

ADDRESS: 2211 AND 2213 PANAMA ST

Proposal: Construct fourth-story addition

Review Requested: Final Approval

Owner: Danielle Bendesky & Robert A Borski/Bhavik Patel & Ketki Soin

Applicant: David Sidoti, 3rdStoryPhilly

History: c. 1963

Individual Designation: None

District Designation: Rittenhouse Fidler Historic District, Non-contributing, 2/8/1995

Staff Contact: Alex Till, alexander.till@phila.gov

BACKGROUND: These applications propose to construct fourth-floor additions with roof decks on two adjacent rowhouses that were built in c. 1963 and are classified as non-contributing in the Rittenhouse-Fidler Historic District. Similar fourth-floor additions and roof decks were approved for 2225 Panama Street in 2019 and 2227 Panama Street in 2021. The currently proposed additions are designed by the same architect and identical, but the properties have different owners.

The additions and decks will be visible from the public right-of-way. The standard established by the Roofs Guideline, inconspicuousness, is not the standard that should be applied in this case because the properties are classified as non-contributing in the historic district. The inconspicuous standard is designed to protect historic buildings that contribute to districts. Additions and roof decks can be visible on non-historic buildings and new construction without adversely affecting their surrounds. Conspicuous additions and roof decks are generally prohibited on contributing buildings because they change the spatial characteristics of the historic buildings, and therefore the viewer's perceptions and understandings of those buildings. The question in this case is whether the additions and decks would adversely impact the historic district, not the buildings themselves, which have no historic value. In addition, these buildings are part of a row of non-contributing buildings that spans this side of the block and are relatively short and squat compared to the historic buildings around them. Adding height and mass will not adversely affect the surroundings. Even with the proposed additions, they will not be as tall as the surrounding historic buildings. The character of the environment will be protected.

SCOPE OF WORK:

- Construct a fourth-story rear addition on each house
- Construct a roof deck on each house

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
 - The buildings are not historic, so no historic materials would be destroyed with the construction of the additions and decks. The size, scale, proportions, and massing of the proposed additions and decks are compatible with the surroundings and will protect the integrity of the historic district.

STAFF RECOMMENDATION: Approval of the proposed additions and roof decks, pursuant to Standard 9.

IMAGES:

Figure 1: 1962 WPA Land Use Map showing the 2200 block of Panama St. Location of properties outlined in red. Lots were occupied by a garage as of 1962.

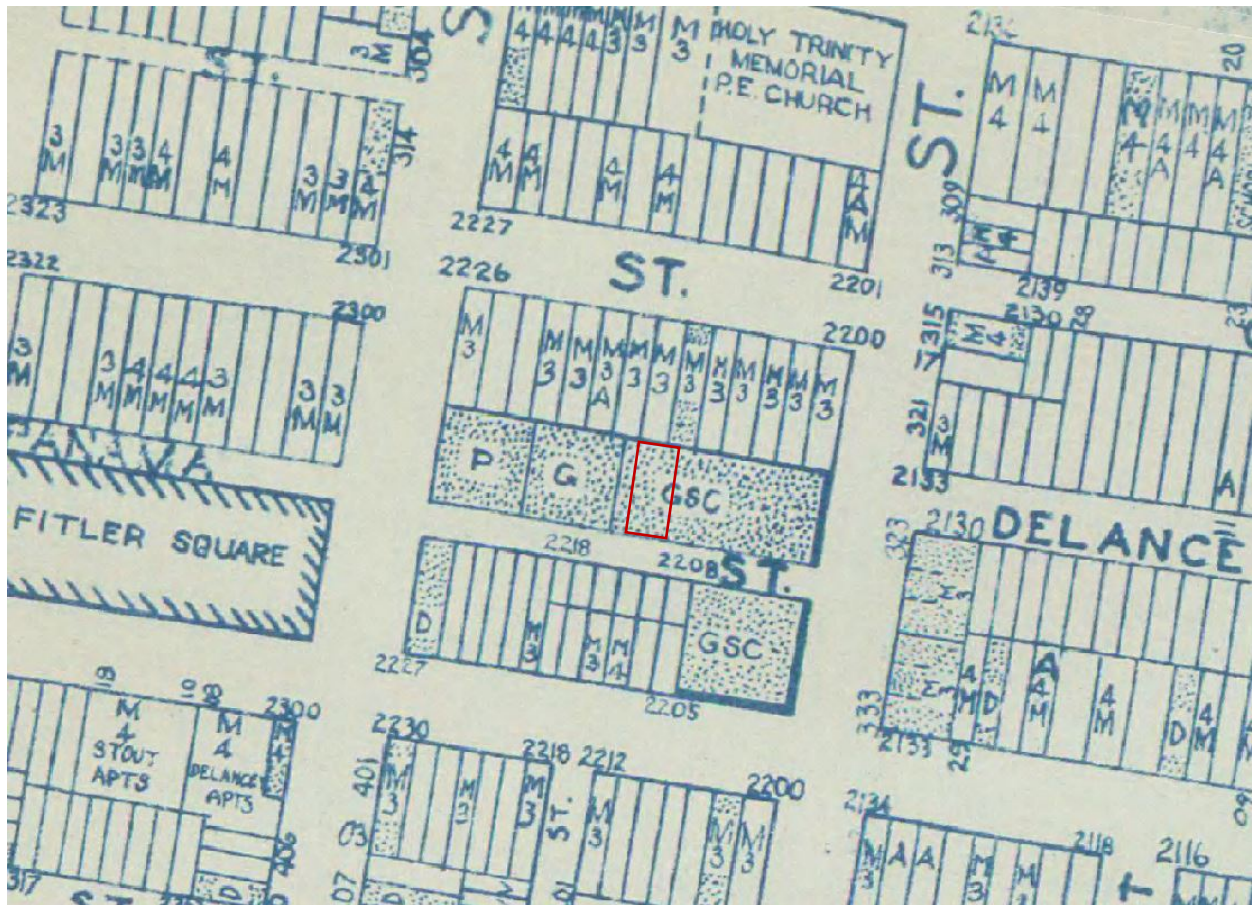


Figure 2: View looking down Panama St showing front façades of 2211 and 2213 Panama St:



Figure 3: Aerial view of 2200 block of Panama St showing 2211 and 2213 Panama St along with previously approved adion at 2225 and 2227, looking north:



Submission For Historic Review - 2211 Panama Street

From David Sidoti <david.3rdstory@gmail.com>

Date Mon 4/7/2025 4:01 PM

To preservation <preservation@Phila.gov>

Cc Phil <3rdStoryPhilly@gmail.com>; Samuel Turner <sturner@avlv.com>; Zachary Winters <zach.3rdstory@gmail.com>; Vinlong Ngorn <vngorn@avlv.com>; Jonathan Wallace <jwallace@avlv.com>

 2 attachments (7 MB)

2211 Panama St_Historic Review_4-7-25.pdf; Bldg_permit_App_2211 Panama St-1.pdf;

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Hello,

My name is David Sidoti, and I am reaching out to submit the required documents for a Historic Review for a 3rd story addition project at 2211 Panama St. This project will provide the owners with additional living space on a newly constructed floor, without needing to renovate the entire building.

Please find the attached documents for your review, and let us know if there is any additional information needed.

Thank you,
David Sidoti



David Sidoti / *Design Specialist*

717.449.0009

40 W. Evergreen Ave. | Suite 104

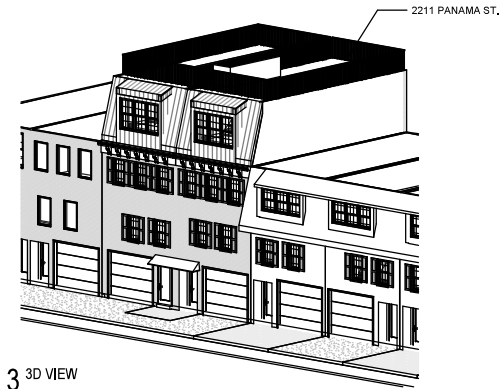
Philadelphia, PA 19118

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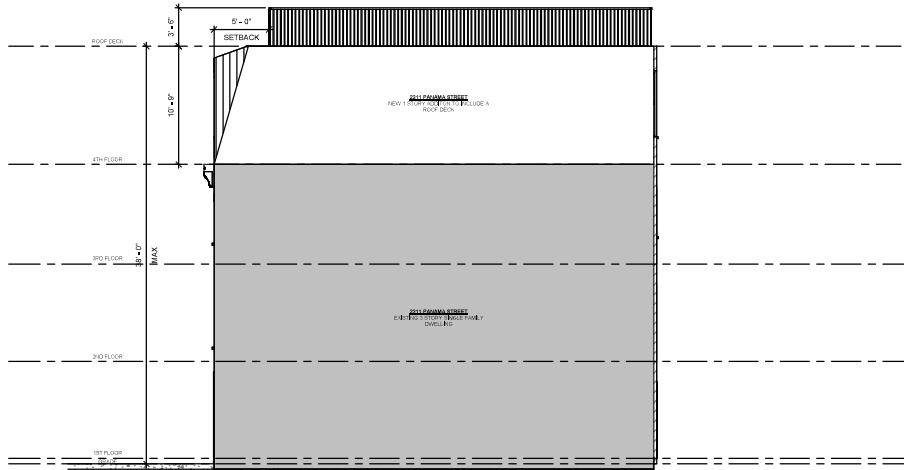


ZONING: RSA-5

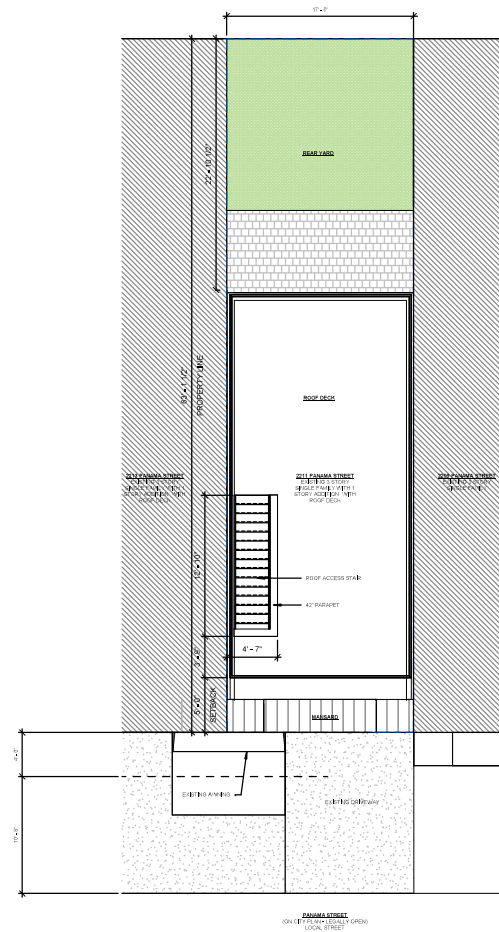
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ALLOWABLE BUILDING AREA	801 SF	100%
PROPOSED G.L. MAX AREA	NO CHANGE	NO CHANGE
MAX ALLOWABLE HEIGHT	35'-0"	
REAR YARD OPEN AREA	301 SF	20%
PROPOSED OPEN AREA	NO CHANGE	NO CHANGE
REAR YARD YARD	8'-0"	
PROPOSED YARD	NO CHANGE	



3 3D VIEW



1 ZONING SECTION
3'10" x 1'-0"



2 SITE PLAN
3'10" x 1'-0"

2211 PANAMA ST
PHILADELPHIA PA 19103



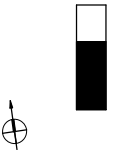
ARCHITECTURE | DEVELOPMENT

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PHILADELPHIA ARCHITECTURE@AVLV.COM

CONTRACTOR:
3RD STORY BUILDING
2100 MARKET STREET PHILADELPHIA PA 19104



KEYPLAN



4/7/25

ZONING & BUILDING PERMIT

REV #	DATE	DESCRIPTION

SEAL

	Project Number		
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DRAWING TITLE

ZONING & SITE PLAN

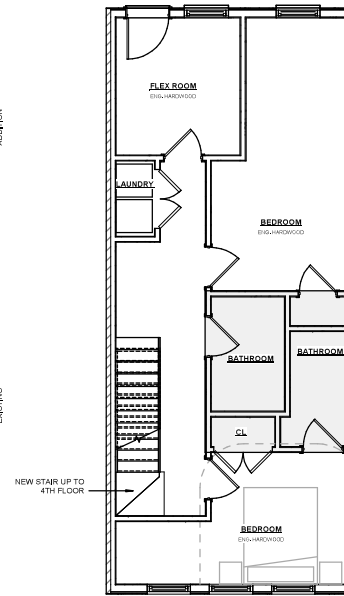
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G-002

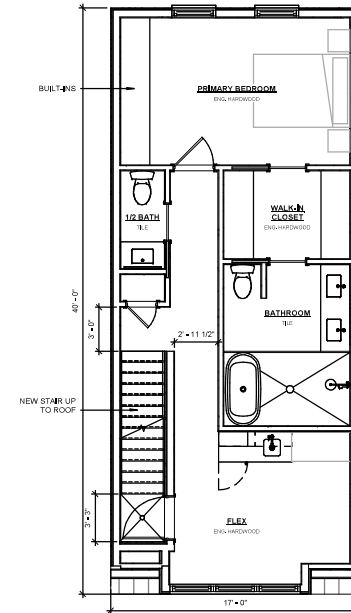


1 FRONT ELEVATION
1/4" = 1'-0"

2 REAR ELEVATION
1/4" = 1'-0"



3 3RD FLOOR PLAN
1/4" = 1'-0"



4 4TH FLOOR PLAN
1/4" = 1'-0"

2211 PANAMA ST
PHILADELPHIA PA 19103

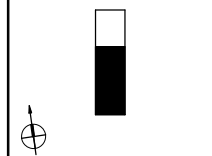


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KEYPLAN



4/7/25
ZONING & BUILDING PERMIT

REV #	DATE	DESCRIPTION

SEAL

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Drawn By: JW

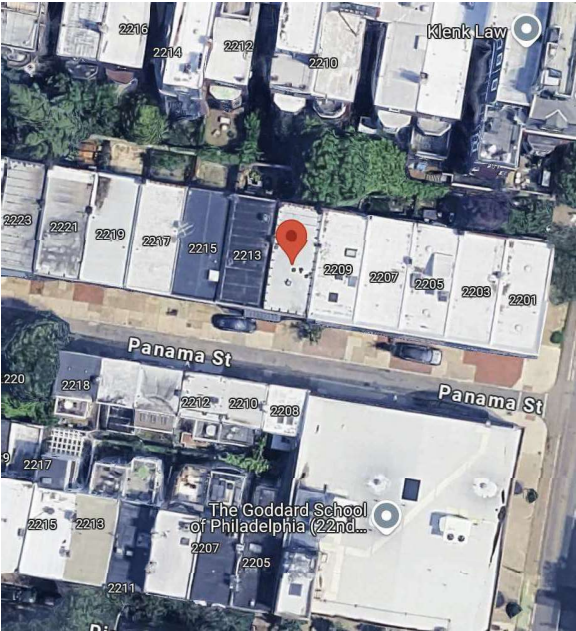
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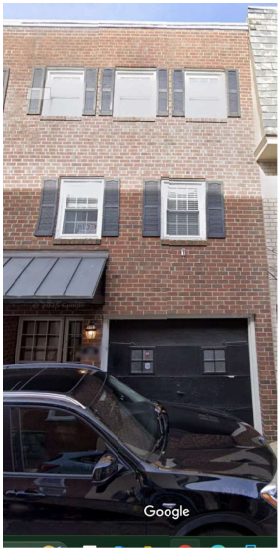
ELEVATIONS AND PLANS

DRAWING #

G-003



SITE VACINITY MAP



2211 PANAMA ST. @ FRONT



2211 PANAMA ST. FACING EAST



2211 PANAMA ST. FACING WEST



2225 PANAMA ST MANSARD ADDITION



2215 PANAMA ST REAR FACADE



2225 PANAMA ST REAR ADDITION



2225-2227 PANAMA ST MANSARD ADDITION

2211 PANAMA ST
PHILADELPHIA PA 19103



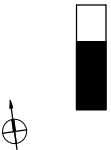
ARCHITECTURE | DEVELOPMENT

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PHILADELPHIA 3RDSTORYBUILDING.COM



KEYPLAN



4/7/25

ZONING & BUILDING PERMIT

REV #	DATE	DESCRIPTION

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DRAWN BY: JW

DRAWING TITLE

SITE CONTEXT

DRAWING #

G-004

Submission for Historic Review - 2213 Panama Street

From David Sidoti <david.3rdstory@gmail.com>

Date Mon 4/7/2025 4:01 PM

To preservation <preservation@Phila.gov>

Cc Phil <3rdStoryPhilly@gmail.com>; Samuel Turner <sturner@avlv.com>; Zachary Winters <zach.3rdstory@gmail.com>; Vinlong Ngorn <vngorn@avlv.com>; Jonathan Wallace <jwallace@avlv.com>

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Hello,

My name is David Sidoti, and I am reaching out to submit the required documents for a Historic Review for a 4th story addition project at 2213 Panama St. This project will provide the owners with additional living space on a newly constructed floor, without needing to renovate the entire building.

Please find the attached documents for your review, and let us know if there is any additional information needed.

Thank you,
David Sidoti



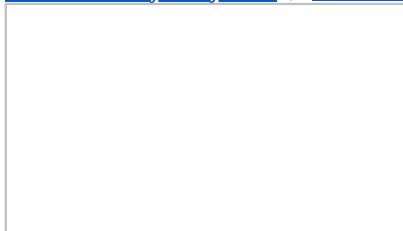
David Sidoti / *Design Specialist*

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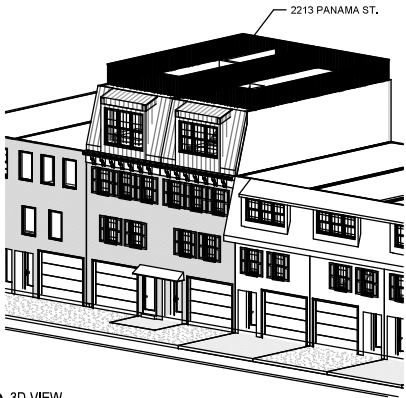
Philadelphia, PA 19118

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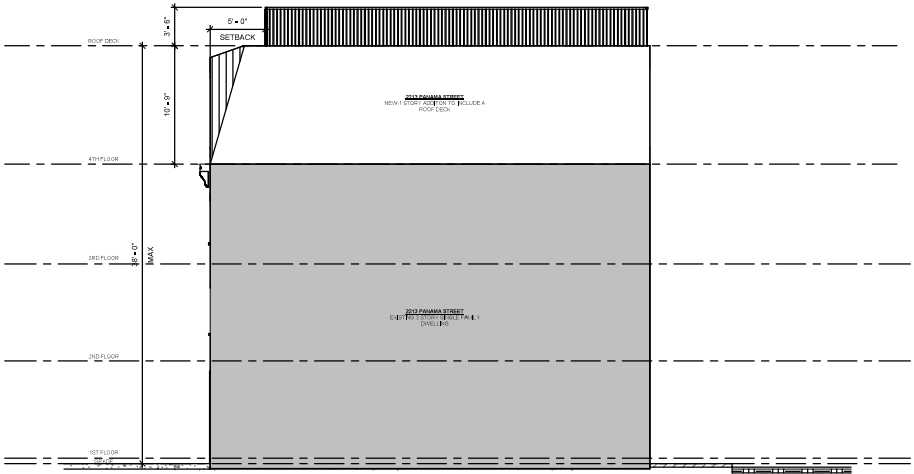


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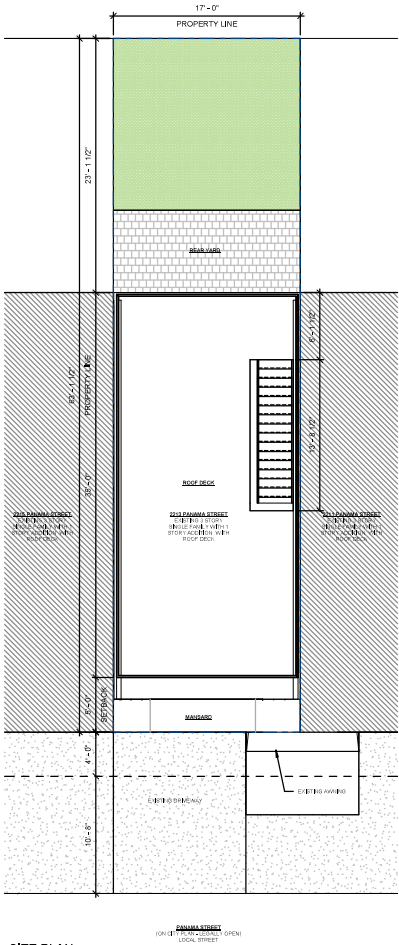
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3 3D VIEW



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3/16" = 1'-0"



2 SITE PLAN
3/16" = 1'-0"

2213 PANAMA ST
PHILADELPHIA PA 19103



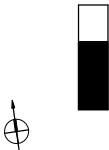
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PHILADELPHIA ARCHITECTURE@AVLV.COM

CONTRACTOR:
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2500 MARKET STREET PHILADELPHIA PA 19104



KEYPLAN



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ZONING & BUILDING PERMIT

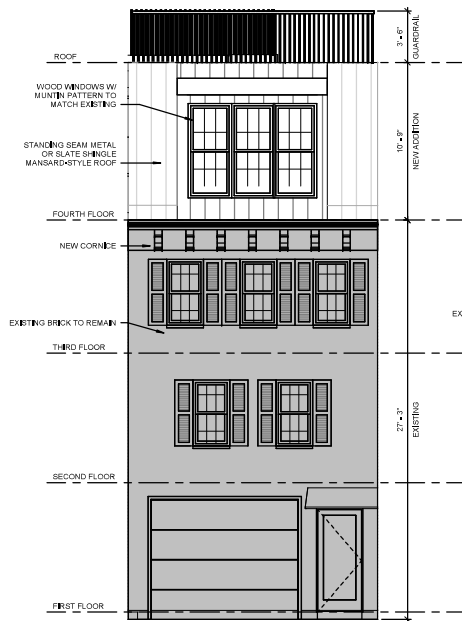
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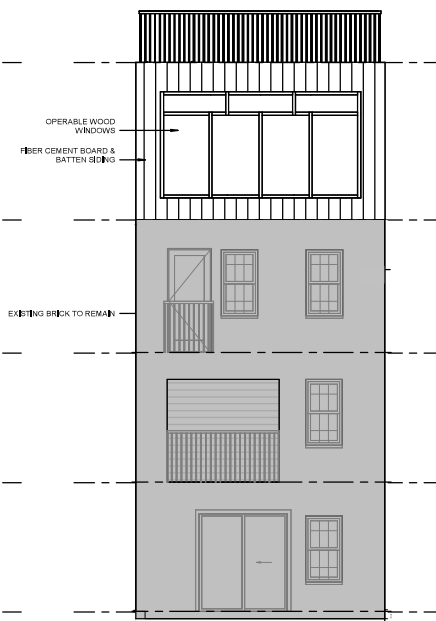
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ZONING & SITE PLAN

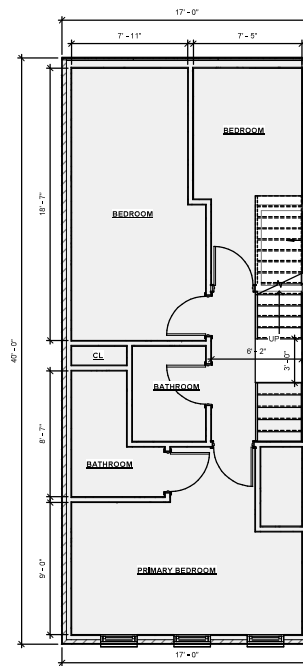
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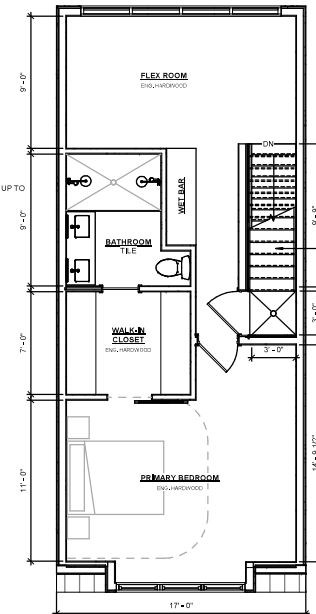
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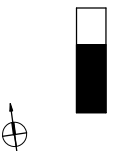
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PHILADELPHIA, PA 19103

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KEYPLAN



4/7/25
ZONING & BUILDING PERMIT

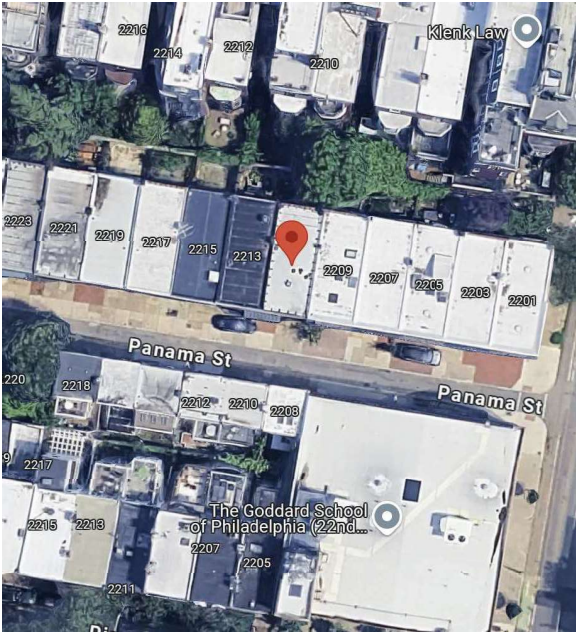
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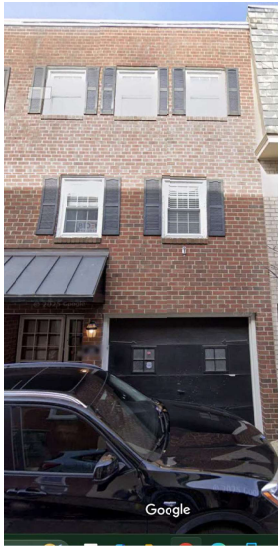
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DRAWING TITLE
ELEVATIONS AND PLANS

DRAWING #
G-003



SITE VACINITY MAP



2213 PANAMA ST. @ FRONT



2213 PANAMA ST. FACING EAST



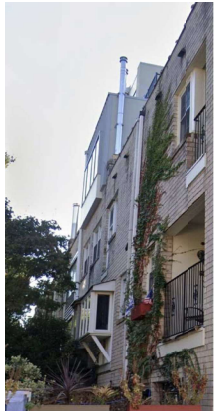
2213 PANAMA ST. FACING WEST



2225 PANAMA ST MANSARD ADDITION



2215 PANAMA ST REAR FACADE



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PHILADELPHIA PA 19103



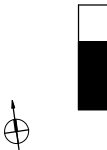
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CONTRACTOR:
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KEYPLAN



4/7/25

ZONING & BUILDING PERMIT

REV #	DATE	DESCRIPTION

SEAL

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DRAWING TITLE

SITE CONTEXT

DRAWING #

G-004