

**ADDRESS: 1501-05 FAIRMOUNT AVE**

Proposal: Construct five-story addition; rehabilitate historic facade

Review Requested: Final Approval

Owner: 1501 Fairmount Ave LLC

Applicant: Shawn McAnally, Designblenz Architecture

History: 1930; Overseas Motor Works; Samuel Brian Baylinson, architect

Individual Designation: 2/13/2015

District Designation: None

Staff Contact: Heather Hendrickson, [heather.hendrickson@phila.gov](mailto:heather.hendrickson@phila.gov)

**OVERVIEW:** This application proposes to construct a five-story, mixed-use structure within a now-freestanding historic Art Deco façade at the northwest corner of Fairmount Avenue and 15<sup>th</sup> Street. This façade is all that remains of a 1930s commercial structure. The Historical Commission approved an application for a four-story overbuild on this property in 2016, but that project was abandoned in 2023. Work had begun on the project including partial demolition; everything but the exterior walls was removed, leaving the remaining walls structurally braced.

The current proposal is similar to the building proposal approved in 2016, but one story taller. The materials include brown metal standing seam panels, burgundy fiber-cement panels, and red and brown patterned brick, in a design that emphasizes verticality to complement what remains of the historic structure. A four-story brick outer building would wrap around from the 15<sup>th</sup> Street side to the Swain Street side to emulate the neighborhood's residential scale. The project would include one commercial space and 32 residential units. The new construction would be set back slightly from the existing facades and corner tower, and the historic facades would be restored.

**SCOPE OF WORK:**

- Construct five-story addition and restore historic facades.

**STANDARDS FOR REVIEW:**

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

**STAFF RECOMMENDATION:** Approval, with the staff to review details, pursuant to Standards 6 and 9.

7 April 2025

Kim Chantry  
Historic Preservation Planner Supervisor  
Philadelphia Historical Commission  
1515 Arch Street, 13th Floor  
Philadelphia, PA 19102

Dear Ms. Chantry,

We are pleased to submit a design proposal at 1501 Fairmount Avenue for review. The project proposes a five-story, mixed-use structure with (1) commercial space and (32) residential units. Along Swain St, a setback at the fourth floor has been created to provide a sense of scale more in line with this residential corridor. Additionally, our design preserves the historic façade along Fairmount Avenue and North 15<sup>th</sup> Street.

A prior owner previously prepared a redevelopment proposal that was approved by the Historic Commission, however, it was never acted upon because it was not economically viable. The property has therefore been vacant and unused for years. As the attached photos show, the interior of the structure has been demolished (by the prior owner of the property). The historic façade is therefore freestanding and is supported only by wood beams. Our client has recently purchased the property for purposes of redevelopment. In connection with its proposal to construct 32 new residential units, our client will secure and restore the historic façade. In doing so, it will preserve this historic façade that is currently at-risk.

The primary exterior materials consist of burgundy fiber cement panels, brown corrugated metal, and red / brown patterned brick. Conceptually, the use of metal ties back to the historic program of the site as an automobile shop. The windows are configured in vertical bays to relate back to the historic storefront on the street level, pulling the idea of the existing bays and verticality of the existing tower into the new design. Incorporating brick along Swain St and 15<sup>th</sup> St introduces a material that is familiar with residences in the immediate area. The new construction is set back from the existing historic façades to respect its importance and not subtract from its presence on the street.

The existing façades are to be cleaned, patched, and repaired as required to maintain its integrity, with existing storefront to be replaced as approved by PHC staff.

Thank you for taking the time to review our submission. We look forward to hearing your feedback.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Shawn McAnally'.

Shawn McAnally  
Project Manager  
Designblendz  
Cc: Daniel Reisman (Project Attorney)



# 1501 FAIRMOUNT AVE

## HISTORIC DESIGN REVIEW PACKAGE





# **TABLE OF CONTENTS**

**HISTORICAL INFORMATION (3-4)**

**EXISTING CONDITIONS (5-6)**

**DESIGN CONCEPT (7-8)**

**PROPOSED PLANS (9-11)**

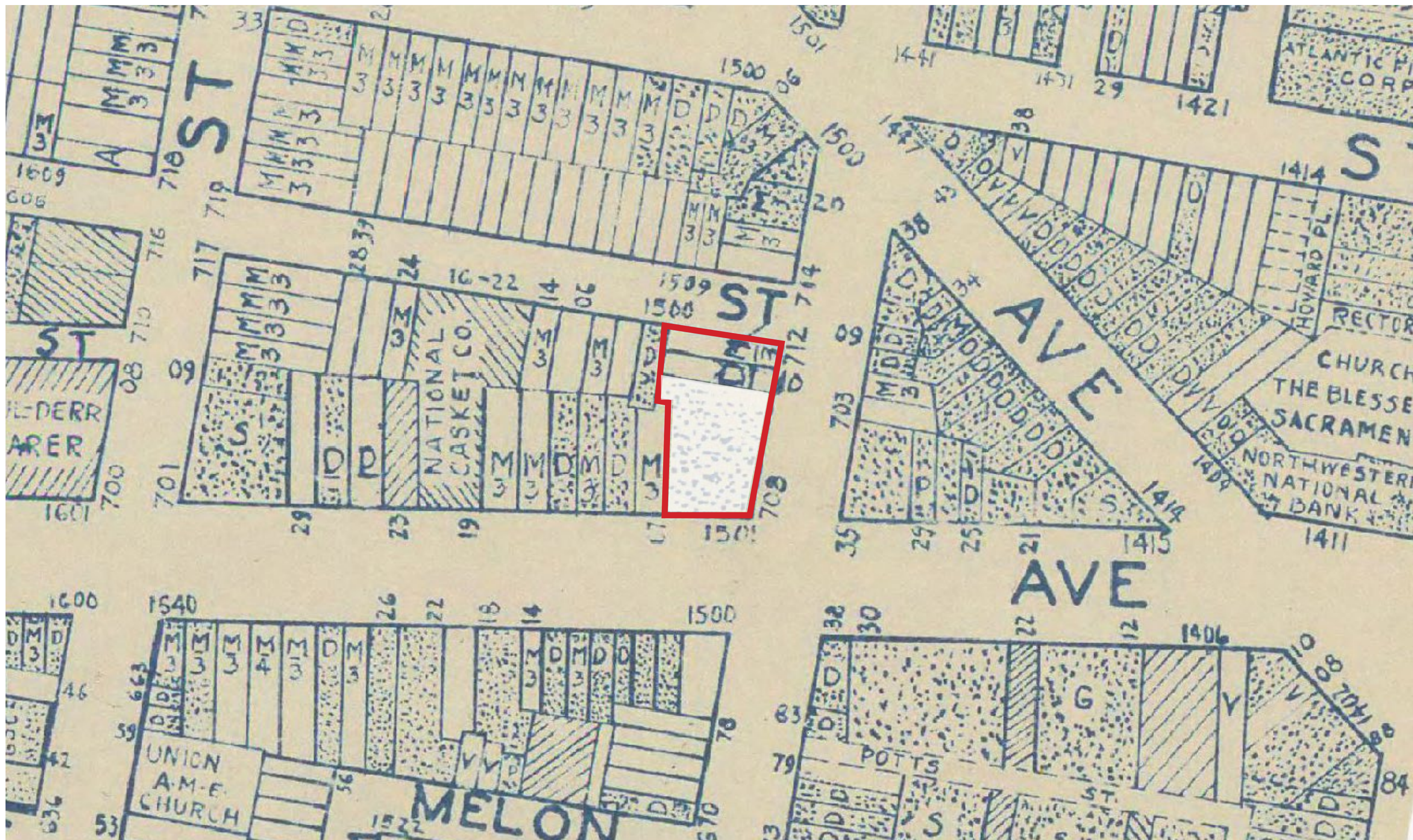
**PROPOSED ELEVATIONS (12-17)**

**PROPOSED SECTIONS (18-19)**

**DETAILS (20-22)**

**PERSPECTIVES (23-25)**













INSIDE - FAIRMOUNT AVE FACADE (DESIGNBLENDZ 11/08/2024)

4



INSIDE - 15TH ST FACADE (DESIGNBLENDZ 11/08/2024)

3



FORMER REAR FACADE (DESIGNBLENDZ 11/08/2024)

2



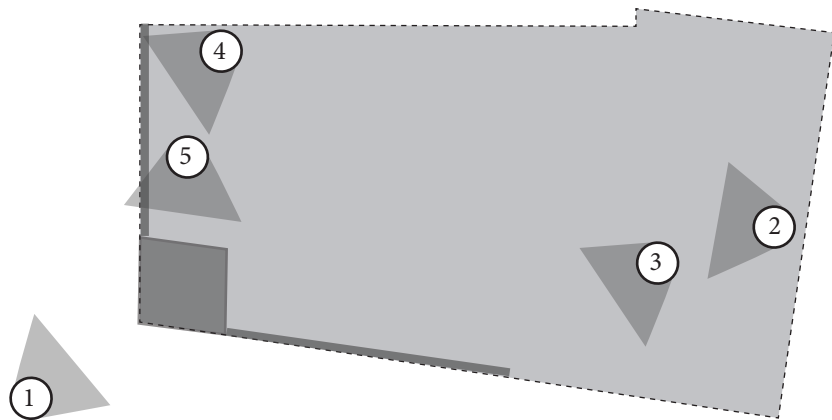
INSIDE - TOWER (DESIGNBLENDZ 11/08/2024)

5

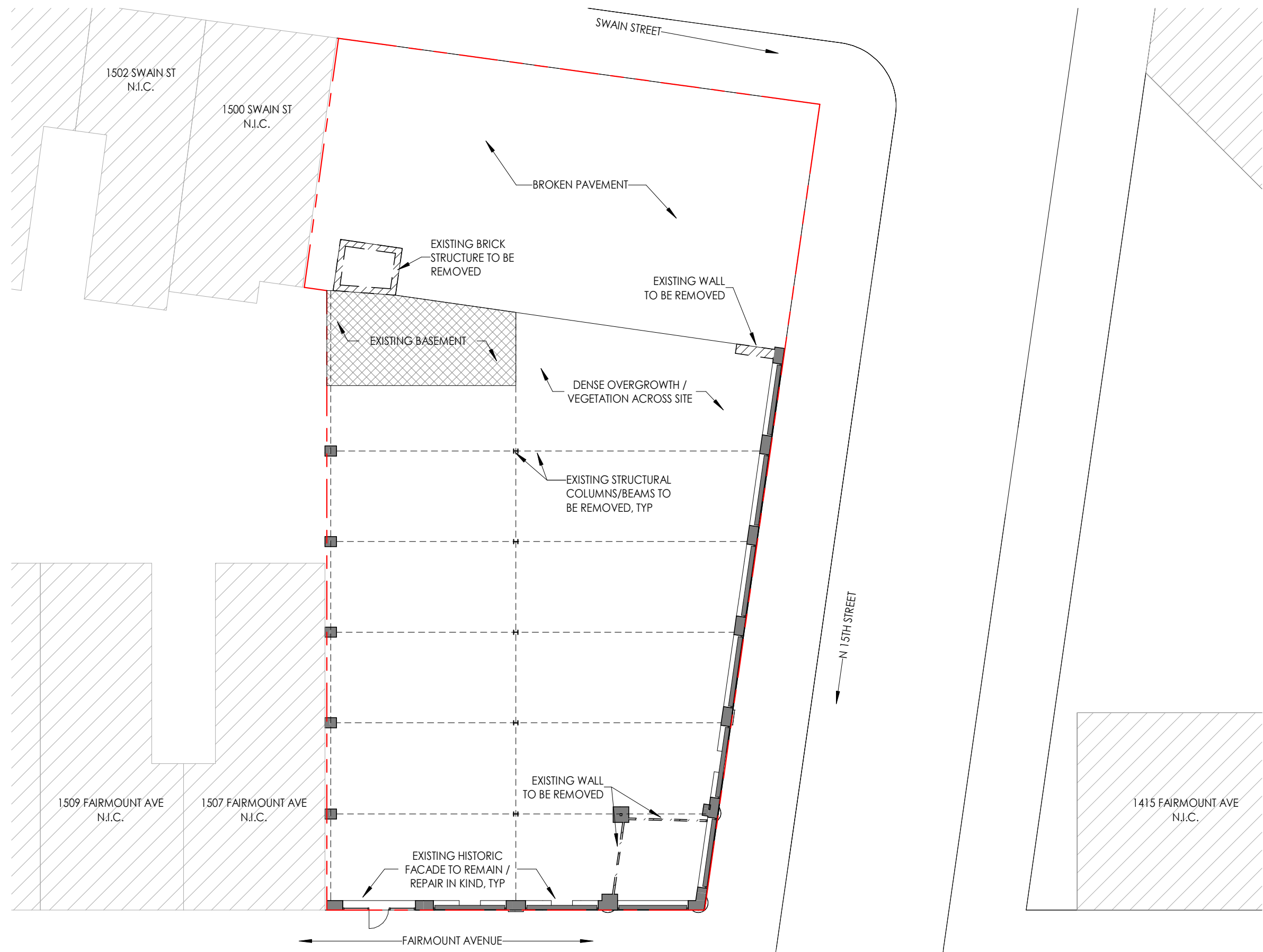


SOUTHEAST PERSPECTIVE (DESIGNBLENDZ 11/08/2024)

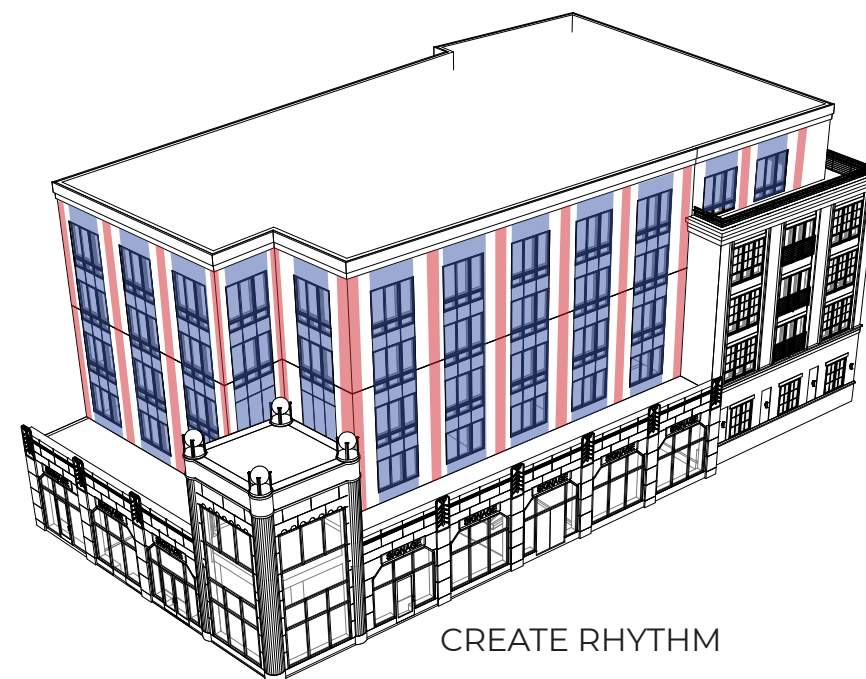
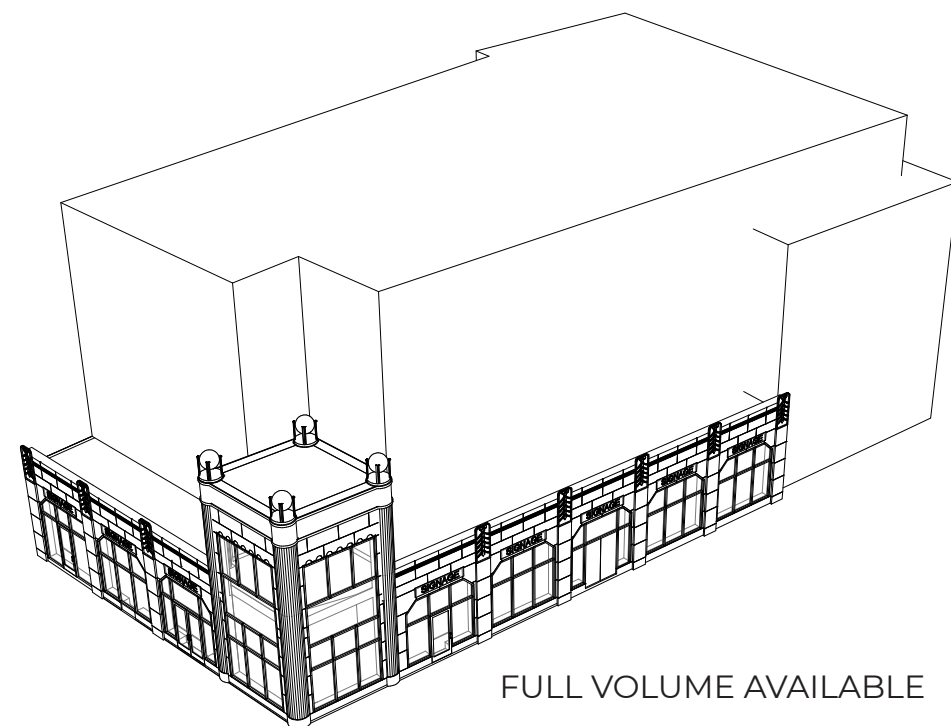
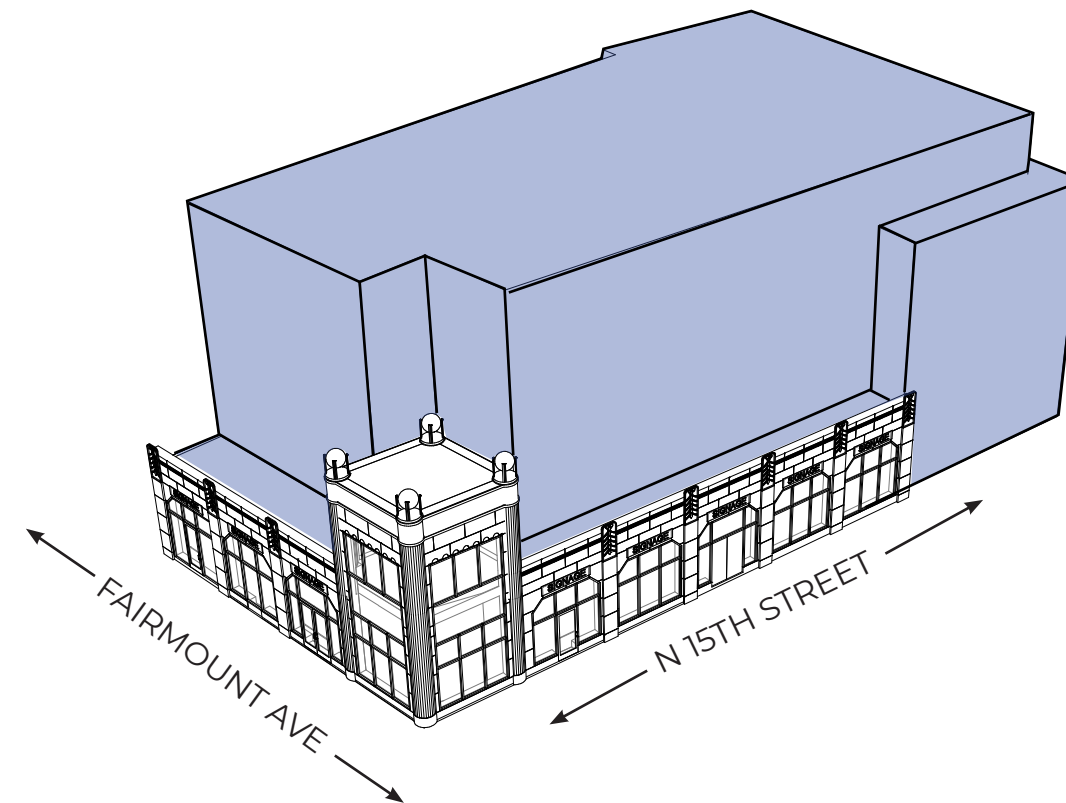
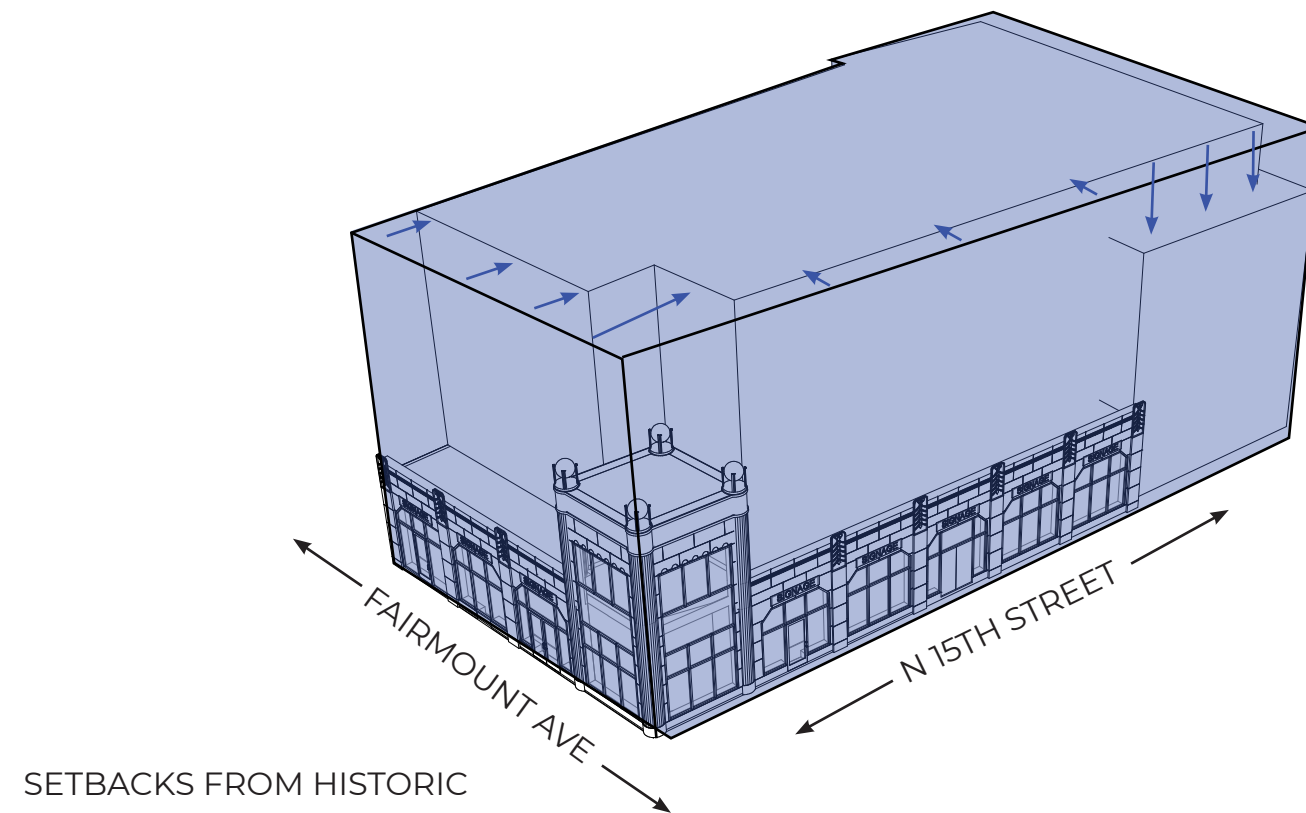
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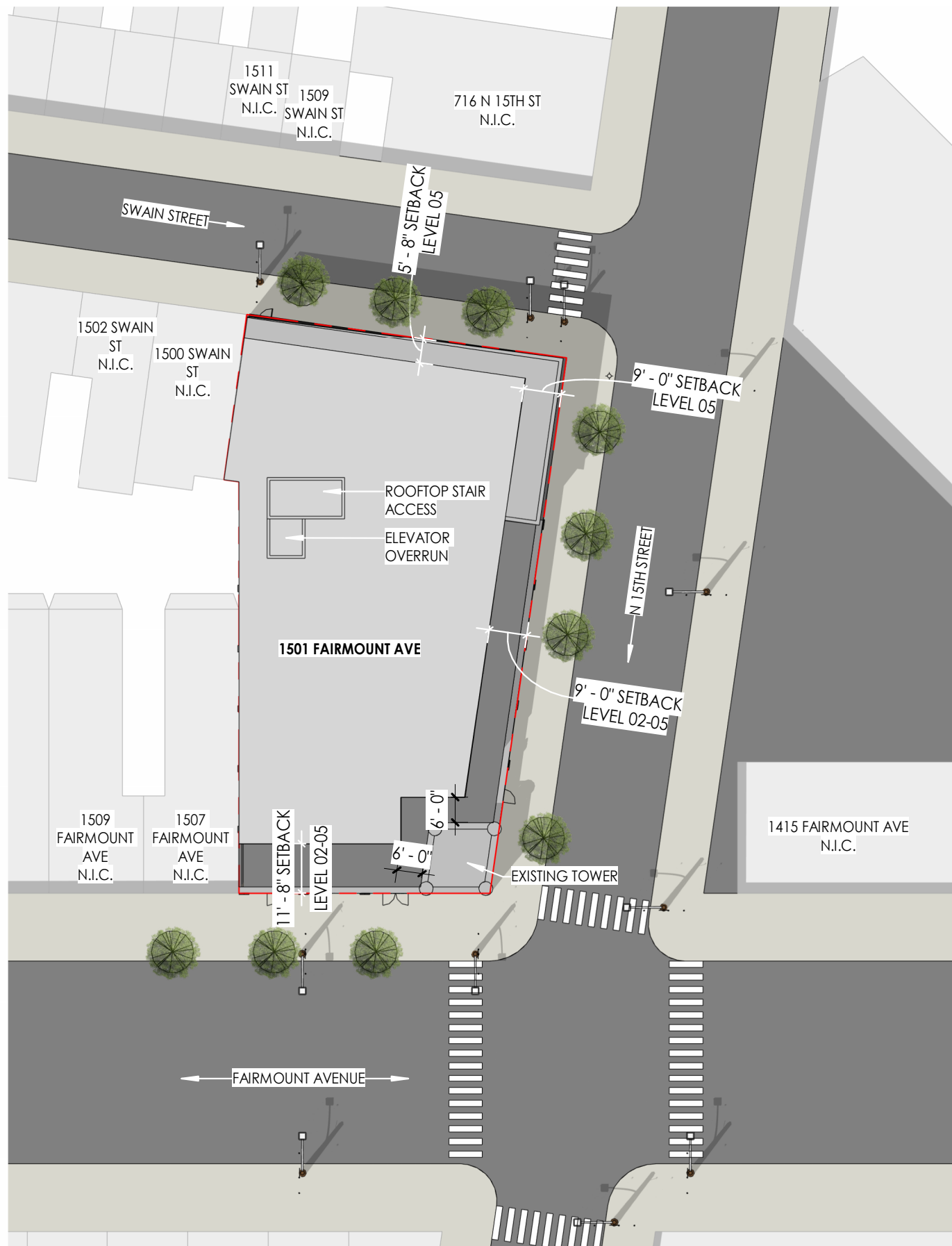






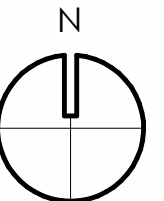




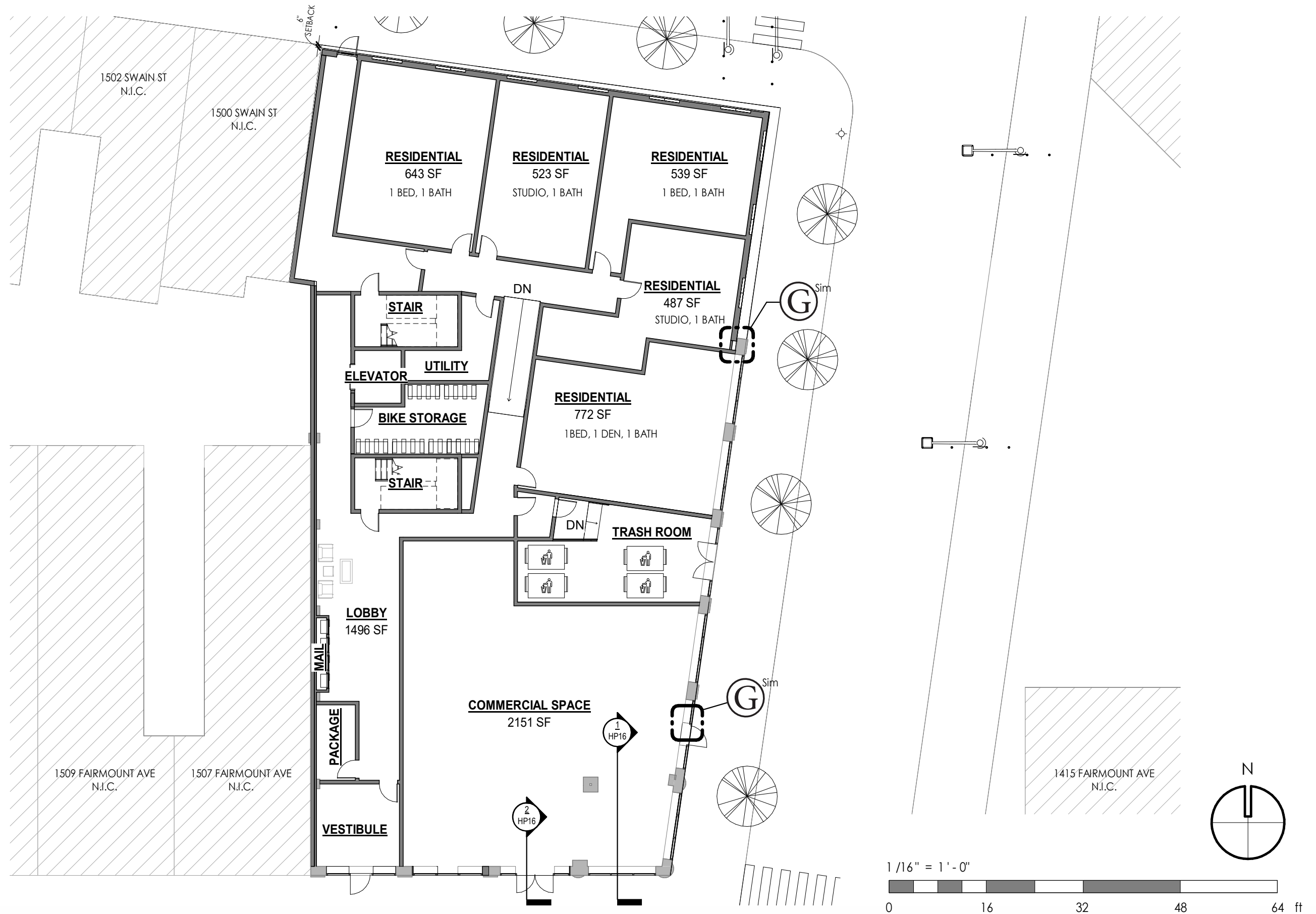


**1501 FAIRMOUNT AVE**  
 PROPOSED 5-STORY COMMERCIAL  
 AND RESIDENTIAL MULTI-FAMILY  
 MIXED-USE STRUCTURE. EXISTING  
 HISTORICAL FACADE TO REMAIN.

3/32" = 1' - 0"



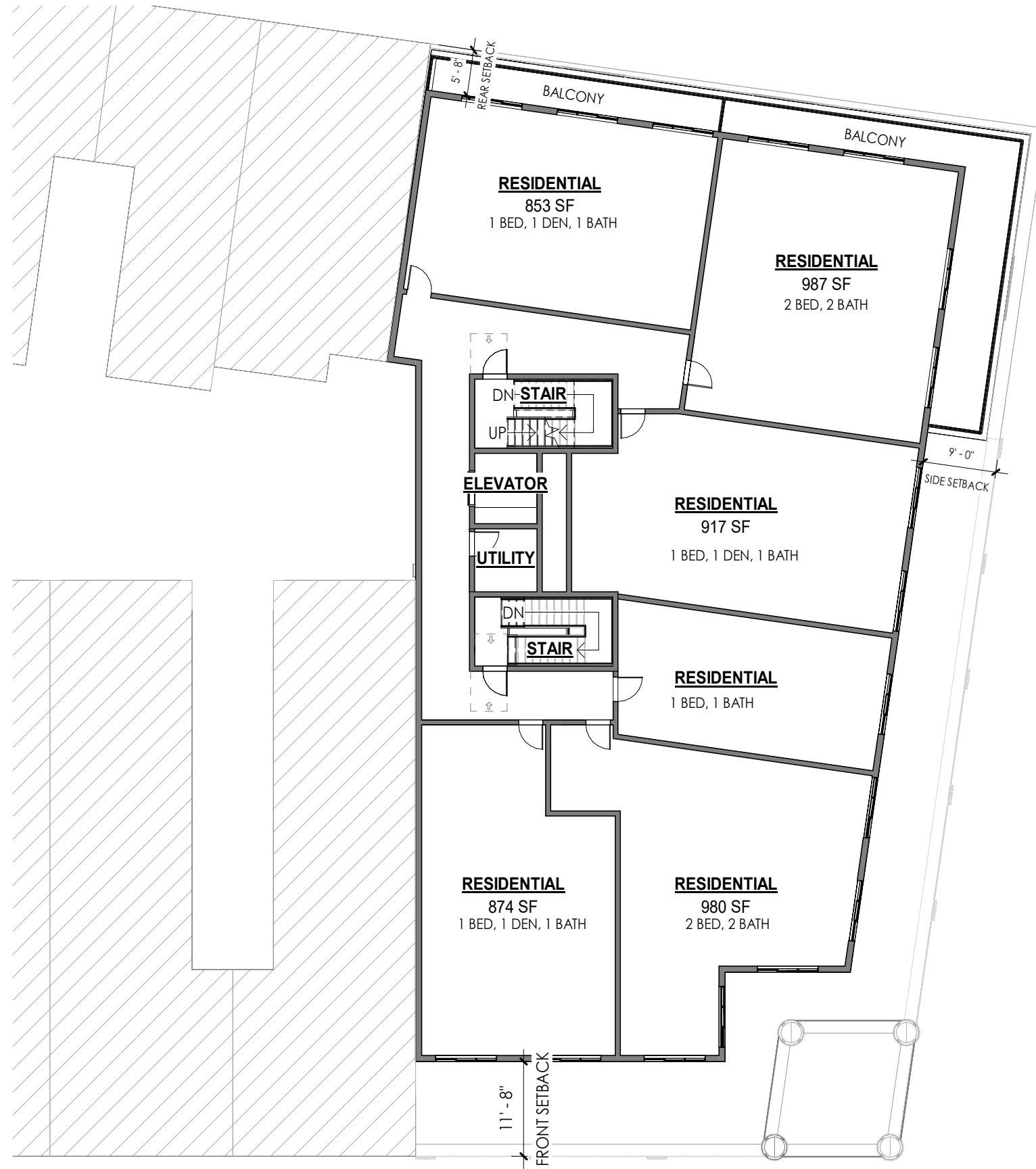




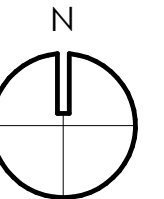
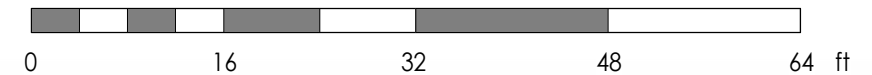








1/16" = 1'-0"



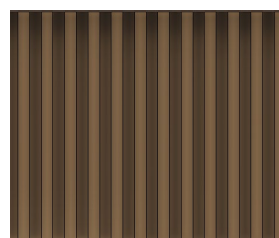




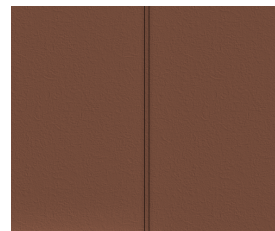




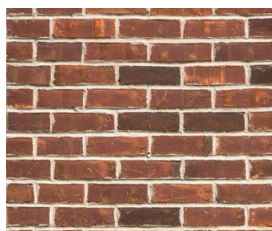
#### MATERIALS



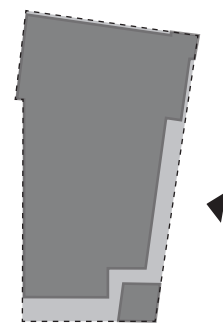
METAL STANDING SEAM ①



FIBER CEMENT PANEL ②



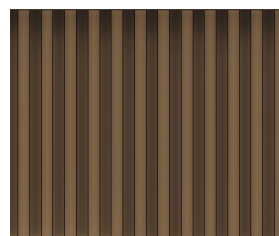
BRICK ③



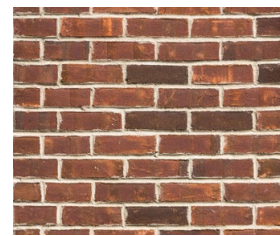




#### MATERIALS



METAL STANDING SEAM ①



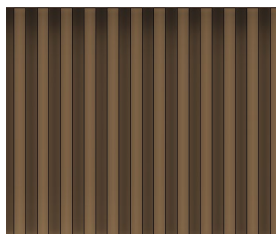
BRICK ③





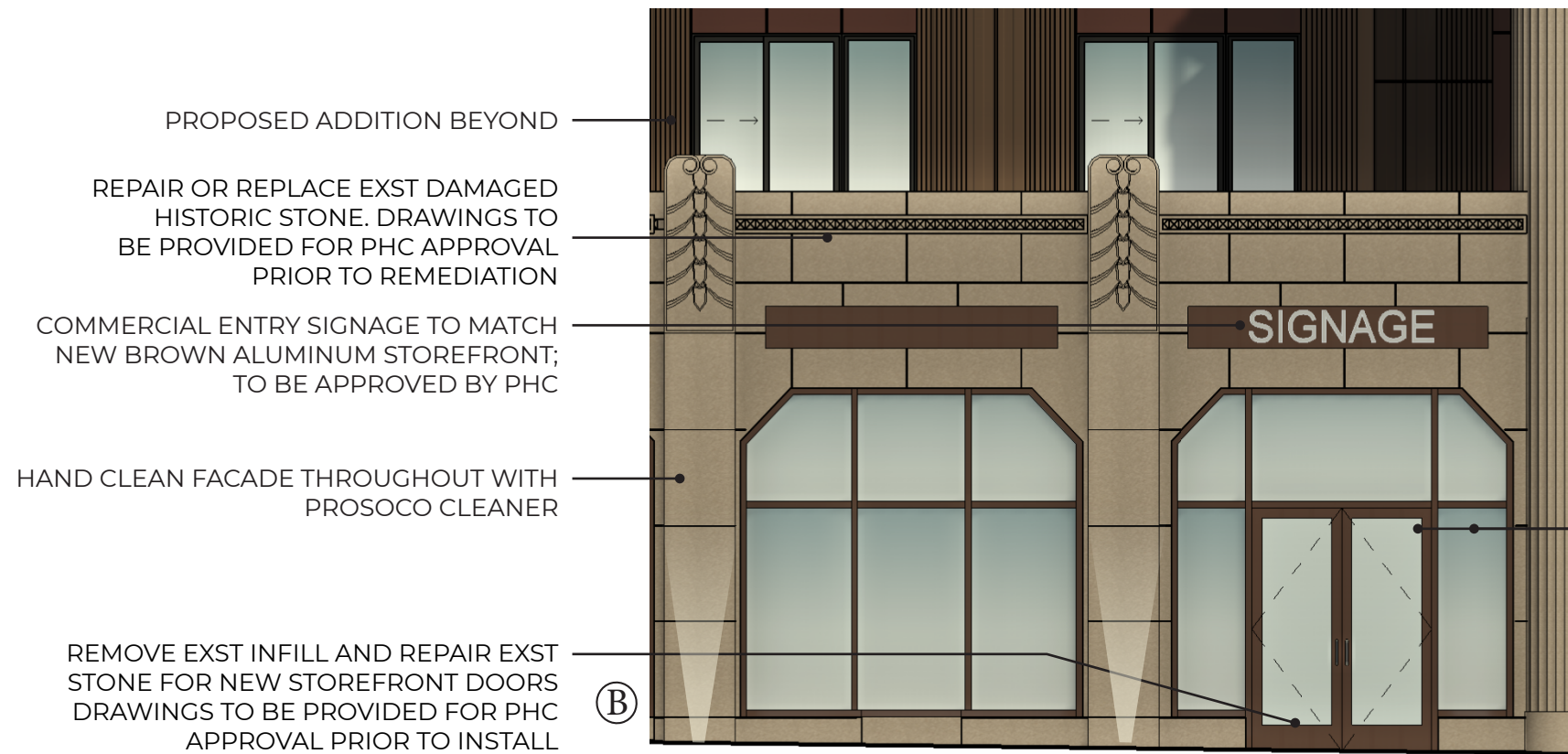


MATERIALS

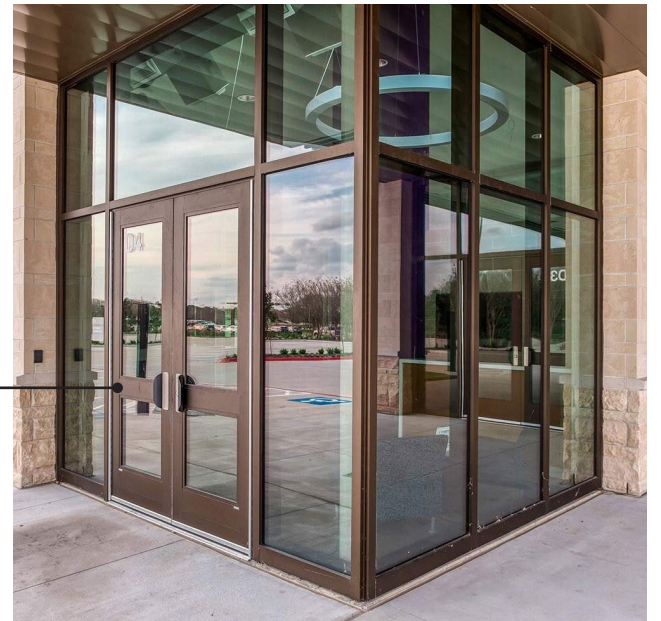


METAL STANDING SEAM ①

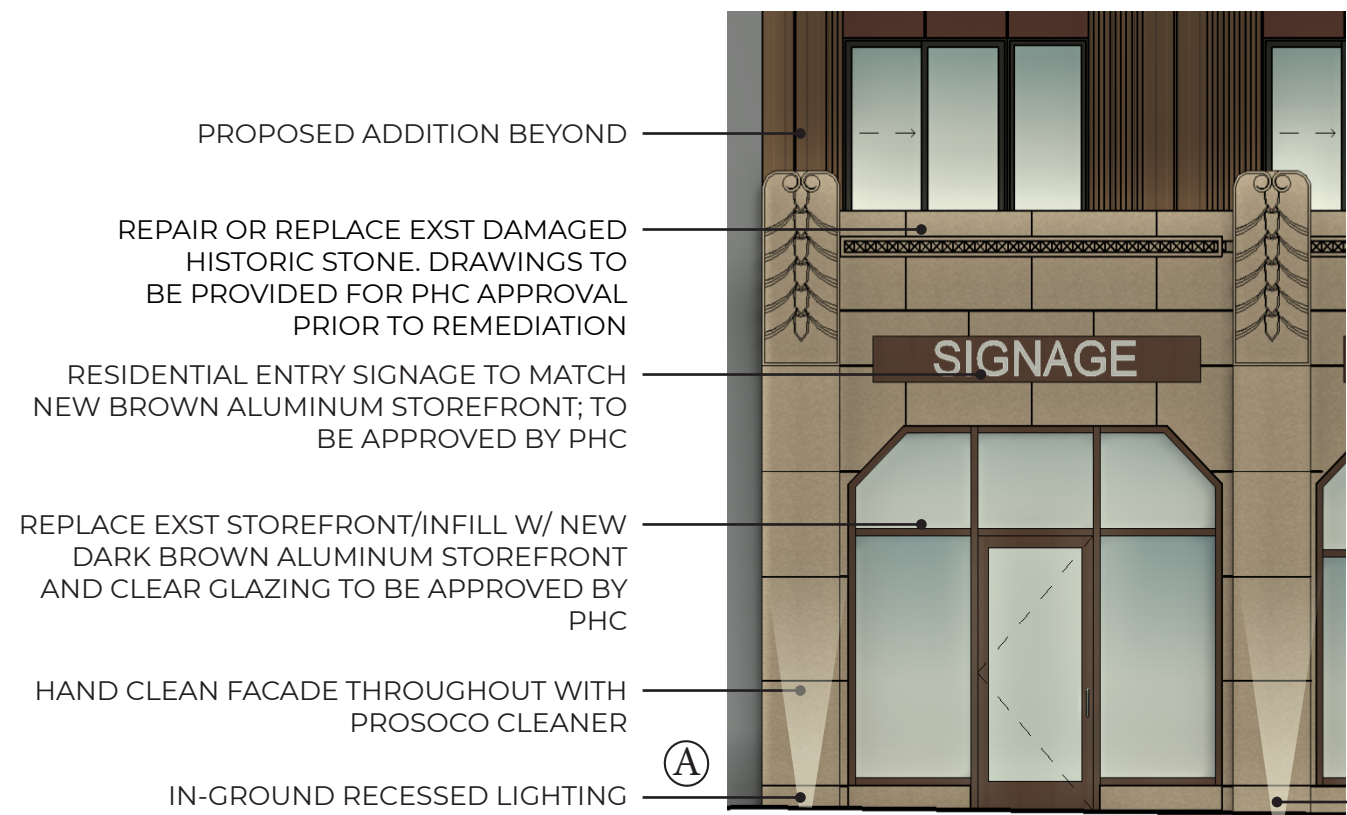




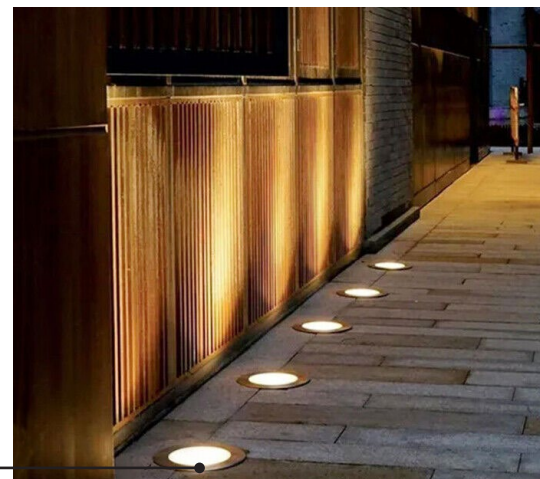
REPLACE EXST STOREFRONT/ INFILL W/ NEW DARK BROWN ALUMINUM STOREFRONT AND CLEAR GLAZING TO BE APPROVED BY PHC



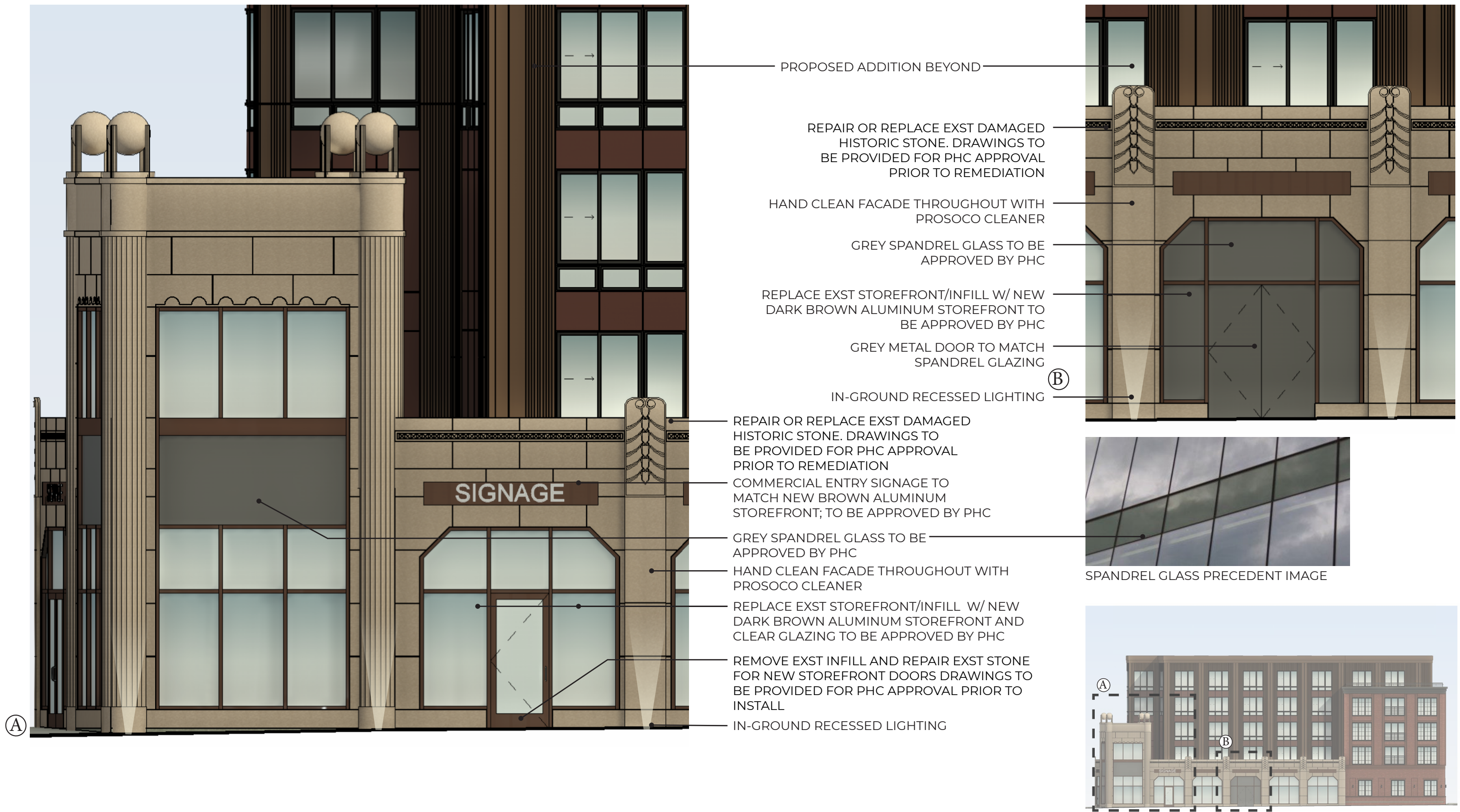
BRONZE STOREFRONT PRECEDENT IMAGE



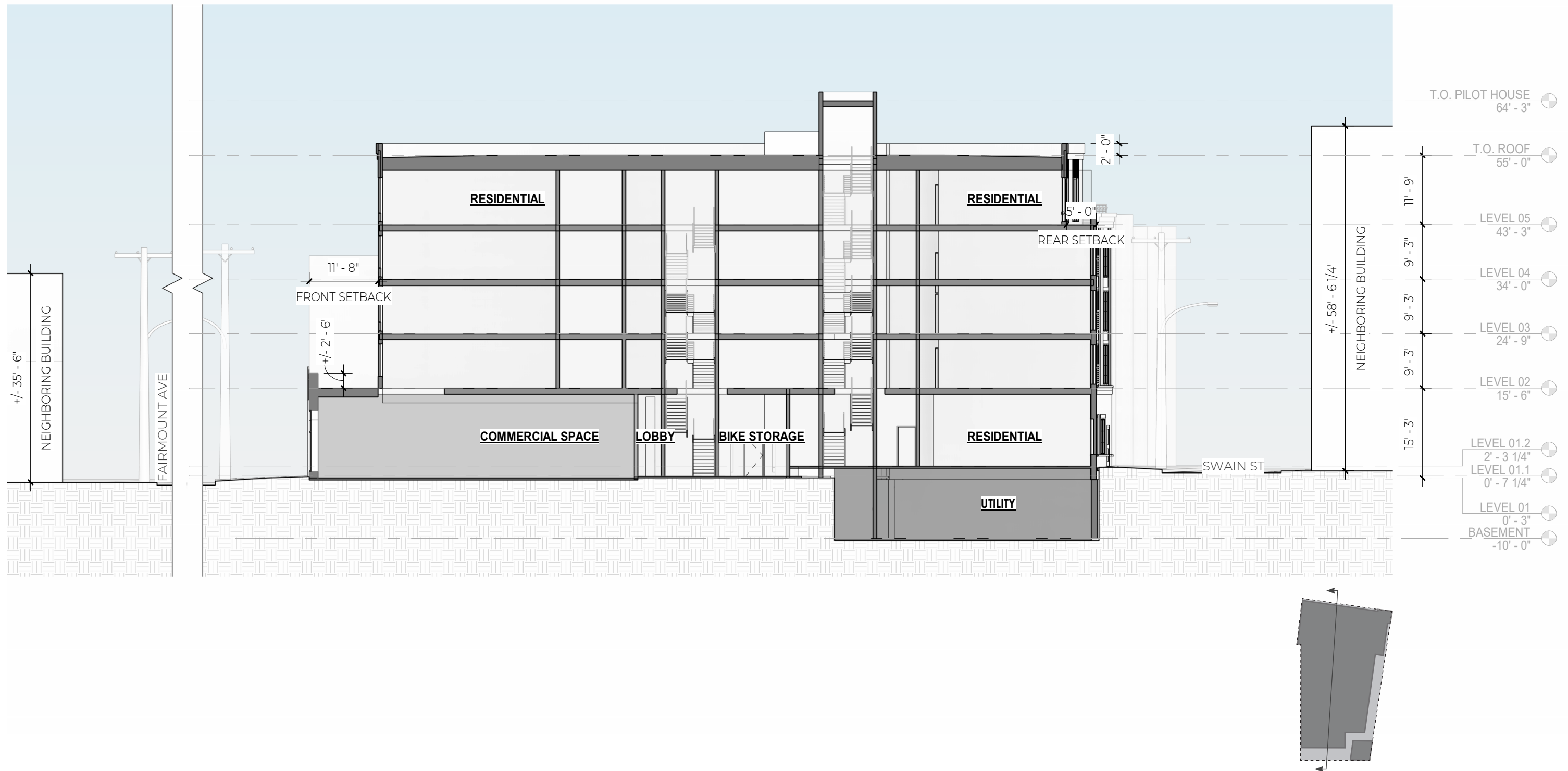
IN-GROUND RECESSED LIGHTING



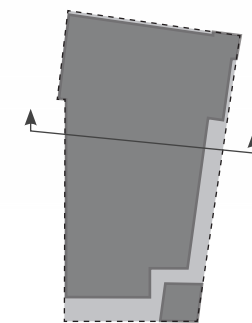
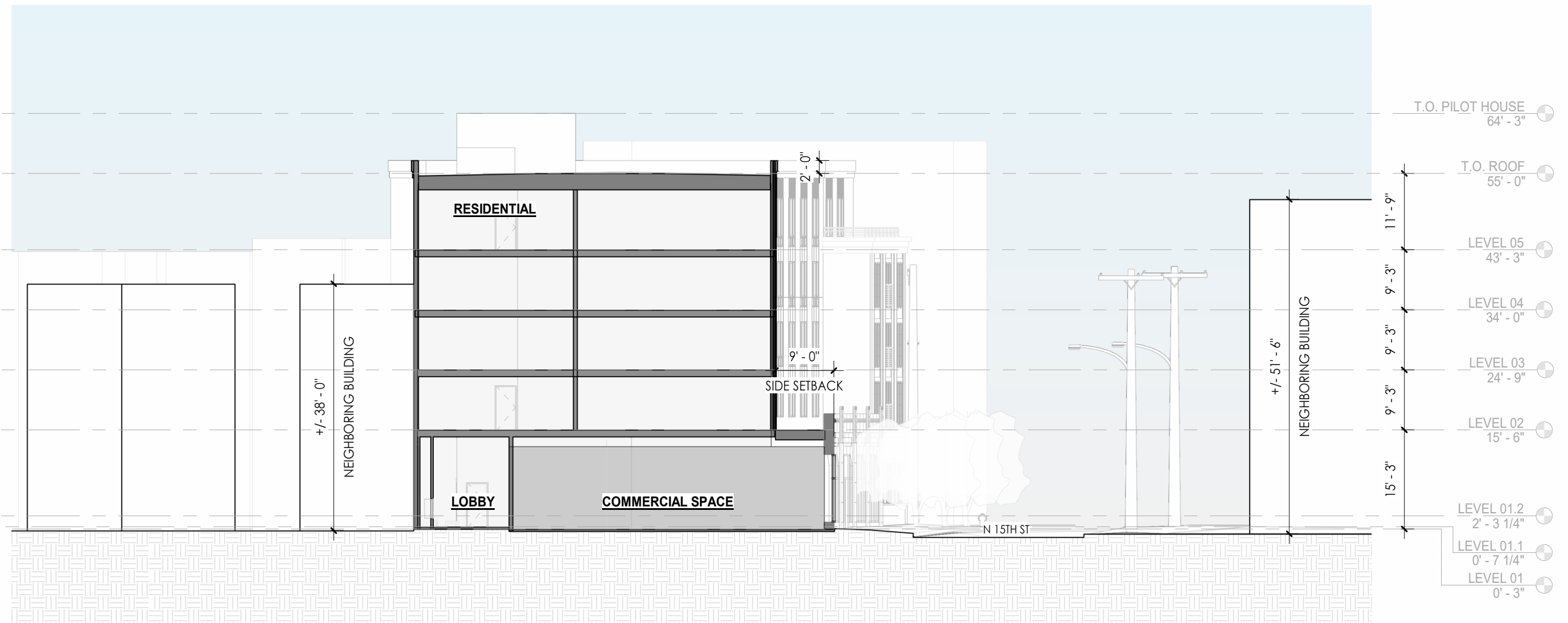






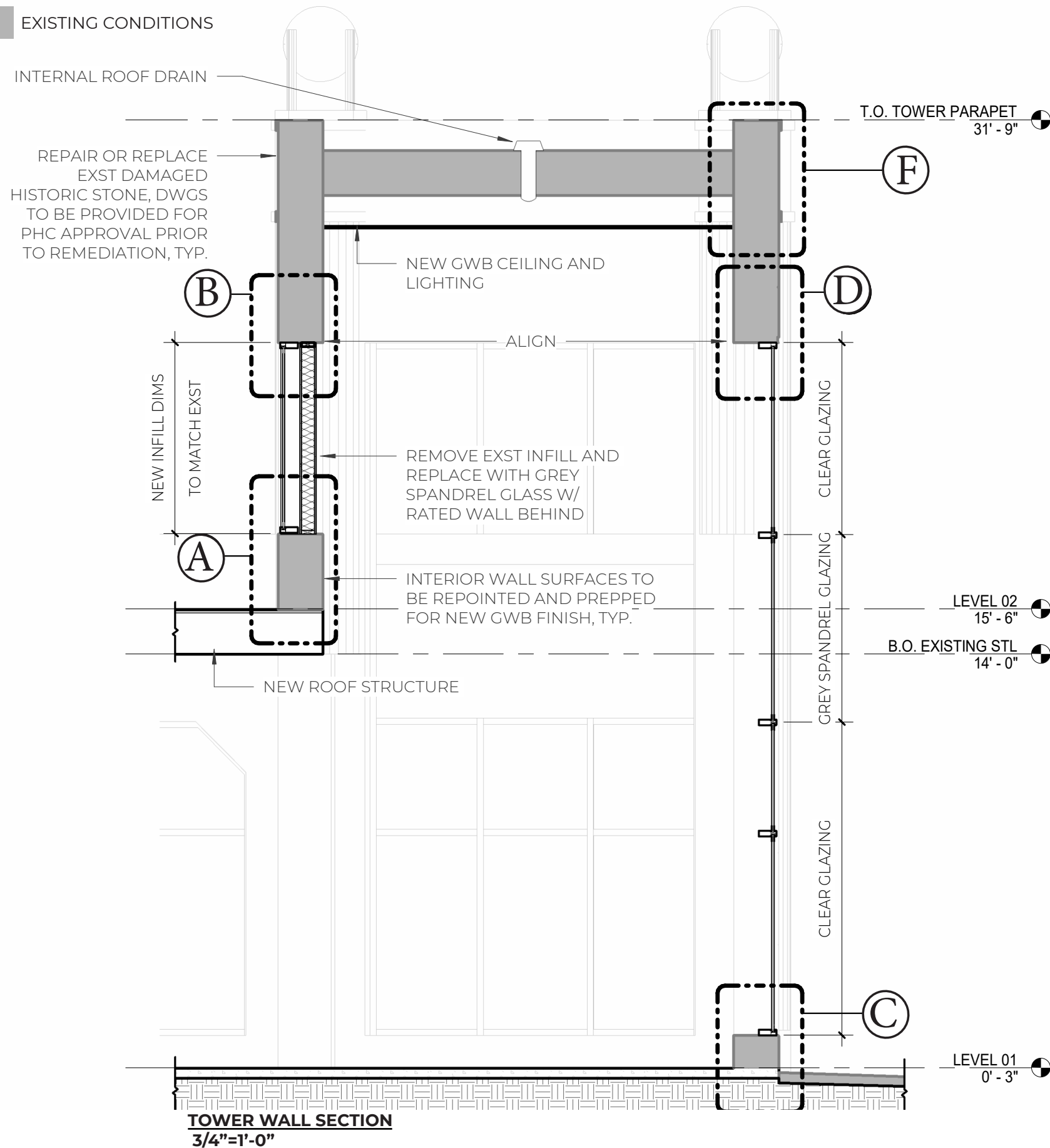








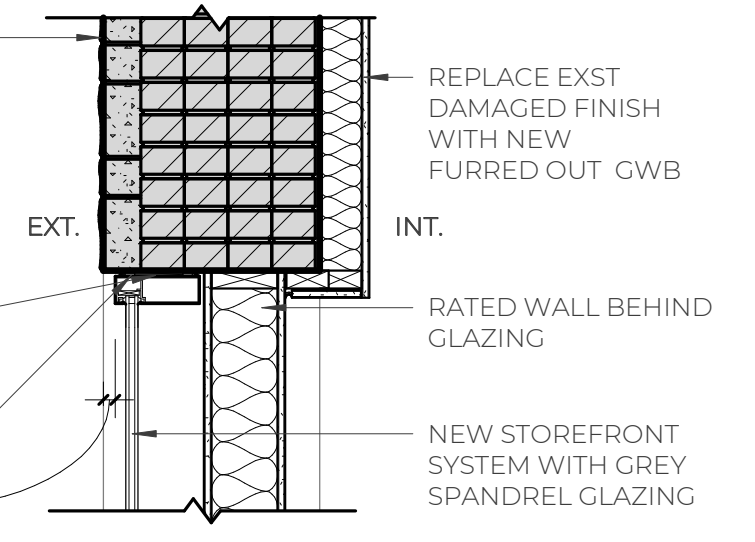
## EXISTING CONDITIONS



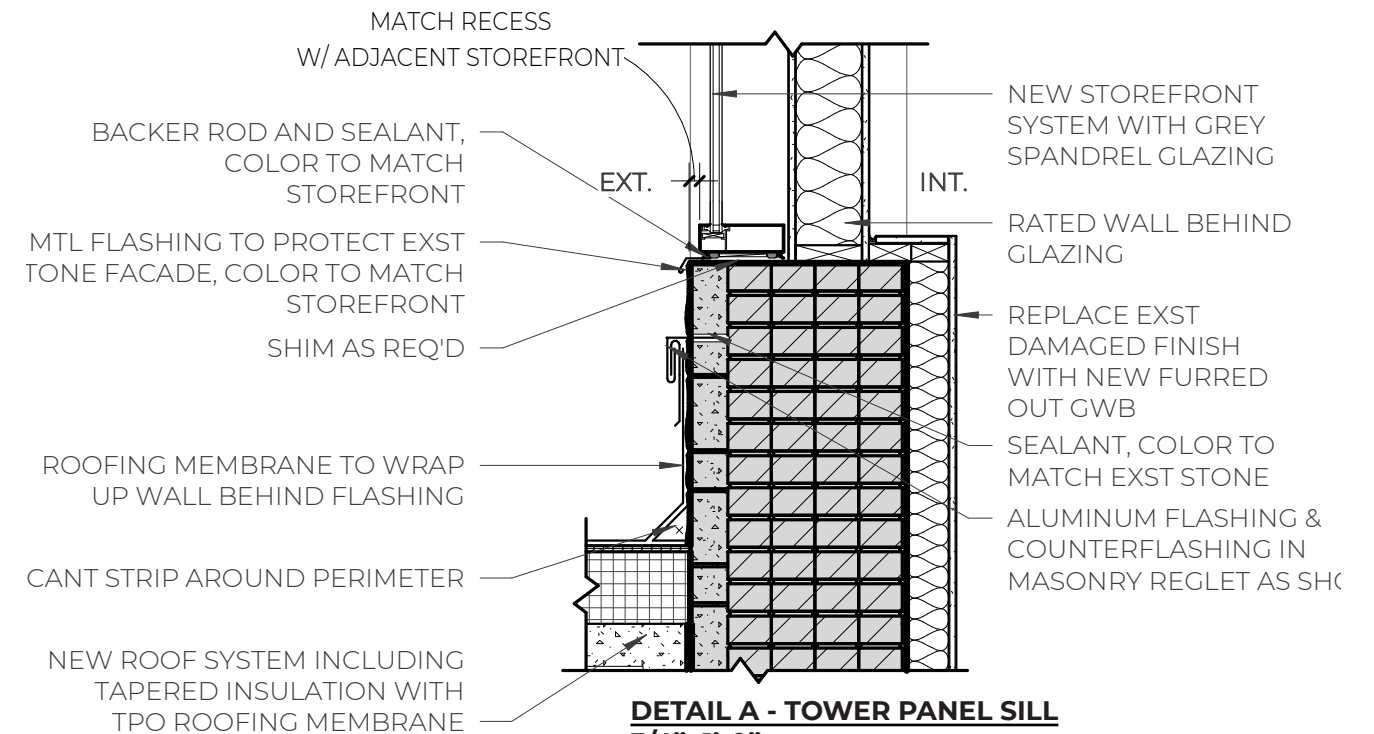
REPAIR OR REPLACE EXST DAMAGED HISTORIC STONE, DWGS TO BE PROVIDED FOR PHC APPROVAL PRIOR TO REMEDIATION, TYP.

SHIM AS REQ'D  
BACKER ROD AND SEALANT, COLOR TO MATCH STOREFRONT

MATCH RECESS  
W/ ADJACENT STOREFRONT



**DETAIL B - TOWER PANEL HEAD**  
3/4"=1'-0"

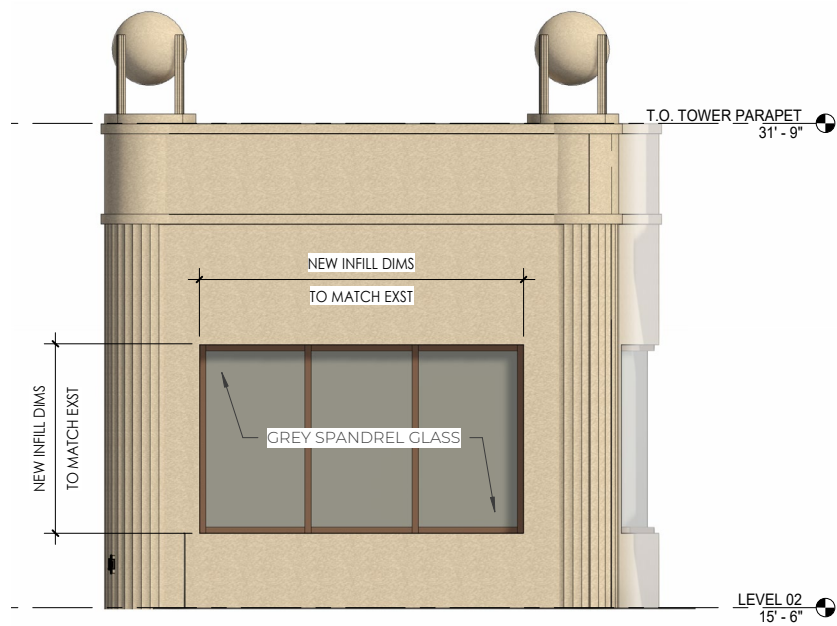


**DETAIL A - TOWER PANEL SILL**  
3/4"=1'-0"





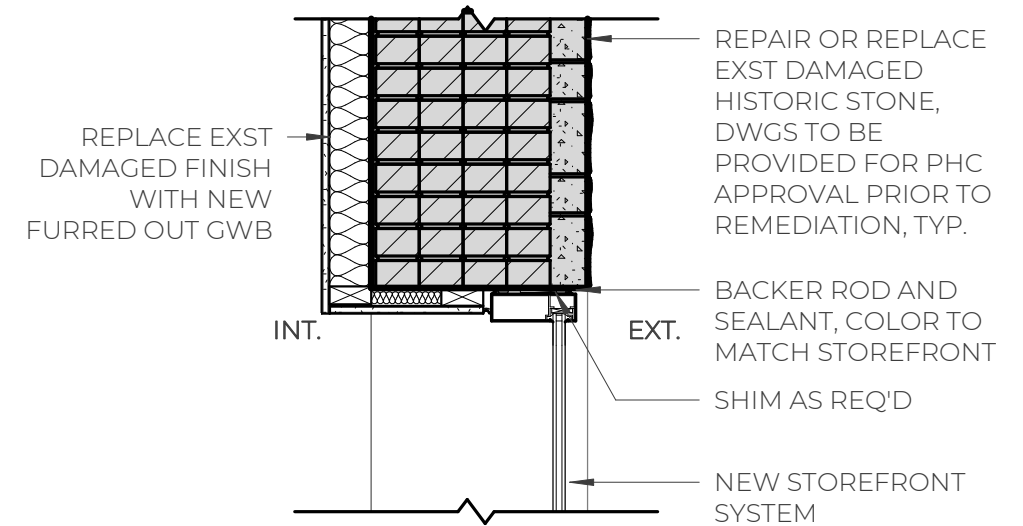
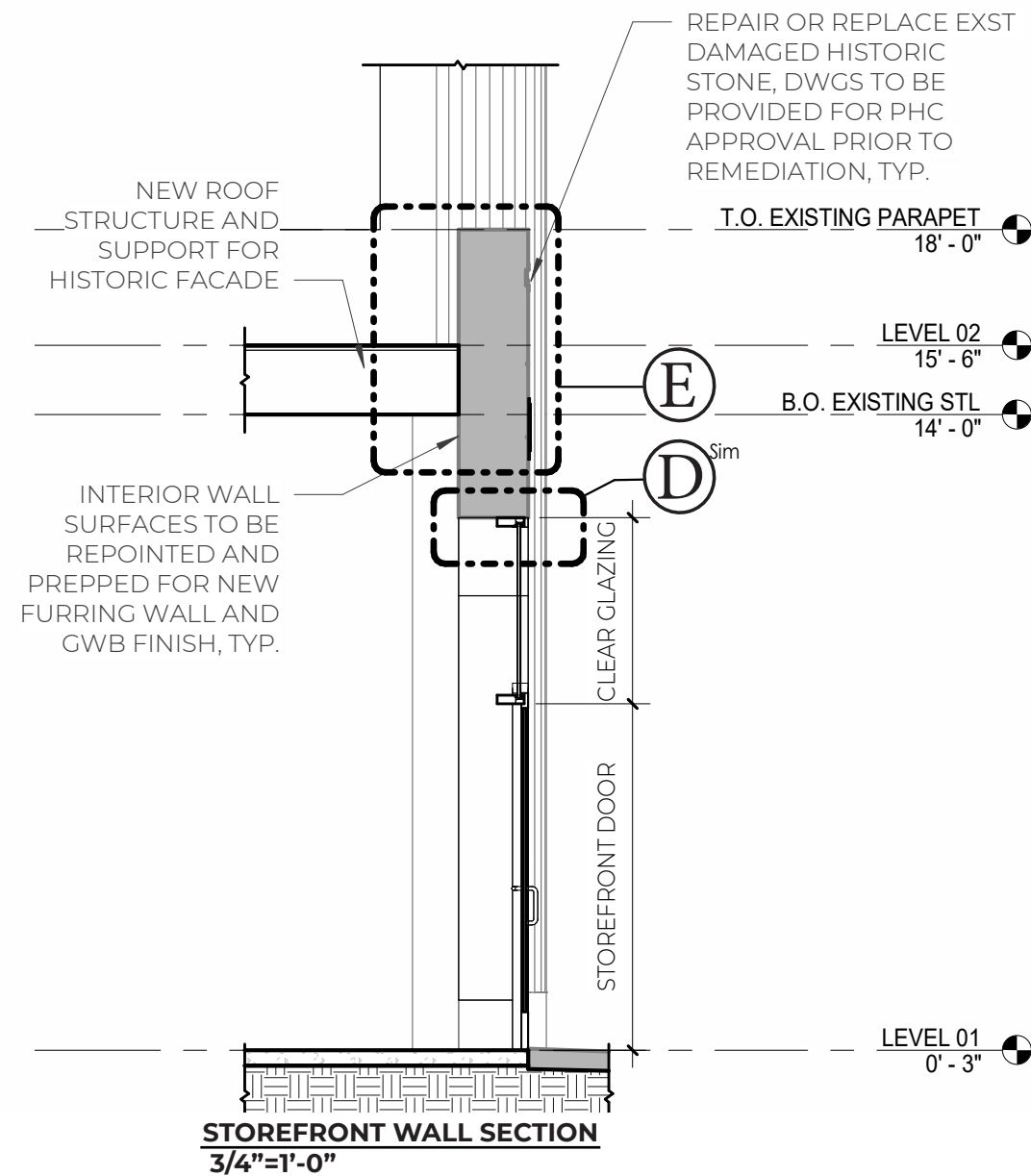
## EXISTING CONDITIONS



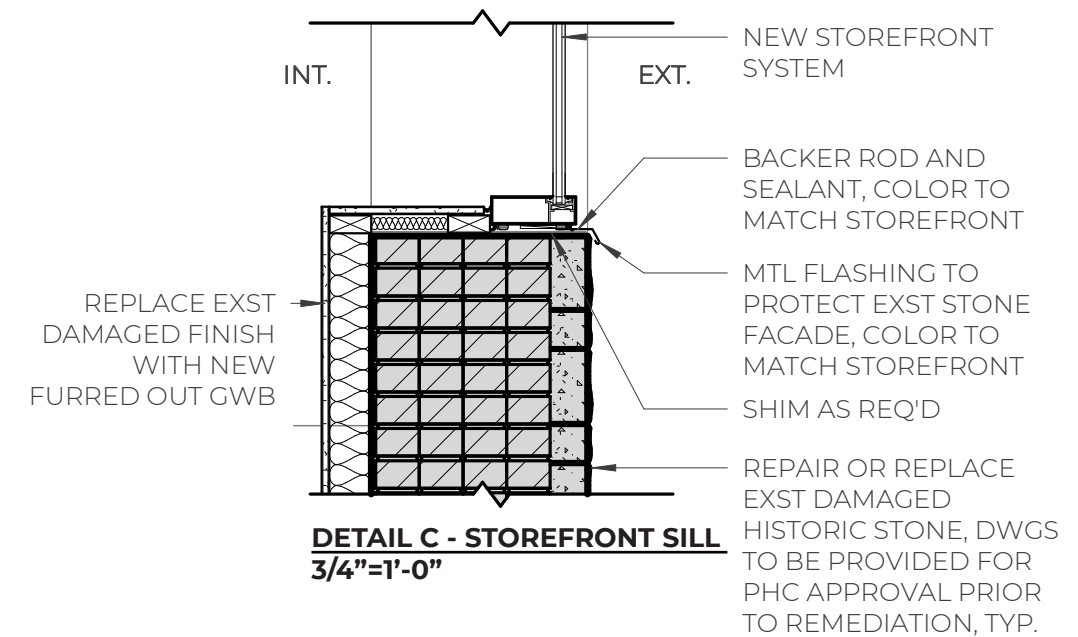
**PROPOSED TOWER INFILL CONDITION**



**EXISTING TOWER INFILL CONDITION**



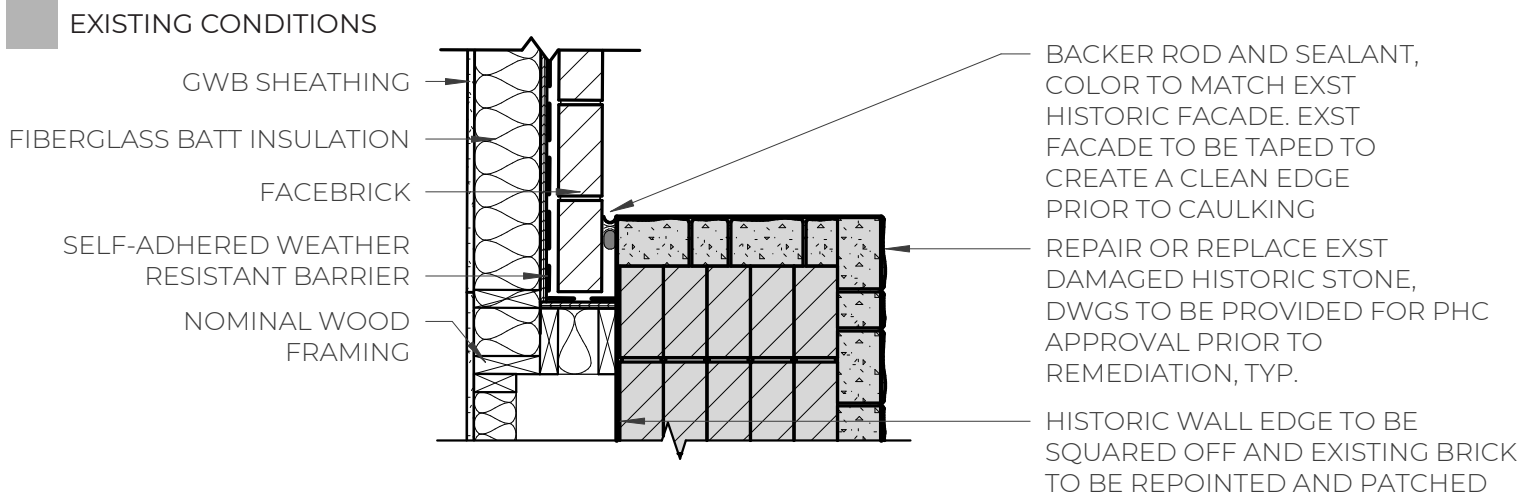
**DETAIL D - STOREFRONT HEAD**  
3/4"=1'-0"



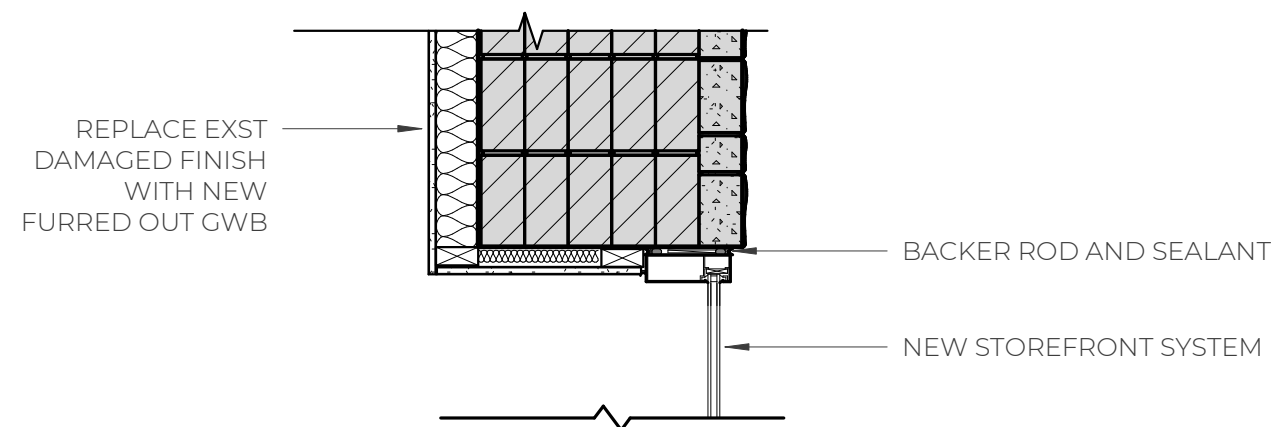
**DETAIL C - STOREFRONT SILL**  
3/4"=1'-0"



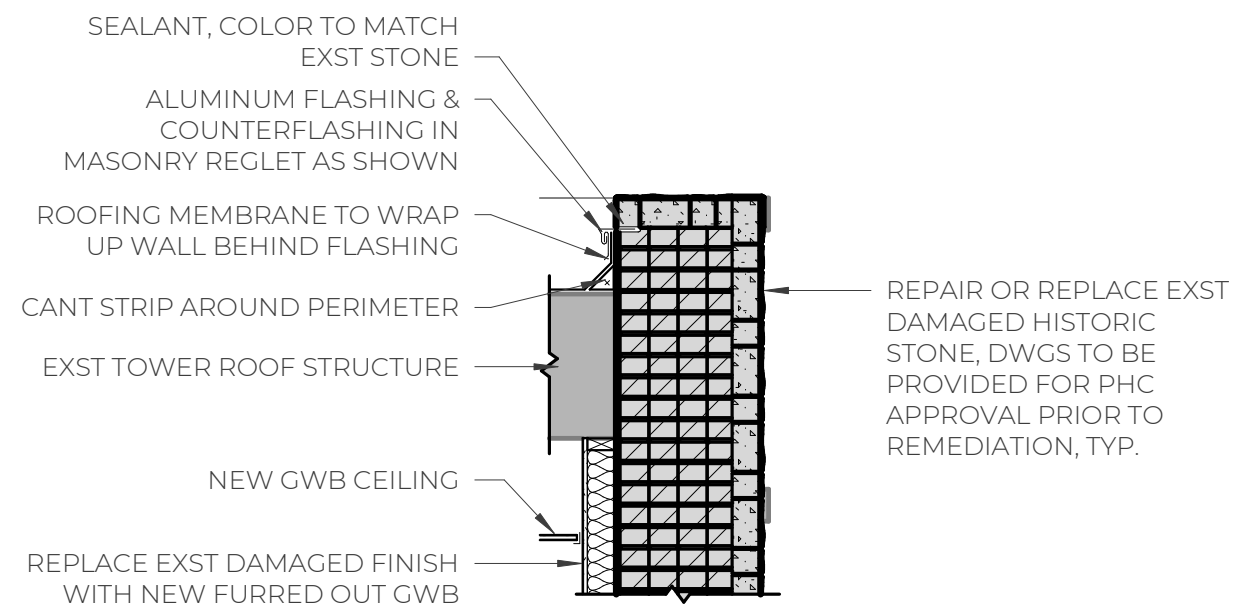




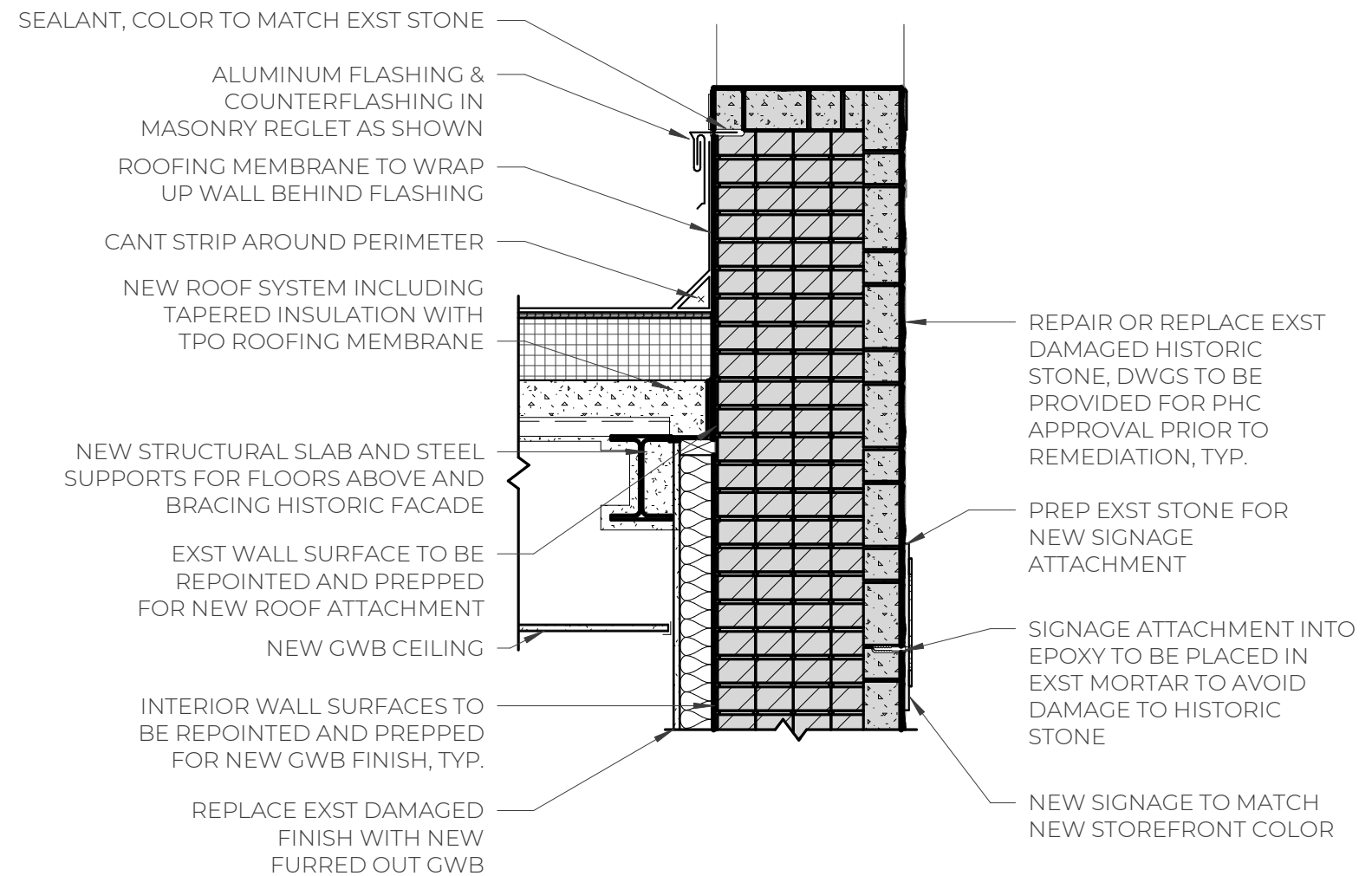
**DETAIL F - HISTORIC TO NEW BRICK PLAN DETAIL**  
3/4"=1'-0"



**DETAIL F - HISTORIC TO STOREFRONT DETAIL**  
3/4"=1'-0"



**DETAIL G - TOWER PARAPET DETAIL**  
3/4"=1'-0"



**DETAIL E - SIGNAGE & NEW ROOF SYSTEM ATTACHMENT**  
3/4"=1'-0"



SIGNAGE PRECEDENT IMAGE

- EXPOSED FASTENERS
- LETTERING TO BE APPLIED AT LATER DATE



