# ADDRESS: 2114 GREEN ST

Proposal: Construct rear additions and deck Review Requested: Final Approval Owner: Sharyn Katz Applicant: Michael Bucci, G-Space LLC History: 1854; Hazelhurst & Huckel; Roman brick façade with terra cotta details by architectural firm of Hazelhurst & Huckel for James Beatty, salesman, 1887 Individual Designation: 11/2/1972 District Designation: Spring Garden Historic District, Significant, 10/11/2000 Staff Contact: Heather Hendrickson, <u>heather.hendrickson@phila.gov</u>

**OVERVIEW:** This application proposes to modify and enlarge the rear of the rowhouse at 2114 Green Street as well as to add a green roof terrace-plus-pilot house to the property. Modifications to the property would include: the rear garage door and existing deck above it would be altered, the bay window on the side of the property would be removed and the first floor would be enlarged, the rear bay window would be restored and altered to include doors in place of windows, and the third floor would be extended over the rear bay window to make room for a green roof terrace. A new stair penthouse would be constructed on the roof for access to the terrace. No work to the front façade is proposed. The stair penthouse is currently presented to be 11 feet and six inches tall, set back from the front cornice by about 30 feet. The rear block of Wilcox Street is a service alley with garages and no front-facing properties.

# SCOPE OF WORK:

- Modify and enlarge the rear of the property.
- Add a green roof deck plus stair penthouse.

# STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property would be avoided.
- Standard 9: new additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

**STAFF RECOMMENDATION:** The staff recommends denial of the application as proposed, but approval provided the pilot house is lowered to the extent possible, the roof terrace is not built over the third-floor bay window, and the parapet at the roof level in the rear is replaced by a railing, pursuant to Standards 2 and 9.









Saturday, May 10, 2025

Heather Hendrickson	RE: 2114 Green Street	
Preservation Planner	Application# RP-2025-004427	
Philadelphia Historic Commission	Philadelphia PA 19130	
Via email: Heather.Hendrickson@phila.gov	Owner: Sharyn Katz	
	Hearing date:	

Dear Historic Commission Members,

I am writing this letter to describe the proposed project at the above referenced address. We are requesting a final approval. This project is to add small additions in various areas that have undersized rooms to make the home more livable for our client that has 3 children and does a substantial amount from work from home. The project will not be visible from Green street on either side of the street. A site section indicates the sight lines to illustrate the visibility. The rear façade has very limited visibility from Wilcox street, of which is primarily an alleyway for access to garages at the rear of most houses on this street. The side façade isn't visible at all from Wilcox Street due to the decks and screening trellises at the rear of the houses.

The owner intends to remove and replace the garage door with a wider door and omit the entry door. This will require replacing the deck with the structural changes needed. The deck will then be constructed as a paved terrace with a waterproof membrane below it

The side wood framed bay window is on poor condition with rotted windows and trim and needs to be replaced. Our proposal is to remove the side bay and extend it to the kitchen area effectively expanding the kitchen to make it more functional for the family.

The rear bay is also in need of repairs and the owner would like to add a terrace over the rear section of the kitchen.

The 3<sup>rd</sup> floor rear bedroom is functionally too small, and the owner has requested to expand this room over the 2<sup>nd</sup> floor bay window. This would bring the building out more in line with the neighboring buildings. As this extension is built we intend to preserve the cornice line at the angled bay below and reuse as much as possible of the original metal moldings.

Finally, since there is not a rear yard or open outdoor area, we are proposing a green roof terrace with plantings and pavers that will simulate a back yard on the roof. This will not be visible at all from Green street, nor will the stair access penthouse be visible from Green Street. Plantings will be mostly screened from visibility from The Wilcox Street side with a parapet wall.

In conclusion the owner is passionate about preserving the historic integrity of the house, insists that the work being done is in character with the original structure and has requested that the interior moldings match the existing moldings and details.

Please Contact me with any questions or concerns that you may have. Thank you for your attention to this matter.

> Sincerely, Michael Bucci NJ RA# 09641 PA RA #B-010380

g\_space LLC 726 S. Hutchinson Street Philadelphia, PA 19147 215 928 8900 fax 815 572 0136 E mail: admin@gspacedesign.com www.gspacedesign.com City of Philadelphia Mayor's Office City Council Courts District Attorney Sheriff



Home Search Profile Pay My Payments Sign Out

**Residential Building Permit** RP-2025-004427 (Applicant Revisions)

Status: Applicant Revisions

Building 1065088

Primary Location:

Specific Location: 2114 GREEN ST, Philadelphia, PA 19130-

3111

Additional Information Required

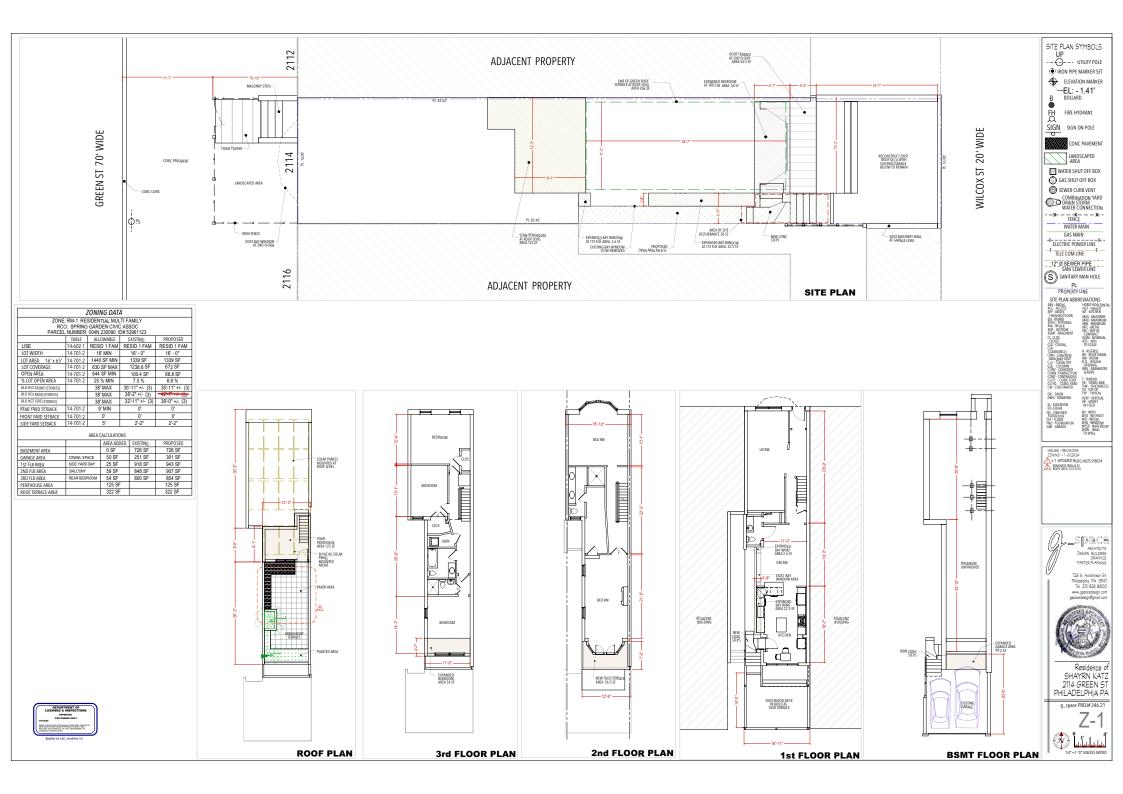
Application Date: Apr 28, 2025 Issue Date: Completed Date: Expiration Date: Jul 1, 2025

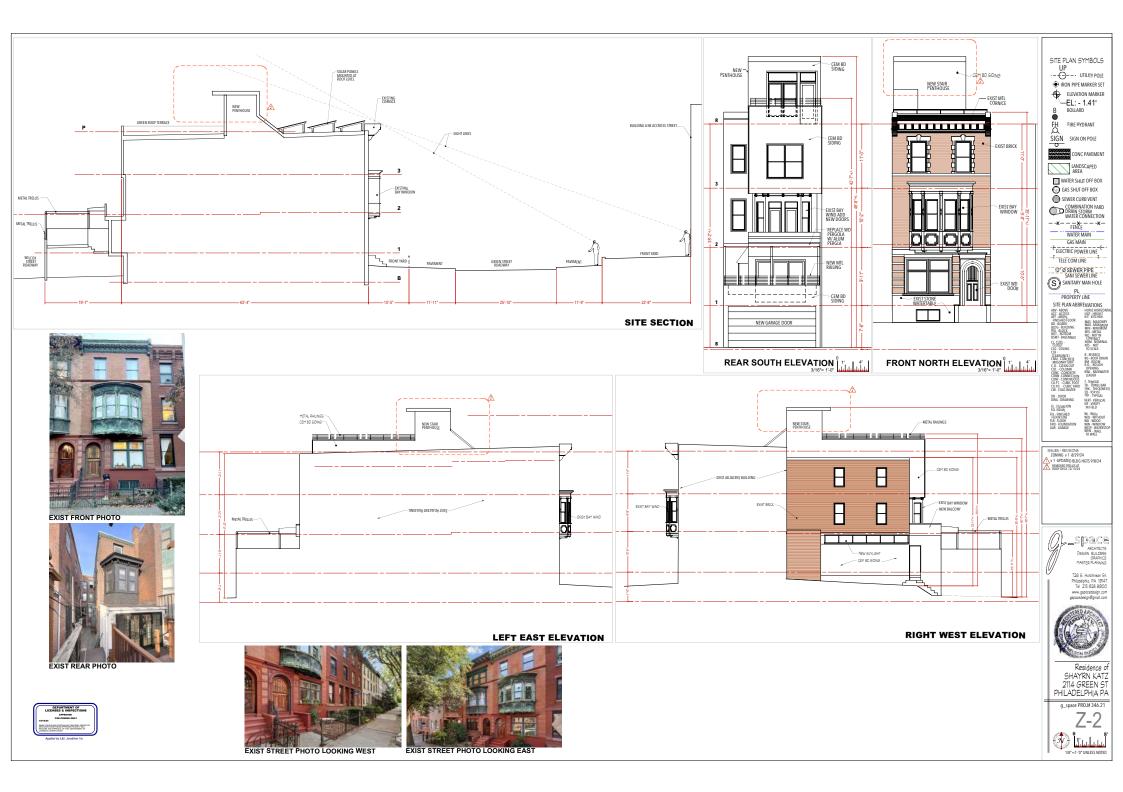
**Description:** Residential - Addition and/or Alteration

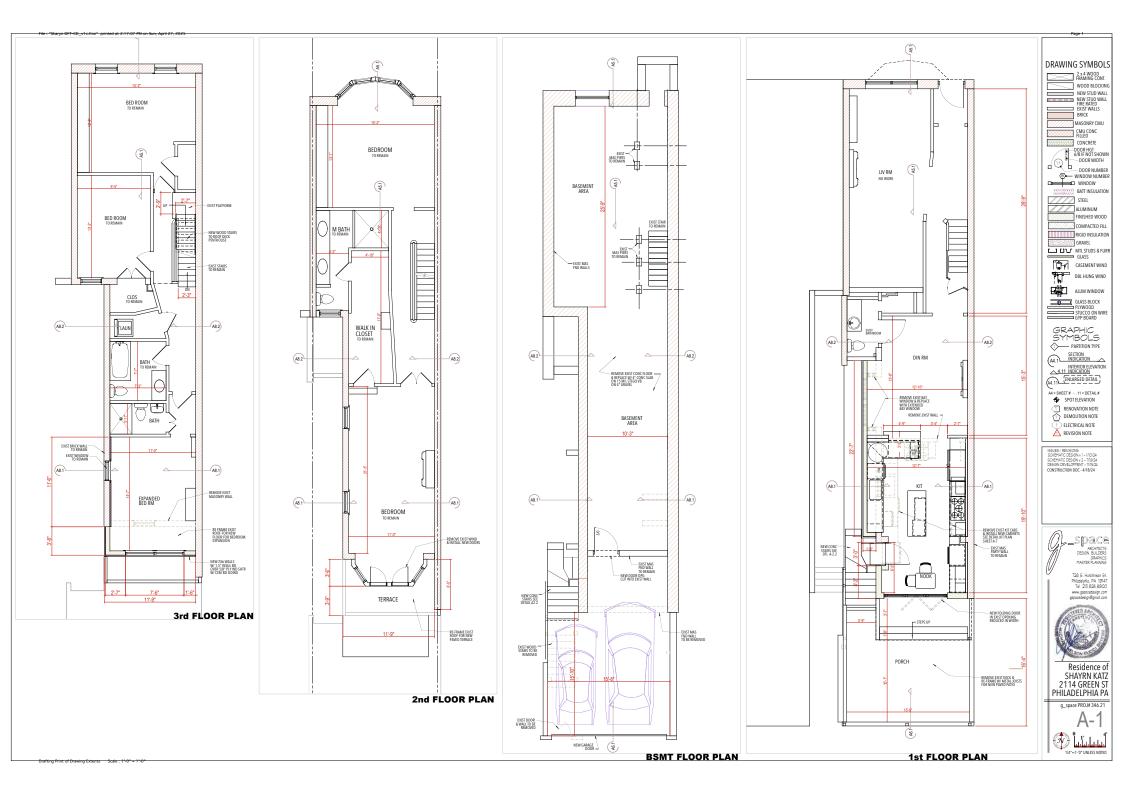
 Details
 Electrical Details
 Mechanical Details
 Plumbing Details
 Excavation Details
 Reviews
 Inspections
 Project Activity
 Contractors
 Subcontractors

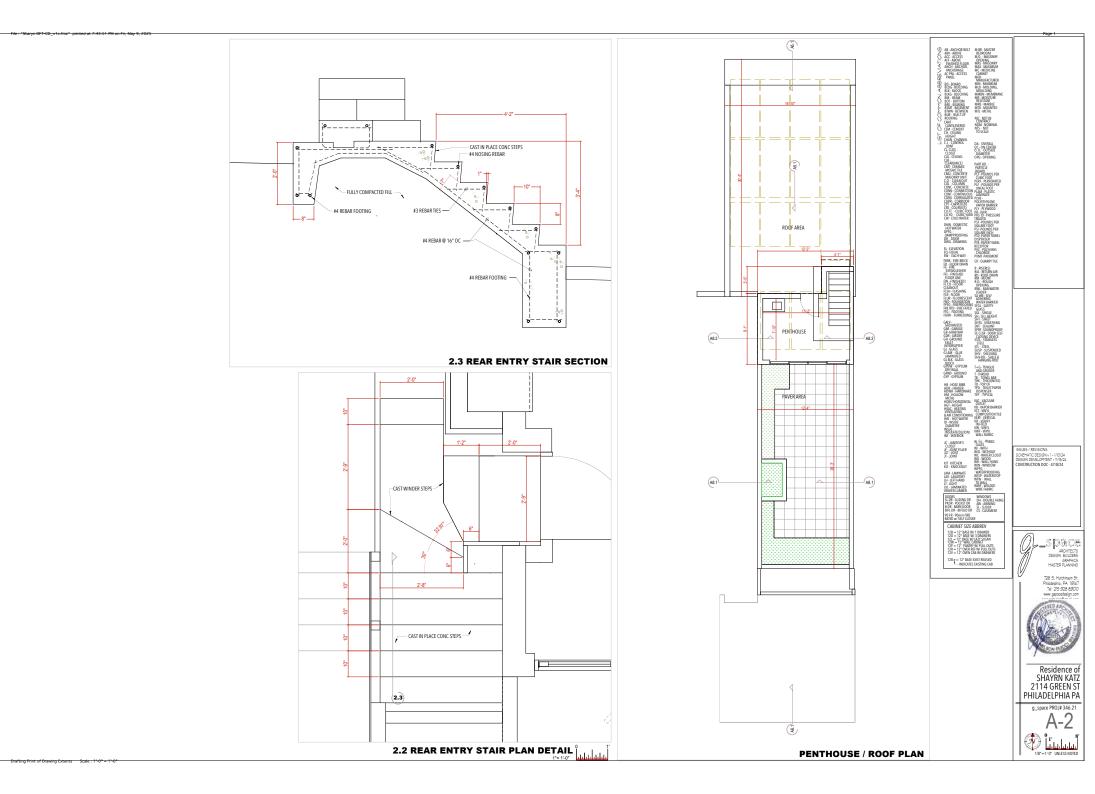
Here is a summary of your Permit information. Use the tabs above to navigate between all of the information relating to your Permit including Reviews, Inspections and Contractors. Also, check the buttons below to see what actions you can take with this Application. For more information click on the blue questions mark icons below. DETAILS RELATED INFORMATION

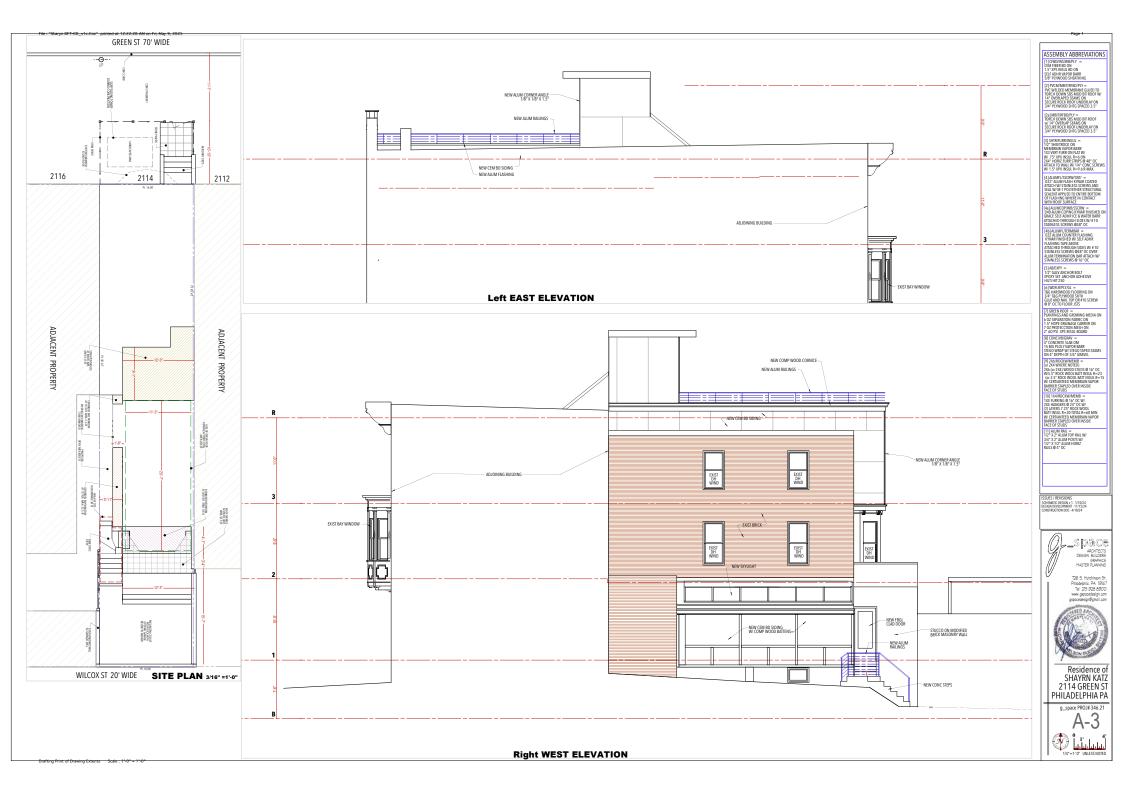
ETAILS		RELATED INFORMA			
Type of Work:	Addition and/or Alteration	Type	<b>Description</b> Occupancy: R-3 Resider	ntial (1 or 2 Dwellings)	
Approved Scope of Work:		Occupancy Building	854 Sq. Ft. Occupancy: R-3 Residential (1 or 2 Dwellings)		
Structure Type:	One-Family	Cccupancy	907 Sq. Ft.		
Modular Building:		Building Occupancy	Occupancy: R-3 Resider 943 Sq. Ft.	ntial (1 or 2 Dwellings)	
Number of Stories of Work:	3		MNB CONSTRUCTS LLC		
Includes Green Roof	-	Contractor Phone: (215) 928-8900, License Number: 19765			
Construction:	$\checkmark$	Michael Bucci			
Includes at least 5' Excavation:		Design Professional	Phone: (215) 928-8900, License Number: 057369		
Includes Underpinning:			ZP-2024-009212: Ready For Issue (Commercial		
Impacts On Adjacent Property:	No	Zoning Permit	- New construction, addition, GFA change) 2114 GREEN ST, Philadelphia, PA 19130-3111 (Michael Bucci DBA: G SPACE, LLC)		
Fačade Work Being Done:				, inde, ille,	
One or both of the following		HOLDS			
applies:		The following hold(s) exist on this Permit and must be addressed before			
<ol> <li>Construction works extends into, under, or onto a public right-of- way.</li> </ol>		Permit Issuance or Permit Completion. Please click on each Hold for more information. Once you have resolved a Hold please contact L&I by clicking <u>HERE</u>			
2) Project involves new,		Required Before	Special Inspections	Status	
relocated, or extended		Permit Completion Completion Outstan		Outstanding	
driveway.		PERMIT ACTIVITIE	S		
Area of Earth Disturbance	26		-	mit	
(sq. ft.):	36	This is where you can make requests on your permit. The eligible request types will appear depending on			
Alteration Area (sq. ft.):	429	what your permit status is. The requests can include:			
Addition Area (sq. ft.):	313	FEES			
		You have no outstandin	g fees.		
Fotal Construction Area (sq. it.):	742				
Electrical Cost of Work:	\$15,000.00	TEMPORARY CERTIFICATE OF OCCUPANCY (CO)			
Fire Suppression Cost of Work:	+ == / 000000	Allows you to occupy a portion of your approved development.			
Fuel / Gas Cost of Work:		You cannot request a te	mporary CO at this		
Mechanical Cost of Work:	\$25,000.00	time.			
Plumbing Cost of Work:	\$8,500.00				
Excavation Cost of Work:		. <u> </u>			
General Construction Cost of Work:	\$450,000.00	Request Permit Extension			
Fotal Construction Cost of	\$498,500.00	WITHDRAW PERMIT			
Work:		Withdraw Permit			
Total Improvement Cost:	\$525,000.00				
Homeowner is doing the work:		DOWNLOAD PERMIT			
WUIR.		You cannot download th	is permit at this time.		
Design Professional in Responsible Charge for		AMEND PERMIT		2	
Special Inspections (DPRC-	mike mota	You cannot amend this permit at this time.			
SI):		REQUEST INSPECTION			
DCATIONS		You cannot request an inspection at this time.			













Scale - 1'-0" =

- DMSION 1 GENERAL REQUIREMENTS 01010 Furnish all labor, materials and expansent as required for the new construction. The Constructor exprosmible for making extensin that all Local and State building codes and, if applicable lobded requirements are mark for construction, weather trahown on the drawings or not. Additional terms that are required for a construction of the Writes age or body or as per or not. Additional terms that are required for a construction of the Writes age or body or as per best practice industry standards, that are not shown on the drawings, shall be provided b contractor at no additional costs to the Owner. The Contractor shall beer the costs of all permits and fees. All work to be done in strict accordance with manufacturer's instructions
- in all materials, products, hardware, and equipment. The Contractor shall locate the new construction shown as shown on the site plan. The Contractor shall be responsible for meintaining all setback requirements and assortian the applicability of any essentents. The Contractor shall notify the Architect/Owner prior to stake out propulses, and the Architect/Owner shall be present for observations. The Owner shall provide stake out services and survey information for the location of the
- The Onner shall provide takes out services and survey information for the location of the ner construction on the site. The Construct will not find the Architecture of any assess controlment within applicating stars the design of the sharing as sharing. The Construct will prove all easily application the site, interview instruction of the interview and the next of construction. Not Construct the labeling and grounds can replace the location of the location of the labeling and grounds clean. Here whereas interview and boars, which and subsect learned or polarised as negated by the owners instruction. various materials. The Contractor shall provide the Owner with all operating and maintenance data required
- for the successful operation of all equipment and the maintenance of all materials installed. Any inconsidencies or incorrect dimensions found in the drawings should be reported to the Architect/Owner immediately. All dimensions are norminal from foos of stud to foos of stud or maximy unless centerline is indicated. The Contractor shall provide all necessary security during the period of construction.
- The Contradio: and powle all neoresary security during the period of commution. The General Control of the Contratic CA AND Conternet No. ASD' Andelse 1 to 14 Andelse 1 and the Contratic CA AND Conternet No. ASD' Andelse 1 to 14 Andelse 1 and Norther and A Contratic Control Control and No. ASD The And Document No. The Athenniated Chemic-Contractor Agreement Form will be the event state. out in the Wartes and A Contractor Control Content Content and the Contract Control Control Control Control Control Control Control Control Control AND Control to the Andel Addies 1 to 14 Inclusive are hereby made a part of these Contract Control Control for the excitation. The General Control of the Contract AND Control To the encitation of the Contract for Construction AND Control To the encitation of the Contract for Construction and the control of the encitation of the control of the Contract And Control To the encitation of the Control of the control of the control of (2003) Substitutions. And y Addies and down and the delays are to be submitted to control to Control Control Control Control Control Control Control (14 and Control of the encitate). The Control of the baseling and the Control of the Control of the Anthelec Control of the baseling and the Control of the Control of the Anthelec Control of Control Control Control (16 and Control Control Control Control Control Control Control Control Control (16 and Control Control Control Control Control Control Control (16 and Control Cont
- the Owner and the Architect/Owner for approval before performing the work. IF THE CONTRACTOR OR OWNER DEVIATE FROM THE CONSTRUCTION DOCUMENTS IN ANY WAY WITHOUT WRITTEN APPROVAL AND/OR AMENDED CONSTRUCTION DOCUMENTS. THE OWNER SHALL INDEMNIFY AND HOLD
- HARMLESS THE ARCHITECT FOR ANY AND ALL CLAMS. THE ARCHITECT SHALL NOT BE HELD LIABLE FOR ANY WORK THAT HAS BEEN COVERED AND CONCEALED. AND HAS NOT BEEN INSPECTED BY THE ARCHITECT PRIOR TO CONCEALMENT DIVISION 2 SITE WORK

- (200) General: The Contractor shall excavate to the depth shown on the drawings for the new construction. Over excavation is to be reported to the Architect/Owner. In the event of over excavation, only approved structural backfill will be allowable. Fill should be placed in
- mere escatuation only approved instanta baddi est la advantite. Fit should be jaced to sparse of if in bose daptit, target data unpacted associations that the sparse that the sparse should be advantage to advanta

### 02070 SELECTIVE DEMOLITION

Types of selective demolition work shall be portions of building structure, interior partitions doors and frames, builting casework and windows as incluated on the drawings. Items to be removed and relocated or salvaged shall be carefully removed and protected and be the responsibly of the Contacts. The Contractor that submit a schedule of the proposed prepared of demoksion operators in index contribution of utility services and dual and noise contell. The Cener will be contributed y comparing mass of the balance prepared of demoksion of the Cener sound apprace. The Cener shall be given 72 hours notice prot to interruption of utilities. Provide temptant particulates an empty dual demoksion work. Also provide protection to exist private and the form of demoksion work. Also provide protection to exist private and and the form of demoksion work. Also provide protection to exist privates that are to memor, statpool and demoksion work. Also provide protection to exist privates that are to memor, statpool and demoksion work. Also provide protection to exist privates that are to memor, statpool and demoksion work. Hou provide protection to exist private and the form of the demoksion work. Hou provide protection the provide that the the temp and demoksion that the demoksion and by-pass contractions have been installed to maintain of the existing demoksion band by-pass contractions that been installed to maintain of the existing demoksion band by-pass contractions that the temp and the string and testing and the existing demoksion band by-pass contractions that the test and there's that inter-tion of the string demoksion band by-pass contractions that the test and there's to demok contractor trial contrality more and private to down to maintain the down to down the to down to down the test and the test and there to down the test and there's to down to down the down to down the test because the test and there's to down to down the down to down the test down the down the down to down the down t responsibility of the Contractor. The Contractor shall submit a schedule of the prop Contractor shall carefully remove any items the Owner wishes to retain and deliver to Owner The contractor shall properly dispose of all debris off site. Burning of debris shall be

### 06150 GYPSUM SHEATHING

- Perform gyosum sheathing work in strict accordance with the Gypsum Association publication GA-252.

patiention GA-22. Local Operation Statistics and Automatic to Anytic Bases Data (Spaning) and Spaning Statistics (Spaning) and Spaning Spani edge. Tape all joints with 4" wi exterior grade joint compound.

### 05434 STAIRCASES

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- 543 sTANKCASES Statrasse shall be constructed with WI clear pine, 547 x 12 closed stringers, wall supported. Treads shall be 547 and news shall be 347, #1 dear pine. All components shall be pined with treque and groups or rabbetat type pints. Handhalls to be pine 1 1/27 diameter roots with metal backets mounted to the wall or guard rais.
- DIVISION 7 THERMAL & MOISTURE PROTECTION 105 106 107
  - 07190 Vapor & Water Barriers EXTERIOR WALLS Approved Manufacturer: Henry Blueskin VP 100 & Forti fashing

  - EXTERIOR WALLS Approved Neurofucure: Herry Buselain VP 100.6 Foot Behring Exteror wals to movies a Buly request turne self attender to shearing and wrapped incode indexidow and store spacing prior to siding installation. Internet internet internet internet internet internet internet internet internet installation, use an aguste primer. Nex exposers not is exceed 150 days. UADER 94,864-50 MGRADE, Approved Manufacture: Storey Wing 15-MM 12007 Bearer Vapor Benier under baseneter transmits alls shall be Storey Wing 15-MM 12007 Bearer Vapor Benier under basenet transmits alls shall be Storey Wing 15-MM 12007 Bearer Vapor Bearer under basenet transmits alls shall be Storey Wing 15-MM 12007 Bearer Vapor Bearer under bedrock Manufacture: Storey Wing 15-MM 12007 Bearer Vapor Bearer under bedrock Windhamzer. Constitution of Manufacture in Storey Internet wals to neces a aggiant/direction/ store strater, Constitution of Manufacture in Storey and Manufacture. Start Bearer and the store a sport and Minutakaner. Store taken the series dawn to be to of taken wals and owing a series trades. The series dawn to be internet base of taken wals and owing a series trades. face of stud walls and cellings over insulation

### 07200 RIGID BOARD INSULATION

- Rigid insulation shall be Celotex "Thermax" or equal polyisocyanurate foam board, a plass Riber minitorced dissed cell foam core with aluminum fol facing laminated to both sides, and a minimum R value of 8.6 per inch at 75°F. FS HH-I-1972/1, class 2. DOW Extruded polyisocyanurate foam board
- 124 125 126 127 128 129 130 07210 BATT INSULATION
  - Provide Rockwool Comfortbatt Non combustable, fire resistant, water resistant, mineral wool semi rigid bats, ASTM C 518
  - xool semi rigid batts. ASTM C 518 2x4 Walls wood stud : high density Thermo fiber rock wool (or equal) R=15 2x6 Walls wood stud; high density Thermo fiber rock wool (or equal) R=23

- ROOFS wood joists: 7.25" R+30 (2 layers) Total R+60 minimum Provide a vapor retarder on wait and ceiling interior faces with unfaced insulation: Certainteed MemBrain Air Barrier and Smart Vapor Retarder.
- 07740 MEMBRANE ROOFING
- 0/40 MEMBRORE ROUFING Approved Manufacture: GAF Ruberoid APP Membrane roofing shall be a Torch Down smooth surface modified bitumen membrane manufactured to stringent GAF specifications. Its core is a strong, resilient, non-woven polyester mail hel is costed with weather-resistant APP polymer-modified asplats, all in full correlates with manufacture is instructions. Install modified bitumen membrane roofing with 12' to 15' seam overface exceeding manufacture's minimum. Refer to MRCA and/or
- manufacturer's guidelines for rooting installation procedures and follow the more stringent uidelines for all specified materials
- 07740 VEGETATED BOCEING

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- Apply Hyload Membrane Adhesiye screeded 1/8" thick to an even layer over base layer Do not apply adhesive to edges that will be heat welded
- Lo not apply adhesive to edges that will be nest werded Lay Hyload membrane sheets over adhesive and broom membrane into place over entire. area. Allow for min 2-3" overlapping seams. Hot air weld side laps. Dress end laps with a 1/2 inch bead of Hyload Structural Sealant.
- Masonry Pavers: Concrete manory navers or Stone navers
- Nacon Plavets: Concrete nacons papers of Store payers Power take: Book 2011 n. 3 km. Bick Kharpystein Fawe Base Pairel top layer. Contra Gravel liveling layer, Culcionin Plavet Base of EG 2010 FLASHENG 50 SHEET METAL. Flasting for nalley and all indipenditions in roof to be ASTM 8 205, 1527 dentiment Mynat Heihi Natio Lage and coprage Salit to AUY durintum Kyner Heihi Marting and Coprage Salit to AUY durintum Kyner Heihi Install 2019 Kinnem sog bashing sevel all con and without particular the Automic sog bashing sevel all con and without particular to Automic sog bashing sevel all con and without Automic and the Automic sog bashing sevel all con and without Automic and the Automic sog bashing sevel all con and without Automic and the Automic sog bashing sevel all con and without automic and the Automic and the Automic automic and automic and the Well capt and coprage shall be A07 during and kinger Frish.
- 07310 CEMENT FIBER SIDING
- Approved Manufacturer:

James Hardie Cement fiber board siding cement panels in 4x8 sheets, pre primed, for climate siding install in strict accordance with manufacturer's installation instructions and complying with local building codes, including the use of water-resistive barriers or vacor barriers selfarbeing weither nestries barrier insall Busish & Font faiting in strict accretions with manufacturer's installation instruction. Along with pressure since: For to lamesmati-installations, use an aquatic primer. Mai exposure not is existed 150 days. Comment this shall be studied adjurture and grif. Zr X z 1 BC, prime with Sharwin Wilkams Frink with 2 code Sharwin Williams Emerater Ram Reflexit gloss. 0681 W MOLOWS: Bes Sherter It for Mindro Scheduler Regrand Manufacture: Workow shall be 4600 anters cammant loss with argon u:-30 or loss aanso confied vind maintanen. 6607 thick salves 2015 thick wool give and finauel weathersinging area. 702-402 altername with Barglades scheder i and units and best strict according to alter a 774-altername. Mit Barglades scheder i and scheduler gives and be 351 thick conformation to alter and altername. Route in according tables are required in the scheduler and the scheduler altername with Barglades scheder i and scheduler alternames. Route Altername and the scheduler altername altername altername and the scheduler altername alternaltername alternaltername alternalter achering weather resistive barrier install Blueskin & Forti flashing in strict accordance with

- and head flashing as required 06368 STEEL OVERHEAD GARAGE DDORS Accorned Matufacturers
  - Overhead Door Co. 416 series
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- 09260 GYPSUM DRYWALL Perform gypsum wathoard work in accordance with United States Gypsum Company's Dywall Combuscon Handbook's latest dation. Install gypsum wallboard as indicated on the drawings and where required. Provide lengths suitable to minimize bult joints and attach with bugle head drywall acrews at 8° on
- center or as required for fire asserblies. 1/2" thick tapered entre roo fire rated
- 5/8" thick type X fracode tapered edge ASTM C36
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- Inish. All joints to be taped and spackled with a Level 5 finish. All joints/angles need to be mudded with a skim coat, with another two additional layers of compound for flat joints and one additional coat for interior angles. Screws and accessories will require three separate mud coats, and any ridges need to be sended off. Apply an additional skim coat over the entire surface of the gydsum board

- 40:00 CEMANC TLE: Deteries from its in bathrooms to be set in this set centers in shirt accordance with mandacharvir instructions and The Council of America Specifications, Picos instal over minimum 17C this which sale has the boot, nutrated with Tike Boot carried and screward to entire glue CD physics studios, screward to salidor with hoge lead give screws a 10° or othert addres with, Pixole matchet benefolds al doors or as shown
- on drawings. See Finish Schedule for ceramic tile colors. Ceramic tile in other areas to be set a 1 1/4" minimum cement mortar bed with wire mesh reinforcing in strict accordance with Tile Council of America Specifications. Portland cement shall be ASTM C-150 Type 1, Sand ASTM C-144, Grout ANSI A108.1 Provide # 15 IB. asphalt feit or 4 mit polysthylene film cleanage menitrane over 3/4" plywood subfloor. Provide marble thresholds at doors or as shown on drawings. See Finish Schedule for tile
- colors colors. Centrol: evail file staal be installed on moleture restatiant gypsum board with later Portland Centrol morter 52 achaesie is strict accordance with manufacture\* instructions. The in shower stafk and tube with shower heads built be installed over 10<sup>2</sup> thick Hardi backer file board with 2 costs of Red Gard liquid waterproofing membrane.
- Cabinets shall be fabricated and installed in accordance with analkome a161.1 standards for Finish woodwork and corportry. And shall be installed in accordance with architectural woodwork institute ANSI / ANI DE2-2018 or latest addism

### 240 240 240 250 251 09900 PAINT AND STAIN 252

- Interior paint shall be Sherwin Williams Superpaint or approved equal, installed in strict accordance with manufacturer's instructions. Prior to painting clean all surfaces to remove dust. Remove dust from other surfaces not being painted. Protect all floor and catenet surfaces. Provide 1 primer cetat and 2 shell noces min. If finish coats in cot completely covering, apply additional coats. Use eggshell finish, except all bathroom surfaces shall be semicloss
- Interior Doors and windows shall be Sherwin Williams Emerald Semigloss w/ primer Exterior doors and Whotovs and all other exterior woodwork shall be Sherini Williams Emerald Rain Refresh gloss w Sherwin Williams Externe bord prime. Exterior metal surfaces and railings shall be Sherwin Williams All-Surface oil based





\_space ARCHITECTS DESIGN BUILDERS GRAPHICS MAGTER PLANNING

Tel 215 928 8900

Residence of

SHAYRN KATZ 2114 GREEN ST

PHILADELPHIA PA

ASSEMBLY ABBREVIATIONS

(2) PVCM/MBIT/RFBD/PLY = PVC WELDED MEMBRANE GLUED TO TORCH DOWN SBS MOD BIT RODF W/ 14" OVERLAPED SEAMS ON SECURE ROCK ROOF UNDERLAY ON 3/4" PLYWOOD SHTG SPACED 3.5"

[2a] MBIT/RFBD/PLY = TORCH DOWN SBS MOD BIT ROOF

w/ 14" OVERLAP SEAMS ON SECURE ROCK ROOF UNDERLAY ON 3/4" PLYWOOD SHTG SPACED 3.5"

MEMBRAIN VAPOR BARR 1X3 VERT FURR ON FLAT W/ W/ .75" XPX INSUL R=6 ON 2X4" HORIZ FURR STRIPS @ 48" OC

[4] ALUMFL/SSCRW/SNT/ = .032\* ALUM FLASH KYNAR COATED

ATTACH W/ STAINLESS SCREWS AND SEAL W/ M-1 POLYETHER STRUCTURA SEALENT APPLIED TO ENTIRE BOTTOM DE FLASHING WHERE IN CONTACT

(4a) ALUMCOP/WB/SSCRW = .040 ALUMCOP/WB/SSCRW = .040 ALUM COPING KYNAR FINISHED OI GRACE SELF ADHR ICE & WATER BARR ATTACHED THROUGH SUDES W/ #10 STAINLESS SCREWS @48° OC

(4b) ALUMFL/TERMBAR = .032 ALUM COUNTER FLASHING KYNAR FINISHED W/ SELF ADHR EI ASHING TAPE ABOVE

TASHING IAPE BOVE ATTACHED THROUGH SIDES W/ # 10 STAINLESS SCREWS @48° OC OVER ALUM TERMINATION BAR ATTACH W/ STAINLESS SCREWS @ 16° OC [5] AB/EXPY = 1/2" GALV ANCHOR BOLT EPOXY SET ANCHOR ADHESIVE

3/4" T&G PLYWOOD SHTH GLUE AND NAIL 10P OR #10 SCREW # 8" OC TO FLOOP, ISTS

GREEN ROOF =
 PLANTINGS AND GROWING MEDIA ON
 6 OZ SEPARATION FABRIC ON
 1.5' HDPE DRAINAGE CARRIER ON

15 MIL PLOLY VAPOR BARK STEGO WRAP W/ STEGO TAPED SEAMS ON 4" DEPTH OF 3/4" GRAVEL [9] 2X6/ROCKW/MEMB = (or 2X4 WHERE NOTED) 2X6 (or 2X4) WOOD STUDS @ 16° OC W/5.5° ROCK WOOL BATT INSUL R=2

WIS.5 ROCK WOOL BATT INSUL R<sup>III</sup> (or 3.5' ROCK WOOL BATT INSUL R<sup>III</sup> W/ CERTIANTEED MEMBRAIN VAPOR BARRIER STAPLED OVER INSIDE

2X4 HANGERS @ 24" OC W/ (2) LAYERS 7.25" ROCK WOOL BATT INSUL R=30 TOTAL R=60 MIN W CERTLANTEED MEMBRAIN VAPOR BARRIER STAPLED OVER INSIDE FACE OF STUDS

10] 1X4/ROCKW/MEMB = IX4 FURRING @ 16\* OC W/

(11) ALUM RAIL = 1/2\* X2\* ALUM TOP RAIL W/ 3/4\* X 2\* ALUM POSTS W/ 1/2\* X 1/2\* ALUM HORIZ RAILS @ 4\* OC

OZ PROTECCTION MESH ON 60 PSI XPS INSUL BOARD

[8] CONC/VB/GRAV = 4\* CONCRETE SLAB OM

FACE OF STUDS

ORING ON

WITH ROOF SURFACE

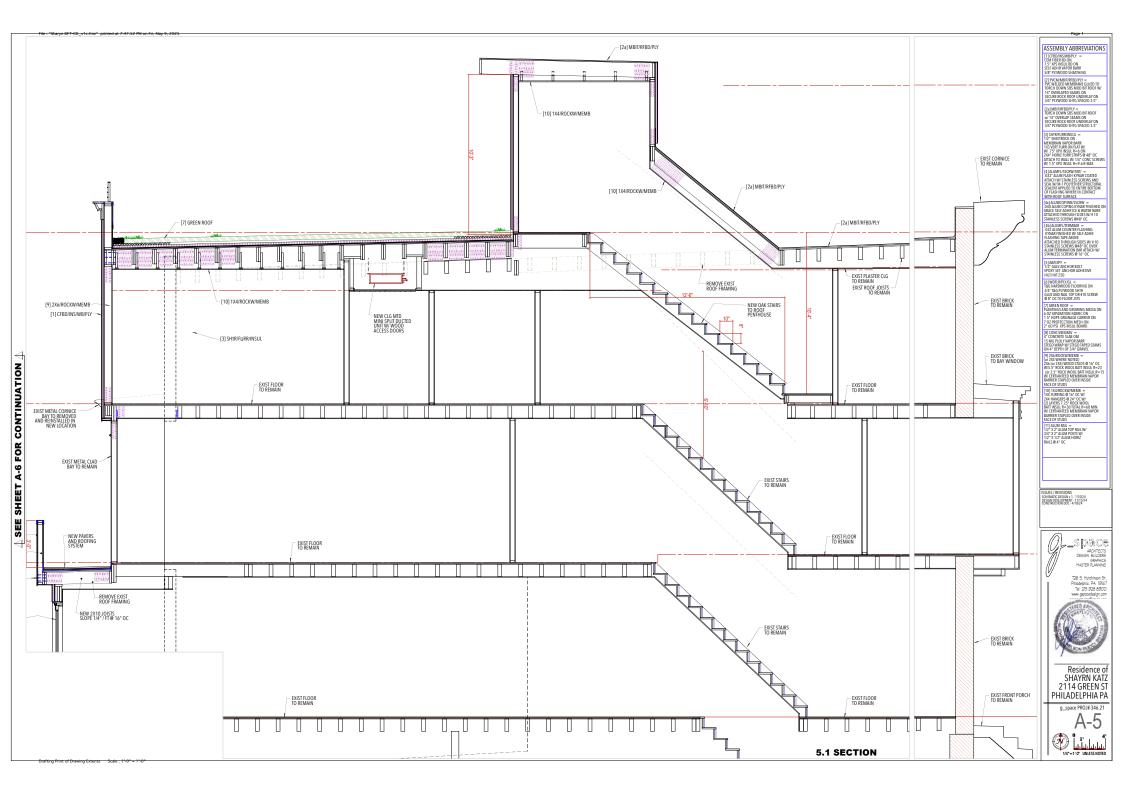
ATTACH TO WALL W/ 1/4" CONC SCREWS W/ 1.5" XPX INSUL R=9.6 R-MAX

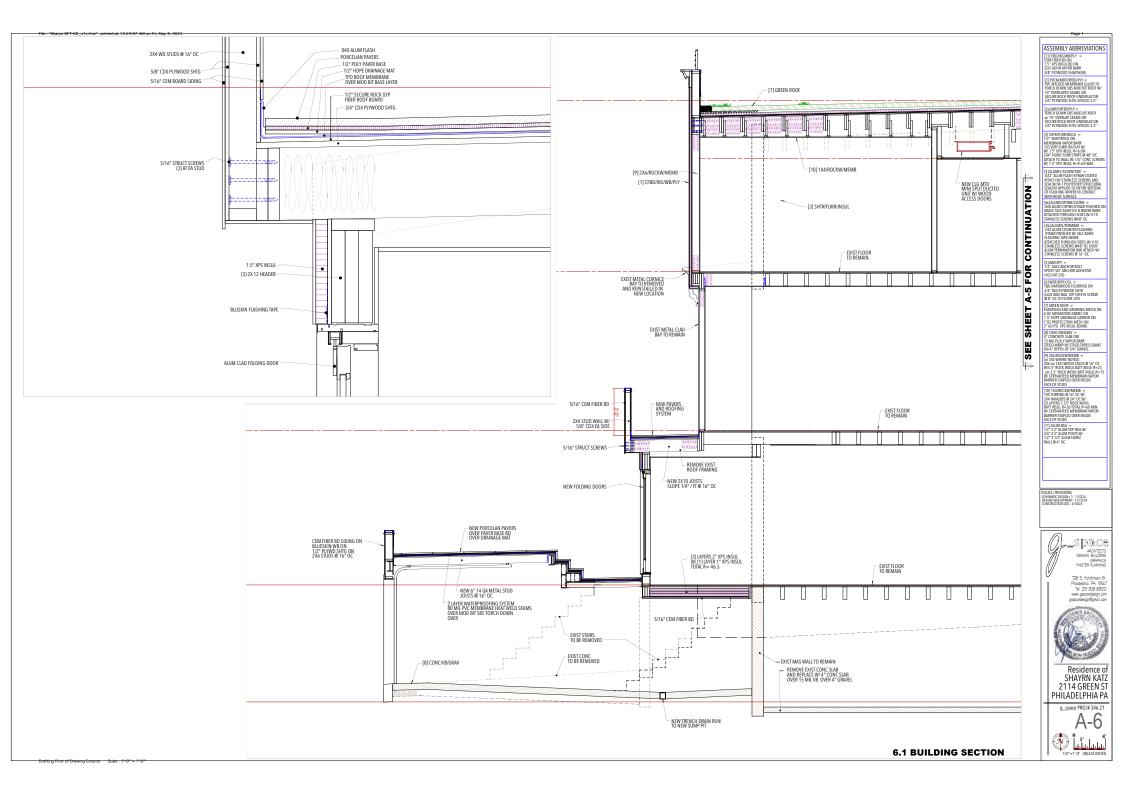
) SHTR/FURR/INSUL = 2" SHEETROCK ON

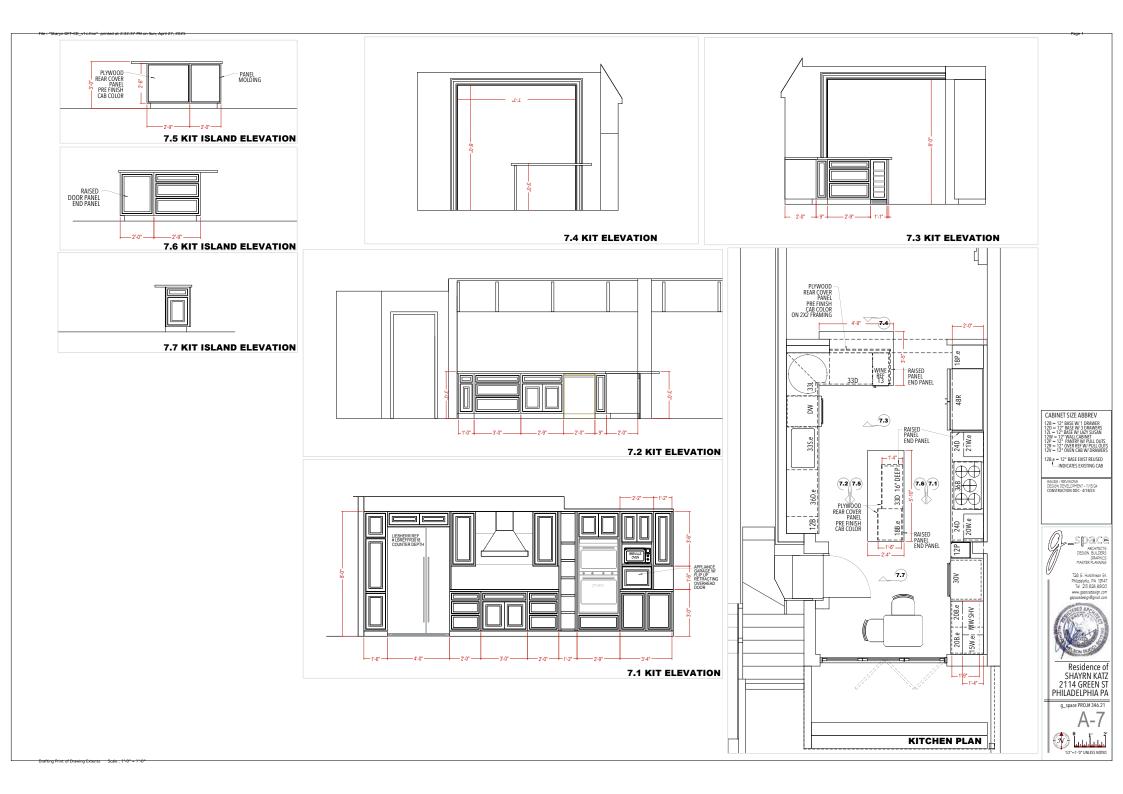
5" XPS INSUL BD ON 1F ADHR VAPOR BARR

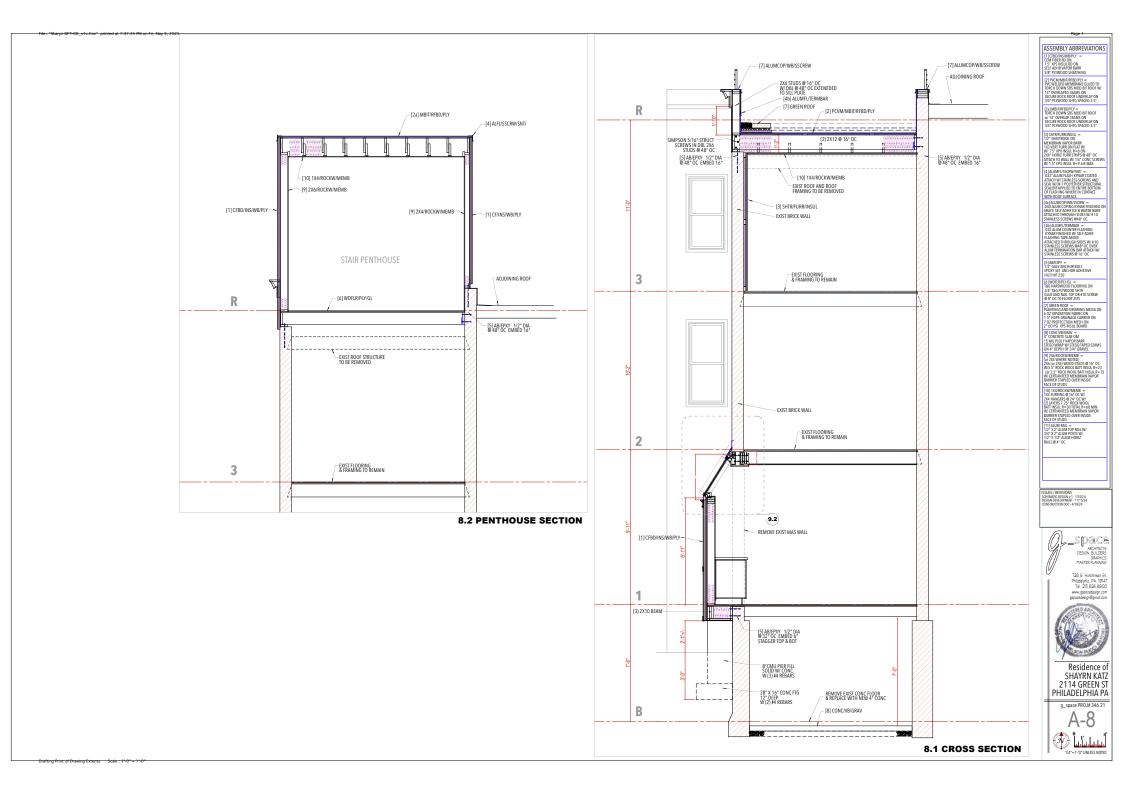
5/8" PLYWOOD SHEATHING

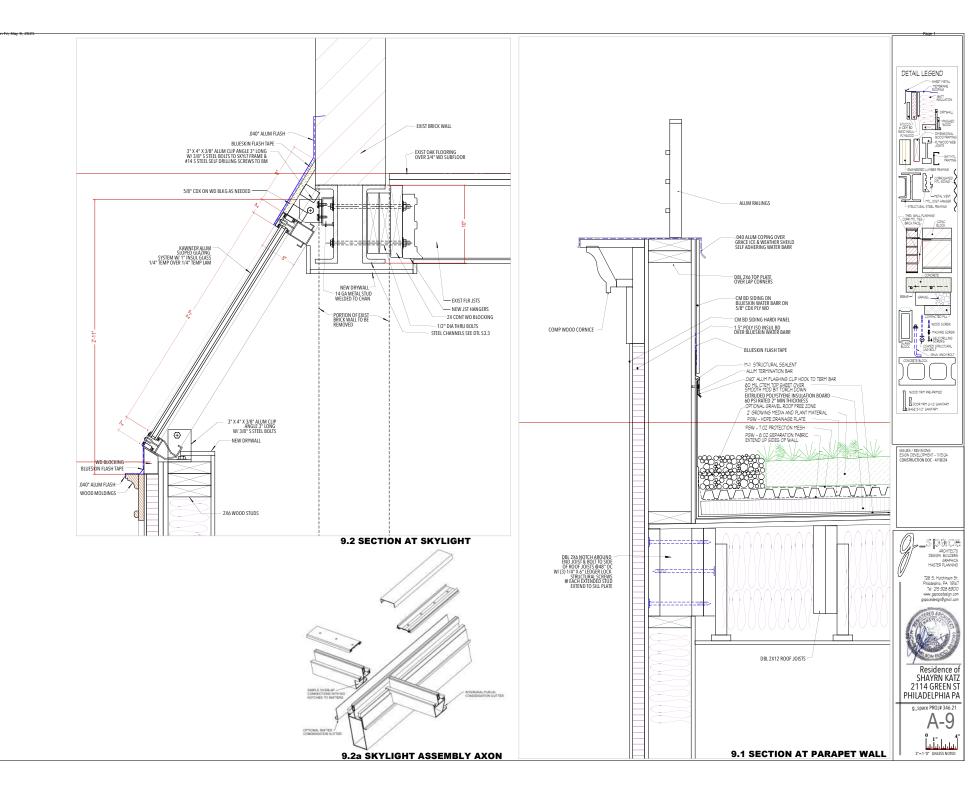


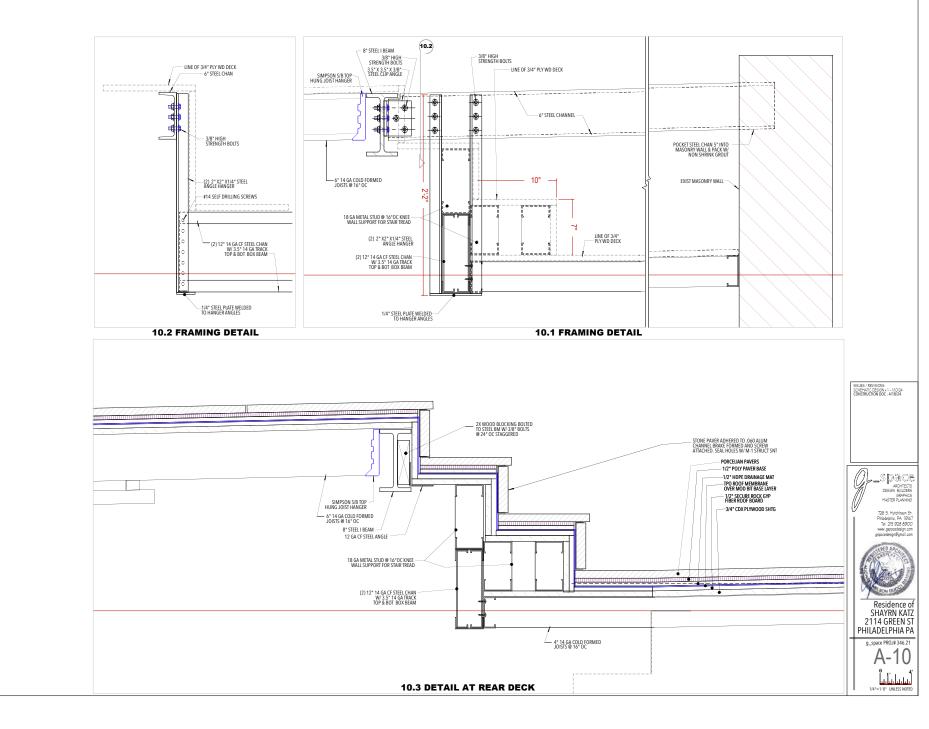


























# Subject Property

# WILCOX ST LOOKING EAST May 2025

2122

# **GREEN ST LOOKING EAST.** May 2025

# 10 FRONT FACADE FORM OPPOSITE SIDE OF STREET. MAY 2025

# **GREEN ST LOOKING WEST** May 2025

# NORTH SIDE OF GREEN ST LOOKING WEST May 2025