

GENERAL DEMOLITION NOTES

- 01 GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AROUND WORK AREA SO AS TO MINIMIZE DISRUPTION OF ADJACENT SPACES, AND SHALL PROVIDE TEMPORARY CLOSURES AND DUST BARRIERS AT LOCATIONS WHERE EXISTING AND OR NEW SURFACES, FINISHES AND EQUIPMENT COULD BE SOILED OR DAMAGED BY THE CONSTRUCTION OPERATION. GC TO BE RESPONSIBLE FOR THE RESTORATION OF ALL DAMAGED OR SOILED SURFACES, WITH ALL RESTORATION TO MATCH EXISTING IN KIND.
- 02 ANY ITEMS NOT INDICATED ON THE DEMOLITION DRAWING TO BE REMOVED, BUT REQUIRING REMOVAL TO ACCOMMODATE NEW CONSTRUCTION, SHALL BE REMOVED BY THE CONTRACTOR. UPON VERIFICATION BY THE ARCHITECT. NO DEVIATION FROM THE WORK INDICATED ON THE DRAWINGS SHALL BE PERMITTED DUE TO A CONFLICT WITH EXISTING CONSTRUCTION WHICH HAS NOT BEEN REMOVED AS NECESSARY.
- 03 NOTIFY ARCHITECT AND OWNER OF ANY CONDITIONS THAT ARE ENCOUNTERED AND WHICH MAY BE INCOMPATIBLE WITH THE EXTENT OF PROPOSED
- 04 SHOULD ANY HAZARDOUS MATERIALS BE ENCOUNTERED IN THE COURSE OF SELECTIVE DEMOLITION WORK, NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY. DO NOT PROCEED WITH SELECTIVE DEMOLITION WORK UNTIL HAZARDOUS MATERIALS HAVE BEEN PROPERLY REMOVED.
- 05 SHORE EXISTING STRUCTURE AS REQUIRED DURING DEMOLITION TO MAINTAIN INTEGRITY OF EXISTING STRUCTURE & FINISHES
- 06 CONTRACTOR TO CONFIRM WITH OWNER ALL ITEMS TO BE SALVAGED. ALL OTHER ITEMS AND CONSTRUCTION INDICATED TO BE COMPLETELY REMOVED SHALL BECOME THE PROPERTY OF THE GENERAL CONTRACTOR AND SHALL BE LEGALLY DISPOSED OF OFF-SITE.
- 07 THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF WASTE DISPOSAL DUMPSTER WITH OWNER AND ARCHITECT. THE GENERAL CONTRACTOR SHALL SECURE ALL APPROVALS REQUIRED FOR LOCATIONS OF ALL WASTE DISPOSAL DUMPSTERS.

DEMOLITION NOTES

1. NO HISTORICAL FABRIC IS TO BE REMOVED
2. ALL EXISTING HISTORIC MASONRY OPENINGS SHALL REMAIN UNALTERED
3. ALL EXISTING DOORS AND WINDOWS TO BE REMOVED ARE NON-HISTORIC, ANY AND ALL REPLACEMENT WINDOWS AND DOORS SHALL BE OF WOOD MATERIALS. G.C. TO PROVIDE SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY THE HISTORICAL COMMISSION PRIOR TO FABRICATION.
4. EXISTING MASONRY CHIMNEY SHALL BE REMOVED AND REBUILD FINAL BRICK SELECTION SHALL BE APPROVED BY THE HISTORIC COMMISSION
5. MORE INFORMATION PLEASE SEE DOORS & WINDOWS DETAILS
- REMOVE & DISPOSE OF OFF SITE THE FOLLOWING
- TYPICAL THROUGHOUT UNLESS OTHERWISE NOTED:
6. CEILING ASSEMBLY & ASSOCIATED COMPONENTS
- INCLUDING BUT NOT LIMITED TO GRID, GRILLS, HANGERS & TILES
& ALL CRAFT PAPER FACED INSULATION
7. FINISH FLOORING;
- REMOVE ALL MATERIAL ADHESIVES, FASTENERS ETC
8. INTERIOR FINISHES
- INCLUDING BUT NOT LIMITED TO BASE, WALLS & CEILINGS
9. ALL CASEWORK & ASSOCIATED COMPONENTS
- INCLUDING BUT NOT LIMITED TO COUNTERTOPS, CABINETRY, SHELVEING & STORAGE UNITS
10. ALL FURNISHINGS & DECOR
11. ALL LIGHTING FIXTURES & ASSOCIATED COMPONENTS

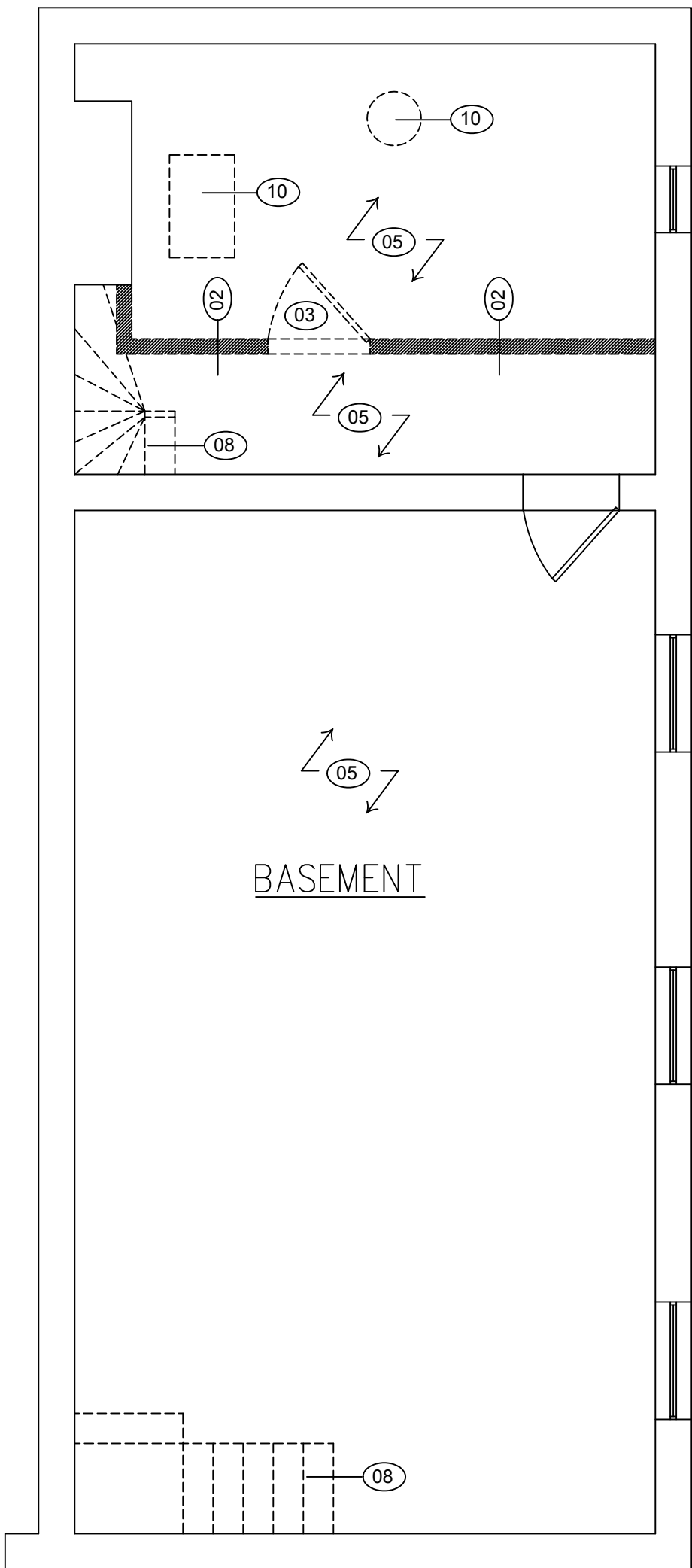
DEMOLITION SYMBOLS KEY

- ITEMS OR WALLS TO BE REMOVED
- ===== EXTG TO REMAIN
- █ REMOVE EXTG WALLS AS NOTED
- ⓧ DEMOLITION KEY NOTE

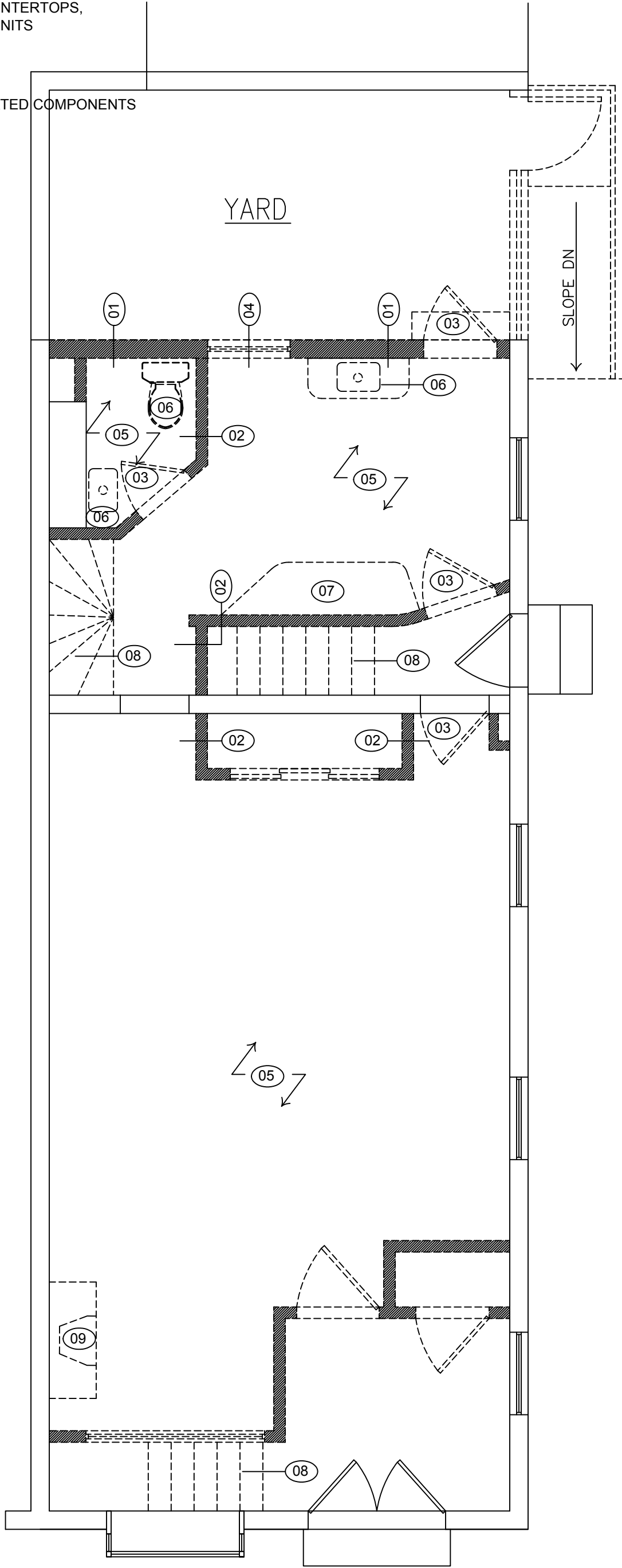
DEMOLITION KEY NOTES

REMOVE AND DISPOSE OF OFF SITE THE FOLLOWING:

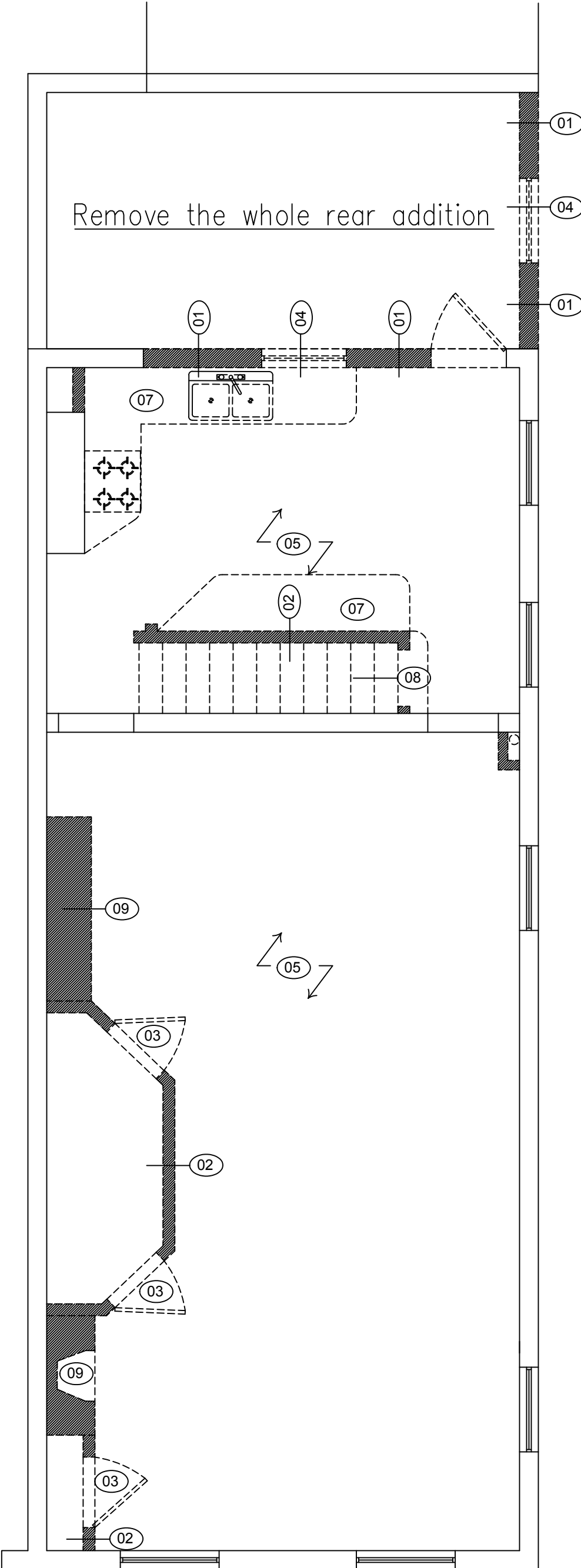
- 01 EXTERIOR WALL; NON-STRUCTURAL
- 02 INTERIOR WALL; NON - STRUCTURAL
- 03 DOOR ASSEMBLY & ANY ASSOCIATED HARDWARE.
- 04 WINDOW ASSEMBLY, GLAZING & ANY ASSOCIATED COMPONENTS
- 05 GWB CEILING / SOFFIT ASSEMBLY
- 06 PLUMBING FIXTURES AND ALL ASSOCIATED COMPONENTS - CAP OFF
- 07 CABINETRY CASEWORK AND COUNTERTOPS AS REQUIRED
- 08 STAIRCASE ASSEMBLY, HANDRAIL & ANY ASSOCIATED HARDWARE
- 09 FIREPLACE
- 10 MECHANICAL UNITS DUCTWORK & HOT WATER HEATERS AND PIPES



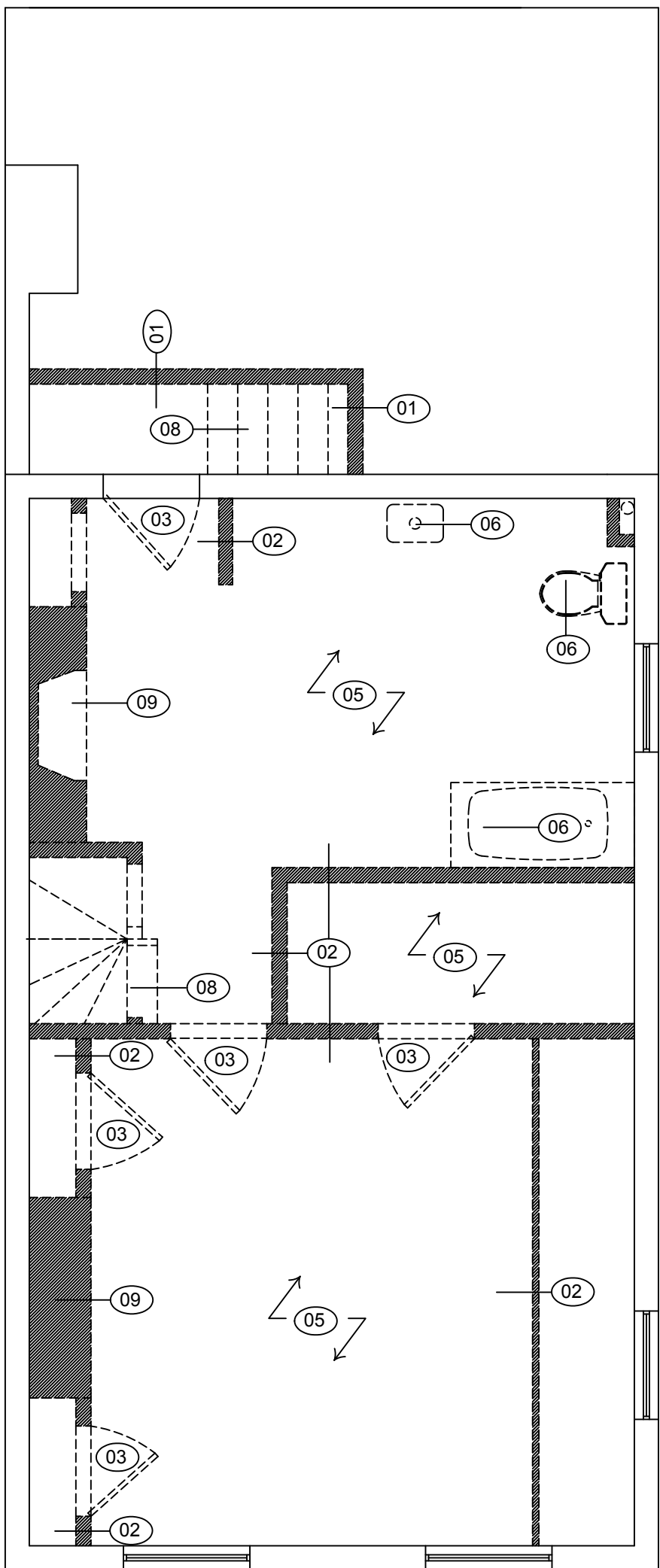
BASEMENT FLOOR PLAN



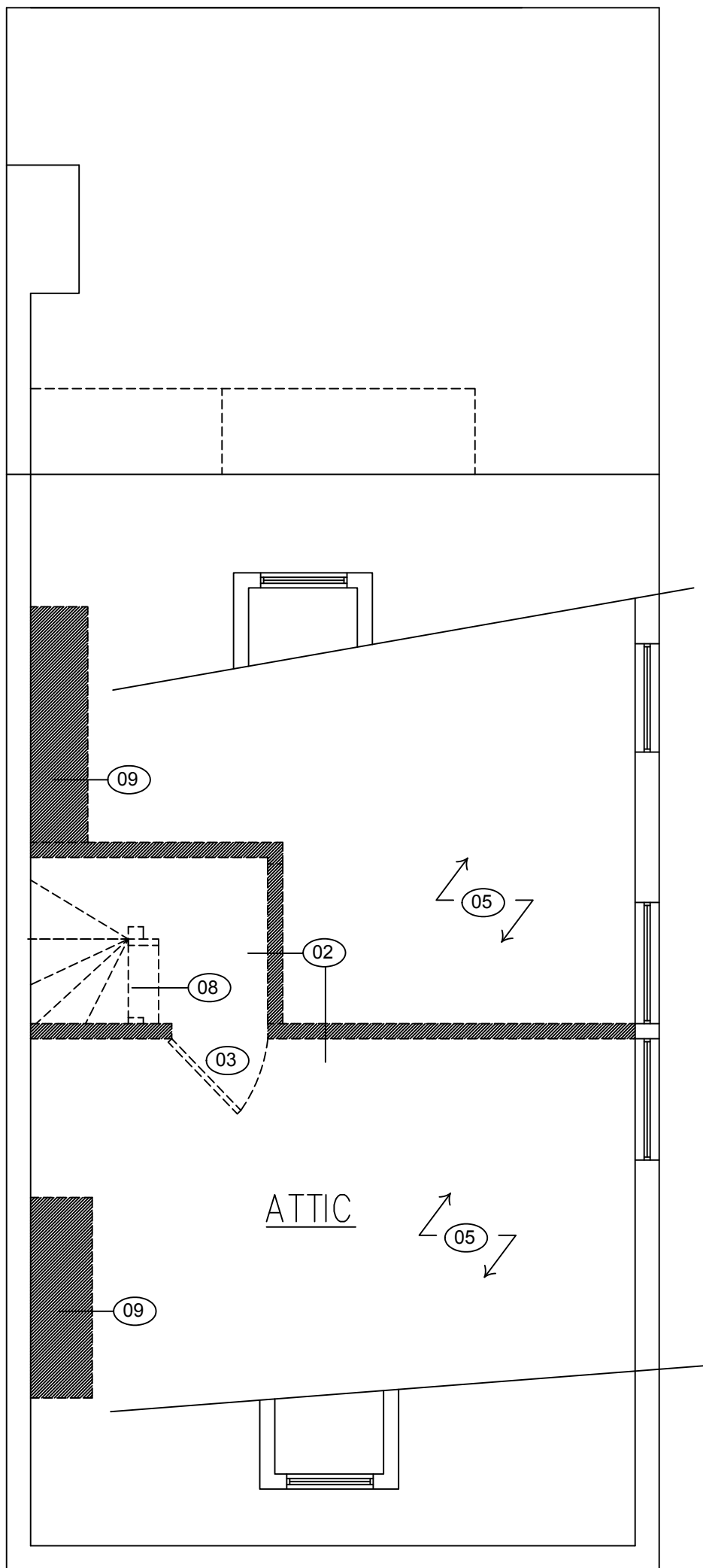
FIRST FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



FOURTH FLOOR PLAN

1 EXISTING BASEMENT PLAN
A-0 1/4" = 1'-0"

2 EXISTING FIRST FLOOR PLAN
A-0 1/4" = 1'-0"

3 EXISTING SECOND FLOOR PLAN
A-0 1/4" = 1'-0"

4 EXISTING THIRD FLOOR PLAN
A-0 1/4" = 1'-0"

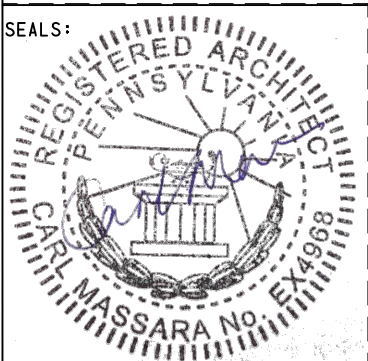
5 EXISTING FOURTH FLOOR PLAN
A-0 1/4" = 1'-0"

REVISIONS		
NO.1	DESCRIPTION1	DATE1

PROJECT NAME:

SINGLE FAMILY RESIDENCE
800 S 5TH STREET
PHILADELPHIA, PA19147

SEALS:



ARCHITECT:

DRAWING STATUS:

permit set

DRAWING TITLE:

EXISTING FLOOR
DEMOLITION
PLANS

DRAWING SCALE:

AS NOTED

PLOT CONFIG, FILE NAME:

COMPUTER FILE NAME:

DAY STAMP:

JOB NO.1

DRAWN BY:

DRAWING NUMBER:

DATE:

SCALE:

D-1

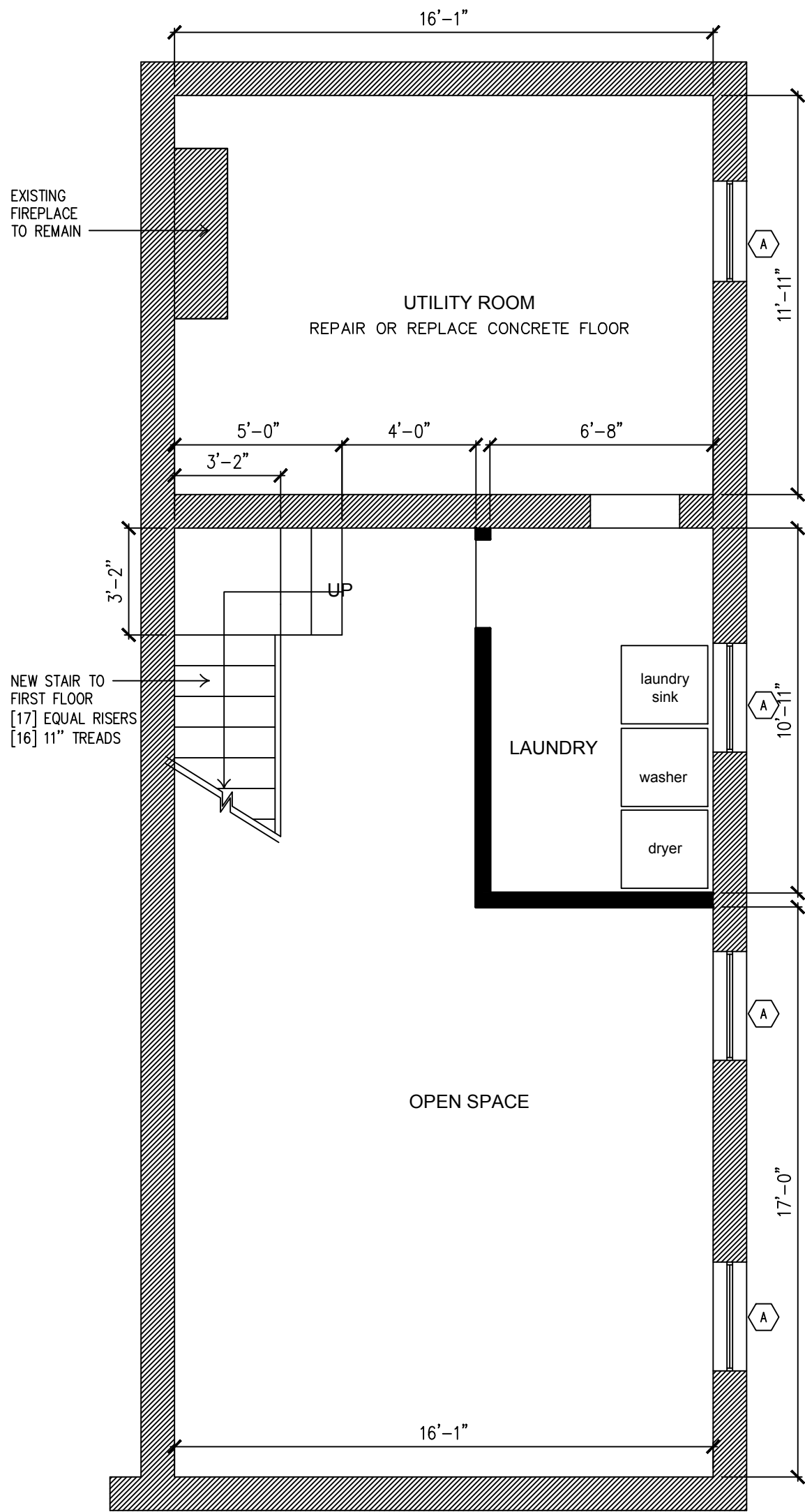
SEE RCPs FOR LIGHTING INFORMATION

EXISTING TO REMAIN
NEW CONSTRUCTION
NEW WALLS AS NOTED; SEE WALL TYPES
LINE OF ITEMS ABOVE
LINE OF ITEMS BELOW
INDICATES CHANGE IN ELEVATION

AT CLOSET:
PROVIDE HANG ROD & HAT SHELF; TYP. UON

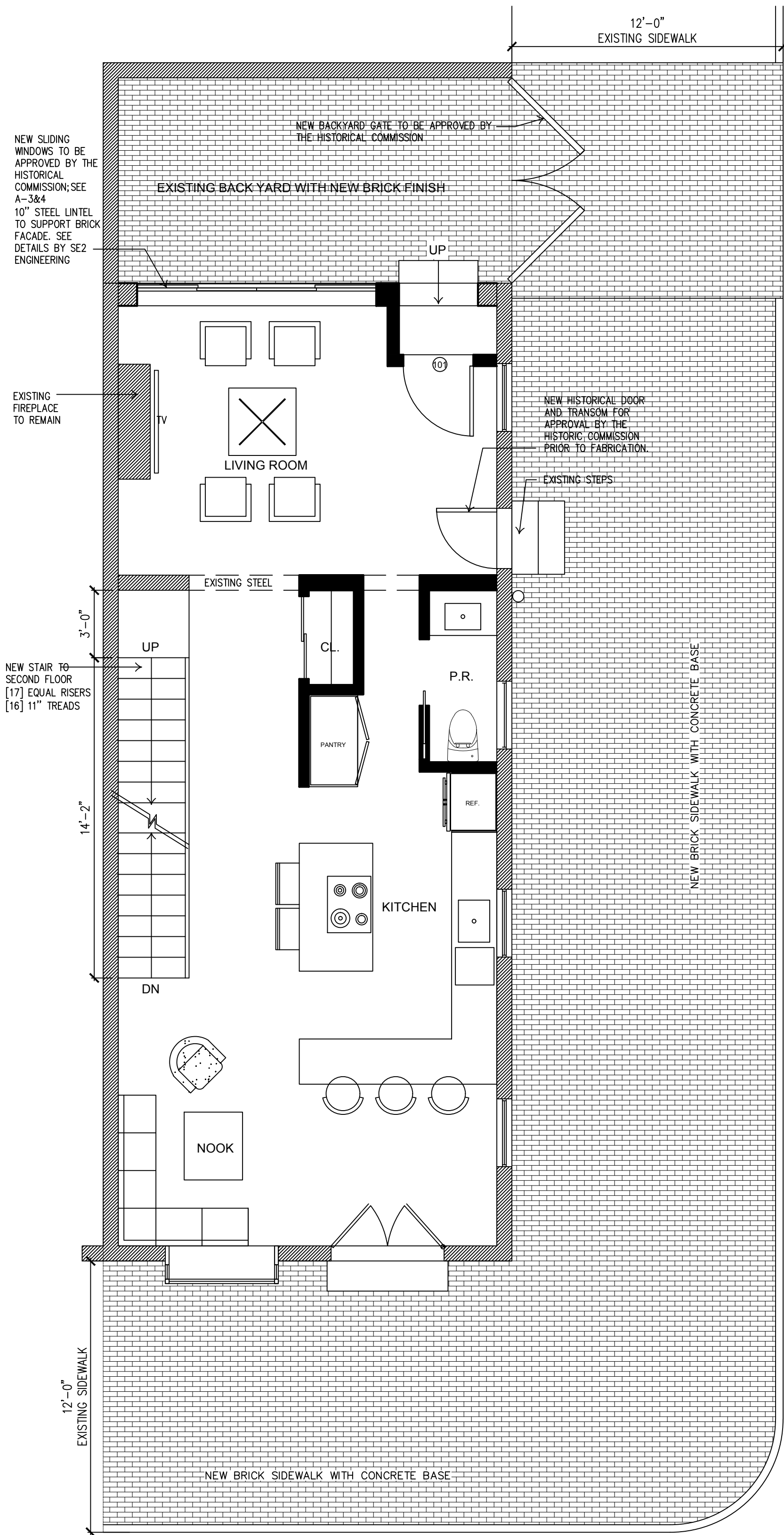
FLOOR TRANSITION;
TILE : WOOD
PROVIDE SCHLUTER STRIP; 1/4" MAX ELEV DIFFERENCE

TILE : WOOD
PROVIDE CARRARA MARBLE THRESHOLD;
1/4" MAX ELEV DIFFERENCE



PROPOSED NEW HISTORICAL WINDOWS TO MATCH THE EXISTING WINDOWS, THE HISTORICAL COMMISSION TO APPROVE PRIOR TO FABRICATION

1 PROPOSED BASEMENT PLAN
A-1 1/4" = 1'-0"



ALL THE EXISTING HISTORICAL WINDOWS TO BE REPAIRED AND REPAINTED AS NECESSARY

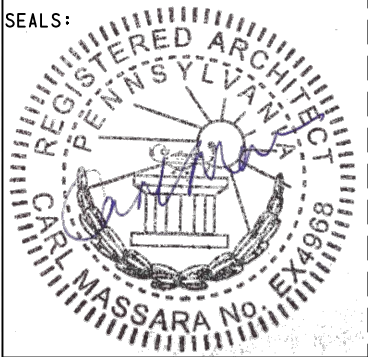
2 PROPOSED FIRST FLOOR PLAN
A-1 1/4" = 1'-0"

REVISIONS		
NO.1	DESCRIPTION1	DATE1

PROJECT NAME :

SINGLE FAMILY RESIDENCE
800 S 5TH STREET
PHILADELPHIA, PA19147

SEALS:



ARCHITECT :

DRAWING STATUS :

permit set

DRAWING TITLE :

PROPOSED
FLOOR PLANS

DRAWING SCALE :

AS NOTED

PLOT CONFIG, FILE NAME :

COMPUTER FILE NAME :

DAY STAMP :

JOB NO.1 : DRAWN BY : J.SUN : DRAWING NUMBER :

DATE : 02.14.24

SCALE : AS NOTED

A-1

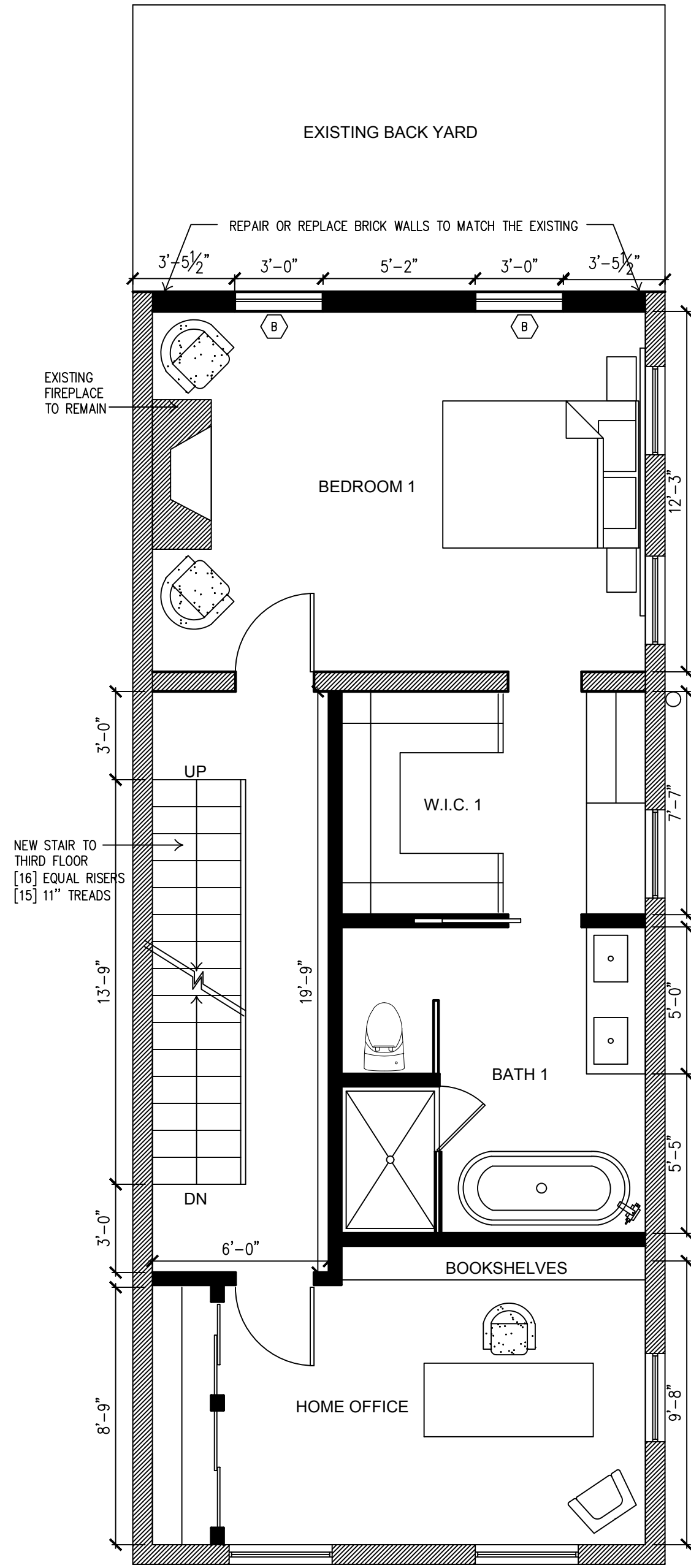
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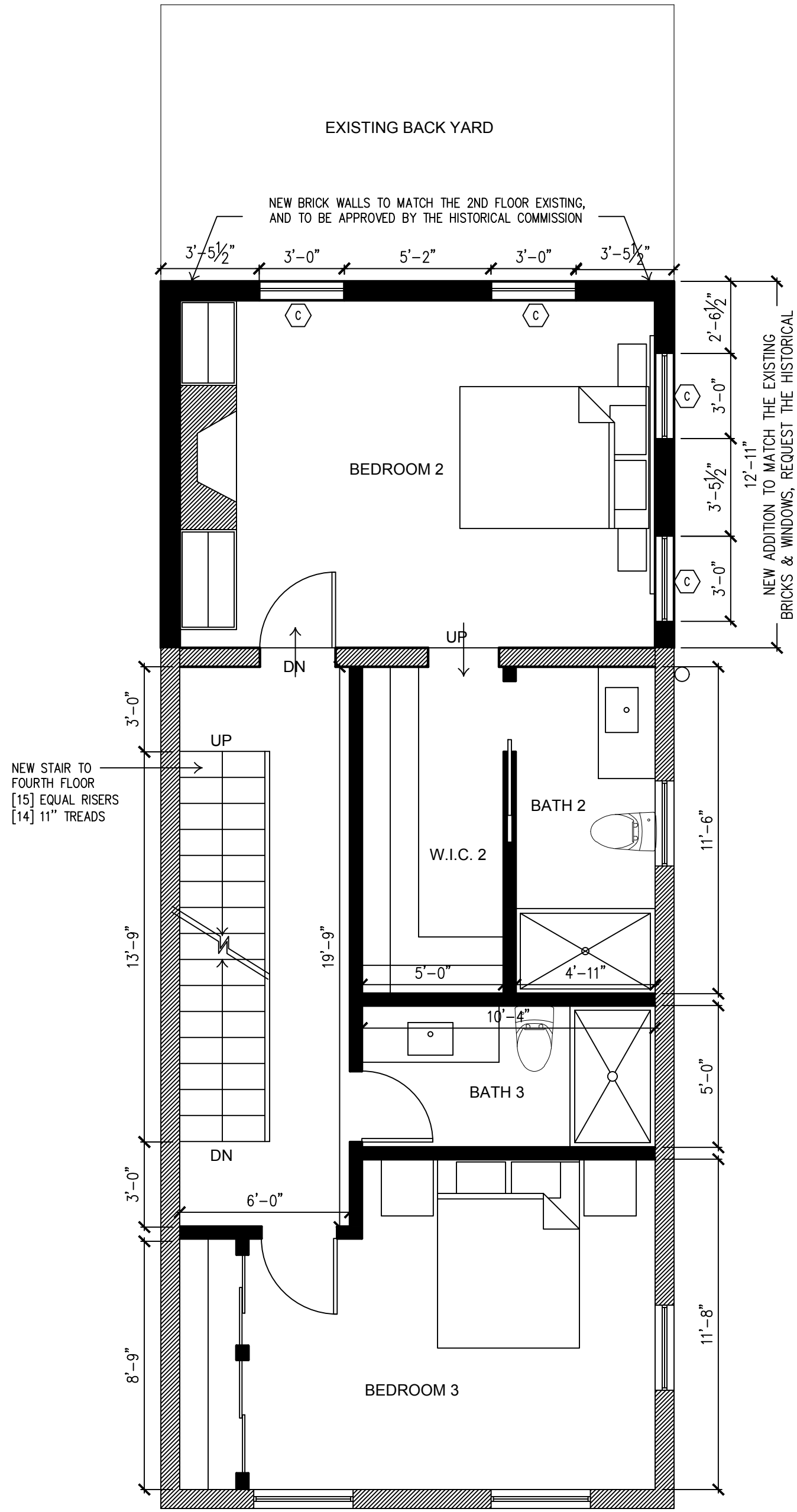
FLOOR TRANSITION;
TILE : WOOD
PROVIDE SCHLUTER STRIP; 1/4" MAX ELEV DIFFERENCE

TILE : WOOD
PROVIDE CARRARA MARBLE THRESHOLD;
1/4" MAX ELEV DIFFERENCE



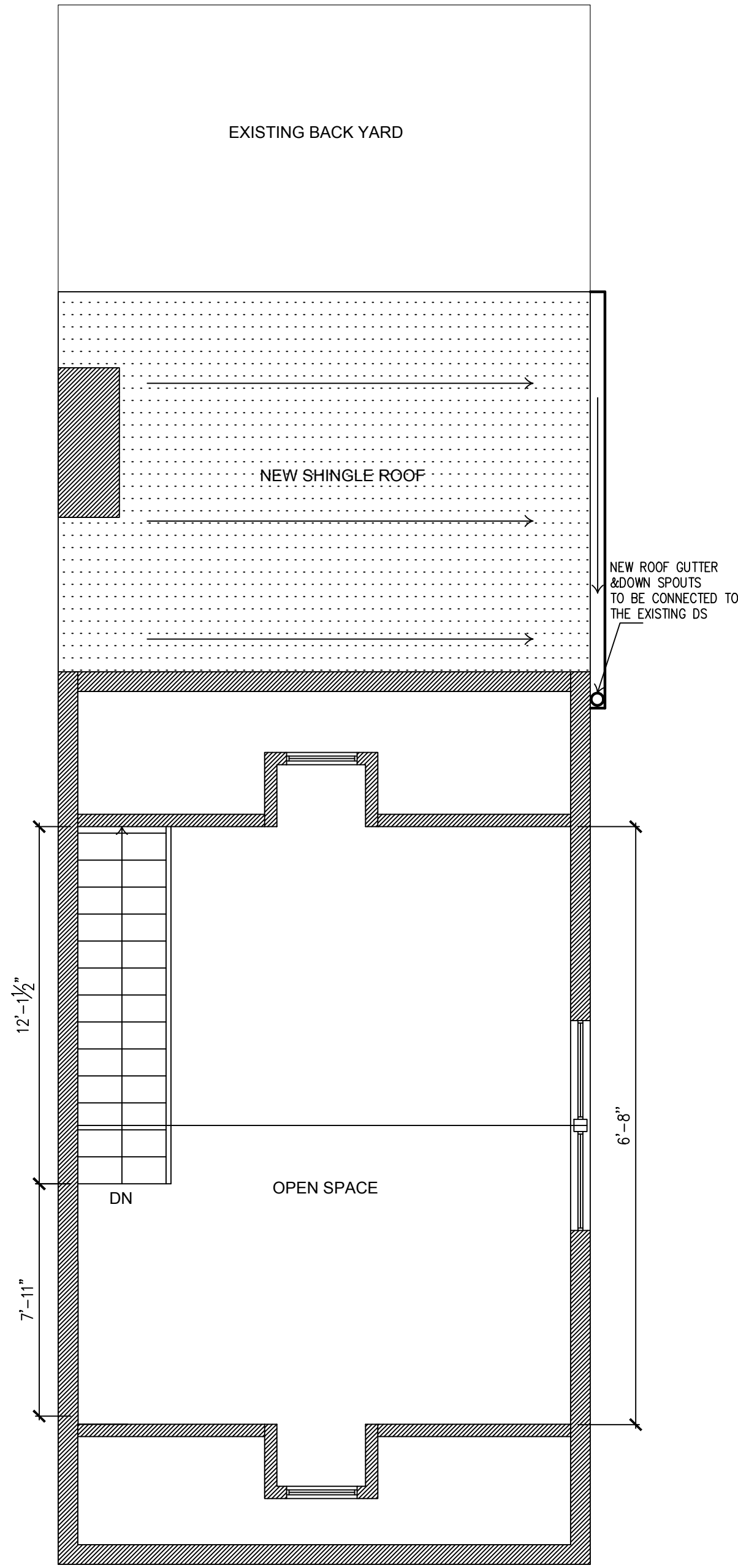
ALL THE EXISTING HISTORICAL WINDOWS TO BE REPAIRED AND REPAINTED AS NECESSARY

1 PROPOSED SECOND FLOOR PLAN
A-2 1/4" = 1'-0"



ALL THE EXISTING HISTORICAL WINDOWS TO BE REPAIRED AND REPAINTED AS NECESSARY
PROPOSED NEW WINDOWS TO MATCH THE EXISTING AND TO BE APPROVED BY THE HISTORICAL COMMISSION

2 PROPOSED THIRD FLOOR PLAN
A-2 1/4" = 1'-0"



ALL THE EXISTING HISTORICAL WINDOWS TO BE REPAIRED AND REPAINTED AS NECESSARY

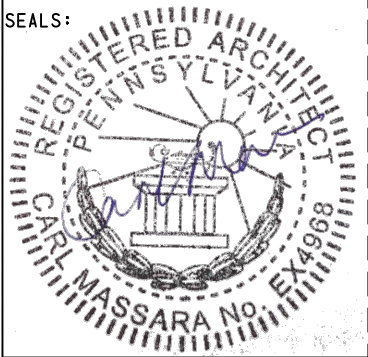
3 PROPOSED FOURTH FLOOR PLAN
A-2 1/4" = 1'-0"

REVISIONS		
NO.1	DESCRIPTION1	DATE1

PROJECT NAME:

SINGLE FAMILY RESIDENCE
800 S 5TH STREET
PHILADELPHIA, PA19147

SEALS:



ARCHITECT:

DRAWING STATUS:

permit set

DRAWING TITLE:

PROPOSED
FLOOR PLANS

DRAWING SCALE:

AS NOTED

PLOT CONFIG, FILE NAME:

COMPUTER FILE NAME:

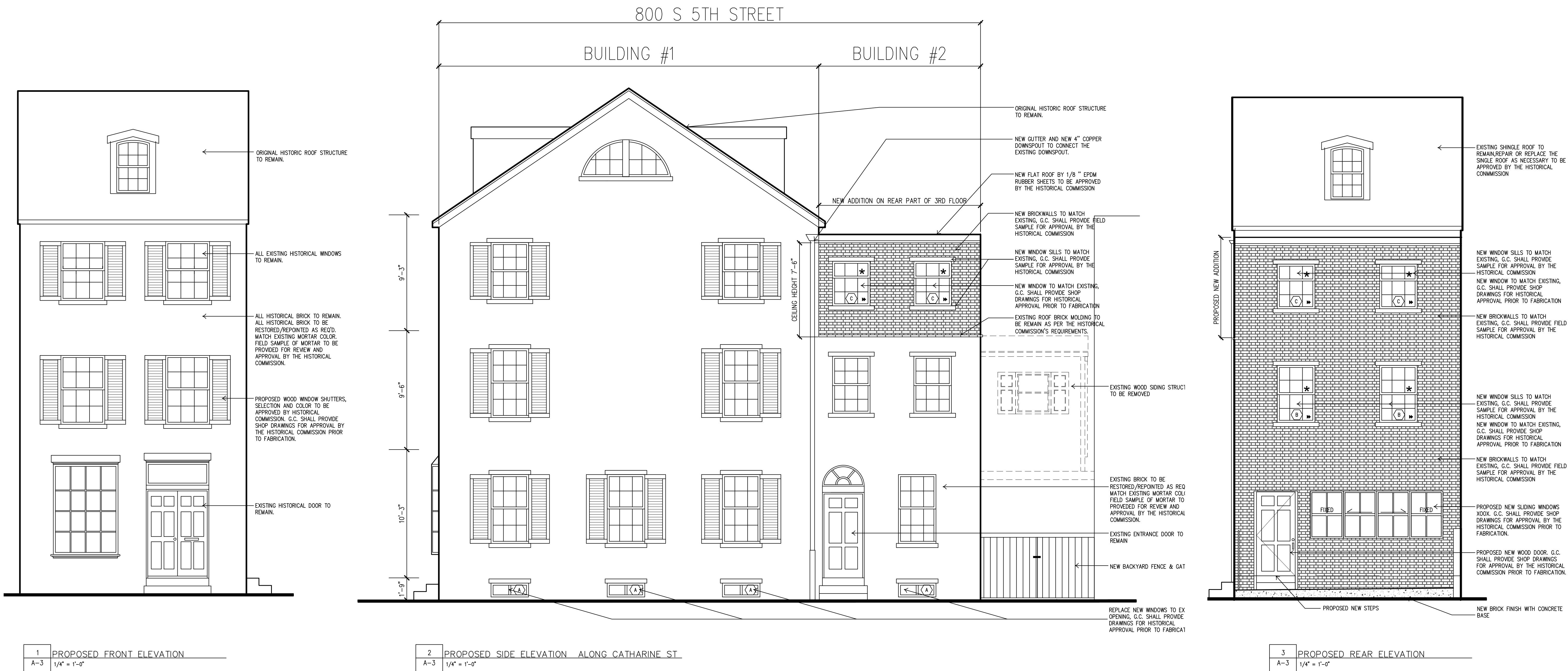
DAY STAMP:

JOB NO.1: DRAWN BY: J.SUN DRAWING NUMBER:

DATE: 02.14.24

SCALE: AS NOTED

A-2



KEY

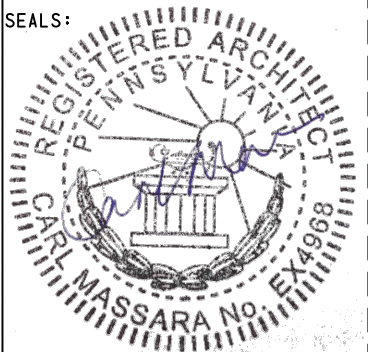
- * TEMPERED OR LAMINATED GLASS
- ➡ EGRESS WINDOW
BASIC UNIT CLEAR OPENING EXCEEDS
20" IN WIDTH, 24" IN HEIGHT &
A MINIMUM OF 5.7 SQ. FT.

REVISIONS		
NO.1	DESCRIPTION1	DATE1

PROJECT NAME:

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800 S 5TH STREET
PHILADELPHIA, PA19147

SEALS:



ARCHITECT:

DRAWING STATUS:

permit set

DRAWING TITLE:

PROPOSED ELEVATION:

DRAWING SCALE:
AS NOTED

PLOT CONFIG, FILE NAME:

COMPUTER FILE NAME:

DAY STAMP:

JOB NO.1: DRAWN BY: J.SUN DRAWING NUMBER:

DATE: 02.14.24

SCALE: AS NOTED

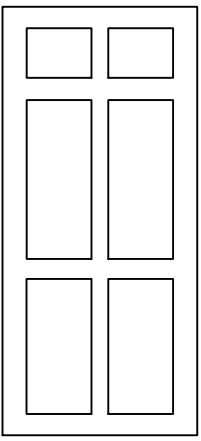
A-3

*ACCORDING TO KIM CHANTRY OF THE HISTORICAL COMMISSIONER, IT WAS USED FOR RELIGIOUS PURPOSES FOR A BIT. IT BEING A JEWISH MISSION IN 1914, AND BEFORE THAT IT BEING OWNED BY THE REFORMED PRESBYTERIAN CHURCH OF NORTH AMERICA.

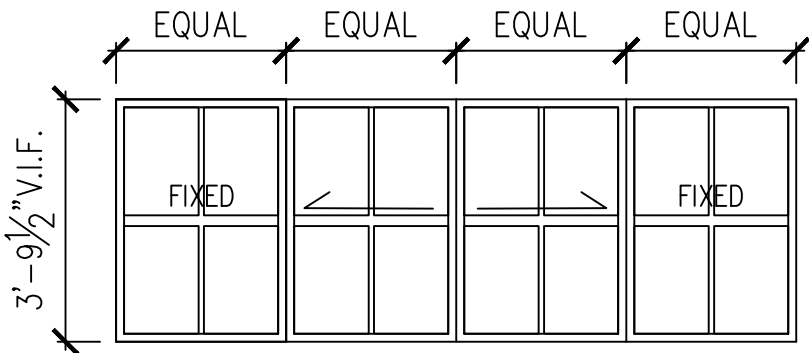
EXTERIOR DOORS & WINDOWS SCHEDULE

EXTERIOR DOORS

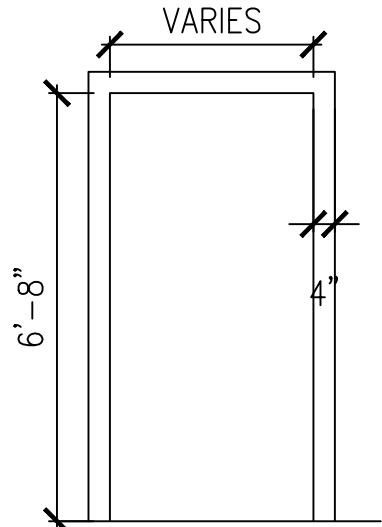
FLOOR LEVEL	DOOR NUMBER	LOCATION	TYPE	SIZE	MATERIAL	HARDWARE	NOTE
FIRST FLOOR	101	LIVING ROOM	①	16'-0"W X 6'-8"H	WD.	TBD	INSULATED



① ENTRANCE DOOR



CUSTOMIZED TAMPER GLASS SLIDING WINDOW

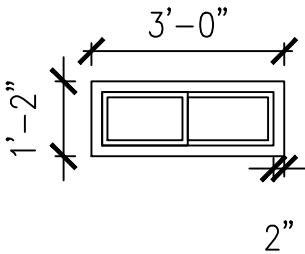


DOOR FRAME

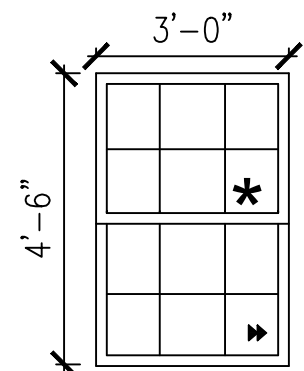
* G.C. shall provide shop drawings for all new exterior doors for the historical commission review & approval prior to fabrication.

EXTERIOR WINDOWS

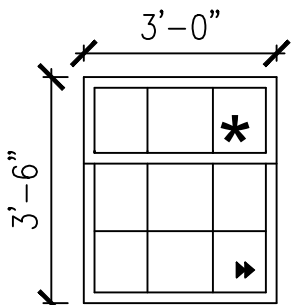
FLOOR LEVEL	WINDOW QTY.	LOCATION	TYPE	SIZE	SILL HIGHT	NOTE
BASEMENT	4	OPEN AREA/LAUNDRY/STORAGE	Ⓐ	3'-0"W X 1'-2"H	MEASURE ON SITE	
SECOND FLOOR	2	BEDROOM 2	Ⓑ	3'-0"W X 4'-6"H	2'-6"	EGRESS
THIRD FLOOR	4	BEDROOM 2	Ⓒ	3'-0"W X 3'-6"H	2'-6"	EGRESS



Ⓐ SLIDING BASEMENT WINDOW



Ⓑ DOUBLE HUNG WINDOW

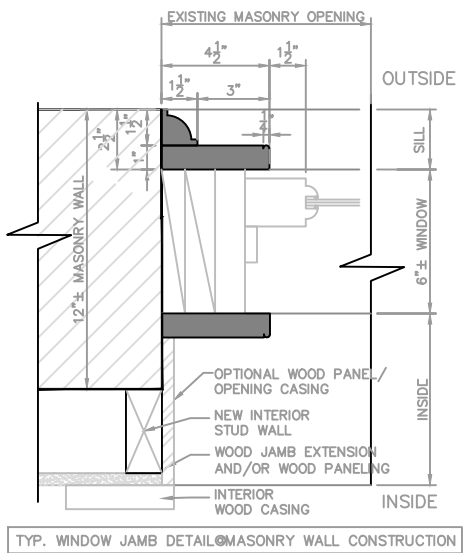


Ⓒ DOUBLE HUNG WINDOW

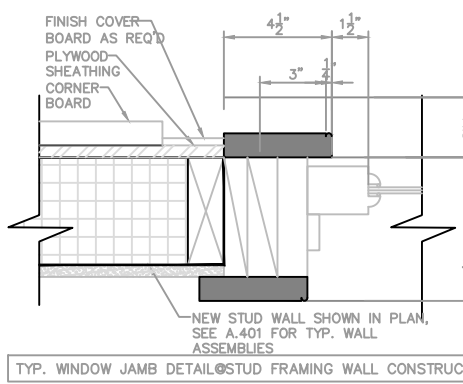
* Historic Masonry Openings shall remain unchanged. G.C. shall field verify all M.O. dimensions prior to window fabrication. G.C. shall provide shop drawings for all new & replacement windows for historical review & approval prior to fabrication.

* SHUTTER NOTES

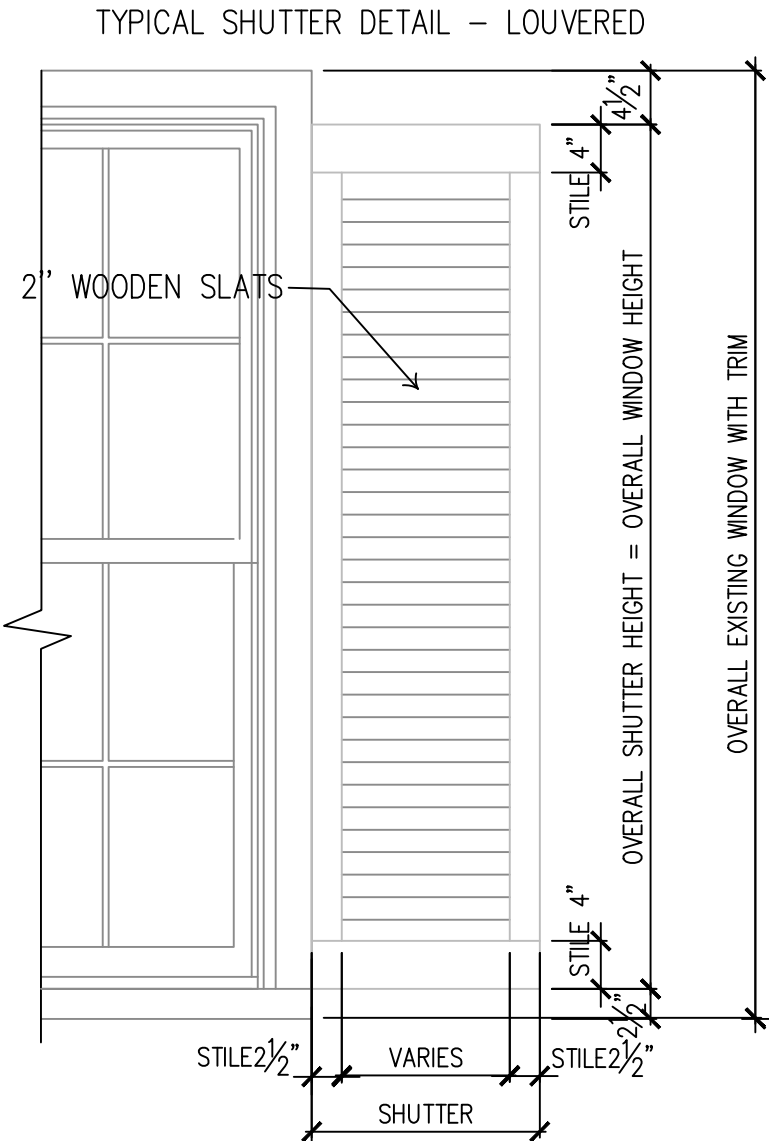
Overall width of shutter will vary between window types. Window shutter shall be 1/2 of the overall window width. G.C. shall provide shop drawings of shutters and associated mounting hardware for historical commission approval prior to fabrication.



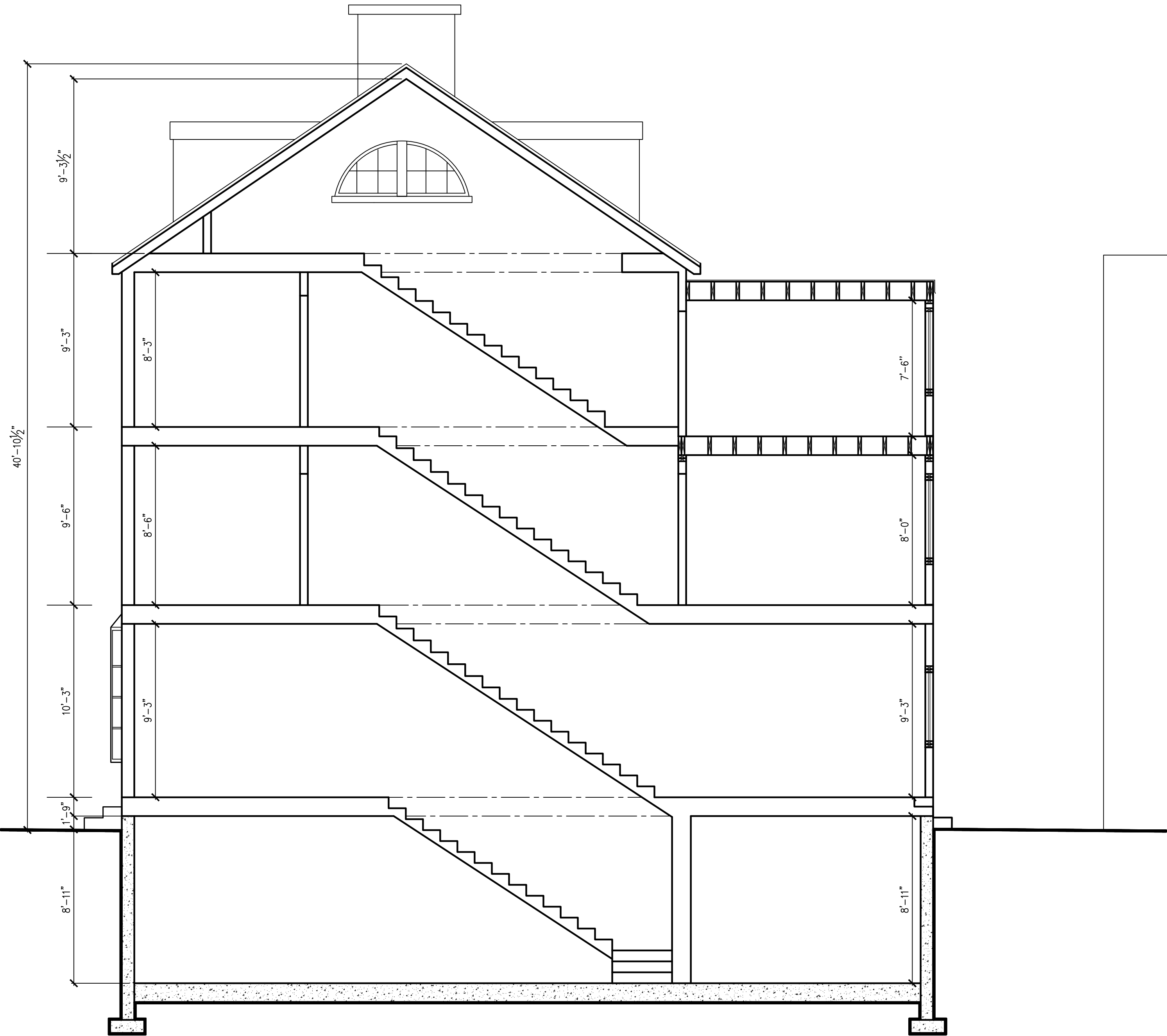
TYP. WINDOW JAMB DETAIL (MASONRY WALL CONSTRUCTION)



TYP. WINDOW JAMB DETAIL (STUD FRAMING WALL CONSTRUCTION)



2 WINDOW SHUTTER DETAILS
1 - 1/2" = 1'-0"



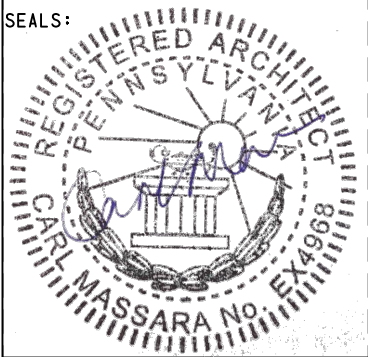
1 PROPOSED BUILDING SECTION
1/4" = 1'-0"

REVISIONS		
NO.1	DESCRIPTION1	DATE1

PROJECT NAME :

SINGLE FAMILY RESIDENCE
800 S 5TH STREET
PHILADELPHIA, PA19147

SEALS :



ARCHITECT :

DRAWING STATUS :

permit set

DRAWING TITLE :

Building Section; Windows
& exterior doors schedule

DRAWING SCALE :

AS NOTED

PLOT CONFIG, FILE NAME :

COMPUTER FILE NAME :

DAY STAMP :

JOB NO.1	DRAWN BY :	DRAWING NUMBER:
	J.SUN	
DATE :	SCALE :	A-4
02.14.24	AS NOTED	