ADDRESS: 28 S 2ND ST

Proposal: Construct roof deck with two pilothouses and a pergola

Review Requested: Final Approval

Owner: 28S2 LLC

Applicant: Beth Hysick, Brighton Architecture + Design LLC

History: 1835; Edwin Hall & Co.; Venetian Gothic storefront added in 1865

Individual Designation: 11/4/1976

District Designation: Old City Historic District, Significant, 12/12/2003

Staff Contact: Ted Maust, theodore.maust@phila.gov

**OVERVIEW:** This application proposes constructing a rooftop deck, two pilot houses, and a pergola on a four-story building in the Old City Historic District that was individually designated in 1976.

The deck will be setback 11'-6" from the front elevation and built up from the roof plane by 3'-5" on average on wooden posts. The pilot houses and pergola will be between 9'-6" and 10' in height and setback from 2<sup>nd</sup> Street by at least 50' and from Strawberry Street by at least 21'-7".

The submitted drawings propose 42" aluminum railings around much of the deck, some of it with glass infill, as well as a planter box on the south side. The pilot houses will be clad in vinyl siding in earth tones. The prefabricated pergola is a powder-coated aluminum, also in a neutral color, with a slat wall along the north property line.

#### SCOPE OF WORK:

Construct roof deck with pilothouses and a pergola.

#### STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- Roofs Guideline: Not Recommended: Changing the configuration or shape of a roof by adding highly visible new features (such as dormer windows, vents, skylights, or a penthouse)
  - O An on-site mock-up showing locations of the railing, pergola, and north pilot house would be helpful to evaluate the degree to which the roof deck would be visible from the public right-of-way. The north side seems especially likely to be visible given the short height of the neighboring building, which allows long views of the roof edge from both 2<sup>nd</sup> and Strawberry Streets.
  - The adjacent property at 26 S. 2<sup>nd</sup> Street is non-contributing to the historic district and appears to have been truncated from its historic height. If a taller building were constructed there in future, it would significantly reduce any visibility of this roof deck.
- Standard 9: New additions, exterior alterations, or related new construction shall not
  destroy historic materials that characterize the property. The new work shall be
  differentiated from the old and shall be compatible with the massing, size, scale, and
  architectural features to protect the historic integrity of the property and its environment.
  - If an on-site mock-up shows that the railing, pergola, and pilot house(s) would be significantly visible from the public right-of-way, the Commission can better evaluate the compatibility of the roof deck's scale and materials and its impact on the historic structure and surrounding historic district.

**STAFF RECOMMENDATION:** Approval, provided that an on-site mock-up shows that the railing, pergola, and northern pilot house would be minimally visible, pursuant to Standard 9 and the Roof Guideline.



Figure 1: Subject property in 1972.



Figure 2: Views with likely visibility of roof deck from 2nd St (left) and Strawberry St.

## **BRIGHTON**

Architecture + Design LLC

Philadelphia Historical Commission 1515 Arch St., 13th Floor Philadelphia, PA 19102 preservation@phila.gov

Property: 28 S 2<sup>nd</sup> St, Philadelphia

Property Owner: 28S2 LLC (Alexander Sweetwood)

To whom it may concern:

I am submitting documents to be reviewed by the Philadelphia Historical Commission, for a proposed Rooftop Deck, two (2) pilot houses, overhead pergola and mechanical platform at 28 S. 2<sup>nd</sup> St, a historically designated property in the Old City Historic District. The property is 20ft wide by 129'-7" deep, and spans from 2<sup>nd</sup> Street (primary frontage) to Strawberry St (secondary frontage).

The proposed rooftop deck will be 20ft wide by 65ft deep, setback 11'-6" from the front building line along 2<sup>nd</sup> Street. The pilot houses will be on opposite sides of the building; the pilot house to the left (looking from 2<sup>nd</sup> St) will be setback more than 50ft, and the one to the right of the existing roof will have approximately a 75ft setback from 2<sup>nd</sup> St and 26ft from Strawberry St. The pilot houses will be about 9'-6" above the roof deck surface. The pergola will be approximately the same height, adjacent to the left pilot house, also setback more than 50ft.

No portion of the proposed deck, pilot houses or pergola will be visible from either street frontage. The building is directly across from Black Horse Alley, where portions of the deck or pilot houses may be minimally visible.

The proposed materials will consist of the following:

- Railings: Trex Signature Railing with Glass infill panels (black aluminum)
- Pilot House Siding: high end vinyl siding in light neutral/ earth tone colors (match existing beige stucco)
- Prefabricated Pergola: Powder coated aluminum, in a light neutral/earth tone color

Thank you for reviewing these documents, and for your consideration in this matter.

Sincerely,

Elizabeth Johnson Registered Architect

Elibeth Jhm

## **BRIGHTON**

#### Architecture + Design LLC

Old City Historic District





"Related to the Italianate and Renaissance Revival styles, a very significant Venetian Gothic storefront survives intact in Old City. The storefront was added to the Greek Revival building (c. 1835) at 28 S. 2nd Street immediately after the Civil War for the Edwin Hall & Company, importers, jobbers, and retailers of clothing and textiles. Little has changed on the façade of the building since it was depicted on an Edwin Hall & Company receipt dated 30 June 1869. Although the transom level storefront windows have been boarded, the Venetian Gothic storefront cornice with its arcaded corbel table and scrolled end brackets as well as the incredible elliptical arched window frames and pencil-thin columns with stylized capitals remain unchanged." – Old City Historical Designation Document (2003)



S. John Page Company, referenced by philadephiabuildings.org, with no reference in Historical Designation Documents



**28 South 2<sup>nd</sup> St:** 4-story, 3-bay, brick, Greek Revival building with 3-bay storefront. Granite and concrete stoops; squared entrance opening with metal security screen in front; storefront window with metal security screen; painted granite storefront pilasters and cornice; replacement 1/1 vinyl windows and brick infill at upper stories; corbelled brick cornice; flat roof. North elevation: brick and stucco.

Built c. 1835. Alterations: Edwin Hall & Co. Venetian Gothic storefront added c. 1865; new windows installed on 4<sup>th</sup> story, 1988. Designated: 7 Oct 1976. Significant.



#### OLD CITY HISTORIC DISTRICT

Designated 12 December 2003



View from Black Horse Alley





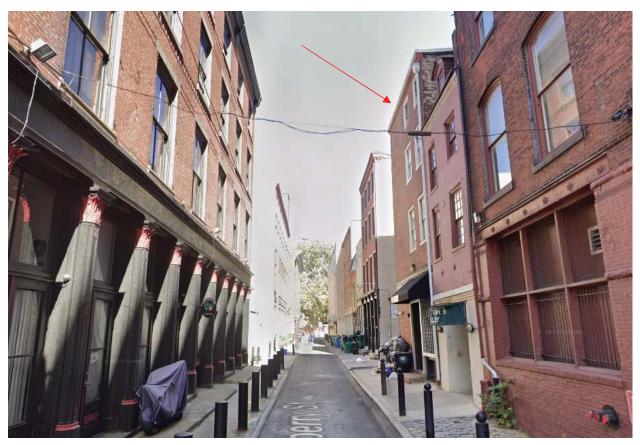


Views looking south on 2<sup>nd</sup> Street





Views looking North on 2<sup>nd</sup> St.





Looking North on Strawberry St.





View of 28 S  $2^{nd}$  Street from Strawberry St









Sample materials and finishes (colors may vary)

# Unique Photo Roof Deck, Pergola and Pilot Houses 28 S. 2nd Street Philadelphia, PA 19106

ZONING:

CMX-3 Community Commercial Mixed Use
PROPERTY DATA:

28 S. 2nd Street

21'-0" x 129'-6"

ZONING DAT

MAX OCCUPIED AREA 75% 100% NO CHANG MIN. SIDE YARD 0FT 0FT NO CHANG MAX. FLOOR AREA RATIO 500% 400% NO CHANG ROOF DECK SETBACK 5FT N/A 11'-6"

14–604. ACCESSORY USES AND STRUCTURES.

ROOF DECKS ARE PERMITTED FOR RESIDENTIAL USES IN ALL ZONING DISTRICTS. ROOF DECKS FOR NON-RESIDENTIAL USES ARE PROHIBITED, EXCEPT IN THE CMX-3, CMX-4, OR CMX-5 DISTRICT, WHERE SPECIAL EXCEPTION APPROVAL IN ACCORDANCE WITH THE PROCEDURES OF § 14-303(7) IS REQUIRED. ROOF DECKS ARE PROHIBITED ON ACCESSORY STRUCTURES.

(A) SETBACKS: ROOF DECKS MUST BE SET BACK AT LEAST FIVE FT. FROM THE EXTREME FRONT BUILDING LINE (CLOSEST TO THE FRONT LOT LINE)

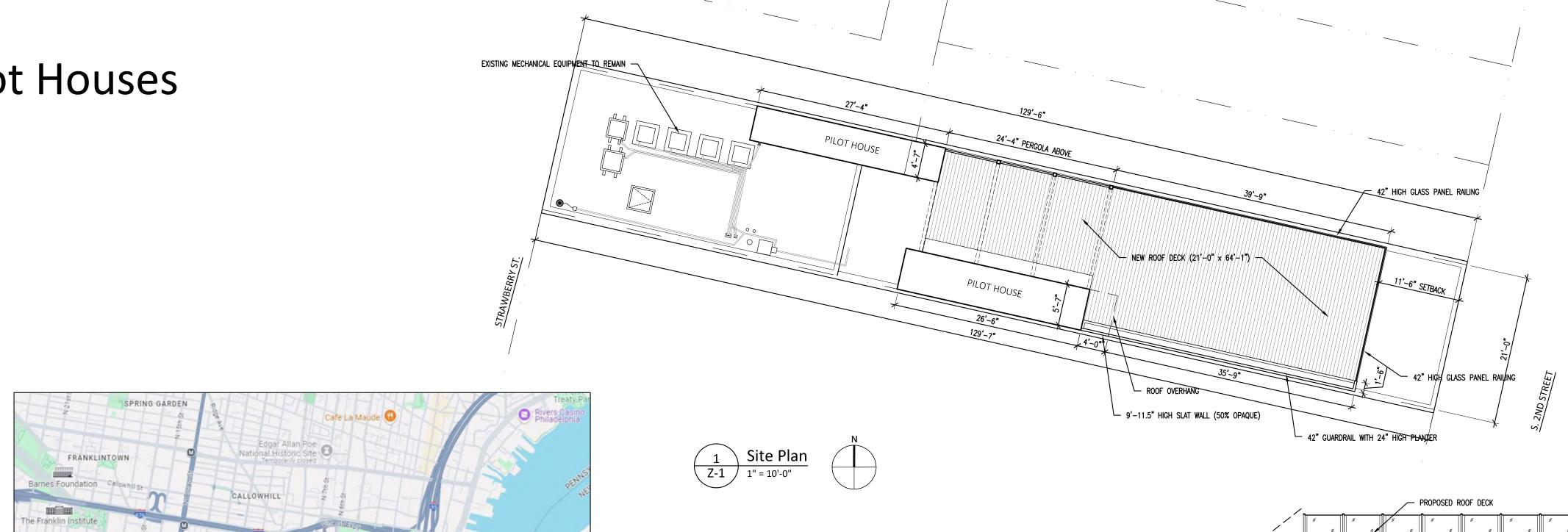
(B) HEIGHT: A ROOF DECK AND ASSOCIATED RAILINGS AND FENCING IS CONSIDERED A PERMITTED APPURTENANCE AND IS NOT SUBJECT TO THE BUILDING HEIGHT LIMITATIONS OF THE SUBJECT ZONING DISTRICT, PROVIDED THAT NO PART OF THE DECK SURFACE EXTENDS MORE THAN 48 IN. ABOVE A PLANE THAT IS MIDWAY BETWEEN THE LOWEST AND THE HIGHEST POINTS OF THE ROOF SURFACE SUPPORTING THE ROOFTOP DECK.

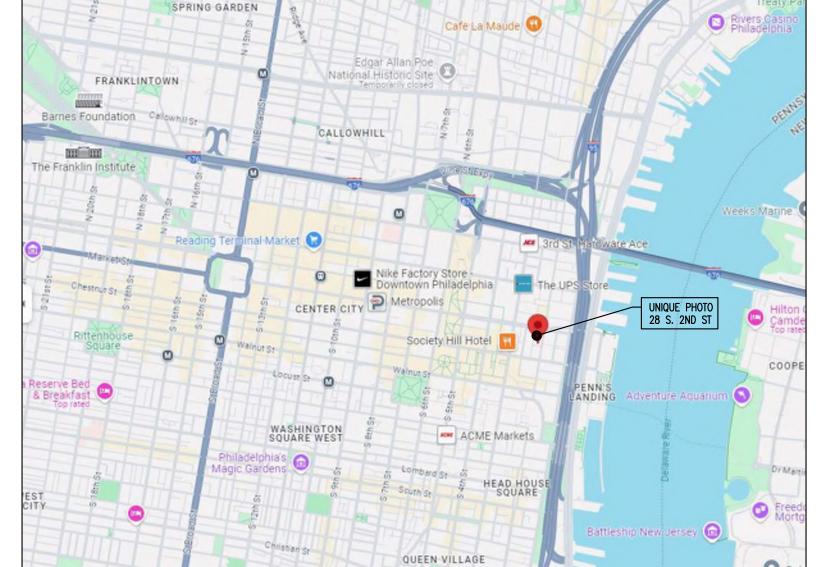
(C) ROOF DECK ACCESS STRUCTURES: A ROOF DECK ACCESS STRUCTURE MEETING THE FOLLOWING REQUIREMENTS IS CONSIDERED A BUILDING APPURTENANCE AND IS NOT SUBJECT TO THE BUILDING HEIGHT LIMITATIONS OF THE SUBJECT ZONING DISTRICT.

(.1) THE ROOF DECK ACCESS STRUCTURE MAY ONLY SERVE TO ENCLOSE THE ACCESS

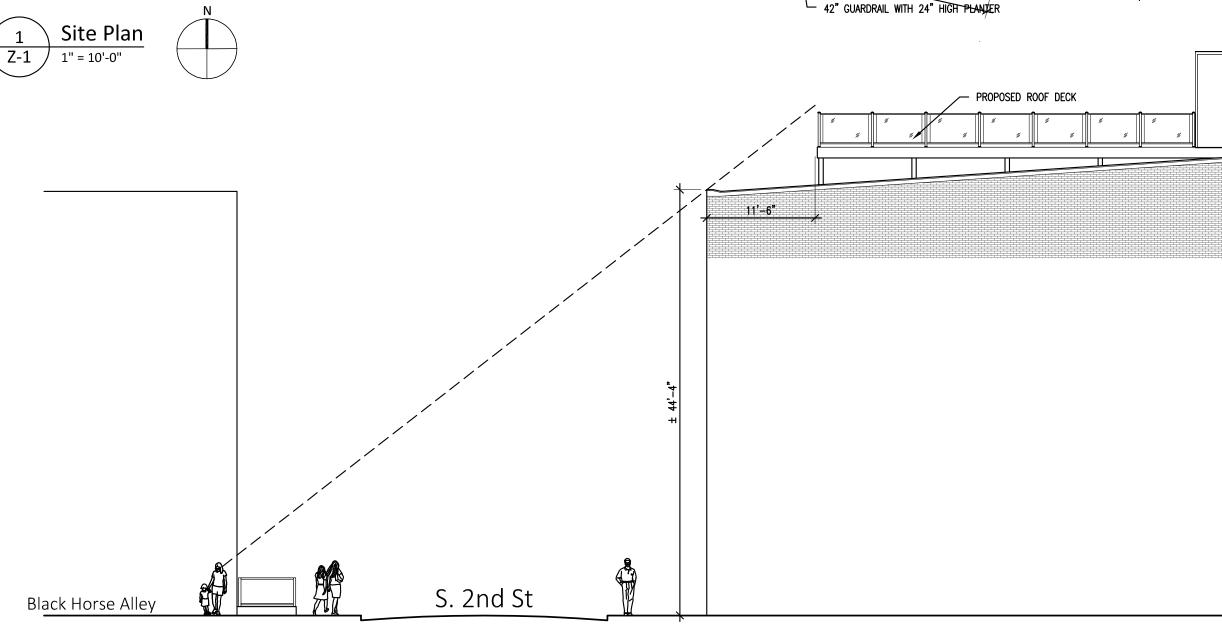
- (.2) EXCEPT IN THE RM-2, RM-3, RM-4, RMX-3, CMX-3, CMX-4, CMX-5, AND IRMX DISTRICTS, THE ROOF DECK ACCESS STRUCTURE MAY NOT EXCEED 125 SQ. FT. IN AREA, HOWEVER ROOF DECK ACCESS STRUCTURES THAT ALSO CONTAIN AN ELEVATOR ARE PERMITTED AN ADDITIONAL 40 SQ. FT. OF AREA
- (.3) THE ROOF DECK ACCESS STRUCTURE MAY NOT EXCEED 10 FT. IN HEIGHT ABOVE THE SURFACE OF THE ROOF
- (.4) ROOF DECK ACCESS STRUCTURES MUST MEET THE SAME SETBACK REQUIREMENTS AS THE ASSOCIATED ROOF DECK, PROVIDED THAT ANY PART OF THE ROOF DECK ACCESS STRUCTURE LOCATED MORE THAN 42 IN. ABOVE THE SURFACE OF THE ROOF DECK MUST BE SET BACK AN ADDITIONAL 5 FT. FROM THE REQUIRED SETBACK OF THE ASSOCIATED ROOF DECK. THE ROOF DECK ACCESS STRUCTURE MUST BE SET BACK 5 FT. FROM THE EXTREME REAR BUILDING LINE.

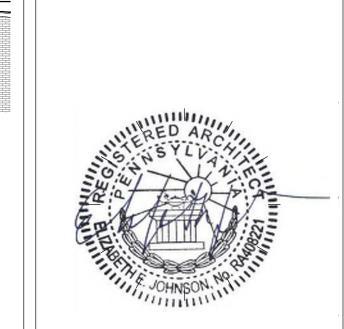
HEIGHT AND AREA LIMITATIONS FOR ROOFTOP STRUCTURES: A ROOFTOP STRUCTURE, INCLUDING CANOPIES, PERGOLAS AND SOLAR PANELS, MUST MEET THE HEIGHT, AREA, AND SETBACK REQUIREMENTS OF THE BASE ZONING DISTRICT AND ANY APPLICABLE OVERLAYS UNLESS TABLE 14-701-6 OF THE PHILADELPHIA ZONING CODE INCLUDES A SPECIFIC EXCEPTION FOR THE





Location Map





Elizabeth E. Johnson, RA RA408221 PHILA CAL#: 802284

Issue	Issue For	Date
0	BUILDING SUBMISSION	03/14/25

## Rooftop Deck: Unique Photo 28 S. 2nd Street Philadelphia, PA

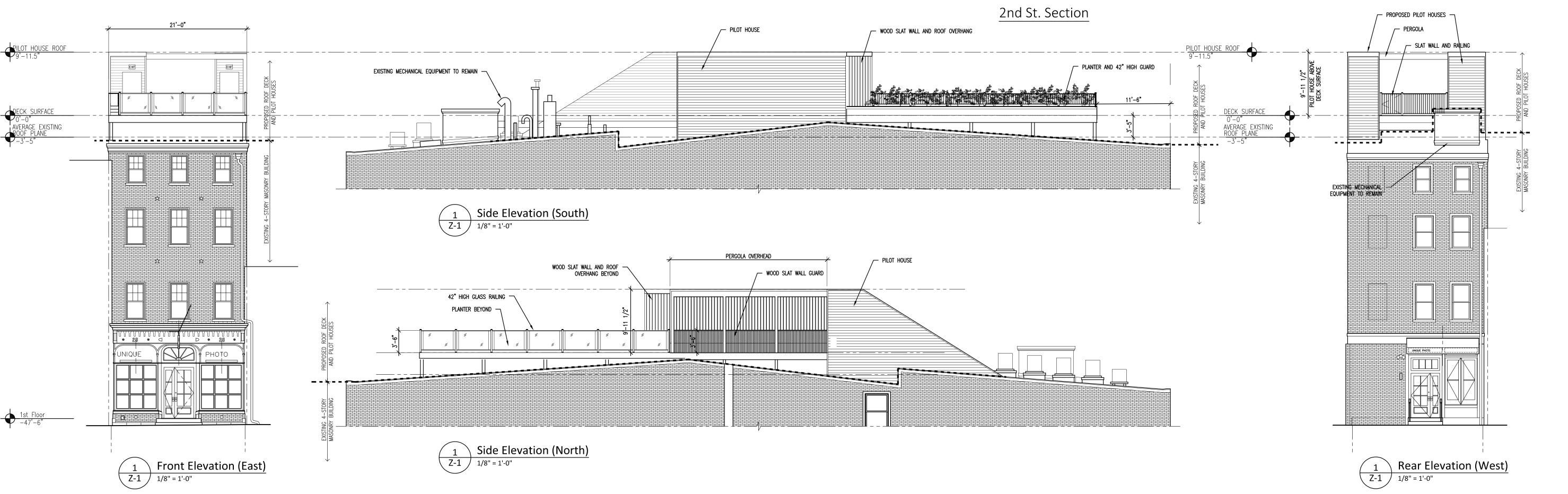
Project Number: 019.068

Date: February 25, 2025

Drawing Name:

Zoning and Cover Sheet

**A-0** 



#### DOOR SCHEDULE - FOURTH FLOOR DOORS

			DOORS				FRAME	DETAIL	FIRE	NOTES
DOOR TAG	ROOM#	DOOR SIZE	MANUFACTURER	TYPE	SWING	HDWR. PACKAGE	FRAME	SILL	RATING	NOTES
4.0	EXISTING OFFICE AREA #1 400	EXISTING	EXISTING	-	LEFT HINGE	-	-	-	-	REVERSE SWING ON EXISTING DOOR AS ILLUSTRATED IN PROPOSED PLAN A-2.0
4.1)	NEW STAIR R02	3'-0" X 7'-0"	-	А	RIGHT HINGE	H1 PASSAGE	TYPE 3	TYPE 1	-	-
4.2	NEW STAIR R03	EXISTING	EXISTING	-	-	-	-	ī	ı	RELOCATE EXISTING DOOR AS ILLUSTRATED IN PROPOSED PLAN A-2.0.
4.3	NEW STAIR R02	3'-0" X 7'-0"	-	А	RIGHT HINGE	H1 PASSAGE	TYPE 4	TYPE 3	-	-
4.4	NEW STAIR R03	3'-0" X 7'-0"	-	А	LEFT HINGE	H1 PASSAGE	TYPE 4	TYPE 3	-	-

#### NEW DOORS:

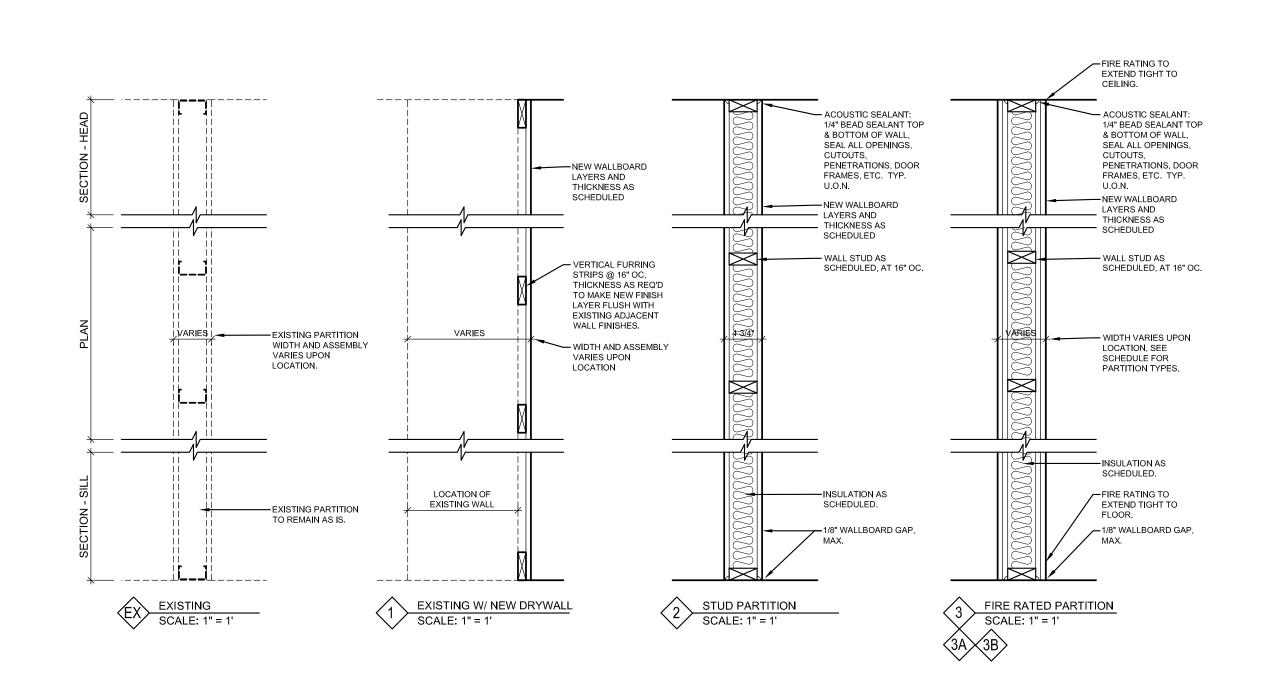
- \*1. FRAMING OF NEW DOORS: VERIFY ALL ROUGH OPENINGS AND SIZES PER MANUFACTURER.
- CONTRACTOR TO VERIFY AND COORDINATE ALL EXISTING CONDITIONS AND NOTE ANY DISCREPANCIES OR MODIFICATIONS TO ARCHITECT PRIOR TO ORDERING WINDOWS AND

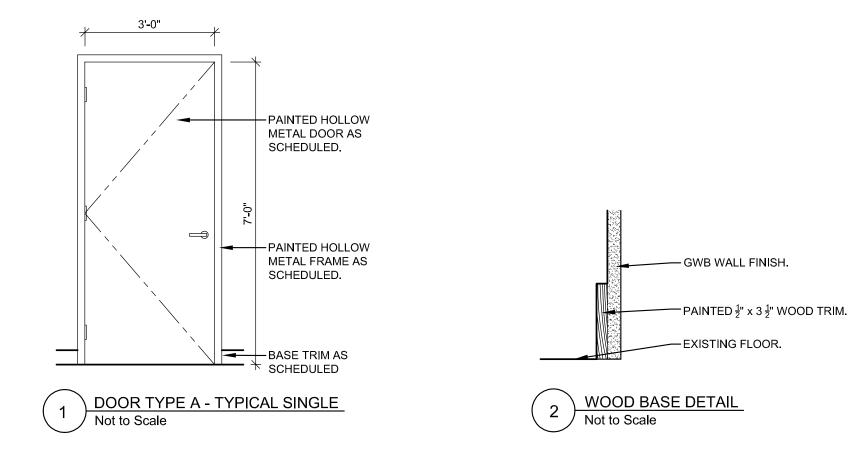
2.EXTERIOR DOORS TO BE INSTALLED, FLASHED, AND SEALED AS PER MANUFACTURER'S

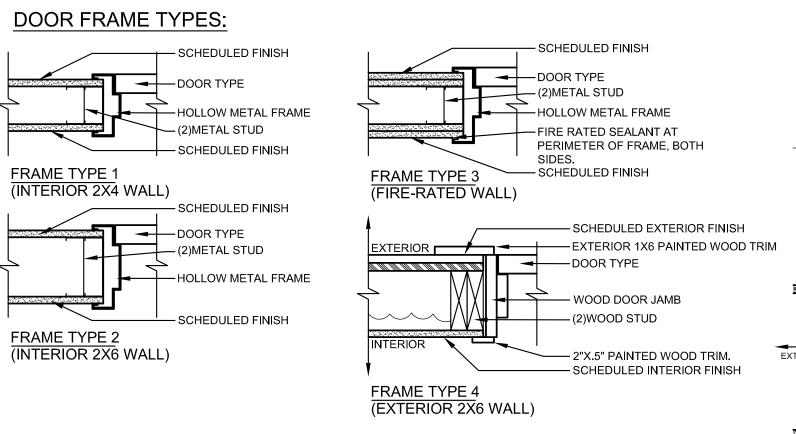
INSTRUCTIONS AND SPECIFICATIONS.

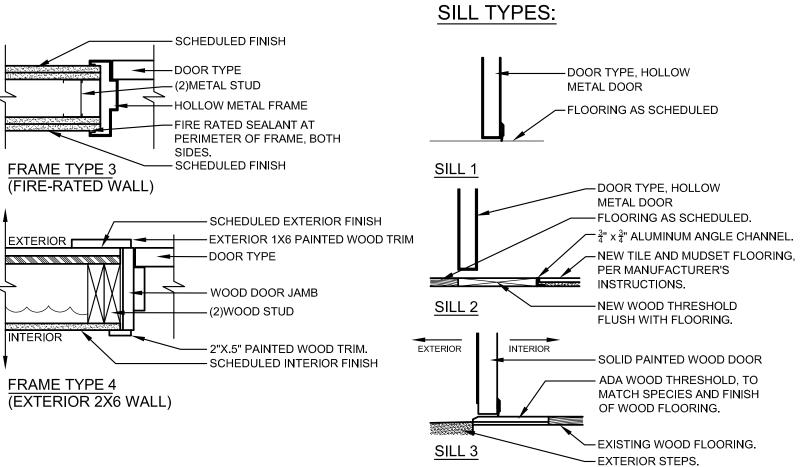
DOOR H	ARDWARE SCHEDULE:			
PACKAGE	DESCRIPTION	MANUFACTURER	MODEL	FINISH
	(1)HANDLE - NON-KEYED PASSAGE/PRIVATE	SCHLAGE	LATITUDE LEVER WITH COLLINS TRIM - 'FC21 LAT 619 COL'	STAIN NICKEL
H1	(3)HINGES	HAGAR	'AB750' HEAVY WEIGHT, 4.5" X 4.5"	PRIMED
пі	(1)DOOR STOP	ASSA ABLOY	'ROCKWOOD 446'	BSP
	(3)DOOR SILENCER	ASSA ABLOY	'ROCKWOOD 608-RKW'	GREY RUBBER
	(1)HANDLE - KEYED ENTRY LOCK	SCHLAGE	LATITUDE LEVER WITH COLLINS TRIM - 'F51 LAT 619 COL'	SATIN NICKEL
H2	(3)HINGES	HAGAR	'AB750' HEAVY WEIGHT, 4.5" X 4.5"	PRIMED
ПZ	(1)DOOR STOP	ASSA ABLOY	ROCKWOOD 446	BSP
	(3)DOOR SILENCER	ASSA ABLOY	ROCKWOOD 608-RKW	GREY RUBBER
	(1)DOUBLE HANDLESET - NON-KEYED PASSAGE	SCHLAGE	RIGHT HAND & LEFT HAND - LATITUDE LEVER W/ COLLINS TRIM - 'FC10 LAT 619 COL'	SATIN NICKEL
H3	(6)HINGES	HAGAR	'AB750' HEAVY WEIGHT, 4.5" X 4.5"	PRIMED
	(2)DOOR STOP	ASSA ABLOY	ROCKWOOD 446	BSP
	(6)DOOR SILENCER	ASSA ABLOY	ROCKWOOD 608-RKW	GREY RUBBER

PART	TITION T	YPES					
PARTITION NUMBER	STUD WIDTH	OVERALL WALL THICKNESS	FIRE RATING / UL DESIGN NO.		NO. LAYERS	INSULATION	NOTES
EX	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING PARTITION TO REMAIN; MAINTAIN EXISTING RATING; FINISH AS SCHEDULED
1	-		_	1/2"	0  1	EXISTING	INSTALL ON EXISTING RATED WALL, MAINTAIN EXISTING RATING; FINISH AS SCHEDULED
2	3 - 1/2"	4 - 1/2"	_	1/2"	1  1	SEE INSULATION NOTES	
3	3 - 1/2"	6"	2 HR / U419	5/8"	2  2	SEE INSULATION NOTES	TYPE-X GWB WALLBOARD
3A	3 - 1/2"	4 - 3/4"	2 HR / U419	5/8"	2  0	SEE INSULATION NOTES	TYPE-X GWB WALLBOARD WITHIN STAIR ENCLOSURE ONLY
3B	5 - 1/2"		2 HR / 11419	5/8"	2110	SEE INSULATION NOTES	TYPE-X GWB WALLBOARD WITHIN STAIR ENCLOSURE ONLY. EXTERIOR SHEATHING AND EXTERIOR CLADDING







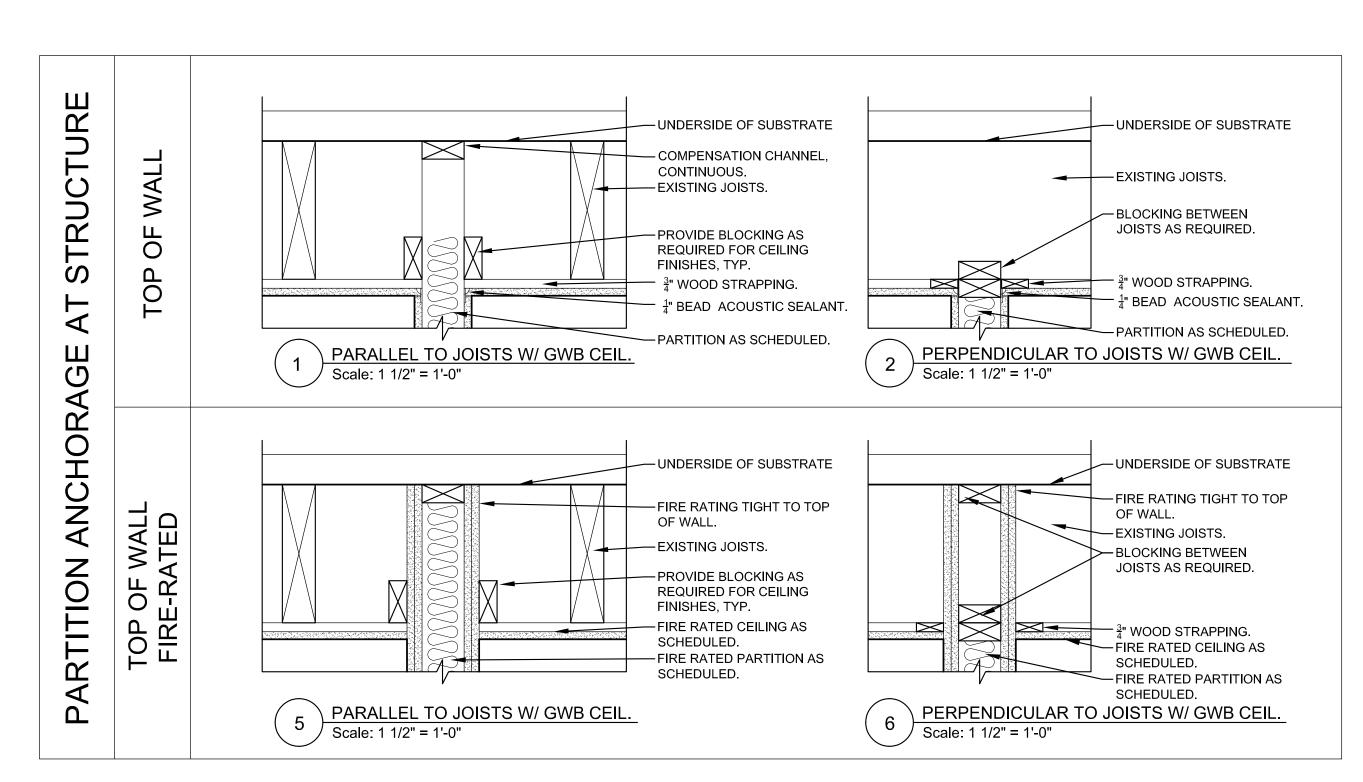


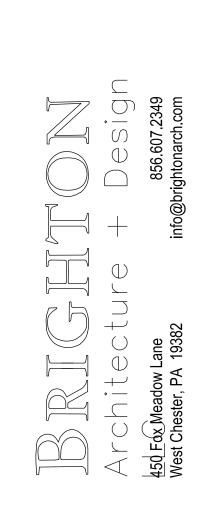
INSULA	ATION NOTES
EXTERIOR WALL	PROVIDE MEDIUM DENSITY SPRAYFOAM INSULATION, TO MAXIMUM R-30 VALUE.
INTERIOR WALL	MINERAL WOOL BATT INSULATION TO FILL STUD CAVITY, U.O.N.
ROOF	ALL LOCATIONS OF EXPOSED ROOF STRUCTURE, PROVIDE MEDIUM DENSITY SPRAYFOAM INSULATION, TO MAXIMUM R-40 VALUE.

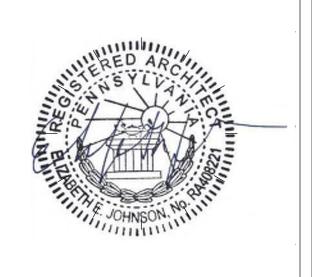
PARTITION NOTES:

1)REFER TO SHEET A-4.0 FOR BASE TRIM DETAILS.

2)PROVIDE FIRE STOPPING SYSTEM OF REQUIRED RATING AT TOP OF WALL.







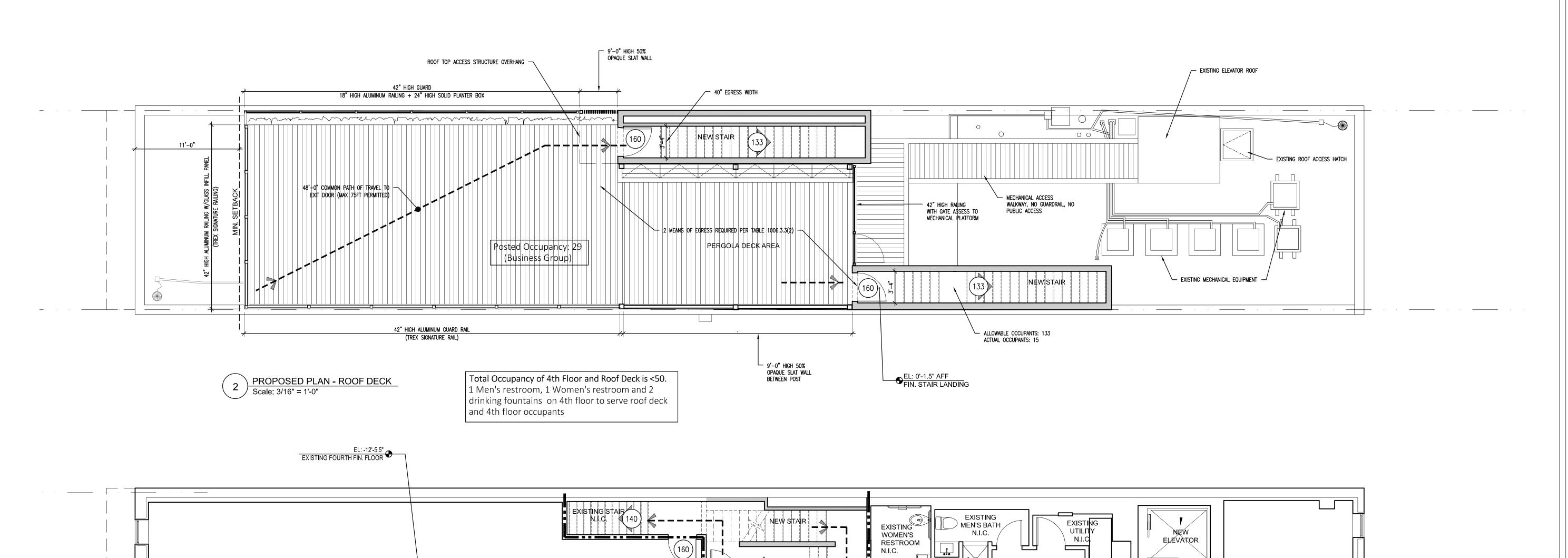
Elizabeth E. Johnson, RA RA408221 PHILA CAL#: 802284

Rooftop Deck: Unique Photo 28 S. 2nd Street

Philadelphia, PA

Project Number: 019.068 Date: February 25, 2025

Drawing Name: Schedules and Partition Types



2 HOUR FIRE RATED STAIR ENCLOSURE

TO BE CONTIGUOUS TO EXISTING)

(NEW STAIR ENCLOSURE AND FIRE RATING

EXISTING

OFFICE AREA 2

PROPOSED PLAN - FOURTH FLOOR

**EXISTING** 

OFFICE AREA 1

Total Occupancy: 21 (Business Group)

EXISTING CL.

STAIR + + + + - - - - + - (125) STAIR

EXISTING

**EXISTING** 

PRIVATE OFFICE 3

N.I.C.

EXISTING CLOSET N.I.C.

RESIDENTIAL MIXED USE. THIS BUILDING DOES NOT QUALIFY FOR BONUS FLOOR AREA RATIO.

CONSTRUCTION TYPE: TYPE III A

YEAR CONSTRUCTED: 1860

ALTERATION AREA: 450 SF (4TH FLOOR)

OCCUPANCY TYPES: BASEMENT GROUP S 2,650 SF FIRST GROUP M 2,440 SF SECOND: GROUP M 2,500 SF THIRD: GROUP B FOURTH GROUP B **ROOF DECK** 

(220) OCCUPANT CAPACITY (STAIRS) (160) OCCUPANT CAPACITY (DOORS)

International Fire Code.

International Plumbing Code.

International Mechanical Code.

building placement regulations.

International Fuel Gas Code.

LEGEND:

EGRESS ROUTE

EGRESS CAPACITY:

Philadelphia Property Maintenance Code: adopts

Philadelphia Mechanical Code: adopts the 2018

• Philadelphia Plumbing Code: adopts the 2018

Philadelphia Fuel Gas Code: adopts the 2018

Philadelphia Zoning Code: outlines land use and

1 HOUR CONSTRUCTION -----

2 HOUR CONSTRUCTION

the 2018 International Property Maintenance Code.

esign Architecture



Elizabeth E. Johnson, RA RA408221 PHILA CAL#: 802284

	Issue	Issue For	Date
	0	BUILDING SUBMISSION	03/05/25
	4		
APPLICABLE CODES:			
<ul> <li>Philadelphia Existing Building Code: adopts the 2018 International Existing Building Code with</li> </ul>			
local amendments.			
<ul> <li>Philadelphia Building Code: adopts the 2018 International Building Code.</li> </ul>			
• Philadelphia Electrical Code: aligns with the 2017 National Electric Code.			
• Philadelphia Energy Conservation Code: adopts the 2018 International Energy Conservation Code.			
Philadelphia Fire Code: adopts the 2018		<u>1</u>	

# Rooftop Deck: Unique Photo

28 S. 2nd Street Philadelphia, PA

Project Number: 019.068 Date: February 25, 2026

Drawing Name:

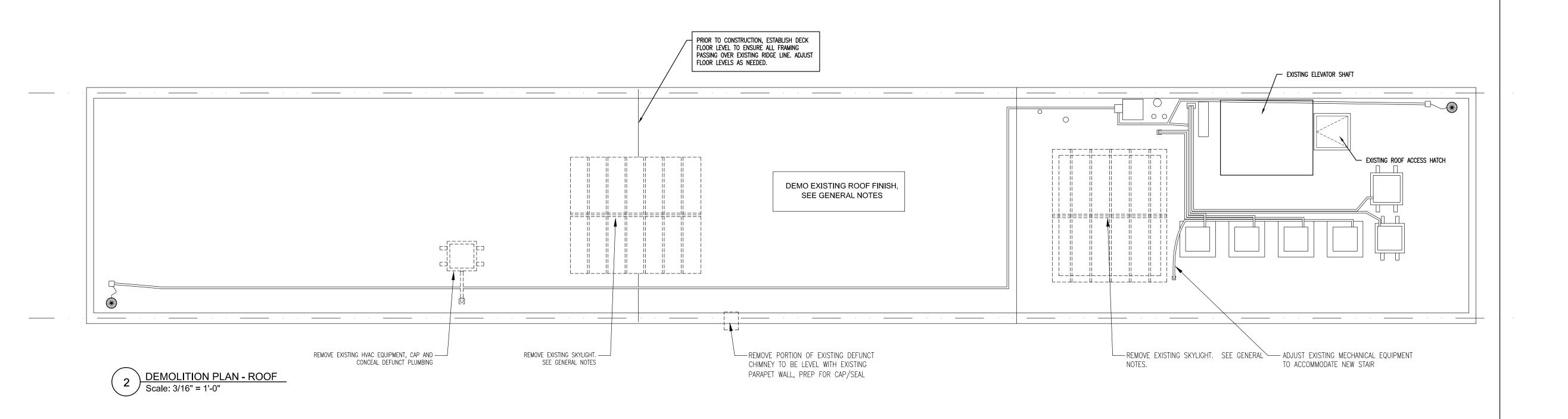
Code Compliance Plans

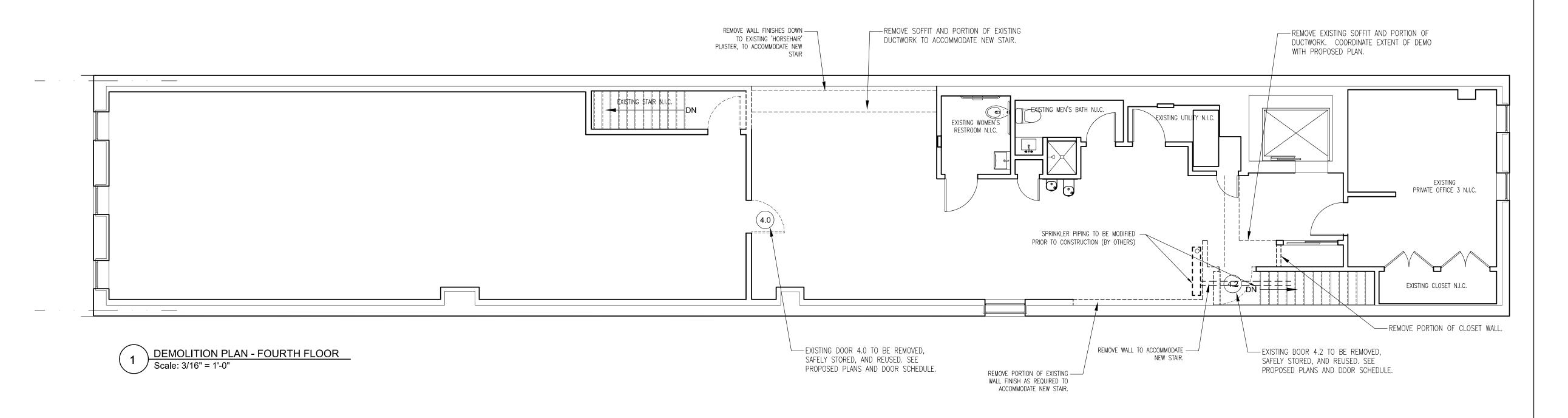
BUILDING INFORMATION: THE EXISTING 4-STORY BUILDING IS LOCATED AT 28 SOUTH SECOND STREET, WITHIN THE 'OLD CITY' NEIGHBORHOOD OF PHILADELPHIA. THE FRONT ENTRANCE IS LOCATED ON SOUTH SECOND STREET. THE REAR ENTRANCE IS LOCATED ON STRAWBERRY STREET. THE LOT AREA IS 2,772 SF.

THE BUILDING IS LOCATED IN ZONING DISTRICT CMX-3 (COMMUNITY COMMERCIAL AND

ADDITION AREA: 1,650 SF (ROOF DECK + PILOT HOUSES)

2,500 SF 2,500 SF 1,650 SF GROUP B





## DEMO NOTES:

1.ALL DEMOLITION WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY, AND MUNICIPAL CODES HAVING JURISDICTION.

2.THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO PERFORM THE WORK AND PAY FULL REQUIRED FEES.

3.THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS AND VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS TO REMAIN OR BE REMOVED. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONDITIONS WHICH VARY WITH THE DRAWINGS.

- 4.THE CONTRACTOR SHALL COORDINATE THE SEQUENCE OF DEMOLITION WITH ALL PROPOSED NEW CONSTRUCTION; AS SHOWN ON THE DRAWINGS AND NOTED IN THE SPECIFICATIONS.
- 5.THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING TO CARRY LOADS AND STRESSES WITHSTOOD BY ITEMS REMOVED, AND BE RESPONSIBLE FOR ADEQUACY OF SUCH CONSTRUCTION, AS WELL AS FOR ANY DAMAGE TO EXISTING BUILDING. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SEEKING DESIGN OF SHORING AND BRACING AS REQUIRED BY A STRUCTURAL ENGINEER FOR ALL AREAS OF DEMOLITION IN QUESTION.

6.PROCEED WITH DEMOLITION SYSTEMATICALLY, COORDINATE DEMOLITION WITH CONSTRUCTION TO REMAIN. DEMOLISH IN CONTAINED AREAS AND AVOID OVERLOADING EXISTING STRUCTURE AND UTILITIES TO REMAIN.

7.THE SCOPE OF DEMOLITION AND REMOVAL SHALL NOT BE LIMITED BY THESE DRAWINGS AND SPECIFICATIONS BUT SHALL INCLUDE ANY AND ALL WORK NECESSARY TO FACILITATE NEW CONSTRUCTION. HOWEVER, DEMOLITION THAT IS NOT REQUIRED FOR NEW CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO CHARGE TO THE OWNER.

8.THE CONTRACTOR SHALL PROTECT ALL ADJACENT AREAS TO REMAIN AND MAINTAIN ALL POINTS OF ACCESS AND OPERATIONS AT ALL TIMES. PROVIDE TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY LAW AND/OR NOTED IN THE SPECIFICATIONS.

9.THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING UTILITY SERVICES TO REMAIN. THE CONTRACTOR SHALL NOTIFY AND COORDINATE ANY UTILITY COMPANIES 48 HOURS IN ADVANCE OF STARTING WORK. THE CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION/ALARM REMOVALS WITH THE OWNERSHIP AND THEIR REPRESENTATIVES.

10.THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE FINAL DISPOSITION, RE-USE AND/OR SALVAGE OF ANY ITEMS, EQUIPMENT AND MATERIAL SCHEDULED FOR REMOVAL.

## GENERAL NOTES:

1.REMOVE EXISTING FOURTH FLOOR SKYLIGHTS. BRACE AND SHORE OPENING AS REQUIRED. PREP EXISTING OPENING FOR NEW WOOD STRUCTURAL INFILL. SEE PROPOSED PLANS AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.

2.REMOVE ALL ROOF FINISHES DOWN TO EXISTING ROOF SUBSTRATE.
COORDINATE WITH OWNER ON EXTENT OF WORK. REPLACE ALL AREAS OF
ROTTEN OR DAMAGED ROOF SUBSTRATE. PREP FOR ALL NEW ROOFING, SEE
A-2.0 FOR MORE INFORMATION.

3.SELECTED EXISTING DOORS TO BE REMOVED OR SALVAGED FOR REUSE AS SCHEDULED IN PROPOSED PLANS.

## WALL LEGEND:

EXISTING PARITIONS TO REMAIN

WALLS AND ITEMS TO BE REMOVED, INCLUDING BUT NOT LIMITED TO FIXTURES, FINISHES, CABINETS, DOORS, WINDOWS

| Solution | Solution



Elizabeth E. Johnson, RA RA408221 PHILA CAL#: 802284

Issue	Issue For	Date
0	BUILDING SUBMISSION	03/14/2

Rooftop Deck: Unique Photo 28 S. 2nd Street

Philadelphia, PA

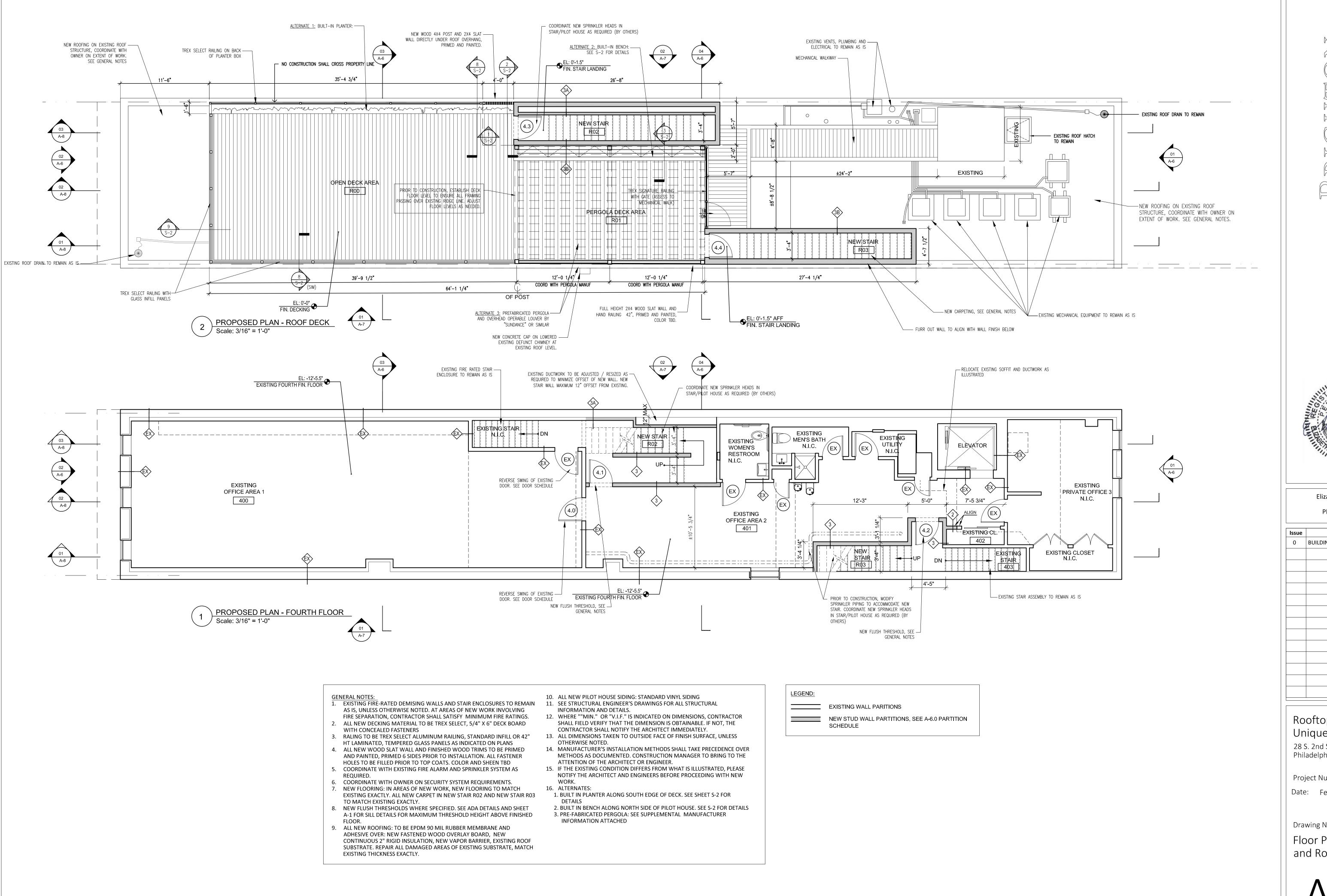
Project Number: 019.068

Date: February 25, 2025

Drawing Name:

Demolition Plans

**A-3** 





Elizabeth E. Johnson, RA RA408221 PHILA CAL#: 802284

Issue	Issue For	Date
0	BUILDING SUBMISSION	03/14/2

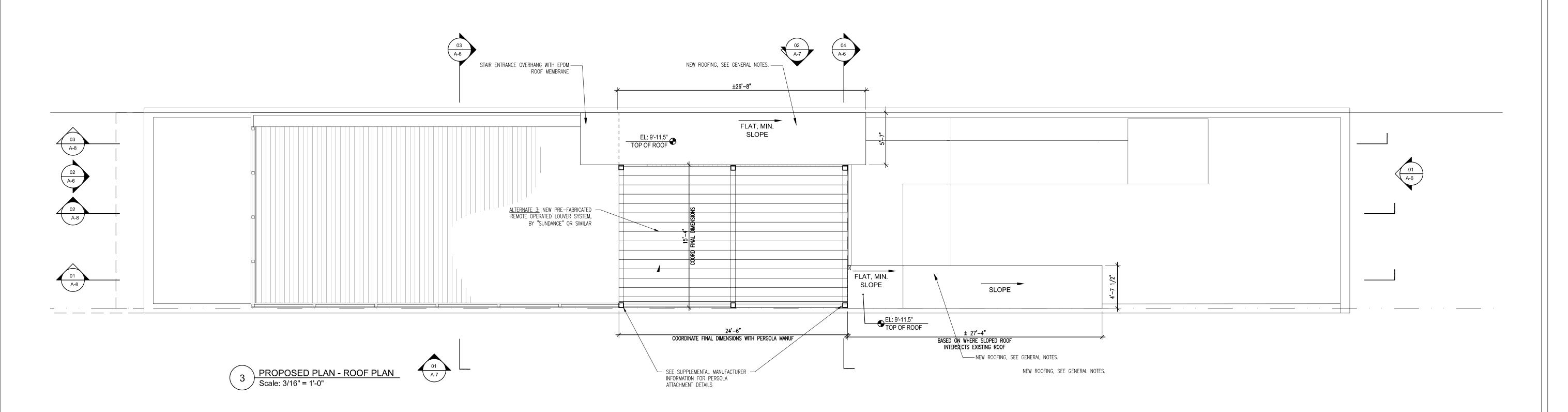
# Rooftop Deck: Unique Photo

28 S. 2nd Street Philadelphia, PA

Project Number: 019.068 Date: February 25, 2025

Drawing Name:

Floor Plans: 4th Floor and Roof Deck



AS IS, UNLESS OTHERWISE NOTED. AT AREAS OF NEW WORK INVOLVING FIRE SEPARATION, CONTRACTOR SHALL SATISFY MINIMUM FIRE RATINGS. 2. ALL NEW DECKING MATERIAL TO BE TREX SELECT, 5/4" X 6" DECK BOARD

- WITH CONCEALED FASTENERS 3. RALING TO BE TREX SELECT ALUMINUM RAILING, STANDARD INFILL OR 42" 13. ALL DIMENSIONS TAKEN TO OUTSIDE FACE OF FINISH SURFACE, UNLESS
- HT LAMINATED, TEMPERED GLASS PANELS AS INDICATED ON PLANS 4. ALL NEW WOOD SLAT WALL AND FINISHED WOOD TRIMS TO BE PRIMED AND PAINTED, PRIMED 6 SIDES PRIOR TO INSTALLATION. ALL FASTENER HOLES TO BE FILLED PRIOR TO TOP COATS. COLOR AND SHEEN TBD
- 5. COORDINATE WITH EXISTING FIRE ALARM AND SPRINKLER SYSTEM AS REQUIRED. 6. COORDINATE WITH OWNER ON SECURITY SYSTEM REQUIREMENTS.
- 7. NEW FLOORING: IN AREAS OF NEW WORK, NEW FLOORING TO MATCH EXISTING EXACTLY. ALL NEW CARPET IN NEW STAIR RO2 AND NEW STAIR RO3 TO MATCH EXISTING EXACTLY. 8. NEW FLUSH THRESHOLDS WHERE SPECIFIED. SEE ADA DETAILS AND SHEET
- 9. ALL NEW ROOFING: TO BE EPDM 90 MIL RUBBER MEMBRANE AND ADHESIVE OVER: NEW FASTENED WOOD OVERLAY BOARD, NEW CONTINUOUS 2" RIGID INSULATION, NEW VAPOR BARRIER, EXISTING ROOF SUBSTRATE. REPAIR ALL DAMAGED AREAS OF EXISTING SUBSTRATE, MATCH EXISTING THICKNESS EXACTLY.

A-1 FOR SILL DETAILS FOR MAXIMUM THRESHOLD HEIGHT ABOVE FINISHED

10. ALL NEW PILOT HOUSE SIDING: STANDARD VINYL SIDING

1. EXISTING FIRE-RATED DEMISING WALLS AND STAIR ENCLOSURES TO REMAIN 11. SEE STRUCTURAL ENGINEER'S DRAWINGS FOR ALL STRUCTURAL INFORMATION AND DETAILS.

> 12. WHERE ""MIN." OR "V.I.F." IS INDICATED ON DIMENSIONS, CONTRACTOR SHALL FIELD VERIFY THAT THE DIMENSION IS OBTAINABLE. IF NOT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.

OTHERWISE NOTED. 14. MANUFACTURER'S INSTALLATION METHODS SHALL TAKE PRECEDENCE OVER

ATTENTION OF THE ARCHITECT OR ENGINEER. 15. IF THE EXISTING CONDITION DIFFERS FROM WHAT IS ILLUSTRATED, PLEASE NOTIFY THE ARCHITECT AND ENGINEERS BEFORE PROCEEDING WITH NEW

METHODS AS DOCUMENTED. CONSTRUCTION MANAGER TO BRING TO THE

16. ALTERNATES: 1. BUILT IN PLANTER ALONG SOUTH EDGE OF DECK. SEE SHEET S-2 FOR

DETAILS 2. BUILT IN BENCH ALONG NORTH SIDE OF PILOT HOUSE. SEE S-2 FOR DETAILS 3. PRE-FABRICATED PERGOLA: SEE SUPPLEMENTAL MANUFACTURER INFORMATION ATTACHED

LEGEND:	
	EXISTING WALL PARITIONS
	NEW STUD WALL PARTITIONS, SEE A-6.0 PARTITION SCHEDULE



#### Elizabeth E. Johnson, RA RA408221 PHILA CAL#: 802284

Issue	Issue For	Date
0	BUILDING SUBMISSION	03/14/2

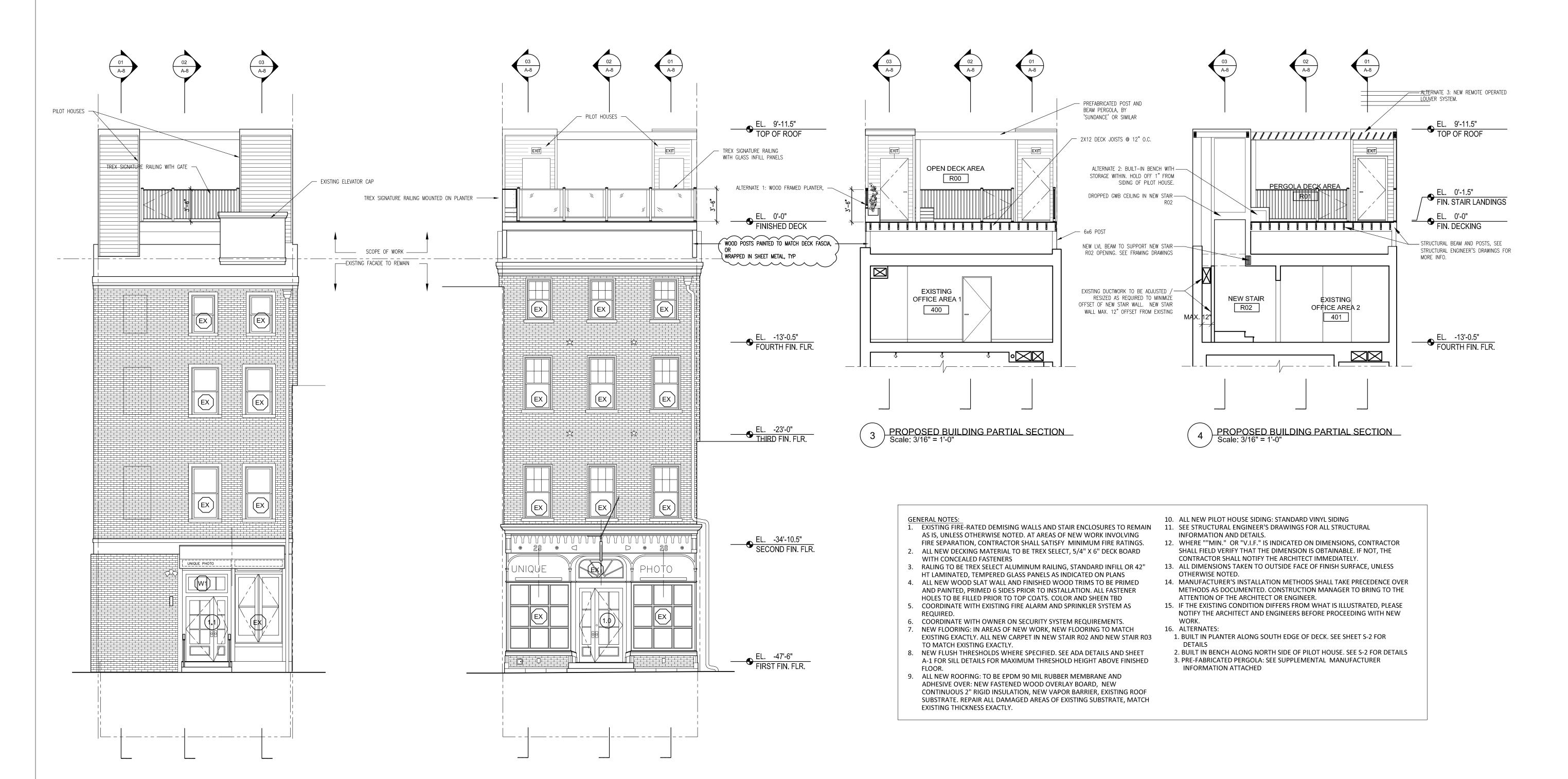
## Rooftop Deck: Unique Photo 28 S. 2nd Street

Philadelphia, PA

Project Number: 019.068 Date: February 25 2025

Drawing Name:

Floor Plans: Roof Deck Pergola



PROPOSED FRONT ELEVATION - EAST

PROPOSED REAR ELEVATION - WEST

Scale: 3/16" = 1'-0"

Architecture + Design LLC

West Chester, PA 19382 info@brightonarch.com



#### Elizabeth E. Johnson, RA RA408221 PHILA CAL#: 802284

Issue	Issue For	Date
0	BUILDING SUBMISSION	03/05/25
0.1	HISTORICAL COMMISSION	04/30/25

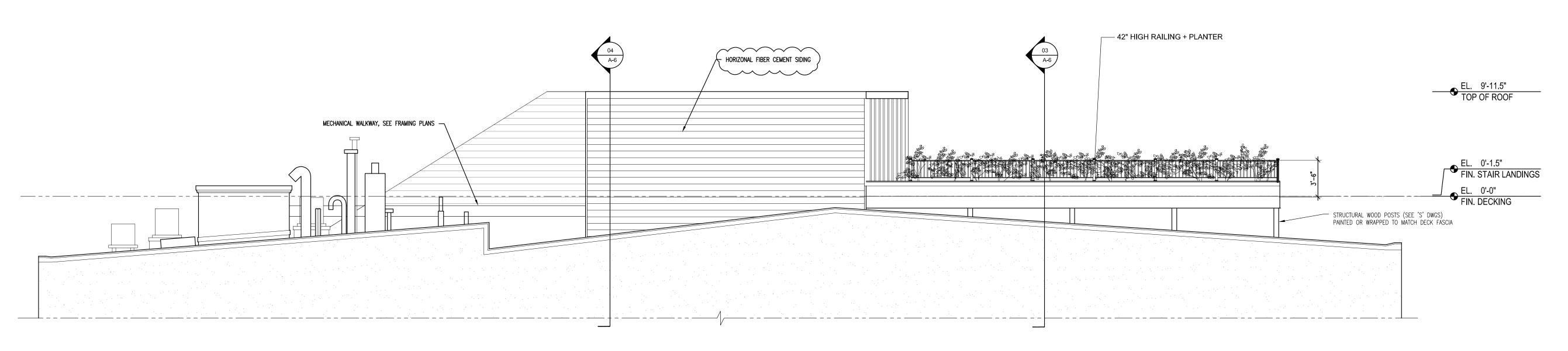
Rooftop Deck: Unique Photo 28 S. 2nd Street Philadelphia, PA

Project Number: 019.068

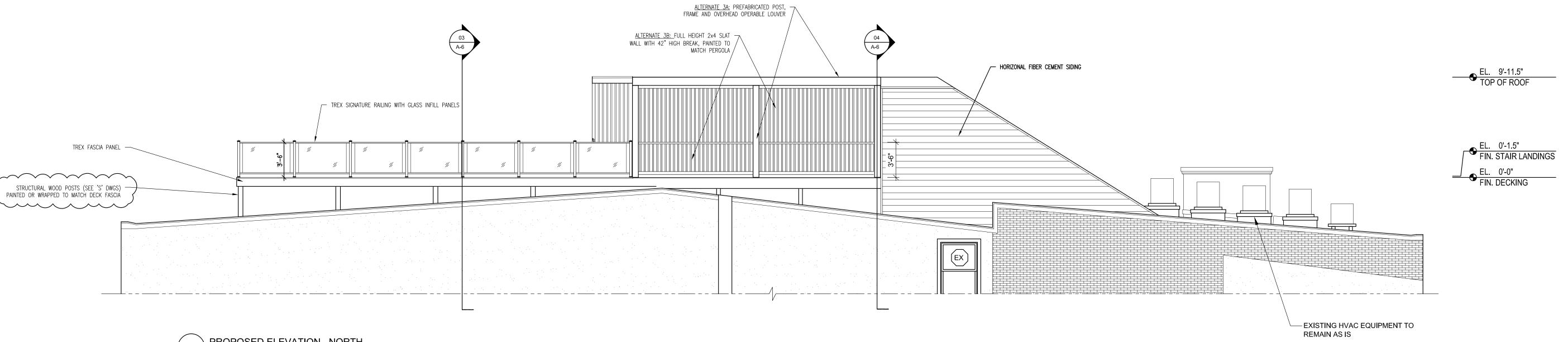
Date: February 25, 2025

Drawing Name:
Elevations and
Sections

A-6



PROPOSED ELEVATION - SOUTH 2 Scale: 3/16" = 1'-0"



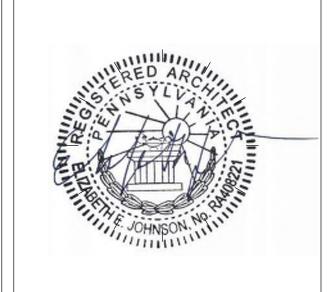
PROPOSED ELEVATION - NORTH
Scale: 3/16" = 1'-0"

EXISTING FIRE-RATED DEMISING WALLS AND STAIR ENCLOSURES TO REMAIN 11. SEE STRUCTURAL ENGINEER'S DRAWINGS FOR ALL STRUCTURAL AS IS, UNLESS OTHERWISE NOTED. AT AREAS OF NEW WORK INVOLVING FIRE SEPARATION, CONTRACTOR SHALL SATISFY MINIMUM FIRE RATINGS.

- 2. ALL NEW DECKING MATERIAL TO BE TREX SELECT, 5/4" X 6" DECK BOARD WITH CONCEALED FASTENERS 3. RALING TO BE TREX SELECT ALUMINUM RAILING, STANDARD INFILL OR 42" 13. ALL DIMENSIONS TAKEN TO OUTSIDE FACE OF FINISH SURFACE, UNLESS
- HT LAMINATED, TEMPERED GLASS PANELS AS INDICATED ON PLANS 4. ALL NEW WOOD SLAT WALL AND FINISHED WOOD TRIMS TO BE PRIMED AND PAINTED, PRIMED 6 SIDES PRIOR TO INSTALLATION. ALL FASTENER
- HOLES TO BE FILLED PRIOR TO TOP COATS. COLOR AND SHEEN TBD 5. COORDINATE WITH EXISTING FIRE ALARM AND SPRINKLER SYSTEM AS REQUIRED.
- COORDINATE WITH OWNER ON SECURITY SYSTEM REQUIREMENTS. NEW FLOORING: IN AREAS OF NEW WORK, NEW FLOORING TO MATCH EXISTING EXACTLY. ALL NEW CARPET IN NEW STAIR RO2 AND NEW STAIR RO3
- TO MATCH EXISTING EXACTLY. 8. NEW FLUSH THRESHOLDS WHERE SPECIFIED. SEE ADA DETAILS AND SHEET A-1 FOR SILL DETAILS FOR MAXIMUM THRESHOLD HEIGHT ABOVE FINISHED FLOOR.
- 9. ALL NEW ROOFING: TO BE EPDM 90 MIL RUBBER MEMBRANE AND ADHESIVE OVER: NEW FASTENED WOOD OVERLAY BOARD, NEW CONTINUOUS 2" RIGID INSULATION, NEW VAPOR BARRIER, EXISTING ROOF SUBSTRATE. REPAIR ALL DAMAGED AREAS OF EXISTING SUBSTRATE, MATCH EXISTING THICKNESS EXACTLY.

- 10. ALL NEW PILOT HOUSE SIDING: STANDARD VINYL SIDING
- INFORMATION AND DETAILS. 12. WHERE ""MIN." OR "V.I.F." IS INDICATED ON DIMENSIONS, CONTRACTOR SHALL FIELD VERIFY THAT THE DIMENSION IS OBTAINABLE. IF NOT, THE
- CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. OTHERWISE NOTED.
- 14. MANUFACTURER'S INSTALLATION METHODS SHALL TAKE PRECEDENCE OVER METHODS AS DOCUMENTED. CONSTRUCTION MANAGER TO BRING TO THE ATTENTION OF THE ARCHITECT OR ENGINEER.
- 15. IF THE EXISTING CONDITION DIFFERS FROM WHAT IS ILLUSTRATED, PLEASE NOTIFY THE ARCHITECT AND ENGINEERS BEFORE PROCEEDING WITH NEW WORK. 16. ALTERNATES:
- 1. BUILT IN PLANTER ALONG SOUTH EDGE OF DECK. SEE SHEET S-2 FOR DETAILS
- 2. BUILT IN BENCH ALONG NORTH SIDE OF PILOT HOUSE. SEE S-2 FOR DETAILS 3. PRE-FABRICATED PERGOLA: SEE SUPPLEMENTAL MANUFACTURER INFORMATION ATTACHED

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Elizabeth E. Johnson, RA RA408221 PHILA CAL#: 802284

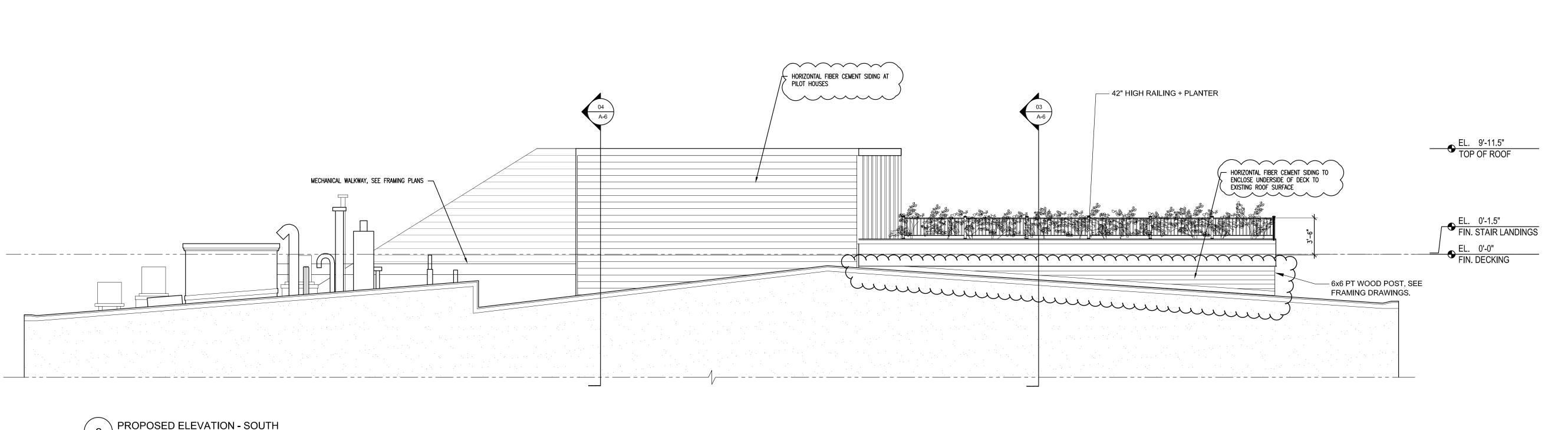
Issue	Issue For	Dat
0	BUILDING SUBMISSION	03/05/
0.1	HISTORICAL COMMISSION	04/30/
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Rooftop Deck: Unique Photo 28 S. 2nd Street

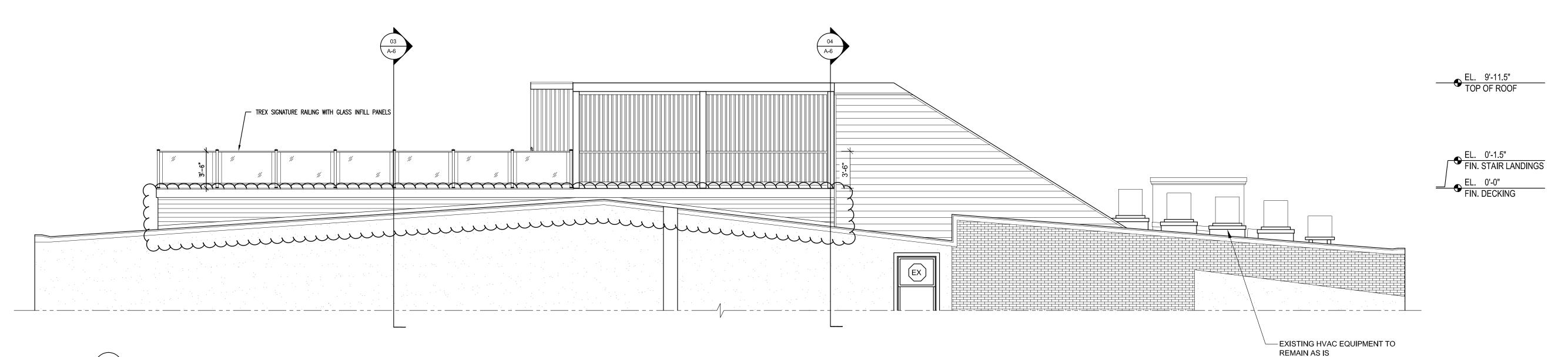
Philadelphia, PA

Project Number: 019.068 Date: February 25, 2025

Drawing Name: Elevations



PROPOSED ELEVATION - SOUTH Scale: 3/16" = 1'-0"



PROPOSED ELEVATION - NORTH
Scale: 3/16" = 1'-0"

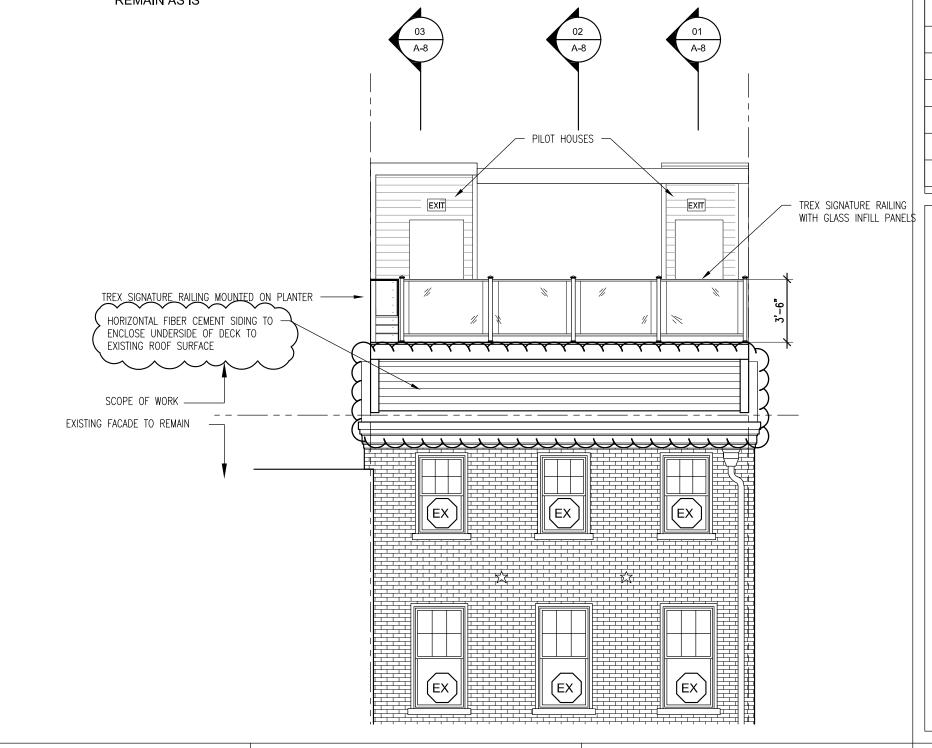
- **GENERAL NOTES:** EXISTING FIRE-RATED DEMISING WALLS AND STAIR ENCLOSURES TO REMAIN 11. SEE STRUCTURAL ENGINEER'S DRAWINGS FOR ALL STRUCTURAL AS IS, UNLESS OTHERWISE NOTED. AT AREAS OF NEW WORK INVOLVING FIRE SEPARATION, CONTRACTOR SHALL SATISFY MINIMUM FIRE RATINGS.
- WITH CONCEALED FASTENERS 3. RALING TO BE TREX SELECT ALUMINUM RAILING, STANDARD INFILL OR 42" HT LAMINATED, TEMPERED GLASS PANELS AS INDICATED ON PLANS

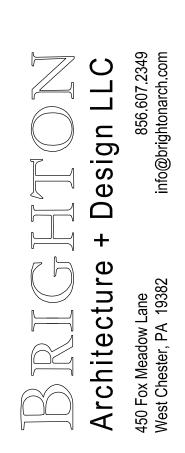
2. ALL NEW DECKING MATERIAL TO BE TREX SELECT, 5/4" X 6" DECK BOARD

- 4. ALL NEW WOOD SLAT WALL AND FINISHED WOOD TRIMS TO BE PRIMED AND PAINTED, PRIMED 6 SIDES PRIOR TO INSTALLATION. ALL FASTENER HOLES TO BE FILLED PRIOR TO TOP COATS. COLOR AND SHEEN TBD
- 5. COORDINATE WITH EXISTING FIRE ALARM AND SPRINKLER SYSTEM AS REQUIRED. COORDINATE WITH OWNER ON SECURITY SYSTEM REQUIREMENTS.
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- FLOOR. 9. ALL NEW ROOFING: TO BE EPDM 90 MIL RUBBER MEMBRANE AND ADHESIVE OVER: NEW FASTENED WOOD OVERLAY BOARD, NEW CONTINUOUS 2" RIGID INSULATION, NEW VAPOR BARRIER, EXISTING ROOF SUBSTRATE. REPAIR ALL DAMAGED AREAS OF EXISTING SUBSTRATE, MATCH EXISTING THICKNESS EXACTLY.

A-1 FOR SILL DETAILS FOR MAXIMUM THRESHOLD HEIGHT ABOVE FINISHED

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#### Elizabeth E. Johnson, RA RA408221 PHILA CAL#: 802284

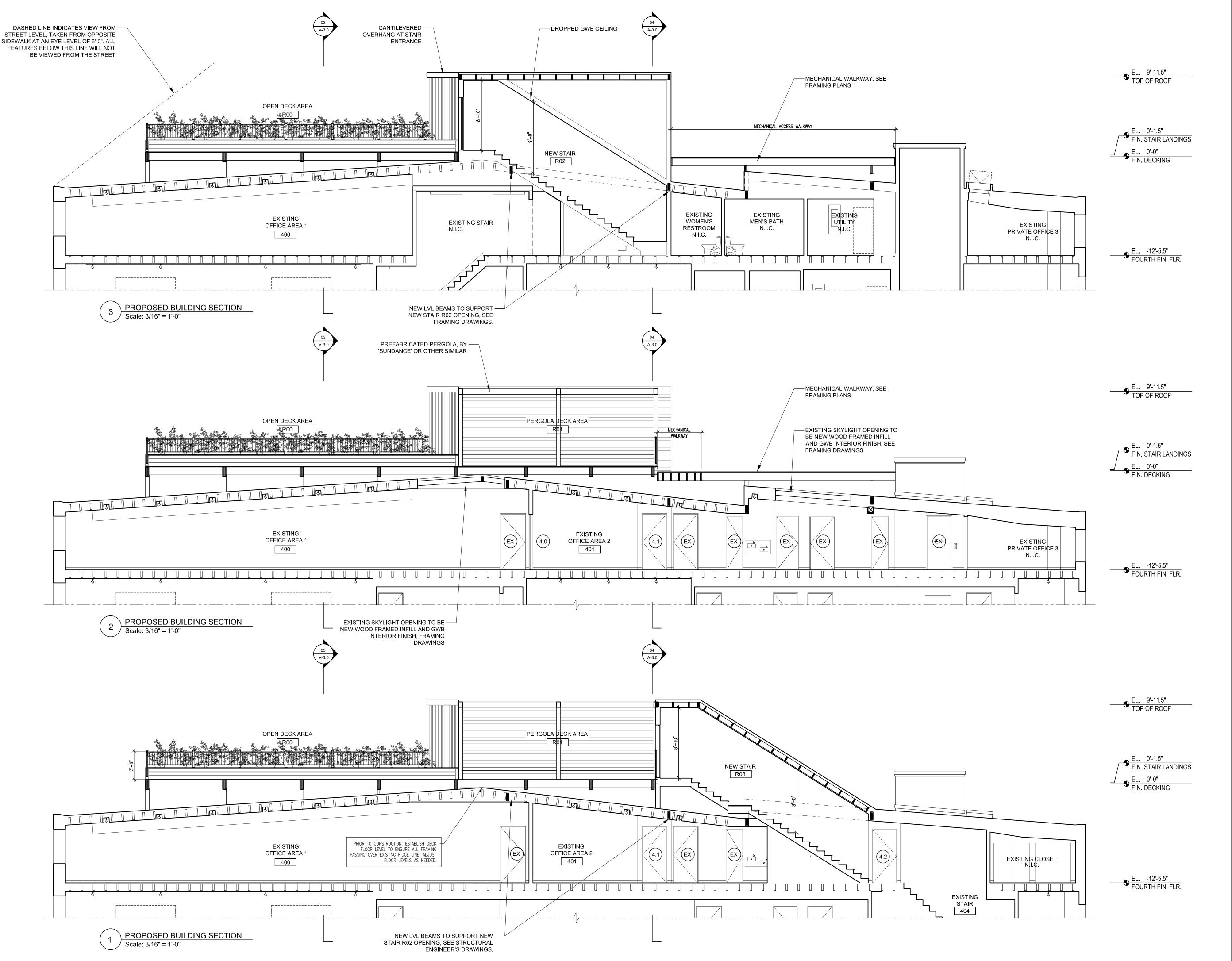
Issue	Issue For	Dat
0	BUILDING SUBMISSION	03/05/
0.1	HISTORICAL COMMISSION	04/30/

## Rooftop Deck: Unique Photo 28 S. 2nd Street

Philadelphia, PA

Project Number: 019.068 Date: February 25, 2025

Drawing Name: Elevations





#### Elizabeth E. Johnson, RA RA408221 PHILA CAL#: 802284

Issue	Issue For	Date
0	BUILDING SUBMISSION	03/14/25

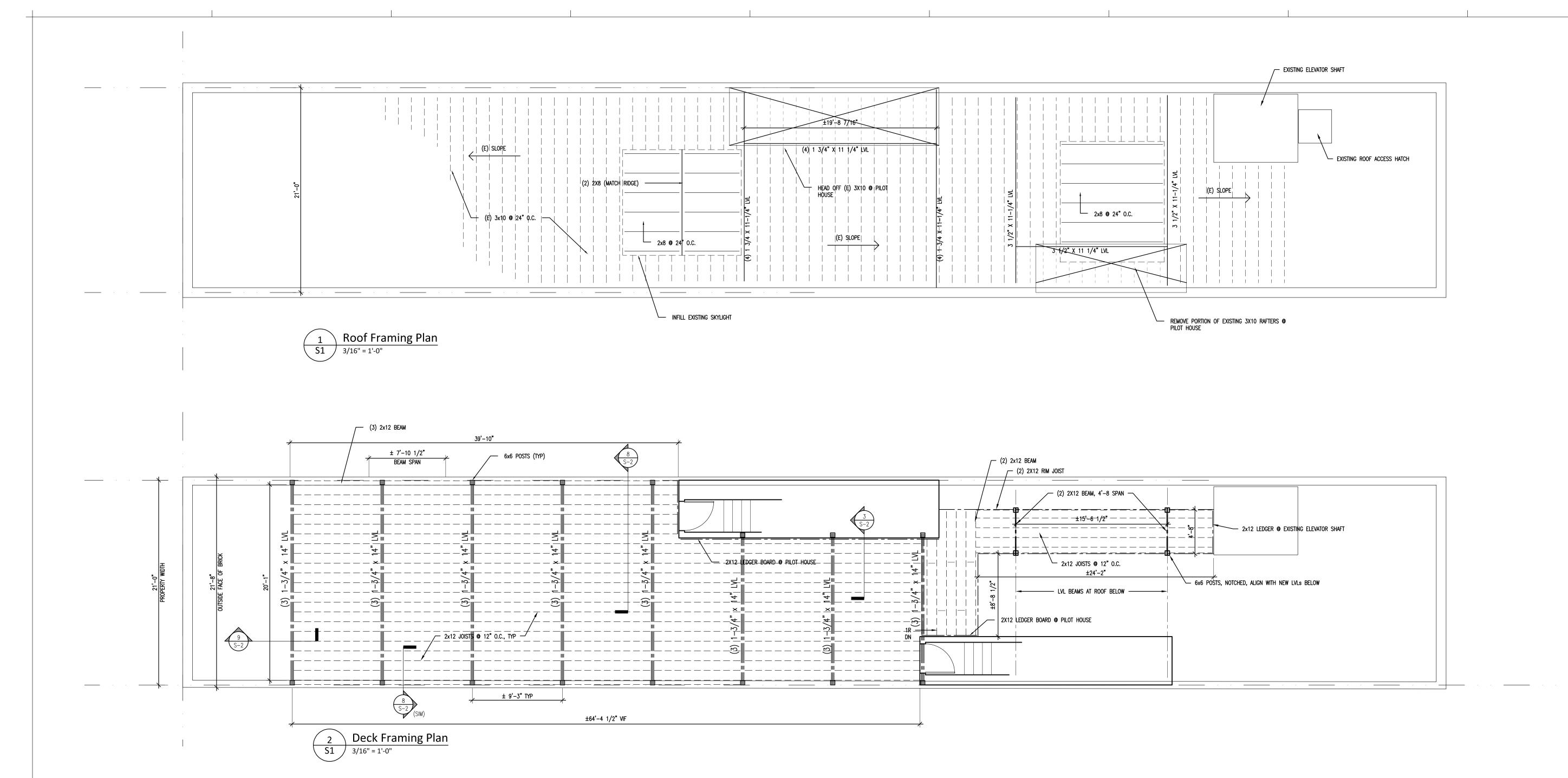
## Rooftop Deck: Unique Photo 28 S. 2nd Street Philadelphia, PA

Project Number: 019.068

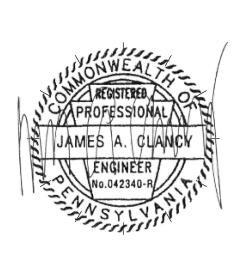
Date: February 25, 2025

Drawing Name:
Sections

**8-A** 



Unique Photo Roof Deck, Pergola and Pilot Houses 28 S. 2nd Street Philadelphia, PA 19106 Architecture + Design
West Chester, PA 19382 info@brightonarch.com



Issue	Issue For	Date
0	BUILDING SUBMISSION	03/14/25

Rooftop Deck: Unique Photo 28 S. 2nd Street Philadelphia, PA

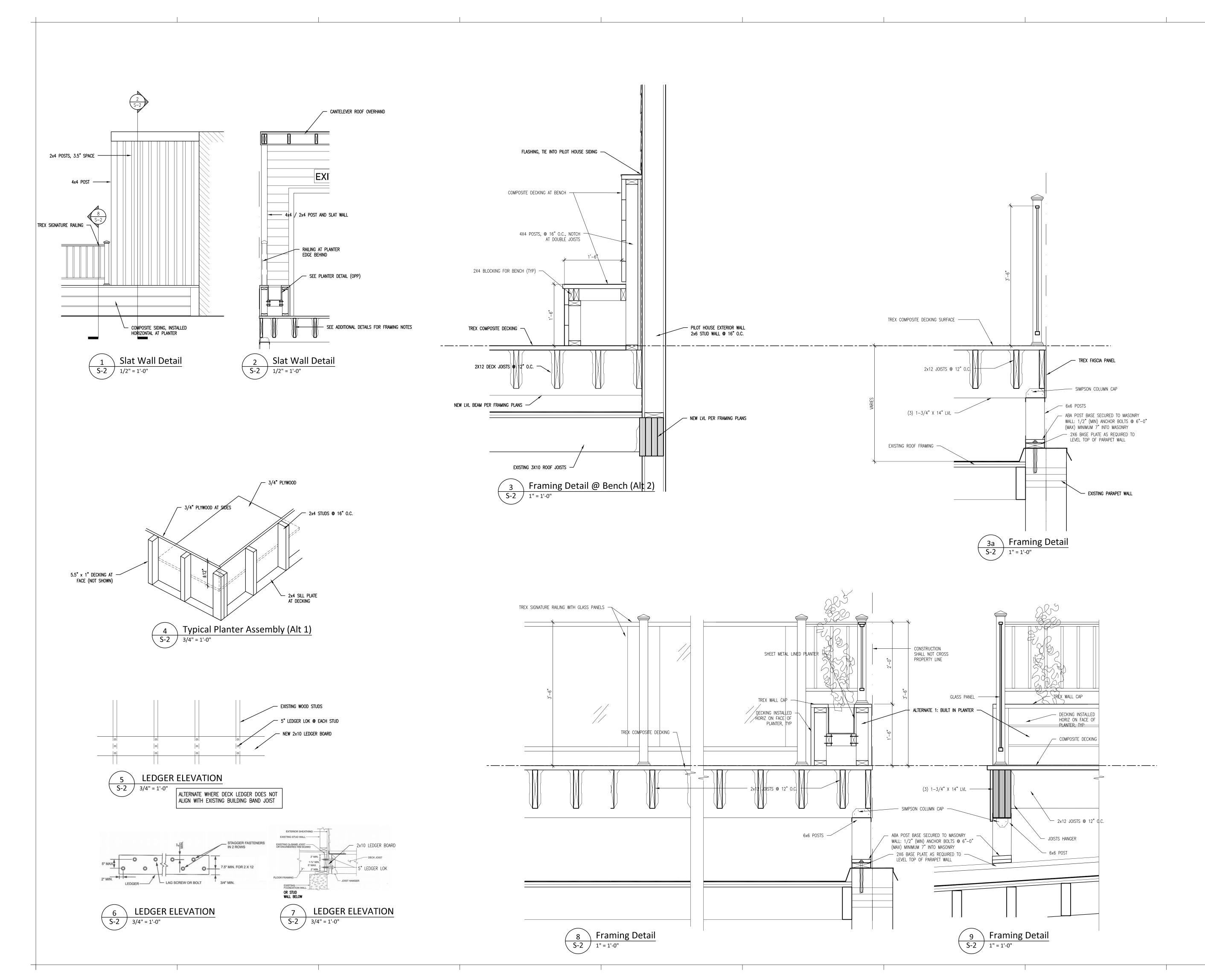
Project Number: 019.068

Date: February 25, 2025

Drawing Name:
Structural Framing

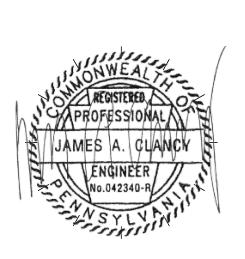
Plans and Details

S-1



Architecture + Design LLC

West Chester, PA 19382 info@brightonarch.com



Issue	Issue For	Date
0	BUILDING SUBMISSION	03/05/25

Rooftop Deck: Unique Photo 28 S. 2nd Street Philadelphia, PA

Project Number: 019.068

Date: February 25, 2025

Drawing Name:

Structural Framing Details

5-2











