

**ADDRESS: 124 S 16TH ST**

Proposal: Legalize signage

Review Requested: Final Approval

Owner: Leelo Inc.

Applicant: Hamza Ayaydah, HMA Consulting & Contracting Company

History: 1882, Henry C. Gibson Development House, G.W. & H.D. Hewitt, architects; 1921, storefront

Individual Designation: 4/13/1994

District Designation: None

Staff Contact: Kim Chantry, kim.chantry@phila.gov

**OVERVIEW:** This application proposes legalizing signage installed without a permit at 124 S. 16<sup>th</sup> Street. At the request of the Historical Commission's staff, the Department of Licenses and Inspections issued a violation for the signage installed without a building permit, prompting this request for legalization. The new signage includes a small projecting sign by the doorway and a large acrylic channel letter wall sign at the storefront transom. The storefront was installed in 1921, when the building transitioned from residential to mixed use. The Historical Commission previously approved an awning open at the sides and bottom as signage over the transom at this storefront.

**SCOPE OF WORK:**

- Legalize signage.

**STANDARDS FOR REVIEW:**

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
- *Storefronts Guideline | Not Recommended: Replacing or covering a glass transom with solid material or inappropriate signage, or installing an incompatible awning over it.*
  - The large wall sign is incompatible with the historic materials, features, size, scale and proportions of the historic building, and covers over the glass transom. This application fails to satisfy Standard 9 and the Storefronts Guideline.

**STAFF RECOMMENDATION:** Denial, pursuant to Standard 9 and the Storefronts Guideline.

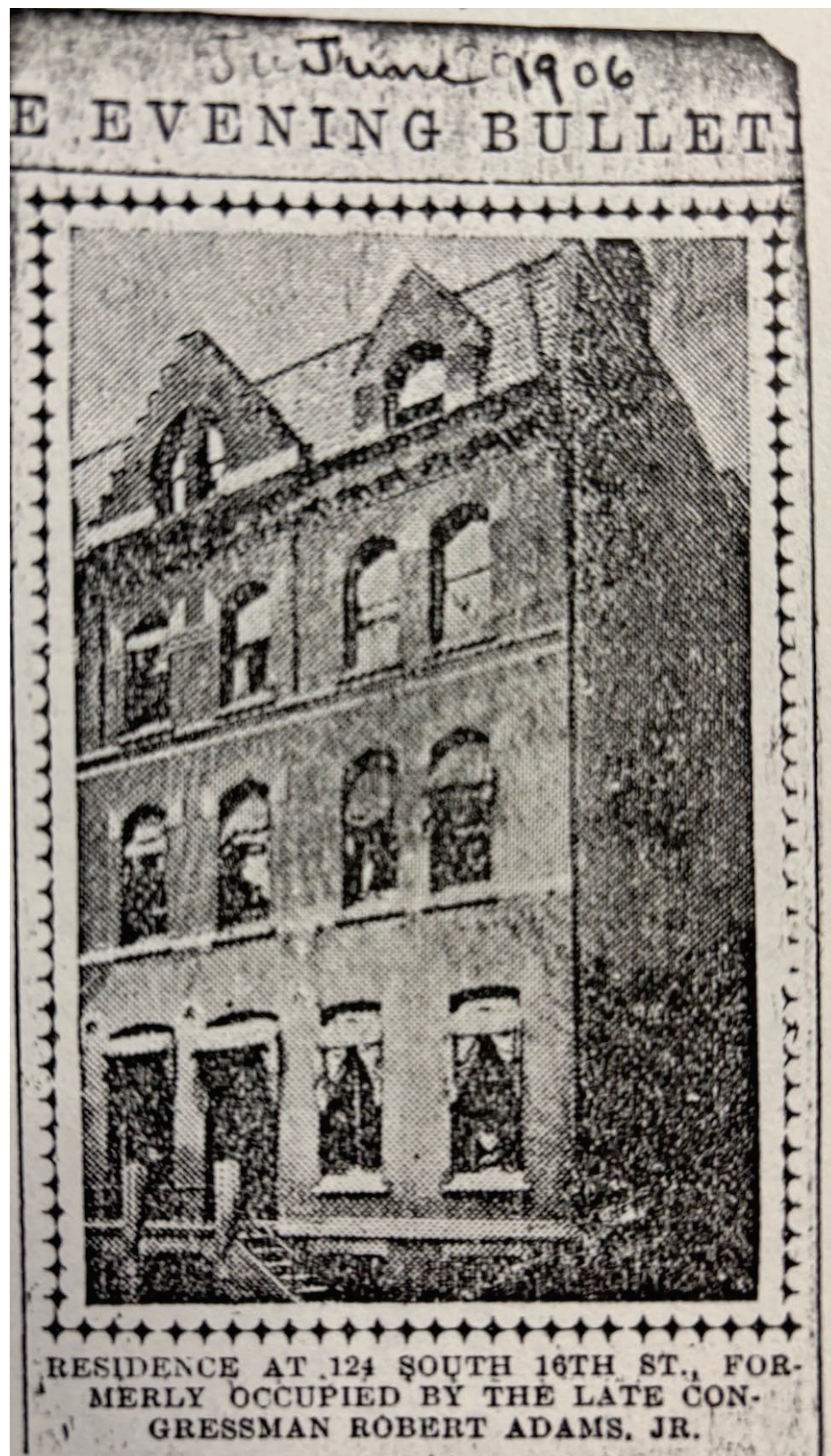


Figure 1. 124 S. 16<sup>th</sup> Street prior to storefront alterations, 1906. Source: *Evening Bulletin*.





Figure 2. 1926 photograph which shows a part of the new storefront to the far left in the image. Source: Athenaeum of Philadelphia.

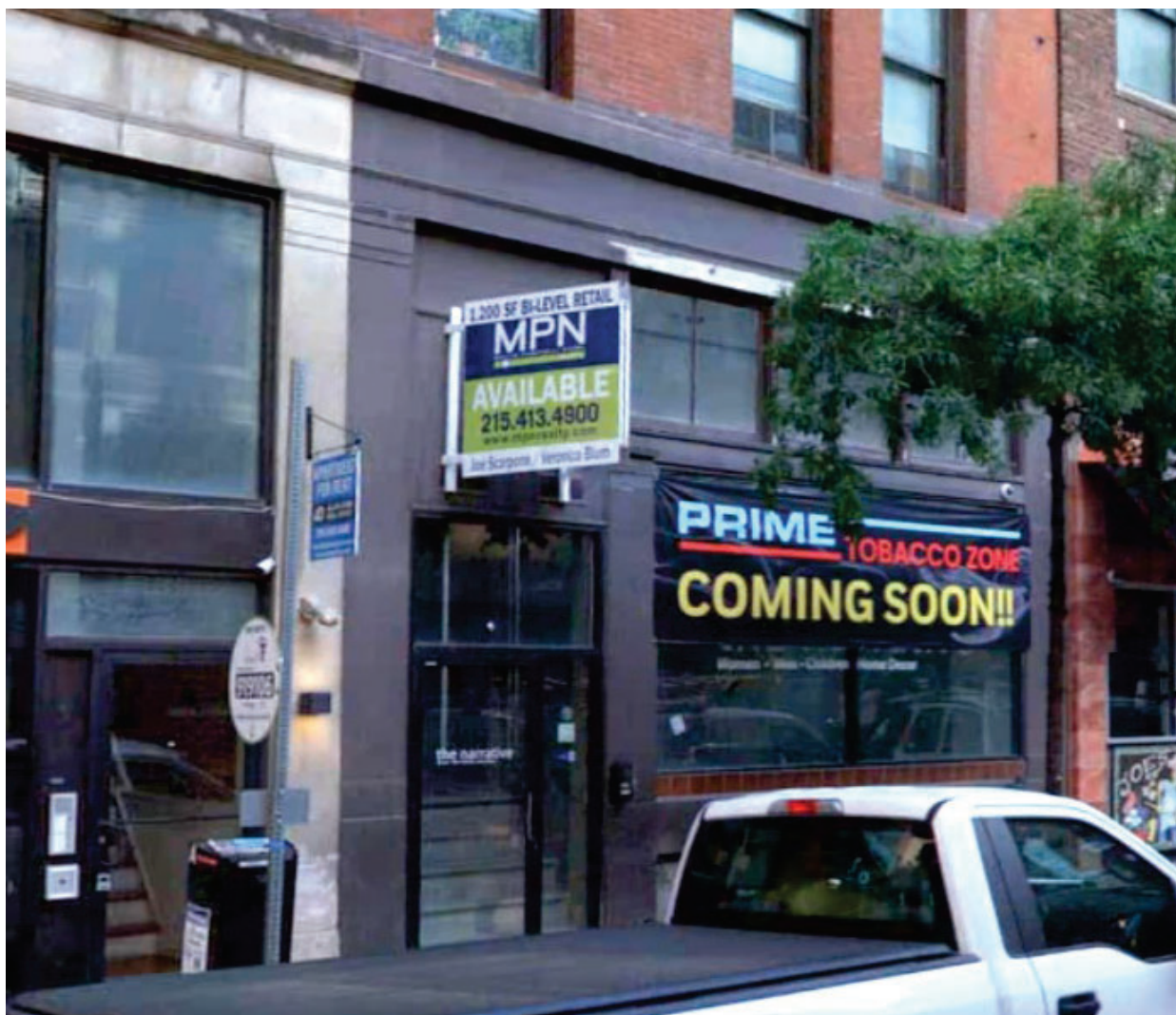


Figure 3. 124 S. 16<sup>th</sup> Street storefront, July 2025.





Figure 4. 124 S. 16<sup>th</sup> Street storefront, September 2025.





Figure 5. 124 S. 16<sup>th</sup> Street, January 2026.

124 S. 16<sup>th</sup> St.  
Philadelphia Historical Commission  
January/February 2026





Figure 6. 124 and 126 S. 16<sup>th</sup> Street, January 2026.

# HMA CONSULTING AND CONTRACTING COMPANY

*"Committed to Excellence"*

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**Date: 12/13/2025**

**Address: 124 S 16TH ST, PHILADELPHIA, PA 19102**

**Subject: Signage application (GP-2025-011419)**

Dear Kim,

I am writing to respectfully request approval of the submitted permit application to legalize the existing wall sign installed at the above-referenced property. Please refer to the attached documentation, which provides details of the sign installation and location.

Should you require any additional information or clarification, please do not hesitate to contact me. Thank you for your time and consideration.

*Respectfully,*

*Hamza Ayaydah*

*HMA CONSULTING AND CONTRACTING COMPANY*

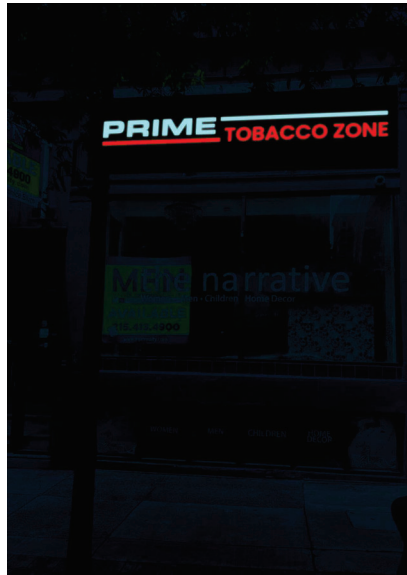
*(267) 207 9787*

*hmaconstruction21@gmail.com*





DAY VIEW



NIGHT VIEW

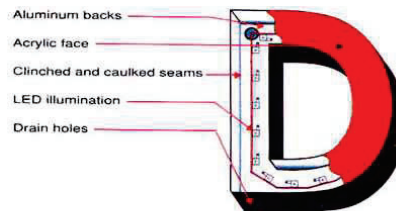


DESIGN

ASCE 7-16 Site Criteria		
Ultimate Wind Speed	114	mph
Wind on Ice	40	mph
Snow Load	34	psf
Ice Thickness	1	In
Risk Category	II	
Exposure Category	B	

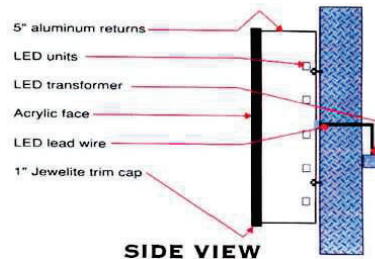
FASTENER		HORIZONTAL SPACING PER WALL CONSTRUCTION (INCHES)					
HARDWARE	DIA.	QTY. PER SPACING	MASONRY	WOOD STUDS	BIFS/DRYVIT OVER 1/2" MIN PLYWOOD	BIFS/DRYVIT OVER 1/2" MIN GYPSUM/DENGLASS	METAL PANEL OVER METAL STUD <sup>7</sup>
WOOD SCREW <sup>1,2</sup>	#10	2	NO	24	24	24	NO
TEK SCREW <sup>3</sup>	#10	2	NO	NO	NO	NO	24
LAG BOLT <sup>5</sup>	3/8"	2	NO	36	24	24	NO
THRU-BOLT <sup>4</sup>	3/8"	2	48	NO	24	24	24
EXPANSION ANCHOR <sup>6</sup>	3/8"	2	48	NO	NO	NO	NO
CARBON STEEL SCREW ANCHOR <sup>8</sup>	3/8"	2	48	NO	NO	NO	NO
TOGGLE BOLT <sup>9</sup>	3/8"	2	24	NO	18	18	24

1) MINIMUM 1.5" EMBEDMENT INTO WOOD STUDS, OR MIN 1/4" PROTUDED FROM THE BACK OF PLYWOOD.  
2) MIN 1/4" PROTUDED FROM THE BACK OF METAL STUD.  
3) MINIMUM 2.5" EMBEDMENT INTO WOOD STUDS, OR MIN 1/4" PROTUDED FROM THE BACK OF PLYWOOD.  
4) ANCHORS REQUIRE A MINIMUM 2" EMBEDMENT, ANCHOR SHALL BE INSTALLED IN CONCRETE OR GROUT FILLED CMU UNITS ONLY.  
5) USE HILTI HLC SLEEVE ANCHOR OR EQUIVALENT WITH 1-1/4" MIN EMBEDMENT.  
6) USE HILTI KWIK HUS-E OR APPROVED EQUIVALENT WITH 1-5/8" MIN EMBEDMENT.  
7) MINIMUM 20 GAUGE METAL THICKNESS  
8) THROUGH BLOCK FACE FOR CLAY BRICKS  
9) IF THE CONTRACTOR ENCOUNTERS A METAL/WOODEN STUD, HE/SHE SHALL FOLLOW THE LAG/TEK SCREW GUIDELINE AS SHOWN ON THE SCHEDULE ABOVE.  
THE CONTRACTOR SHALL MAKE EVERY ATTEMPT TO USE STUDS WHENEVER POSSIBLE.  
NOTE: THIS FASTENER SCHEDULE IS INTENDED FOR USE WITH SIGN CONNECTION TO BUILDING ONLY. IT IS ASSUMED THAT THE BUILDING IS RIGID, FREE OF STRUCTURAL DEFECTS, AND STRUCTURALLY SUFFICIENT TO CARRY THE LOAD OF THE SIGN. CONTRACTOR SHALL FOLLOW FASTENER SCHEDULE TO DETERMINE FASTENER TYPE TO BE USED FOR INSTALLATION AND SHALL ENSURE THE FASTENER HAS A RIGID AND STRONG CONNECTION. CONTRACTOR SHALL FOLLOW MANUFACTURERS SPECS FOR FASTENER/ANCHOR INSTALLATION. CONTRACTOR SHALL ENSURE THAT FASTENER BEARS ON WALL FACE IMMEDIATELY AFTER INSTALLATION. CONTRACTOR SHALL NOT USE EXISTING HOLES PRESENT IN THE CURRENT FASCIA FOR FASTNER INSTALLATION.



FRONT VIEW

FRONT VIEW



SIDE VIEW

SPECIFICATIONS



SITE PLAN



EXISTING VIEW



Issue No.	Issue Date	Issuance Description
1	3/23/24	FOR PERMIT AND CONSTRUCTION

PROJECT/CLIENT  
PRIME TOBACCO ZONE

124 S 16 STREET,  
PHILADELPHIA, PA 19102

TKCG PROJECT NUMBER(S)  
GFS25-020

SCALE  
NOT TO SCALE

SHEET NAME  
SIGN MOUNTING DETAILS

DRAWING NUMBER