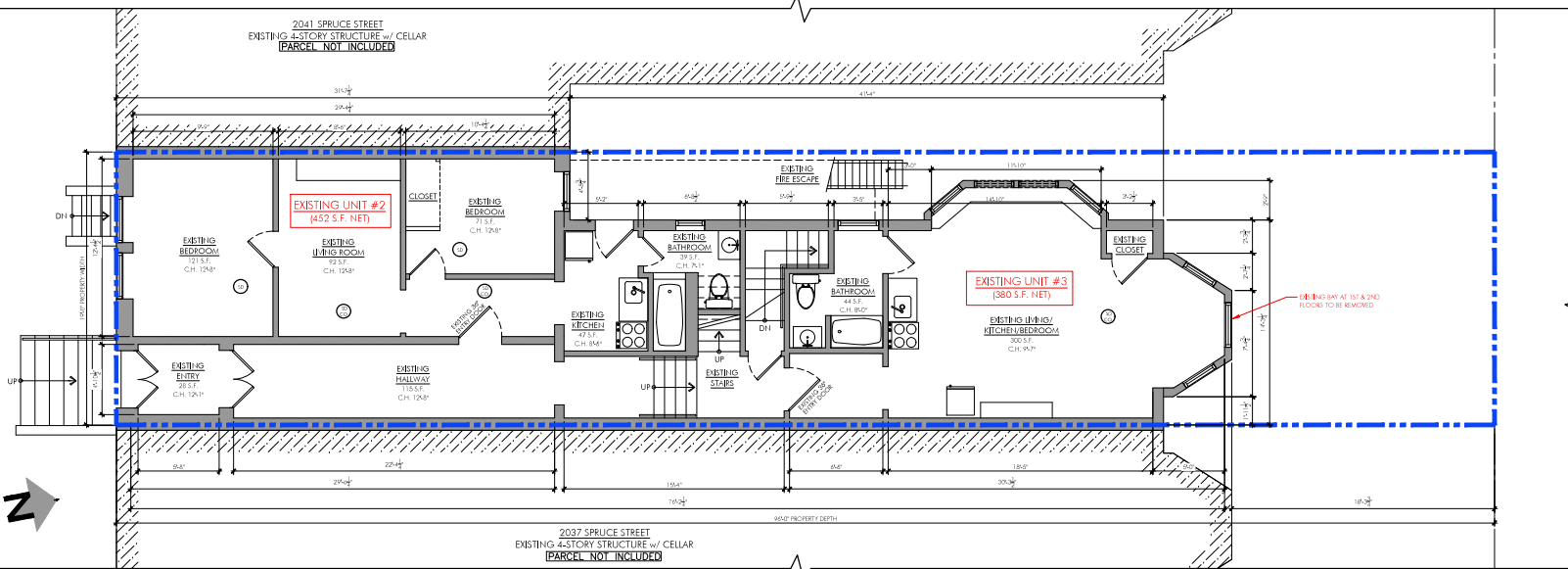
Z-1



2 Existing Second Floor Plan
Scale: 1/4" = 1'-0"



SPRUCE STREET
60' WIDE (1540' 2640' 1500')
LEGALLY OPEN - OK CITY PLANS



1 Existing First Floor Plan
Scale: 1/4" = 1'-0"

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DATE CHECKED: 03/26/26
DATE APPROVED: 03/26/26

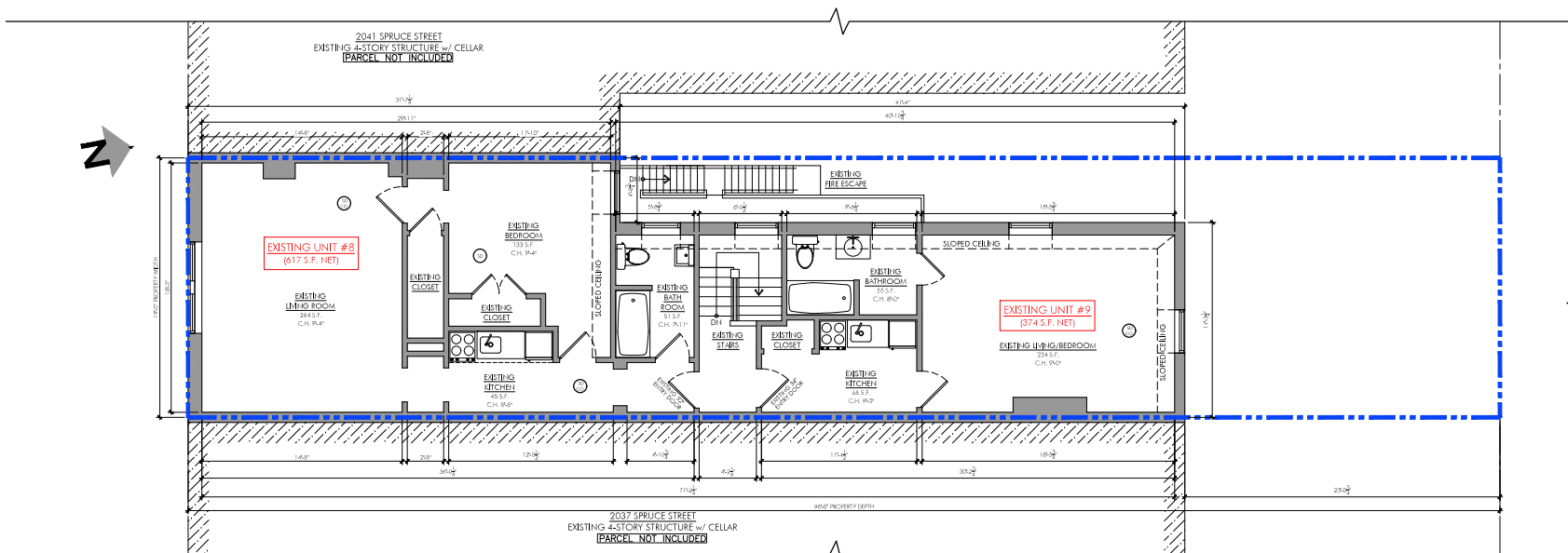
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SUBMITTED TO CITY PLANS
SUBMITTED TO CITY PLANS

SHEET NO. 1

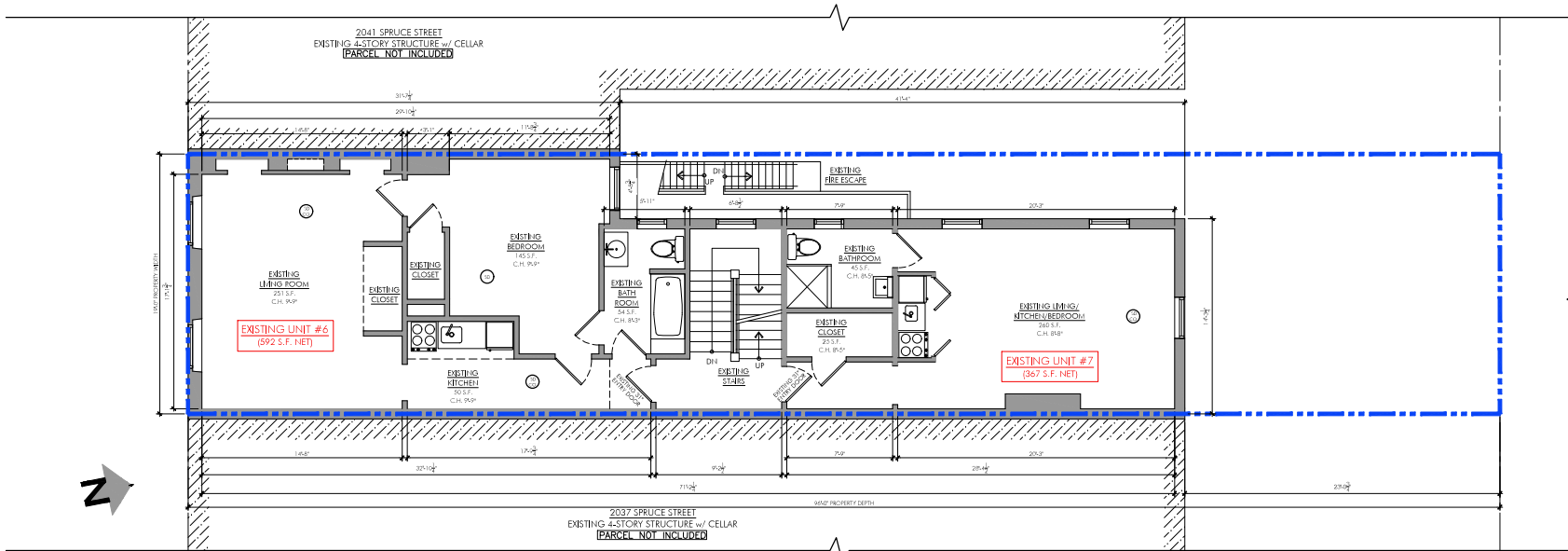
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DATE: 03-26-26
SCALE: As Shown
DRAWN BY: FD

Existing Floor Plans

EX-1.1



2 Existing Fourth Floor Plan
Scale: 1/4" = 1'-0"



1 Existing Third Floor Plan
Scale: 1/4" = 1'-0"

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Wyncote, PA 19095

REVISION DESCRIPTION
DATE
1/26/24
2/20/24
3/20/24

REVISIONS
SUBMITTED FOR PERMIT
SUBMITTED FOR PERMIT

SHEET NO.
Existing Floor Plans

PROJECT NO.
v26-103

DATE
03-26-26

SCALE
As Shown

DESIGN BY
FD

EX-1.2



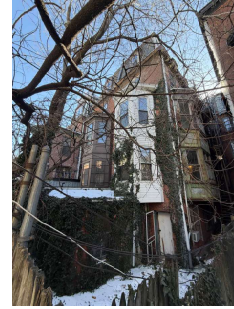
A Existing Front
Scale: N.T.S.



B Existing Front Entry
Scale: N.T.S.



C Existing Front Steps
Scale: N.T.S.



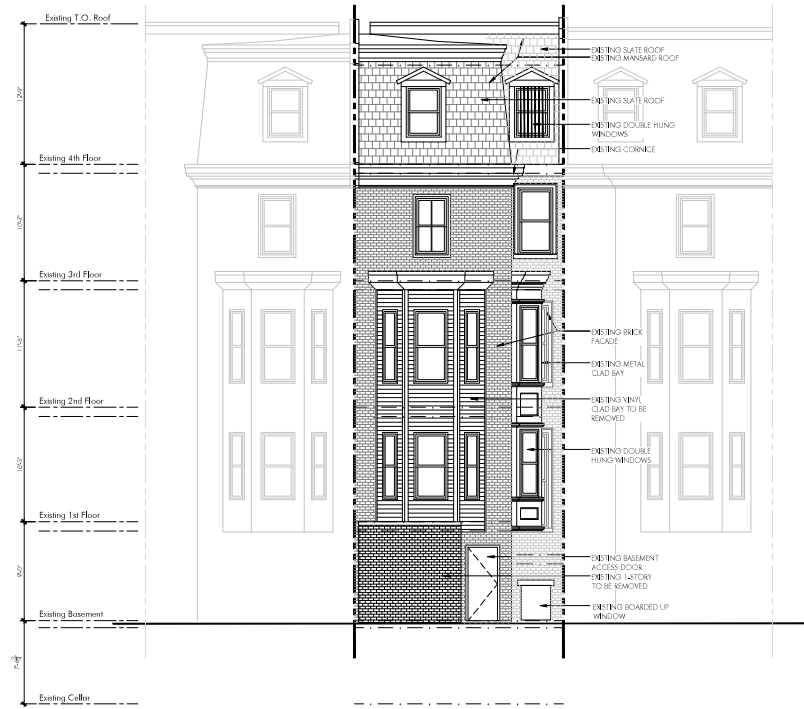
D Existing Rear
Scale: N.T.S.



E Existing Rear Bay
Scale: N.T.S.



1 Existing Front Elevation
Scale: 3/16" = 1'-0"



2 Existing Rear Elevation
Scale: 3/16" = 1'-0"

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Wyncote, PA 19095

DATE	DESCRIPTION
03-26-26	SUBMITTED FOR PERMIT
03-26-26	SUBMITTED FOR PERMIT
03-26-26	SUBMITTED FOR PERMIT

PROJECT NO.
v26-103

DATE
03-26-26

SCALE
As Shown

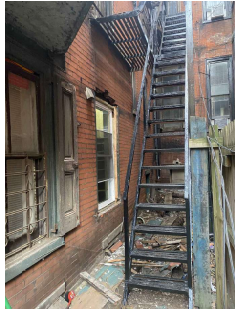
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FD

EX-2.0

DATE



A Existing Rear
Scale: N.T.S.



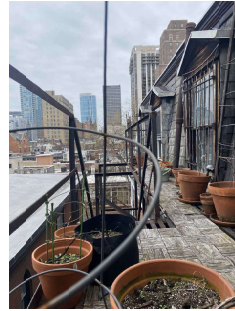
B Existing Rear Basement
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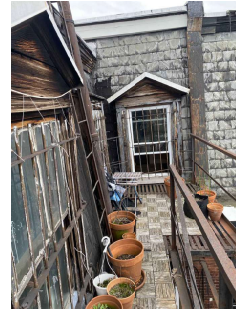
C Existing Rear 1st Floor
Scale: N.T.S.



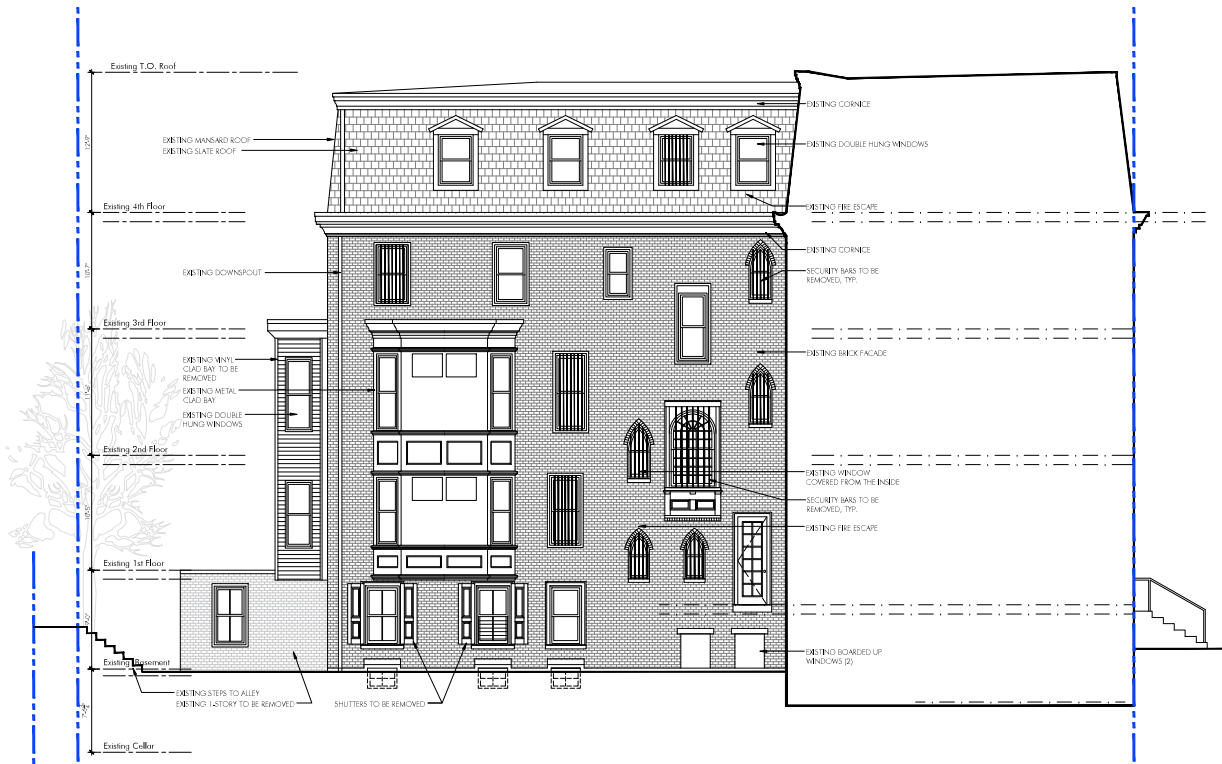
D Existing Rear 2nd Floor Bay
Scale: N.T.S.



E Existing 4th Floor
Scale: N.T.S.



F Existing 4th Floor
Scale: N.T.S.



1 Existing Side Elevation
Scale: 3/16" = 1'-0"

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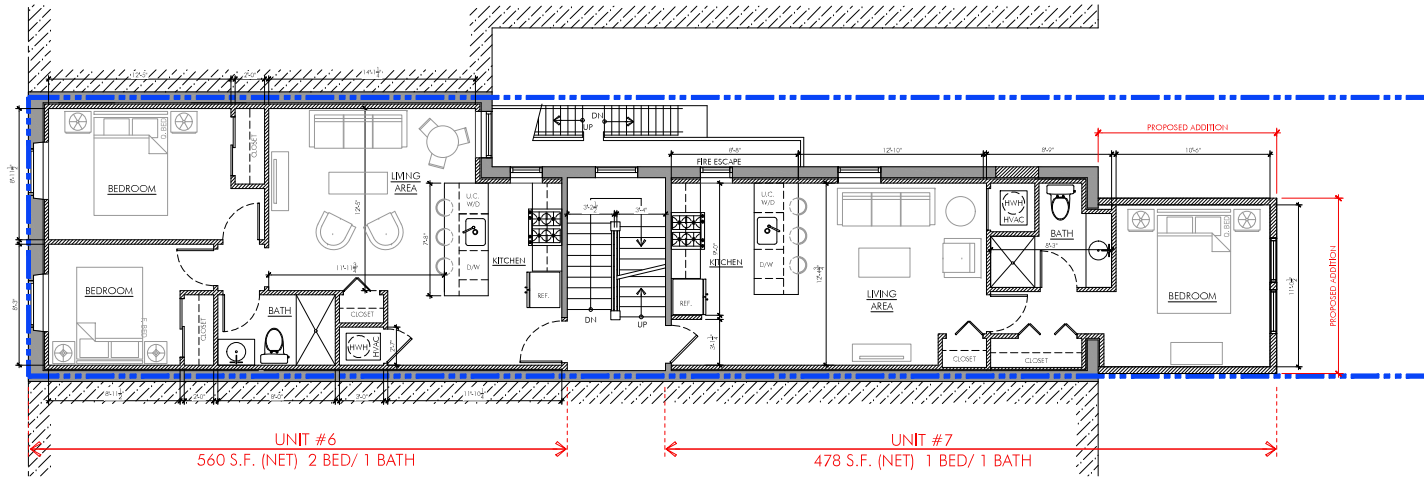
DATE	DESCRIPTION
03/26/26	REVISIONS
03/26/26	REVISIONS
03/26/26	REVISIONS
03/26/26	REVISIONS

PROJECT NO.: v26-103
DATE: 03-26-26
SCALE: As Noted
DRAWN BY: FD

EX-2.1

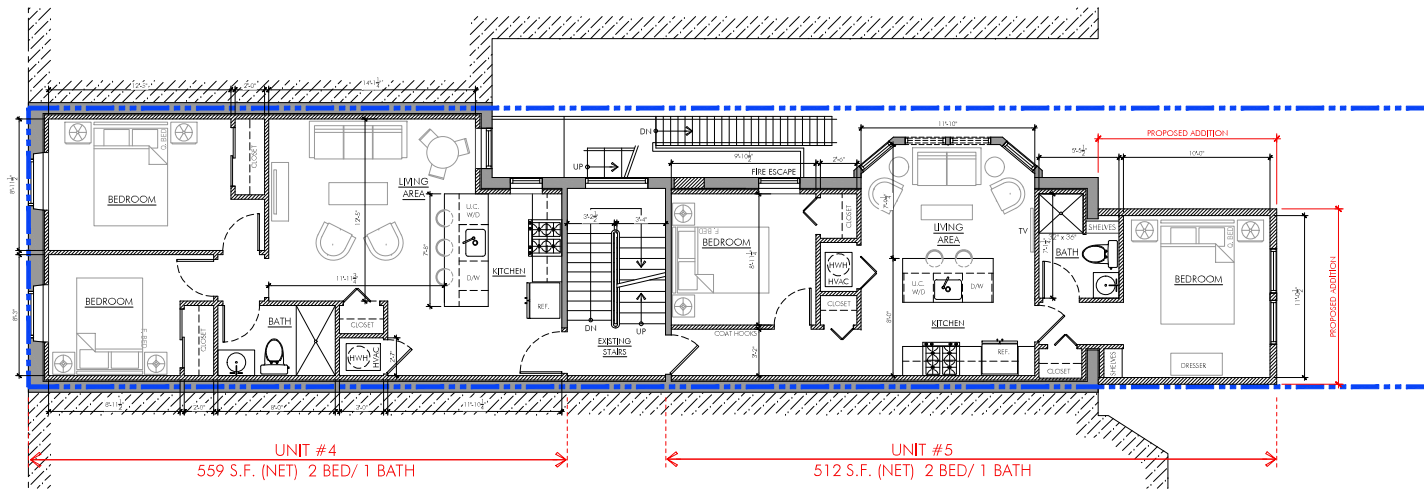
SHEET TITLE
Existing Elevations & Photos

DATE: 03/26/26



2 Third Floor Plan

Scale: 1/4" = 1'-0"



1 Second Floor Plan

Scale: 1/4" = 1'-0"

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DATE REVISION	REVISION DESCRIPTION
03/26/26	ISSUED FOR PERMITTING
03/26/26	ISSUED FOR PERMITTING
03/26/26	ISSUED FOR PERMITTING

SHEET TITLE

PROJECT NO:
v26-103

DATE:
03-26-26

SCALE:
As Shown

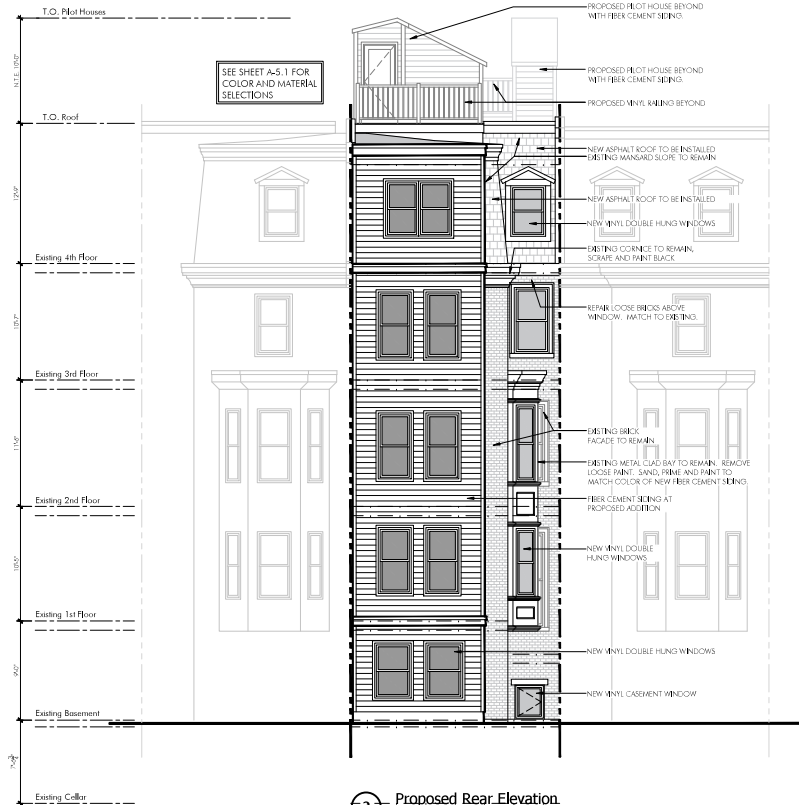
DESIGN BY:
FD

A-1.1

Proposed Plans



1 Proposed Front Elevation
Scale: 3/16" = 1'-0"



2 Proposed Rear Elevation
Scale: 3/16" = 1'-0"

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PROPERTY OWNER
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Wyncote, PA 19095

PREPARED BY: [Name]
CHECKED BY: [Name]
DATE: [Date]

SHEET TITLE
Proposed Elevations

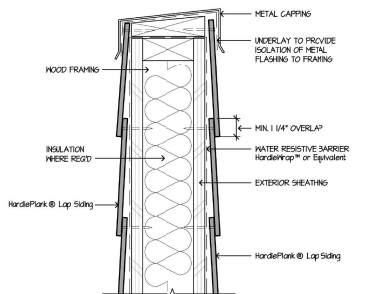
PROJECT NO.
v26-103

DATE
03-26-26

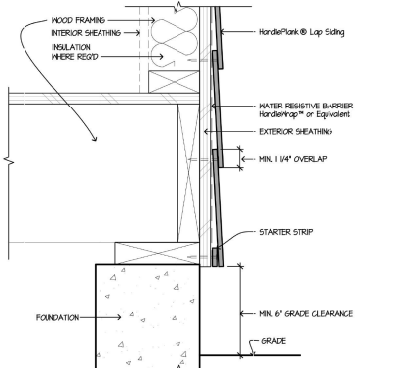
SCALE
As Shown

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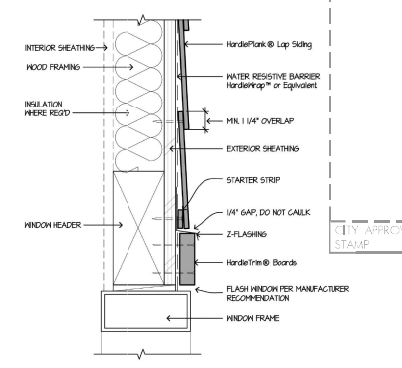
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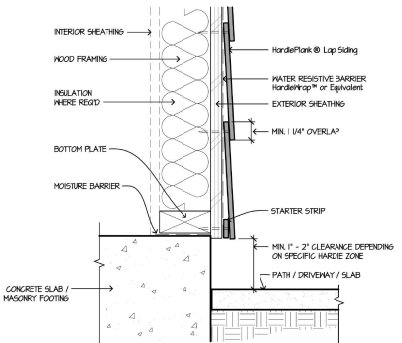
9 PARAPET SCALE: 3/4"=1'-0"



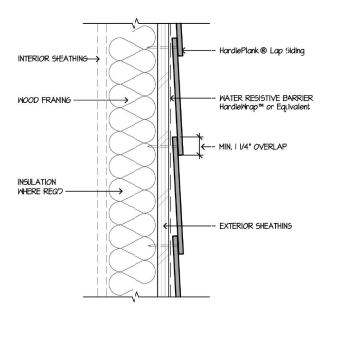
6 GRADE CLEARANCE SCALE: 3/4"=1'-0"



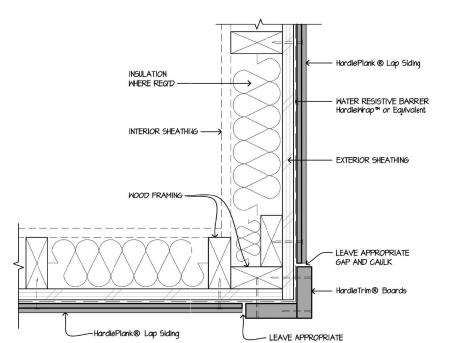
3 WINDOW/DOOR HEAD SCALE: 3/4"=1'-0"



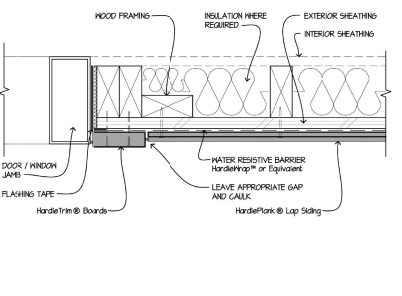
8 HARDSCAPE CLEARANCES, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC. SCALE: 1/2"=1'-0"



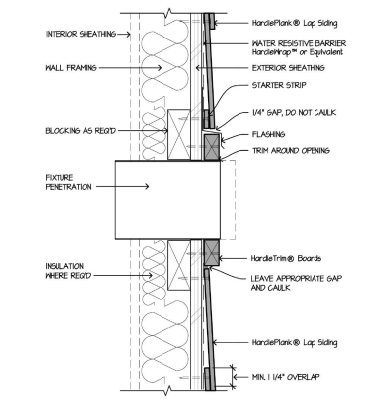
5 HORIZONTAL LAP VIEW SCALE: 3/4"=1'-0"



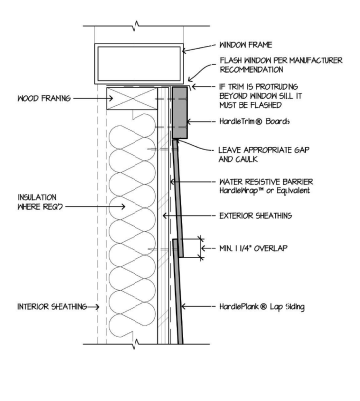
2 OUTSIDE CORNER SCALE: 3/4"=1'-0"



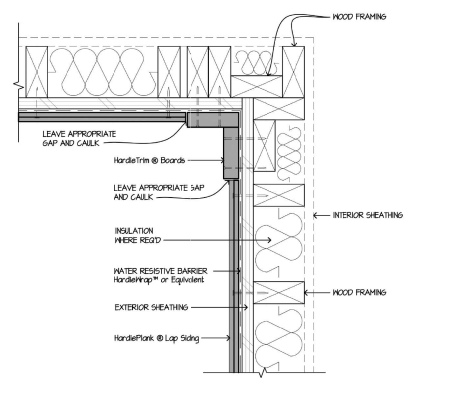
10 DOOR / WINDOW JAMB SCALE: 3/4"=1'-0"



7 FIXTURE PENETRATION SCALE: 3/4"=1'-0"



4 WINDOW SILL SCALE: 3/4"=1'-0"



1 INSIDE CORNER SCALE: 3/4"=1'-0"

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CONSULTANTS:

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REVISION DESCRIPTION
SUBMITTED FOR PERMIT
SUBMITTED FOR PERMIT

DATE REVISION
02/26/24
02/26/24

SHEET NO.
Material Installation Details

PROJECT NO.
v26-103

DATE
03-26-26

SCALE
As Noted

DESIGN BY
FD

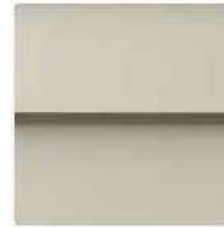
A-3.1



AI Products **Your Area** Address Enter your address



Asphalt Roofing (GAF)



Smooth



Color: Slate Pebble
7.25" (6" Exposure)

Fibercement Siding (James Hardie) with White Composite Trim

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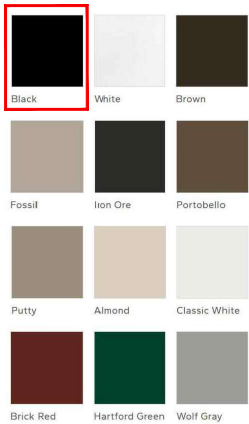
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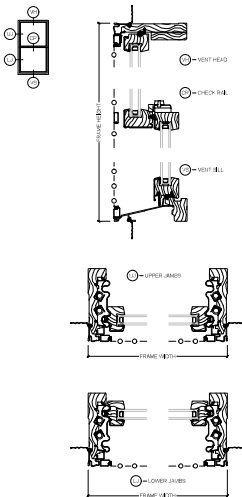
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NOT FOR CONSTRUCTION

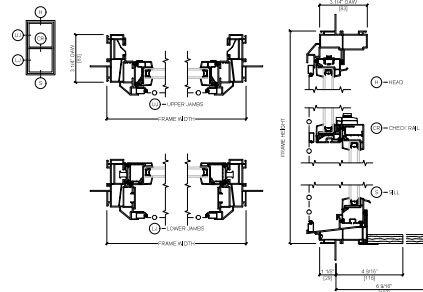
CONSULTANTS:



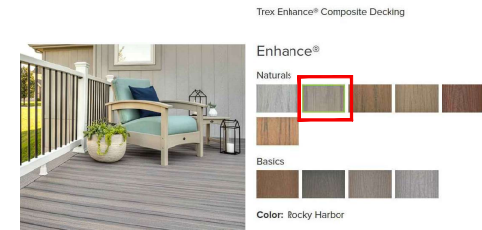
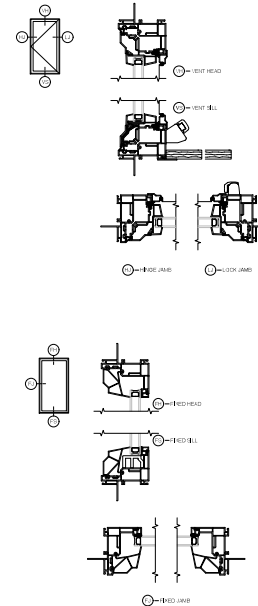
Pella Lifestyle Dual Glazed



Front Windows (Pella Lifestyle)



Rear & Side Windows (Pella Vinyl 250 Series)



Trex Enhance® Composite Decking
Enhance®
Naturals
Basics
Color: Rocky Harbor

Trex Composite Decking @
roof and 1st floor decks
White vinyl railing posts &
rails with black spindles

PROJECT NAME
2039 Sycamore St
Philadelphia, PA 19103

PROPERTY OWNER
1000 Eastern Rd, Suite 108
Wyncote, PA 19095

DATE REVISION DESCRIPTION
DATE REVISION DESCRIPTION
DATE REVISION DESCRIPTION

PROJECT NUMBER
v26-103
DATE
03-26-26
SCALE
As Noted
DRAWN BY
FD

SHEET TITLE
Material Selections
A-5.1