

ADDRESS: 2114 GREEN ST

Proposal: Construct rear additions and deck

Review Requested: Final Approval

Owner: Sharyn Katz

Applicant: Michael Bucci, G-Space LLC

History: 1854; Hazelhurst & Huckel; Roman brick façade with terra cotta details by architectural firm of Hazelhurst & Huckel for James Beatty, salesman, 1887

Individual Designation: 11/2/1972

District Designation: Spring Garden Historic District, Significant, 10/11/2000

Staff Contact: Heather Hendrickson, heather.hendrickson@phila.gov

OVERVIEW: This application proposes to modify and enlarge the rear of the rowhouse at 2114 Green Street as well as to add a green roof terrace-plus-pilot house to the property. Modifications to the property would include: the rear garage door and existing deck above it would be altered, the bay window on the side of the property would be removed and the first floor would be enlarged, the rear bay window would be restored and altered to include doors in place of windows, and the third floor would be extended over the rear bay window to make room for a green roof terrace. A new stair penthouse would be constructed on the roof for access to the terrace. No work to the front façade is proposed. The stair penthouse is currently presented to be 11 feet and six inches tall, set back from the front cornice by about 30 feet. The rear block of Wilcox Street is a service alley with garages and no front-facing properties.

SCOPE OF WORK:

- Modify and enlarge the rear of the property.
- Add a green roof deck plus stair penthouse.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property would be avoided.*
- *Standard 9: new additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.*

STAFF RECOMMENDATION: The staff recommends denial of the application as proposed, but approval provided the pilot house is lowered to the extent possible, the roof terrace is not built over the third-floor bay window, and the parapet at the roof level in the rear is replaced by a railing, pursuant to Standards 2 and 9.



FRONT FACADE 2114 GREEN ST Nov 2024



REAR FACADE FROM DECK Dec 2023



SIDE YARD FACADE. Dec 2023



Saturday, May 10, 2025

Heather Hendrickson Preservation Planner Philadelphia Historic Commission Via email: Heather.Hendrickson@phila.gov	RE: 2114 Green Street Application# RP-2025-004427 Philadelphia PA 19130 Owner: Sharyn Katz Hearing date:
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Dear Historic Commission Members,

I am writing this letter to describe the proposed project at the above referenced address. We are requesting a final approval. This project is to add small additions in various areas that have undersized rooms to make the home more livable for our client that has 3 children and does a substantial amount from work from home. The project will not be visible from Green street on either side of the street. A site section indicates the sight lines to illustrate the visibility. The rear façade has very limited visibility from Wilcox street, of which is primarily an alleyway for access to garages at the rear of most houses on this street. The side façade isn't visible at all from Wilcox Street due to the decks and screening trellises at the rear of the houses.

The owner intends to remove and replace the garage door with a wider door and omit the entry door. This will require replacing the deck with the structural changes needed. The deck will then be constructed as a paved terrace with a waterproof membrane below it

The side wood framed bay window is on poor condition with rotted windows and trim and needs to be replaced. Our proposal is to remove the side bay and extend it to the kitchen area effectively expanding the kitchen to make it more functional for the family.

The rear bay is also in need of repairs and the owner would like to add a terrace over the rear section of the kitchen.

The 3rd floor rear bedroom is functionally too small, and the owner has requested to expand this room over the 2nd floor bay window. This would bring the building out more in line with the neighboring buildings. As this extension is built we intend to preserve the cornice line at the angled bay below and reuse as much as possible of the original metal moldings.

Finally, since there is not a rear yard or open outdoor area, we are proposing a green roof terrace with plantings and pavers that will simulate a back yard on the roof. This will not be visible at all from Green street, nor will the stair access penthouse be visible from Green Street. Plantings will be mostly screened from visibility from The Wilcox Street side with a parapet wall.

In conclusion the owner is passionate about preserving the historic integrity of the house, insists that the work being done is in character with the original structure and has requested that the interior moldings match the existing moldings and details.

Please Contact me with any questions or concerns that you may have.
Thank you for your attention to this matter.

Sincerely,
Michael Bucci
NJ RA# 09641
PA RA #B-010380

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Residential Building Permit RP-2025-004427 (Applicant Revisions)

Status: Applicant Revisions**Application Date:** Apr 28, 2025**Issue Date:**[Additional Information Required](#)**Completed Date:****Expiration Date:** Jul 1, 2025**Description:** Residential - Addition and/or Alteration[Details](#)[Electrical Details](#)[Mechanical Details](#)[Plumbing Details](#)[Excavation Details](#)[Reviews](#)[Inspections](#)[Project Activity](#)[Contractors](#)[Subcontractors](#)[Manage Permit Notifications](#)

Here is a summary of your Permit information. Use the tabs above to navigate between all of the information relating to your Permit including Reviews, Inspections and Contractors. Also, check the buttons below to see what actions you can take with this Application. For more information click on the blue questions mark icons below.

DETAILS

Type of Work: Addition and/or Alteration

Approved Scope of Work:

Structure Type: One-Family

Modular Building: ☐

Number of Stories of Work: 3

Includes Green Roof Construction: ☒

Includes at least 5' Excavation: ☐

Includes Underpinning: ☐

Impacts On Adjacent Property: No

Facade Work Being Done: ☐

One or both of the following applies: ☐

1) Construction works extends into, under, or onto a public right-of-way.

2) Project involves new, relocated, or extended driveway.

Area of Earth Disturbance (sq. ft.): 36

Alteration Area (sq. ft.): 429

Addition Area (sq. ft.): 313

Total Construction Area (sq. ft.): 742

Electrical Cost of Work: \$15,000.00

Fire Suppression Cost of Work:

Fuel / Gas Cost of Work:

Mechanical Cost of Work: \$25,000.00

Plumbing Cost of Work: \$8,500.00

Excavation Cost of Work:

General Construction Cost of Work: \$450,000.00

Total Construction Cost of Work: \$498,500.00

Total Improvement Cost: \$525,000.00

Homeowner is doing the work: ☐

Design Professional in Responsible Charge for Special Inspections (DPRC-SI): mike mota

LOCATIONS

Address

2114 GREEN ST, Philadelphia, PA 19130-3111
Building 1065088

Primary Location: 2114 GREEN ST,
Philadelphia, PA 19130-3111

Specific Location:

RELATED INFORMATION

Type	Description
Building	Occupancy: R-3 Residential (1 or 2 Dwellings)
Occupancy	854 Sq. Ft.
Building	Occupancy: R-3 Residential (1 or 2 Dwellings)
Occupancy	907 Sq. Ft.
Building	Occupancy: R-3 Residential (1 or 2 Dwellings)
Occupancy	943 Sq. Ft.
Contractor	MNB CONSTRUCTS LLC Phone: (215) 928-8900, License Number: 19765
Design Professional	Michael Bucci Phone: (215) 928-8900, License Number: 057369
Zoning Permit	ZP-2024-009212: Ready For Issue (Commercial - New construction, addition, GFA change) 2114 GREEN ST, Philadelphia, PA 19130-3111 (Michael Bucci DBA: G SPACE, LLC)

HOLDS

The following hold(s) exist on this Permit and must be addressed before Permit Issuance or Permit Completion. Please click on each Hold for more information. Once you have resolved a Hold please contact L&I by clicking [HERE](#)

Required Before	Type	Status
Permit Completion	Special Inspections Completion	Outstanding

PERMIT ACTIVITIES

This is where you can make requests on your permit. The eligible request types will appear depending on what your permit status is. The requests can include:

FEES

You have no outstanding fees.

TEMPORARY CERTIFICATE OF OCCUPANCY (CO)

Allows you to occupy a portion of your approved development.

You cannot request a temporary CO at this time.

EXTEND PERMIT

[Request Permit Extension](#)

WITHDRAW PERMIT

[Withdraw Permit](#)

DOWNLOAD PERMIT

You cannot download this permit at this time.

AMEND PERMIT

You cannot amend this permit at this time.

REQUEST INSPECTION

You cannot request an inspection at this time.





**DEPARTMENT OF
LICENSES & INSPECTIONS**

**APPROVED
FOR ZONING ONLY**

161626

SEAL YOUR PLANS AND CONSTRUCTION PERMITS, APPROVE OR DISAPPROVE THEM AND SET THE ZONING. PERMITS ARE REQUIRED FOR THE APPROVAL OF THE DEPARTMENT OF LICENSES & INSPECTIONS.

Applied by L&I: Jonathan Vu



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DESIGN BUILDERS
GRAPHICS
MASTER PLANNING

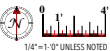
726 S. Hutchinson St.
Philadelphia, PA 19147
Tel 215 928 8900
www.gspacedesign.com
gspacedesign@gmail.com



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2114 GREEN ST
PHILADELPHIA PA

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Z-1



3rd FLOOR PLAN

2nd FLOOR PLAN

BSMT FLOOR PLAN

1st FLOOR PLAN

ISSUES / REVISIONS
SCHEMATIC DESIGN v1 - 1/10/24
SCHEMATIC DESIGN v2 - 7/19/24
DESIGN DEVELOPMENT - 11/5/24
CONSTRUCTION DOC - 4/18/24

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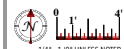
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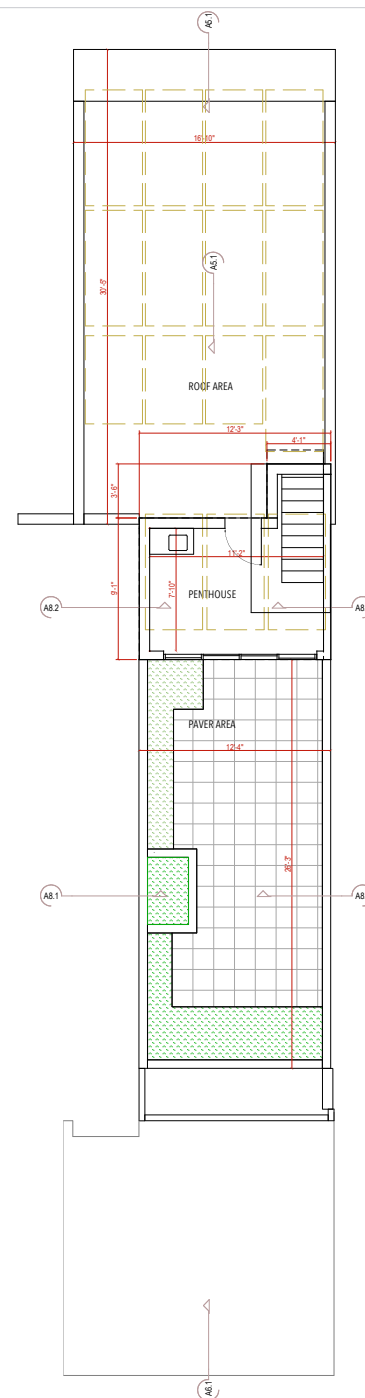


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PENTHOUSE / ROOF PLAN



ISSUES / REVISIONS
SCHEMATIC DESIGN v1 - 1/10/24
DESIGN DEVELOPMENT - 11/15/24
CONSTRUCTION DOC - 4/18/24



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Tel. 215.928.6900

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1. *Psychological Distance*

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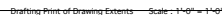
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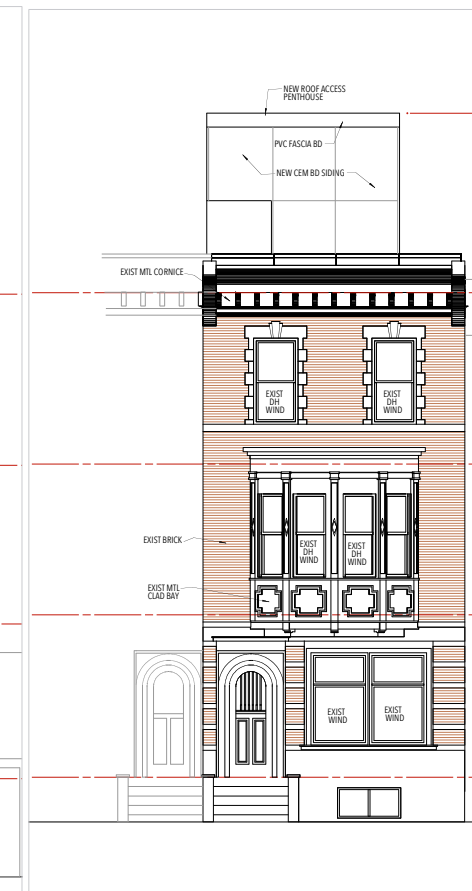
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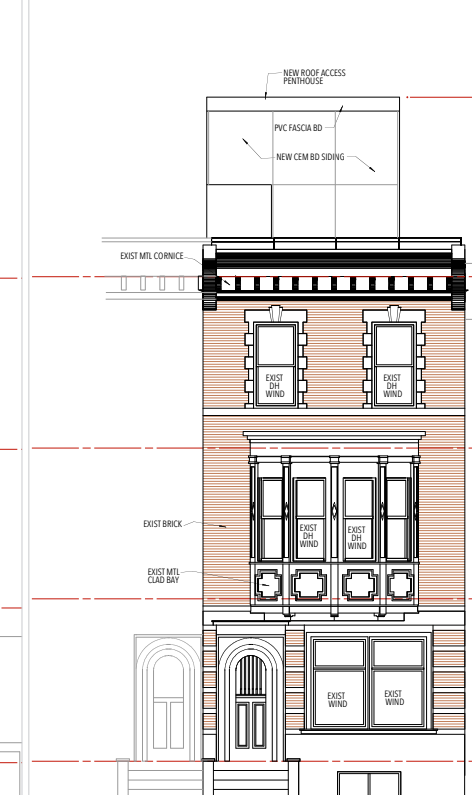

1/8"=1'-0" UNLESS NOTED

~~Drafting Print of Drawing Extents Scale : 1:1.0" = 1:1.0"~~





FRONT NORTH ELEVATION



134 ROOF'S wood joists: 7/8" R20 (2 layers). Total R=60 minimum.

135 Provide a vapor retarder and seal ceiling interior surfaces with unfaced insulation.

136 **Decorated Membrane:** All Barite and Smart Vapor Retarder.

137

138 **07740 MEMBRANE ROOFING**

139 Approved Manufacturer: GAF Fiberglass AP

140 Membrane roofing shall be a Torch Down Membrane surface modified bitumen membrane

141 manufactured to stringent GAF specifications. Its use is a strong, resilient, non-voiding

142 waterproofing method with water-resistant APP polymer-modified asphalt, installed in full

143 compliance with manufacturer's instructions. Its installed membrane bitumen roofing will

144 "12 to 15" seam overlaps exceeding manufacturer's minimum. Refer to MRCA and/or

145 manufacturer's guidelines for proper installation procedures and follow the more stringent

146 guidelines for all specified materials.

147 **07740 MEMBRANE ROOFING**

148 Approved Manufacturer: HYDRATEC

149 Membrane top layer: CTEEM 150E 60 mil Glue down Ethalloy modified coal tar elastomeric

150 sheet.

151 Membrane adhesive: Hydratec membrane adhesive moisture insensitive, high performance

152 polyether adhesive.

153 Sealant: Chemtek M-1 Structural Sealant Cure, moisture insensitive, high

154 performance polyether sealant. Use Chemtek Duraflex 50 when sealing prefabricated

155 joints and seams.

156 CTEEM Installation: Clean surfaces thoroughly prior to installation.

157 Apply Hydratec Membrane Adhesive spreading 18" thick to an even layer over base layer.

158 Do not cut, scratch, or damage the membrane.

159 Lay Hydratec Membrane sheets over adhesive and remove membrane into place over entire

160 area. Allow for min 2-3" overlapping seams.

161 Hot air weld all joints. Dress and patch with a 1/2 inch bead of Hydratec Structural Sealant.

162

163 **Masonry Pavers:** Concrete masonry pavers or Stone pavers

164 Paver Bedding: 3/4" thick Bed Polymeric Sand

165 Concrete Gravel leveling layer, Quikrete Paver Base or EQ

166 **07600 FLASHING AND SHEET METAL**

167 Flashing for valleys and all roof penetrations in roof to be ASTM B 209,

168 .032" aluminum Kynar.

169 Wall caps and copings shall be .040" aluminum Kynar finish.

170 Install .030" aluminum cap flashing over all door and window openings.

171 Gutter: Leader boxes, and Downspouts: .032" aluminum Kynar finish.

172 Wall cap and copings shall be .040" aluminum Kynar finish.

173

174 **07310 CEMENT FIBER SIDING**

175 Approved Manufacturer: James Hardie

176 Cement fiber siding, solid cement panels in 6" x 12" sheets, pre-primed, for dry gluing

177 install in strict accordance with manufacturer's installation instructions and complying with

178 local building codes, including the use of water-resistive barriers or vapor barriers unless

179 otherwise specified. Cement fiber siding shall be installed in strict accordance with

180 manufacturer's installation instructions. Apply with pressure roller. For low temperature

181 installations, use an aqueous primer. Max exposure not to exceed 150 days.

182 Primer shall be applied to the back of the siding.

183 Extreme cold weather prior to paint finish.

184 Finish with 2 coats of Sherwin Williams Emerald Rain Refresh gloss.

185 **08610 WINDOWS** See Project for Window Schedule

186

187 Windows shall be 4801 series smaller low-e and argon with 30 lb glass laminated safety

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Residence of
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PHILADELPHIA PA

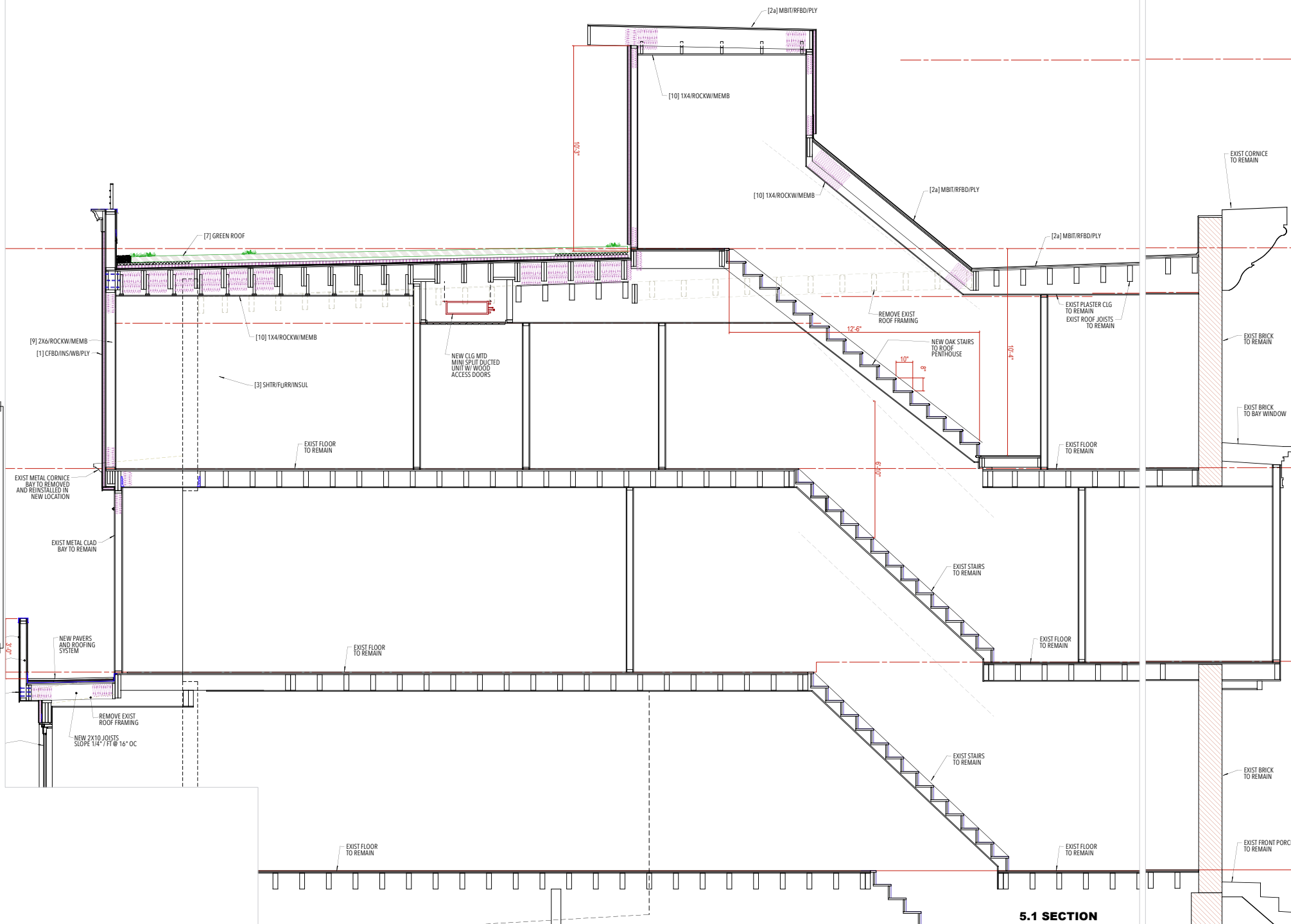
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A-4

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1/4"=1'-0" UNLESS NOTED

SEE SHEET A-6 FOR CONTINUATION



ASSEMBLY ABBREVIATIONS

(1) GREENING/WB/PLY =
1/2\"/>

ISSUES / REVISIONS

SCHMACK DESIGN v.1 1/10/24
CONSTRUCTION DEVELOPMENT 1/10/24
CONSTRUCTION DOC. 4/18/24

g-space
ARCHITECTS
DESIGN BUILDERS
GRAPHICS
MASTER PLANNING

726 S. Hutchinsen St.
Philadelphia, PA 19147
Tel: 215 926 6900
www.gspacearch.com

REGISTERED ARCHITECT
SHAYRN KATZ
PENNSYLVANIA

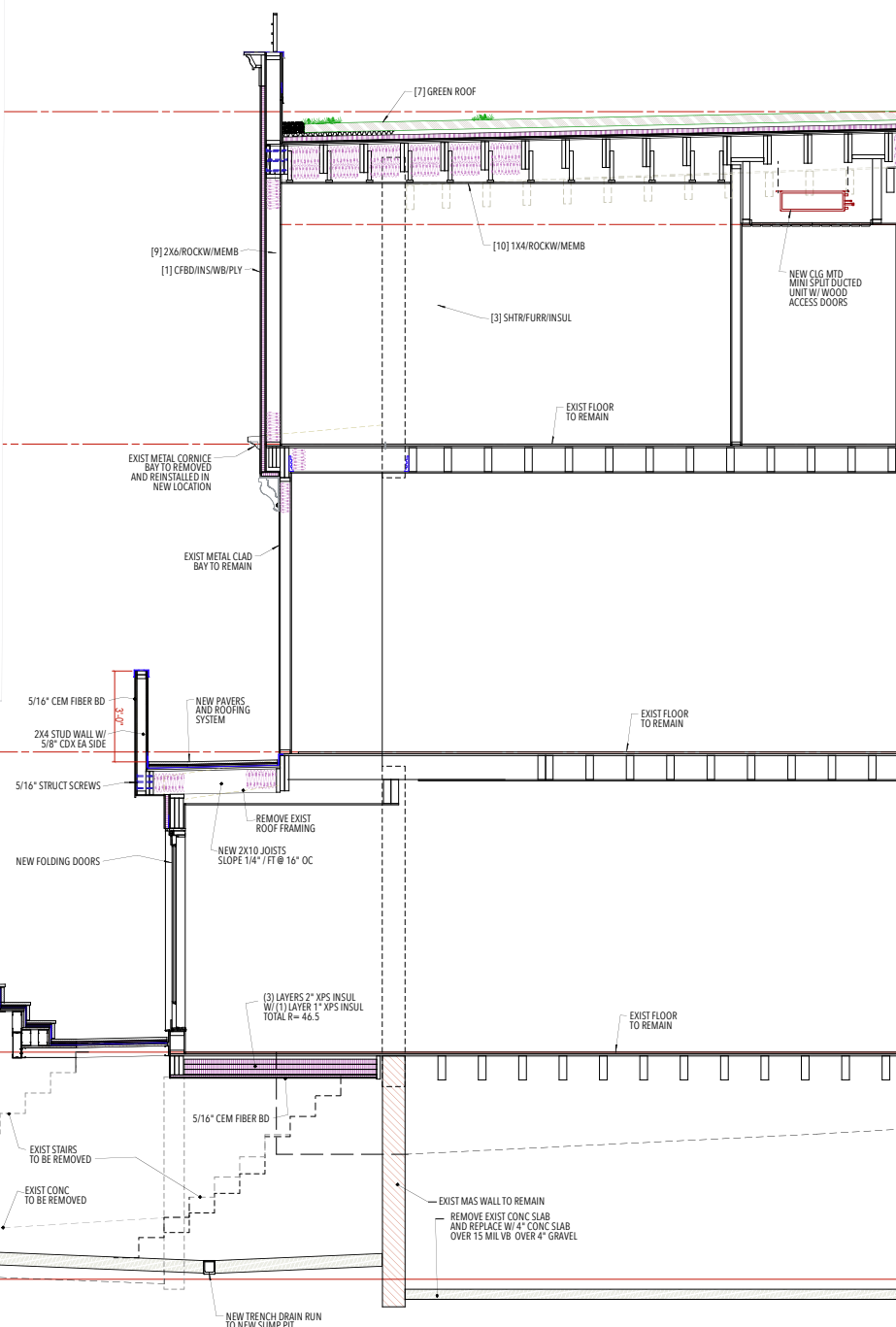
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A-5

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5.1 SECTION




SEE SHEET A-5 FOR CONTINUATION

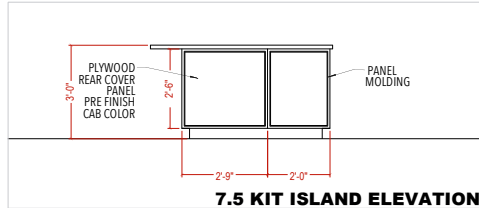
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ISSUES / REVISIONS
SCHEMATIC DESIGN v 1 - 1/10/24
DESIGN DEVELOPMENT - 11/15/24
CONSTRUCTION DOC - 4/18/24

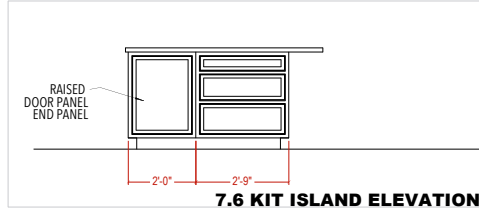


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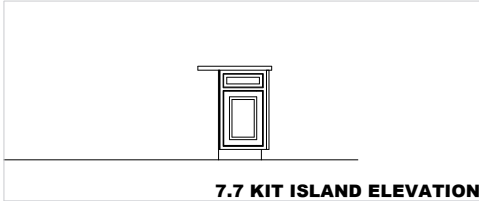
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A-6

1/4" = 1'-0" UNLESS NOTED



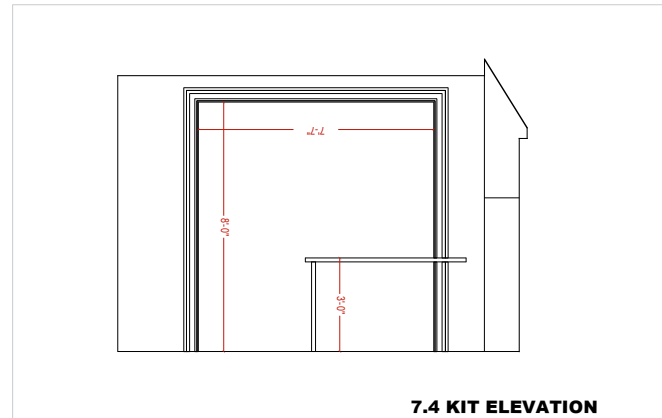
7.5 KIT ISLAND ELEVATION



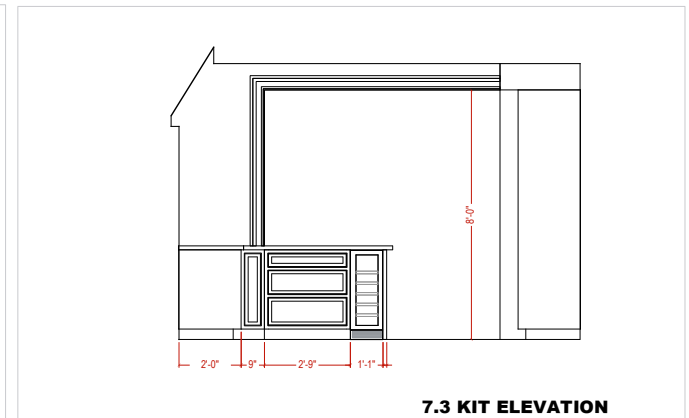
7.6 KIT ISLAND ELEVATION



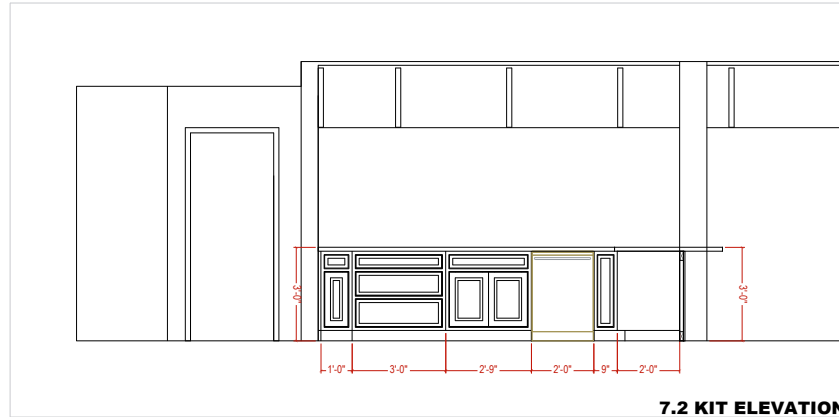
7.7 KIT ISLAND ELEVATION



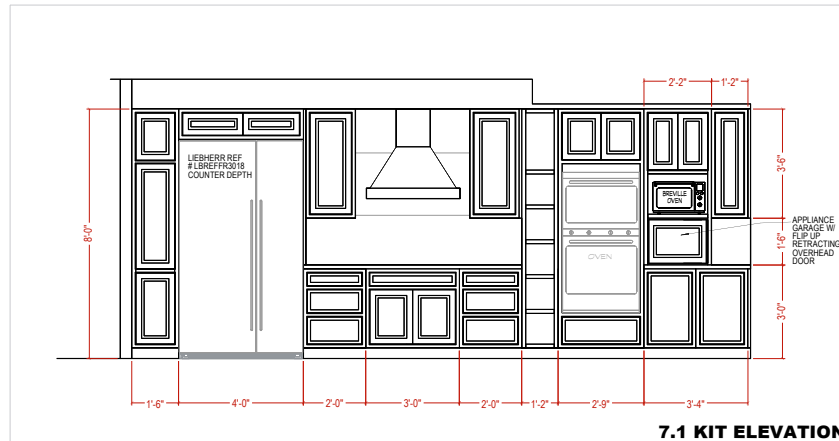
7.4 KIT ELEVATION



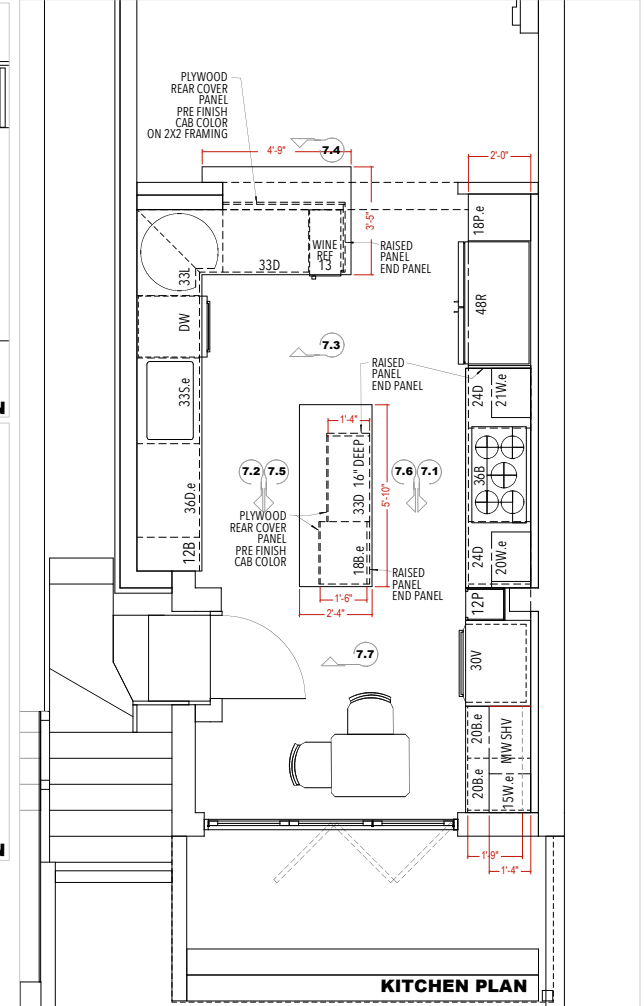
7.3 KIT ELEVATION



7.2 KIT ELEVATION



7.1 KIT ELEVATION



KITCHEN PLAN

CABINET SIZE ABBREV
 12B = 12" BASE W/ 1 DRAWER
 12S = 12" BASE W/ 3 DRAWERS
 12L = 12" BASE W/ LADY SUSAN
 12W = 12" WALL CABINET
 12P = 12" PANTRY W/ PULL OUTS
 12O = 12" OVEN REF W/ PULL OUTS
 12N = 12" OVEN CAB W/ DRAWERS
 12B-e = 12" BASE EXIST REUSED
 - INDICATES EXISTING CAB

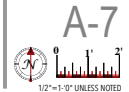
ISSUES / REVISIONS
 DESIGN DEVELOPMENT - 1/15/24
 CONSTRUCTION DOC - 4/18/24

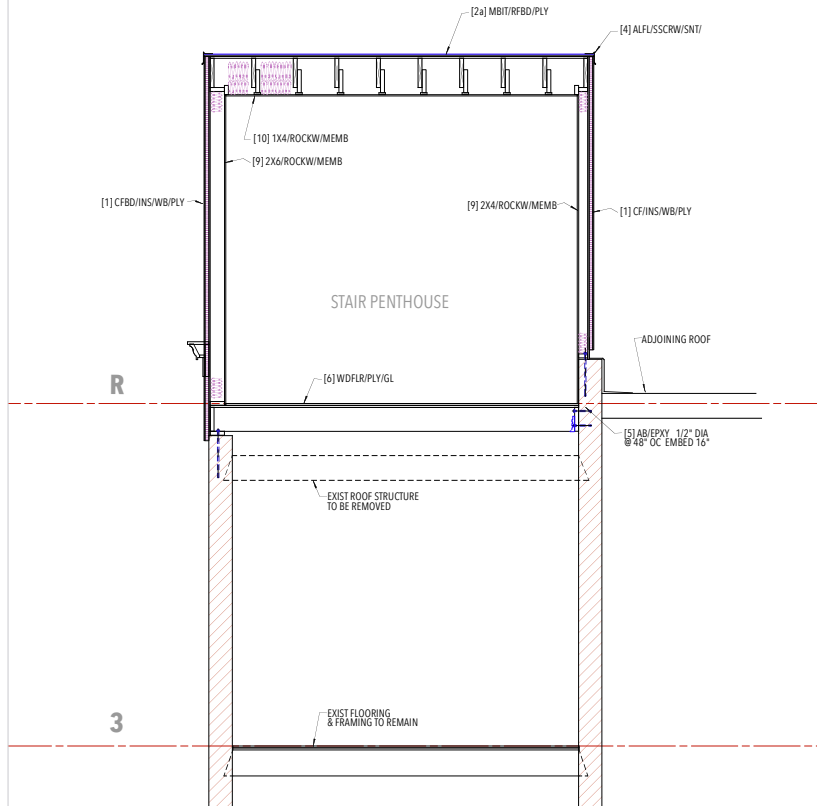
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 GRAPHICS
 MASTER PLANNING
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 Philadelphia, PA 19147
 Tel: 215-528-8900
 www.gspacedesign.com
 gspacedesign@gmail.com



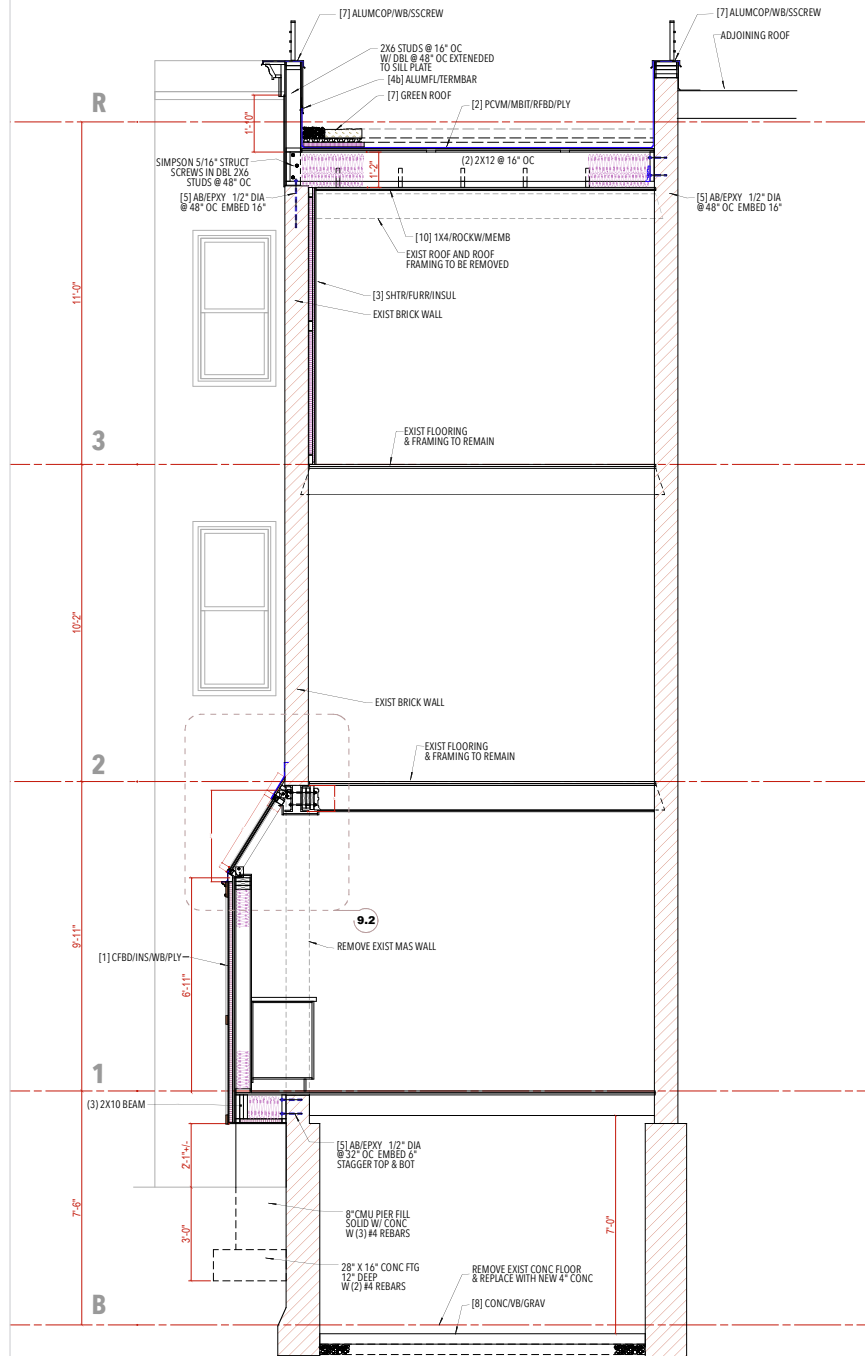
Residence of
 SHAYRN KATZ
 2114 GREEN ST
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8.2 PENTHOUSE SECTION



8.1 CROSS SECTION

ASSEMBLY ABBREVIATIONS	
(1) CONCRETE/REINFC	1\"/>

ISSUES / REVISIONS
SCHMACK DESIGN v.1 11/10/24
DESIGN DEVELOPMENT 11/10/24
CONSTRUCTION DOC 4/18/24

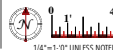
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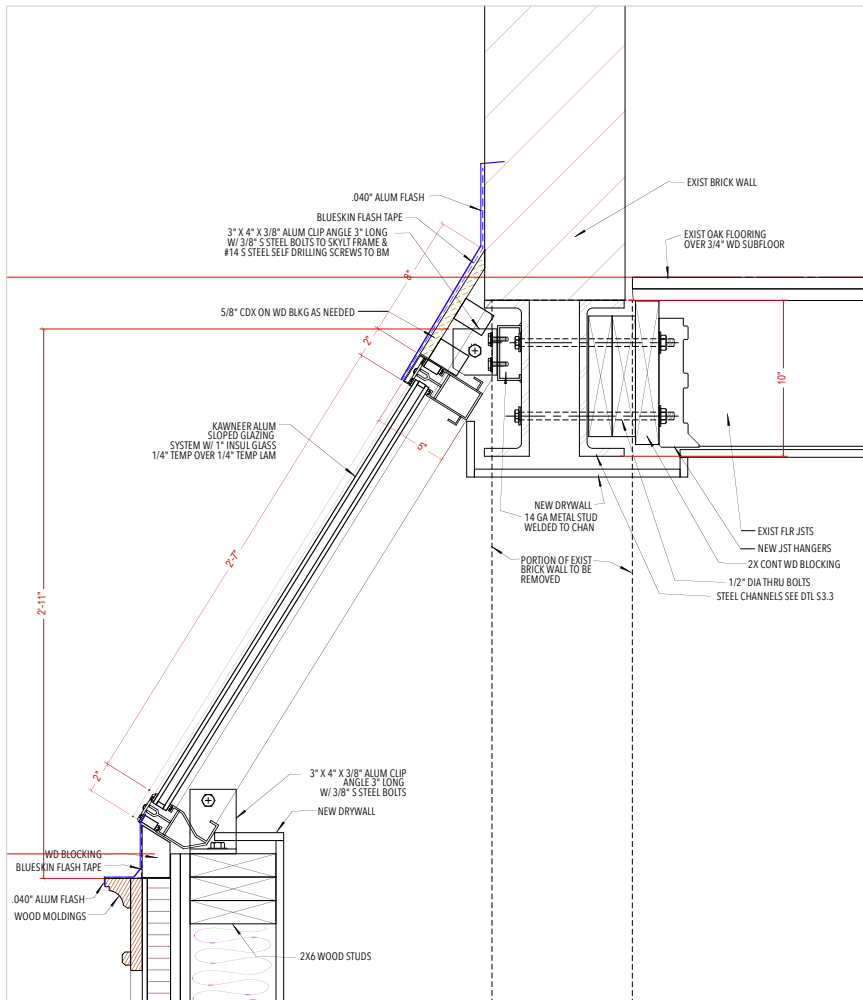


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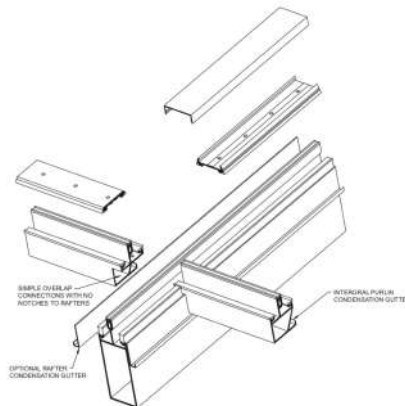
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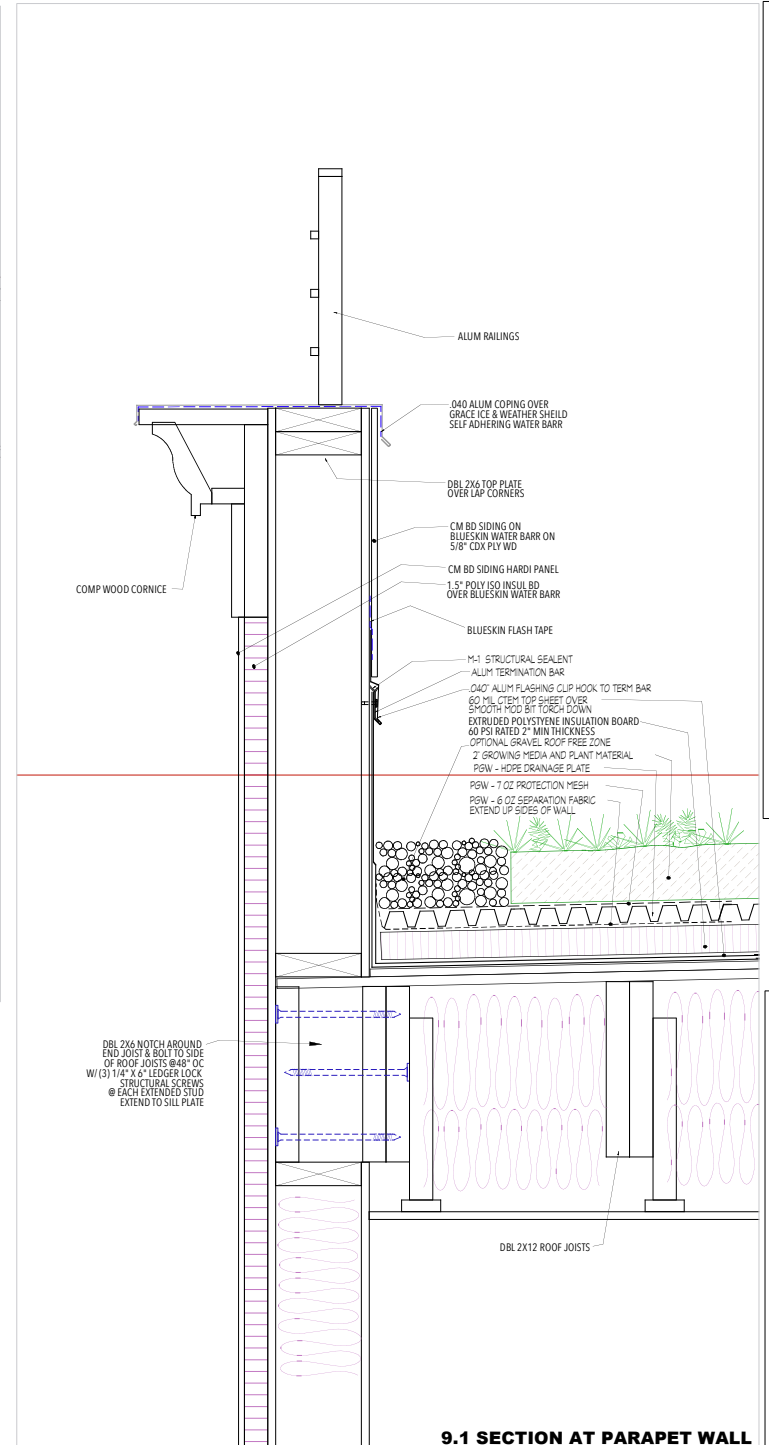




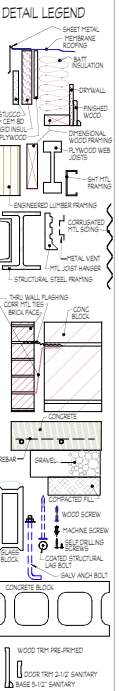
9.2 SECTION AT SKYLIGHT



9.2a SKYLIGHT ASSEMBLY AXON



9.1 SECTION AT PARAPET WALL



ISSUES / REVISIONS
SHDN DEVELOPMENT - 11/19/24
CONSTRUCTION DOC - 4/18/24

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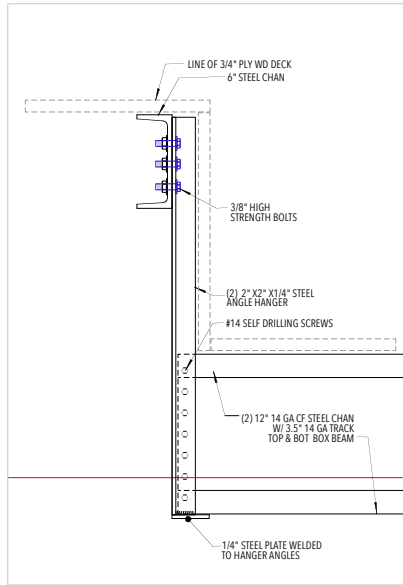


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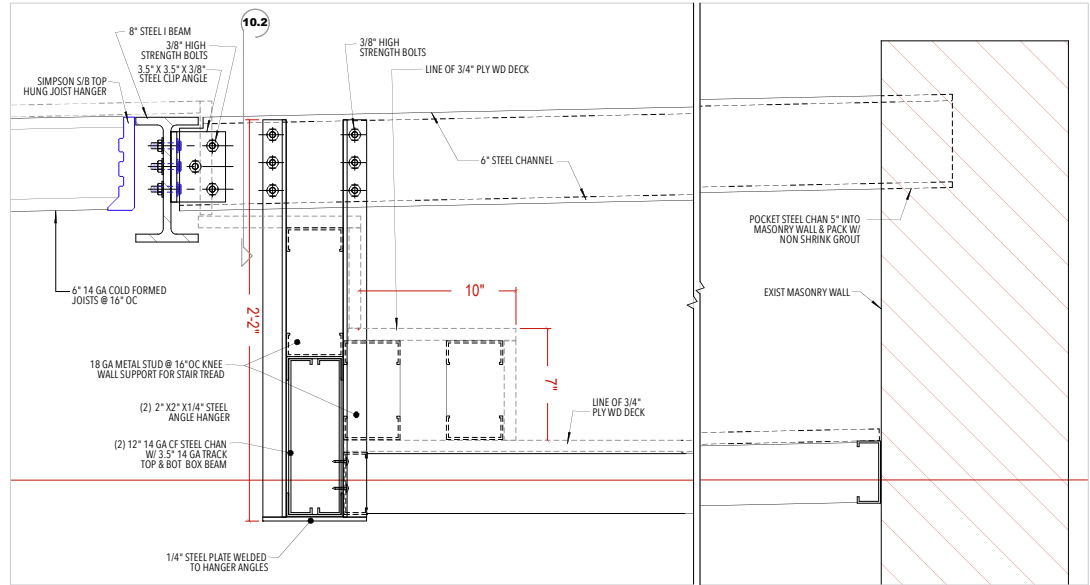
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A-9

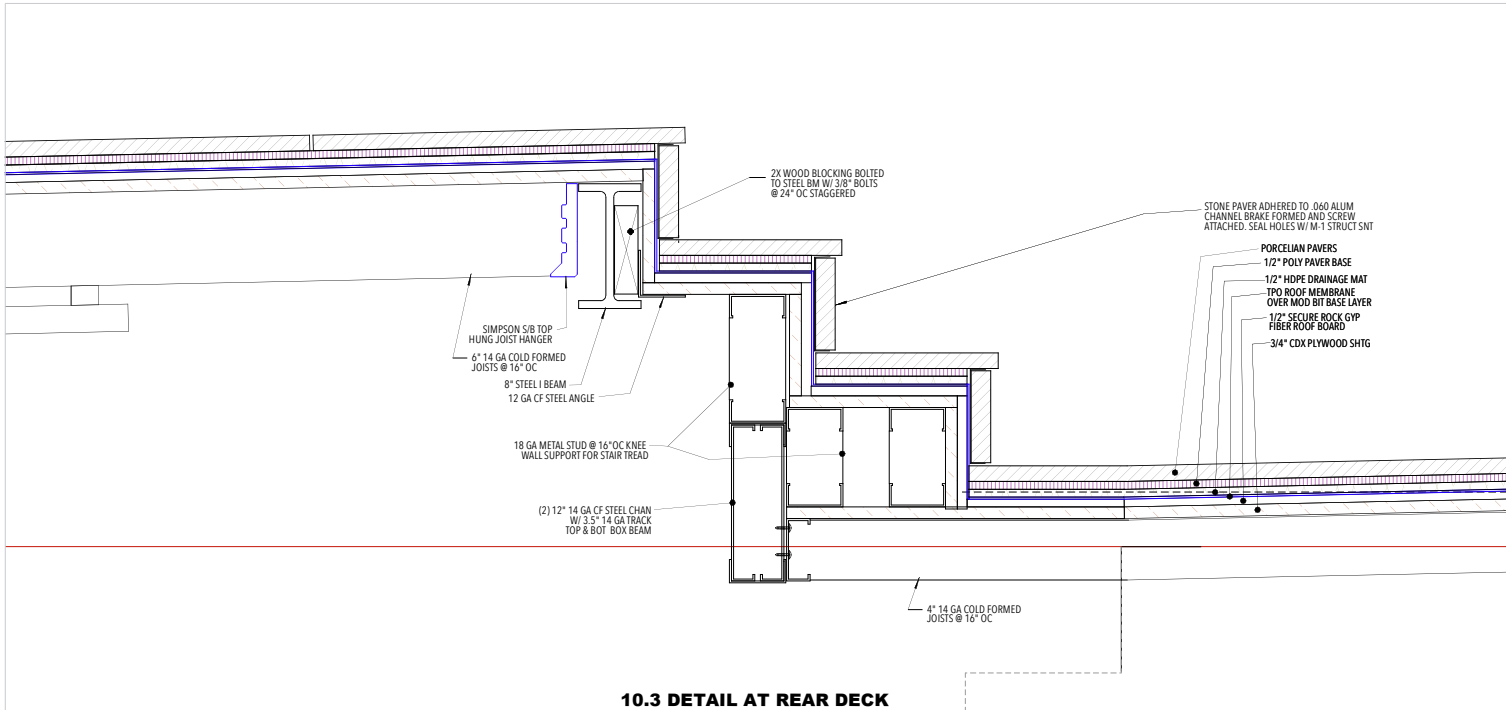
0 1' 4'
3"=1'-0" UNLESS NOTED



10.2 FRAMING DETAIL



10.1 FRAMING DETAIL



10.3 DETAIL AT REAR DECK

ISSUES / REVISIONS
SCHEMATIC DESIGN v1 - 1/10/24
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Residence of
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A-10
1/4" = 1'-0" UNLESS NOTED



FRONT FACADE 2114 GREEN ST Nov 2024



FRONT DETAIL May 2025



REAR FACADE FROM DECK Dec 2023



SIDE YARD FACADE. Dec 2023



REAR FACADE FROM STREET May 2025



DETAIL AT REAR FACADE May 2025

**Subject
Property**



WILCOX ST LOOKING WEST May 2025

Subject Property

WILCOX ST LOOKING EAST May 2025





GREEN ST LOOKING EAST. May 2025



FRONT FACADE FORM OPPOSITE SIDE OF STREET. MAY 2025



GREEN ST LOOKING WEST May 2025



NORTH SIDE OF GREEN ST LOOKING WEST May 2025