

ADDRESS: 257 S 4TH ST

Proposal: Remove addition; construct wall and garage; add windows and doors

Review Requested: Review In Concept

Owner: M Dwell Two, LLC

Applicant: Judith Robinson and Jane Ahn

History: 1810; three-story rear addition in 1981

Individual Designation: 4/30/1957

District Designation: Society Hill Historic District, Significant, 3/10/1999

Staff Contact: Alex Till, alexander.till@phila.gov

BACKGROUND:

This application proposes to remove a non-historic three-story rear addition on a Federal rowhouse that is both individually designated and listed as a significant resource in the Society Hill Historic District. The newly exposed western wall will feature three large openings set with a combination of windows and French doors and Juliet balconies on the upper stories. It also proposes to construct a brick wall and live-roof garage structure on the rear yard of the property. Additionally, it proposes to add one skylight to the rear slope of the roof, add one window and one set of French doors with guardrail to the exposed north side façade of the house and add windows and doors to a small historic rear ell. The building was constructed c. 1810 and is three-and-a-half stories tall with a gable roof and brick façade. The three-story addition proposed for removal is located behind the main block of the building and dates to 1981. The current front façade, north façade, and roof were reconstructed to their current forms in 1963. Prior to 1963, the front façade had a first-floor storefront, and the north wall of the building was covered by a neighboring garage. Upon removal of that garage, the owner, in consultation with the Historical Commission and Redevelopment Authority, reconstructed that façade with a new brick veneer, added the current windows with shutters, and rebuilt the chimneys and side roofline to match the rest of the row. The newly exposed rear wall, rear roof, and north side will all be at least partially visible from some surrounding public pedestrian walkways including S. 4th Street, St. James Place and St. Joseph's Way.

The applicants presented a similar design but with an added roof deck for an in-concept review to the Architectural Committee in April 2025. At that time, the Committee was receptive to all of the changes other than the roof deck.

SCOPE OF WORK:

- Remove a three-story non-historic rear addition; add windows and doors to rear wall;
- Construct a brick wall and a live-roof garage structure around the rear yard; and,
- Add a window and French door to the north façade; add windows and doors to rear ell.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The proposed live roof and garage structure for the rear yard satisfies Standard 9. It does not affect any historic materials and is compatible with the massing, size, and scale of the historic building.

- The proposed addition of a window to the north wall is compatible with Standard 9. While an end wall like this one would likely not have had any windows in it if it were original, the wall as it currently stands with existing windows was reconstructed in 1963 with the approval of the Historical Commission. The addition of one more window does not further impair the architectural features of this property. However, the proposed addition of the French doors with guardrail to the north wall does not meet Standard 9 as it is too specific and distinctive a feature to be compatible with the historic design of the building.
- The proposed addition of new windows and doors to the rear wall and rear ell may satisfy Standard 9. New openings in general are compatible with the historic features of the building, but the proposed arrangements and extent of new windows and doors may alter the appearance to too large an extent to be compatible with the historic design features of the building.
- *Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*
 - The removal of the 1981 rear addition satisfies Standard 10. It is itself a non-historic addition that was reviewed and approved by the Historical Commission in 1981. Its removal will not impair the essential form or integrity of the historic building.
- *Roofs Guideline | Recommended: Designing rooftop additions, elevator or stair towers, decks or terraces, dormers, or skylights when required by a new or continuing use so that they are inconspicuous and minimally visible on the site and from the public right-of-way and do not damage or obscure character-defining historic features.*
 - The proposed new skylight satisfies the Roofs Guideline. It will be small and minimally visible from surrounding public rights-of-way.

STAFF RECOMMENDATION: Approval of all aspects of the application except the addition of the French doors with guardrail to the north wall, pursuant to Standards 9 and 10.

IMAGES:

Figure 1: 1895, G. W. Bromley Atlas. Property outlined in red.

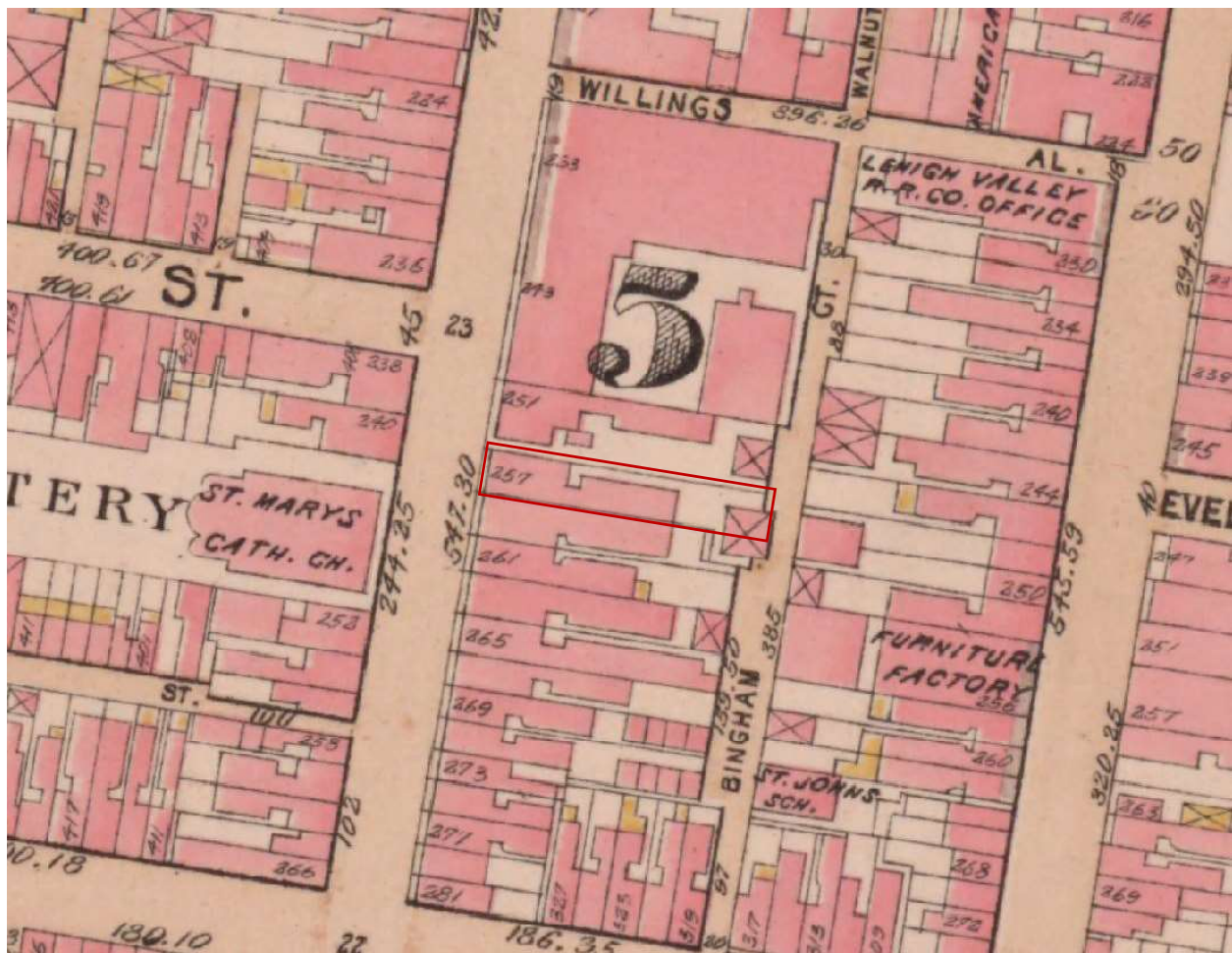


Figure 2: 1962 WPA Land Use map. Location of property outlined in red. Note the attached neighboring garage.

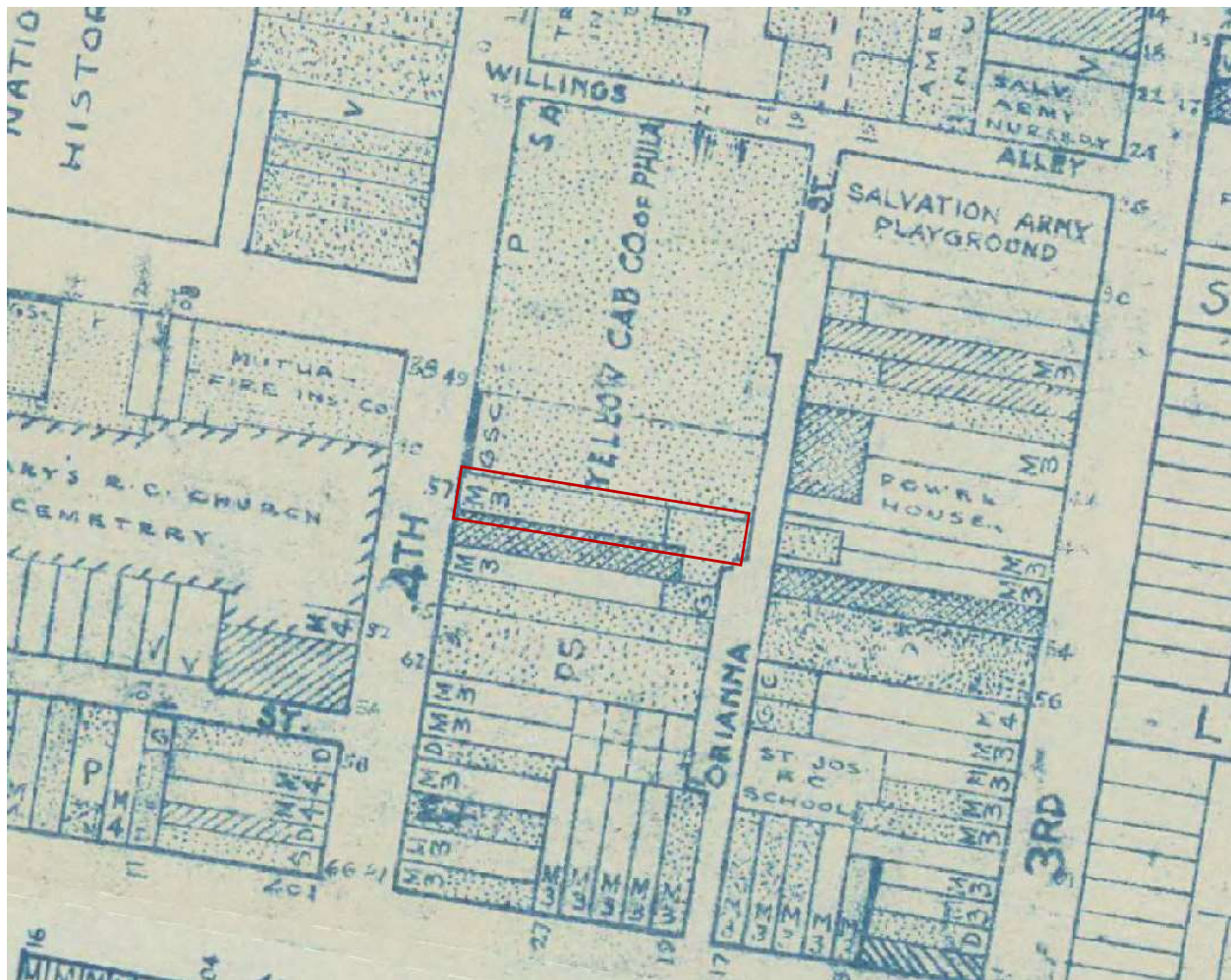


Figure 3: View of front of 257 S 4th St looking down the side of its north façade from 4th St:



257 S 4th Street
Philadelphia Historical Commission
November 2025

Figure 4: View of the of 257 S 4th St looking west from St. Joseph's Way:



Figure 5: Aerial view of 257 S 4th St, looking southwest:

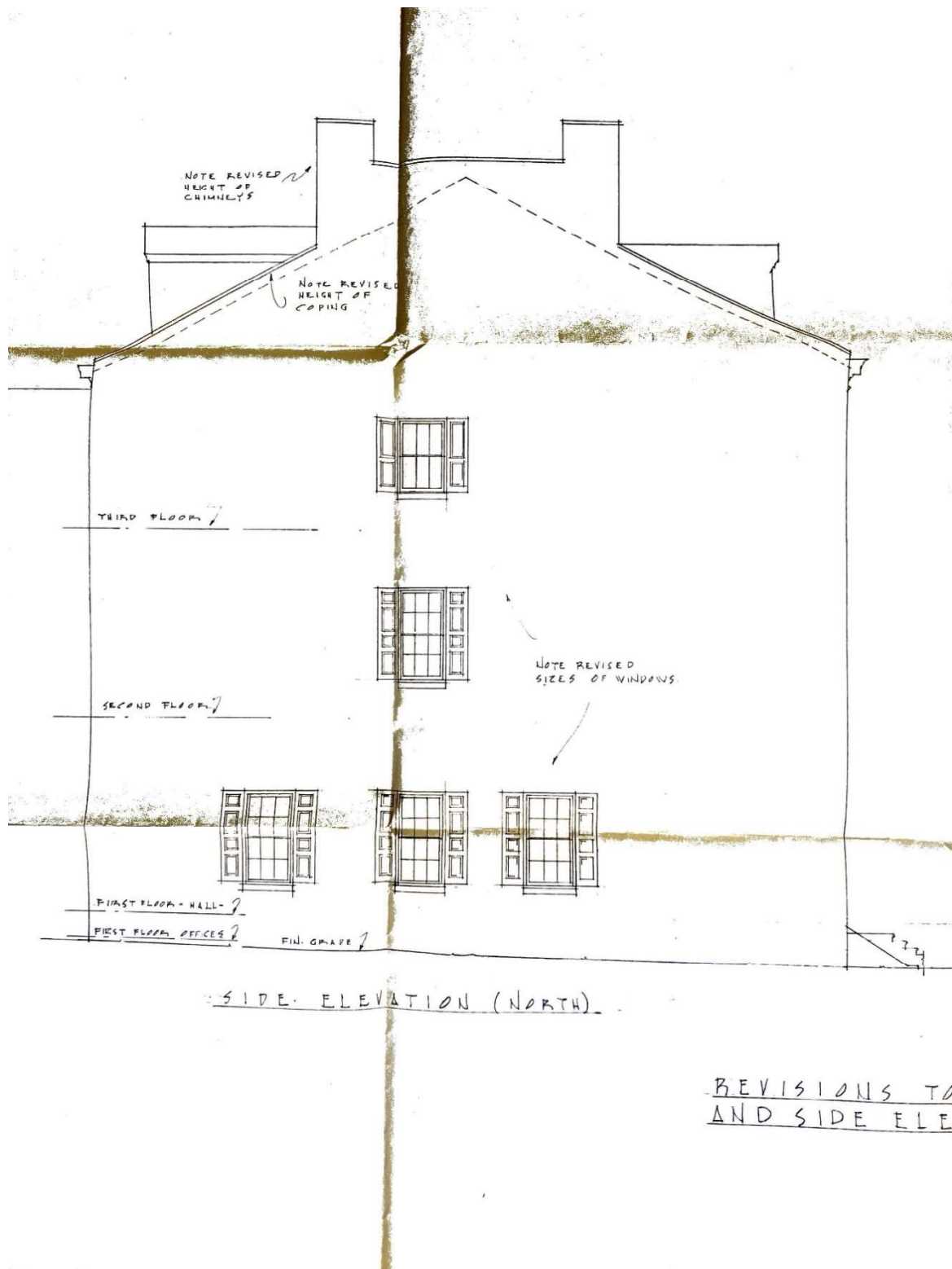


257 S 4th Street
Philadelphia Historical Commission
November 2025

Figure 6: 1957 Photo of 257 S 4th St showing condition before 1963 restoration work. Note first floor storefront and abutting garage building.



Figure 7: 1963 Architectural drawing showing proposed north façade approved by Historical Commission at that time:



November 17, 2025

Philadelphia Historical Commission
1515 Arch Street, Philadelphia PA 19102

Re: 257 S 4th Street
Philadelphia, PA 19106
RP-2025-011857

The Owner of the above referenced 4-story single family residence plans to renovate the existing blighted building into a four-bedroom, four-bathroom home with residential elevator. The renovation will include a new interior layout and finishes: a new kitchen, new bathrooms and powder rooms, new interior partitions, stairs, and some new windows to bring additional daylight into the home.

The 3-story addition at the rear that was added in the 1980's will be removed to return the home to its previously existing footprint and create a rear yard outdoor space.

The existing openings in the east facing façade have been repeatedly modified over the years (see attached photos). The renovation proposes openings of a consistent width, based on the existing width of the third floor opening and aligning each opening floor to floor-- similar to the neighbor to the south.

Per suggestions from PHC at the preliminary meeting, juliette-style balconies have been added in a few locations to create a feeling of outdoor space, in lieu of the roof deck initially proposed.

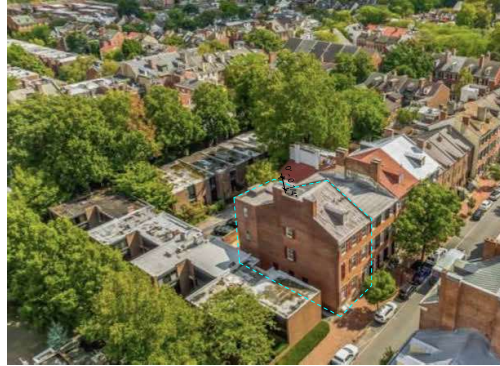
Thank you for taking the time to review our application for building permit.

Sincerely,



Judy Robinson, Architect
Continuum Architecture & Design PC

257 S 4TH STREET CONTEXT AND PROPOSAL



AERIAL VIEW OF PROPERTY

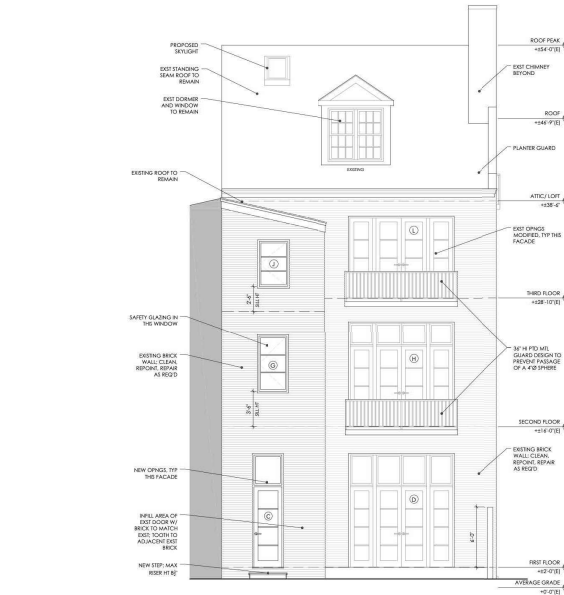


4TH STREET FACADES



REAR FACADES

PROPOSED
FOR
REMOVAL



PROPOSED REAR ELEVATION



EXISTING THIRD FL REAR WALL

EXISTING SECOND FL REAR WALL

EXISTING FIRST FL REAR WALL



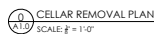
PROPOSED SIDE ELEVATION



EXISTING SOUTH
VIEW OF THIRD FL
ON HISTORIC ELL

EXISTING PARTIAL
VIEW OF SECOND FL
ON HISTORIC ELL

EXISTING SOUTH
VIEW OF FIRST FL
ON HISTORIC ELL



- 1. GOVERNING CODES:** All work shall comply with codes and ordinances having jurisdiction over the project. Comply with governing EPA and local codes and ordinances regarding hazardous materials. Comply with hauling and disposal regulations of the authority having jurisdiction.
- 2. HAZARDOUS MATERIALS:** Under no circumstances shall the hazardous removal or disposal of hazardous materials (including but not limited to asbestos) be undertaken as part of the work of this contract. If hazardous materials are encountered, they shall be immediately encountered and proceed only when and as directed by the Owner, under proper permits and representations.
- 3. EXISTING CONDITIONS:** The Contractor shall verify on the job site all dimensions and the relationships of the new work to the existing conditions. The Contractor shall be responsible for any discrepancies to the Architect in advance of removal work.
- 4. DISCREPANCIES:** Where conflicts exist within or between parts of the documents and applicable standards, codes, and ordinances, the Contractor shall contact the Architect immediately. The Contractor's drawings shall take precedence over small scale drawings, noted materials on the drawings, over scaled dimensions, and noted materials over graphic representations.
- 5. MATERIALS OWNERSHIP:** Except for items or materials indicated to be reused, salvaged, reinstalled, or otherwise identified to remain Owner property, demolished materials shall become Contractor's property and shall be removed from the project site.
- 6. OCCUPIED PROPERTIES:** If adjacent properties are occupied, or if Owner will occupy portions of the building immediately adjacent to the work, the Contractor shall be responsible for ensuring that work will not be affected or Owner's operations will not be disrupted. Provide not less than 72 hours notice to Owner of activities that will affect adjacent properties to the Owner's operations.
- 7. ACCESS:** Maintain access to existing roads, utility, and other adjacent occupied or used facilities. Verify.
- 8. EXAMINATION:** Before starting work, verify that utilities have been disconnected and capped. Survey existing conditions and correlate with the Architect's information. Verify that the Contractor has the required equipment. Inventory and record the condition of items to be removed and reinstalled and items to be removed and salvaged. When the Contractor removes mechanical or structural elements that conflict with the intended function or design are encountered, the Contractor shall immediately notify the Architect. Promptly submit a written report to the Architect. Perform surveys as the work progresses to detect hazards resulting from selective removal of materials.
- 9. TEMPORARY PROTECTION:** Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities. Provide. Erect and maintain temporary protection and temporary measures to prevent dust, dirt migration and to separate areas from fumes and noise. Provide and maintain adequate lighting and safety measures to ensure safety, prevent stability and prevent movement, settlement, or collapse of construction to remain in place. Provide and maintain or control movement or collapse of construction being removed.
- 10. GENERAL SELECTIVE REMOVAL:** Demolish and remove existing construction only to the extent required by new construction and as indicated on the drawings and as approved by the Owner with limitations of governing regulations.
- 11. EXISTING ITEMS TO REMAIN OR BE SALVAGED:** Protect construction indicated to remain or be salvaged against damage and loss. Provide and maintain adequate protection with Owner the location of protective storage for items to be salvaged.
- 12. REPAIRS:** Promptly repair damage to adjacent construction caused by removal operations. Where repairs to existing surfaces are required, the Contractor shall provide the materials and labor. The Contractor shall clean all breaches and voids in party walls with like materials.
- 13. DISPOSAL OF REMOVED MATERIALS:** Promptly dispose of materials and debris. Do not dump or store materials on site. Do not burn or remove materials. Transport removed materials off Owner's property and legally dispose of them.
- 14. PARTY WALLS:** The Contractor shall maintain the integrity of party walls and shall be responsible for the repair and replacement of their support.
- 15. ADJACENT FOUNDATION WALLS:** Foundation walls enclosing interior space that become exposed to earth as a result of demolition that shall be maintained in accordance with Chapter 18-B of the Building Code prior to back-filling.
- 16. ADJACENT BUILDING WALLS:** Interior walls that become exterior walls as a result of demolition shall comply with applicable standards for exterior walls including but not limited to structural, fire, and structural performance. The exposed portion of the wall to be replaced shall be protected from weather by temporary measures, such as waterproof paper, or other temporary means approved for use by code official for maximum period of 30 days. Such temporary protection shall be maintained in place until permanent replacement is made.
- 17. BEARING WALLS:** Verify that walls scheduled to be removed are not bearing. If during demolition, walls scheduled to be removed are discovered to be bearing and not noted as such, DO NOT remove or



M Dwell Two, LLC
401 Cypress Street
Philadelphia, PA
19106

Drawing Title:

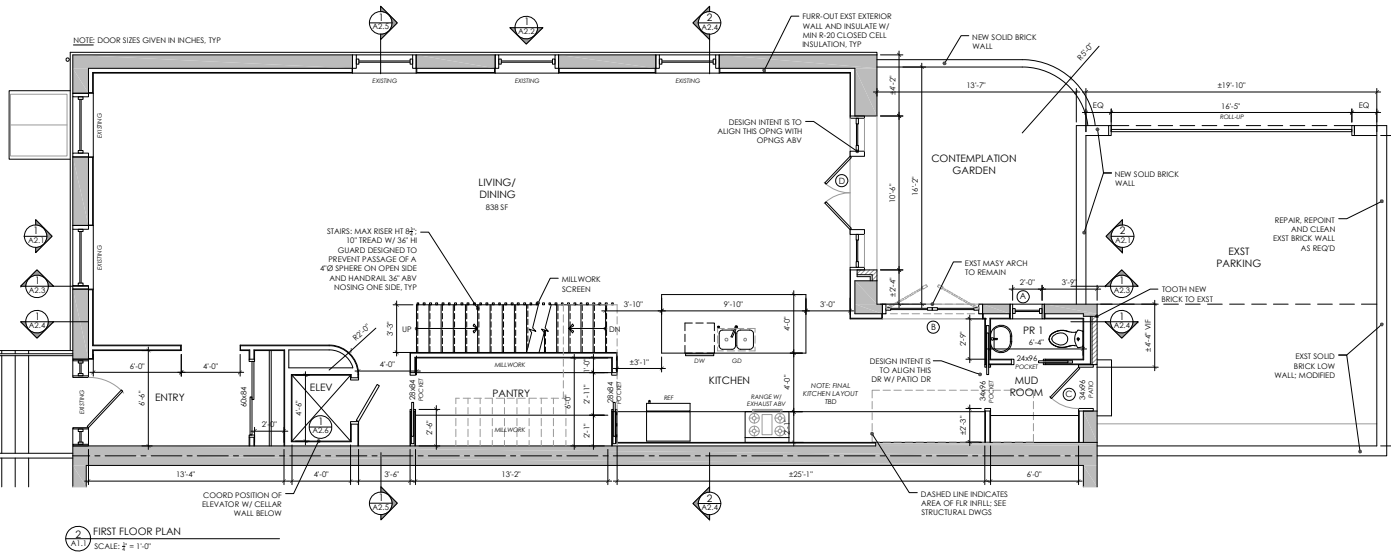
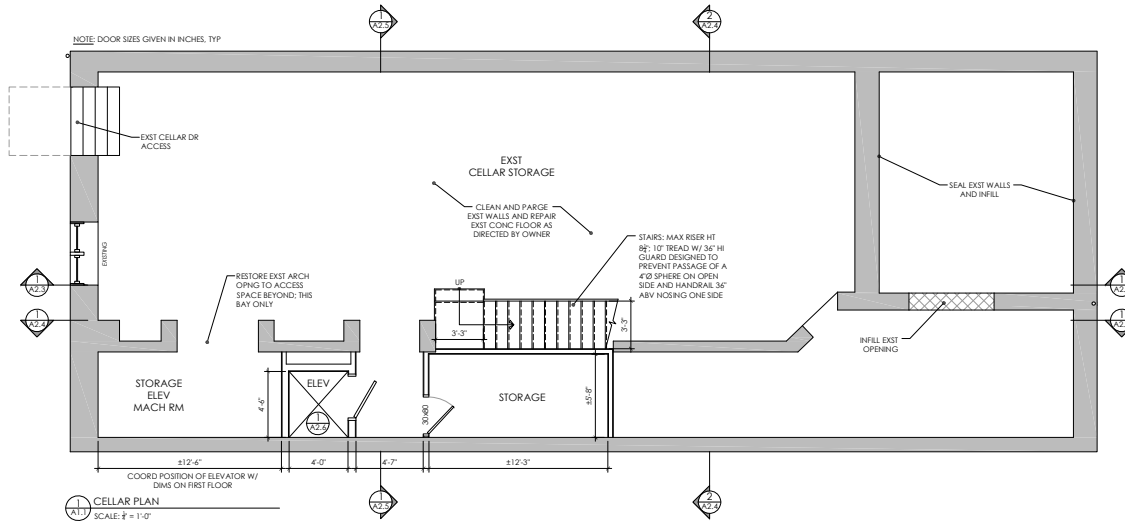
REMOVAL PLANS



A1.0

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PLAN LEGEND	
	Typical Interior Partition: 3/4" wood at 14" OC with horizontal bracing as required, secure top and bottom: min 2" CWB, stagger joints, tape and specie.
	Existing Building Walls to remain

SEE A2.1 FOR NEW WINDOW TYPES SCHEDULE



Owner:
M Dwell Two, LLC
401 Cypress Street
Philadelphia, PA
19106

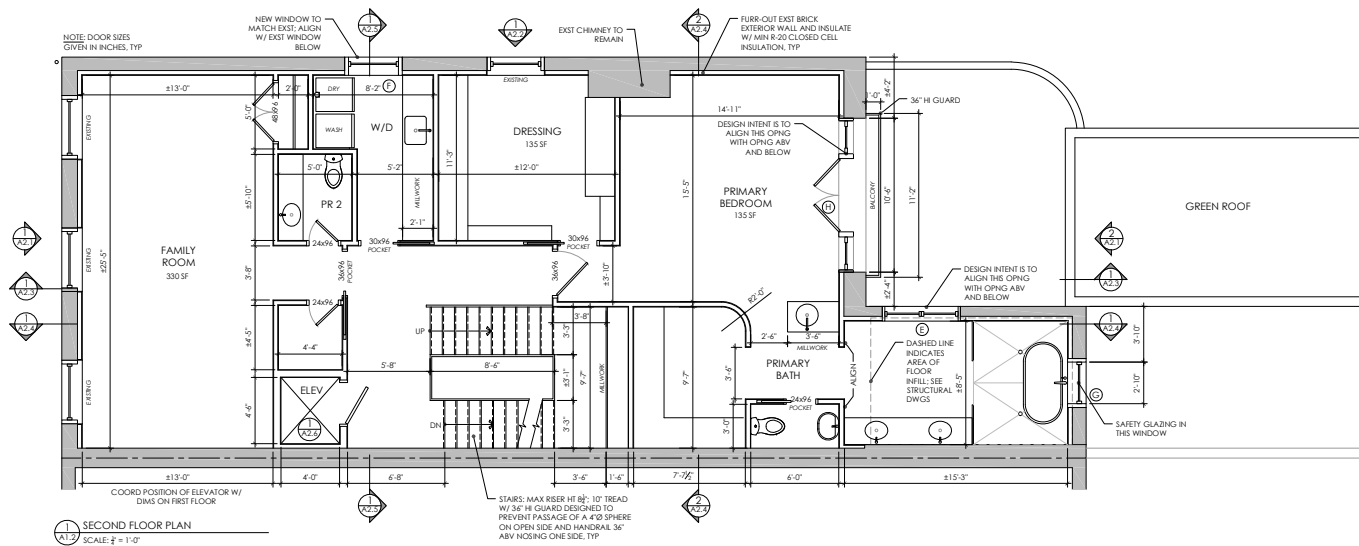
Project Name & Location:
Existing Single Family Home Remodel
257 S 4th Street, Philadelphia PA 19106 - OPA# 871508120
Drawing Title:
FLOOR PLANS



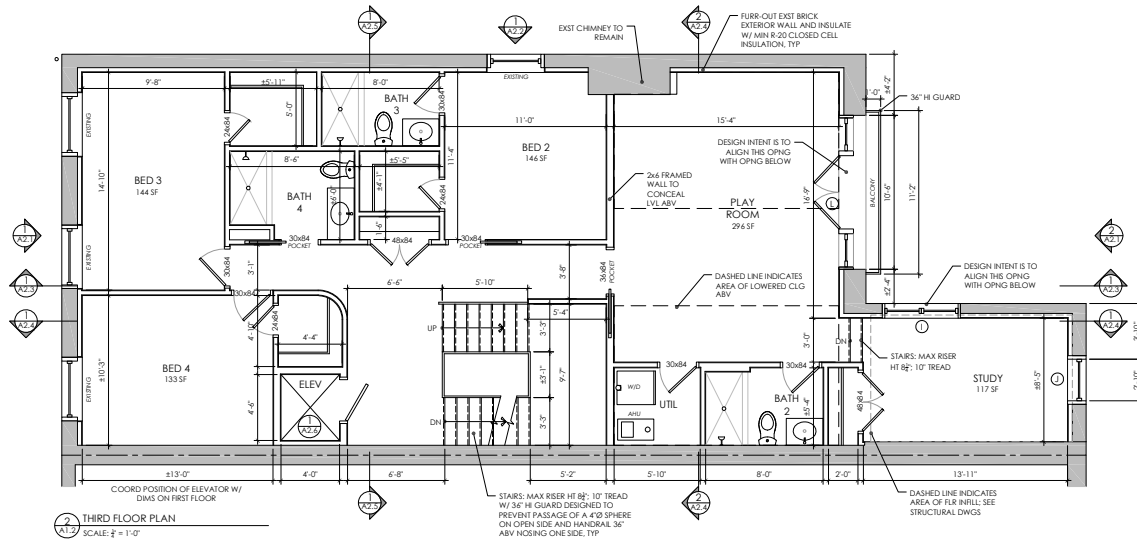
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PLAN LEGEND	
	Typical interior partition: 3/4" wood at 14" OC with horizontal bracing as required, secure top and bottom: min 2" CWB, stagger joints, tape and specie.
	Existing Building Walls to remain



SEE A2.1 FOR NEW WINDOW TYPES SCHEDULE



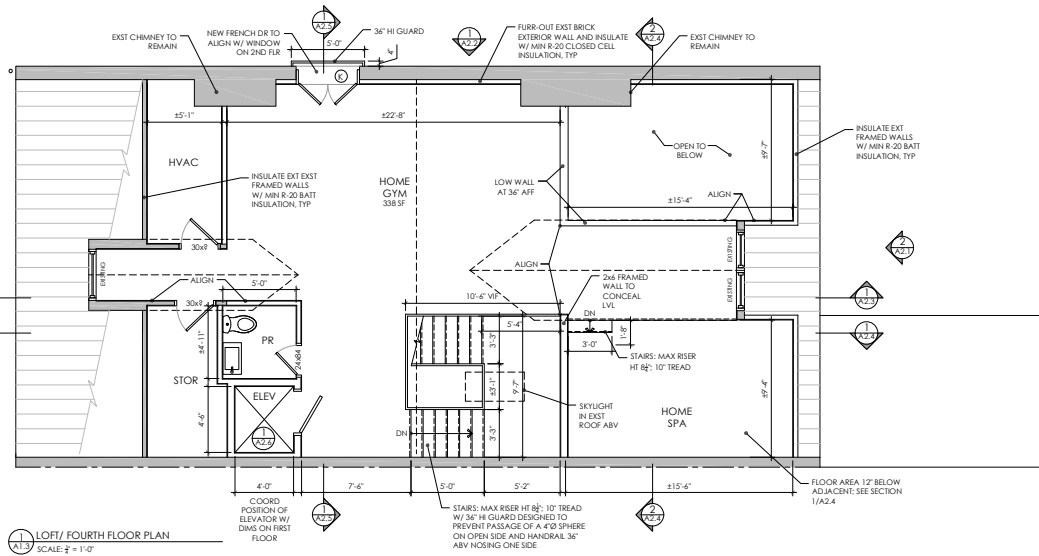
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19106

Project Name & Location:
Existing Single Family Home Remodel
257 S 4th Street, Philadelphia PA 19106 - OPA # 871508120
Drawing Title:
FLOOR PLANS

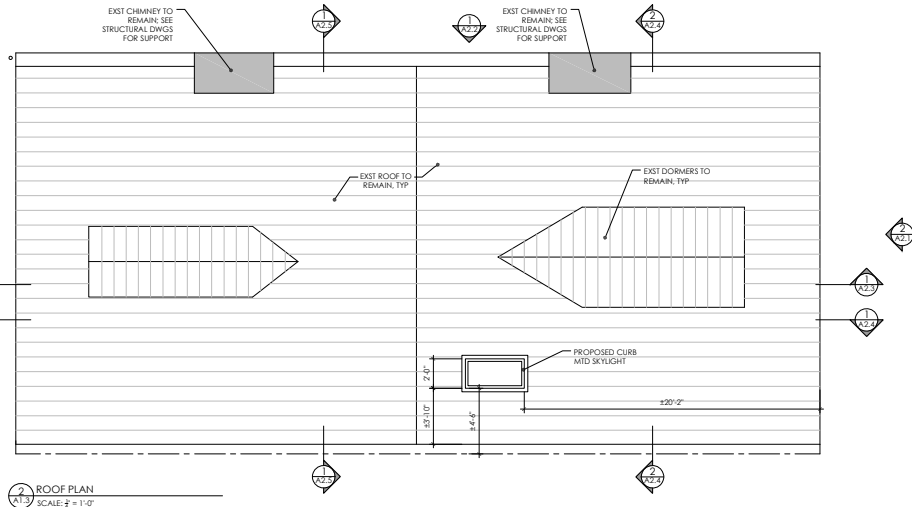


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10-22-25

A1.2



PLAN LEGEND	
	Typical Interior Partition: 3/4" wood at 14" OC with horizontal bracing as required, secure top and bottom; min 2" CWB, stagger joints, tape and specie.
	Existing Building Walls to remain

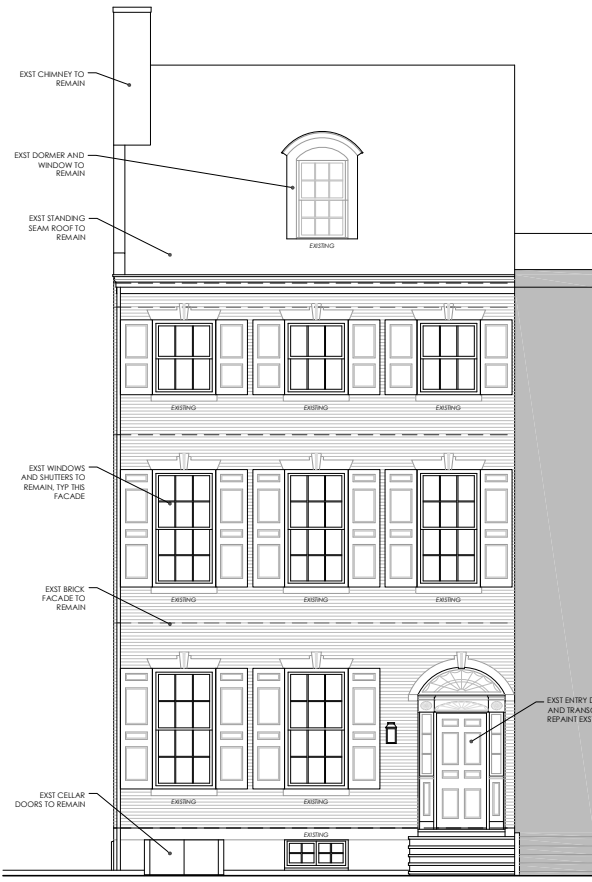


SEE A2.1 FOR NEW WINDOW TYPES SCHEDULE

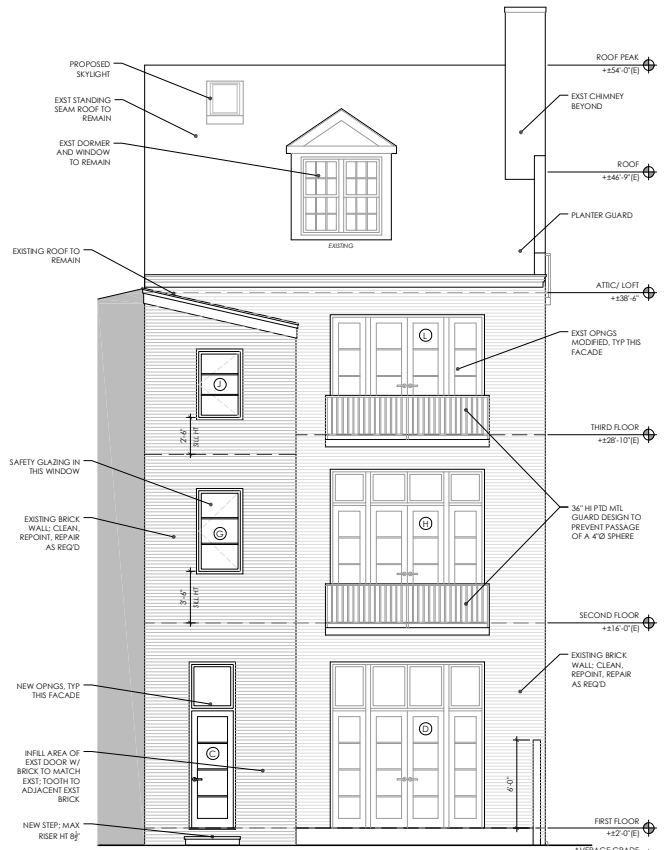
	 635 Addison Street • Philadelphia, PA 19147 267.253.6174 • j@continuum-architecture.com	Owner: M Dwell Two, LLC 401 Cypress Street Philadelphia, PA 19106	Project Name & Location: Existing Single Family Home Remodel 257 S 4th Street, Philadelphia PA 19106 - OPA# 871508120 Drawing Title: FLOOR PLANS		ISSUED FOR BLDG PMT 10-22-25	A1.3

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FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

NEW WINDOW TYPES

NOTE: ALL WINDOWS TO HAVE A MAX U-VALUE OF 0.32 AND SHGC OF 0.34

(A) CASSETT
2'-0" x 4'-0"

(B) ARCH TOP PAIR SWINGING PATIO DR (CLOSED W/ EXIST DRNG)
2'-0" x 3'-0"

(C) SWINGING PATIO DR W/ TRANSOM
2'-0" x 3'-0"

(D) PAIR SWINGING PATIO DR (CLOSED W/ TRANSOM) & SILLIGHTS
2'-0" x 3'-0"

(E) (2) CASSETTS
2'-0" x 4'-0"

(F) DOUBLE HUNG TO MATCH EXIST
2'-0" x 4'-0"

(G) CASSETT W/ SAFETY GLAZING
2'-0" x 4'-0"

(H) PAIR SWINGING PATIO DR (CLOSED W/ TRANSOM) & SILLIGHTS
2'-0" x 3'-0"

(I) (2) CASSETTS
2'-0" x 4'-0"

(J) CASSETT
2'-0" x 4'-0"

(K) PAIR SWINGING PATIO DR
2'-0" x 3'-0"

(L) PAIR SWINGING PATIO DR (CLOSED W/ TRANSOM) & SILLIGHTS
2'-0" x 3'-0"



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M Dwell Two, LLC
401 Cypress Street
Philadelphia, PA
19106

Project Name & Location:
Existing Single Family Home Remodel
257 S 4th Street, Philadelphia PA 19106 - OPA# 871508120
Drawing Title:
EXTERIOR ELEVATIONS and NEW WINDOW TYPES SCHEDULE

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10-22-25

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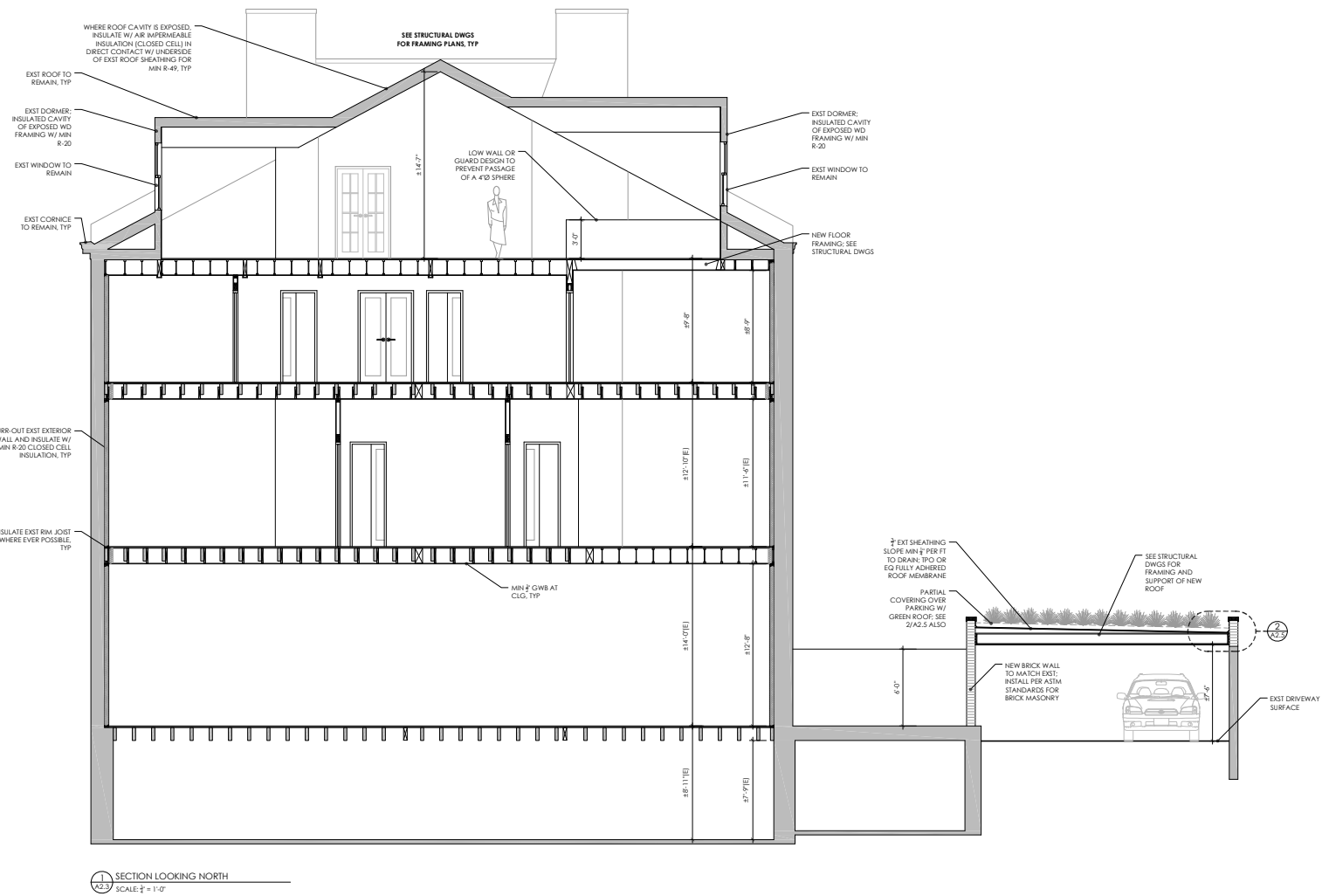
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401 Cypress Street
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19106

Project Name & Location:
Existing Single Family Home Remodel
257 S 4th Street, Philadelphia PA 19106 - OPA# 871508120
Drawing Title:
EXTERIOR ELEVATIONS

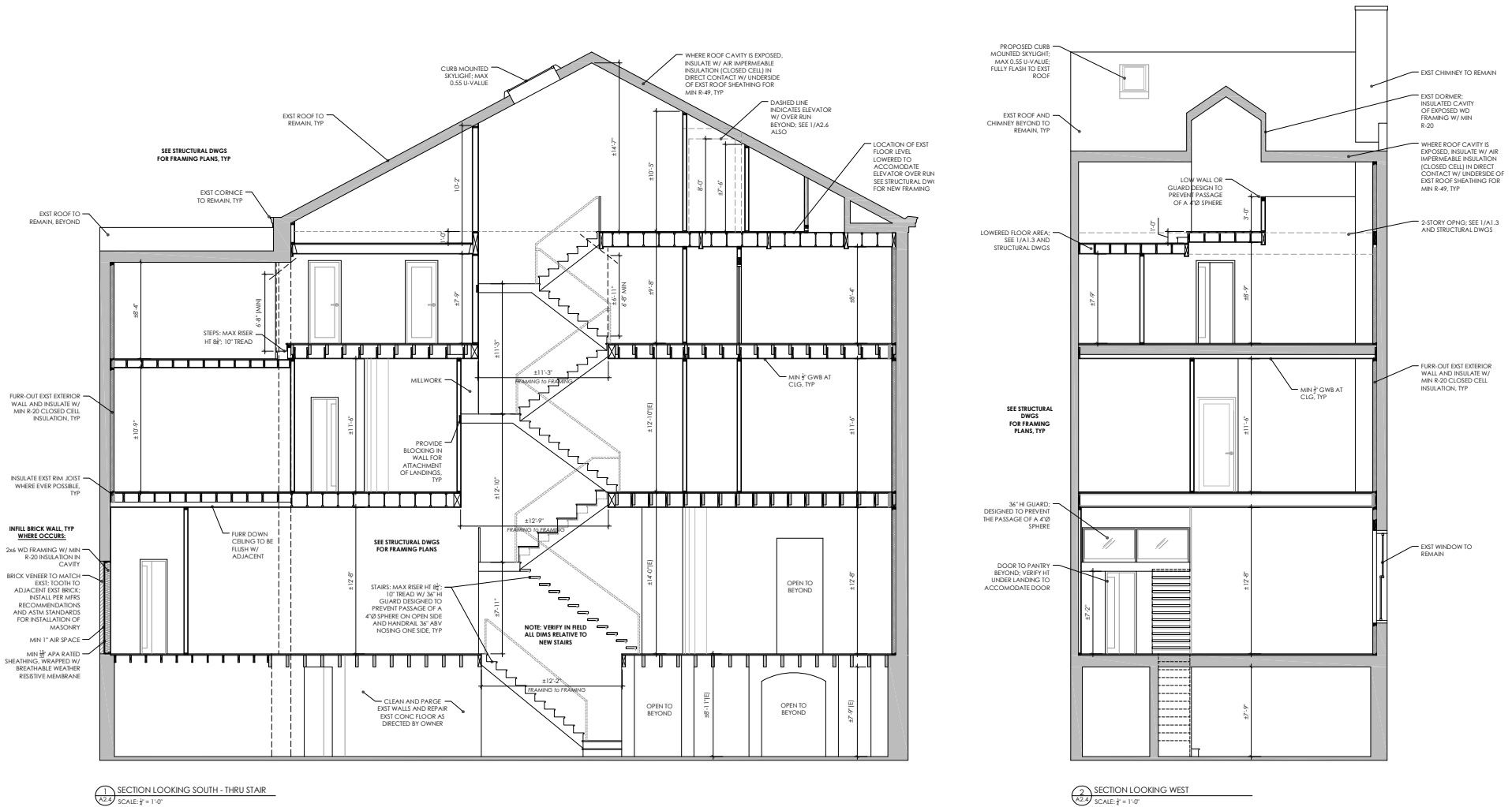
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257 S 4th Street, Philadelphia PA 19106 - OPA# 871508120

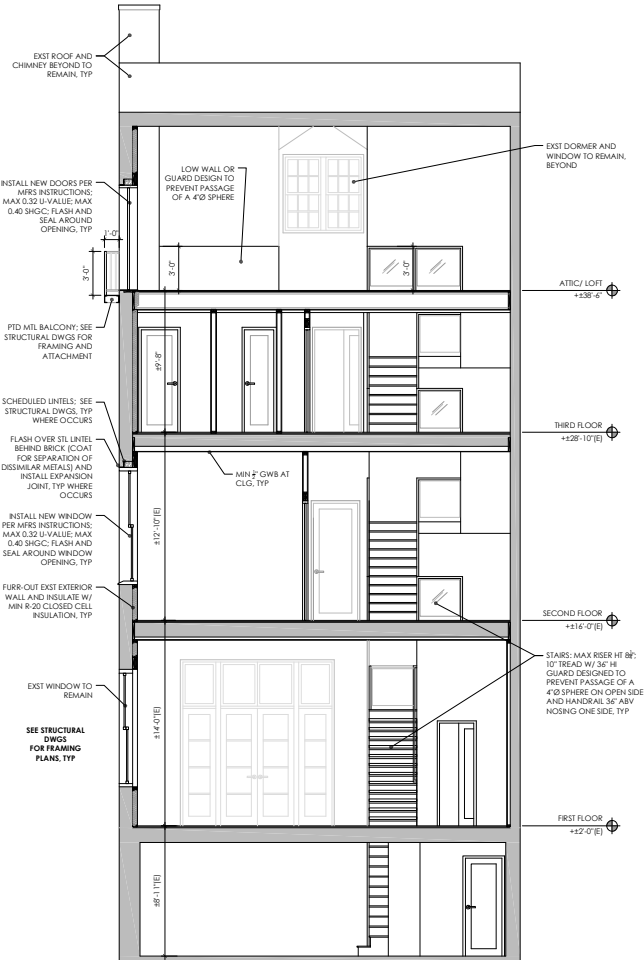
Drawing Title:

BUILDING SECTIONS

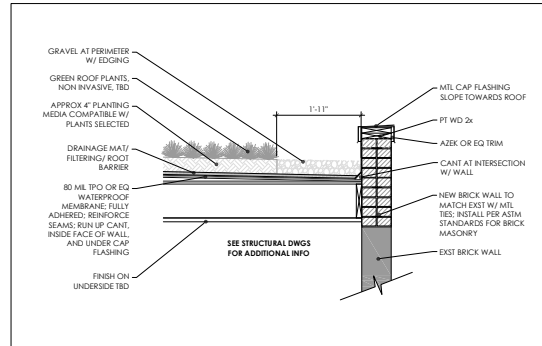
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1 SECTION LOOKING EAST
SCALE: 1/8" = 1'-0"



2 DETAIL AT PARKING GREEN ROOF
SCALE: 1/2" = 1'-0"



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267.253.6174 • jlr@continuum-architecture.com

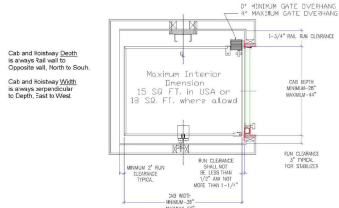
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19106

Project Name & Location:
Existing Single Family Home Remodel
257 S 4th Street, Philadelphia PA 19106 - OPA# 871508120
Drawing Title:
BUILDING SECTIONS and DETAILS

ISSUED FOR
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10-22-25

A2.5

Hoistway Layout



The following specs are to be provided by the General Contractor (GC), except as noted, prior to Elevator Contractor (EC) installing the elevator equipment.

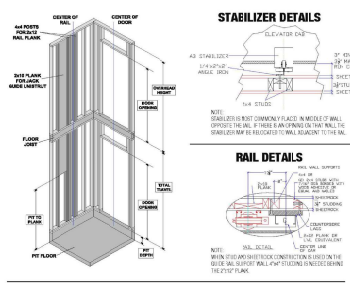
1. Enclosed, plumb and square hoistway with smooth interior surfaces.
2. Include for facias or lining of hoistway interior.
3. Doors, frames and door hardware.
4. Finish openings as per elevator contractor's shop drawings.
5. Jamb boxes shall be flush to finish surface at specified height at each hoistway door.
6. Hoistway door security. All hoistway doors require door locking devices (provided by Indicator) as well as a door handle and a latch set. All doors must be swing type (single hinge). Solid core doors are recommended.
7. Unfinished/in-installed door. EC may prefer a minimum of one hoistway door and associated framing built-in/installed to accommodate elevator installation and prevent possible damage to door/framing. Preferably at the sweet floor.



6 HYDRAULIC DRIVE - 1000 PLANNING GUIDE

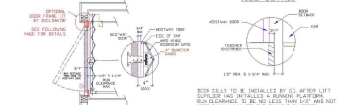
PH (existing Rev.)

Hoistway Construction



3/4" X 4" RULE / DOOR FRAME DETAILS

Reference: ASME 17.1-20 9.5.1.1.4.2, 9.5.1.1.4.3, 9.5.1.1.4.4, 9.5.1.1.4.5



HYDRAULIC DRIVE - 1000 PLANNING GUIDE

PH (existing Rev.)

Hoistway Specifications

The following specs are to be provided by the General Contractor (GC), except as noted, prior to Elevator Contractor (EC) installing the elevator equipment.

1. Environmental requirements for hoistway
 - a. Temperature should be maintained between 40°F to 100°F.
 - b. Should not be exposed to the elements.
2. PE Requirements
 - a. Substantial level of floor/ceiling to support 4,000 lbs. impact load.
 - b. Waterproof pit minimum 10" below lowest floor level.
3. Overhead Requirements

DOOR HEIGHT	MIN. CAR HEIGHT	OVERALL CAR HEIGHT	OVERHEAD REQUIREMENT
6'-0"	80"	7'-0"	8'-0"
7'-0"	86"	7'-6"	8'-6"
8'-0"	92"	8'-2"	9'-2"
8'-6"	98"	8'-8"	9'-8"

a. If minimum 8'0" OC is not possible, consult Indicator, or EC, about possible solutions.

4. Rail Wall Requirements
 - a. Single steel guide rail (provide by Indicator) to be mounted to a 2"x12" plank, #1 fir or better.
 - b. Plank to be installed plumb and straight and shall secure hold the guide rail in a plumb and straight position regardless of car loading.
 - c. Guide rail shall be capable of supporting the loads imposed. Plank shall be fastened with (2) 3/8"x37" high every 2' OC spaced at the edge of the plank. Counter-sink lag heads, and, if needed, or equivalent, behind plank. See drawing detail.
 - d. Blocks in rail wall in all of wood unsuitable alternative steel blocking is used that contains an inner wood section of equal strength. Blocks shall be located per drawing.
 - e. 2"x12" plank built mounted with additional studs in rail wall to be provided behind steel track to support unistrut guides.
 - f. Consult factory or local dealer for concrete or steel framed construction.
5. Stabilizer system requirements. In line studs for stabilizer are to be located opposite rail wall unless code 1 or 2 is not drawings.
6. ASME 17.1 Part 5.3. Hoistway to be constructed in accordance with this code and all local codes. It is the responsibility of the GC and the EC to comply with all appropriate codes.

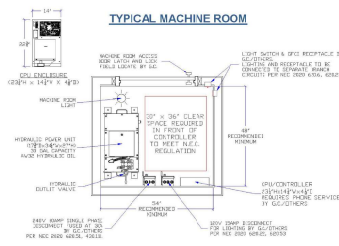


14 HYDRAULIC DRIVE - 1000 PLANNING GUIDE

PH (existing Rev.)

Machine Room Specifications

1. Permanent 230 volt, single phase, 30 amp dedicated supply with 60 amp disconnect (see below) for others to operate the elevator.
2. 120 volt lighting supply and disconnect by others.
3. Telephone connection. Code requires a telephone connection. A phone line must be installed leading to the controller.
4. CPU/Controller and Pump Control should be mounted in a temperature controlled environment between 60°F to 120°F (40°C to 49°C).
5. CPU/Controller and Pump Control should not be exposed to outdoor elements.
6. Machine room area to meet local and national codes.
7. Machine room must be suitable by code.
8. N.E.C. regulations require a minimum of 30'x36' clear unobstructed floor space in front of the controller. N.E.C. regulations also state the floor to ceiling height of the control space should be 6'6" high.

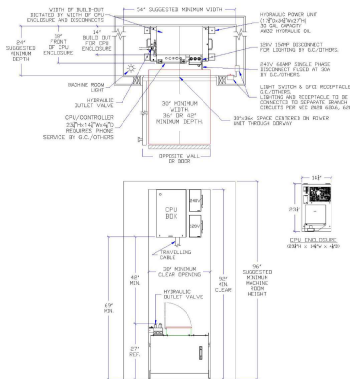


16 HYDRAULIC DRIVE - 1000 PLANNING GUIDE

PH (existing Rev.)

Machine Room Specifications

COMPACT MACHINE ROOM



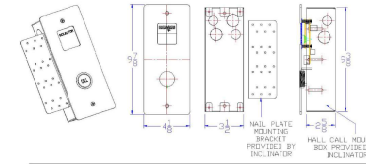
HYDRAULIC DRIVE - 1000 PLANNING GUIDE



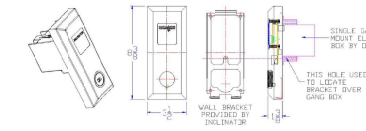
PH (existing Rev.)

Hall Call Stations

FLLSH MOUNT HALL CALL STATION



RAISED MOUNT HALL CALL STATION



18 HYDRAULIC DRIVE - 1000 PLANNING GUIDE

PH (existing Rev.)

RESIDENTIAL ELEVATOR - BASIS OF DESIGN
SCALE: NTS



Continuum
ARCHITECTURE & DESIGN, INC.
635 Addison Street • Philadelphia, PA 19147
267.253.6174 • j@continuum-architecture.com

Owner:
M Dwell Two, LLC
401 Cypress Street
Philadelphia, PA
19106

Project Name & Location:
Existing Single Family Home Remodel
257 S 4th Street, Philadelphia PA 19106 - OPA # 871508120
Drawing Title:
RESIDENTIAL ELEVATOR - BASIS OF DESIGN

ISSUED FOR
BLDG PMT
10-22-25

A2.6



FIRST FLOOR EXISTING REAR OPENING LOOKING EAST



FIRST FLOOR EXISTING REAR OPENING LOOKING WEST



SECOND FLOOR EXISTING REAR OPENING LOOKING EAST



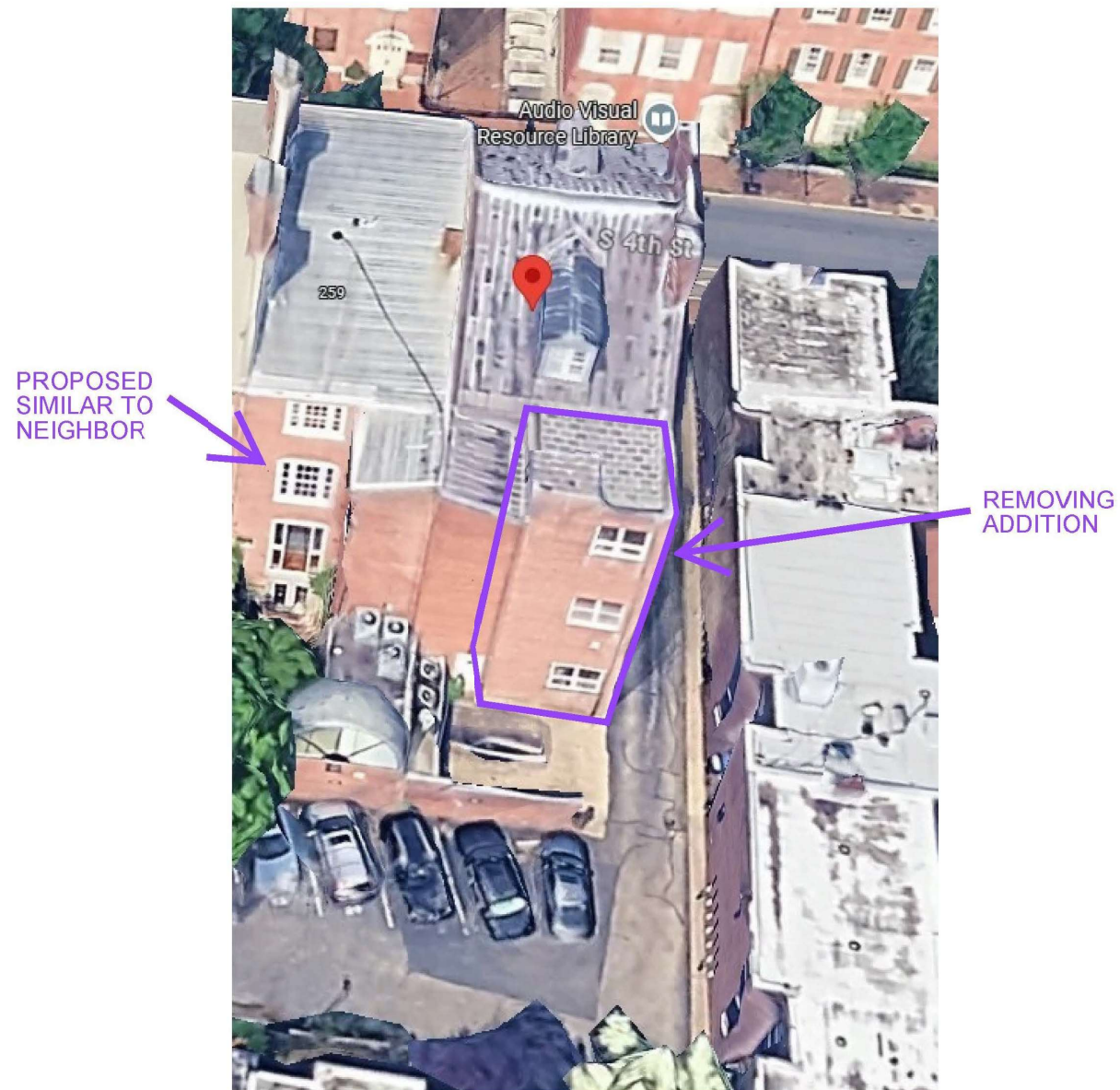
SECOND FLOOR EXISTING REAR OPENING LOOKING WEST



THIRD FLOOR EXISTING REAR OPENING LOOKING EAST



THIRD FLOOR EXISTING REAR OPENING LOOKING WEST



AERIAL VIEW OF REAR OF EXISTING BUILDING and NEIGHBORING PROPERTY



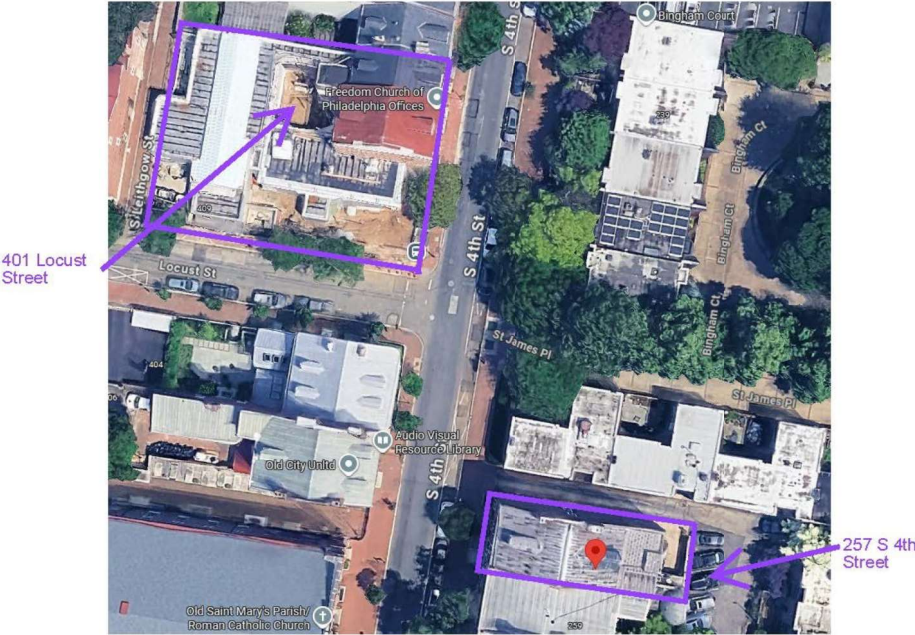
PROPOSED REAR ELEVATION



401 LOCUST STREET ADDITION



401 LOCUST STREET REAR WINDOW CONFIGURATION



AERIAL MAP



REAR OF PROPERTY LOOKING TOWARD 4TH STREET



REAR FACADE SHOWING THE 1981 3-STORY ADDITION (PROPOSED FOR REMOVAL)



GROUND FLOOR SHOWING THE INTERIOR OF THE 1981 ADDITION (PROPOSED TO BECOME A GARDEN)



ARCHED OPENING INTO THE INTERIOR OF THE 1981 ADDITION (OPENING TO BE PRESERVED)



LOFT FLOOR SHOWING EXISTING REAR DORMER AND CHIMNEY (LOCATION FOR ROOFTOP GARDEN)

NORTH WALL AND FRONT FACADE ALONG 4TH STREET

PROPERTY SURROUNDINGS AND INTERIOR CONDITIONS

PEDESTRIAN VIEWS OF THE PROPERTY IN THE NEIGHBORHOOD



VIEW FROM THE EAST SIDE OF 4TH STREET

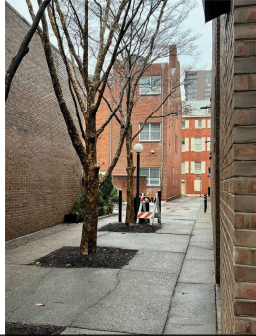


VIEW FROM THE WEST SIDE OF 4TH STREET

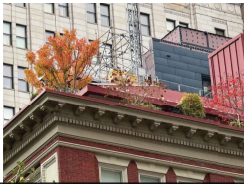
VIEW FROM THE MAIN BINGHAM COURT WALKWAY



VIEW FROM A SIDE BINGHAM COURT WALKWAY



ROOFTOP GARDEN INSPIRATIONS FROM WASHINGTON SQUARE



M Design Collaborative

ARCHITECT:

ASSOCIATED ARCHITECT:

CIVIL ENGINEER:

MEP ENGINEER:

STRUCTURAL ENGINEER:

ISSUES:

NUMBER DATE DESCRIPTION

REVISIONS:

NUMBER DATE DESCRIPTION

IN-CONCEPT REVIEW

KEY PLAN:



CLIENT NAME / PROJECT NAME & ADDRESS

JANE AHN
257 S 4TH STREET

DRAWING TITLE:

SCALE:

PROJECT NO:

ISSUE DATE: 4.8.25

DRAWN BY: Author

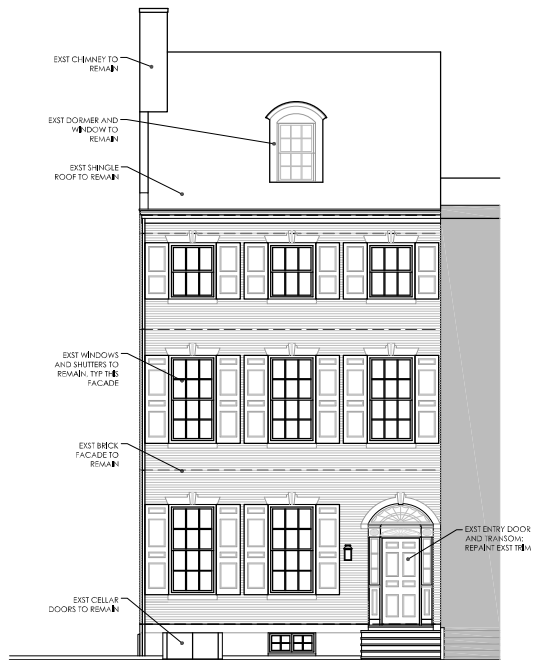
CHECKED BY: Checker

DRAWING NUMBER:

(STAMP)

n.a.

Original design with deck



1 FRONT ELEVATION
22.1
SCALE: $\frac{3}{16}'' = 1'-0''$



2 SIDE ELEVATION
22.1 SCALE: $\frac{5}{16}'' = 1'-0''$

Approval Stamps:



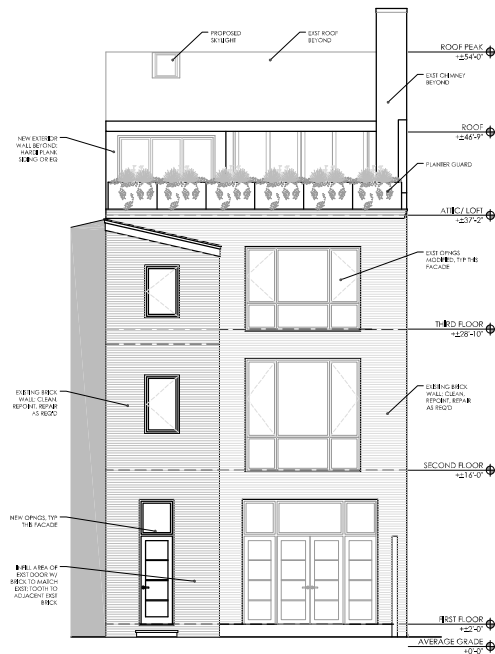
Owner:
M Dwell Two, LLC
401 Cypress Street
Philadelphia, PA
19106

Project Name & Location:	Existing Single Family Home Remodel 257 S 4th Street, Philadelphia PA 19106 - OPA# 871508120
Drawing Title:	EXTERIOR ELEVATIONS

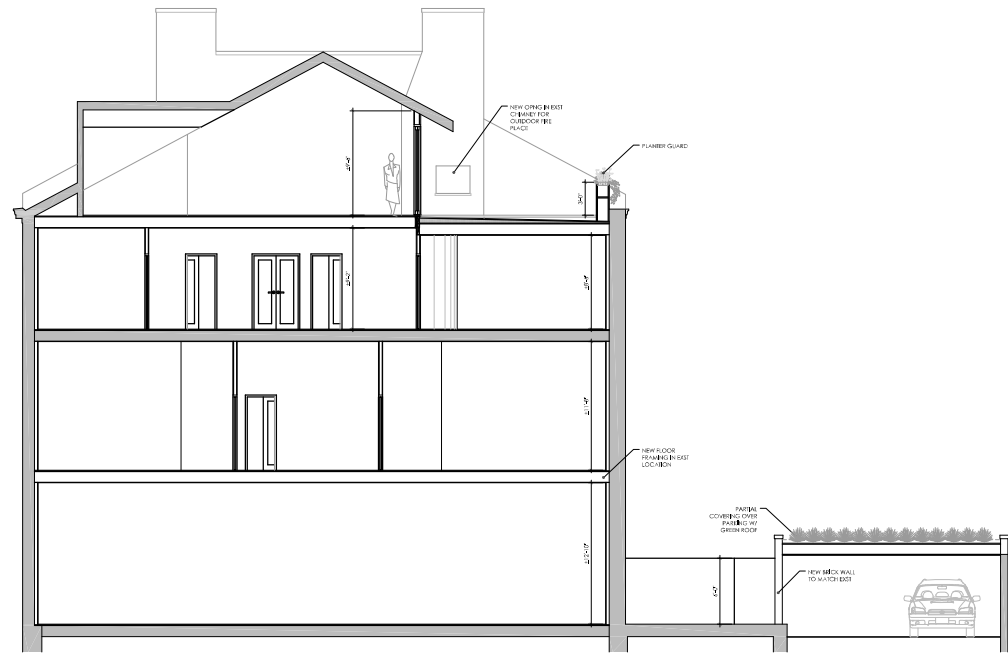
ISSUED FOR
ZONING
PERMIT
02-20-25

Z2.1

Original design with deck



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



2 DIAGRAMMATIC SECTION LOOKING NORTH
SCALE: 1/8" = 1'-0"

Approval Stamps:



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19106

Project Name & Location:
Existing Single Family Home Remodel
257 S 4th Street, Philadelphia PA 19106 - OPA# 871508120
Drawing Title:
EXTERIOR ELEVATIONS and DIAGRAMMATIC SECTION

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PERMIT
02-20-25

72.2