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To Whom it May Concern,

James Adducci and Elizabeth Anderson engaged Buckminster Green to design and build a single Family home that incorporates the addresses 2027 and 2029 Brandywine St in the Fairmount neighborhood of Philadelphia. Elizabeth and James have lived in 2027 Brandywine for over 20 years and have raised two children at this location.

After meeting with the Architectural Committee on 3/24/26, we took the feedback into account and redesigned the 3rd Floor and 4th Floor addition with flat roofs in keeping with the Italianate style. Front windows will be replaced with 2 over 2 SDL wood double hung windows. Doors, iron work and front steps will be maintained. Brick will be pointed in consultation with the PHC staff. All exterior wood surfaces will be painted.

In addition to concerns about the gabled roof shown in the original plan, the committee questioned the removal of original brick structure as it pertains to standards 9 and 10. On the following pages you will see photographs that demonstrate the following: 2029 Brandywine has a 3 foot CMU addition at the rear. There is original brick along the side and at the beginning of the ell. 2027 Brandywine has a frame addition that altered the shape of the ell on the first floor prior to my clients ownership. Upon investigation, we found evidence that most if not all of rear ell is frame construction, as shown by the narrow jamb depth at the window and sliding glass door. The area between 2027 and 2029's ells is not visible from any public right of way, and the structures have already been substantially altered in ways that are not reversible.

RENDERINGS:

Head on view From across Brandywine. Note – windows will all be replaced with 2 over 2



Angled view from west without neighboring properties:

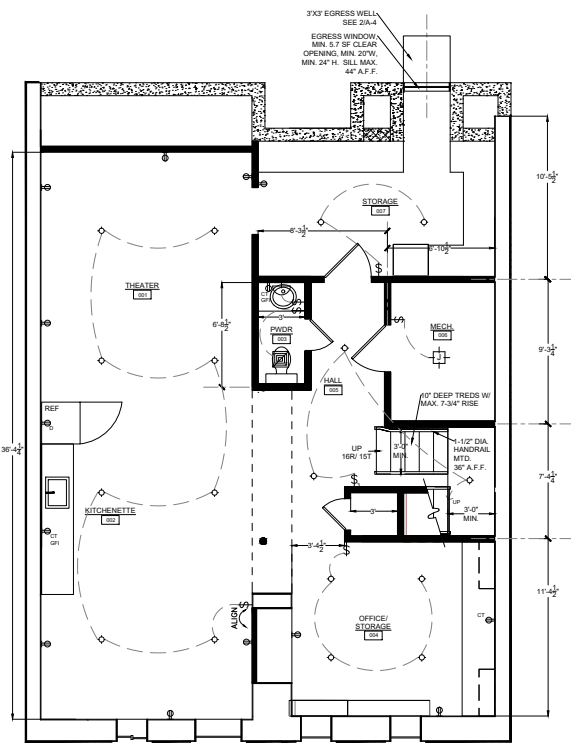


Angled view with neighboring properties:



Angled view From 150' to the west and across the street





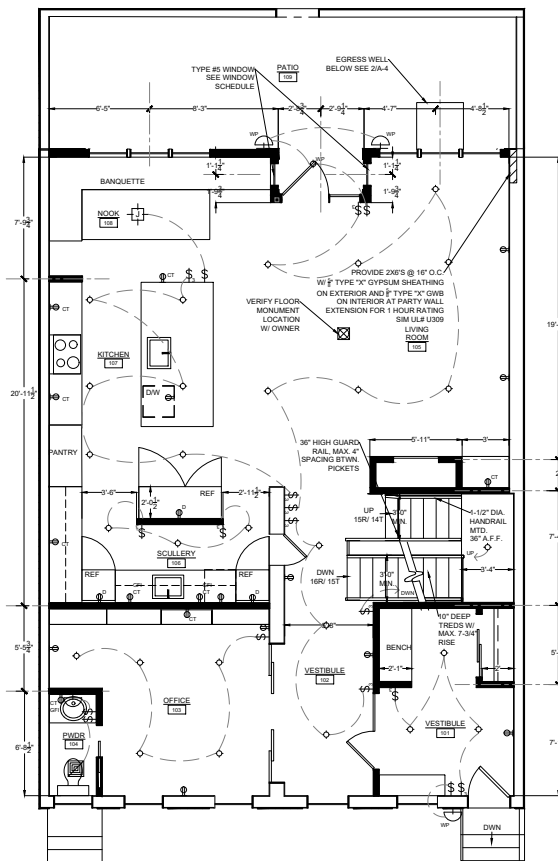
1 BASEMENT ARCH. PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE					
NO	SIZE	DOOR TYPE	FRAME TYPE	HRDRWR	NOTES
003	2'-0" X 6'-8"	B	B	L-3	
005	2'-0" X 6'-8"	B	B	L-2	
006	3'-0" X 6'-8"	B	B	L-2	1.
007	3'-0" X 6'-8"	B	B	L-2	
101a	(2) 2'-6" X 6'-8"	B	B	L-2	
101b	(2) 2'-0" X 6'-8"	C	C	L-4	
102	2'-0" X 6'-8"	B	B	L-2	
103	(2) 2'-6" X 6'-8"	C	C	L-4	2.
104	2'-0" X 6'-8"	D	D	L-5	
109	3'-0" X 6'-0"	E1	E	L-6	2.
201	2'-6" X 6'-8"	B	B	L-3	
202	2'-0" X 6'-8"	D	D	L-5	
203	2'-6" X 6'-8"	B	B	L-3	
205	2'-0" X 6'-8"	D	D	L-5	
206	2'-6" X 6'-8"	B	B	L-3	
207a	2'-6" X 6'-8"	B	B	L-3	
207b	2'-6" X 6'-8"	B	B	L-3	
208	2'-6" X 6'-8"	B	B	L-3	
209	2'-4" X 6'-8"	B	B	L-3	
210	2'-6" X 6'-8"	B	B	L-2	
211	2'-6" X 6'-8"	B	B	L-3	

DOOR KEY	
DOOR TYPES:	
A	NEW SEMI GLAZED WOOD ENTRY DOOR
B	NEW SOLID CORE DOORS @ 1-3/8" THICK
C	NEW SLIDING DOOR @ 1-3/8" THICK
D	NEW SOLID CORE DOOR
E	FULL LITE PARTED DOOR BY MNF
E1	FULL LITE SLIDING GLASS DOOR BY MNF
FRAME TYPES:	
A	2" SF WOOD FRAME
B	SLIDING DOOR TRACK AND FRAME
C	POORIE DOOR TRACK AND FRAME
E	FRAME BY MNF
HARDWARE TYPES:	
L-1	ENTRY LOCKSET
L-2	PASSAGE LATCHSET
L-3	PRIVATE LATCHSET
L-4	SLIDING DOOR PULL
L-5	POORIE DOOR PULL
L-6	HARDWARE BY MNF

DOOR NOTES:

1. LOUVERED DOOR
2. 24" SLOPES



2 1ST FLOOR ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

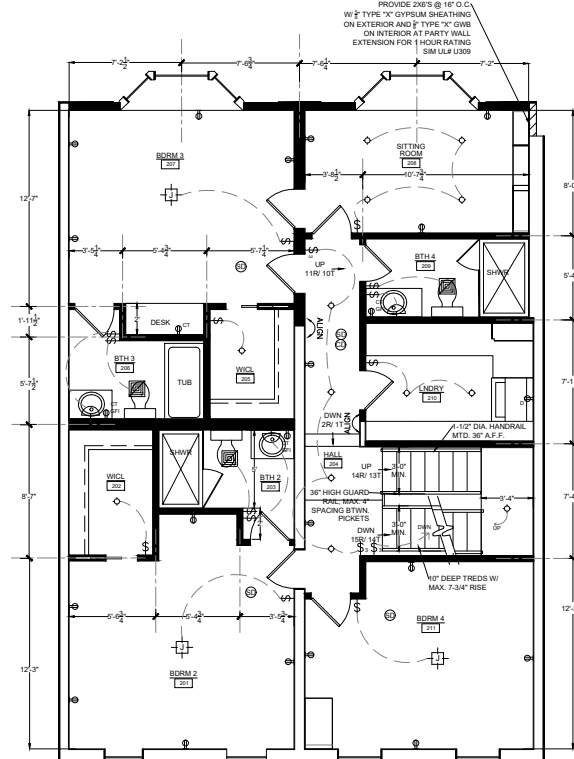
ELECTRICAL KEY:			
	VOICE AND DATA JACK (SUGGESTED LOCATION)		LIGHT SWITCH LOCATION (S.W.)
	DUPLEX RECEPTACLE (SUGGESTED)		EXHAUST FAN LOCATION
	GF + GROUND FAULT INTERRUPTER (SUGGESTED)		SMOKE DETECTOR LOCATION
	WP + WATER PROOF		CARBON MONOXIDE DETECTOR LOCATION
	JUNCTION BOX LOCATION IN CEILING FOR SURFACE MTD. FEATURE OR FAN		ELECTRIC PANEL LOCATION
	COMPACT FLUORESCENT RECESSED DOWNLIGHT		
	VANITY SCONCE LOCATION		
	LIGHT SWITCH LOCATION		

ELECTRICAL NOTES:

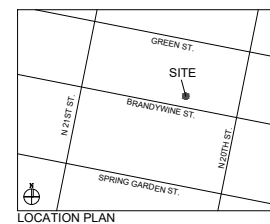
1. SUGGESTED LOCATIONS DERIVED FOR ALL NEW ELECTRICAL FEATURES. VERIFY FINAL LOCATION BY OWNER.
2. LIGHTING FIXTURE TYPES TBS.
3. VERIFY ALL ELECTRICAL REQUIREMENTS FOR EQUIPMENT W/ SPECIFICATIONS.

PLUMBING NOTES:

1. CONTRACTOR TO VERIFY THAT PLUMBING SYSTEMS MEET ALL NATIONAL, STATE, AND LOCAL CODES.



3 2ND FLOOR ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"



ARCHITECTURAL KEY:

- NEW FULL HEIGHT PARTITION WOOD STUD PARTITION 2x4 STUDS @ 16" O.C. W/ GYPSUM SHEATHING
- EXISTING WALL TO REMAIN
- NEW 1 HOUR RATED PARTITION: 2x6 STUDS @ 16" O.C. W/ GYPSUM SHEATHING ON EXTERIOR; TYPE "X" GWB ON INTERIOR AT PARTY WALL EXTENSION FOR 1 HOUR RATING SIM ULF U309
- DOOR NUMBER
- X'XXX" DIMENSION TO WALL CENTER LINE
- X'XXX" DIMENSION TO FINISHED SURFACE

ARCHITECTURAL NOTES:

1. PROVIDE 2x6 STUDS FOR ALL EXTERIOR WALL FRAMING AND 2x4 STUDS FOR ALL INTERIOR WALL FRAMING UNLESS OTHERWISE NOTED.

2027-29 BRANDWINE ST.
PHILA., PA 19130

SEAL:



SIGNATURE

DAVID P. MCARTHUR
REGISTERED ARCHITECT

PA 2315 ALMOND ST., PHILADELPHIA PA 19125
NJ 107 HUNTINGTON DR., HAMMONTON NJ 08037
Tele: (267) 273-8578 E-MAIL: dpm879@gmail.com

Project Number: 670

Date: 2-27-26

Scale: AS NOTED

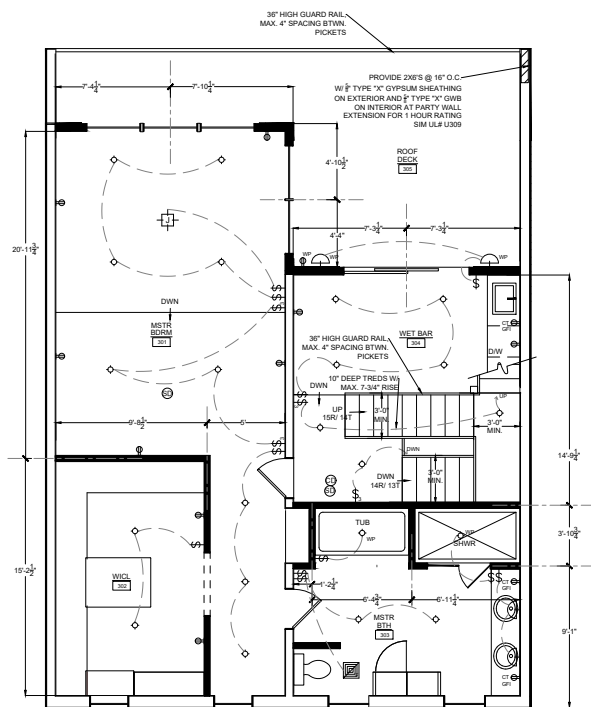
Drawn By: DPM

#	DATE	REVISION
	3-17-26	COORDINATED W/ STRUCTURAL
	3-31-26	REV. 4TH FLOOR

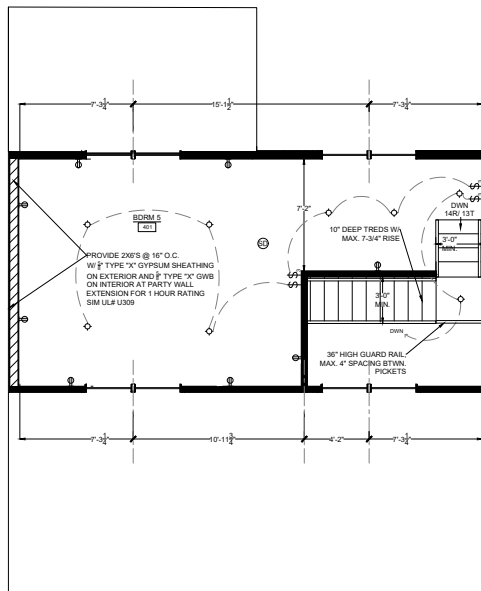
ARCHITECTURAL/
PLANS

DRAWING TITLE:

A-2



1 3RD FLOOR ARCH. PLAN
SCALE: 1/4" = 1'-0"



2 4TH FLOOR ARCH. PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE					
NO	SIZE	DOOR TYPE	FRAME TYPE	HRDWR	NOTES
301	2'-6" X 6'-6"	B	B	L-3	
303a	2'-6" X 6'-6"	B	B	L-3	
303b	2'-4" X 6'-6"	D	D	L-5	
305	(2) 4'-0" X 6'-6"	E2	E	L-6	

DOOR KEY	
DOOR TYPES:	
A	NEW SEMI GLAZED WOOD ENTRY DOOR
B	NEW SOLID CORE DOOR @ 1 1/2" THICK
C	NEW SLIDING DOOR @ 1 1/2" THICK
D	NEW POCKET DOOR
E1	FULL LITE PATIO DOOR BY MFP
E2	FULL LITE SLIDING GLASS DOOR BY MFP
FRAME TYPES:	
AB	5/8" WOOD FRAME
C	SLIDING DOOR TRACK AND FRAME
D	POCKET DOOR TRACK AND FRAME
E	FRAME BY MFP
HARDWARE TYPES:	
L-1	ENTRY LATCHSET
L-2	PASSAGE LATCHSET
L-3	PRIVACY LATCHSET
L-4	SLIDING DOOR PULL
L-5	POCKET DOOR PULL
L-6	UNDESIGNED BY MFP

DOOR NOTES:

1. LOWERED DOOR

ELECTRICAL KEY:

	VOICE AND DATA JACK (SUGGESTED LOCATION)		LIGHT SWITCH LOCATION (3 WAYS)
	DUPLEX RECEPTACLE		DESIGNATED
	GFI - GROUND FAULT INTERRUPTER		EXHAUST FAN LOCATION
	1/4" SQUARE STUD BY 1/4" X 1/4" BY 1/4" BRICK FRONTS		SMOKE DETECTOR LOCATION
	JUNCTION BOX LOCATION IN CEILING FOR SURFACE MTD. FUTURE OFF-ON		CARBON MONOXIDE DETECTOR LOCATION
	COMPACT FLUORESCENT RECESSED DOWNLIGHT		ELECTRIC PANEL LOCATION
	VANITY LIGHT LOCATION		
	LIGHT SWITCH LOCATION		

ELECTRICAL NOTES:

1. SUGGESTED LOCATIONS DENOTED FOR ALL NEW ELECTRICAL FIXTURES. VERIFY FINAL LOCATIONS W/ OWNER.
2. LIGHTING FIXTURE TYPES TBD.
3. VERIFY ALL ELECTRICAL REQUIREMENTS FOR EQUIPMENT W/ SPECIFICATIONS.

PLUMBING NOTES:

1. CONTRACTOR TO VERIFY THAT PLUMBING SYSTEMS MEET ALL NATIONAL, STATE, AND LOCAL CODES.



ARCHITECTURAL KEY:

	NEW FULL HEIGHT PARTITION WOOD STUD PARTITION 2X4 STUDS @ 16" O.C. W/ 5/8" GWS BOTH SIDES
	EXISTING WALL TO REMAIN
	NEW 1 HOUR RATED PARTITION 2X6 STUDS @ 16" O.C. W/ 5/8" GYPSUM SHEATHING ON EXTERIOR; 5/8" TYPE "X" GWS ON INTERIOR SIM. UL-L UL309
	DOOR NUMBER
	X-XXX" DIMENSION TO WALL CENTER LINE
	X-XXX" DIMENSION TO FINISHED SURFACE

ARCHITECTURAL NOTES:

1. PROVIDE 2X6 STUDS FOR ALL EXTERIOR WALL FRAMING, AND 2X4 STUDS FOR ALL INTERIOR WALL FRAMING UNLESS OTHERWISE NOTED.

2027-29 BRANDYWINE ST.
PHILA., PA 19130

SEAL:



SIGNATURE

DAVID P. MCARTHUR
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Project Number:

670

Date:

2-27-26

Scale:

AS NOTED

Drawn By:

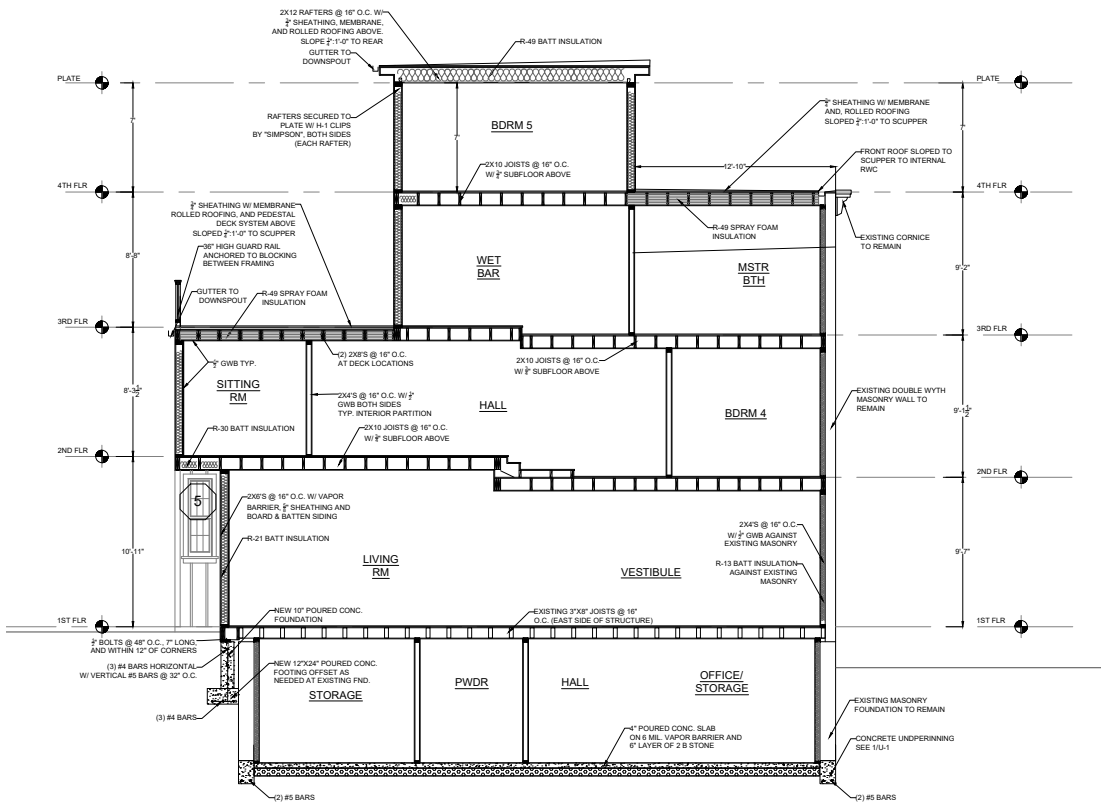
DPM

#	DATE	REVISION
	3-17-26	C-COORDINATED W/ STRUCTURAL
	3-31-26	-REV 4TH FLOOR

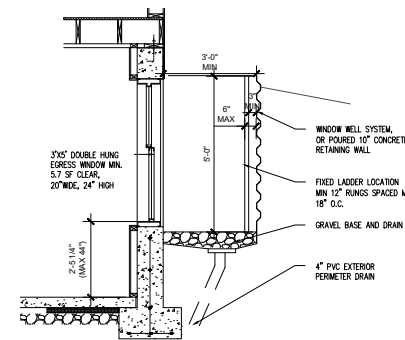
ARCHITECTURAL/
PLANS

DRAWING TITLE:

A-3



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 EGRESS WELL SECTION
SCALE: 1/2" = 1'-0"

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Date:

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Scale:

AS NOTED

Drawn By:

DPM

#	DATE	REVISION
	3-17-26	-COORDINATED W/ STRUCTURAL
	3-31-26	-REV 4TH FLOOR

**BUILDING
SECTIONS**

DRAWING TITLE:

A-4

CONTEXT PHOTOS:

Head on view From across Brandywine. 5/5/25



Angled view From west 3/4/26



Angled view From East 3/4/26



View From Green St looking south:



View From 20th and Green Sts looking southwest. Red x shows approximate location of addition.



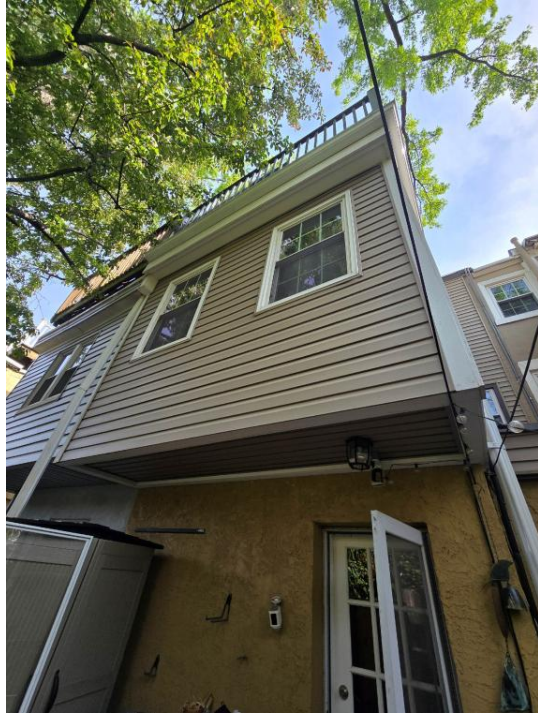
View From 20th and Wilcox looking southwest. Red arrow shows location of properties



Other contextual photos: 3/4/26



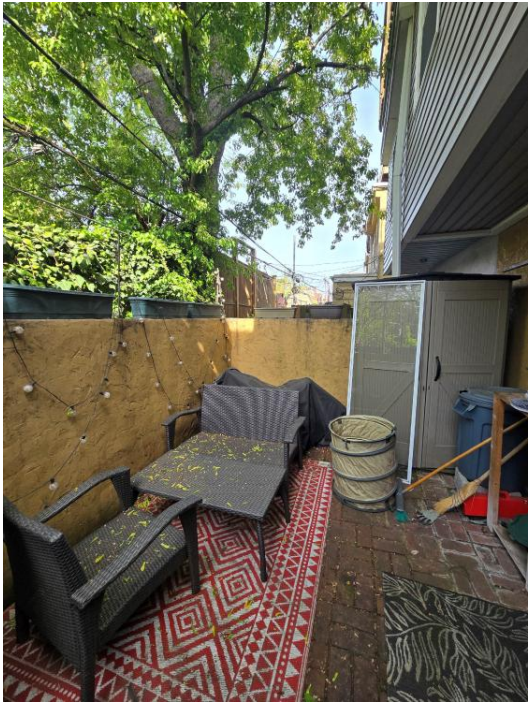
5/5/25



Looking west (below)



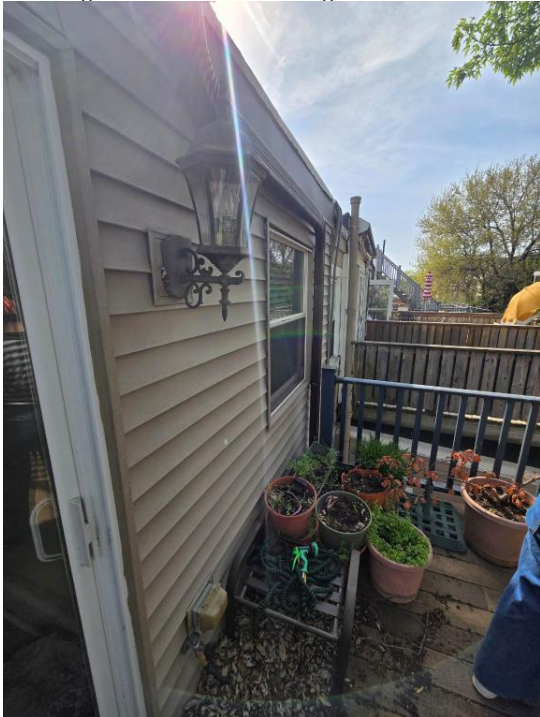
Looking east From 2027 yard 5/5/25



Looking east From existing 2029 deck



Looking west From existing 2027 deck



Looking northwest From existing 2029 deck



Looking north from existing 2027 deck 5/5/25



2029 Original brick rear with stucco and altered openings



2027 with wood frame near Façade



2027 rear window showing 2x4 Frame jamb depth



2029 rear window showing masonry jamb depth



View showing Green st property blocking view of area between ells



Addition Framed into alley at 2027. Wood Frame over slab on grade.



View toward 20th and Green From 3rd Floor roof deck

