ADDRESS: 15-17 AND 19-25 S 2ND ST

Proposal: Construct three-story building Review Requested: Review and Comment

Owner: Tun Legacy Foundation, Inc.

Applicant: Roxanne Marshall, Wolfe Scott Associates, Inc.

History: Parking lot

Individual Designation: None

District Designation: Old City Historic District, Non-contributing, 12/12/2003

Staff Contact: Jon Farnham, jon.farnham@phila.gov

**OVERVIEW:** This application proposes to construct a three-story structure for use as a restaurant at 15-17 and 19-25 S. 2<sup>nd</sup> Street in the Old City Historic District. The site is currently a surface parking lot and is classified as non-contributing in the historic district. Therefore, the Historical Commission's jurisdiction over the undeveloped site is review-and-comment only, meaning that the Historical Commission and its advisory Architectural Committee may offer non-binding comments on the application at public meetings, but may not approve or deny it.

The design of the proposed restaurant structure is based on the historic Tun Tavern. The historic tavern was constructed in 1683 about 250 yards southeast of the site in question. The original Tun Tavern is associated with the founding of six prominent organizations, the US Marine Corps, US Navy, Pennsylvania Freemasons, Society of St. George, St. Andrew's Society, and the Friendly Sons and Daughters of St. Patrick. The historic tavern was demolished in 1781. The design of the new structure is based on a historic drawing of Tun Tavern. The new structure would be three stories tall, clad in brick, with a gabled section along 2<sup>nd</sup> Street and a more contemporary section at the rear. An open plaza would be located at the northwest corner of the site.

#### SCOPE OF WORK:

Construct a three-story building

#### STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- Standard 9: New additions, exterior alterations, or related new construction shall not
  destroy historic materials that characterize the property. The new work shall be
  differentiated from the old and shall be compatible with the massing, size, scale, and
  architectural features to protect the historic integrity of the property and its environment.
  - The new structure will be compatible with the size, massing, scale, and architectural features of the property and the Old City Historic District.

**STAFF RECOMMENDATION:** Approval, with the staff to review details, pursuant to Standard 9.



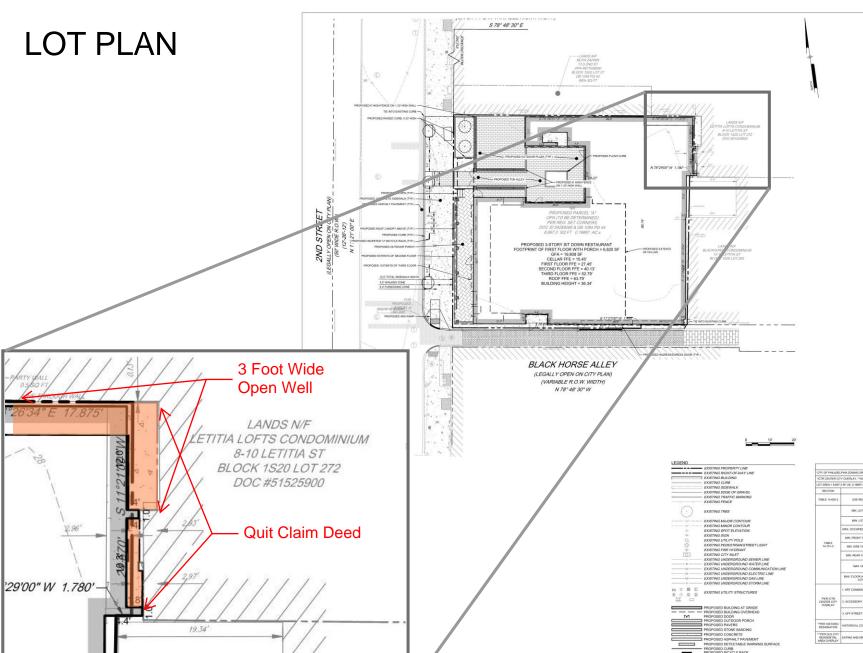
# The Tun

Philadelphia Historical Commission

The Tun Legacy Foundation

 New Construction of a 170-Seat Restaurant







#### **USGS MAP** Scale: 1" = 500' DELAWARE DIRECT WATERSHED

#### PHILADELPHIA STREETS DEPARTMENT NOTES:

PROPOSED TREE PROPOSED LANDSCAPING GENERAL NOTES:

ITE ADDRESS: 15-25 S 2ND STREET PHILADELPHIA, PA 19106

- FLOOD ZONE INFORMATION

Pennoni

15-25-5 SECOND GT PHEADELPHIA, FA, 1910E ballinger

PENNONI ASSOCIATES INC. 1900 Market Street, Suite 300 Philodelphia, PA 19903 T 215.222.3000 F 215.222.3588

215.445.2500:17 215.446.2501:17 Sallinger com

7.501 SF - 20.000 SF = 2 BICYCLE SPACES 2 SPACES USE REQULATIONS MN. LOT AREA (SF) 6,820 SF 6,820 SF 6,166 SF SECOND FLOOR THRD FLOOR MN: FRONT YARD DEPTH (F 19.808 SF MIN REAR YARD DEPTH JETS



CS1301

ZONING PLAN

#### Features:

- Re-create an Historic Maritime Tavern and Restaurant
- Coalition of Legacy Institutions Founded at The Tun
- 501(c)3 Non-Profit, Charitable Giving
- Family Restaurant for the Community and Tourists
- Educational Experience

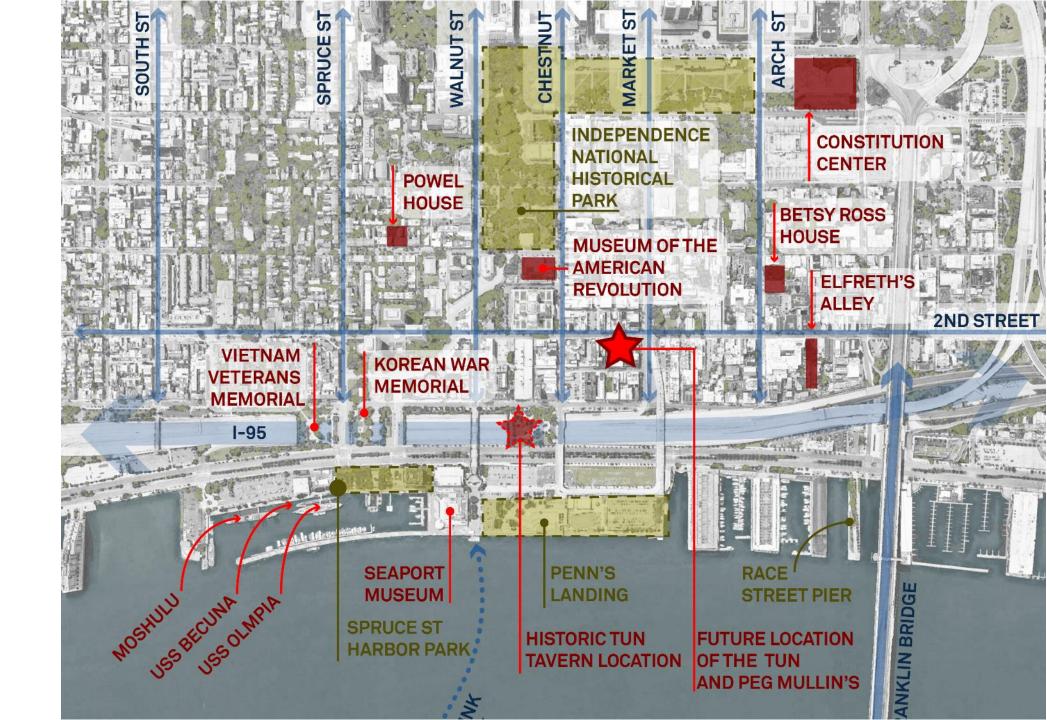


### Program:

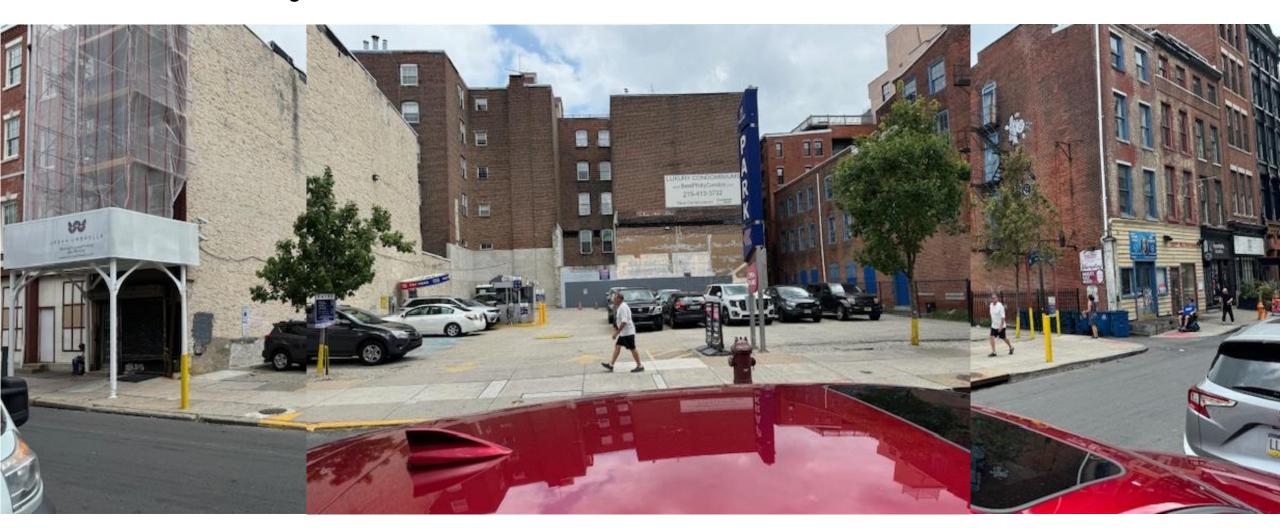
- Location
- Site Photographs
- Zoning Plan
- Project Summary
- Site Plan
- Floor Plans
- Building Elevations



# LOCATION PLAN



Panoramic View Looking East



Second Street Looking South Toward Chestnut St







Second Street Looking Northeast Toward Market St

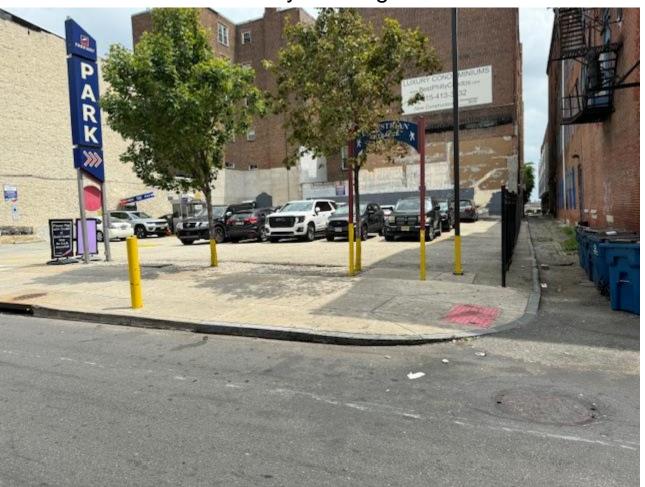


View From Site Looking Northwest



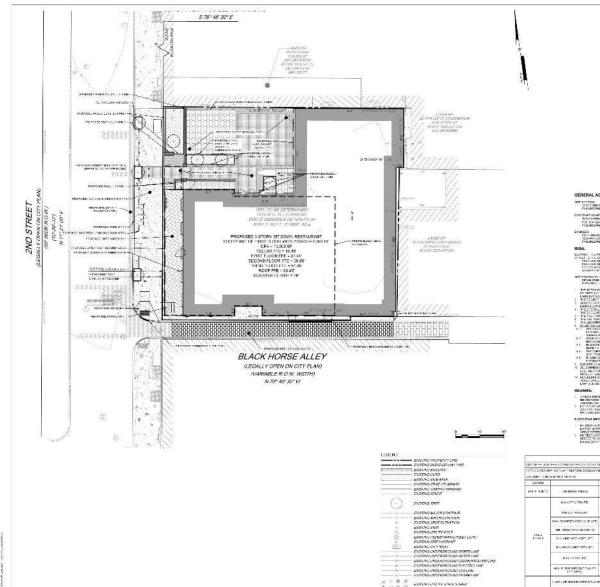
Black Horse Alley Looking East

Site and Black Horse Alley Looking East





## **ZONING PLAN**





#### DELAWARE DIRECT WATERSHED

PHILADELPHIA STREETS DEPARTMENT NOTES:

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PENNONI ASSOCIATES INC. 1901 March Shart, And 190 Principles, PA (610) T 215 (2100) F 215 (22388)

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PARKING AND LOADING REQUIREMENTS TAKE MARKET THROUGH THE PERFECT PROPERTY. AND THURS IN NOUN PROMISE DICTORS NAMED BUILDING STATISTICS TUBER 2000 FL008 AND

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CONTRACTOR

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ZONING PLAN

CS130 SCHEMATIC DESIGN

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PROPOSED ASPINIT PAYENTY PROFOSED LANDSCAPINS PROPOSED WALL
PROPOSED FENDING

HALFOR THE LING AT BOTH
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GENERAL NOTES:

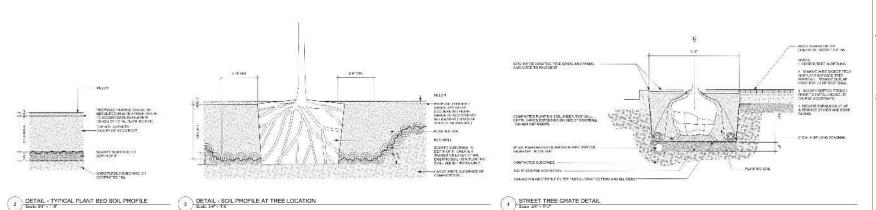
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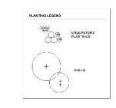
## ZONING LANDSCAPE PLAN

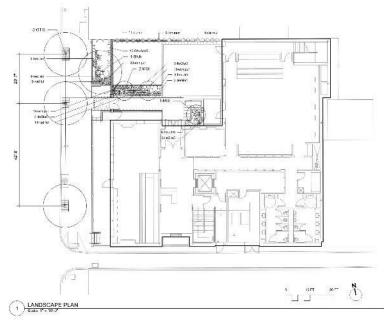


Qty	ld	Botanical Name	Common Name	Size	Spacing	Notes
Can	opy Trees			1,200,000,000		
1	BNT	Betula nigra Heritage*	Heritage River 3 roh	10' 12'hc	As Shown	Specimen Quality, B&B, Multistem
3	GUS	GleAten macambox per unerma. Stademaster	Shepementer Thomsess Honey popular	2 - 2 10" cal	As Shown	Specimen Cuelly, 858
3	WSt	Magnoda stolora	Star Magnetia	10" 12"hc	As Shown	Specimen Guality, B&B, Multistem
Shru	ibs					
15	TeGlaC	iles gietue 'Strongbox'	Inkberry Holly	#3	As Shown	T
15	RhuAroC	Rhus arastosco 'Cro-Low'	Cro-Low Fragram Surries	#3	As Shown	
Perc	nnials			~		W
62	ech pur	Еспиноса рукрупа	Purple Constower	£1	12" o c	
24	teuent	Henchero actoricana Dale's Strain	Corel Bells	21	18" a.c.	
17	rud full	Rosbecks fulgler van August	Orange Coneflower	£1	12" 0.6	
Vine	6					
4	cle mul	Glamoris x Marki blac*	Multi-blue die matis	21	As shown	
11	deve	Characte whichester	Woodbine	21	As shown	
6	on sem	Lonicero semponárens	Trumpet honeysuckie	21	As shown	

	PING REQUIREMENTS		
OTY OF PHADE	PHIAZON NO ORDINANCE ZONED TOWNSHITH	COMMERCIAL MIXED-FREE, TO JE (CMX-2)	
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DUSTRIG GROSS	400 to 100		
PROPOSED SROS	S ASEK 16,000 SE (ALL FLODES) GENED BY ZON NA CODE SECTION 14-932 (13) 2	,167 SE	
PROPOSED SROS	S AREA: 16,000 SE (A) - FLOORSI	REQUIRED/MALEOWED	PROPOSEI
PROPOSED GROS OPEN AREA (AS S	S AREA: 16,000 SE (A) - FLOORSI		PROPOSEI 418568

NOTE: 14-8995) DOES NOT APPLY AS NO PARKING LOT IS PREPOSED.







THE TUN

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LANDSCAPE ZONING PLAN

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# PROJECT SUMMARY / SITE PLAN

#### FLOOR AREA / SF

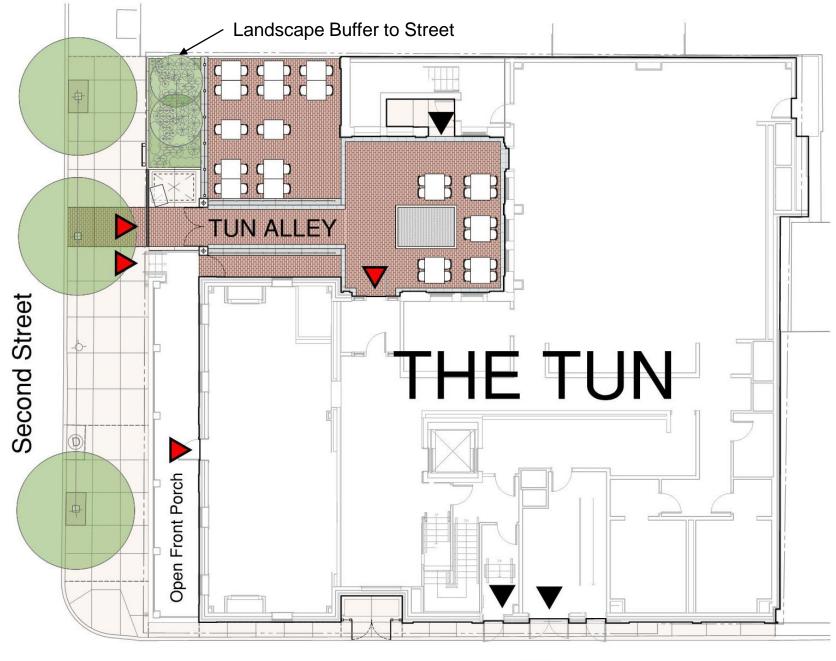
0
6,820
6,820
6,168
19,808

#### **DINING / BAR SEAT COUNT**

170 Dining Seats45 Tavern and Bar Seats

#### **SEASONAL DINING**

44 Tun Alley Dining Seats 80 Third Floor Dining Seats



Black Horse Alley

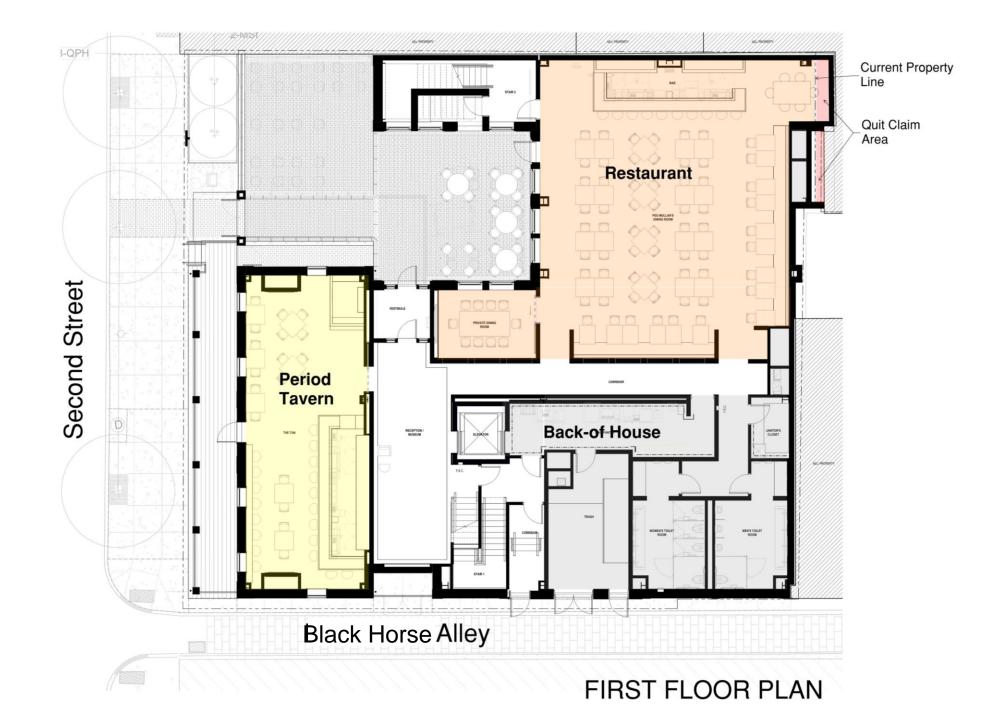
Unexcavated **Utility Rooms** Back-of House

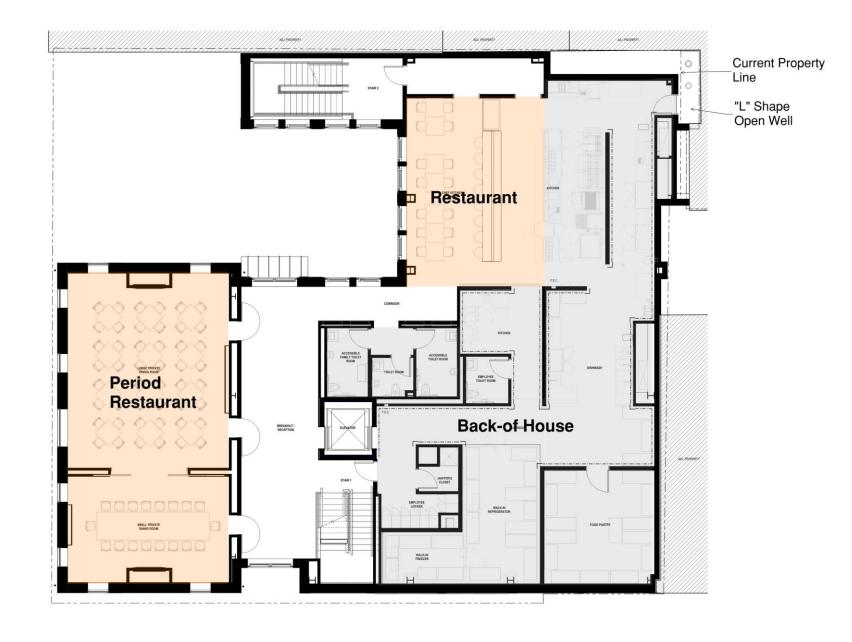
Second Street

Black Horse

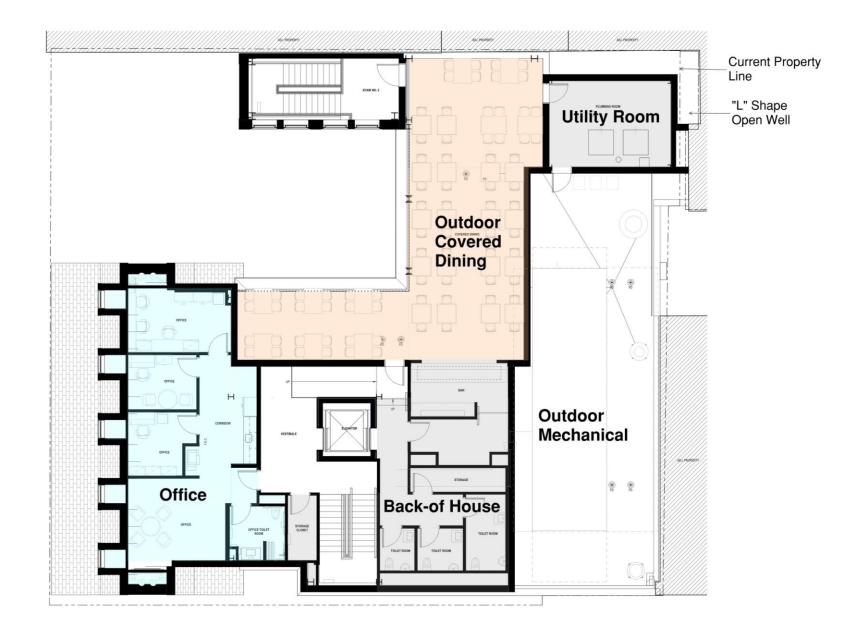
Alley

**CELLAR FLOOR PLAN** 

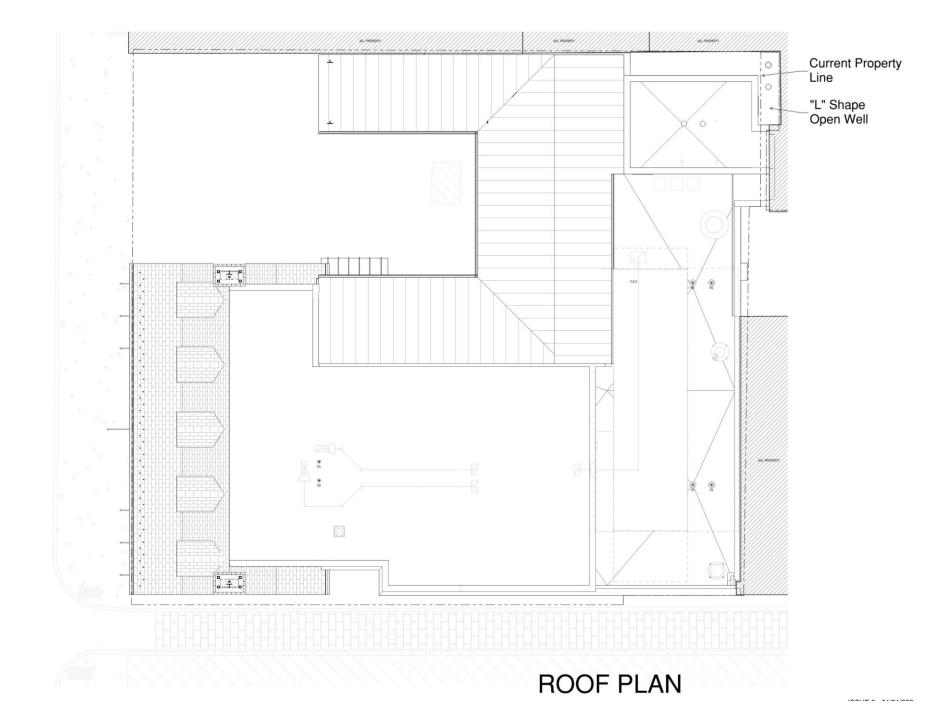


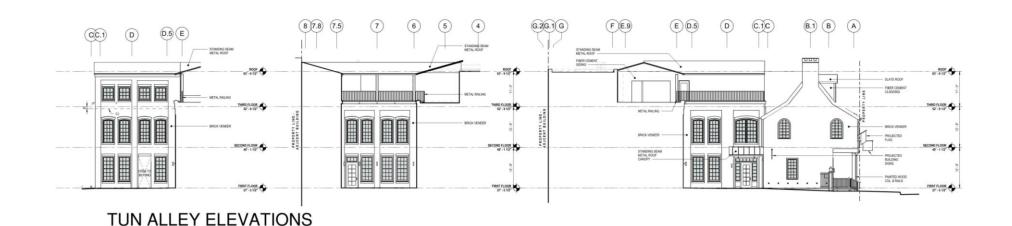


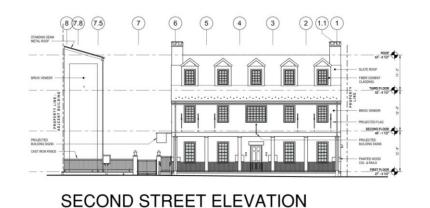
## SECOND FLOOR PLAN

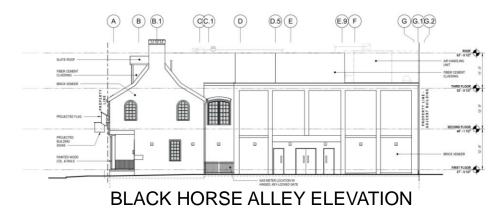


## THIRD FLOOR PLAN









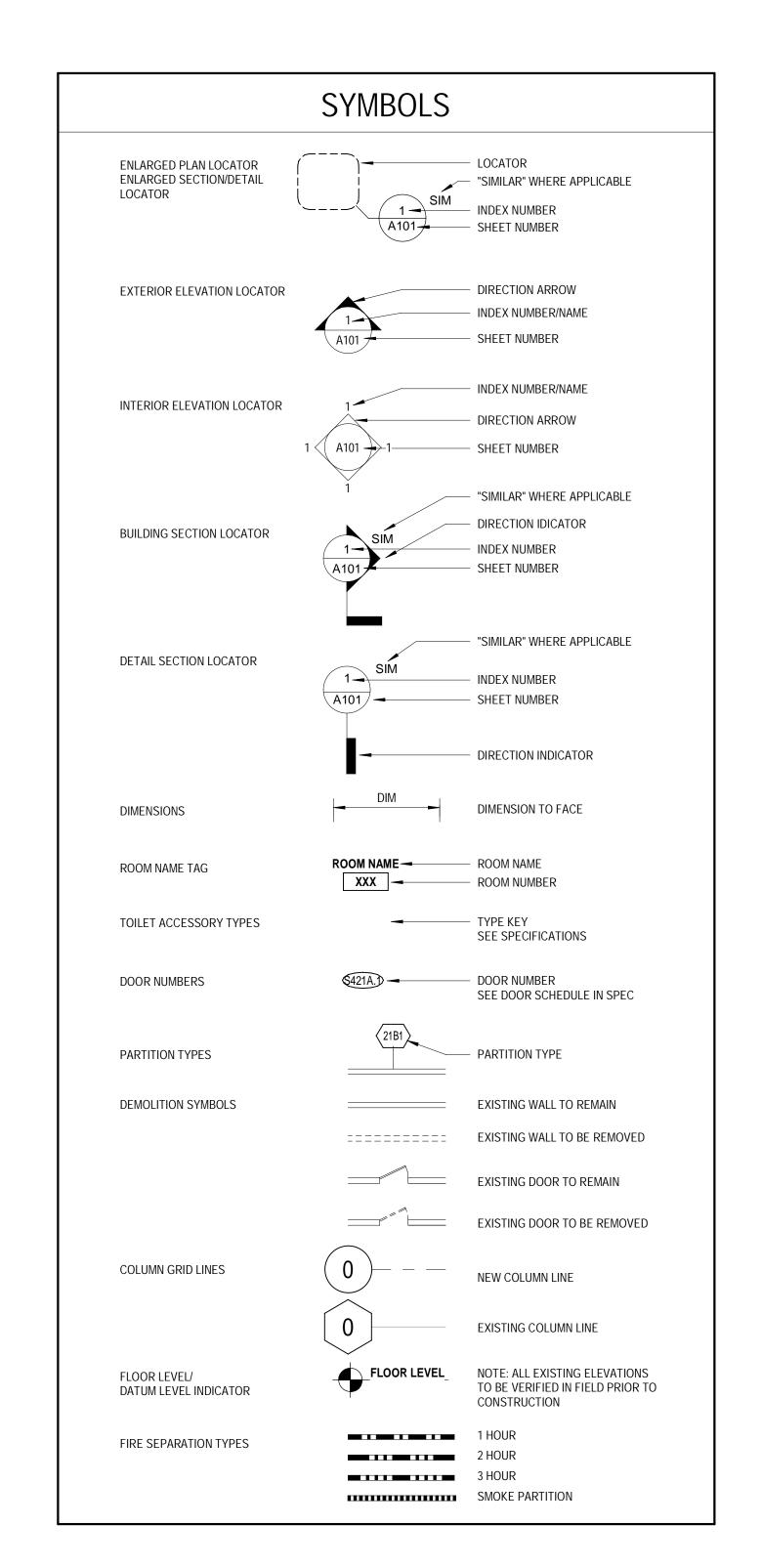
**BUILDING ELEVATIONS** 

### **Project Schedule:**

- Contract Documents
   Complete
- Trade Contract Award March 2025
- Zoning Approval April 2025
- Building Permit May 2025
- Commence Construction June 2025
- Grand Opening Fall / Winter 2026



15-25 S 2<sup>ND</sup> ST, PHILADELPHIA, PENNSYLVANIA, 19106









THE TUN

15-25 S 2ND ST PHILADELPHIA, PA, 19106

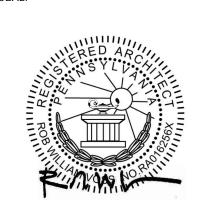
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833 Chestnut Street / Suite 1400 Philadelphia, PA 19107 215.446.0900 / t 215.446.0901 / f

CONSULTANTS:

KEYPLAN:

SFAL:



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02/28/2025 PERMIT SET 01/31/2025 ISSUE 3

01/31/2025 ISSUE 3 11/10/2024 ISSUE 2 D R A W I N G I S S U E

PROJECT: 23053.00

SCALE: 12" = 1'-0"

ARCHITECTURE

**COVER SHEET** 

CS001

# 15-25 S 2<sup>ND</sup> ST, PHILADELPHIA, PENNSYLVANIA, 19106

			ABBREVIATIONS		
ABBREV.	ABBREVIATION NAME	ABBREV.	ABBREVIATION NAME	ABBREV.	ABBREVIATION NAME
&	AND	FB	FLOOR BOX	Q.C.	QUALITY CONTROL
@	AT	FDC	FIRE DEPARTMENT CONNECTION	Q.C. QT	QUARRY TILE
A.E.S.S.	ARCHITECTURALLY EXPOSED STRUCTURAL	FDV	FIRE DEPARTMENT VALVE	QTY	QUANTITY
A.F.F.	STEEL ABOVE FINISHED FLOOR	FE	FIRE EXTINGUISHER (MULTIPURPOSE)	R	RISER
A.H.U.	AIR HANDLING UNIT	FE2 FEC	FIRE EXTINGUISHER (CARBON DIOXIDE) FIRE EXTINGUISHER CABINET	R.C.P. R.D.	REFLECTED CEILING PLAN ROOF DRAIN
A.V.B.	AIR & VAPOR BARRIER	FFE	FURNITURE, FIXTURES AND EQUIPMENT	R.O.	ROUGH OPENING
ABV	ABOVE	FHC	FIRE HOSE CABINET	R.T.	REVEAL TRIM
alum. Anod.	ALUMINUM ANODIZED	FIN.	FINISH	RA	ROOF ANCHOR (SAFETY TIEBACK)
APC	ACOUSTICAL PANEL CEILING	FLR. FLSH	FLOOR FLASHING	RAD RAF	RADIUS RAISED ACCESS FLOOR
APPROX.	APPROXIMATE	FP	FIRE PROTECTION	RCPT	RECEPTACLE
APS	ALARM PULL STATION	FPD	FLAT PANEL DISPLAY	RD/OD	ROOF DRAIN OVERFLOW DRAIN
apvd Avfb	APPROVED AUDIO/VISUAL FLOOR BOX	FRAP FRC	FIRE RATED ACCESS PANEL FIBER REINFORCED CONCRETE PANELS	REF.	COMBINATION REFERENCE
B.O.D.	BASIS OF DESIGN	FT	FOOT	REINF.	REINFORCED
BD.	BOARD	G.A.C.W.	GLAZED ALUMINUM CURTAIN WALL	REM	REMOVABLE
BITUM.	BITUMINOUS	G.W.B.	GYPSUM WALL BOARD	REQ'D	REQUIRED
BLDG. BLKG.	BUILDING BLOCKING	ga Galv.	GAUGE GALVANIZED	RESIL REV	RESILIENT REVISION
BM	BEAM	GALV. GEN	GENERATOR	RFG	ROOFING
BRS	BACKER ROD AND SEALANT	GFRC	GLASS FIBER REINFORCED CONCRETE	RFM	RECESSED FLOOR MAT
C'FLSH	COUNTER FLASHING CORNER GUARD	GL	GLASS DEINEODOED CYDSUM	RG RLF	RETURN GRILLE RELIEF
C.G. C.J.	CONTROL JOINT	GRG GYP	GLASS REINFORCED GYPSUM GYPSUM	RLF RR	RETURN REGISTER
C.M.U.	CONCRETE MASONRY UNIT	Н	HIGH	RS	ROLLER SHADE
CA	COMPRESSED AIR	HB	HOSE BIB	RWC	RAINWATER CONDUCTOR
CAB. CD	CABINET CEILING DIFFUSER	HDG	HOT DIPPED GALVANIZED	S S.A.	SOUTH SHELF ANGLE (CONTINUOUS)
CEM	CEMENT	HDW HM	HARDWARE HOLLOW METAL	S.F.	SQUARE FOOT
CF	COLD-FORMED	HORIZ.	HORIZONTAL	S.O.	STOREFRONT OPENING
CFCI	CONTRACTOR FURINISHED, CONTRACTOR INSTALLED	HP	HIGH POINT	S.S.	STAINLESS STEEL
CFM	CUBIC FEET PER MINUTE	HT	HEIGHT	SAN SCHED	SANITARY SCHEDULE
СН	CEILING HEIGHT	HW I.D.	HOT WATER INSIDE DIAMETER	SFFA	SQUARE FOOT FREE AREA
CL	CENTER LINE	I.G.U.	INSULATED GLASS UNIT	SGP	SPANDREL GLASS PANEL
CLG. CLR	CEILING CLEAR	IGRS	INTERIOR GLASS RAILING SYSTEM	SIM	SIMILAR
CLR CO	CLEANOUT	IGWS	INTERIOR GLASS WALL SYSTEM	SLV SPECS	SLEEVE SPECIFICATIONS
COL.	COLUMN	IMP INCAND	INSULATED METAL PANEL INCANDESCENT	SQ	SQUARE
COMP.	COMPOSITE	INFO	INFORMATION	SR	SUPPLY REGISTER
CONC. CONT.	CONCRETE CONTINUOUS	INSUL	INSULATION / INSULATED	SSM	SOLID SURFACE MATERIAL
COORD.	COORDINATE	INT INVT	INTERIOR INVERT	STL STN	STEEL STONE
CPT	CARPET	JC	JANITORS CLOSET	STOR.	STORAGE
CR	CARD READER	JT	JOINT	STRUCT.	STRUCTURE
CT CVT	CERAMIC TILE CONDUCTIVE VINYL TILE	LAM	LANEL	STW	STORM WATER TREAD
CW	COLD WATER	LBL LNTL	LABEL LINTEL	T.O.	TOP OF
D	DEPTH	LTG.	LIGHTING	T.O.S.	TOP OF STEEL
DBL	DOUBLE	MAS	MASONRY	TELE	TELEPHONE
DIA. DIM.	DIAMETER DIMENSION	MAX.	MAXIMUM	TEMP TG	TEMPORARY TRANSFER GRILLE
DIV.	DIVISION	MECH. MFR.	MECHANICAL MANUFACTURER	TYP.	TYPICAL
DL	DEAD LOAD	MIN.	MINIMUM	U.C.	UNDER COUNTER
DN DP	DOWN DAMP PROOFING	MISC.	MISCELLANEOUS	U.N.O.	UNLESS NOTED OTHERWISE
DP DR	DOOR DOOR	MTL MW	METAL MILLWORK	U.O.N. V	UNLESS OTHERWISE NOTED VINYL
DTL.	DETAIL	N	NORTH	v V.I.F.	VERIFY IN FIELD
DWG.	DRAWING FROM STAR	N.I.C.	NOT IN CONTRACT	VAC	VACUUM
E.O.S. E.W.C.	EDGE OF SLAB ELECTRIC WATER COOLER	N.T.S.	NOT TO SCALE	VB VCT	VAPOR BARRIER
EF	ELASTOMERIC FLASHING	NO. O.C.	NUMBER ON CENTER	VCT VERT	VINYL COMPOSITE TILE VERTICAL
EJ	EXPANSION JOINT	O.C. O.H.	OPPOSITE HAND	VEST	VESTIBULE
ELEC.	ELECTRIC	OFCI	OWNER FURNISHED, CONTRACTOR	VGP	VISION GLASS PANEL
ELEV. EP	ELEVATION EMERGENCY PHONE	OFOI	INSTALLED OWNER FURNISHED, OWNER INSTALLED	VNT VR	VENT VAPOR RETARDER
EPS	EXPANDED POLYSTYRENE	OPNG	OPENING	W	WIDE
EQ.	EQUAL	OPP	OPPOSITE	W.C.	WATER CLOSET
EQUIP.	EQUIPMENT EYHALIST DECISTED	ORD	OVERFLOW ROOF DRAIN	W.O.	WINDOW OPENING
ER ERS	EXHAUST REGISTER EXTERIOR ROLLER SHADE	PL PLAM	PLATE PLASTIC LAMINATE	W.T. W.W.F.	WOOD TRIM WELDED WIRE FABRIC
EW	EACH WAY	PLAMB.	PLUMBING	w.w.r. W/	WITH
EXH	EXHAUST	PLYWD	PLYWOOD	W/O	WITHOUT
exist. Exting.	EXISTING EXTINGUISHED	PNL	PANEL	WBL	WOOD BLOCKING
EXTING. F.F.	EXTINGUISHER FINISHED FLOOR	PR PRCST	PAIR PRECAST	WD WK	WOOD WORK
F.O.	FACE OF	PREP	PREPARE / PREPARATION	WP	WATERPROOF (ING)
F.O.G.	FACE OF GLASS	PS	PROJECTION SCREEN	WPT	WORKPOINT
F.O.S. F.O.W.	FACE OF STUD FACE OF WALL	PT	POKE THRU (ELEC./DATA)	WR	WEATHER RESISTANT
f.O.W. FA	FIRE ALARM	PTD. PTN	PAINTED PARTITION	WTHP XPS	WEATHERPROOF EXTRUDED POLYSTYRENE
		1 1 I N	1/831111VIV	$\sim$	ENTROPED I VETULINENE

S002   DRAW   S101   LIFE   S102   FIREF   S1001   COVE   S1501   DEMC   D002   LIVE   D003   SNOW   D004   EXTER   D004   EXTER   D004   EXTER   D005   DEMC   D005	STING CONDITIONS PLAN  MOLITION PLAN  E PLAN  ADING PLAN  LITY PLAN  E DETAILS  E DETAILS  E DETAILS  SOSION & SEDIMENT CONTROL PLAN  OSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL NOTES  E  NDSCAPE PLANS  DETAILS  DETAILS  SOSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL NOTES  E  NDSCAPE PLANS  E DETAILS - PAVING, CURBS, AND STONE ELEMENTS  E DETAILS - WALLS, FENCES, AND PIERS  E DETAILS - WALLS, FENCES, AND DETAILS  AL  VER SHEET  E LOAD DIAGRAMS, ABBREVITATIONS, AND SYMBOLS  OW LOAD DIAGRAMS  TERIOR COMPONENTS & CLADDING WIND LOAD DIAGRAMS  JUNDATION PLAN  ST FLOOR FRAMING PLAN  COND FLOOR FRAMING PLAN	. A40 A40 A41 A41 A41 A50 A51 A51 A52 A60 A61 A70	BUILDING SECTIONS  WALL SECTIONS  EXTERIOR SYSTEMS  EXTERIOR DETAILS  PARTITION SCHEDULE  SOCIAL PARTITION SCHEDULE  SECOND FLOOR REFLECTED CEILING PLAN  CEILING DETAILS  CELLAR AND FIRST FLOOR INTERIOR ELEVATIONS  SECOND AND THIRD FLOOR INTERIOR ELEVATIONS  INTERIOR DETAILS - MILLWORK  INTERIOR DETAILS - MILLWORK  SECOND FLOOR FINISH PLAN  CELLAR FINISH PLAN  CELLAR FINISH PLAN  THIRD FLOOR REFILES  CELLAR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FURNITURE PLAN  THIRD FLOOR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN		PLUMBING P001 PLUMBING SYMBOLS, NOTES AND ABBREVIATIONS P100D CELLAR DRAINAGE PLAN P100S CELLAR SUPPLY PLAN P101D FIRST FLOOR DRAINAGE PLAN P101D FIRST FLOOR SUPPLY PLAN P101S FIRST FLOOR SUPPLY PLAN P102D SECOND FLOOR DRAINAGE PLAN P102D SECOND FLOOR DRAINAGE PLAN P103D THIRD FLOOR SUPPLY PLAN P103D THIRD FLOOR SUPPLY PLAN P103D THIRD FLOOR SUPPLY PLAN P104 ROOF PLAN P301 SANITARY RISER DIAGRAM P302 SANITARY RISER DIAGRAM P311 STORM WATER RISER DIAGRAM P321 NATURAL GAS RISER DIAGRAM P321 NATURAL GAS RISER DIAGRAM P501 PLUMBING DETAILS P502 PLUMBING DETAILS P503 PLUMBING DETAILS P500 PLUMBING SCHEDULES  FIRE PROTECTION FP001 FIRE PROTECTION COVER SHEET FP100 BASEMENT FLOOR FP101 FIRST FLOOR SUPPLY PLAN FP102 SECOND FLOOR FP103 THIRD FLOOR FP501 RISER DIAGRAM  ELECTRICAL E001 ELECTRICAL NOTES AND ABBREVIATIONS E002 ELECTRICAL SYMBOLS
NIL   S	E SAFETY PLANS AND CODE INFORMATION  EPROOFING PLANS  VER SHEET  STING CONDITIONS PLAN  MOLITION PLAN  E PLAN  ADING PLAN  LITY PLAN  E DETAILS  E DETAILS  E DETAILS  SOSION & SEDIMENT CONTROL PLAN  OSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL NOTES  ENDSCAPE PLANS  EDETAILS  E DETAILS  E DETAILS  SOSION & SEDIMENT CONTROL PLAN  OSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL NOTES  ENDSCAPE PLANS  EDETAILS - PAVING, CURBS, AND STONE ELEMENTS  E DETAILS - NORTH COURTYARD FENCE  ANTING PLANS, LEGENDS, AND DETAILS  AL  VER SHEET  E LOAD DIAGRAMS  FERIOR COMPONENTS & CLADDING WIND LOAD DIAGRAMS  UNDATION PLAN  ST FLOOR FRAMING PLAN  COND FLOOR FRAMING PLAN	. A41 A41 A41 A50 A51 A51 A52 A60 A61 A61 A70 A70 A70 A70 A70 A70 A71 A80 A81 A81 A81 A81 A81 A90 A90 A90 A95 A95 A95 A95	WALL SECTIONS  WALL SECTIONS  WALL SECTIONS  WALL SECTIONS  EXTERIOR SYSTEMS  EXTERIOR DETAILS  EXTERIOR DETAILS  ROOF DETAILS  PARTITION SCHEDULE  FINISH SCHEDULE  DOOR AND WINDOW SCHEDULE AND DETAILS  CELLAR REFLECTED CEILING PLAN  FIRST FLOOR REFLECTED CEILING PLAN  CEILING DETAILS  CELLING DETAILS  CELLAR AND FIRST FLOOR INTERIOR ELEVATIONS  FIRST AND SECOND FLOOR INTERIOR ELEVATIONS  FIRST AND SECOND FLOOR INTERIOR ELEVATIONS  INTERIOR DETAILS - FINISH & TRIM DETAILS  CELLAR FINISH PLAN  CELLAR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FURNITURE PLAN  FIRST FLOOR FURNITURE PLAN  FIRST FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN		P100S CELLAR SUPPLY PLAN P101D FIRST FLOOR DRAINAGE PLAN P101S FIRST FLOOR SUPPLY PLAN P102D SECOND FLOOR DRAINAGE PLAN P102D SECOND FLOOR DRAINAGE PLAN P103D THIRD FLOOR SUPPLY PLAN P103D THIRD FLOOR SUPPLY PLAN P103C SANITARY RISER DIAGRAM P301 SANITARY RISER DIAGRAM P302 SANITARY RISER DIAGRAM P311 STORM WATER RISER DIAGRAM P321 NATURAL GAS RISER DIAGRAM P501 PLUMBING DETAILS P502 PLUMBING DETAILS P503 PLUMBING DETAILS P601 PLUMBING SCHEDULES  FIRE PROTECTION FP001 FIRE PROTECTION COVER SHEET FP100 BASEMENT FLOOR FP101 FIRST FLOOR SUPPLY PLAN FP102 SECOND FLOOR FP103 THIRD FLOOR FP501 RISER DIAGRAM  ELECTRICAL E001 ELECTRICAL NOTES AND ABBREVIATIONS
NIL  S0001 COVE  S0201 EXIST  S0501 DEMO  S1001 SITE I  S1501 GRAD  S1701 UTILIT  S6002 SITE I  S6003 SITE I  S8001 EROS  S8501 EROS  S8501 EROS  ANDSCAPE  100 LAND  100 SITE I  102 SITE I  102 SITE I  103 SNOW  1001 COVE  1002 LIVE L  1003 SNOW  1001 FOUN  1011 FIRST  102 SECO  103 THIRE  104 ROOF  501 TYPIO  502 TYPIO  503 TYPIO  504 TYPIO  505 FOUN  506 FOUN	VER SHEET  STING CONDITIONS PLAN  MOLITION PLAN  E PLAN  ADING PLAN  LITY PLAN  E DETAILS  E DETAILS  E DETAILS  E DETAILS  E DETAILS  SOSION & SEDIMENT CONTROL PLAN  OSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL NOTES   STINDSCAPE PLANS  E DETAILS - PAVING, CURBS, AND STONE ELEMENTS  E DETAILS - WALLS, FENCES, AND PIERS  E DETAILS - NORTH COURTYARD FENCE  ANTING PLANS, LEGENDS, AND DETAILS  AL  VER SHEET  E LOAD DIAGRAMS, ABBREVITATIONS, AND SYMBOLS  OW LOAD DIAGRAMS  TERIOR COMPONENTS & CLADDING WIND LOAD DIAGRAMS  UNDATION PLAN  ST FLOOR FRAMING PLAN  COND FLOOR FRAMING PLAN	A41 A50 A51 A51 A52 A60 A61 A61 A70 A70 A70 A70 A70 A70 A70 A71 A80 A80 A81 A81 A81 A81 A90 A90 A90 A95 A95 A95 A97	WALL SECTIONS  DESTERIOR SYSTEMS  EXTERIOR DETAILS  EXTERIOR DETAILS  ROOF DETAILS  PARTITION SCHEDULE  DOOR AND WINDOW SCHEDULE AND DETAILS  CELLAR REFLECTED CEILING PLAN  FIRST FLOOR REFLECTED CEILING PLAN  CEILING DETAILS  CELLAR AND FIRST FLOOR INTERIOR ELEVATIONS  FIRST AND SECOND FLOOR INTERIOR ELEVATIONS  EXECOND AND THIRD FLOOR INTERIOR ELEVATIONS  INTERIOR DETAILS - FINISH & TRIM DETAILS  CELLAR FINISH PLAN  FIRST FLOOR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FINISH PLAN  THIRD FLOOR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FINISH PLAN  THIRD FLOOR FINISH PLAN  THIRD FLOOR FINISH PLAN  THIRD FLOOR FINISH PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN		P101S FIRST FLOOR SUPPLY PLAN P102D SECOND FLOOR DRAINAGE PLAN P102S SECOND FLOOR SUPPLY PLAN P103D THIRD FLOOR DRAINAGE PLAN P103D THIRD FLOOR SUPPLY PLAN P103S THIRD FLOOR SUPPLY PLAN P104 ROOF PLAN P301 SANITARY RISER DIAGRAM P302 SANITARY RISER DIAGRAM P302 SANITARY RISER DIAGRAM P311 STORM WATER RISER DIAGRAM P321 NATURAL GAS RISER DIAGRAM P501 PLUMBING DETAILS P502 PLUMBING DETAILS P503 PLUMBING DETAILS P601 PLUMBING SCHEDULES  FIRE PROTECTION FP001 FIRE PROTECTION COVER SHEET FP100 BASEMENT FLOOR FP101 FIRST FLOOR SUPPLY PLAN FP102 SECOND FLOOR FP103 THIRD FLOOR FP501 RISER DIAGRAM  ELECTRICAL E001 ELECTRICAL NOTES AND ABBREVIATIONS
\$0001   COVE \$0201   EXIST \$0501   DEMC \$1501   GRAD \$1701   UTILIT \$6001   SITE \$1500   EROS \$1501   EROS \$1501   EROS \$1501   EROS \$1500   EROS \$1	STING CONDITIONS PLAN  MOLITION PLAN  E PLAN  ADING PLAN  LITY PLAN  E DETAILS  E DETAILS  E DETAILS  SOSION & SEDIMENT CONTROL PLAN  OSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL NOTES  E  NDSCAPE PLANS  DETAILS  DETAILS  SOSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL NOTES  E  NDSCAPE PLANS  E DETAILS - PAVING, CURBS, AND STONE ELEMENTS  E DETAILS - WALLS, FENCES, AND PIERS  E DETAILS - WALLS, FENCES, AND DETAILS  AL  VER SHEET  E LOAD DIAGRAMS, ABBREVITATIONS, AND SYMBOLS  OW LOAD DIAGRAMS  TERIOR COMPONENTS & CLADDING WIND LOAD DIAGRAMS  JUNDATION PLAN  ST FLOOR FRAMING PLAN  COND FLOOR FRAMING PLAN	A50 A51 A51 A52 A60 A61 A61 A61 A70 A70 A70 A70 A70 A71 A80 A80 A80 A81 A81 A81 A81 A90 A90 A90 A90 A95 A95 A95 A97	EXTERIOR SYSTEMS  EXTERIOR DETAILS  EXTERIOR DETAILS  ROOF DETAILS  PARTITION SCHEDULE  DOOR AND WINDOW SCHEDULE AND DETAILS  ELLAR REFLECTED CEILING PLAN  FIRST FLOOR REFLECTED CEILING PLAN  ESCOND FLOOR REFLECTED CEILING PLAN  CEILING DETAILS  CELLAR AND FIRST FLOOR INTERIOR ELEVATIONS  FIRST AND SECOND FLOOR INTERIOR ELEVATIONS  INTERIOR DETAILS - FINISH & TRIM DETAILS  INTERIOR DETAILS - MILLWORK  INTERIOR DETAILS - MILLWORK  FIRST FLOOR FINISH PLAN  THIRD FLOOR FINISH PLAN  ELLAR FINISH PLAN  THIRD FLOOR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FURNITURE PLAN  FIRST FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN		P102D SECOND FLOOR DRAINAGE PLAN P102S SECOND FLOOR SUPPLY PLAN P103D THIRD FLOOR DRAINAGE PLAN P103S THIRD FLOOR SUPPLY PLAN P104 ROOF PLAN P301 SANITARY RISER DIAGRAM P302 SANITARY RISER DIAGRAM P311 STORM WATER RISER DIAGRAM P321 NATURAL GAS RISER DIAGRAM P501 PLUMBING DETAILS P502 PLUMBING DETAILS P503 PLUMBING DETAILS P601 PLUMBING SCHEDULES  FIRE PROTECTION FP001 FIRE PROTECTION COVER SHEET FP100 BASEMENT FLOOR FP101 FIRST FLOOR SUPPLY PLAN FP102 SECOND FLOOR FP501 RISER DIAGRAM  ELECTRICAL E001 ELECTRICAL NOTES AND ABBREVIATIONS
\$0201 EXIST \$0501 DEMC \$1001 SITE \$1501 SITE \$1500 SITE	STING CONDITIONS PLAN  MOLITION PLAN  E PLAN  ADING PLAN  LITY PLAN  E DETAILS  E DETAILS  E DETAILS  SOSION & SEDIMENT CONTROL PLAN  OSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL NOTES  E  NDSCAPE PLANS  DETAILS  DETAILS  SOSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL NOTES  E  NDSCAPE PLANS  E DETAILS - PAVING, CURBS, AND STONE ELEMENTS  E DETAILS - WALLS, FENCES, AND PIERS  E DETAILS - WALLS, FENCES, AND DETAILS  AL  VER SHEET  E LOAD DIAGRAMS, ABBREVITATIONS, AND SYMBOLS  OW LOAD DIAGRAMS  TERIOR COMPONENTS & CLADDING WIND LOAD DIAGRAMS  JUNDATION PLAN  ST FLOOR FRAMING PLAN  COND FLOOR FRAMING PLAN	. A51 A52 A60 A61 A61 A70 A70 A70 A70 A70 A70 A71 A80 A80 A80 A81 A81 A81 A81 A90 A90 A90 A90 A95 A95 A95 A97	EXTERIOR DETAILS  ROOF DETAILS  PARTITION SCHEDULE  FINISH SCHEDULE  TO FINISH SCHEDULE  CELLAR REFLECTED CEILING PLAN  FIRST FLOOR REFLECTED CEILING PLAN  EXECUPLY SECOND FLOOR REFLECTED CEILING PLAN  CEILING DETAILS  CELLAR AND FIRST FLOOR INTERIOR ELEVATIONS  FIRST AND SECOND FLOOR INTERIOR ELEVATIONS  EXECOND AND THIRD FLOOR INTERIOR ELEVATIONS  EXECOND AND THIRD FLOOR INTERIOR ELEVATIONS  EXECUPLY SECOND FLOOR FINISH & TRIM DETAILS  EXECUPLY SECOND FLOOR FINISH PLAN  EXECUPLY SECOND FLOOR FURNITURE PLAN		P103D THIRD FLOOR DRAINAGE PLAN P103S THIRD FLOOR SUPPLY PLAN P104 ROOF PLAN P301 SANITARY RISER DIAGRAM P302 SANITARY RISER DIAGRAM P311 STORM WATER RISER DIAGRAM P321 NATURAL GAS RISER DIAGRAM P501 PLUMBING DETAILS P502 PLUMBING DETAILS P503 PLUMBING DETAILS P601 PLUMBING SCHEDULES  FIRE PROTECTION FP001 FIRE PROTECTION COVER SHEET FP100 BASEMENT FLOOR FP101 FIRST FLOOR SUPPLY PLAN FP102 SECOND FLOOR FP103 THIRD FLOOR FP501 RISER DIAGRAM  ELECTRICAL E001 ELECTRICAL NOTES AND ABBREVIATIONS
\$1001   SITE IS   \$1501   GRAD   \$1701   UTILIT   \$6001   SITE IS   \$6002   SITE IS   \$6003   SITE IS   \$8001   EROS   \$8501   EROS   \$8502   EROS   \$8502   EROS   \$100   LAND   \$100   SITE IS   \$100   PLANT   \$101   COVE IS   \$100   FOUN IS   \$101   FIRST   \$102   SECO   \$103   THIRE   \$104   ROOF   \$105   TYPIC   \$105   TYPIC   \$106   FOUN IS   \$107   TYPIC   \$108   TYPIC   \$109   TYPIC   \$100   FOUN IS   \$100   TYPIC   \$100	MOLITION PLAN  E PLAN  ADING PLAN  LITY PLAN  E DETAILS  E DETAILS  E DETAILS  E DETAILS  OSION & SEDIMENT CONTROL PLAN  OSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL NOTES   E  NDSCAPE PLANS  E DETAILS - PAVING, CURBS, AND STONE ELEMENTS  E DETAILS - WALLS, FENCES, AND PIERS  E DETAILS - NORTH COURTYARD FENCE  ANTING PLANS, LEGENDS, AND DETAILS  AL  VER SHEET  E LOAD DIAGRAMS, ABBREVITATIONS, AND SYMBOLS  OW LOAD DIAGRAMS  TERIOR COMPONENTS & CLADDING WIND LOAD DIAGRAMS  UNDATION PLAN  ST FLOOR FRAMING PLAN  COND FLOOR FRAMING PLAN	. A52 . A60 . A61 . A61 . A70 . A70 . A70 . A70 . A70 . A70 . A71 . A80 . A81 . A81 . A81 . A90 . A90 . A90 . A95 . A95 . A95 . A97 FOC	ROOF DETAILS PARTITION SCHEDULE FINISH SCHEDULE TO FINISH SCHEDULE TO CELLAR REFLECTED CEILING PLAN CELLAR REFLECTED CEILING PLAN THIRD FLOOR REFLECTED CEILING PLAN CEILING DETAILS CEILING DETAILS CELLAR AND FIRST FLOOR INTERIOR ELEVATIONS THIRD FLOOR THIRD FLOOR INTERIOR ELEVATIONS CELLAR AND THIRD FLOOR INTERIOR ELEVATIONS CELLAR AND THIRD FLOOR INTERIOR ELEVATIONS CELLAR AND THIRD FLOOR INTERIOR ELEVATIONS CELLAR FINISH & TRIM DETAILS CELLAR FINISH PLAN CELLAR FINISH PLAN CELLAR FINISH PLAN CELLAR FINISH PLAN CELLAR FURNITURE PLAN THIRD FLOOR FURNITURE PLAN		P103S THIRD FLOOR SUPPLY PLAN P104 ROOF PLAN P301 SANITARY RISER DIAGRAM P302 SANITARY RISER DIAGRAM P311 STORM WATER RISER DIAGRAM P321 NATURAL GAS RISER DIAGRAM P501 PLUMBING DETAILS P502 PLUMBING DETAILS P503 PLUMBING DETAILS P601 PLUMBING SCHEDULES  FIRE PROTECTION FP001 FIRE PROTECTION COVER SHEET FP100 BASEMENT FLOOR FP101 FIRST FLOOR SUPPLY PLAN FP102 SECOND FLOOR FP103 THIRD FLOOR FP501 RISER DIAGRAM  ELECTRICAL E001 ELECTRICAL NOTES AND ABBREVIATIONS
\$1501 GRAD \$1701 UTILIT \$6001 SITE II \$6002 SITE II \$6003 SITE II \$8001 EROS \$8501 EROS \$8501 EROS \$8502 EROS  ANDSCAPE \$100 LAND \$100 SITE II \$102 SITE II \$102 SITE II \$103 SNOW \$100 FOUN \$101 FIRST \$102 SECO \$103 THIRE \$104 ROOF \$103 TYPIC \$104 TYPIC \$105 TYPIC \$105 TYPIC \$106 FOUN \$106 FOUN \$107 TYPIC \$107 TYPIC \$108 TYPIC \$109 TYPIC \$100 FOUN \$100 FO	ADING PLAN  LITY PLAN  E DETAILS  E DETAILS  E DETAILS  OSION & SEDIMENT CONTROL PLAN  OSION & SEDIMENT CONTROL DETAILS  OSION & SEDIMENT CONTROL NOTES  E  NDSCAPE PLANS  E DETAILS - PAVING, CURBS, AND STONE ELEMENTS  E DETAILS - WALLS, FENCES, AND PIERS  E DETAILS - NORTH COURTYARD FENCE  ANTING PLANS, LEGENDS, AND DETAILS  AL  VER SHEET  E LOAD DIAGRAMS, ABBREVITATIONS, AND SYMBOLS  OW LOAD DIAGRAMS  TERIOR COMPONENTS & CLADDING WIND LOAD DIAGRAMS  UNDATION PLAN  ST FLOOR FRAMING PLAN  COND FLOOR FRAMING PLAN	. A61 . A70 . A71 . A80 . A81 . A81 . A81 . A90 . A90 . A90 . A95 . A95 . A95 . A97 . FOC	FINISH SCHEDULE  DOOR AND WINDOW SCHEDULE AND DETAILS  CELLAR REFLECTED CEILING PLAN  FIRST FLOOR REFLECTED CEILING PLAN  ESCOND FLOOR REFLECTED CEILING PLAN  THIRD FLOOR REFLECTED CEILING PLAN  CEILING DETAILS  CELLAR AND FIRST FLOOR INTERIOR ELEVATIONS  FIRST AND SECOND FLOOR INTERIOR ELEVATIONS  ESCOND AND THIRD FLOOR INTERIOR ELEVATIONS  INTERIOR DETAILS - FINISH & TRIM DETAILS  INTERIOR DETAILS - MILLWORK  INTERIOR DETAILS - MILLWORK  FIRST FLOOR FINISH PLAN  CELLAR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FURNITURE PLAN  FIRST FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN		P301 SANITARY RISER DIAGRAM P302 SANITARY RISER DIAGRAM P311 STORM WATER RISER DIAGRAM P321 NATURAL GAS RISER DIAGRAM P501 PLUMBING DETAILS P502 PLUMBING DETAILS P503 PLUMBING DETAILS P601 PLUMBING SCHEDULES  FIRE PROTECTION FP001 FIRE PROTECTION COVER SHEET FP100 BASEMENT FLOOR FP101 FIRST FLOOR SUPPLY PLAN FP102 SECOND FLOOR FP103 THIRD FLOOR FP501 RISER DIAGRAM  ELECTRICAL E001 ELECTRICAL NOTES AND ABBREVIATIONS
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100	NDSCAPE PLANS  NDSCAPE PLANS  E DETAILS - PAVING, CURBS, AND STONE ELEMENTS  E DETAILS - WALLS, FENCES, AND PIERS  E DETAILS - NORTH COURTYARD FENCE ANTING PLANS, LEGENDS, AND DETAILS  ***  VER SHEET  E LOAD DIAGRAMS, ABBREVITATIONS, AND SYMBOLS  OW LOAD DIAGRAMS  TERIOR COMPONENTS & CLADDING WIND LOAD DIAGRAMS  UNDATION PLAN  ST FLOOR FRAMING PLAN  COND FLOOR FRAMING PLAN	. A81 A81 A81 A90 A90 A90 A95 A95 A95 A97 . FOC	INTERIOR DETAILS - FINISH & TRIM DETAILS INTERIOR DETAILS - MILLWORK INTERIOR DETAILS - MILLWORK DETAILS CELLAR FINISH PLAN FIRST FLOOR FINISH PLAN SECOND FLOOR FINISH PLAN CELLAR FURNITURE PLAN FIRST FLOOR FURNITURE PLAN THIRD FLOOR FURNITURE PLAN		FP001 FIRE PROTECTION COVER SHEET  FP100 BASEMENT FLOOR  FP101 FIRST FLOOR SUPPLY PLAN  FP102 SECOND FLOOR  FP103 THIRD FLOOR  FP501 RISER DIAGRAM   ELECTRICAL  E001 ELECTRICAL NOTES AND ABBREVIATIONS
00 SITE II 01 SITE II 02 SITE II 00 PLAN  TRUCTURAL 001 COVE 002 LIVE II 003 SNOW 004 EXTE 000 FOUN 001 FIRST 002 SECO 003 THIRE 004 ROOF 004 TYPIC 005 FOUN 006 FOUN	E DETAILS - PAVING, CURBS, AND STONE ELEMENTS  E DETAILS - WALLS, FENCES, AND PIERS  E DETAILS - NORTH COURTYARD FENCE  ANTING PLANS, LEGENDS, AND DETAILS  ***  ***  ***  ***  ***  ***  **  **	. A81 . A90 . A90 . A90 . A95 . A95 . A95 . A95 . A97 . FOC	INTERIOR DETAILS - MILLWORK DETAILS  CELLAR FINISH PLAN  FIRST FLOOR FINISH PLAN  SECOND FLOOR FINISH PLAN  THIRD FLOOR FINISH PLAN  CELLAR FURNITURE PLAN  FIRST FLOOR FURNITURE PLAN  SECOND FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN  THIRD FLOOR FURNITURE PLAN		FP101 FIRST FLOOR SUPPLY PLAN  FP102 SECOND FLOOR  FP103 THIRD FLOOR  FP501 RISER DIAGRAM   ELECTRICAL  E001 ELECTRICAL NOTES AND ABBREVIATIONS
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103 THIRE 104 ROOF 501 TYPIC 502 TYPIC 503 TYPIC 504 TYPIC 505 FOUN 506 FOUN			OD SERVICE -1.0 FOODSERVICE EQUIPMENT PLAN - 1ST FLOOR		ER103 THIRD FLOOR RACEWAY PLAN
501 TYPIC 502 TYPIC 503 TYPIC 504 TYPIC 505 FOUN 506 FOUN	RD FLOOR FRAMING PLAN .	· FS-			EL100 CELLAR LIGHTING PLAN EL101A FIRST FLOOR LIGHTING PLAN - OVERALL
<ul> <li>TYPIC</li> <li>TYPIC</li> <li>TYPIC</li> <li>TYPIC</li> <li>TYPIC</li> <li>FOUN</li> <li>FOUN</li> </ul>	OF FRAMING PLAN	+	-1.2 FOODSERVICE EQUIPMENT PLAN - 2ND FLOOR		EL101B FIRST FLOOR LIGHTING PLAN - MILLWORK
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505 FOUN 506 FOUN	PICAL PILE CAP DETAILS .		-1.5 FOODSERVICE ELECTRICAL PLAN - 2ND FLOOR		EL103 THIRD FLOOR LIGHTING PLAN
	PICAL GRADE BEAM DETAILS  UNDATION SECTIONS AND DETAILS  .	FS-1	-1.6 FOODSERVICE ELECTRICAL SCHEDULES -1.7 FOODSERVICE PLUMBING PLAN - 1ST FLOOR		EL601 LIGHTING CONTROL SEQUENCE OF OPERATION EL602 LIGHTING FIXTURE SCHEDULE
o11 TYPIC	UNDATION SECTIONS AND DETAILS	· FS-			EL603 LIGHTING FIXTURE SCHEDULE
512 TYPIC	PICAL SUPERSTRUCTURE SECTIONS AND DETAILS PICAL SUPERSTRUCTURE SECTIONS AND DETAILS	· FS-2	-1.9 FOODSERVICE PLUMBING SCHEDULES -2.0 EXHAUST HOOD DETAILS		EL604 LIGHTING FIXTURE SCHEDULE EL605 LIGHTING FIXTURE SCHEDULE
	PICAL SUPERSTRUCTURE SECTIONS AND DETAILS .		-3.0 WALK-IN DETAILS		EL606 LIGHTING CONTROL LOAD SCHEDULE
	PERSTRUCTURE SECTIONS AND DETAILS PERSTRUCTURE SECTIONS AND DETAILS	· FS-3	-3.1 WALK-IN DETAILS -3.2 WALK-IN DETAILS		EP200 CELLAR POWER PLAN EP201 FIRST FLOOR POWER PLAN
	PERSTRUCTURE SECTIONS AND DETAILS		-3.3 WALK-IN DETAILS		EP202 SECOND FLOOR POWER PLAN
601 COLU	LUMN SCHEDULE ·	. FS-3	-3.4 WALK-IN DETAILS		EP203 THIRD FLOOR POWER PLAN EP204 ROOF FLOOR POWER PLAN
CHITECTUR		MEC	CHANICAL		E301 SINGLE LINE DIAGRAMS
	E PLAN	· M00			E302 SINGLE LINE DIAGRAMS FA301 FIRE ALARM RISER DIAGRAM
	ST FLOOR CONTROL PLAN	· M10			E501 ELECTRICAL DETAILS
	COND FLOOR CONTROL PLAN  RD FLOOR CONTROL PLAN  .	· M10		<u> </u>	E502 ELECTRICAL DETAILS  E601 CELLAR AND FIRST FLOOR PANEL SCHEDULES
	OF CONTROL PLAN .	· M10	04 MECHANICAL ROOF PLAN		E602 FIRST FLOOR PANEL SCHEDULES
	LLAR PLAN . ST FLOOR PLAN .	. M30			E603 FIRST & SECOND FLOOR PANEL SCHEDULES E604 SECOND & THIRD FLOOR PANEL SCHEDULES
	COND FLOOR PLAN .	· M50			E604 SECOND & THIRD FLOOR PANEL SCHEDULES
	RD FLOOR PLAN .	. M60			TELECOM TOO1 TELECOMMUNICATIONS NOTES, SYMBOLS & ABBREVIATIONS
	R DETAIL PLANS AND ELEVATIONS - THE TUN BAR	·	JZ INIEGI IAINIGAE SCI IEDULES		T001 TELECOMMUNICATIONS NOTES, SYMBOLS & ABBREVIATIONS T100 TELECOMMUNICATIONS FLOOR PLAN - BASEMENT
	R DETAIL PLANS AND ELEVATIONS - CAGED BAR  R DETAIL PLANS AND ELEVATIONS - PEG MULLAN'S BAR  .	BAS			T101 TELECOMMUNICATIONS FLOOR PLAN - LEVEL 1  T102 TELECOMMUNICATIONS FLOOR PLAN - LEVEL 2
	R DETAIL PLANS AND ELEVATIONS - CHEF'S KITCHEN BAR	· BA0			T103 TELECOMMUNICATIONS FLOOR PLAN - LEVEL 3
	AIR 1 PLANS AND ELEVATIONS	BA1	101 AIR HANDLING UNIT CONTROL DIAGRAM 101A AIR HANDLING UNIT POINTS LIST	•   •	T120 TELECOMMUNICATIONS REFLECTED CEILING PLAN - BASEMENT T121 TELECOMMUNICATIONS REFLECTED CEILING PLAN - LEVEL 1
13 STAIR	AIR 2 PLANS AND ELEVATIONS .	<del>                                     </del>	101B AIR HANDLING UNIT POINTS LIST		T122 TELECOMMUNICATIONS REFLECTED CEILING PLAN - LEVEL 2
	AIR 2 DETAILS	. BA1	102 EXHAUST FAN CONTROL DIAGRAM 103 EXHAUST FAN CONTROL DIAGRAM		T123 TELECOMMUNICATIONS REFLECTED CEILING PLAN - LEVEL 3 T501 TELECOMMUNICATIONS DETAILS
20 CELL	LLAR TOILET ROOMS ENLARGED PLANS AND ELEVATIONS .	BA3	301 TERMINAL UNIT CONTROL DIAGRAM		T125 TELECOMMUNICATIONS DOOR DETAILS
	ST FLOOR TOILET ROOMS ENLARGED PLANS AND ELEVATIONS  COND FLOOR TOILET ROOMS ENLARGED PLANS AND ELEVATIONS  .	BA3			
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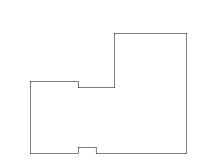
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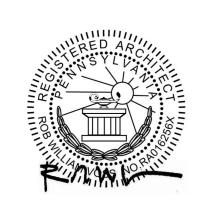
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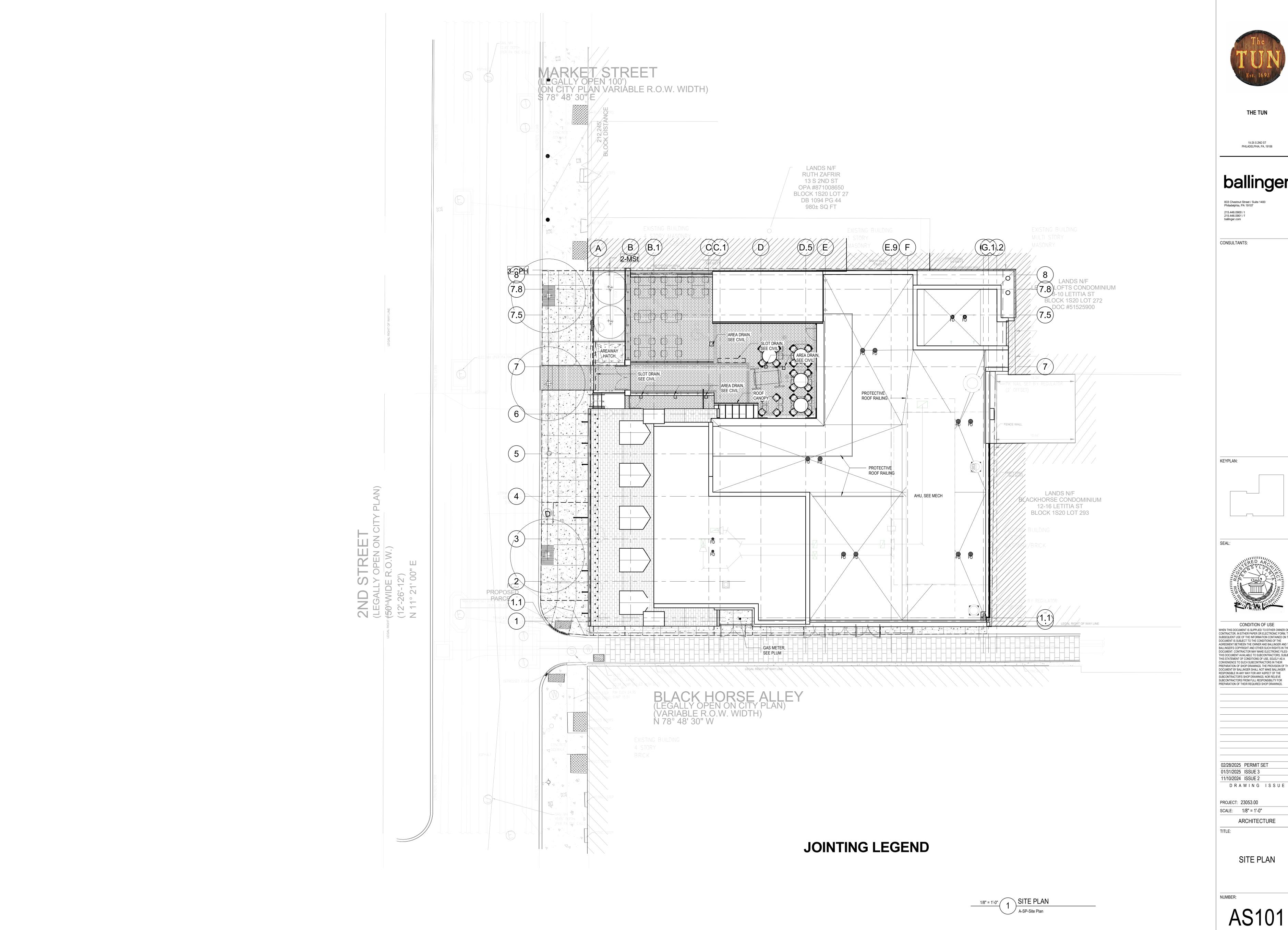
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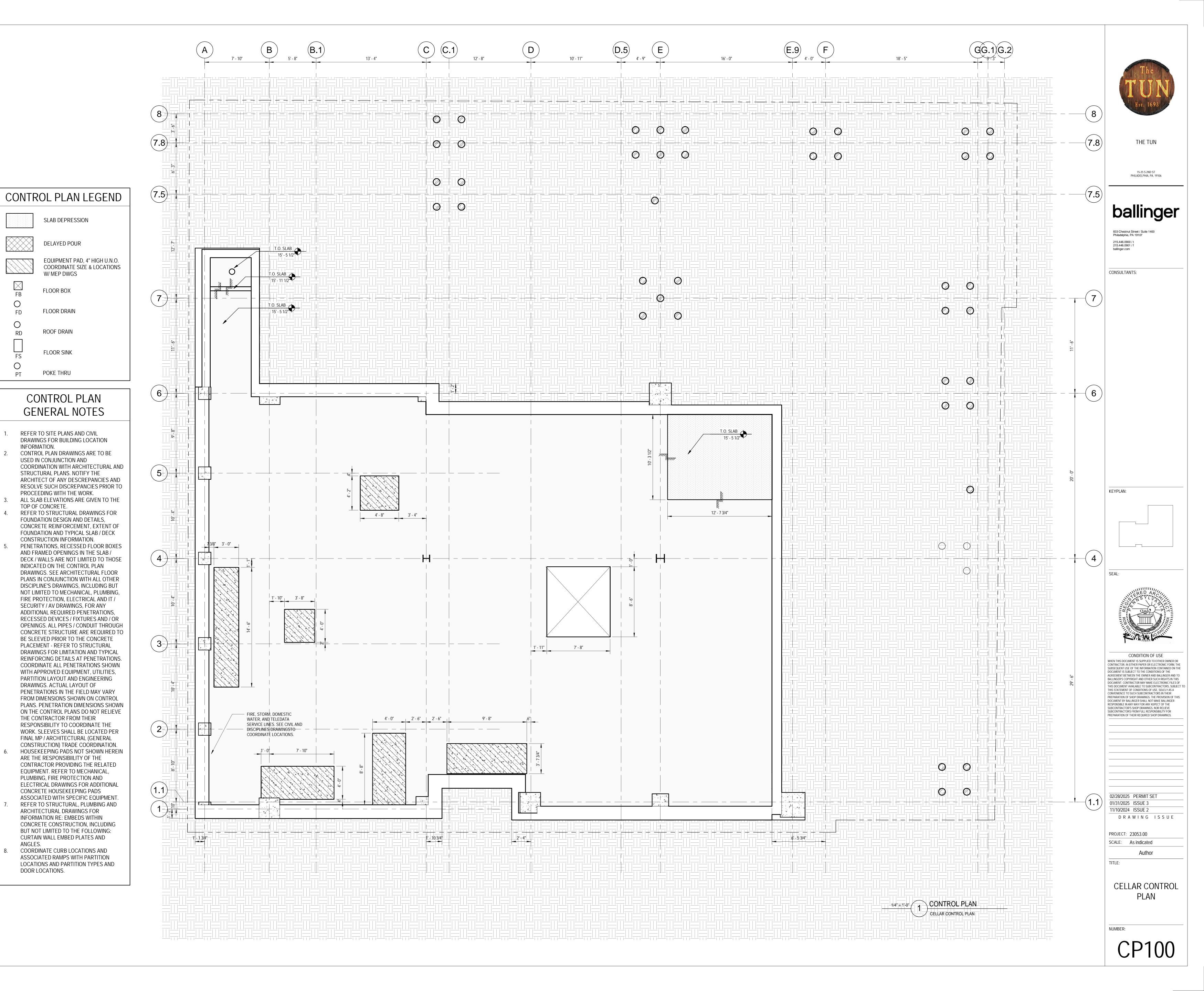
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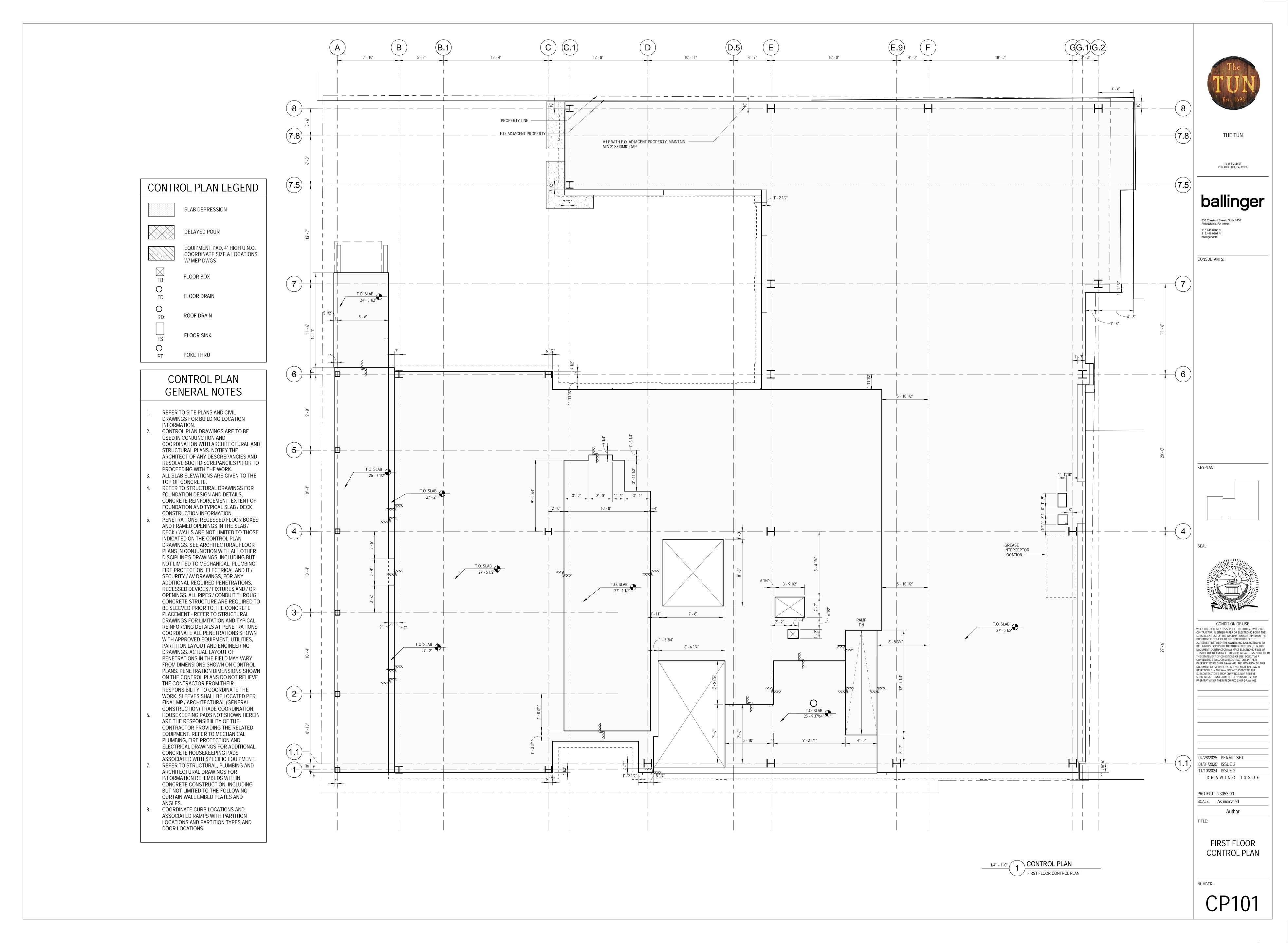
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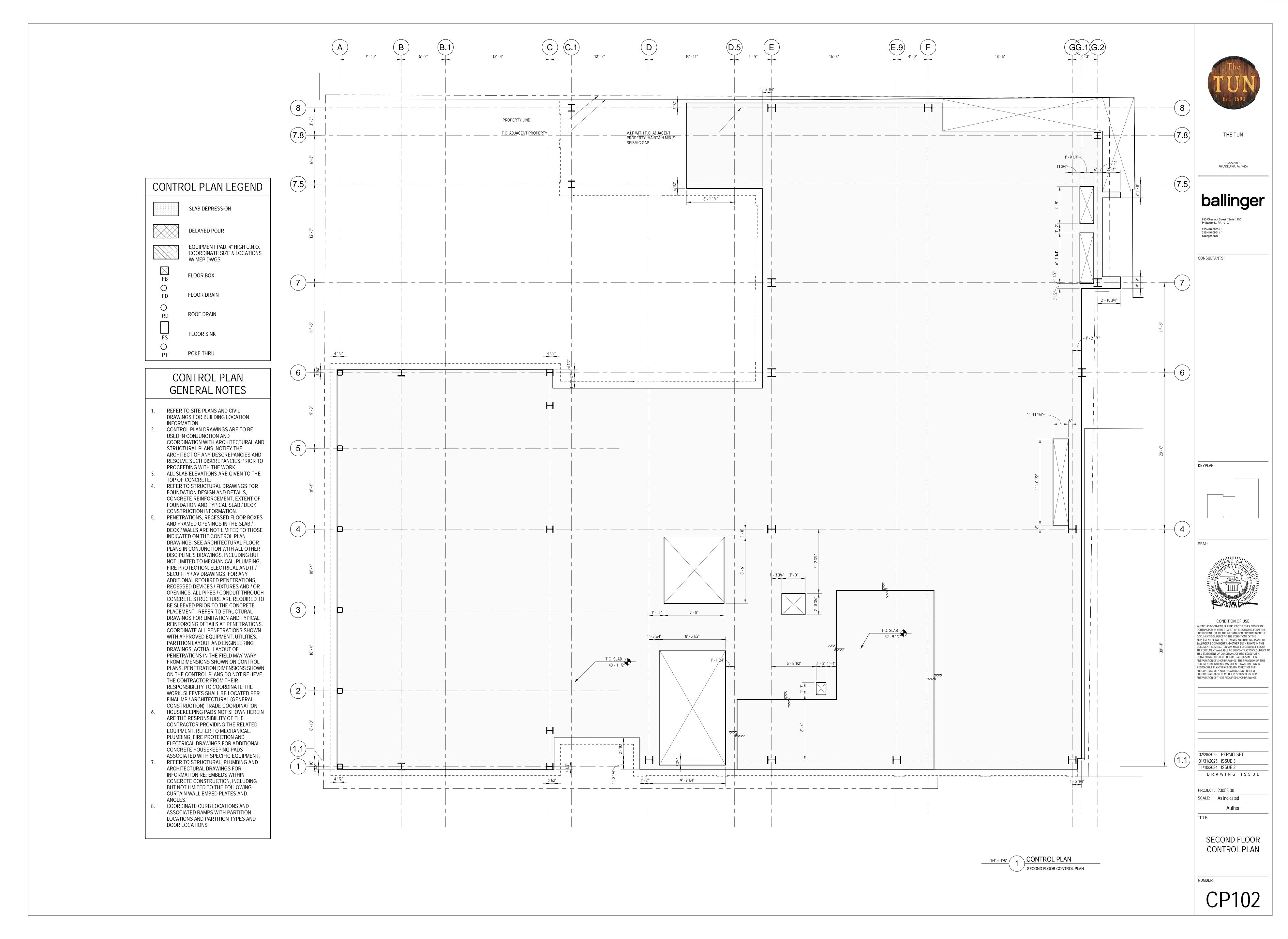
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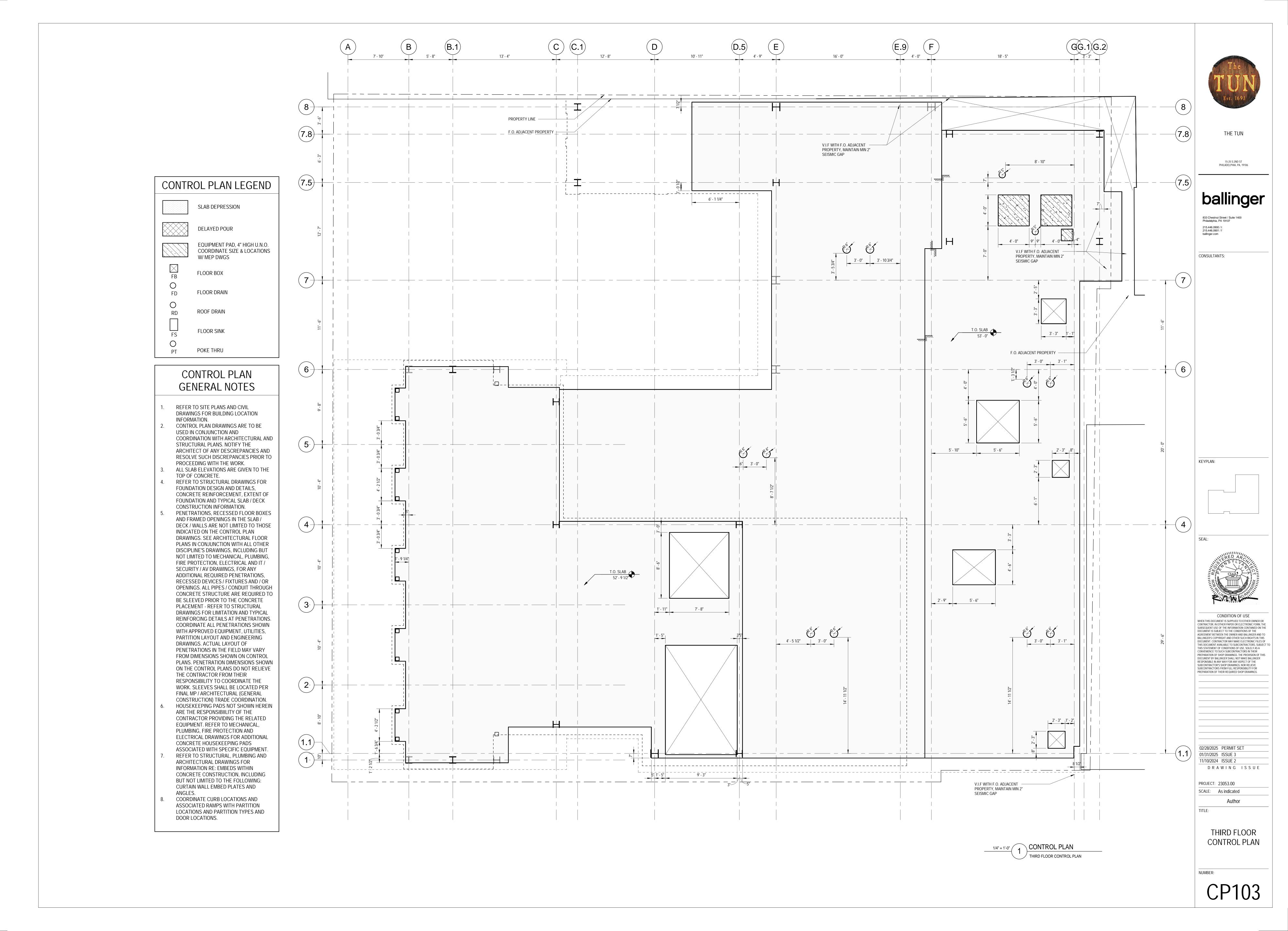
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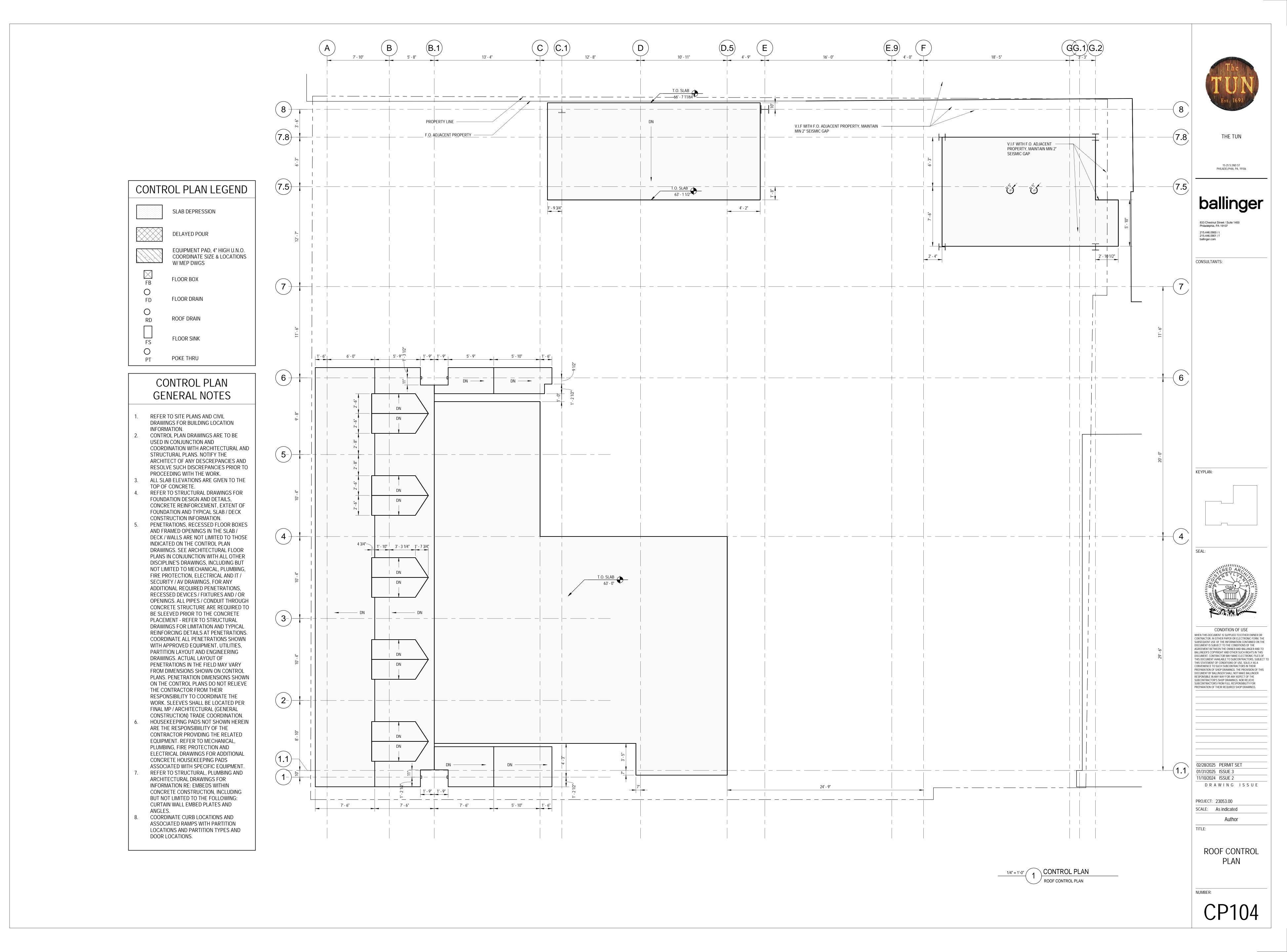


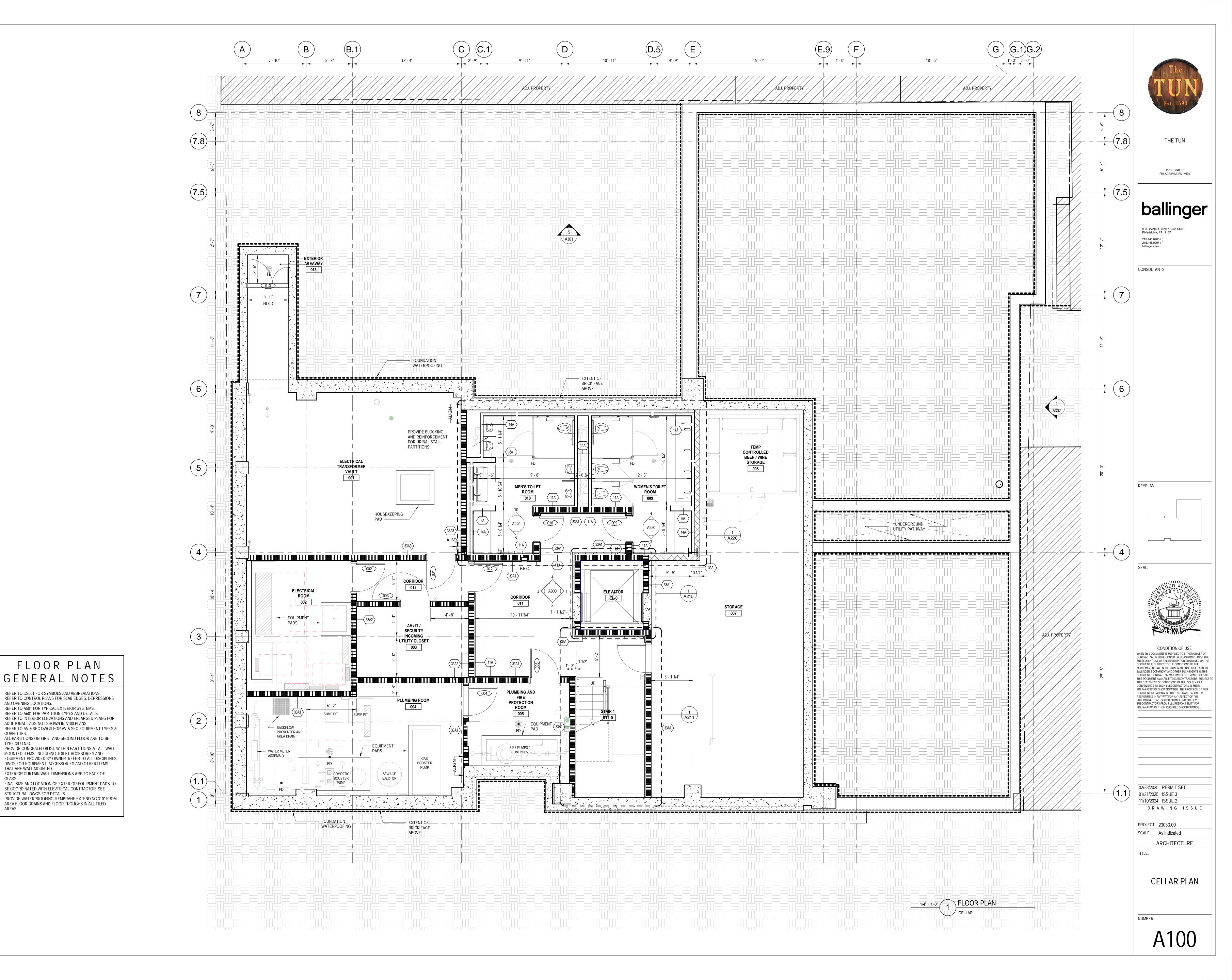
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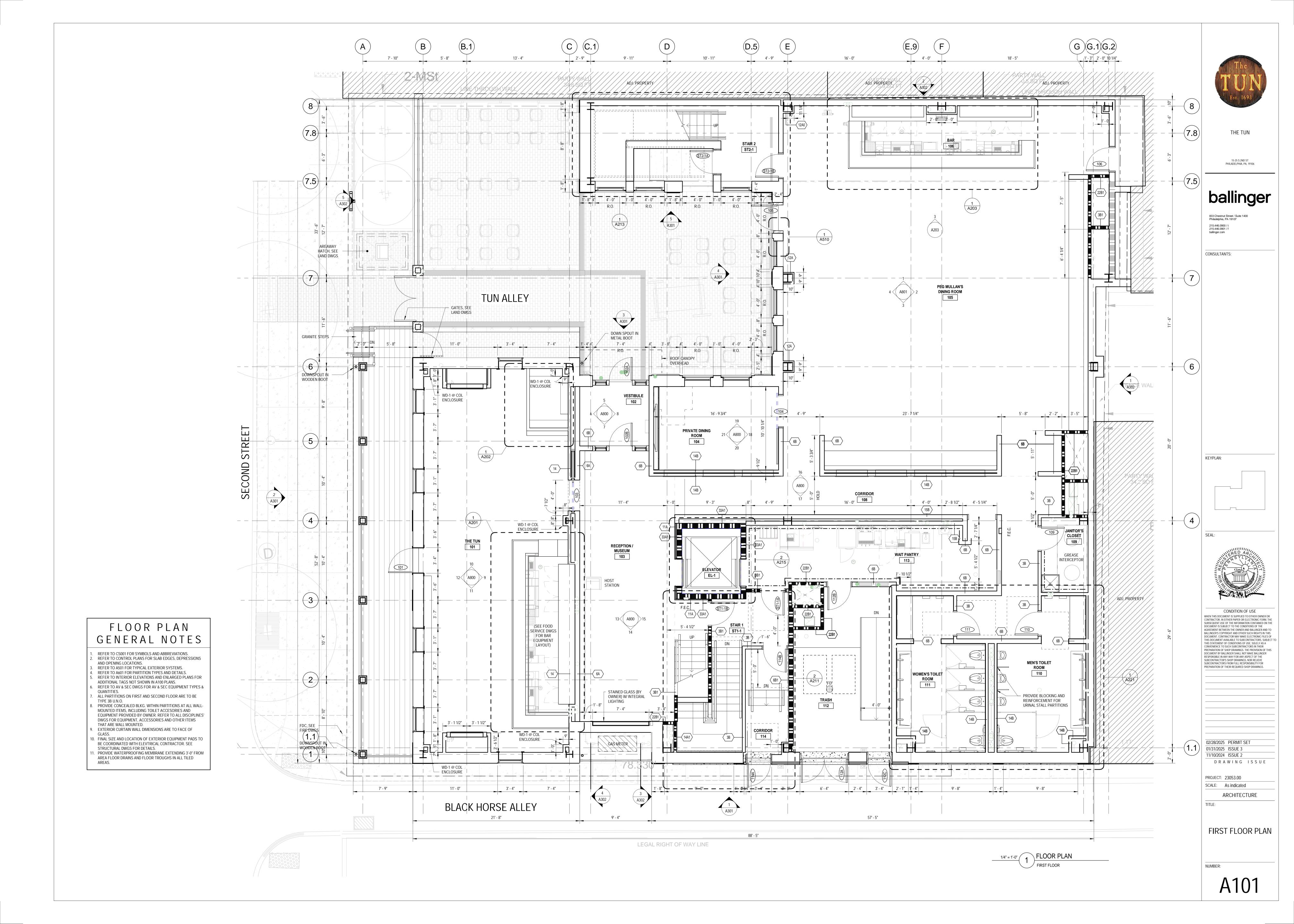


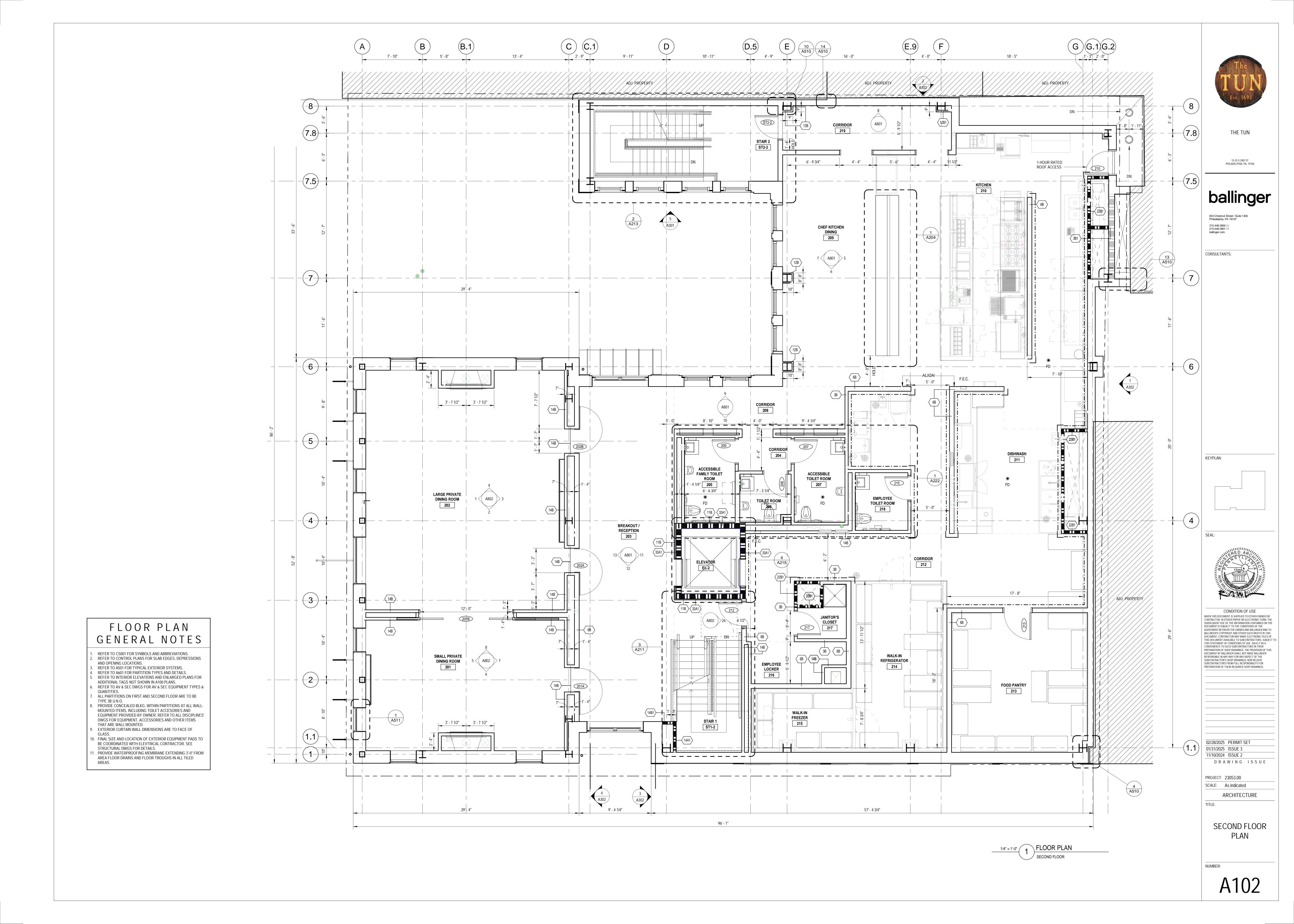


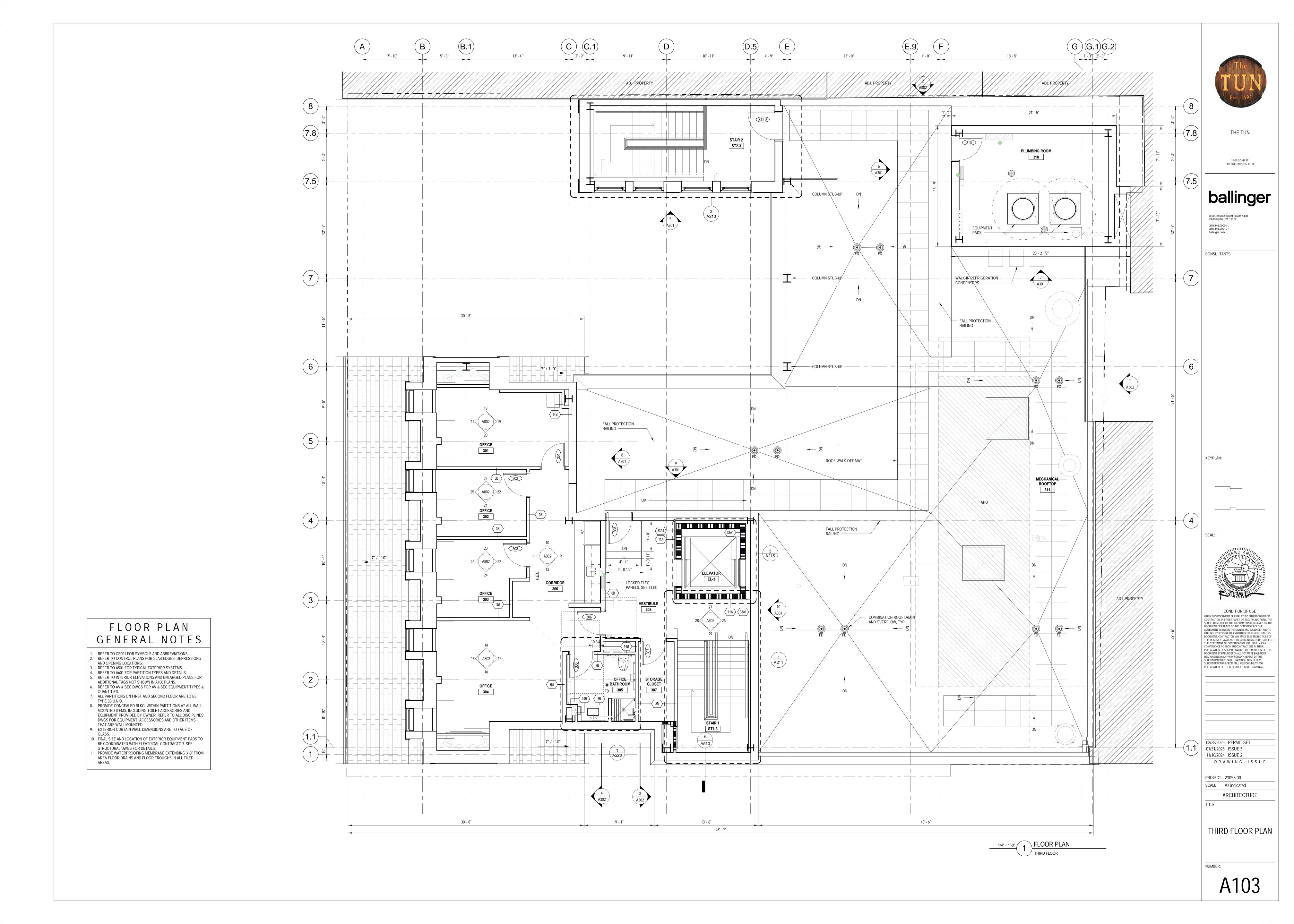


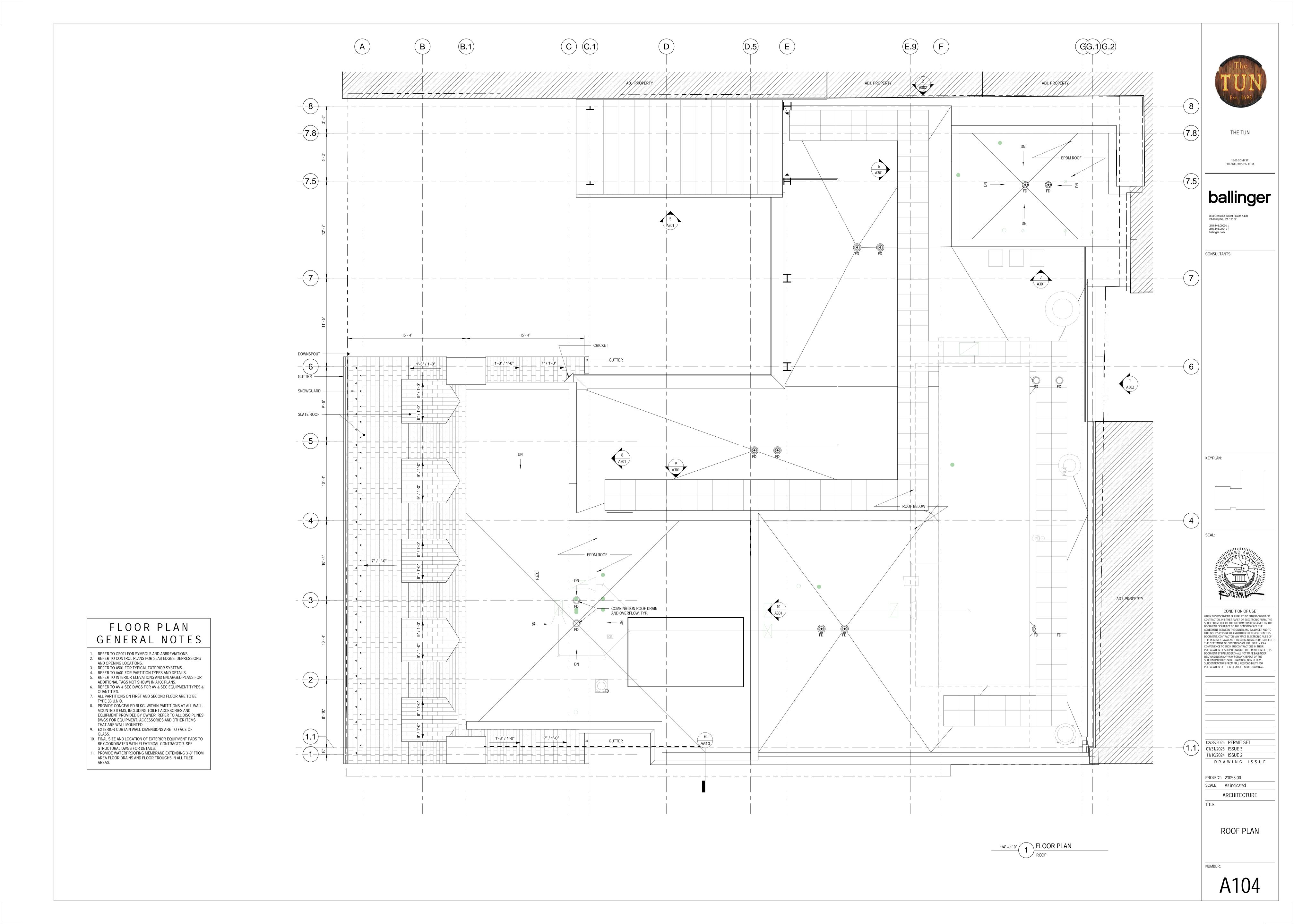
# FLOOR PLAN GENERAL NOTES

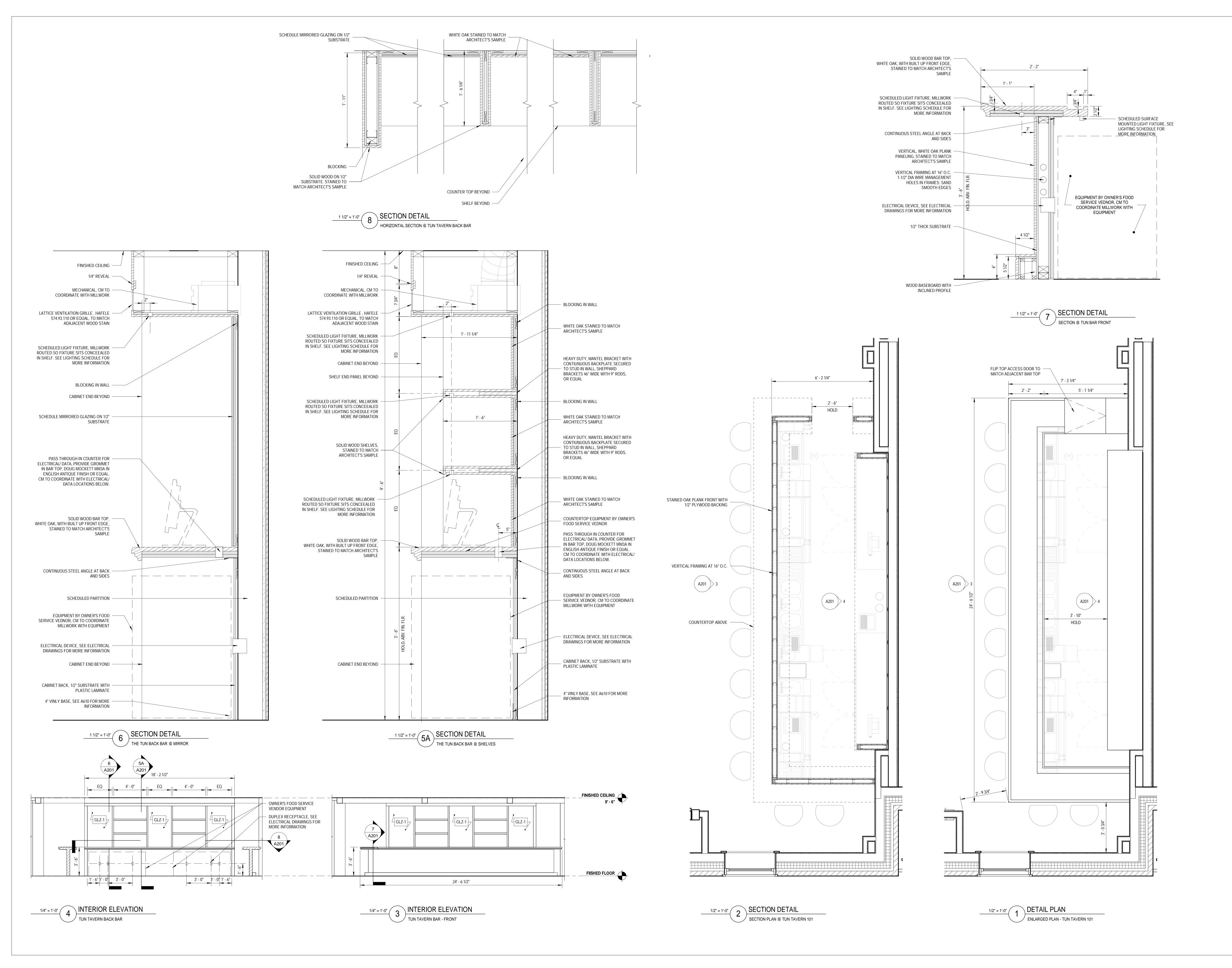
- REFER TO CS001 FOR SYMBOLS AND ABBREVIATIONS. REFER TO CONTROL PLANS FOR SLAB EDGES, DEPRESSIONS AND OPENING LOCATIONS.
- REFER TO A501 FOR TYPICAL EXTERIOR SYSTEMS. REFER TO A601 FOR PARTITION TYPES AND DETAILS. REFER TO INTERIOR ELEVATIONS AND ENLARGED PLANS FOR ADDITIONAL TAGS NOT SHOWN IN A100 PLANS.
- QUANTITIES. ALL PARTITIONS ON FIRST AND SECOND FLOOR ARE TO BE TYPE 3B U.N.O. PROVIDE CONCEALED BLKG. WITHIN PARTITIONS AT ALL WALL-
- MOUNTED ITEMS, INCLUDING TOILET ACCESORIES AND EQUIPMENT PROVIDED BY OWNER. REFER TO ALL DISCIPLINES' DWGS FOR EQUIPMENT, ACCESSORIES AND OTHER ITEMS THAT ARE WALL MOUNTED.
- EXTERIOR CURTAIN WALL DIMENSIONS ARE TO FACE OF 0. FINAL SIZE AND LOCATION OF EXTERIOR EQUIPMENT PADS TO BE COORDINATED WITH ELEVTRICAL CONTRACTOR. SEE
- STRUCTURAL DWGS FOR DETAILS. . PROVIDE WATERPROOFING MEMBRANE EXTENDING 3'-0" FROM AREA FLOOR DRAINS AND FLOOR TROUGHS IN ALL TILED











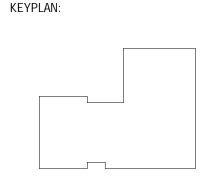


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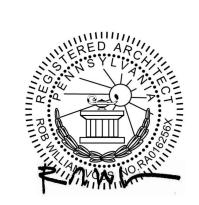
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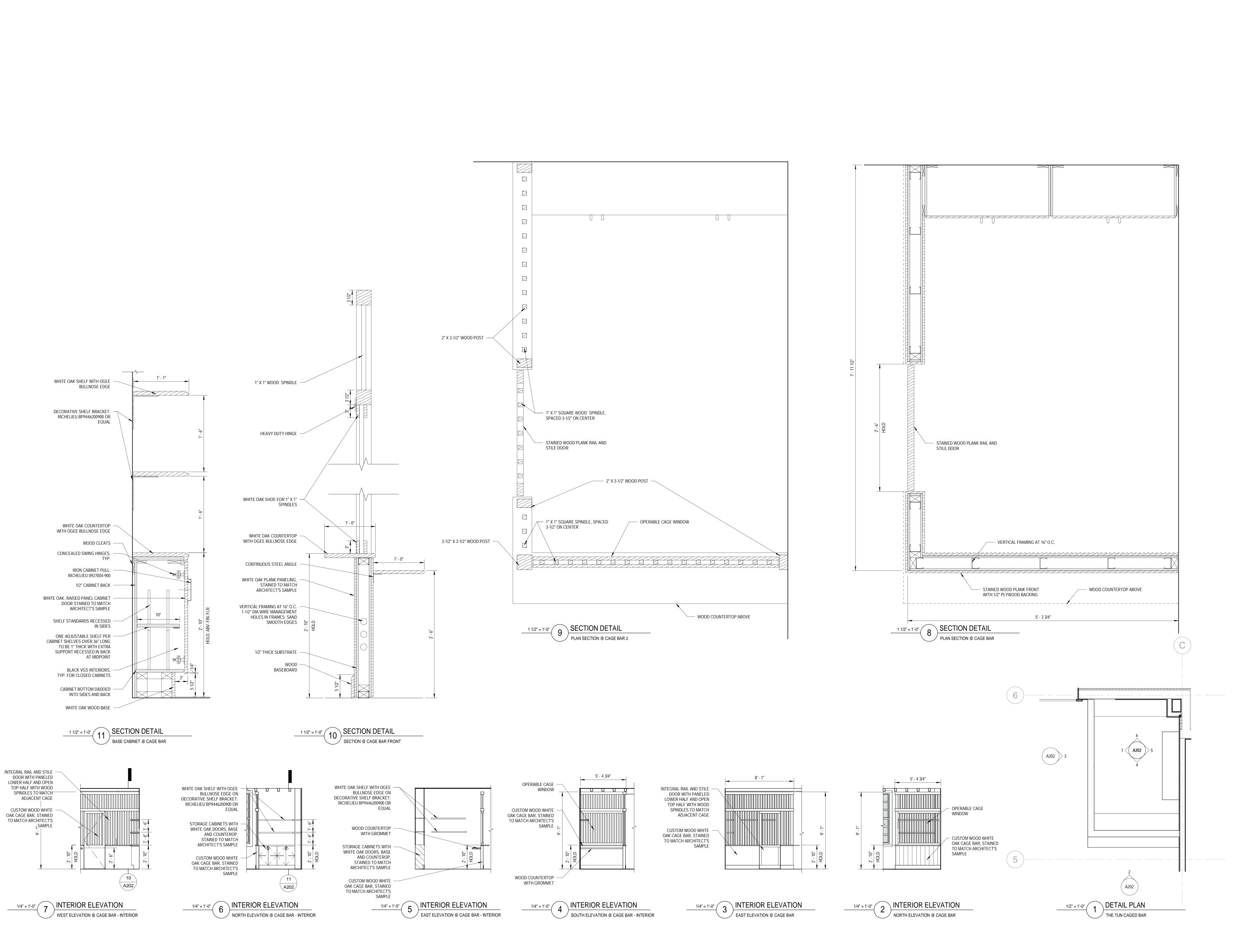
ARCHITECTURE

BAR DETAIL PLANS AND ELEVATIONS -

AND ELEVATIONS
THE TUN BAR

A201

NUMBER:





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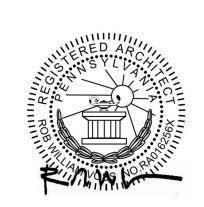
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01/31/2025 ISSUE 3 11/10/2024 ISSUE 2 D R A W I N G I S S U E

PROJECT: 23053.00

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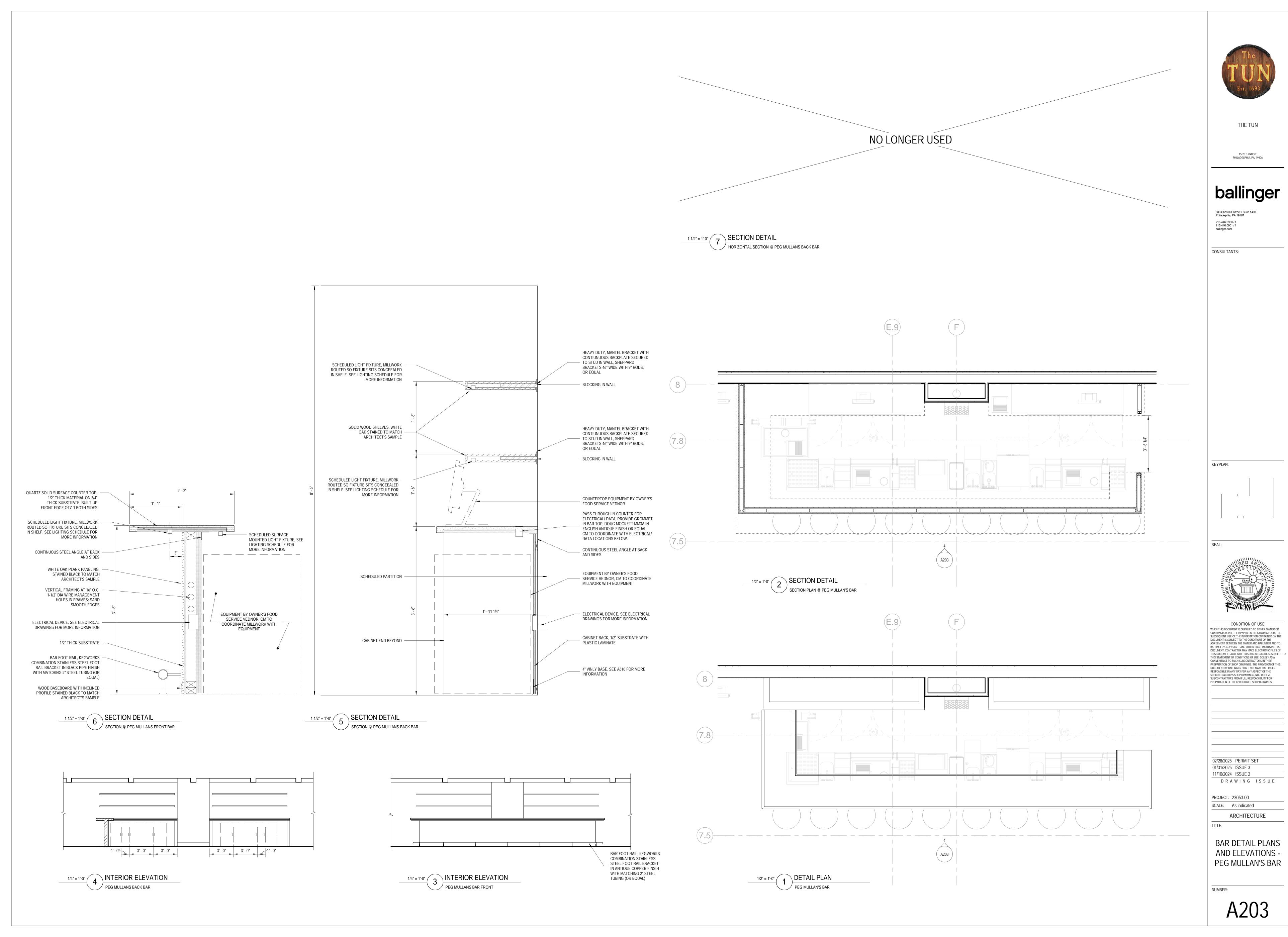
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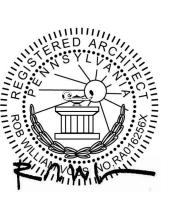
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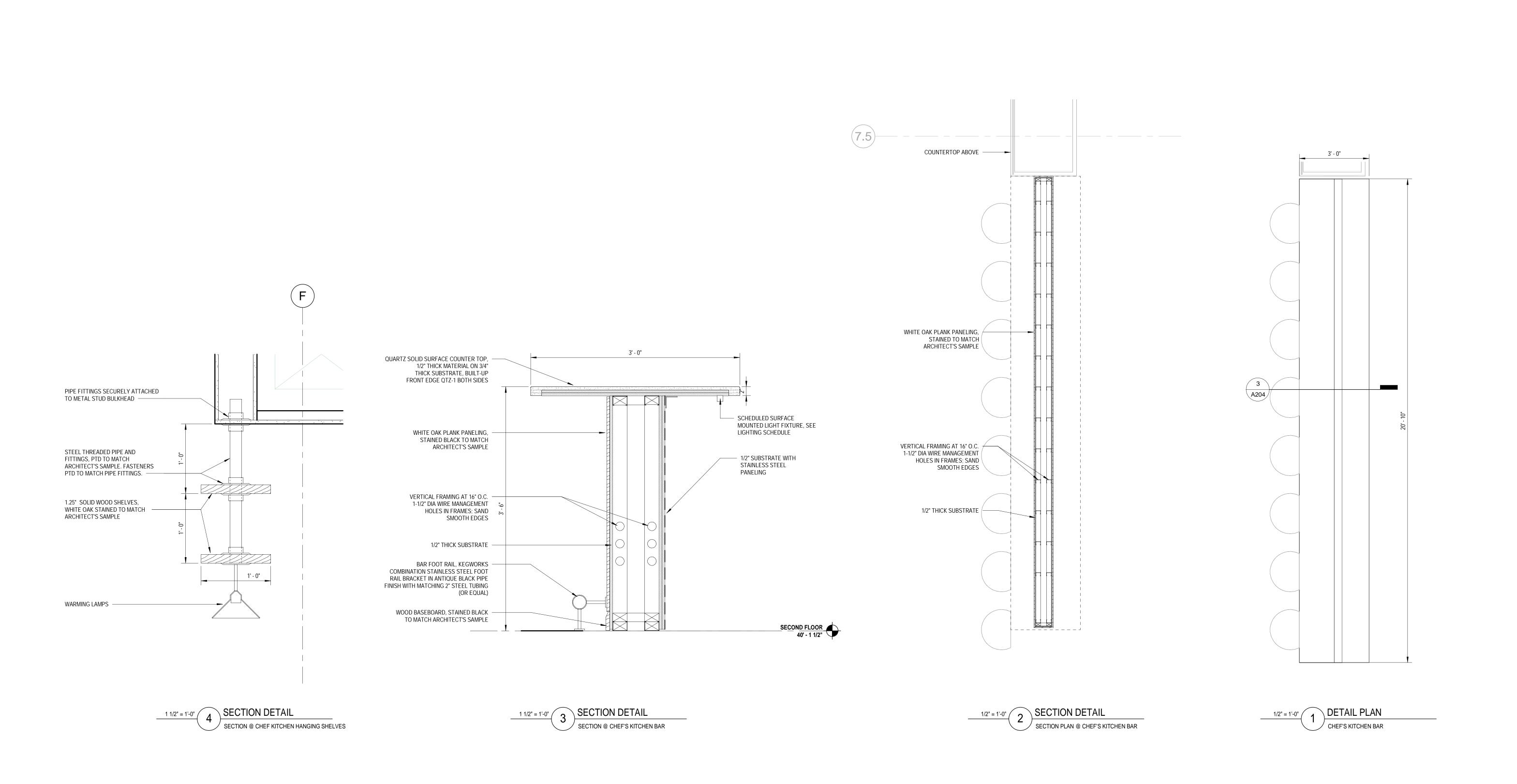
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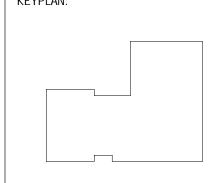
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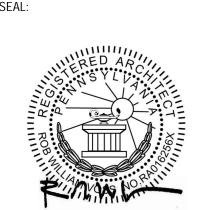
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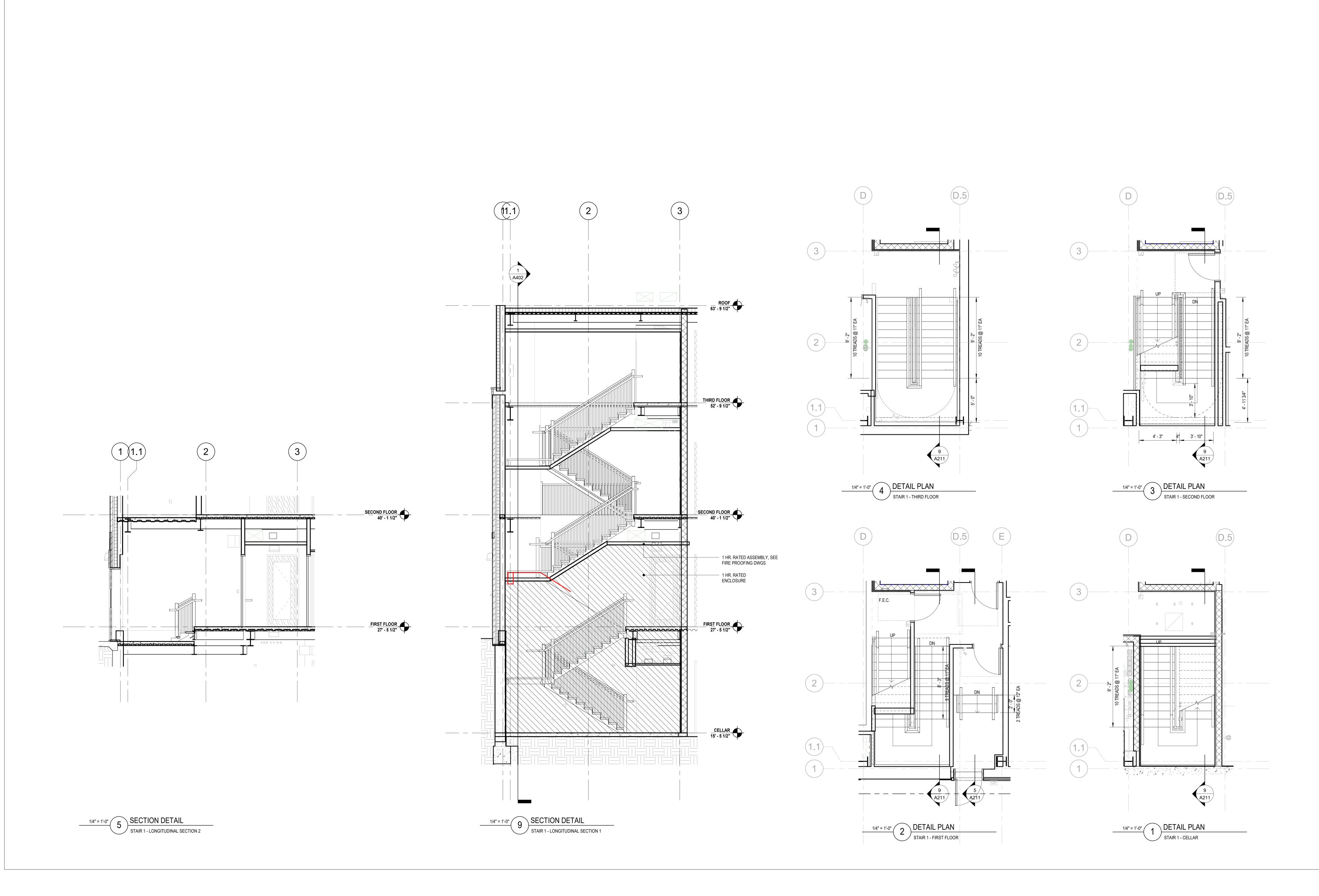
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BAR DETAIL PLANS AND ELEVATIONS -CHEF'S KITCHEN

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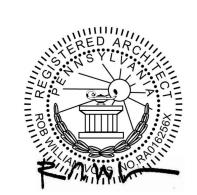
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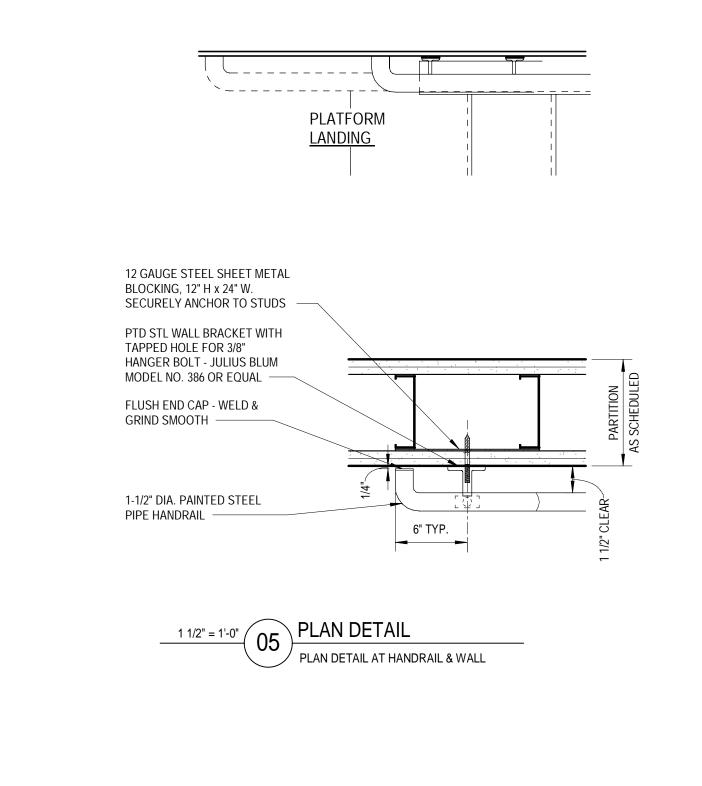
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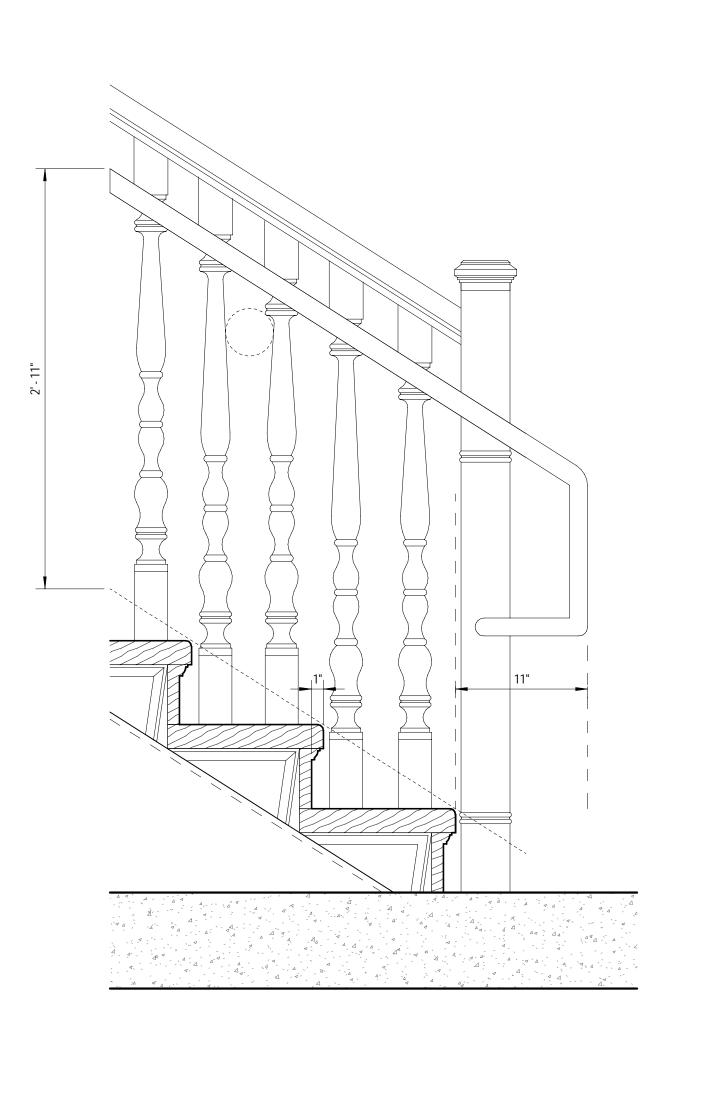
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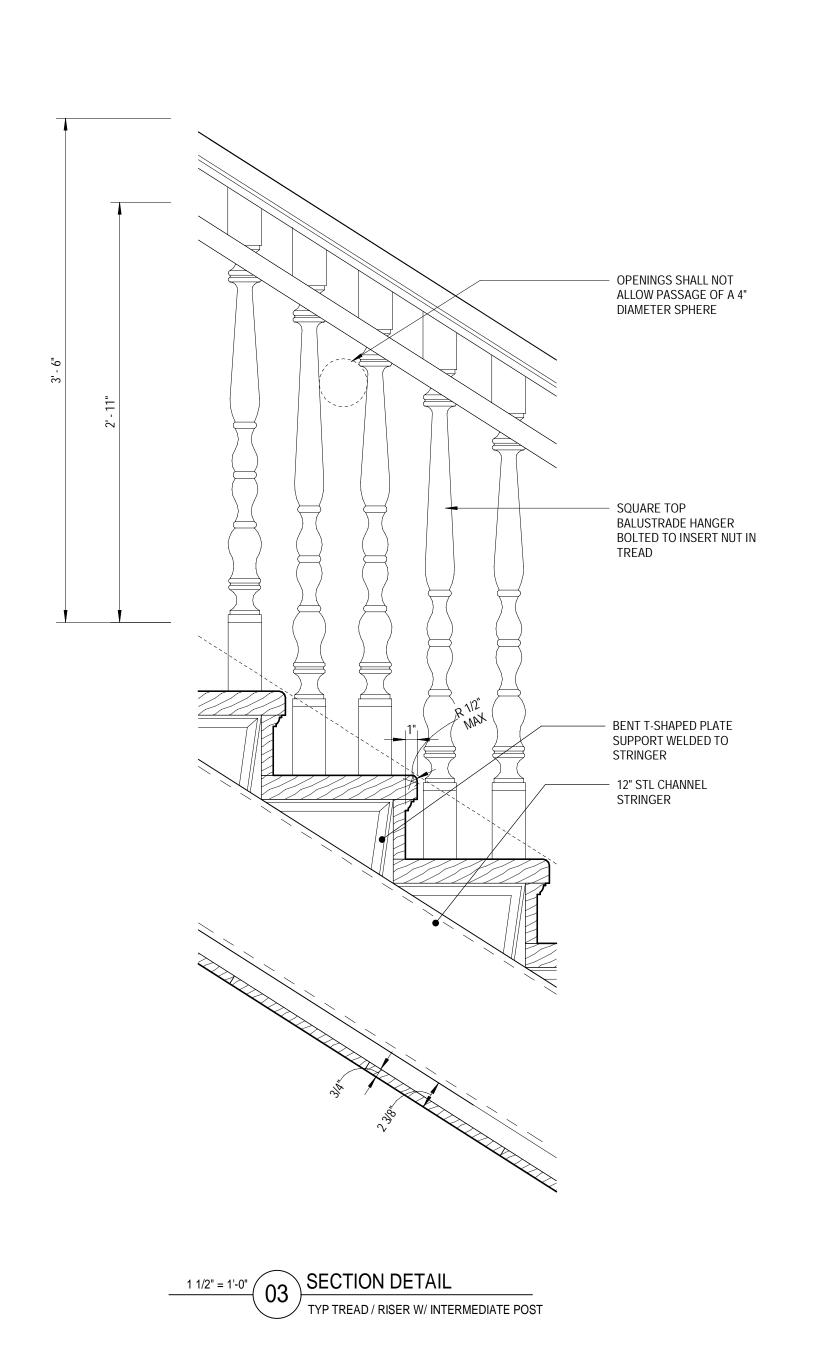
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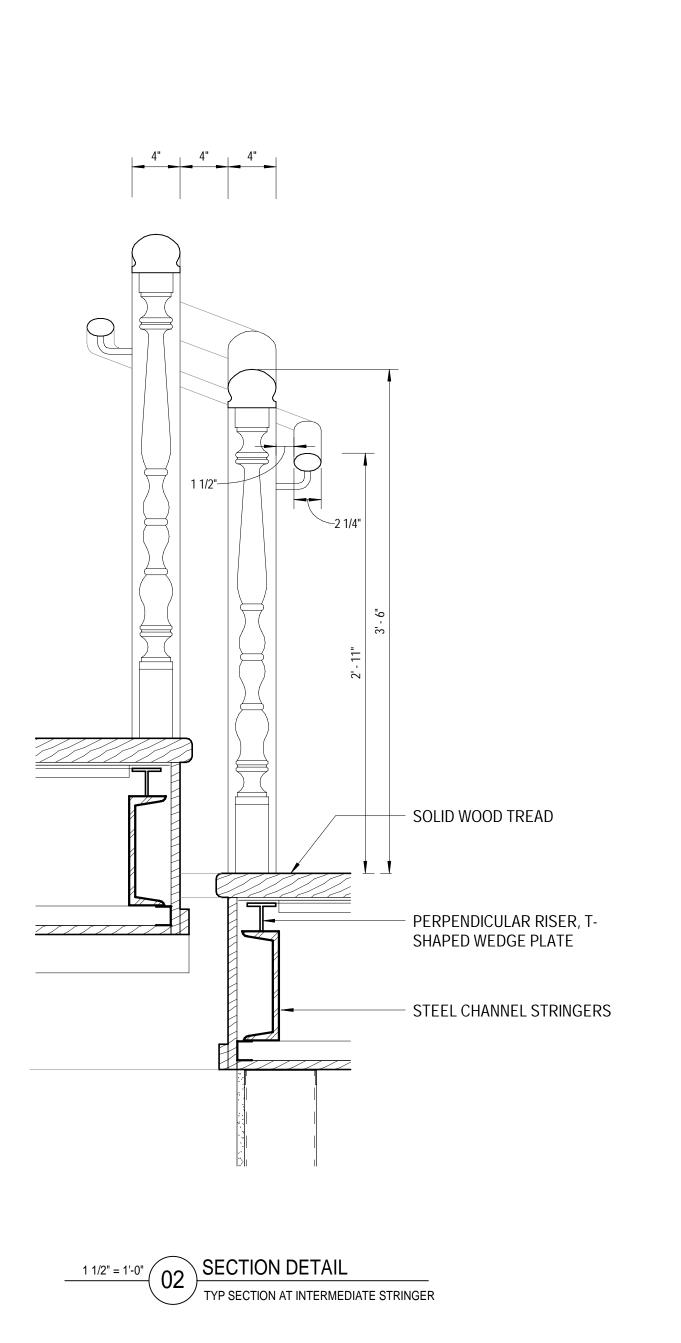
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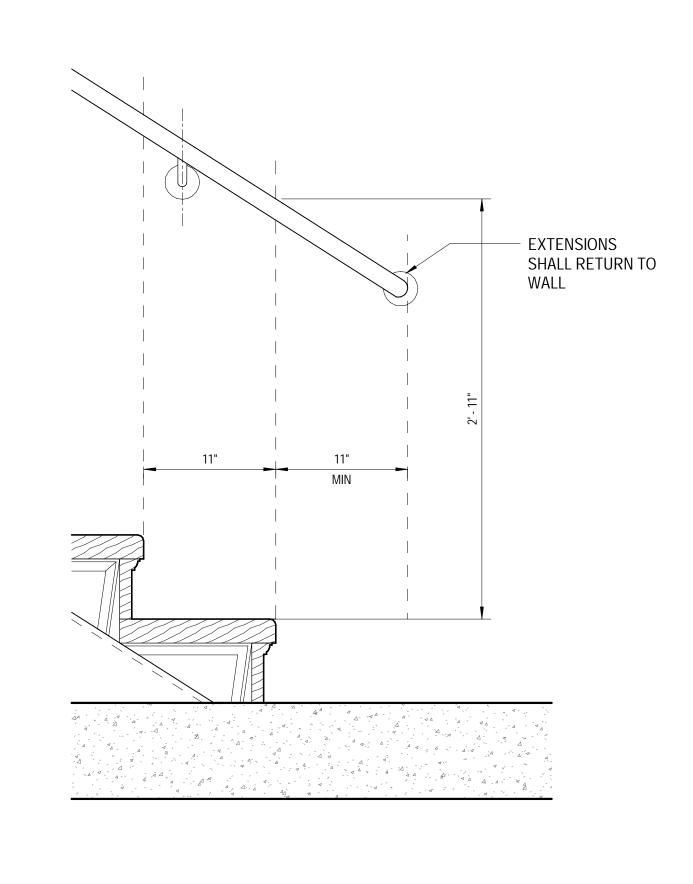












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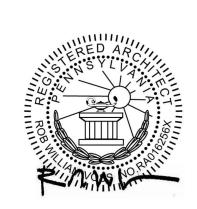
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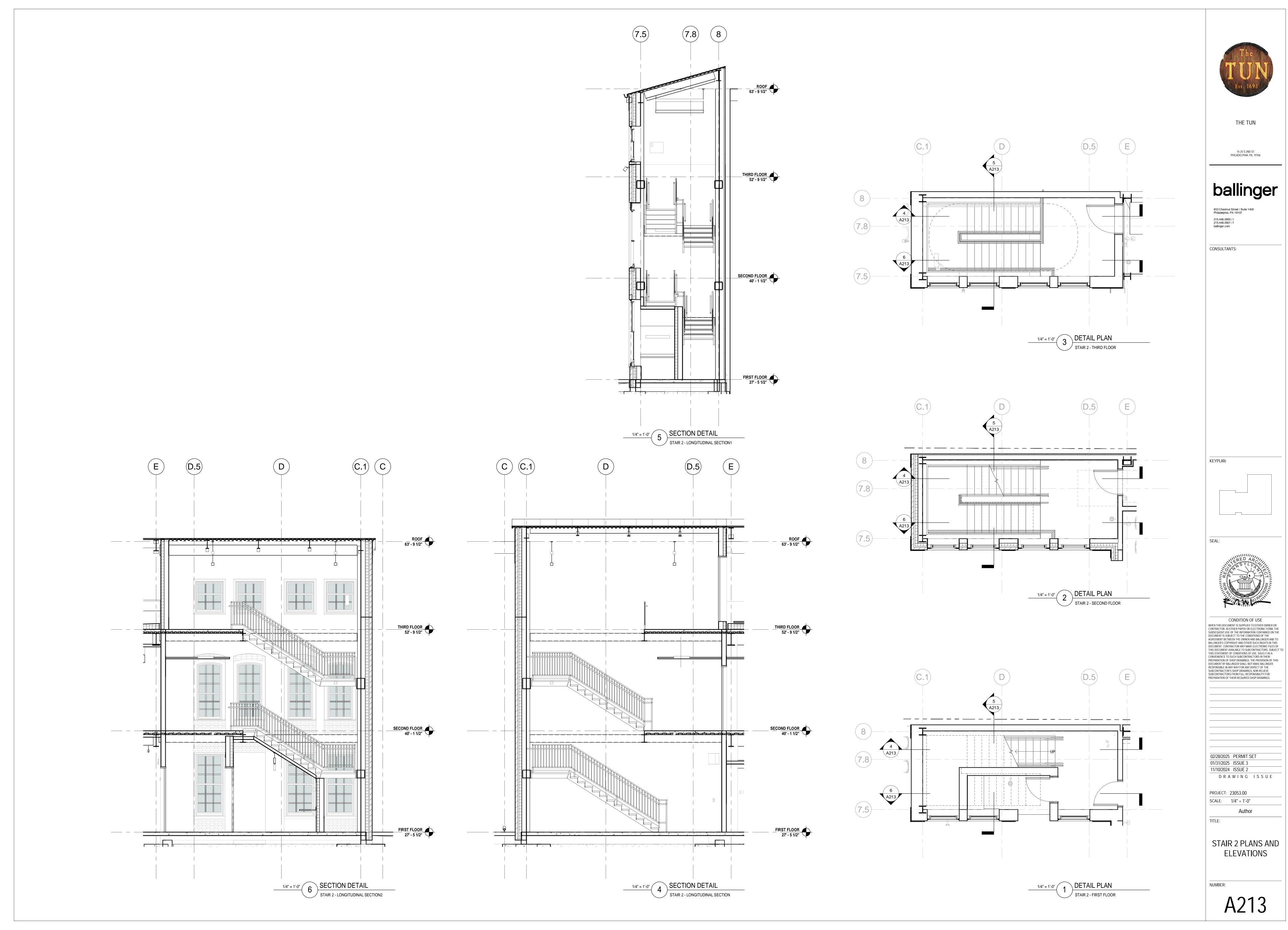
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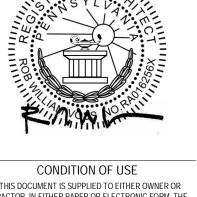
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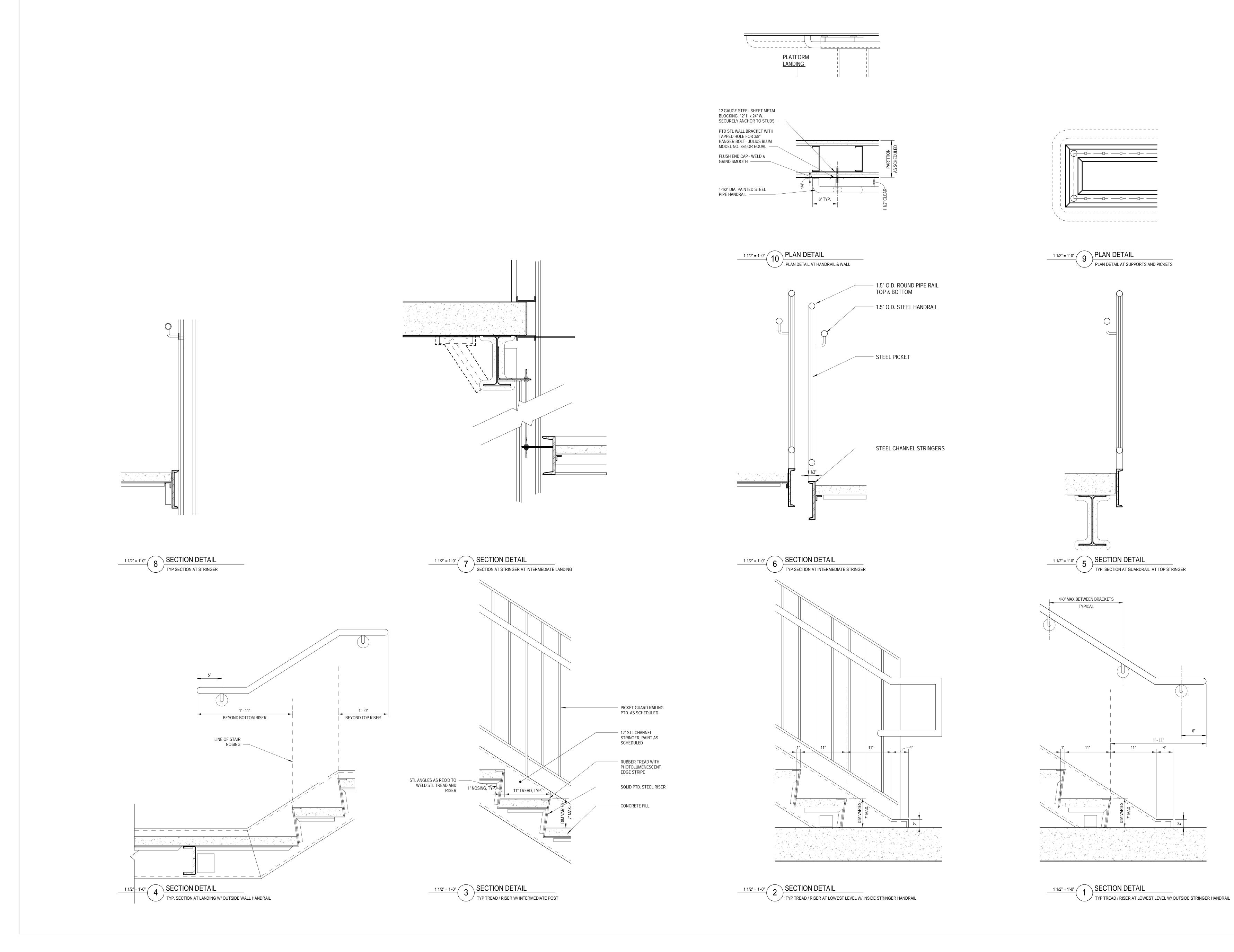
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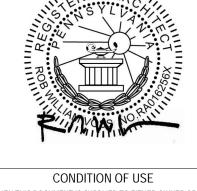
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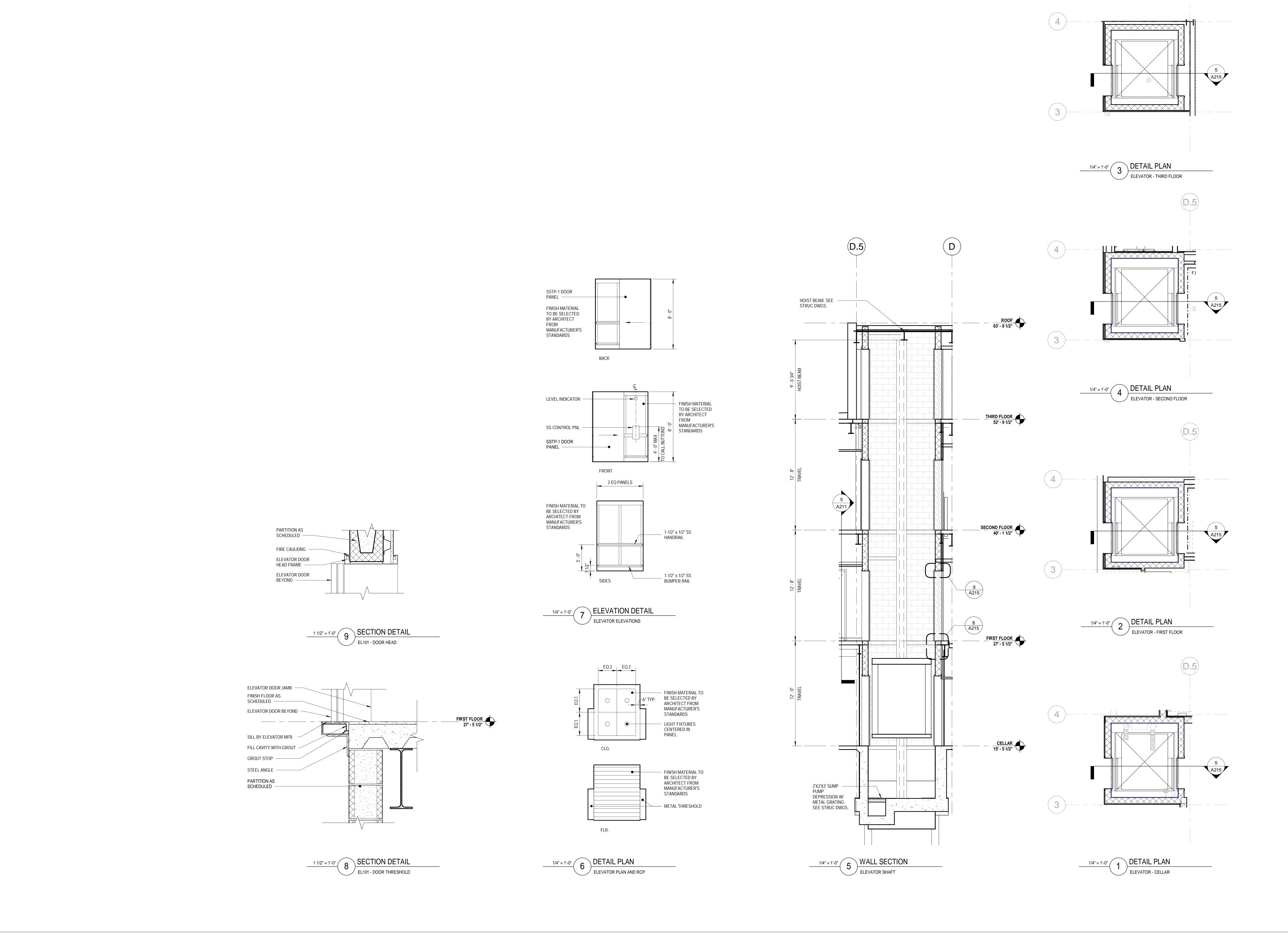
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PROJECT: 23053.00

SCALE: 1 1/2" = 1'-0"

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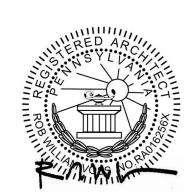
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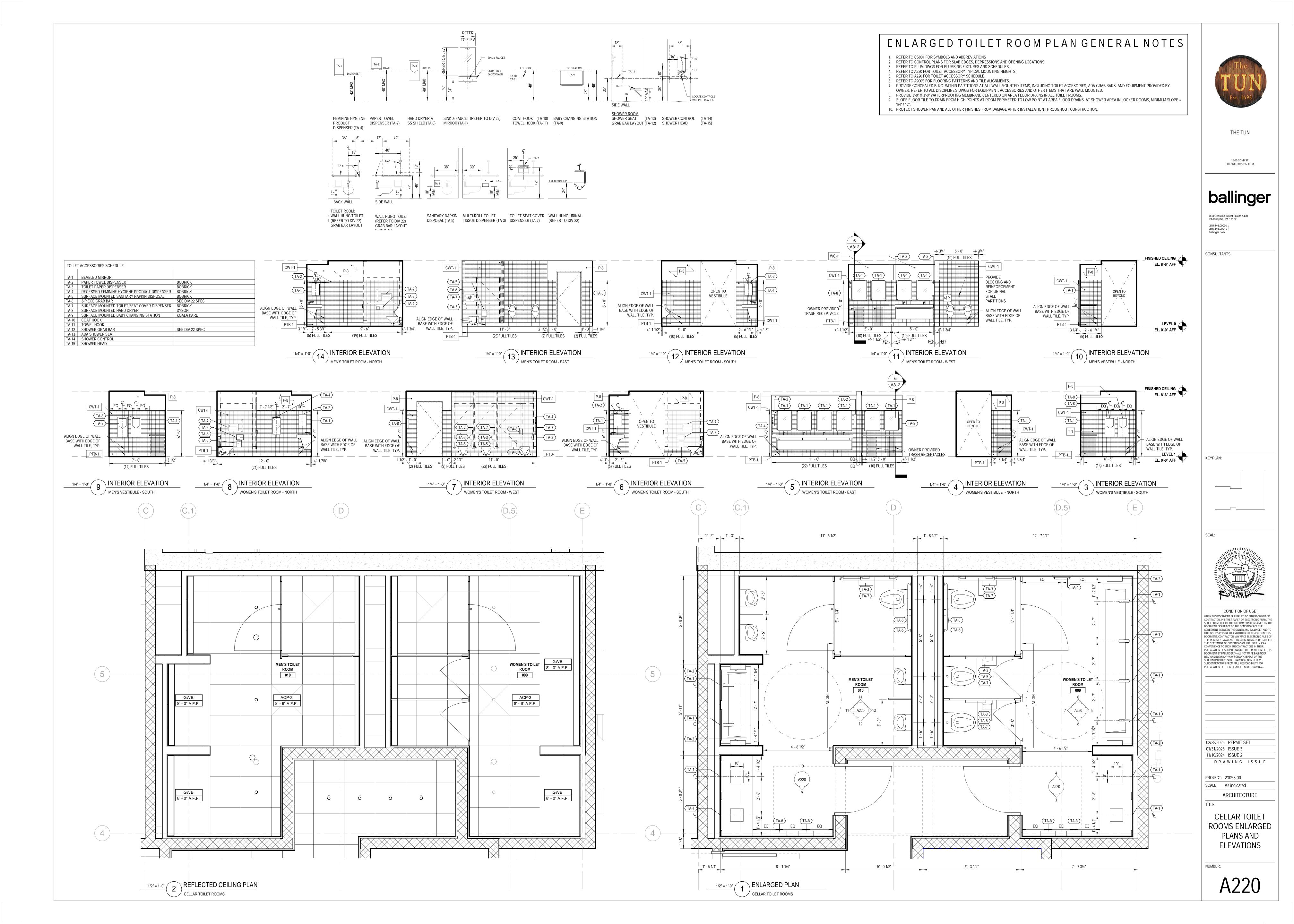
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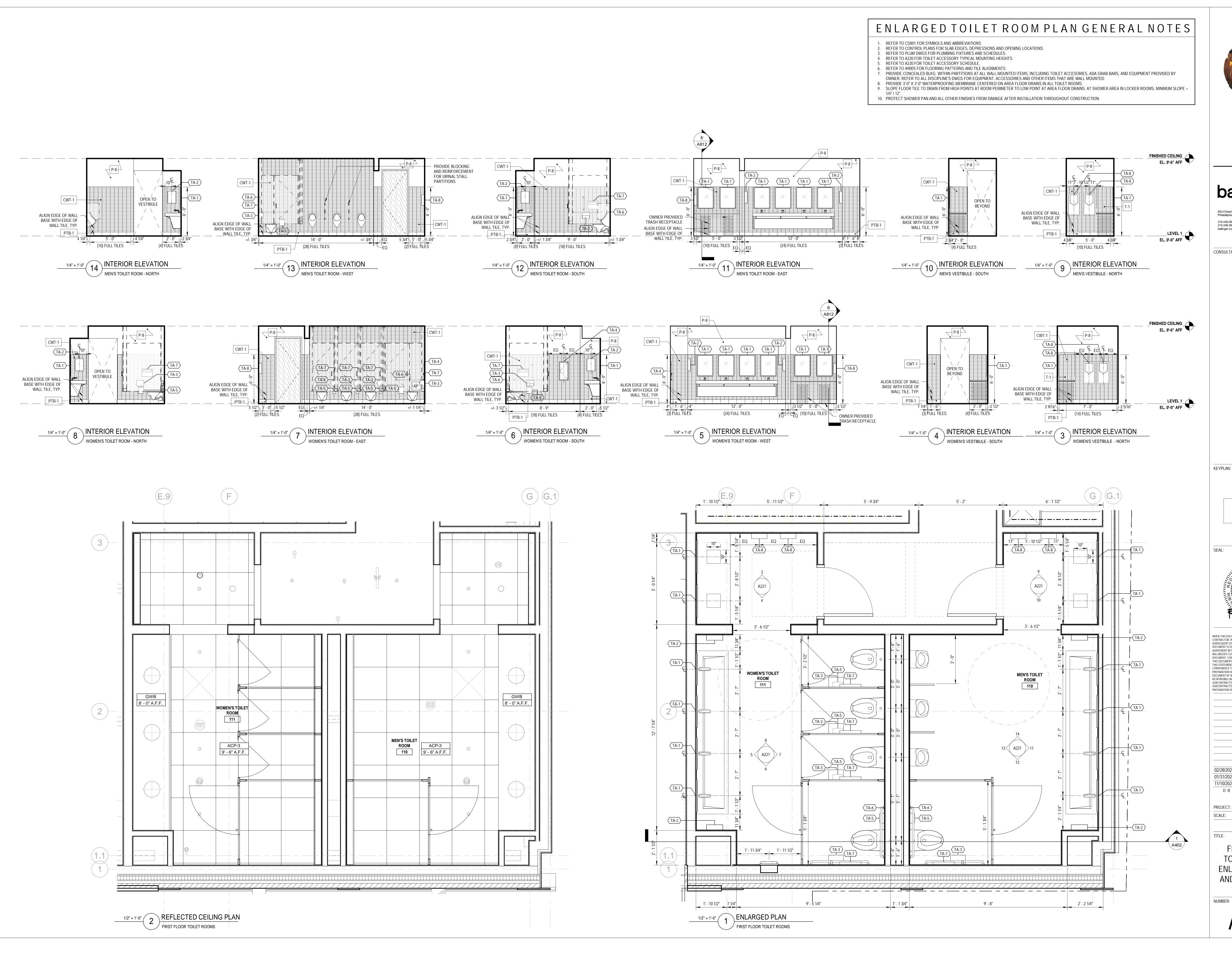
SCALE: As indicated

Author

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ELEVATOR PLANS AND ELEVATIONS





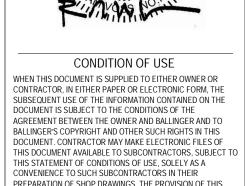


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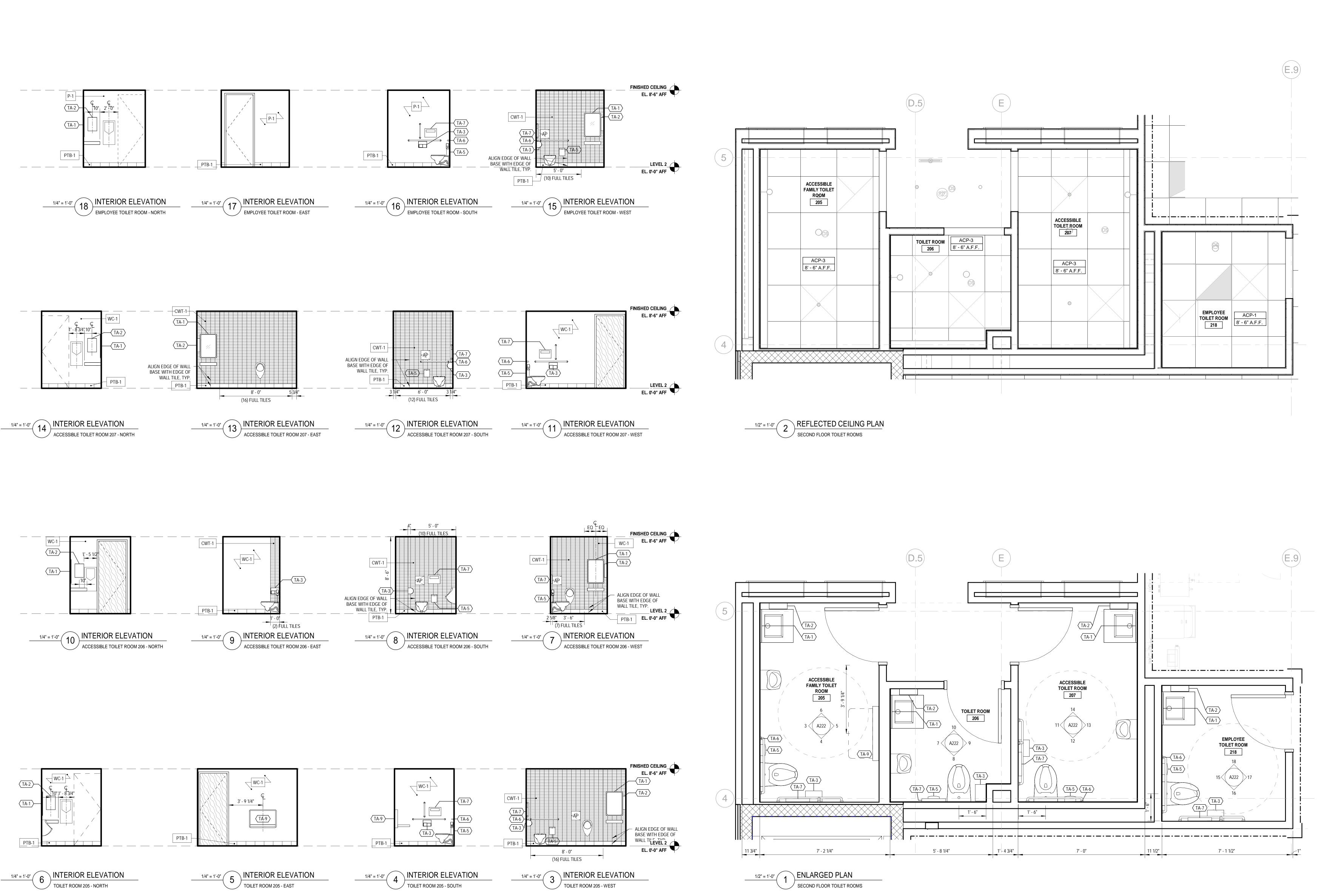
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SCALE: As indicated Author

FIRST FLOOR **TOILET ROOMS ENLARGED PLANS** AND ELEVATIONS





ENLARGED TOILET ROOM PLAN GENERAL NOTES

PROVIDE CONCEALED BLKG. WITHIN PARTITIONS AT ALL WALL-MOUNTED ITEMS, INCLUDING TOILET ACCESORIES, ADA GRAB BARS, AND EQUIPMENT PROVIDED BY

9. SLOPE FLOOR TILE TO DRAIN FROM HIGH POINTS AT ROOM PERIMETER TO LOW POINT AT AREA FLOOR DRAINS. AT SHOWER AREA IN LOCKER ROOMS, MINIMUM SLOPE =

OWNER, REFER TO ALL DISCIPLINE'S DWGS FOR EQUIPMENT, ACCESSORIES AND OTHER ITEMS THAT ARE WALL MOUNTED.

. PROVIDE 3'-0" X 3'-0" WATERPROOFING MEMBRANE CENTERED ON AREA FLOOR DRAINS IN ALL TOILET ROOMS.

10. PROTECT SHOWER PAN AND ALL OTHER FINISHES FROM DAMAGE AFTER INSTALLATION THROUGHOUT CONSTRUCTION.

REFER TO CS001 FOR SYMBOLS AND ABBREVIATIONS
REFER TO CONTROL PLANS FOR SLAB EDGES, DEPRESSIONS AND OPENING LOCATIONS.

. REFER TO PLUM DWGS FOR PLUMBING FIXTURES AND SCHEDULES. 4. REFER TO A220 FOR TOILET ACCESSORY TYPICAL MOUNTING HEIGHTS.

6. REFER TO A900S FOR FLOORING PATTERNS AND TILE ALIGNMENTS.

5. REFER TO A220 FOR TOILET ACCESSORY SCHEDULE.

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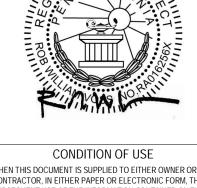
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SECOND FLOOR **TOILET ROOMS ENLARGED PLANS** AND ELEVATIONS

NUMBER:

#### ENLARGED TOILET ROOM PLAN GENERAL NOTES

- REFER TO CS001 FOR SYMBOLS AND ABBREVIATIONS
- REFER TO CONTROL PLANS FOR SLAB EDGES, DEPRESSIONS AND OPENING LOCATIONS.
   REFER TO PLUM DWGS FOR PLUMBING FIXTURES AND SCHEDULES.
- 4. REFER TO A220 FOR TOILET ACCESSORY TYPICAL MOUNTING HEIGHTS.5. REFER TO A220 FOR TOILET ACCESSORY SCHEDULE.
- 6. REFER TO A220 FOR TOILET ACCESSORY SCHEDULE.6. REFER TO A900S FOR FLOORING PATTERNS AND TILE ALIGNMENTS.
- 7. PROVIDE CONCEALED BLKG. WITHIN PARTITIONS AT ALL WALL-MOUNTED ITEMS, INCLUDING TOILET ACCESORIES, ADA GRAB BARS, AND EQUIPMENT PROVIDED BY OWNER. REFER TO ALL DISCIPLINE'S DWGS FOR EQUIPMENT, ACCESSORIES AND OTHER ITEMS THAT ARE WALL MOUNTED.
- 8. PROVIDE 3'-0" X 3'-0" WATERPROOFING MEMBRANE CENTERED ON AREA FLOOR DRAINS IN ALL TOILET ROOMS.
  9. SLOPE FLOOR TILE TO DRAIN FROM HIGH POINTS AT ROOM PERIMETER TO LOW POINT AT AREA FLOOR DRAINS. AT SHOWER AREA IN LOCKER ROOMS, MINIMUM SLOPE =
- 10. PROTECT SHOWER PAN AND ALL OTHER FINISHES FROM DAMAGE AFTER INSTALLATION THROUGHOUT CONSTRUCTION.



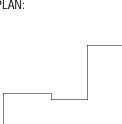
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3/2025 PERMIT SET 1/2025 ISSUE 3

02/28/2025 PERMIT SET

01/31/2025 ISSUE 3

11/10/2024 ISSUE 2

D R A W I N G I S S U E

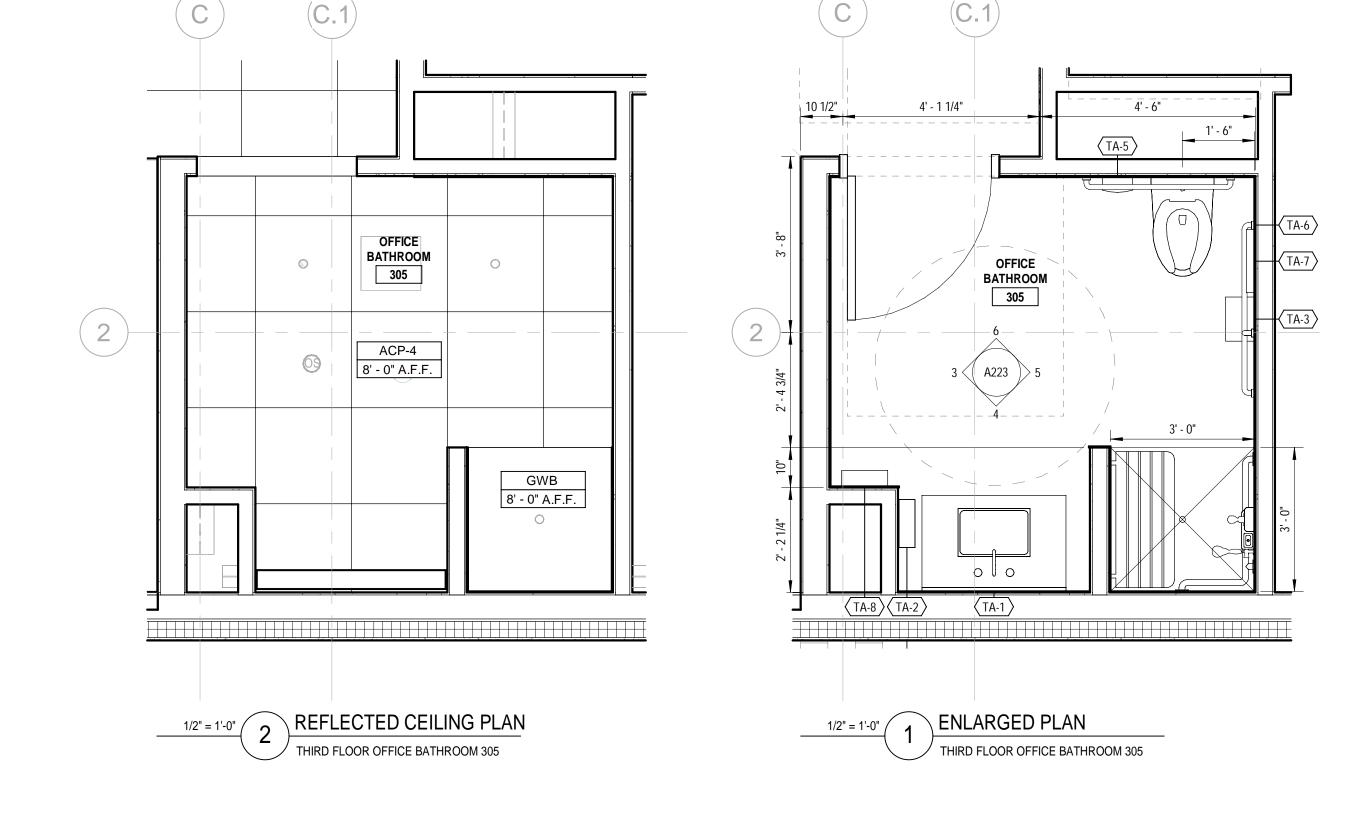
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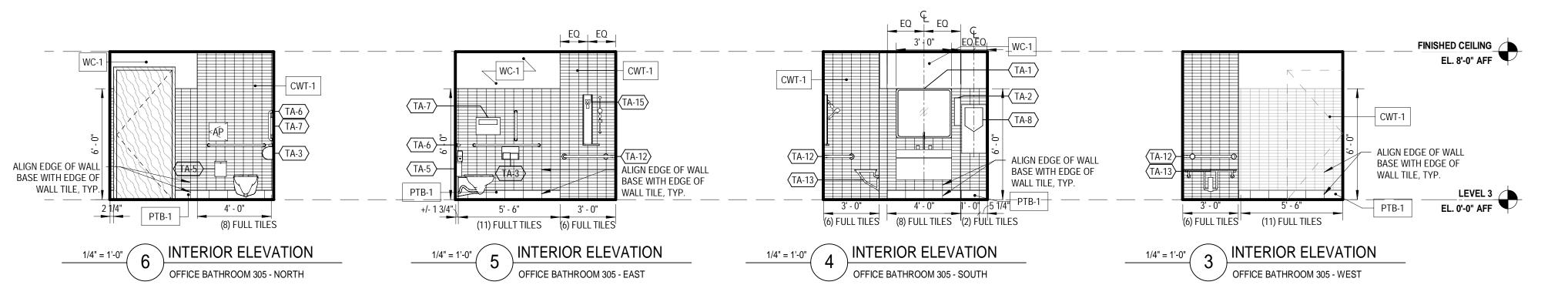
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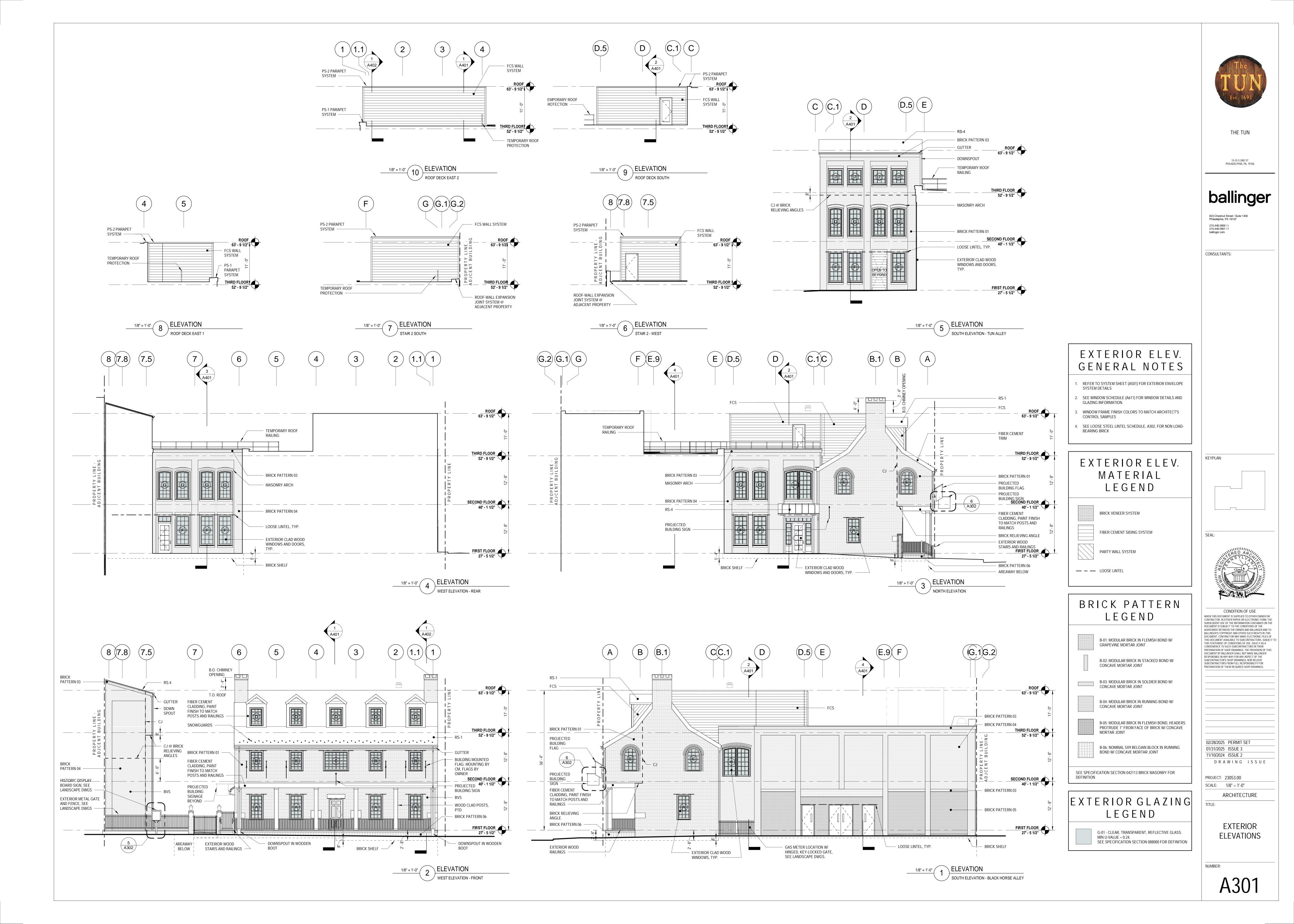
THIRD FLOOR
TOILET ROOM

ENLARGED PLANS AND ELEVATIONS

NUMBER:
A223





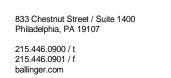




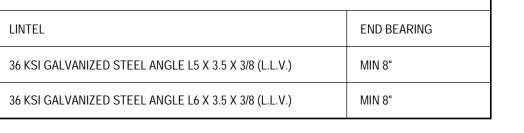
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CONSULTANTS:



KEYPLAN:



#### EXTERIOR ELEV. GENERAL NOTES

1. REFER TO SYSTEM SHEET (A501) FOR EXTERIOR ENVELOPE SYSTEM DETAILS

LOOSE STEEL LINTEL SCHEDULE FOR NON

LOAD-BEARING BRICK

(FOR EVERY 4" OF WALL WIDTH)

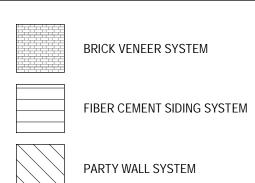
MAXIMUM OPENING

UP TO 4' - 0"

UP TO 8' - 0"

- 2. SEE WINDOW SCHEDULE (A611) FOR WINDOW DETAILS AND GLAZING INFORMATION.
- 3. WINDOW FRAME FINISH COLORS TO MATCH ARCHITECT'S CONTROL SAMPLES
- 4. SEE LOOSE STEEL LINTEL SCHEDULE, A302, FOR NON LOAD-BEARING BRICK

#### EXTERIOR ELEV. MATERIAL LEGEND



B-01: MODULAR BRICK IN FLEMISH BOND W/ GRAPEVINE MORTAR JOINT

B-02: MODULAR BRICK IN STACKED BOND W/

B-04: MODULAR BRICK IN RUNNING BOND W/

B-05: MODULAR BRICK IN FLEMISH BOND, HEADERS PROTRUDE 1" FROM FACE OF BRICK W/ CONCAVE

B-06: NOMINAL 5X9 BELGIAN BLOCK IN RUNNING BOND W/ CONCAVE MORTAR JOINT

CONCAVE MORTAR JOINT

CONCAVE MORTAR JOINT

SEE SPECIFICATION SECTION 042113 BRICK MASONRY FOR DEFINITION

EXTERIOR GLAZING

LEGEND

G-01 - CLEAR, TRANSPARENT, REFLECTIVE GLASS. MIN U-VALUE = 0.24. SEE SPECIFICATION SECTION 088000 FOR DEFINITION

MORTAR JOINT

B-03: MODULAR BRICK IN SOLDIER BOND W/ CONCAVE MORTAR JOINT

— — LOOSE LINTEL



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02/28/2025	PERMIT SET	
01/31/2025	ISSUE 3	

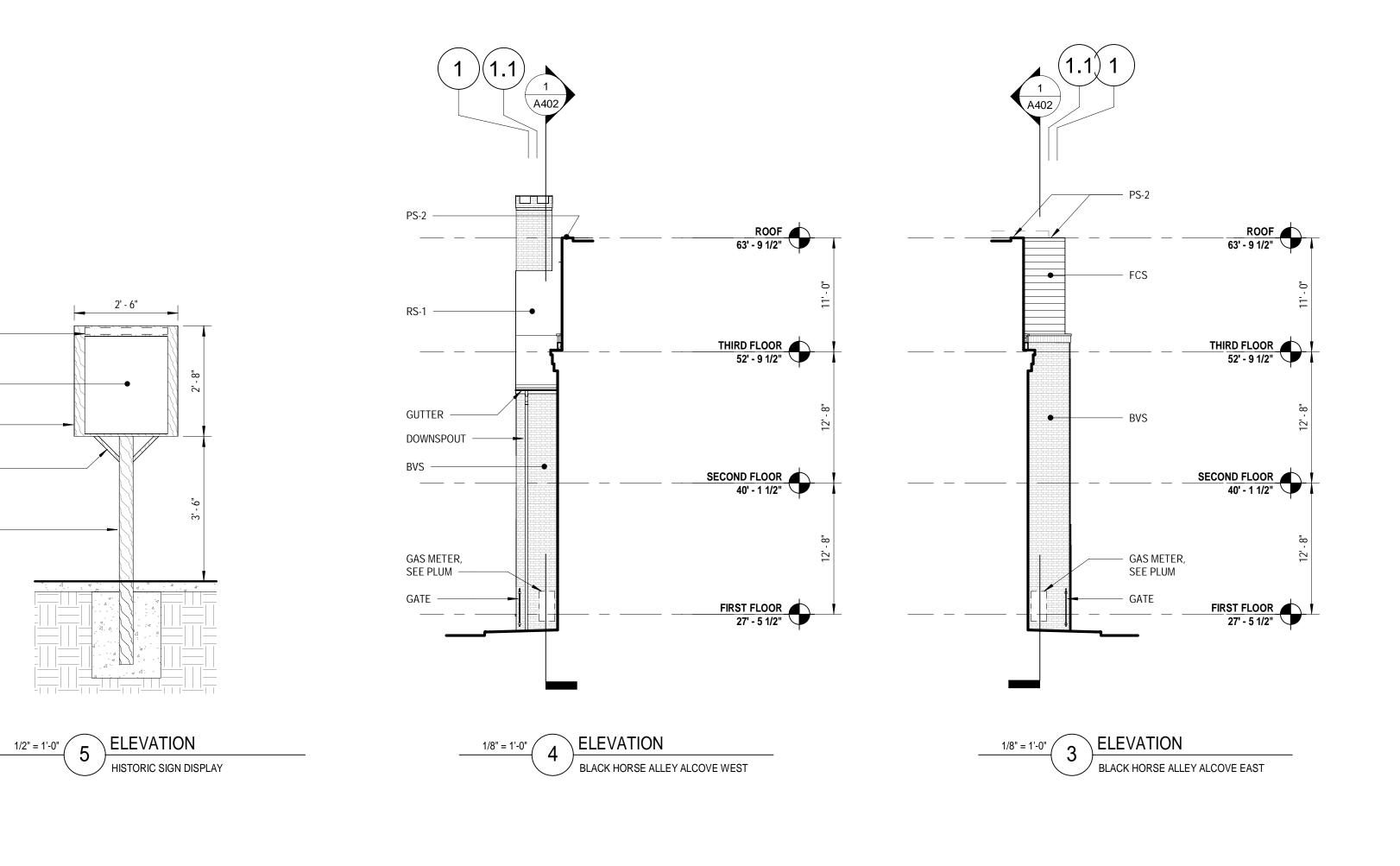
11/10/2024 ISSUE 2 DRAWING ISSUE

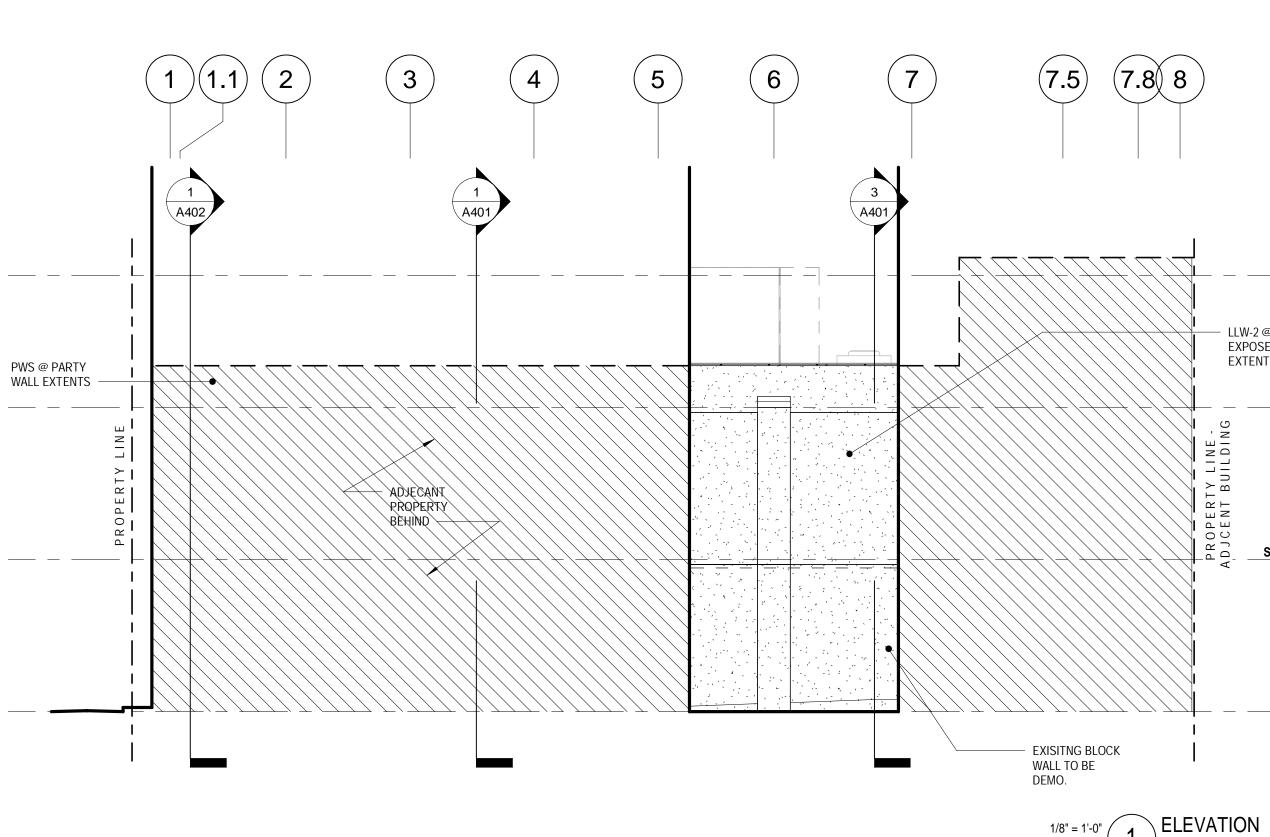
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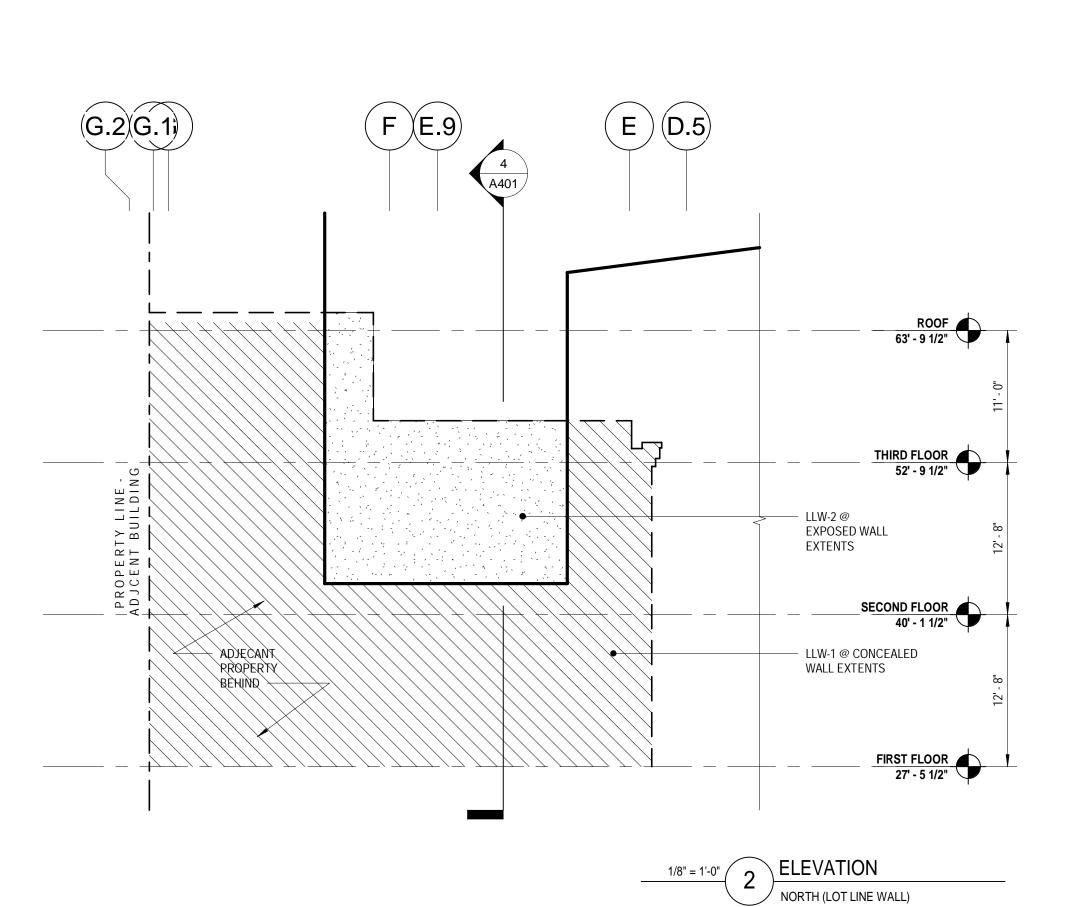
**EXTERIOR ELEVATIONS** 

NUMBER:

A302







8" 4' - 0" MAX ROW ENCROACHMENT

1/2" = 1'-0" 6 ELEVATION DETAIL

BÙILDING SIGN

BUILDING SIGNAGE PROJECTING ARM LIGHT

LIGHT FIXTURE, SEE ELEC DWGS.

1" PT PLYWOOD SHEATING, PRIMED; SIGNAGE BY OTHERS

3X4 PT WOOD

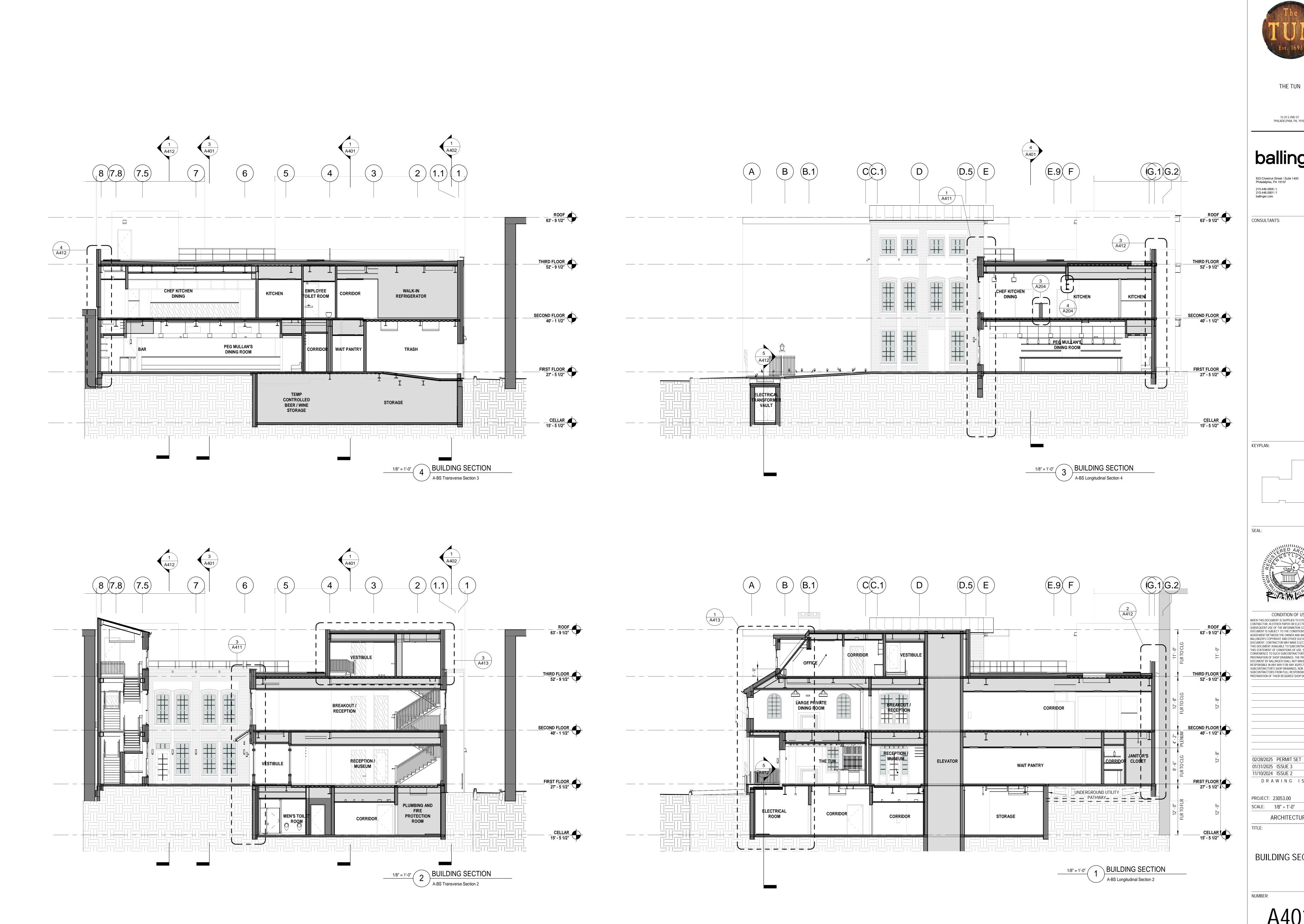
1X3 PT WOOD

4X4 PT WOOD POST, PTD, SET IN

A BED OF CONCRETE

FRAME, PTD

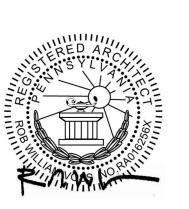
ROOF 63' - 9 1/2" EXPOSED WALL **EXTENTS** THIRD FLOOR 52' - 9 1/2" SECOND FLOOR 40' - 1 1/2" FIRST FLOOR 27' - 5 1/2"





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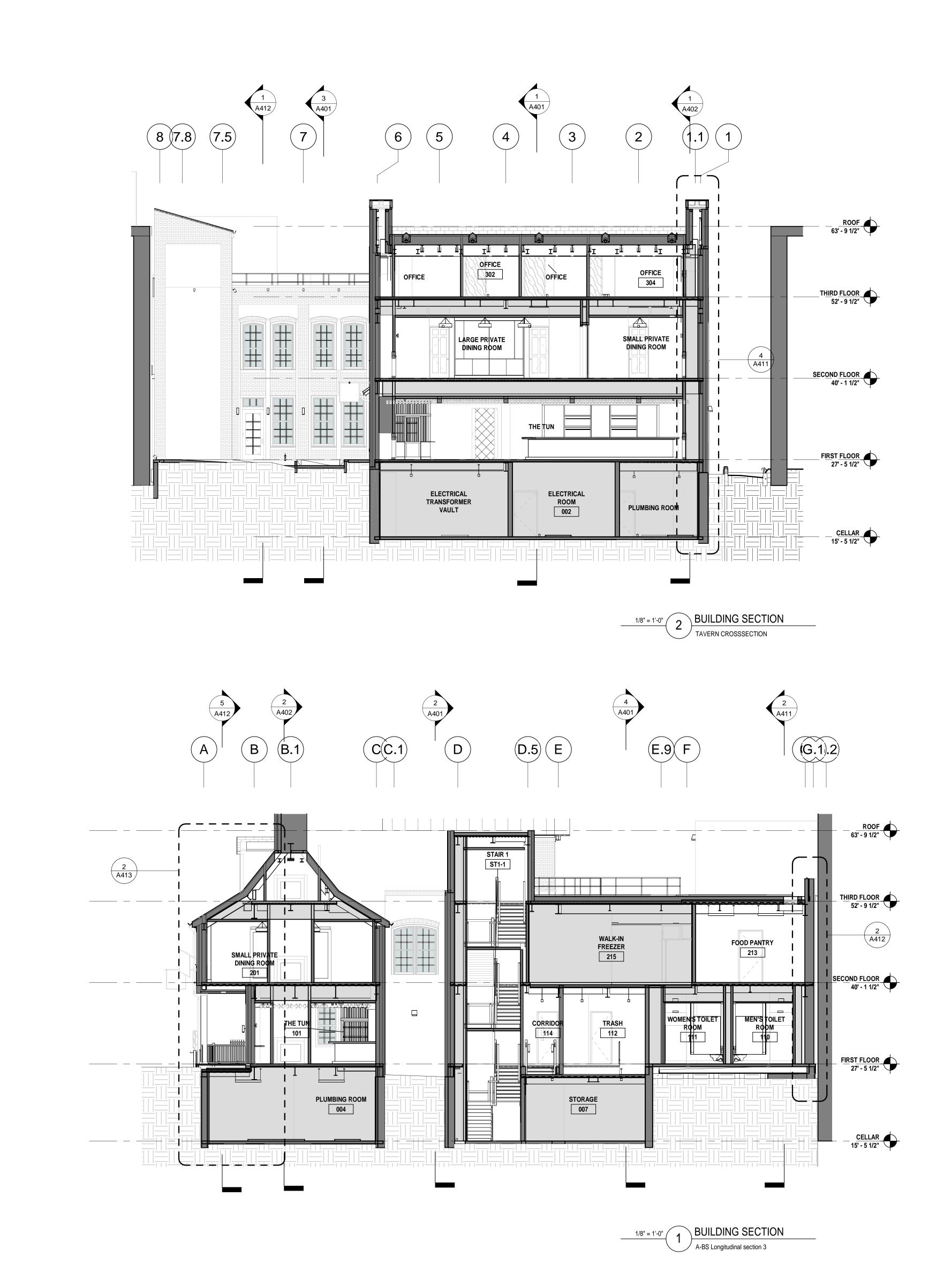
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DRAWING ISSUE

ARCHITECTURE

**BUILDING SECTION** 





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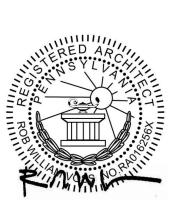
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02/28/2025 PERMIT SET 01/31/2025 ISSUE 3

01/31/2025 ISSUE 3 11/10/2024 ISSUE 2 D R A W I N G I S S U E

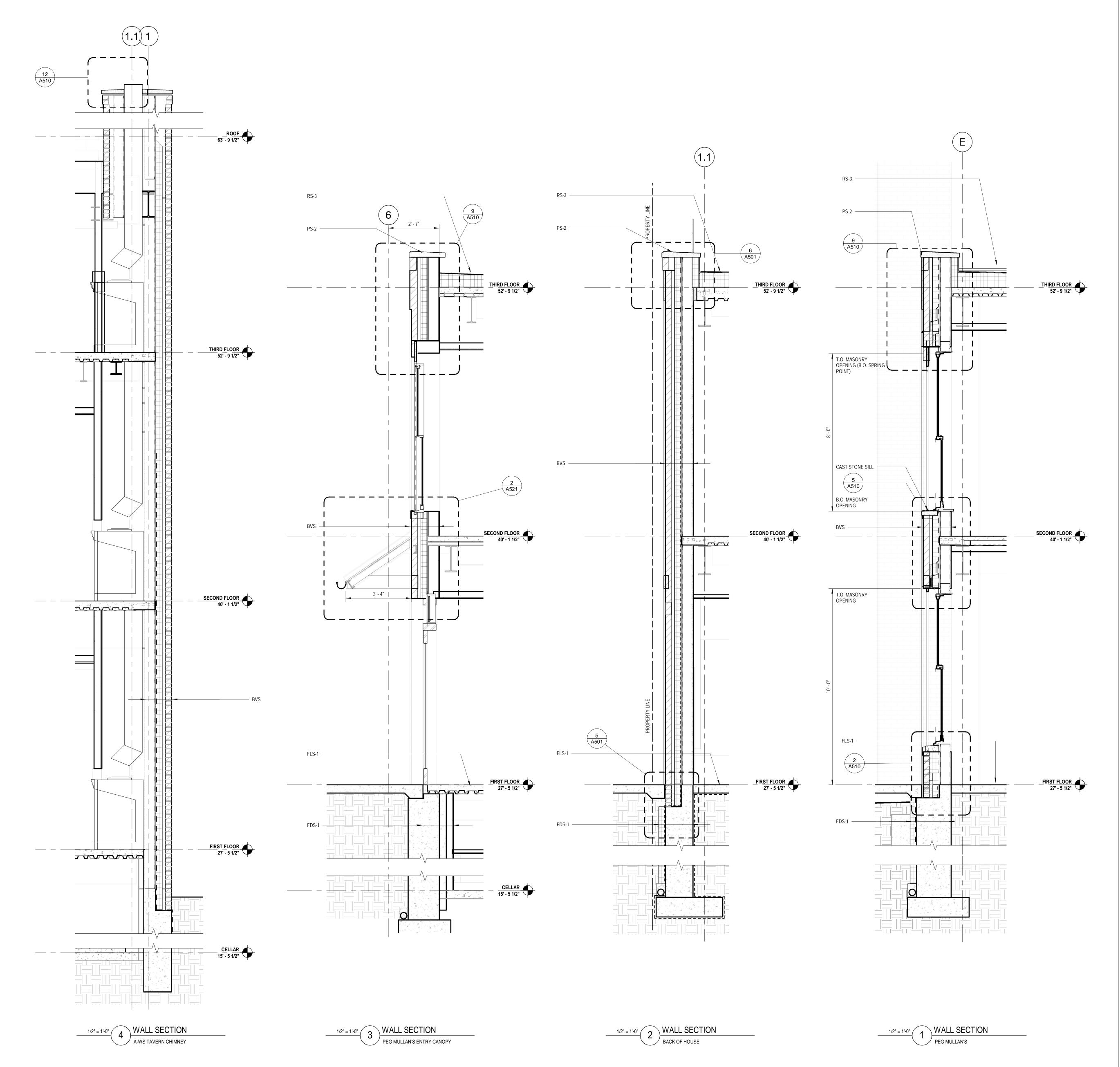
PROJECT: 23053.00

SCALE: 1/8" = 1'-0"

Author

Ξ:

BUILDING SECTION





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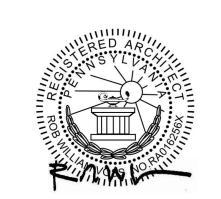
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02/28/2025 PERMIT SET 01/31/2025 ISSUE 3 11/10/2024 ISSUE 2

01/31/2025 ISSUE 3 11/10/2024 ISSUE 2 D R A W I N G I S S U E

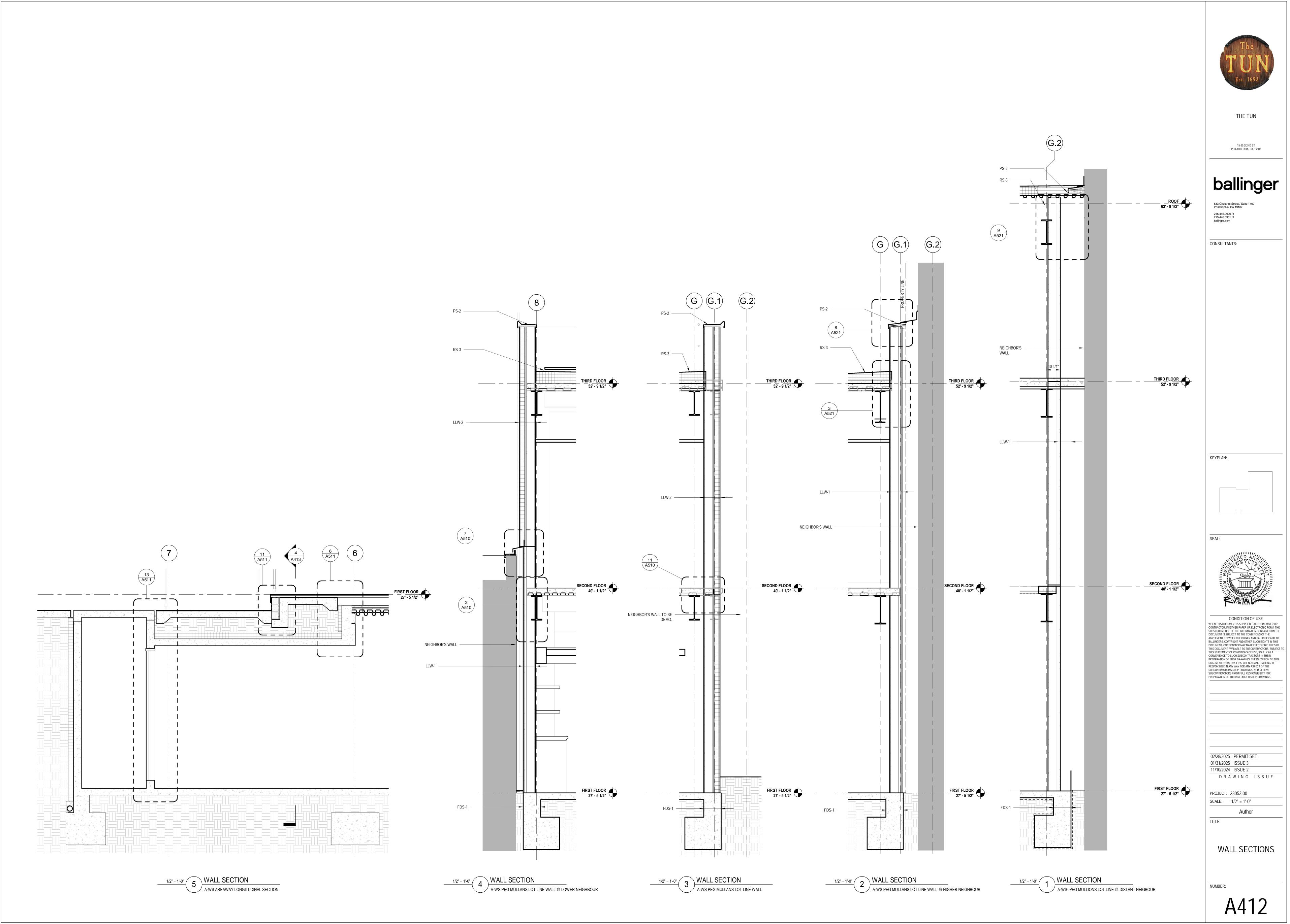
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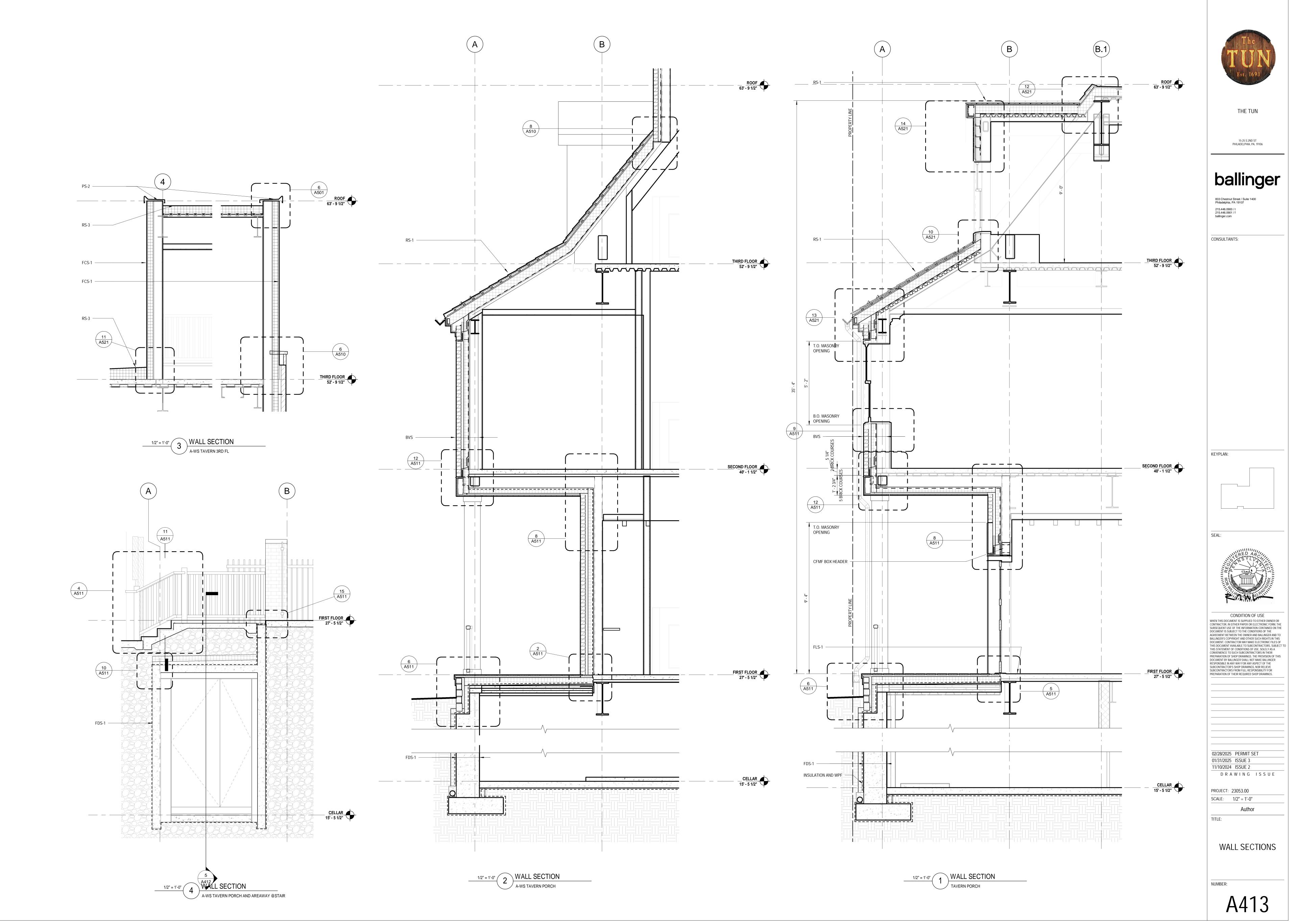
ARCHITECTURE

WALL SECTIONS

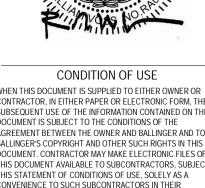
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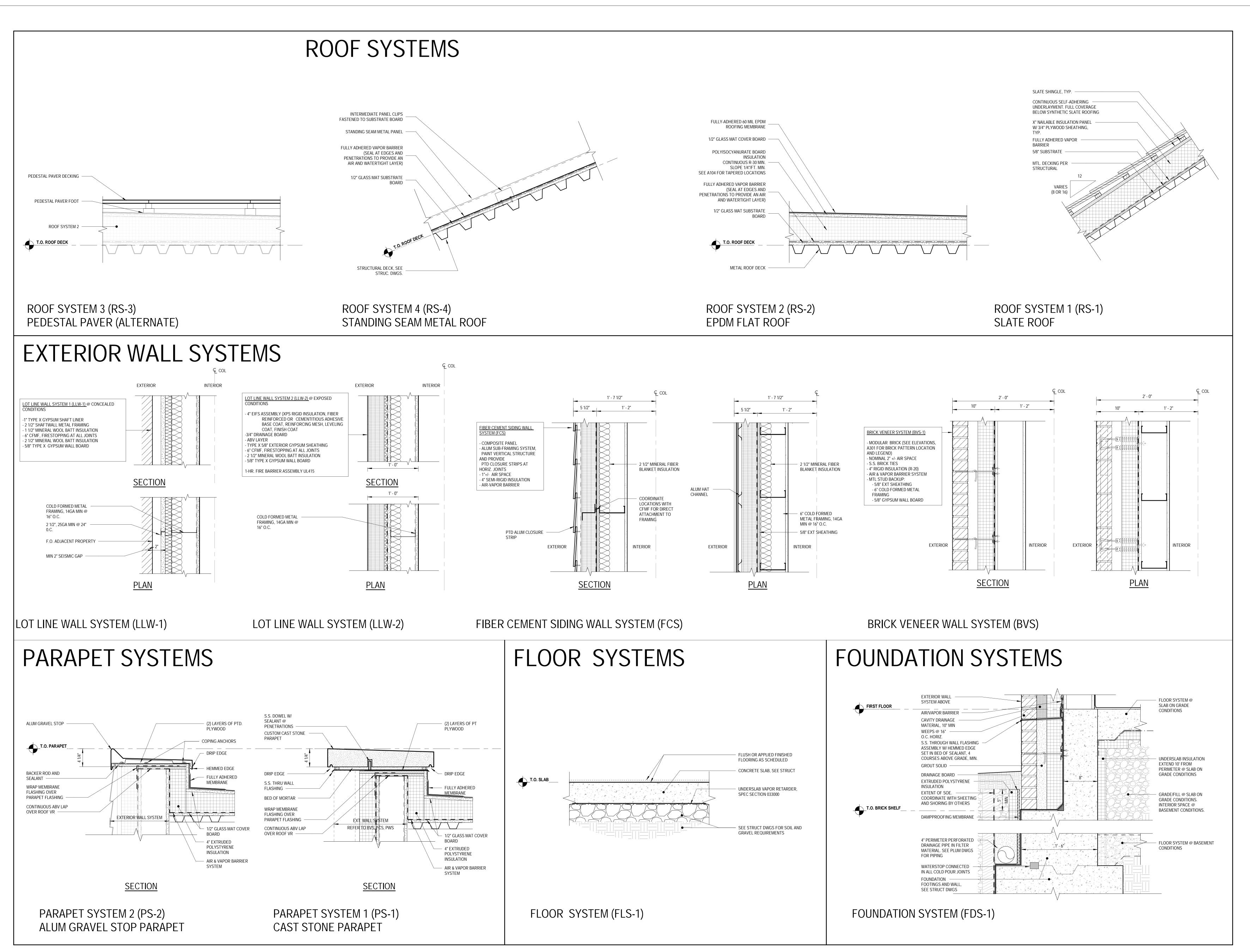


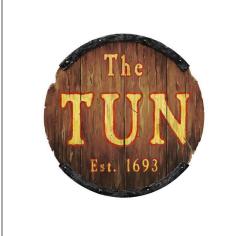












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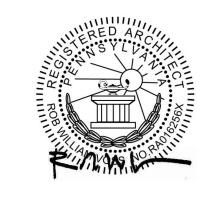
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01/31/2025 ISSUE 3 11/10/2024 ISSUE 2 D R A W I N G I S S U E

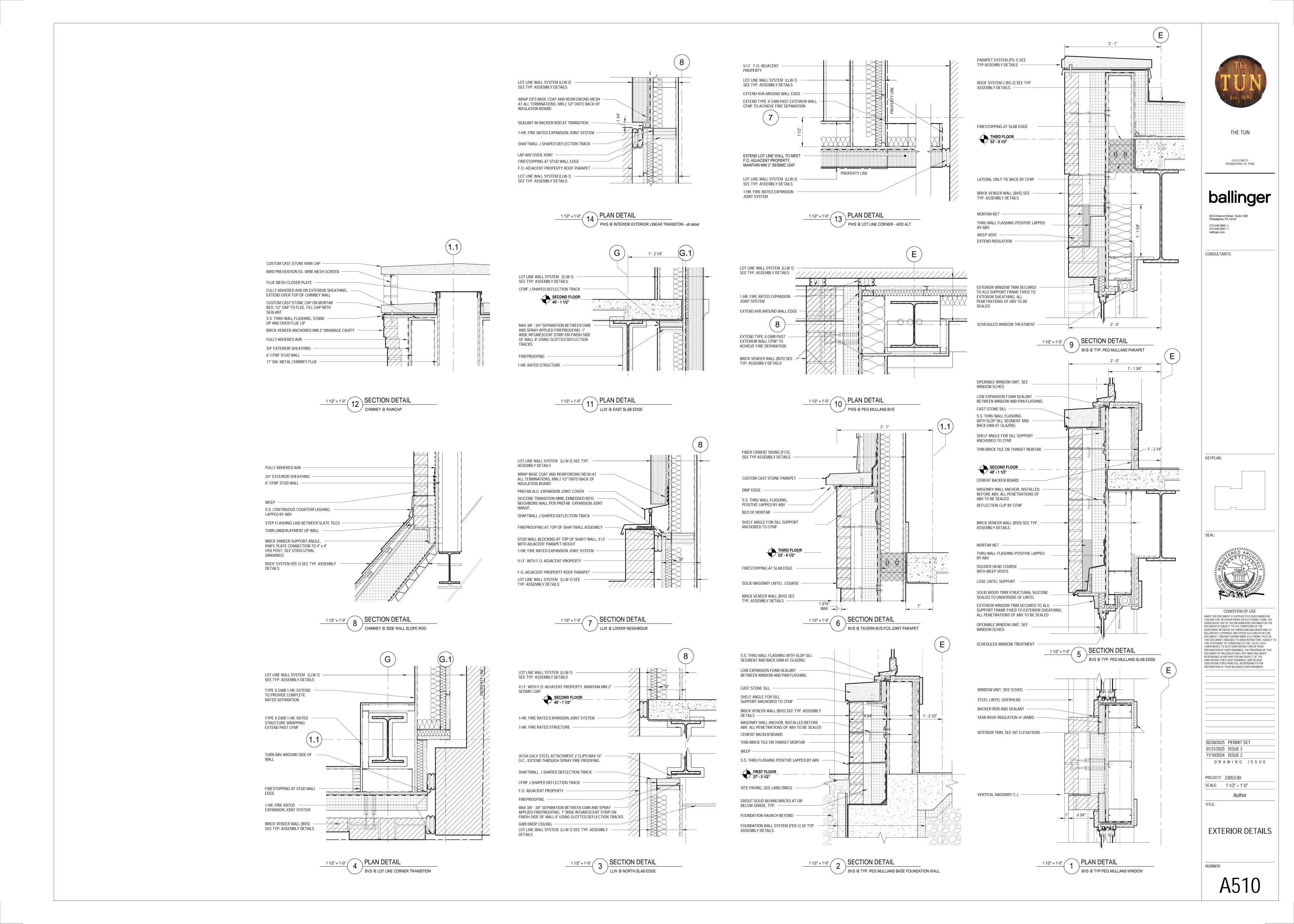
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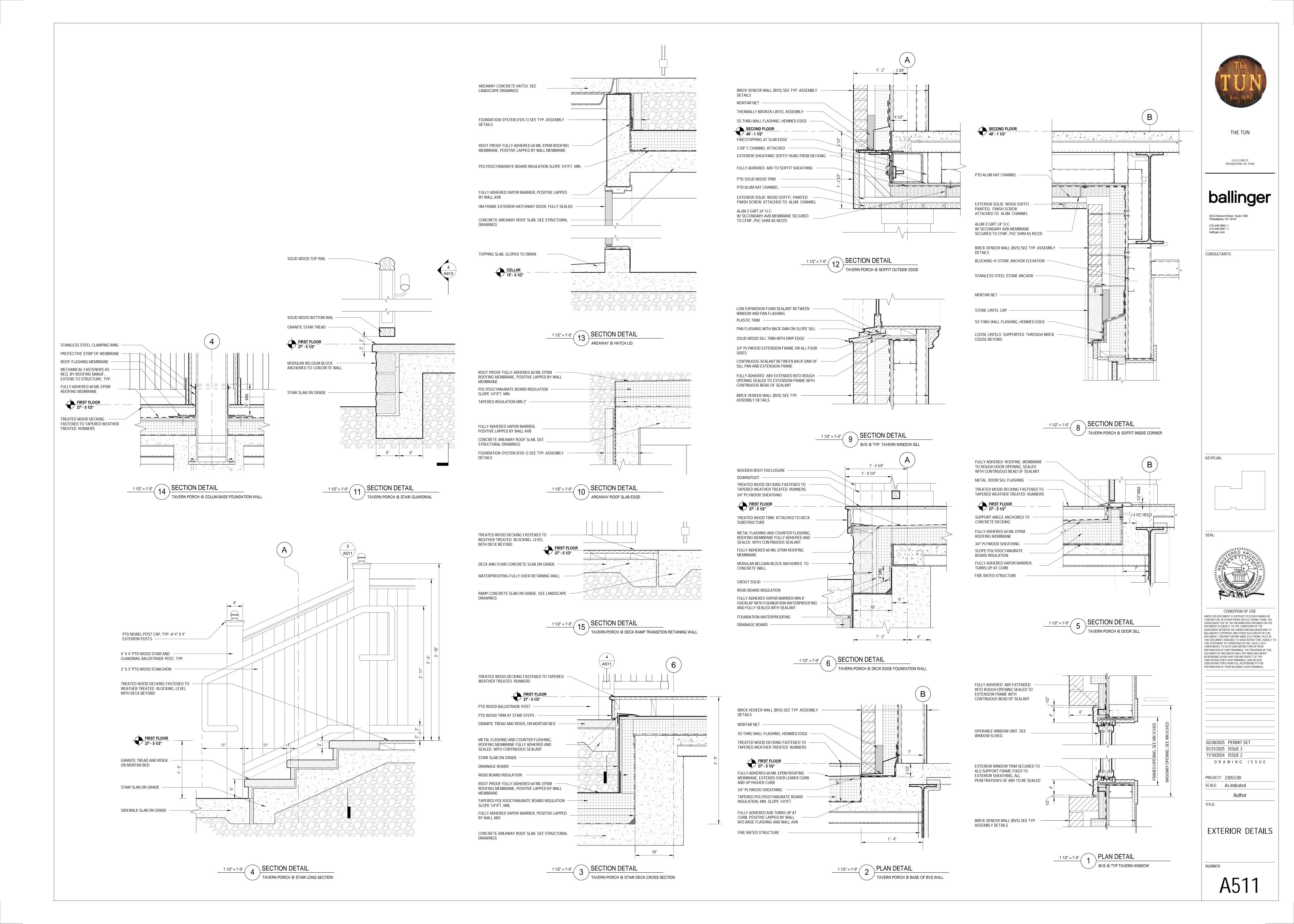
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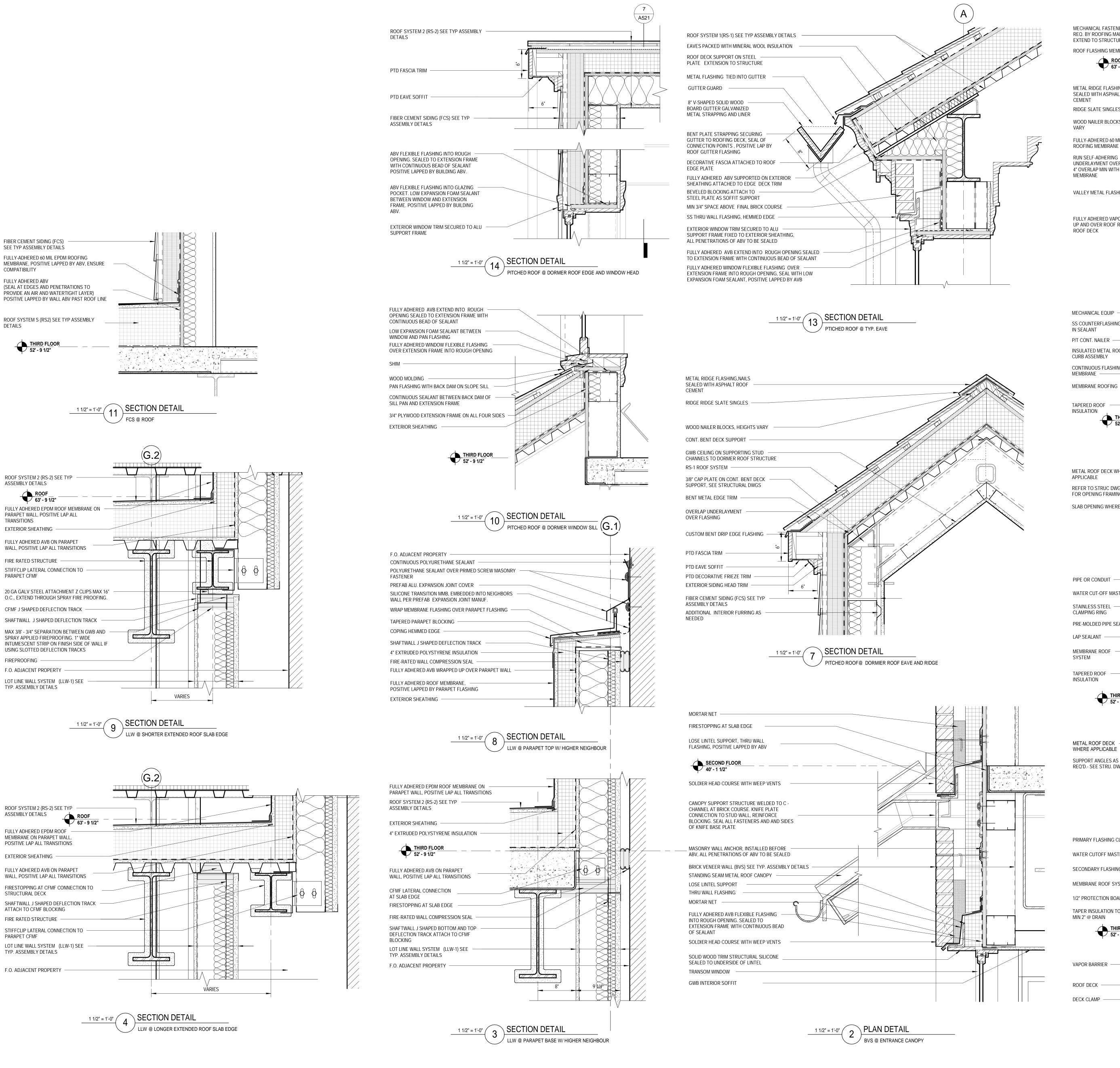
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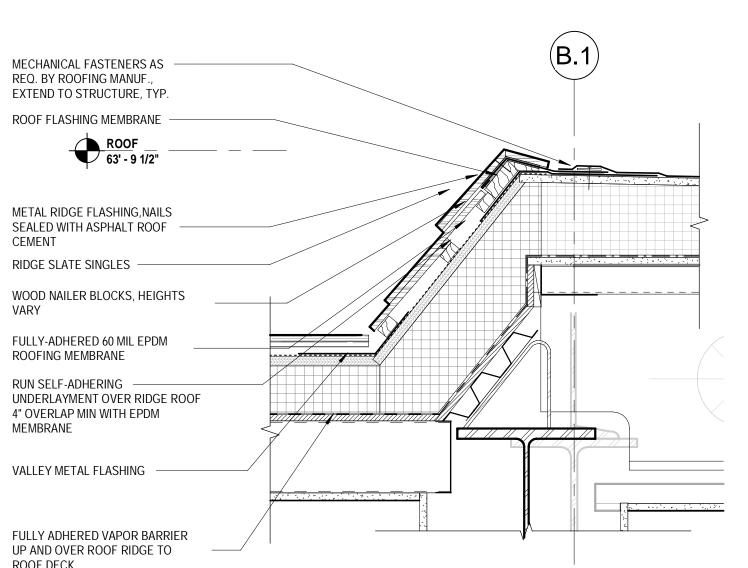
**EXTERIOR SYSTEMS** 

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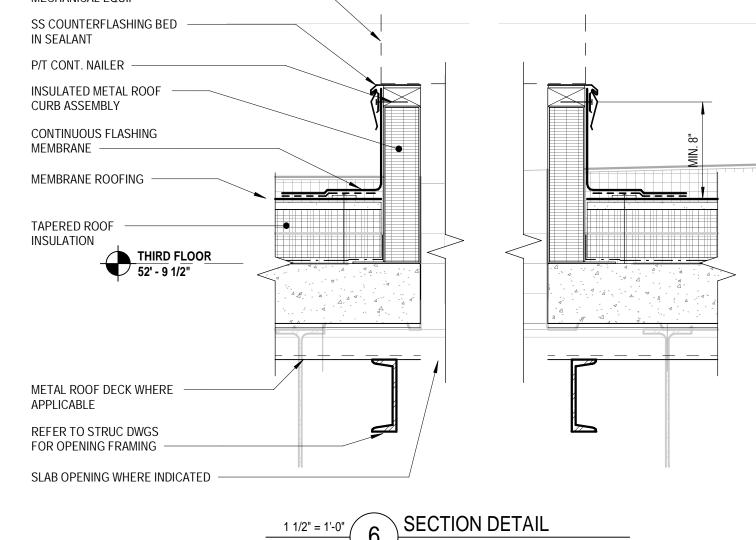


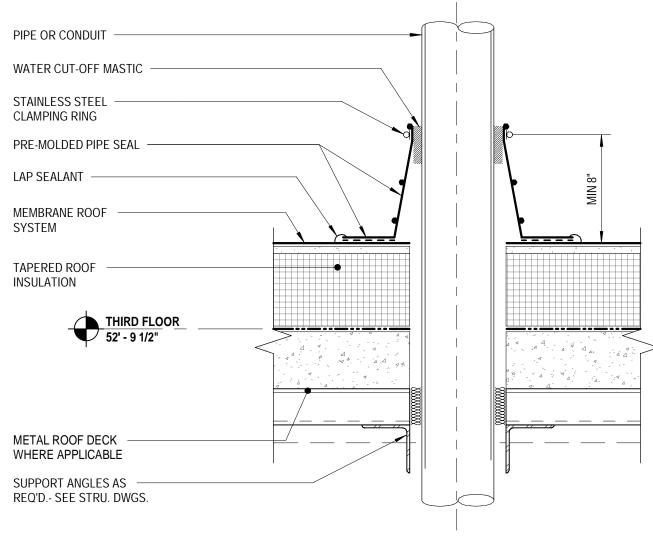








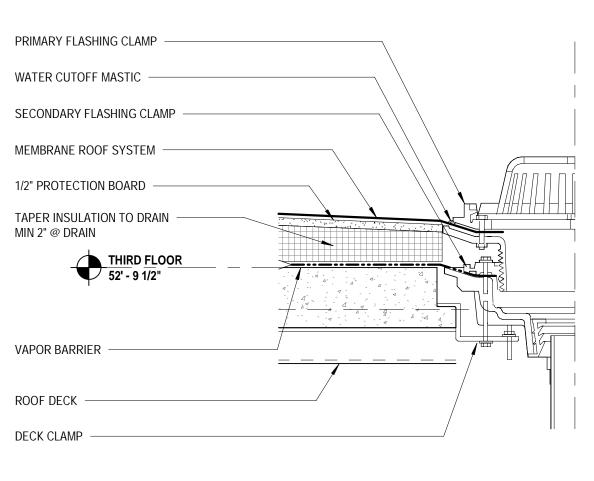




1 1/2" = 1'-0"

SECTION DETAIL

TYPICAL PIPE OR CONDUIT PENETRATION



1 1/2" = 1'-0"

SECTION DETAIL

TYPICAL ROOF DRAIN



THE TUN

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RED ARCHINERED ARCHINE

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28/2025 PERMIT SET

PREPARATION OF THEIR REQUIRED SHOP DRAWINGS

02/28/2025 PERMIT SET
01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE 2

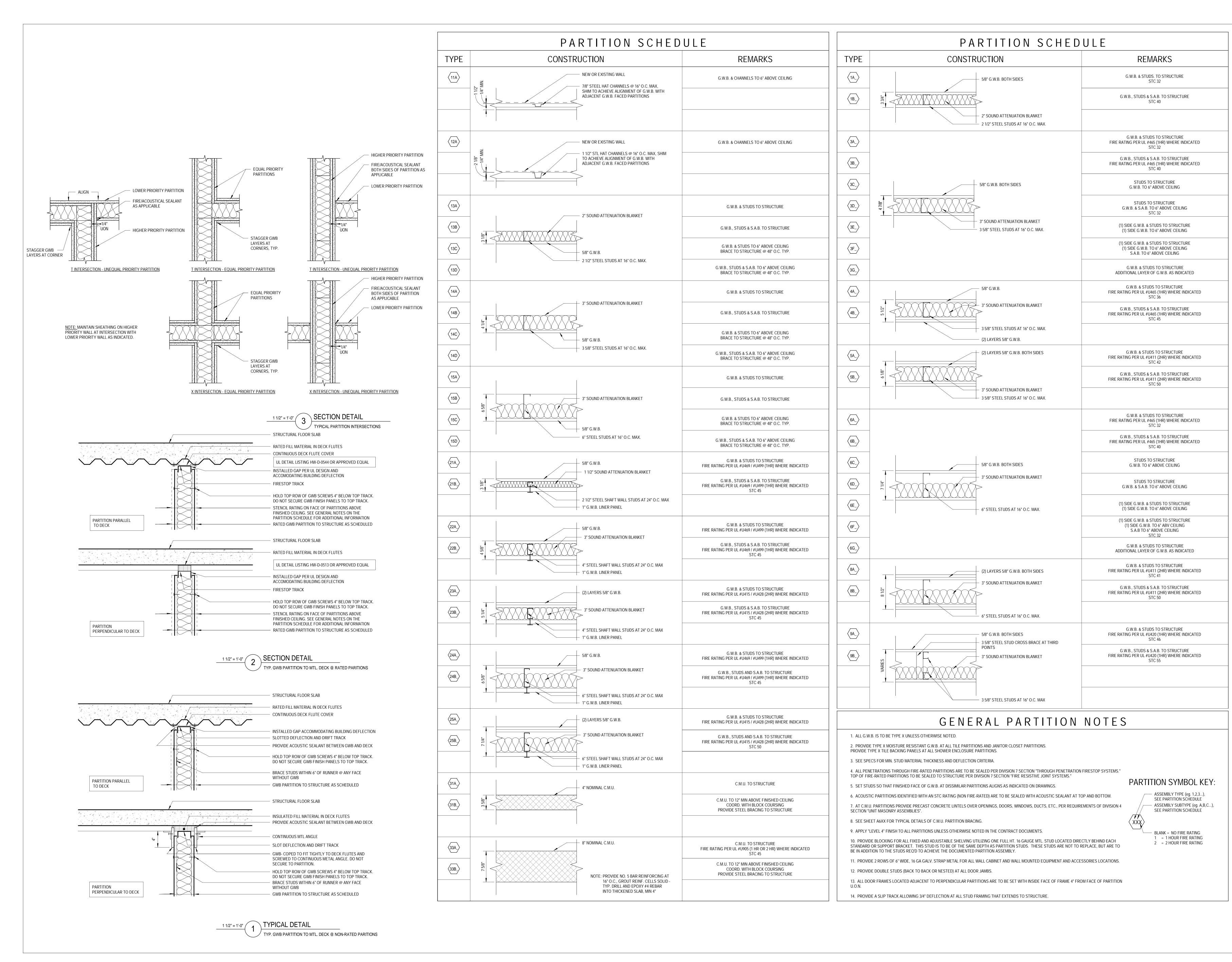
PROJECT: 23053.00

SCALE: 1 1/2" = 1'-0"

Author

ROOF DETAILS

NUMBER:





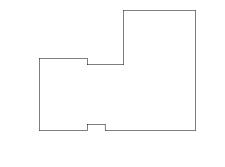
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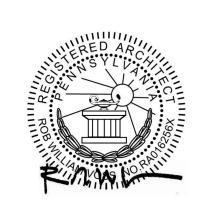
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02/28/2025 PERMIT SET 01/31/2025 ISSUE 3 11/10/2024 ISSUE 2

D R A W I N G I S S U E

PROJECT: 23053.00

SCALE: 1 1/2" = 1'-0"

ARCHITECTURE

E:

PARTITION SCHEDULE

мимвек: **Д6**01

		DOON	4 FINHCH COLL		NICH CDOUD	LECEND
NUMBER	ROOM NAME	FLOORS	WALLS	BASE	NISH GROUP	LEGEND REMARKS
					171100.	TO THE WINTER
FG-1A	UTILITY SPACE	SC-1	P-1	RWB-1		
FG-1B	NO LONGER USED					
FG-2	NO LONGER USED	DCT 1	D 4	DWD 1		CEE DEDUCT ALTERNATE #2
FG-3	STAIR 2 (BOH)	RST-1	P-4	RWB-1		SEE DEDUCT ALTERNATE #2
FG-4	LL CORRIDOR (PATRON FACING)	WDF-1, CFT-1	P-2	PWD-1		SEE A900 SERIES FOR FLOORING EXTENTS
FG-5A	TOILET ROOM	CFT-1	CWT-1, P-8PTB-1	PTB-1	SS-1, CP-3	SEE 200 SERIES FOR TILE EXTENTS
FG-5B	TOILET ROOM	CFT-1	CWT-1, P-8PTB-1	PTB-1	WC-1, CP-3	SEE 200 SERIES FOR TILE EXTENTS
FG-6	NO LONGER USED		·			
FG-7	STAIR (PATRON FACING)	WDF-1	P-1, P-2	PWD-1	CP-2	SEE A900 SERIES FOR ACCENT PAINT LOCATIONS
FG-8	WAIT PANTRY / EMPLOYEE SPACE	CFT-2	P-1	CTB-1	FRP-1, CG-1	SEE A900 SERIES FOR WALL PROTECTION LOCATIONS
FG-9	JANITOR'S CLOSET	RES-1	P-1	IRESB-1	FRP-1	SEE ADD ALTERNATE #1
FG-10	VESTIBULE	BR-2, WKF-1	P-1	PWD-1	BV-1, CP-2	
FG-11	TUN TAVERN	WDF-1, CFT-2	P-3	PWD-1	BV-1, CM-1, GLZ-1	
FG-12	RECEPTION/ MUSEUM	BR-1, BR-2	P-1	PWD-1	BV-1, CP-2	
FG-13	CORRIDOR (PATRON FACING)	WDF-1	P-1	PWD-1	CP-2	
FG-14	TRASH/ EXTERIOR CORRIDOR	RES-1	P-1	IRESB-1		SEE DEDUCT ALTERNATE #3
FG-15	PEG MULLAN'S	WDF-1, CFT-2	P-4	PWD-1	BV-1, UP-1, UP-2, QTZ-1, CP-1, WT-1	
FG-16A	PRIVATE DINING - FIRST FLOOR	WDF-1	P-1, P-5	PWD-1	BV-1, CM-2, CR-1, WT-1	
FG-16B	PRIVATE DINING - SECOND FLOOR	WDF-1	P-1, P-5	PWD-1	CM-2, CR-1, DR-1	
FG-17	TOILET ROOM (EMPLOYEE)	CFT-1	CWT-1/ P-1	PTB-1		
FG-18	KITCHEN (OPEN)	CFT-2	CWT-2/ P-1	CTB-1	FRP-1, CG-1	SEE ADD ALTERNATE #2, SEE 900 SERIES FOR WALL PROTECTION EXTENTS
FG-19	KITCHEN (BOH)	RES-2	P-1	IRESB-2	FRP-1, CG-1	SEE ADD ALTERNATE #2, SEE 900 SERIES FOR WALL PROTECTION EXTENTS
FG-20	CHEF'S KITCHEN	WDF-1	P-4	PWD-2	BV-1, QTZ-1, CP-1, WT-1	
FG-21	KITCHEN (BOH)	SC-1	P-1	RWB-1		SEE 900 SERIES FOR WALL PROTECTION EXTENTS
FG-22	THIRD FLOOR CORRIDOR	CPT-1	P-1	PWD-1	CP-2	
FG-23	EMPLOYEE OFFICE	CPT-1, LVT-1	P-6	RWB-2	PL-1, SS-1	

#### FINISH NOTES

- 1. PROVIDE FINISH COLORS AS SPECIFIED WITHOUT SUBSTITUTION.
- 2. REFER TO PRODUCT SPECIFICATIONS FOR PROPER INSTALLATION METHODS, PROJECT CONDITIONS, ETC. OF INTERIOR FINISHES.
- 3. FLOOR FINISH TRANSITIONS ARE TO OCCUR AT CENTERLINE OF DOORS, TYPICAL, UNLESS OTHERWISE NOTED. REFER TO SHEETS SERIES A810 FOR TRANSITION DETAILS.
- 4. ALL SEALANT AROUND CASEWORK SHALL BE CLEAR IN COLOR.
- 5. GENERAL PAINT TO BE EGGSHELL, TOILET ROOMS, KITCHEN AND FOOD SERVICE SPACES TO RECEIVE SEMI-GLOSS, CEILING PAINT TO BE FLAT FINISH.
- 7. REFER TO INTERIOR ELEVATIONS AND DETAILS FOR LOCATIONS OF SPECIFIC FINSHES INCLUDING, BUT NOT LIMITED TO, CROWN MOLDING, DECORATIVE BASE, ETC.
- 8. FINISHES IN CLOSETS AND ALCOVES SHALL MATCH ADJACENT SPACE OR ROOM UNLESS OTHERWISE NOTED.
- 9. CARPET PATTERN TO BE CONTINUOUS AT THRESHOLDS BETWEEN CARPET TO CARPET FLOORING AREAS, DO NOT BREAK PATTERN AT DOOR OPENINGS, UNLESS OTHERWISE NOTED.
- 10. REFER TO THE REFLECTED CEILING PLANS A700 SERIES FOR LOCATION OF FINISHES.

#### FINISH ALTERNATES

#### DEDUCT ALTERNATES #1 NO LONGER USED

- #2 CM TO PRICE OUT COST FOR FG-3 FLOORINT TO BE SEALED CONCRETE (SC-1) INSTEAD OF RUBBER FLOORING
- #1 CM TO PRICE OUT COST FOR FG-14 FLOORING TO BE SEALED CONCRETE (SC-1) AND RUBBER WALL BASE (RWB-1) INSTEAD OF RESINUOUS FLOORING WITH INTEGRAL BASE.

#### ADD ALTERNATE

CM TO PRICE OUT COST FOR FG-9 FLOORING TO BE QUARRY TILE (CFT-2) WITH CERAMIC TILE BASE (CTB-1) INSTEAD OF RESINUOUS FLOORING WITH INTEGRAL BASE NO LONGER USED

March   Marc				CFILINO	FINISH LEGEND	)	
	FINISH	MATERIAL	MANUFACTURER		1	1	REMARKS
	ACP-1	ACOUSTICAL CEILING PANEL		HIGH NRC 1446	WHITE	24" X 24" X 7/8"	SQUARE TEGULAR; FOR BACK OF HOUSE SERVICE AREAS
Second Content	ACP-2	ACOUSTICAL CEILING PANEL		15/16" PRELUDE PLUS XL FIRE GUARD	WHITE	24" X 48" X 5/8"	SQUARE LAY-IN; FOR KITCHEN AND FOOD PREP AREAS
Second   S	ACP-3	ACOUSTICAL CEILING PANEL			BLACK	24" X 24" X 1"	SQUARE TEGULAR; FOR TOILET ROOMS
Part	ACP-4	ACOUSTICAL CEILING PANEL			WHITE	24" X 24" X 1"	SQUARE TEGULAR; FOR OFFICE AREAS
15   14   15   15   15   15   15   15	ACP-5			6690FO1W1 WITH INFILL 1318 (BLACK)		24" X 96" X 3/4"	NOMINAL 4" WIDE PLANKS WITH 3/4" ON PANEL SYSTEM.
March   Marc	CP-1						EXPOSED STRUCTURE ABOVE WOOD CEILING IN PEG MULLAN'S & CHEF'S KITCHEN
Part							
Montroll	WD-1	RECLAIMED WOOD TONGUE AND	BOD: NORTHERN WIDE	ARTIFAX, NORTH AMERICAN			TONGUE AND GROOVE CEILING SYSTEM WITH MATCHING BEAM ENCLOSURES.
Processor   Proc				WALL	FINISH LEGEND		
Mary	FINISH	MATERIAL	MANUFACTURER	STYLE/MFR. NO.	COLOR/ FINISH	SIZE/ DIMENSIONS	REMARKS
Procession   Pro	3V-1	BRICK VENEER	CHURCH	THIN BRICK			MODULAR THIN BRICK SYSTEM. USE MANUFACTURER'S STANDARD CORNER PIECES A CORNERS. MORTAR COLOR: TBD
Model   Mode	CWT-1	CERAMIC WALL TILE	DALTILE	COLOR WHEEL LINEAR	MATTE BISCUIT K775	3" X 6" X 5/16"	TOILET ROOMS; EPOXY GROUT: MAPEI 5220 EGGSHELL
1.	CWT-2						
March   Marc	·RP-1						· · · · · · · · · · · · · · · · · · ·
SeptHITEOR	7-1 P-2						
Mark - Particle   Mark - Par	9-2 9-3	-					GENERAL PAINT COLOR; TUN TAVERN. 3-COAT, KNOCKDOWN INSTALLATION:
15   ANT INTEGER							1ST COAT KNOCKDOWN: BENJAMIN MOORE ACRYLIC KNOCKDOWN FLAT 343, TO BE SPRAYED 2ND COAT KNOCKDOWN: BENJAMIN MOORE ACRYLIC KNOCKDOWN FLAT 343, TO BE SPRAYED AS A SPLATTER COAT THEN "KNOCKED DOWN" 3RD COAT: BENJAMIN MOORE ULTRA SPEC 500 INTERIOR EGGSHELL N538: MARITIMI WHITE AS SCHEDULED
MART - MITTER		-					
## ANT THETRIES   SURVEY OF THE PURPLY WALL DATE OF TH	P-6						
WALL BASE FINISH LEGEND	P-7			SW7069			DOOR & WINDOW TRIM, PAINT COLOR FOR WOOD BASE
Fig. 12	P-8						· ·
WALL BASE FINISH   WATERAL   MANUFACTURES   STYLEARER NO   OOLORS FINISH   SIZE DIMENSIONS   REMARKS	NC-1	WALLCOVERING - VINYL	SPOONFLOWER	TYPE II VINYL WALLCOVERING	· · · · · · · · · · · · · · · · · · ·	2'-0" X 27'-0"	PVC-FREE WALLCOVERING, CONTACT: MARCY.SULLIVAN@SPOONFLOWER.COM, TELEPHONE: 865-414-4501
MARIENA				\\/\\  R\		JD.	TEEL HOVE. 666 TH 1661
MARKED     OLARRY TILE RASK   OLARRY TILE ROUND TOP COVE BASK   AMD CRAY COL2   5" X 6" X 12"   DILLARON ROOR SRESS FOR ROTTIMS FROM PROVINCE FOR PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SRESS FOR ROTTIMS FROM PROVINCE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE RESEARCH PARTIAL CRAY FIRST POOR PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE ROTTING FROM PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE ROTTING FROM PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE ROTTING FROM PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE ROTTING FROM PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE ROTTING FROM PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE ROTTING FROM PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE ROTTING FROM PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE ROTTING FROM PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE ROTTING FROM PARTIAL CRAY FIRST POOR SERVICE FOR X 1 TO EXCEPT THE ROTTING FROM PARTIAL CRAY FIRST POOR SERVICE FO	EINICLI	MATERIAL	MANUICACTUDED			1	DEMADES
PROPERTY	CTB-1	OUARRY TILE BASE					KITCHEN & FOOD PREP; SEE 900 SRIES FOR EXTENTS. EPOXY GROUT: MAPEI 5004
BITCATE AS PARTICIPATED   DISCRIPTION   DI	DTR_1	DODCELAINI TILE RASE	CADDENI STATE TILE	DEVOLUTION	SAND MATTE	6" v 12"	
INTEGRA, RESINDUE SASE   SIONIMAD   STONCIAD   INTERVIEW   STANDARD COVER BASE WITH CAP STRIP							·
MONTE   MONT							
TABLET   COMMON   COLOR FINISH   LEGEN	PWD-1				P-7 (SEE ABOVE)	5-1/2" H X 3/4"THICK	INCLINED WALL BASE; SEE A800 SERIES FOR DETAILS
FINAL   MATERIAL   MANUFACTURER   STYLEAMER.NO.   COLORF FINISH   COLORF FIN	RWB-1						
FINISH   MATERIAL   MANUFACTURER   STYLE/MER. NO.   COLOR/FINISH   SUPE/FINER STORE   SPECIAL PROPERTY   SPECIAL PLANCE   SPECIAL PROPERTY   SPECIAL PLANCE   SPECIAL PROPERTY   SPECI	RWB-2	KORREK RYZE	TARKETT		1	1	STRAIGHT BASE AT CARPET, COVE BASE AT LUXURY VINYL TILE
BRICK FLOORING						1	
BRICK FLOORING							
Procedure from the   Carden state file   Procedure							
CARPET TILE							
CARPET TILE   NITERACE   SUBTEXT TILE 51409   O-5485 QUIP   9-845" X 39-38" X 25CM   THED FLOOR OFFICE, ASHLER INSTALLATION	CFT-1		***************************************				· · · · · · · · · · · · · · · · · · ·
REST-1	CPT-1	CARPET TILE	INTERFACE				· ·
RESPONDES LOCKING STOMEHAND STOMEHAND STATE RUBBER TRADS & RISERS SEARCH CORNECT SEARCH CONCRETE SERVIN WILLIAMS HACCLARISHED WATER BASED NATURAL COCK STAFF RECLAIMED WOOD FLORING NORTHERN WIDE PLANK ARTHER STORING COCK STAFF RECLAIMED WOOD FLORING NORTHERN WIDE PLANK ARTHER STORING COCK STAFF RECLAIMED WOOD FLORING NORTHERN WIDE PLANK ARTHER STORING COCK STAFF RECLAIMED WOOD FLORING NORTHERN WIDE PLANK ARTHER NO.  STAFF RECLAIMED WOOD FLORING NORTHERN WIDE PLANK ARTHER NO.  COCKRY FINISH MATERIAL MANUFACTURER STYLE/MFR. NO.  COCKRY FINISH COCKRET GUARD MARLIE CORNER GUARD MARLIE CORNER GUARD MARLIE CORNER GUARD MARLIE CORNER GUARD MARLIE DECORATIVE CROWN MOLDING  MALE DECORATIVE CROWN MOLDING PAINTED WOOD TRIM PAINTED WOO	VT-1			TEN ODETE OF D	421 DDIOLET OF AV	NI/A	FOR CELECT MED CRACEC CEE FINIOUS CROSS CONTROL S AND STATES
REST-1 RUBBER FLOORING TARKETT - JOHNSONITE AGGE FIT RUBBER TREADS & RISERS (C.T.) SEALED CONCRETE SHERWIN WILLIAMS HEC CLARISHELD WATER ASSED NATURAL LOOK SEALER ROUTE CLARISHELD WATER ASSED NATURAL LOOK SEALER ROUTE CLARISHELD WATER ASSED NATURAL LOOK SEALER ROUTE CLARISHELD WATER ASSED NATURE CLARISH DECRETACION SPECIALITIES PEDIMAR MIT PROMOTE AND FOR THE PROMOTE ASSESSMENT OF AS							· ·
SEALED CONGRETE  SHERWIN WILLIAMS  H&C CLARISHIELD WATER BASED NATURAL LOOK STAILER  WKF-11  RECESSED WALK-OFF CARPET  CONSTRUCTION SPECIALITIES PEDIMAT M1  POPULATION  NORTHERN WIDE PLANK  ARTIFAX NORTH AMERICAN RECLAIMED OAK  RECLAIMED WOOD FLOORING  NORTHERN WIDE PLANK  ARTIFAX NORTH AMERICAN RECLAIMED OAK  RECLAIMED OAK  RECLAIMED LOOK STAILER  N/A  AT ENTRY VESTIBULE, SEE 900 SERIES FOR EXTENTS  WARLES  RECLAIMED LONGING ENGINEERED WOOD, TOUNGE AND GROOVE FLOOR  RECLAIMED OAK  RECLAIMED OAK  RECLAIMED LONGING ENGINEERED WOOD, TOUNGE AND GROOVE FLOOR  REMARKS  TINISH LEGEND  FINISH  MATERIAL  MARLITE  CORNER GUARD  MARLITE	RST-1						·
WDF-1 RECLAIMED WOOD FLOORING NORTHERN WIDE PLANK ARTIFAX NORTH AMERICAN RECLAIMED OAK  WISCELLANEOUS FINISH LEGEND  WISCELLANEOUS FINISH LEGEND  WISCELLANEOUS FINISH LEGEND  WISCELLANEOUS FINISH SIZE/ DIMENSIONS REMARKS  SIZE/ DIMENSIONS REMARKS  STANDARD SEE 900 SERIES FOR LOCATIONS  SEE 900 SERIES FOR LOCATIONS  WHITE OAK STANDED HAVE ARCHITECTS SAMPLE ANTIQUE PEWTER  PAINTED WOOD TRIM P-5. 1560 ANTIQUE PEWTER  WISCELLANEOUS FOR DETAILS  SEE 800 SERIES FOR DETAILS  WHITE OWN MOLDING  PAINTED WOOD TRIM P-5. 1560 ANTIQUE PEWTER  ANTIQUE PEWTER  WISCELLANEOUS PEWTER  WISCELLANEOUS PEWTER  SEE 800 SERIES FOR DETAILS  SEE 800 SERIES FOR DETAILS  SEE 800 SERIES FOR DETAILS  WHITE OWN MOLDING  PAINTED WOOD TRIM P-5. 1560 ANTIQUE PEWTER  WISCELLANEOUS PEWTER  WISCELLANEOUS PEWTER  ANTIQUE PEWTER  WISCELLANEOUS PEWTER  SEE 800 SERIES FOR DETAILS  SEE 800 SERIES FOR DETAILS  SEE 800 SERIES FOR DETAILS  WHITE OWN MOLDING  WISCELLANEOUS PEWTER  SEE 800 SERIES FOR DETAILS  WISCELLANEOUS PEWTER  WISCELLANEOUS PEWTER  SEE 800 SERIES FOR DETAILS  SEE 800 SERIES FOR DETAILS  WISCELLANEOUS PEWTER  WISCELLANEOUS PEWTER  WISCELLANEOUS PEWTER  SEE 800 SERIES FOR DETAILS  SEE 800 SERIES FOR DETAILS  WISCELLANEOUS PEWTER  WISCELLANEOUS PEWTER  WISCELLANEOUS PEWTER  WISCELLANEOUS PEWTER  WISCELLANEOUS PEWTER  WISCELLANEOUS PEWTER  SEE 800 SERIES FOR DETAILS  FOR PRIVATE DINING. SEE SPECIFICATIONS FOR ADDITIONAL INFORMANT PEWTER PEWTER  WISCELLANEOUS PEWTER  WISCELLANEO	6C-1	SEALED CONCRETE					
MISCELLANEOUS FINISH LEGEND  FINISH MATERIAL MANUFACTURER STYLE/MF. NO. COLOR/ FINISH SIZE/ DIMENSIONS REMARKS  GG-1 CORNER GUARD MARLITE CORNER GUARD M961 145 SILVER STANDARD SEE 900 SERIES FOR LOCATIONS  GM-1 DECORATIVE CROWN MOLDING WHITE OAK STAINED TO MATCH ARCHITECTS SAMPLE  GM-2 DECORATIVE CROWN MOLDING PAINTED WOOD TRIM P-5. 1560 ANTIQUE PEWTER ANTIQUE PEWTER  GS-1 DECORATIVE CHAIR RAIL PAINTED WOOD TRIM P-5. 1560 ANTIQUE PEWTER ANTIQUE PEWTER ANTIQUE PEWTER  GS-1 CASING TRIM AT DOORS AND WINDOWS  GRAPERY  MANUAL WINDOW SHADE MECHOSHADE WECHOSHADE WECHOSHADE URBANSHADE, EUROTWILL SHADECLOTH 6000 SERIES, 3% OPEN  MISCELLANEOUS FINISH LEGEND  VERIFY IN FIELD REVEYSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE SIZE. I MIRRORED GLAZING MCGRORY GLASS BA-1319 N/A THIRD FLOOR PAINTER MILL WOOD. FAIL SIZE BOO SERIES FOR LOCATIONS ON THE PLASTIC LAMINIATE FOR MICCA. B844-WR AGED ASH N/A THIRD FLOOR PAINTER MILLWORK, PROVIDE MATCHING ABS EDGEBAN DIZE-1 QUARTZ  GD-101 QUARTZ  DESCRIPTION OF THE MARKS  SIZE DIMENSIONS  SEE 900 SERIES FOR DETAILS  SEE 800 SERIES FOR DETAILS	NKF-1 NDF-1		NORTHERN WIDE PLANK	ARTIFAX NORTH AMERICAN			· ·
FINISH MATERIAL MANUFACTURER STYLE/MFR. NO. COLOR/ FINISH SIZE/ DIMENSIONS REMARKS CG-1 CORNER GUARD MARLITE CORNER GUARD M961 145 SILVER STANDARD SEE 900 SERIES FOR LOCATIONS  CM-1 DECORATIVE CROWN MOLDING WHITE OAK STAINED TO MATCH ARCHITECT'S SAMPLE  CM-2 DECORATIVE CROWN MOLDING PAINTED WOOD TRIM P-5, 1560 ANTIQUE PEWTER ANTIQUE PEWTER  CR-1 DECORATIVE CHAIR RAIL  CS-1 CASING TRIM AT DOORS AND WINDOWS  CR-1 DRAPERY  MT-1 MANUAL WINDOW SHADE MECHOSHADE WEGNOSERIES, 3% OPEN  MCRON SERIES, 3% OPEN				RECLAIMED OAK			
CG-1 CORNER GUARD MARLITE CORNER GUARD M961 145 SILVER STANDARD SEE 900 SERIES FOR LOCATIONS  CM-2 DECORATIVE CROWN MOLDING PAINTED WOOD TRIM  CM-2 DECORATIVE CROWN MOLDING  CM-2 PAINTED WOOD TRIM  CASING TRIM AT DOORS AND WINDOWS  CM-3 DRAPERY  CM-4 DECORATIVE CROWN MOLDING  CM-4 PAINTED WOOD TRIM  CASING TRIM AT DOORS AND WINDOWS  CM-4 DRAPERY  CM-4 DRAPERY  CM-5 1560  ANTIQUE PEWTER  ANT				MISCELLANI	EOUS FINISH LEG	GEND	
CG-1 CORNER GUARD MARLITE CORNER GUARD M961 145 SILVER STANDARD SEE 900 SERIES FOR LOCATIONS  CM-1 DECORATIVE CROWN MOLDING WHITE OAK STAINED TO MATCH ARCHITECT'S SAMPLE  CM-2 DECORATIVE CROWN MOLDING PAINTED WOOD TRIM P-5, 1560 ANTIQUE PEWTER  CR-1 DECORATIVE CHAIR RAIL  CS-1 CASING TRIM AT DOORS AND WINDOWS  CR-1 DRAPERY  MANUAL WINDOW SHADE MECHOSHADE GUARD M961 145 SILVER MIRRORD GLAZING MCGRORY GLASS BA-1319 N/A CUSTOM FOR TUN TAVERN BACK BAR  CR-1 PLASTIC LAMINATE FORMICA 8844-WR AGED ASH UPHOLSTERY DESIGNTEX  DECORATIVE CROWN MOLDING  CORNER GUARD MARLITE CORNER GUARD M961 145 SILVER STANDARD  SEE 900 SERIES FOR DETAILS  SEE 800 SE	FINISH	MATERIAL	MANUFACTURER	STYLE/MFR. NO.	COLOR/ FINISH	SIZE/ DIMENSIONS	REMARKS
DECORATIVE CROWN MOLDING  MAY DECORATIVE CROWN MOLDING  DECORATIVE CROWN MOLDING  PAINTED WOOD TRIM  P-5, 1560 ANTIQUE PEWTER	CG-1		MARLITE	CORNER GUARD M961	145 SILVER	STANDARD	SEE 900 SERIES FOR LOCATIONS
DECORATIVE CROWN MOLDING  PAINTED WOOD TRIM  P-5, 1560 ANTIQUE PEWTER  CASING TRIM AT DOORS AND WINDOWS  CASING TRIM AT DOORS AND WINDOWS  CASING TRIM AT DOORS AND WINDOWS  DECORATIVE CHAIR RAIL  PAINTED WOOD TRIM  P-7, SW7069 IRON ORE  PAINTED WOOD TRIM  P-7, SW7069 IRON ORE  POR PRIVATE DINING. SEE SPECIFICATIONS FOR ADDITIONAL INFORMAN  WIT-1  MANUAL WINDOW SHADE  MECHOSHADE  MECHOSHA	CM-1	DECORATIVE CROWN MOLDING		WHITE OAK		8" H X 3/4" THICK	SEE 800 SERIES FOR DETAILS
ANTIQUE PEWTER  CASING TRIM AT DOORS AND WINDOWS  CASING TRIM AT DOORS AND WINDOWS  CR.1 DRAPERY  MANUAL WINDOW SHADE  MECHOSHADE  URBANSHADE, EUROTWILL SHADECLOTH 6000 SERIES, 3% OPEN  WIRRORED GLAZING  MIRRORED GLAZING  MCGRORY GLASS  BA-1319  N/A  CUSTOM  FOR TUN TAVERN BACK BAR  PL-1 PLASTIC LAMINATE  FORMICA  8844-WR  AGED ASH N/A  SEE 800 SERIES FOR DETAILS  WERIFY IN FIELD  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  SOLID SURFACE  CORIAN  BISQUE  N/A  N/A  N/A  SEE 800 SERIES FOR DETAILS  THICK SEE 800 SERIES FOR DETAILS  EVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  N/A  THIRD FLOOR PANTRY MILLWORK, PROVIDE MATCHING ABS EDGEBAN N/A  N/A  SEE 800 SERIES FOR LOCATIONS  THIRD FLOOR PANTRY MILLWORK, PROVIDE MATCHING ABS EDGEBAN N/A  DITZ-1 QUARTZ  CAESARSTONE  5111  STATUARIO NUVO  N/A  BUILT-IN SEATING, SEAT	CM-2	DECORATIVE CROWN MOLDING		PAINTED WOOD TRIM	'	5 1/2" H X 3/4" THICK	SEE 800 SERIES FOR DETAILS
IRON ORE  FOR PRIVATE DINING. SEE SPECIFICATIONS FOR ADDITIONAL INFORMA REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON ORE  REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  IRON OR STEEL MOUNTING PLATE END PLATE.	CR-1	DECORATIVE CHAIR RAIL		PAINTED WOOD TRIM	1 .	3 1/2"H X 3/4" THICK	SEE 800 SERIES FOR DETAILS
MANUAL WINDOW SHADE MECHOSHADE URBANSHADE, EUROTWILL SHADECLOTH 6018 STONE VERIFY IN FIELD REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE END PLATE.  GLZ-1 MIRRORED GLAZING MCGRORY GLASS BA-1319 N/A CUSTOM FOR TUN TAVERN BACK BAR  PL-1 PLASTIC LAMINATE FORMICA 8844-WR AGED ASH N/A THIRD FLOOR PANTRY MILLWORK, PROVIDE MATCHING ABS EDGEBAN SS-1 SOLID SURFACE CORIAN BISQUE N/A SEE 800 SERIES FOR LOCATIONS  DTZ-1 QUARTZ CAESARSTONE 5111 STATUARIO NUVO N/A PEG MULLAN'S & CHEF'S KITCHEN BARS  JP-1 UPHOLSTERY DESIGNTEX SILICONE NAPPA 704 BRANDY N/A BUILT-IN SEATING, SEAT	CS-1	CASING TRIM AT DOORS AND WINDOWS		PAINTED WOOD TRIM		4" H X 1/4 - 3/4" THICK	SEE 800 SERIES FOR DETAILS
GLZ-1 MIRRORED GLAZING MCGRORY GLASS BA-1319 N/A CUSTOM FOR TUN TAVERN BACK BAR PL-1 PLASTIC LAMINATE FORMICA 8844-WR AGED ASH N/A THIRD FLOOR PANTRY MILLWORK, PROVIDE MATCHING ABS EDGEBAN SS-1 SOLID SURFACE CORIAN BISQUE N/A N/A SEE 800 SERIES FOR LOCATIONS DTZ-1 QUARTZ CAESARSTONE 5111 STATUARIO NUVO N/A PEG MULLAN'S & CHEF'S KITCHEN BARS JP-1 UPHOLSTERY DESIGNTEX SILICONE NAPPA 704 BRANDY N/A BUILT-IN SEATING, SEAT	DR-1	DRAPERY					FOR PRIVATE DINING. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
GLZ-1 MIRRORED GLAZING MCGRORY GLASS BA-1319 N/A CUSTOM FOR TUN TAVERN BACK BAR  PL-1 PLASTIC LAMINATE FORMICA 8844-WR AGED ASH N/A THIRD FLOOR PANTRY MILLWORK, PROVIDE MATCHING ABS EDGEBAN  SS-1 SOLID SURFACE CORIAN BISQUE N/A N/A SEE 800 SERIES FOR LOCATIONS  DTZ-1 QUARTZ CAESARSTONE 5111 STATUARIO NUVO N/A PEG MULLAN'S & CHEF'S KITCHEN BARS  UP-1 UPHOLSTERY DESIGNTEX SILICONE NAPPA 704 BRANDY N/A BUILT-IN SEATING, SEAT	NT-1	MANUAL WINDOW SHADE	MECHOSHADE	URBANSHADE, EUROTWILL SHADECLOTH 6000 SERIES, 3% OPEN	6018 STONE	VERIFY IN FIELD	REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE WITH SQUAR END PLATE.
SS-1 SOLID SURFACE CORIAN BISQUE N/A N/A SEE 800 SERIES FOR LOCATIONS 2TZ-1 QUARTZ CAESARSTONE 5111 STATUARIO NUVO N/A PEG MULLAN'S & CHEF'S KITCHEN BARS UP-1 UPHOLSTERY DESIGNTEX SILICONE NAPPA 704 BRANDY N/A BUILT-IN SEATING, SEAT	GLZ-1		MCGRORY GLASS	BA-1319			
OTZ-1 QUARTZ CAESARSTONE 5111 STATUARIO NUVO N/A PEG MULLAN'S & CHEF'S KITCHEN BARS UP-1 UPHOLSTERY DESIGNTEX SILICONE NAPPA 704 BRANDY N/A BUILT-IN SEATING, SEAT	PI -1						THIRD FLOOR PANTRY MILLWORK, PROVIDE MATCHING ABS EDGEBANDING
JP-1 UPHOLSTERY DESIGNTEX SILICONE NAPPA 704 BRANDY N/A BUILT-IN SEATING, SEAT		COLID CUIDEACE			+ N L / /\	INI/A	TZEE 800 ZERIEZ EORTOCATIONS
	SS-1						
JP-2 UPHOLSTERY MAHARAM METERED STRIPE BY PAUL SMITH 466630 001 LONGWING N/A BUILT-IN SEATING, SEAT BACK	SS-1 QTZ-1	QUARTZ	CAESARSTONE	5111	STATUARIO NUVO	N/A	PEG MULLAN'S & CHEF'S KITCHEN BARS



THE TUN

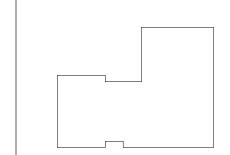
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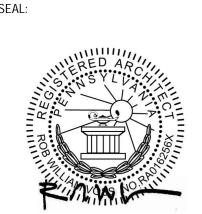
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CONSULTANTS:

KEYPLAN:



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02/28/2025 PERMIT SET 01/31/2025 ISSUE 3

11/10/2024 ISSUE 2

D R A W I N G I S S U E

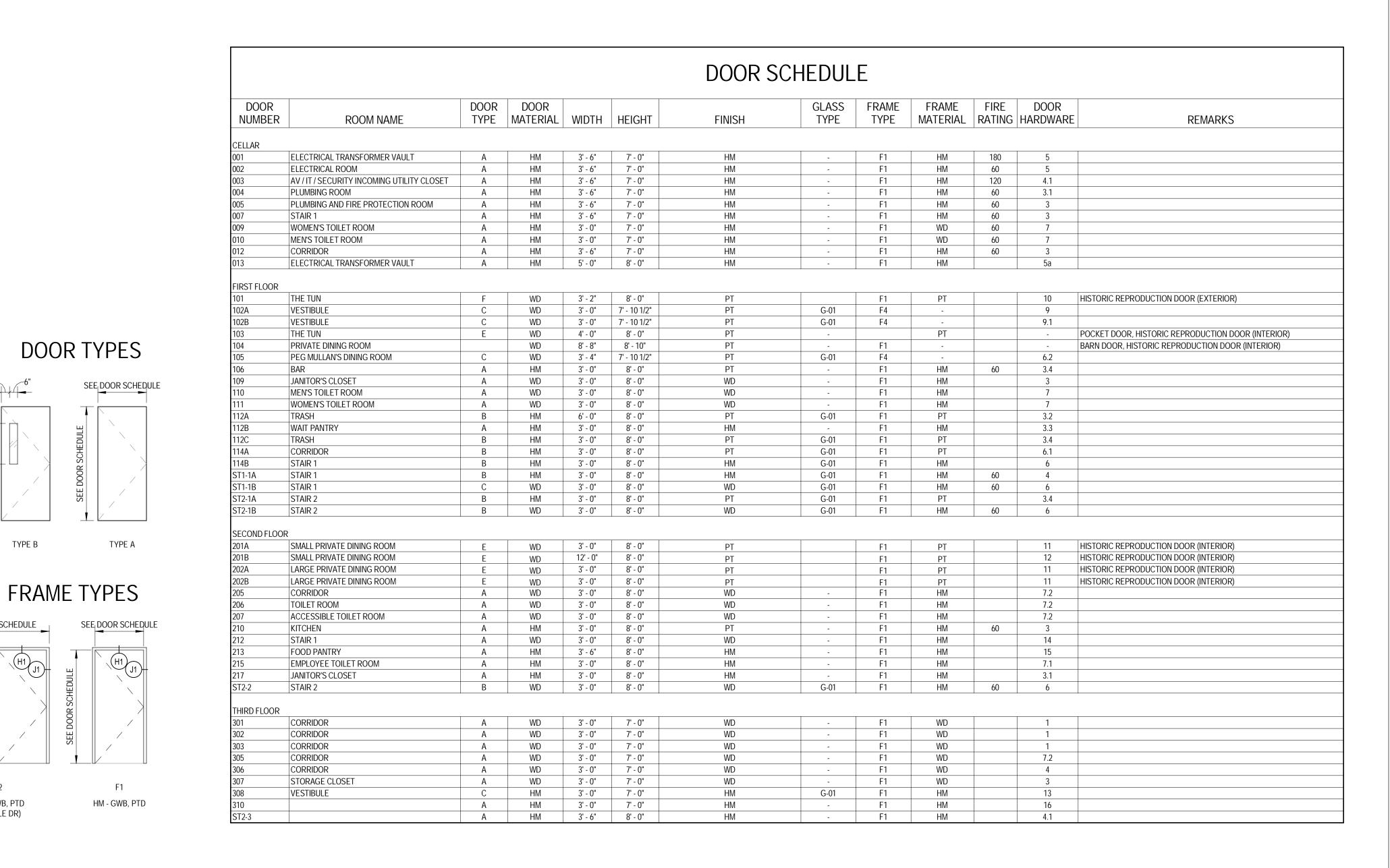
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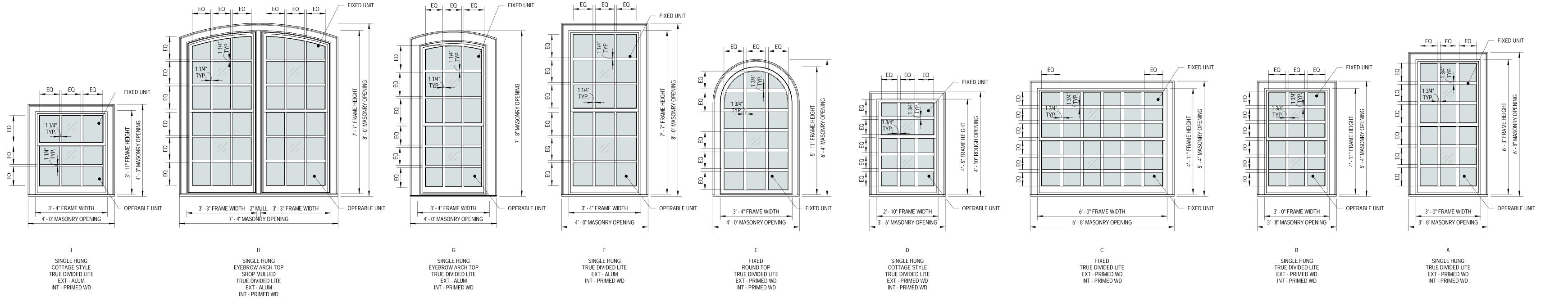
FINISH SCHEDULE

. . .

4610



### WINDOW TYPES



TYPE F

SEE DOOR SCHEDULE

OPEN TO BEYOND

HM - GWB, PTD

(FRAMED OPENING)

HM - MASONRY, PTD

(DOUBLE DR)

REFER TO SEE DOOR INT ELEV SCHEDULE

HM - GWB, PTD

W/ SIDE GLASS LIGHT

J4

HM - GWB, PTD @

WALL TILE

REFER TO SEE DOOR SCHEDULE

F9

HM - GWB, PTD W/

SIDE GLASS LIGHT @

WALL TILE

HM - GWB, PTD

(DOUBLE DR) @ WALL

(J4A)

TYPE D

HM - MASONRY, PTD

TYPE C

TYPE B

HM - GWB, PTD

(DOUBLE DR)



THE TUN

PHILADELPHIA, PA, 19106

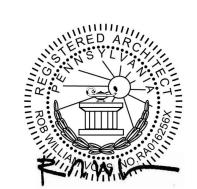
# ballinger

833 Chestnut Street / Suite 1400 Philadelphia, PA 19107 215.446.0900 / t 215.446.0901 / f ballinger.com

CONSULTANTS:

KEYPLAN:

SEAL:



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02/28/2025 PERMIT SET

01/31/2025 ISSUE 3 11/10/2024 ISSUE 2

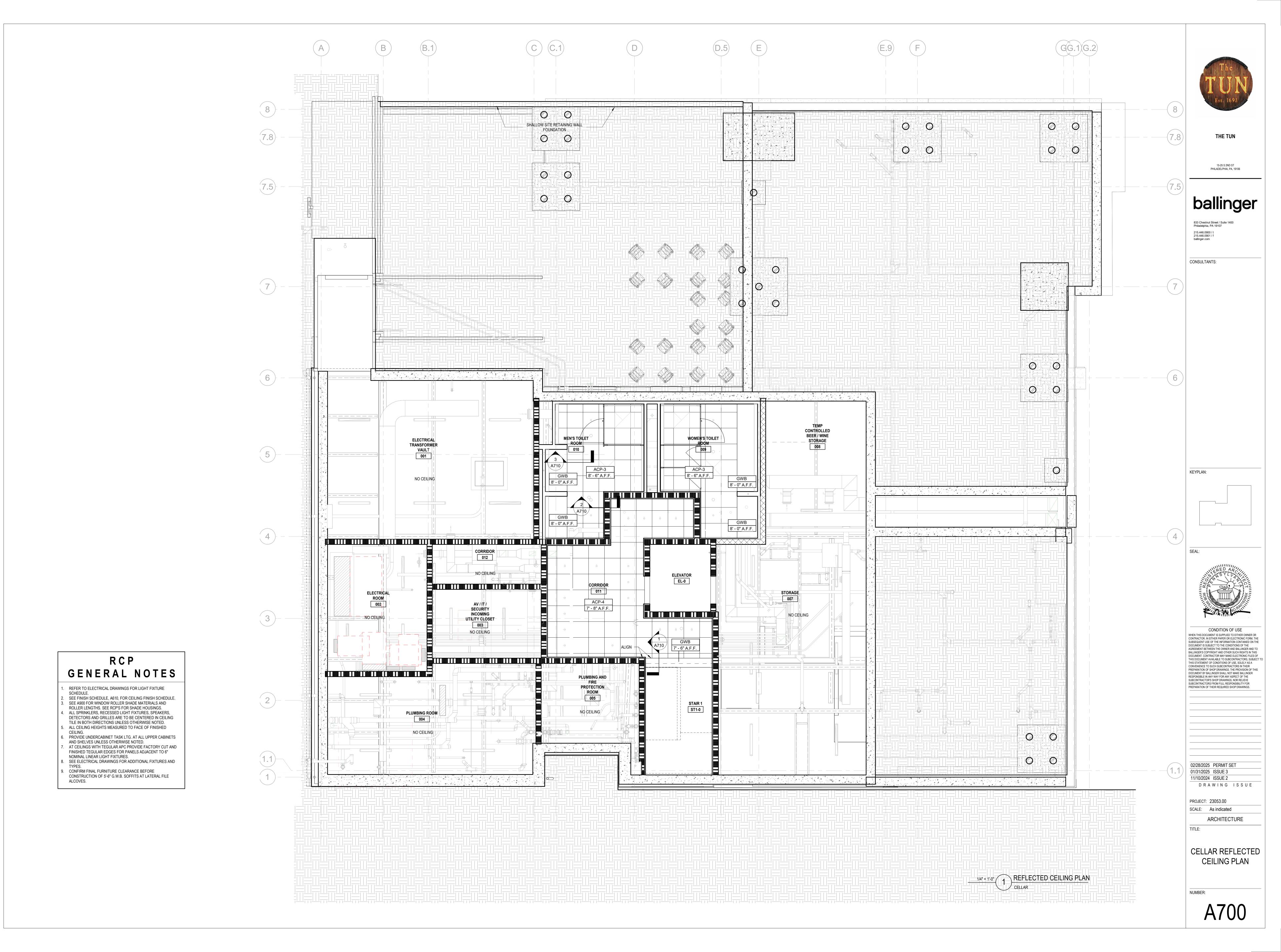
DRAWING ISSUE

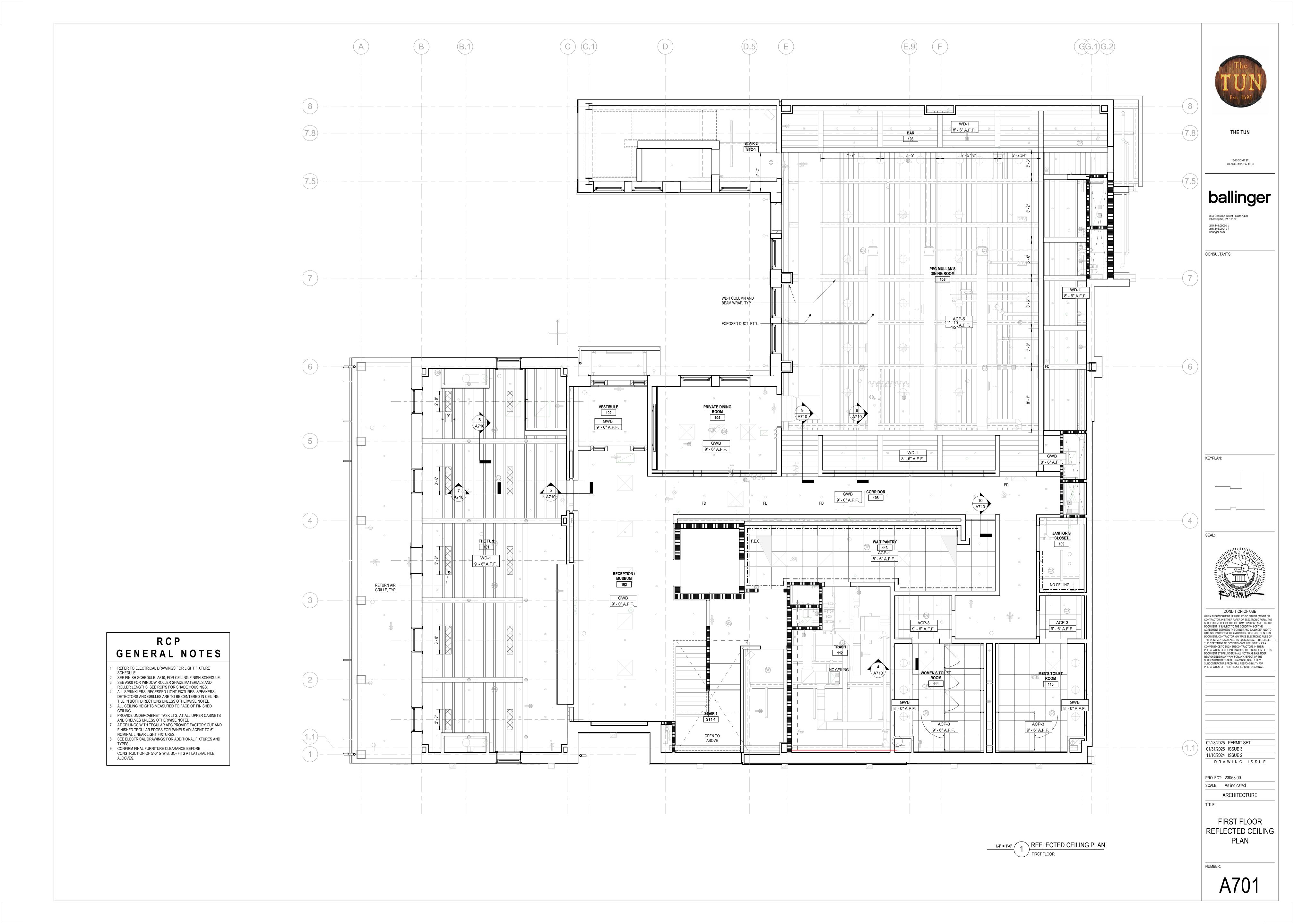
PROJECT: 23053.00 SCALE: As indicated

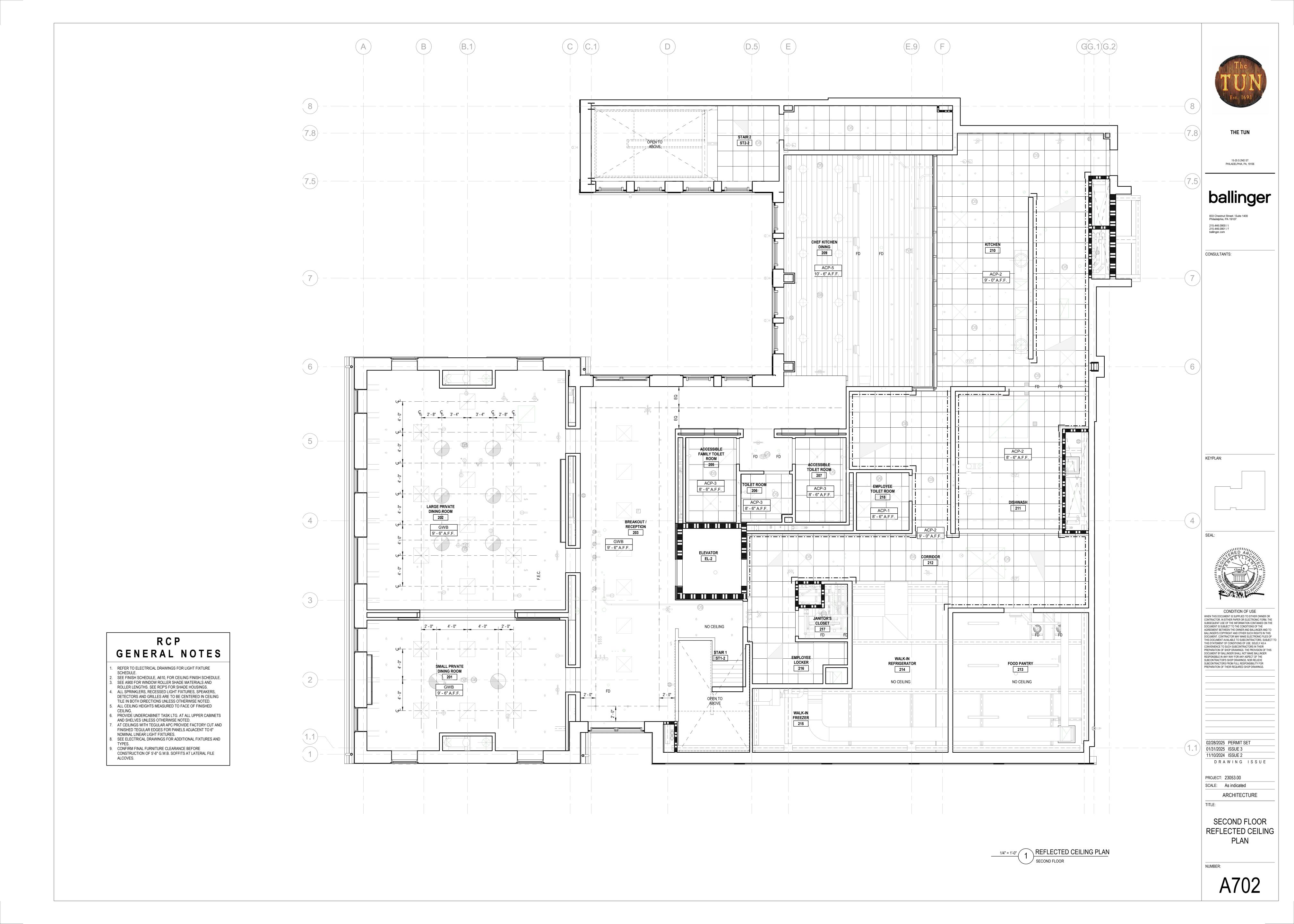
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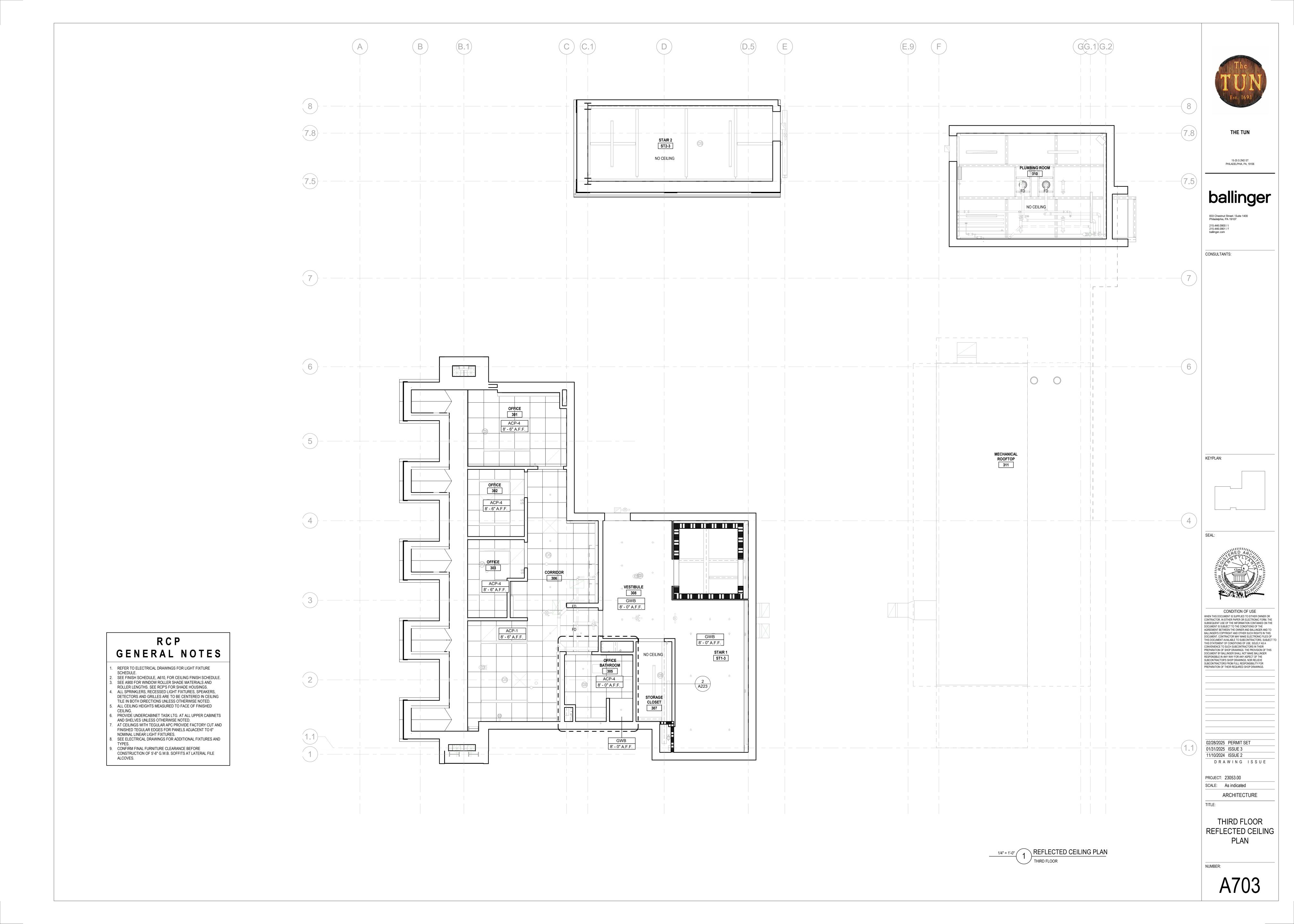
DOOR AND WINDOW SCHEDULE AND DETAILS

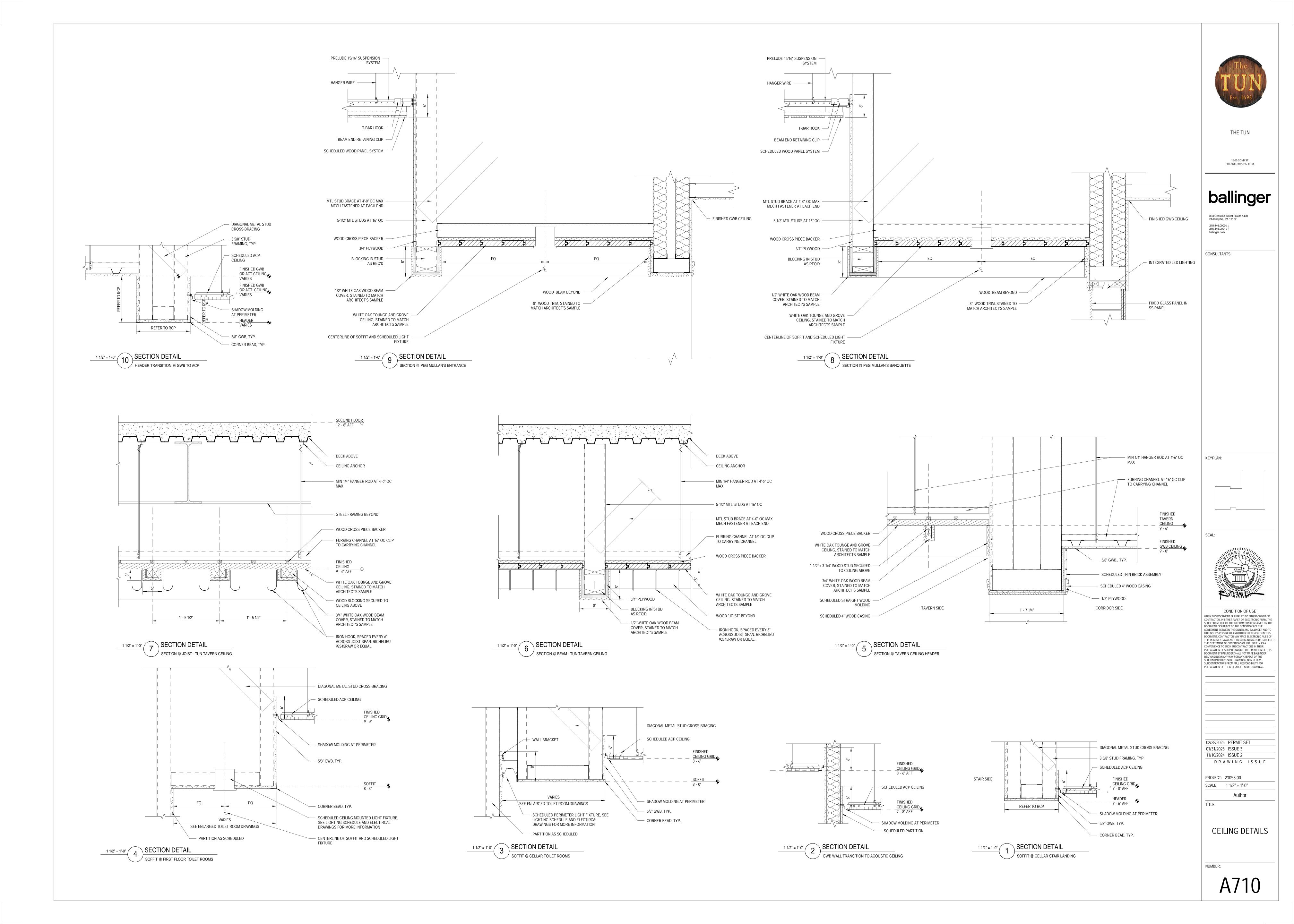
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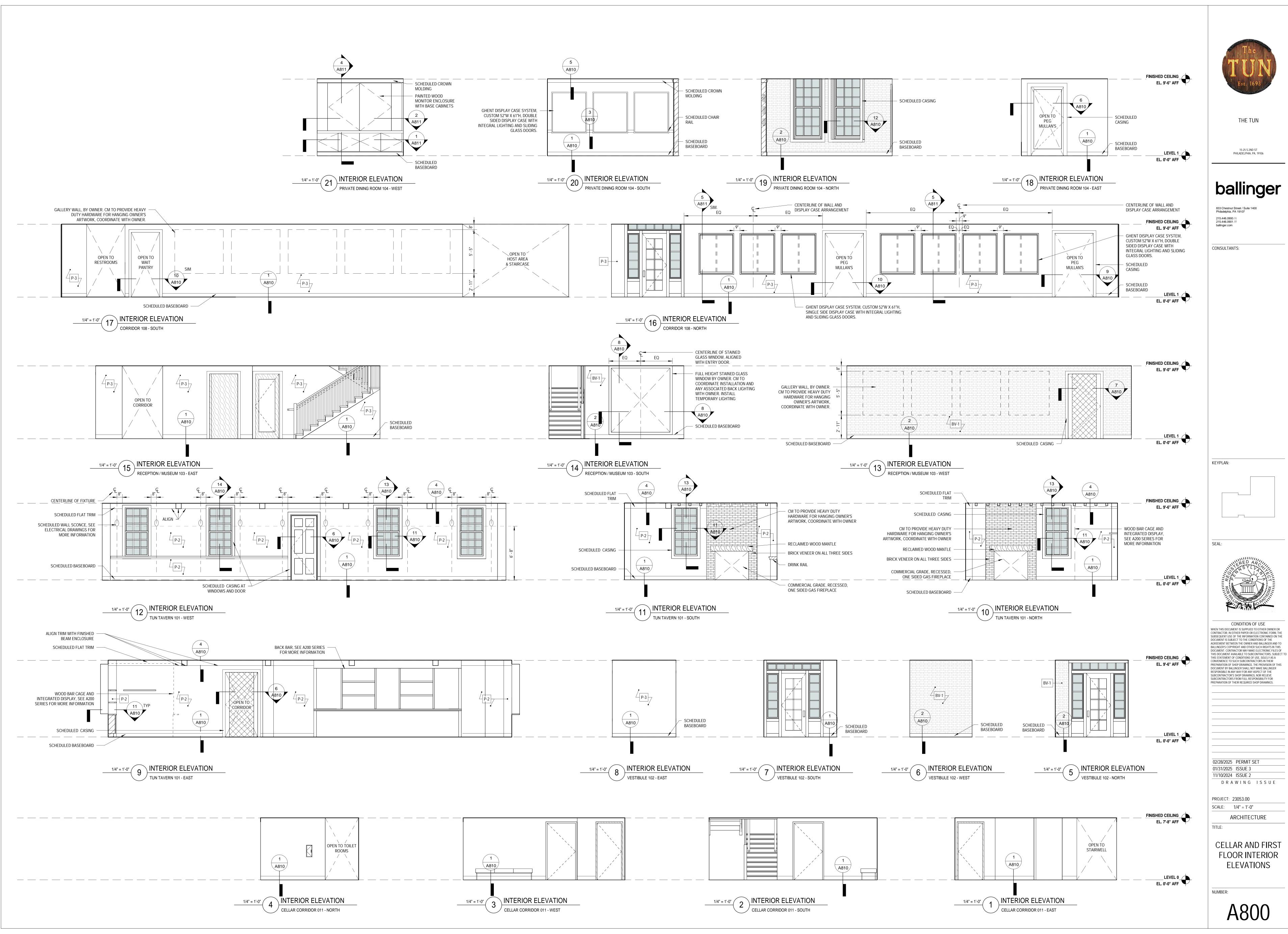




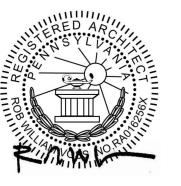


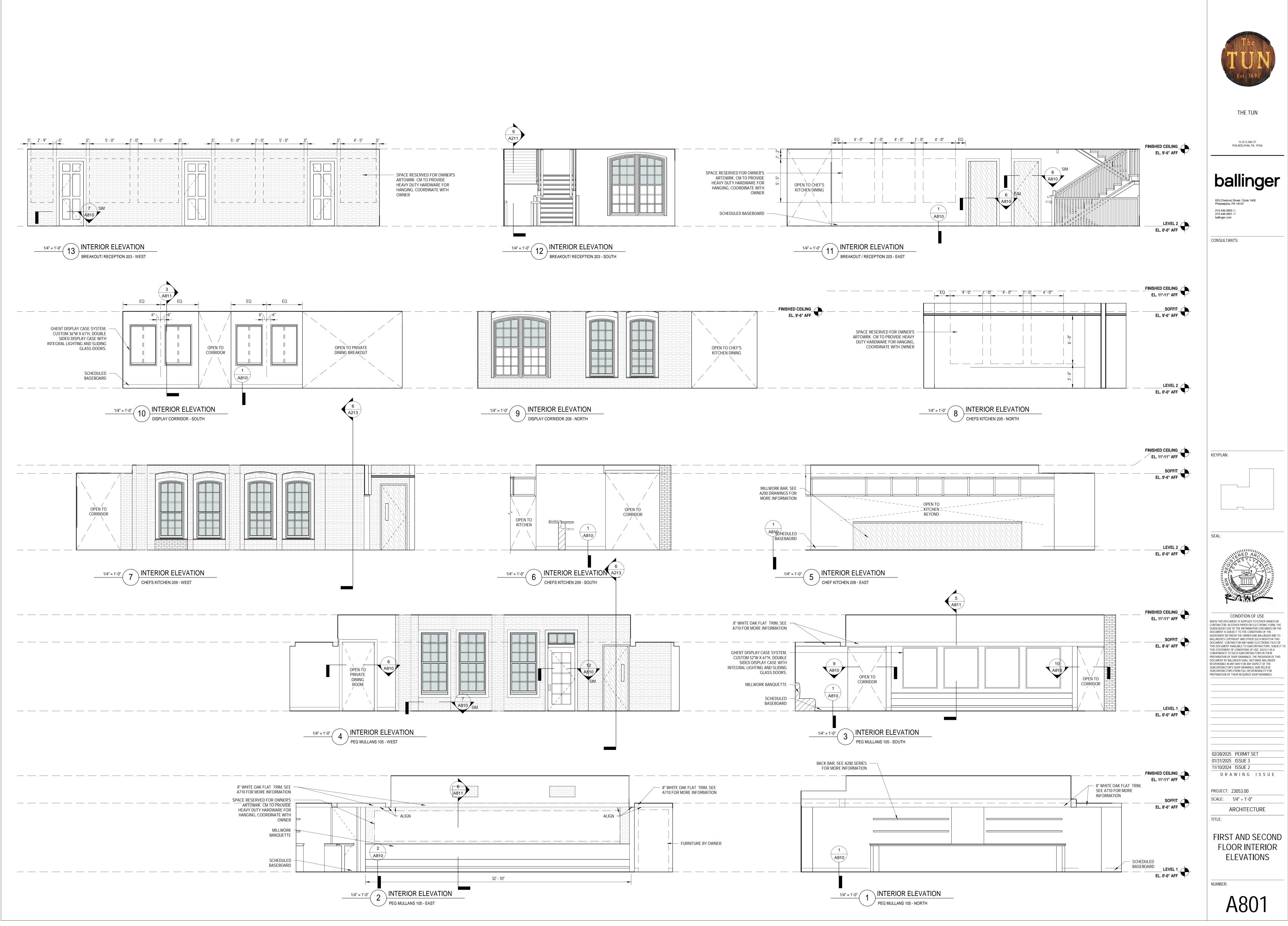




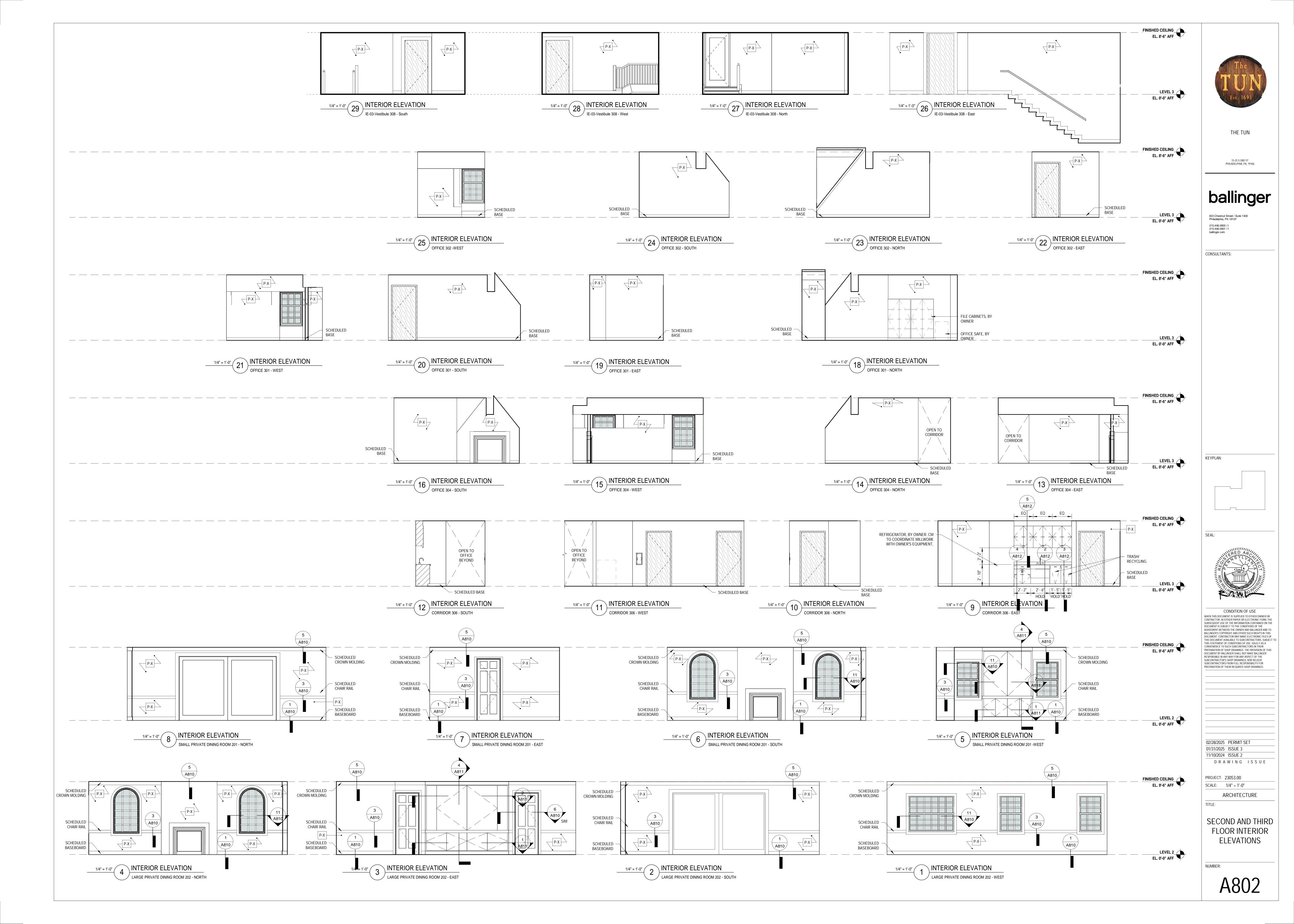


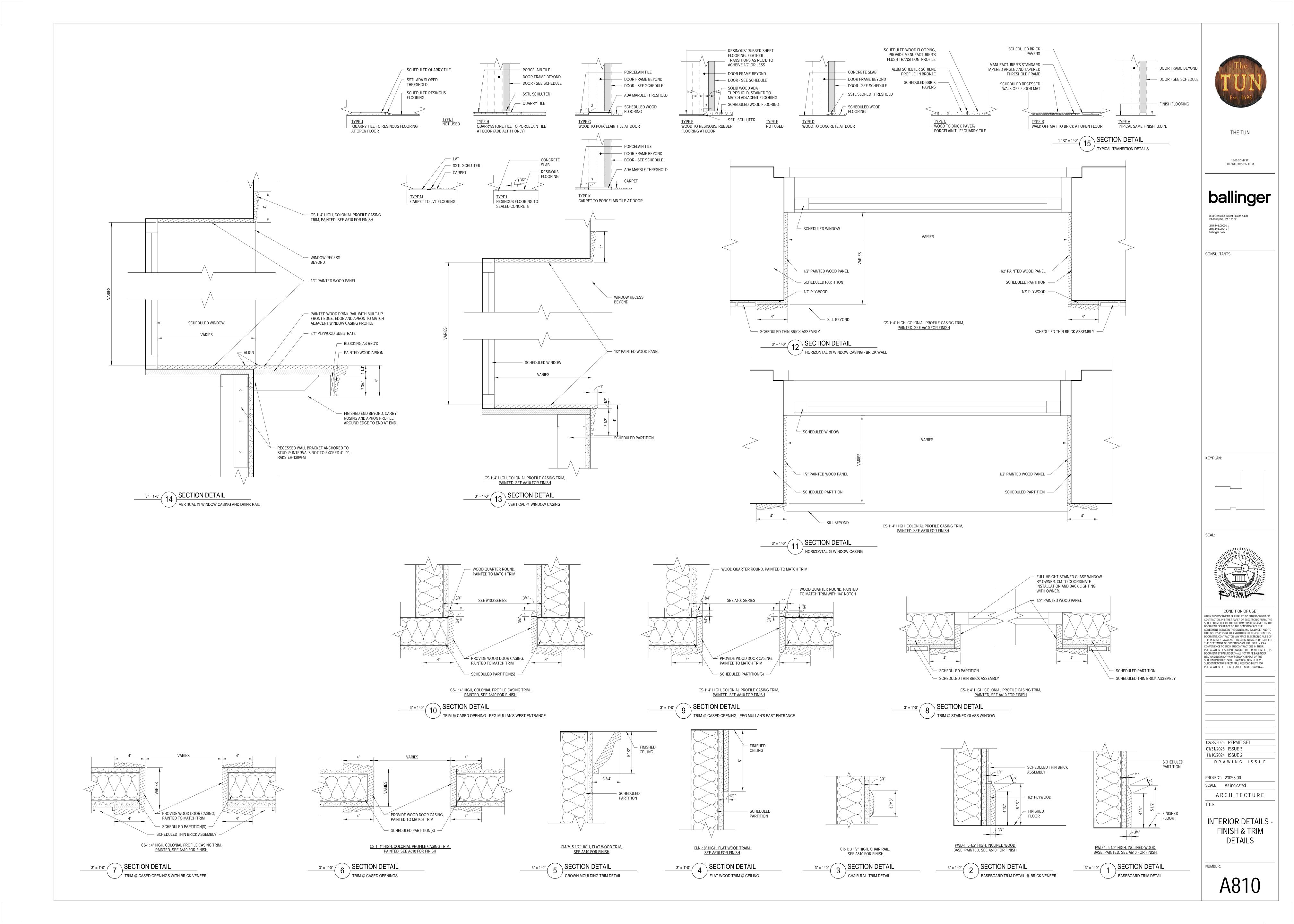


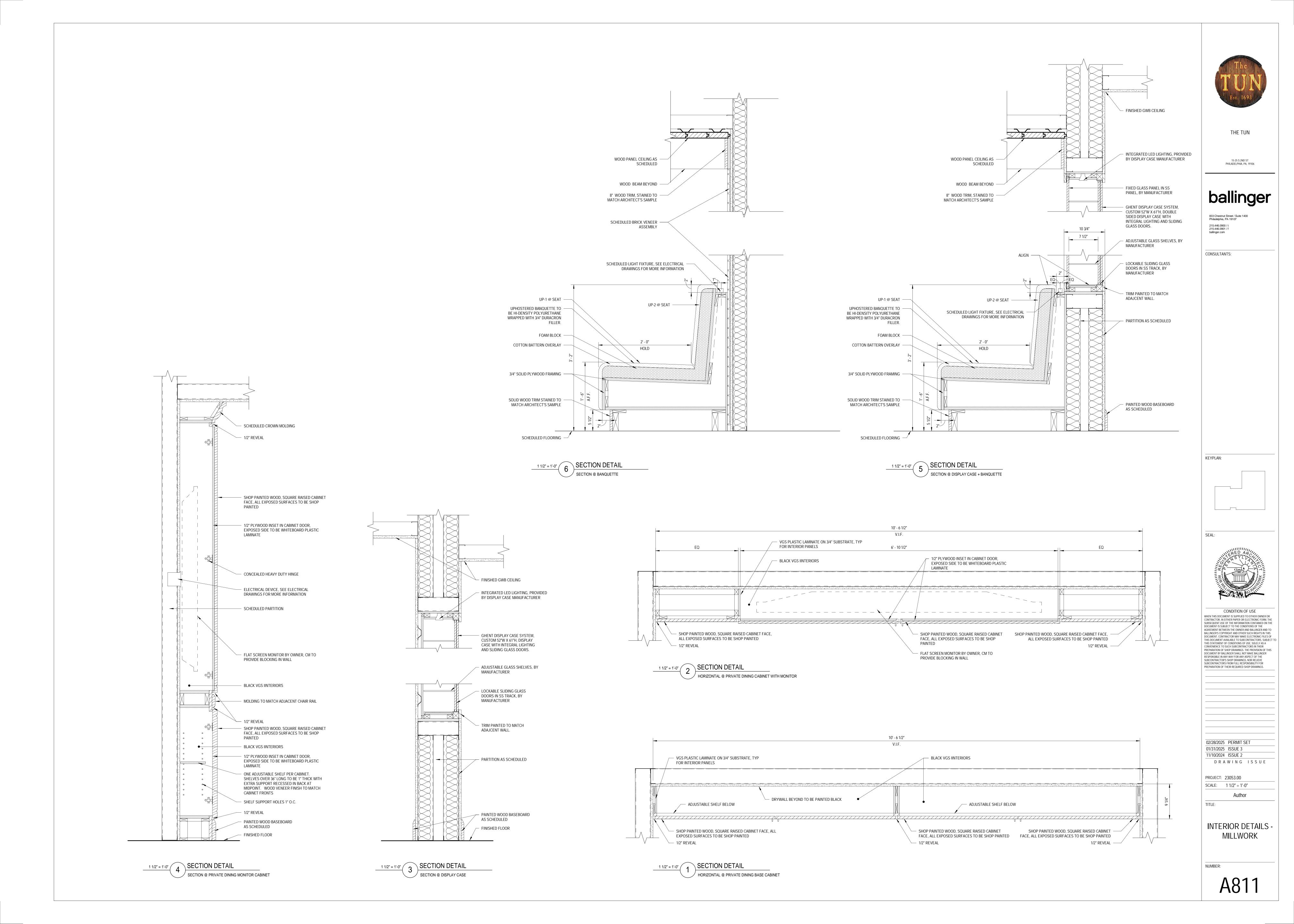


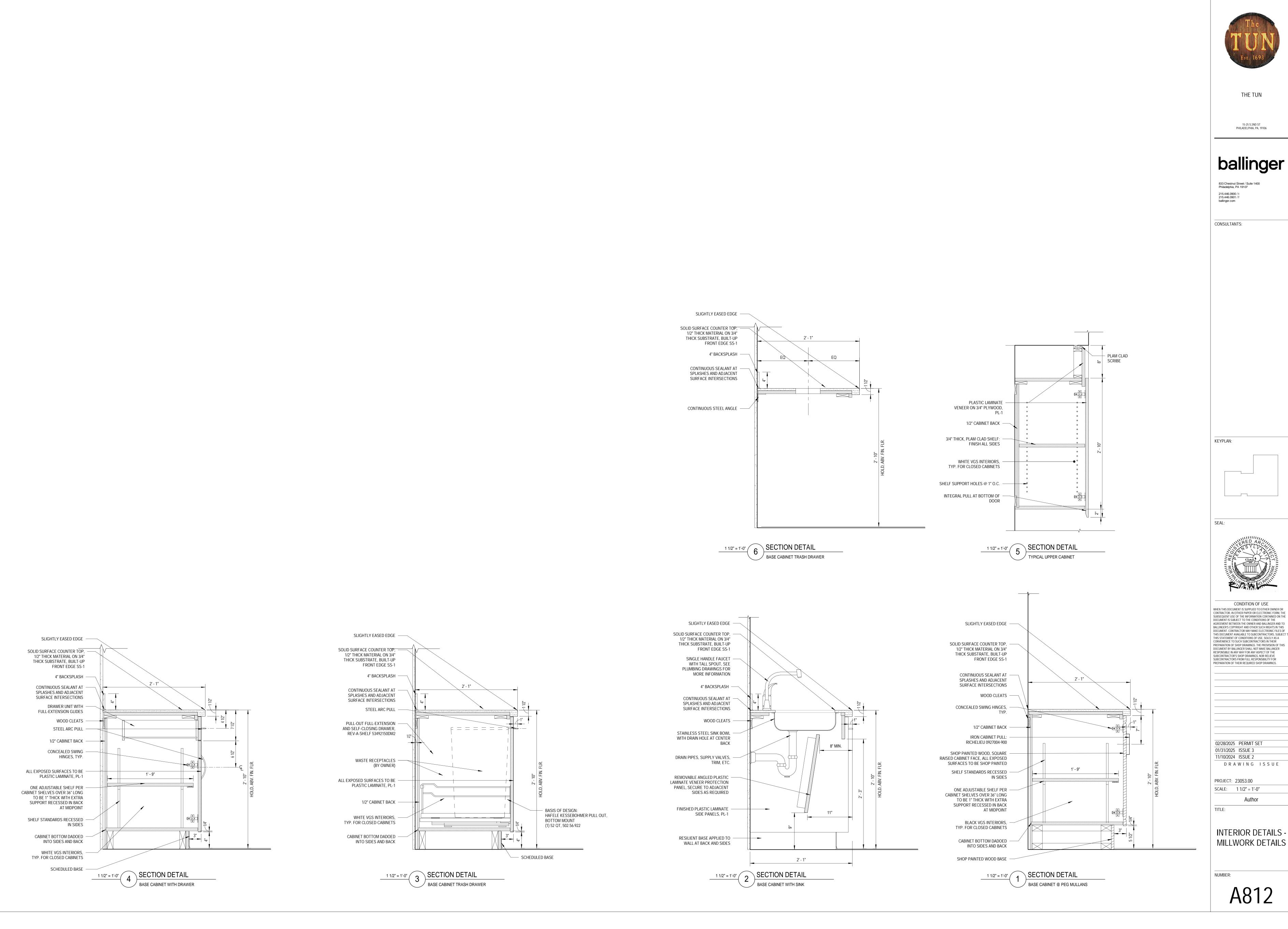




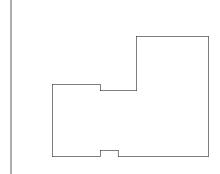


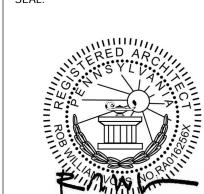








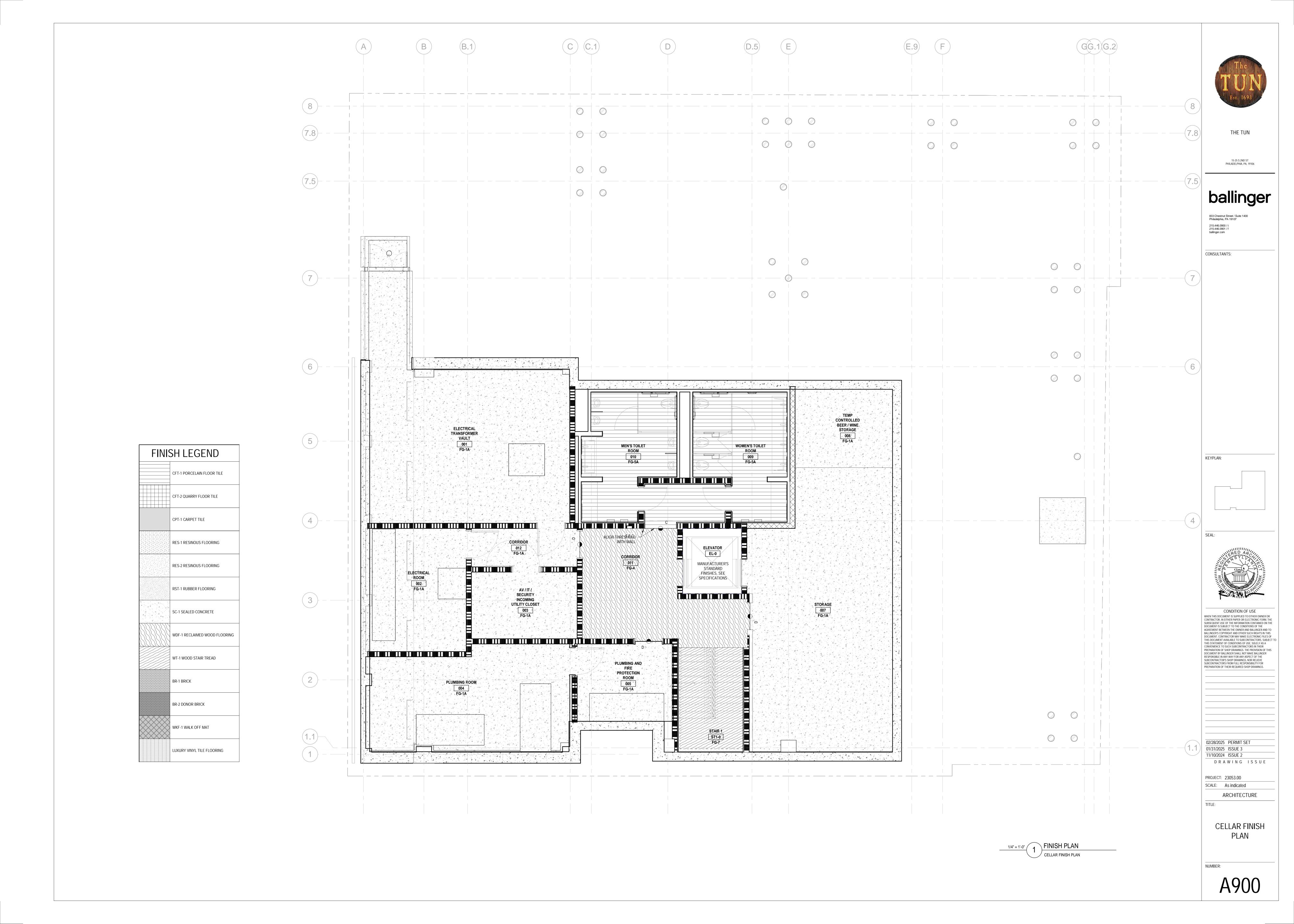


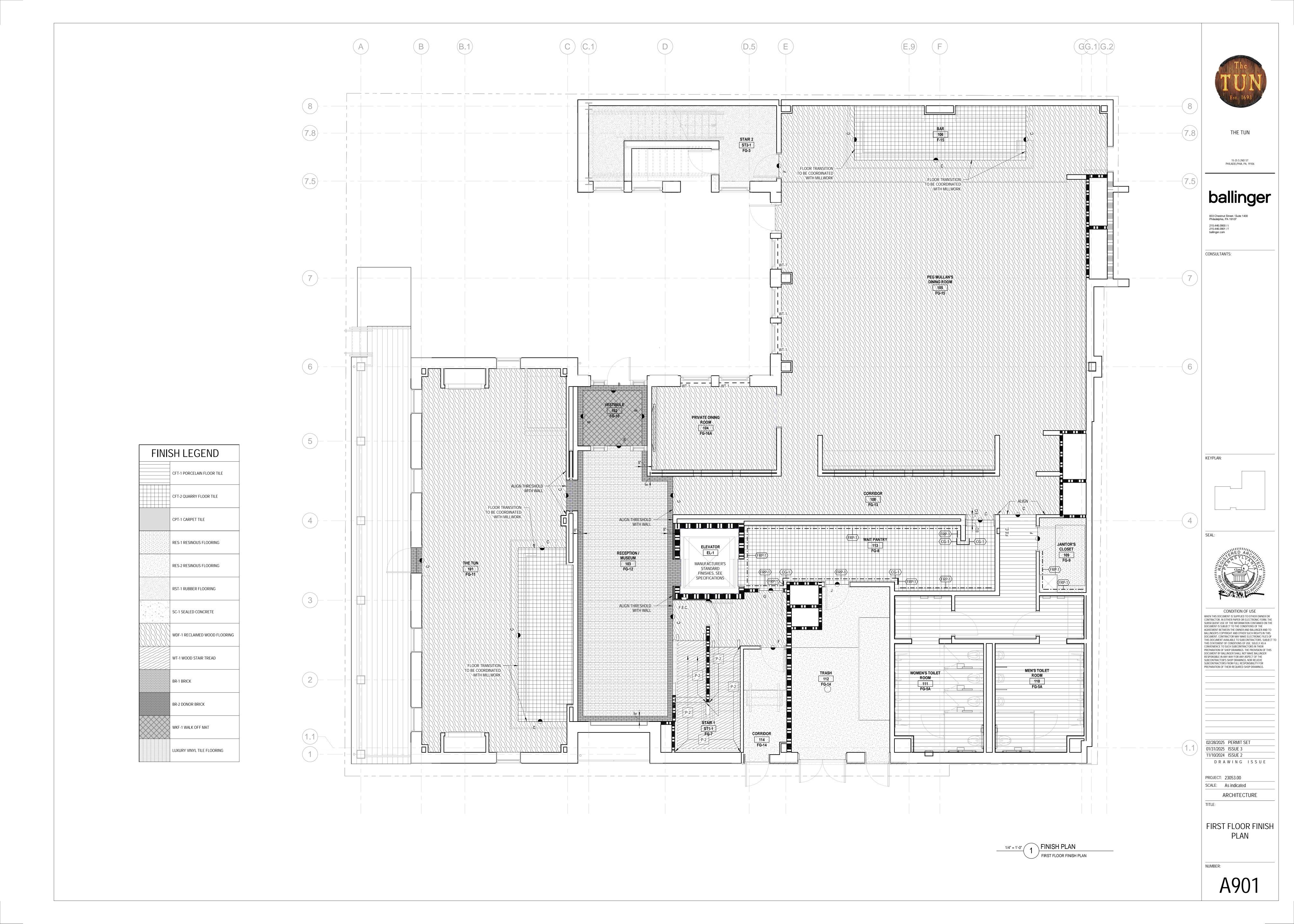


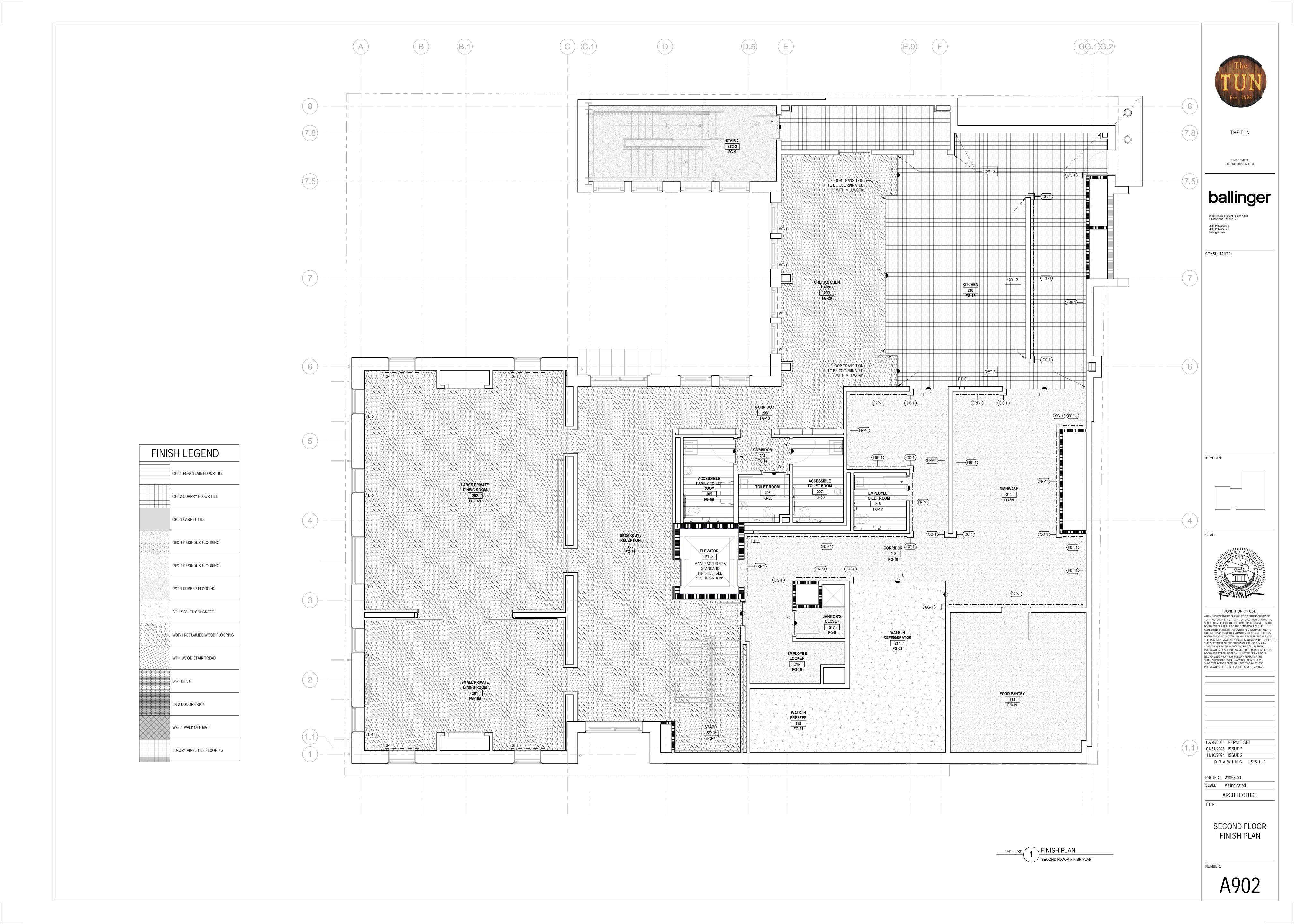
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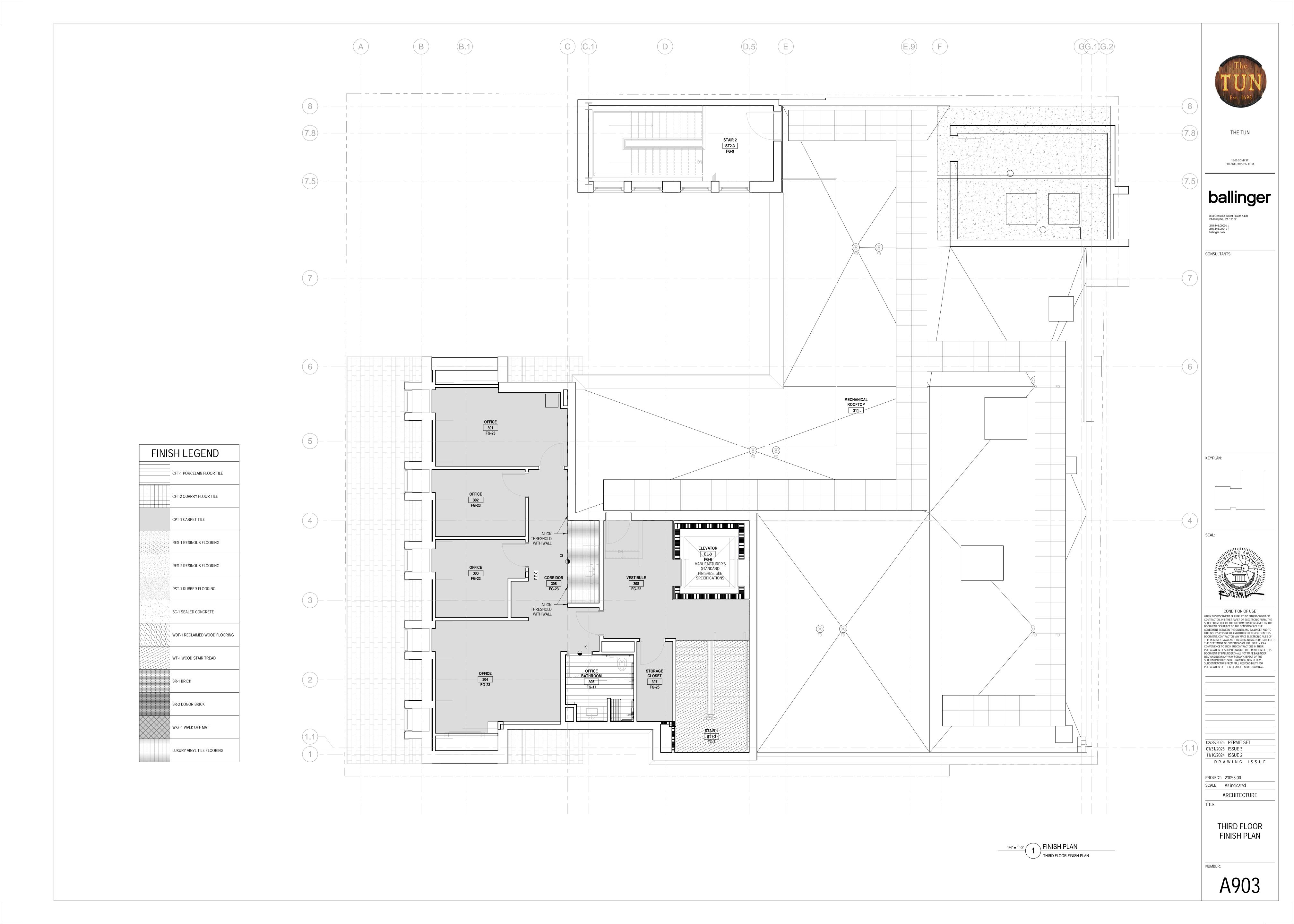
DRAWING ISSUE

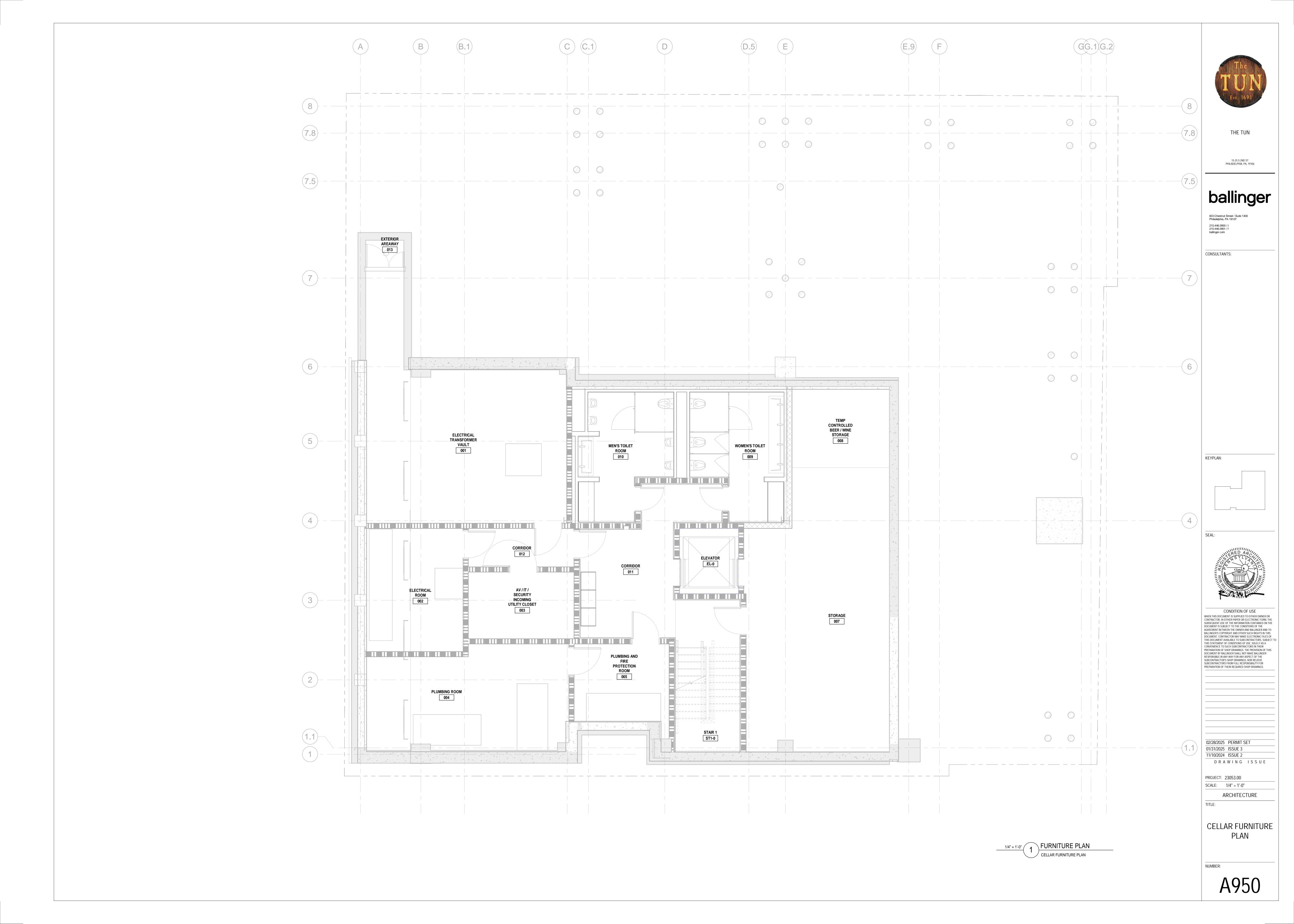
INTERIOR DETAILS -

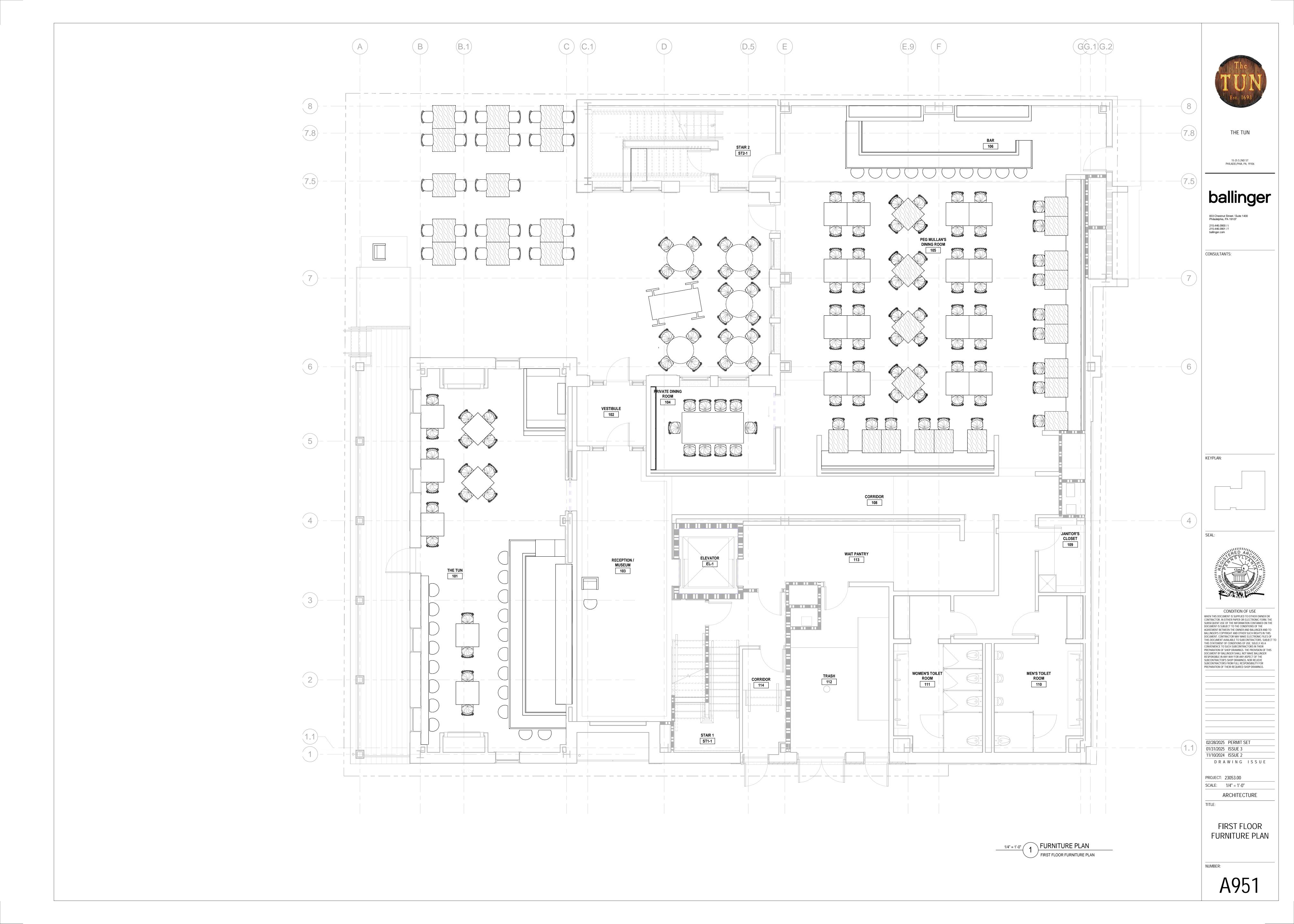


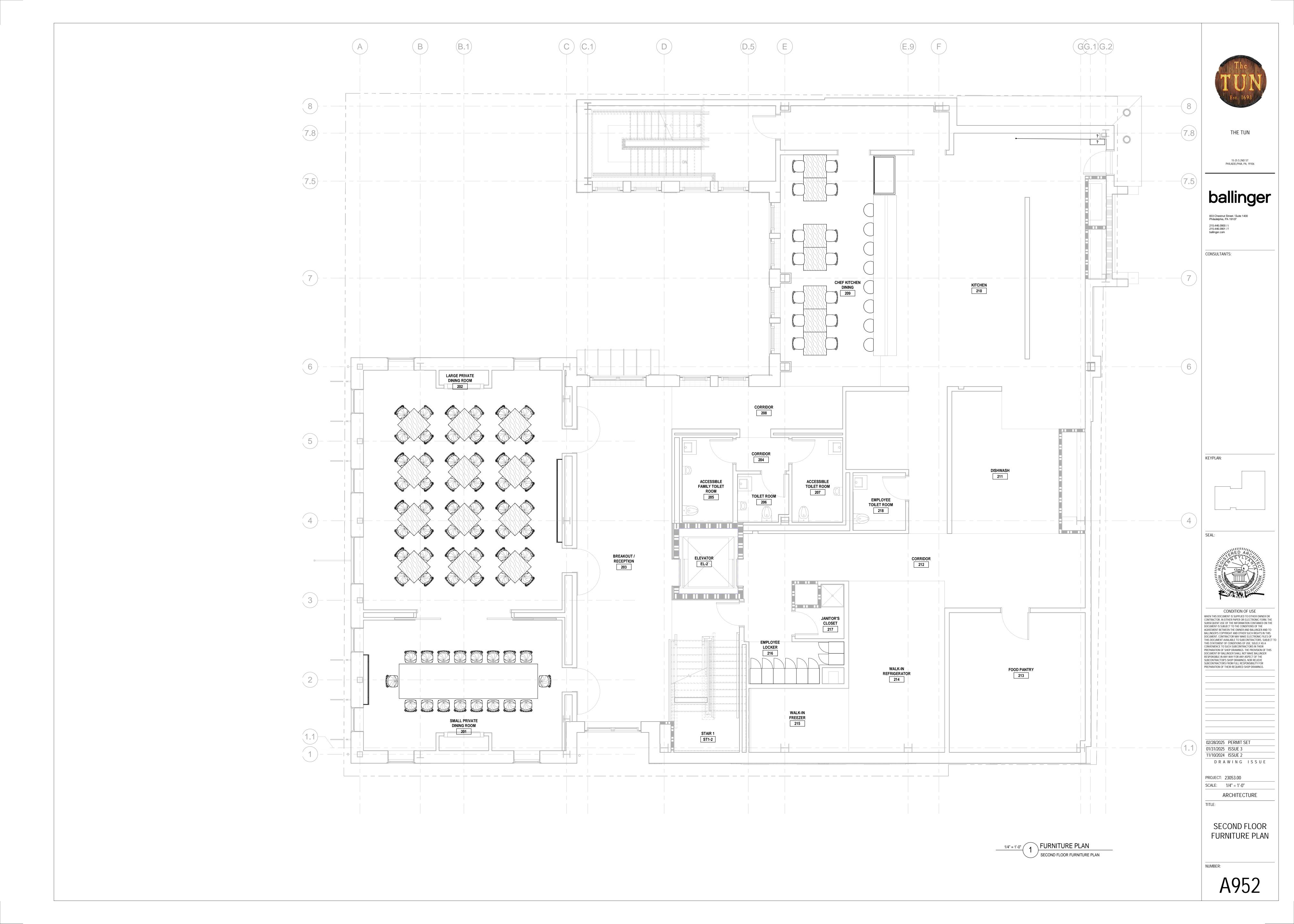


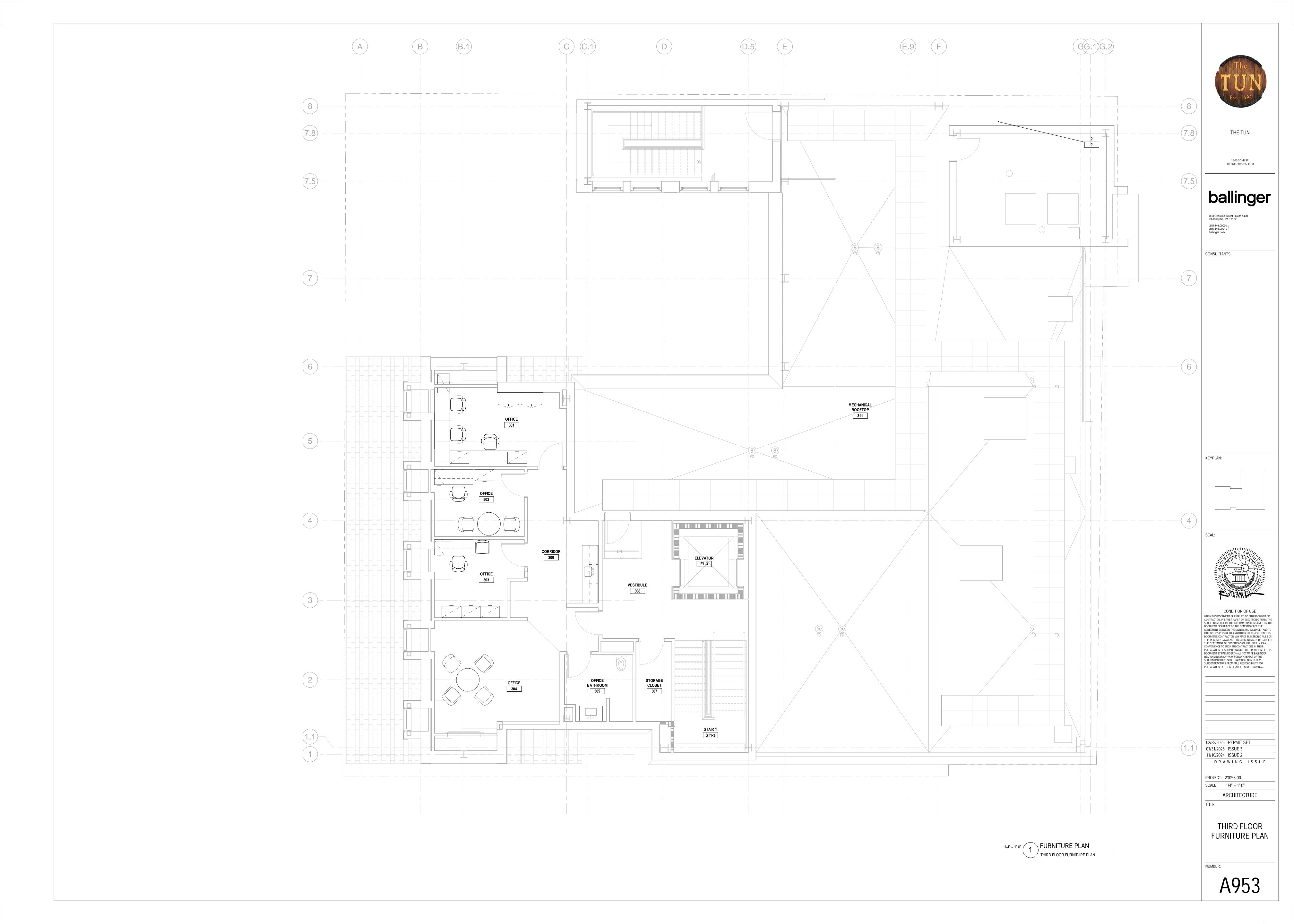




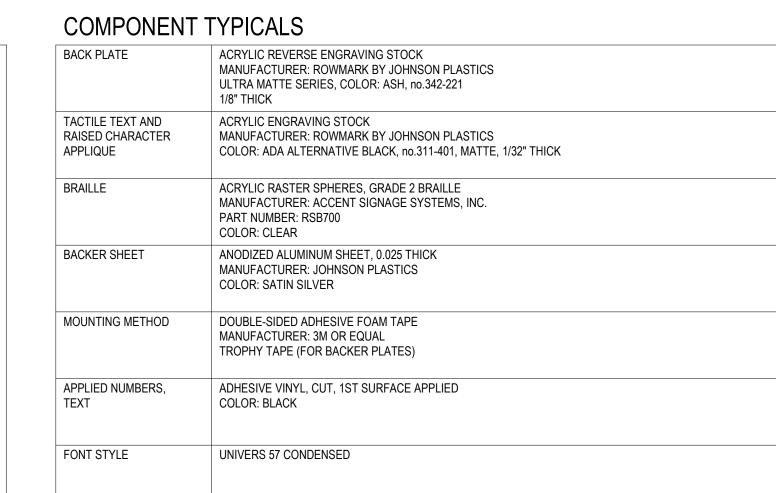








## MOUNTING HEIGHT TYPICALS TYPICAL A SIGN TYPE 1 AND 3 TYPICAL B SIGN TYPES 2, 4, AND 5 TYPICAL D SIGN TYPE 6 FINISHED CEILING FINISHED CEILING - SIGN TYPE 10 SCHEDULED SCHEDULED SIGN FINISHED FLOOR DOOR FINISHED FLOOR FINISHED FLOOR EL. 0'-0" AFF EL. 0'-0" AFF EL. 0'-0" AFF - DOOR FRAME DOOR FRAME NOTE: SIGNS ARE TO BE INSTALLED 9" FROM CENTER OF SIGN TO FACE OF FRAME ONLY IF DOOR SWINGS TOWARDS.

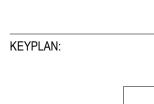




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CONSULTANTS:





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02/28/2025 PERMIT SET 01/31/2025 ISSUE 3 DRAWING ISSUE

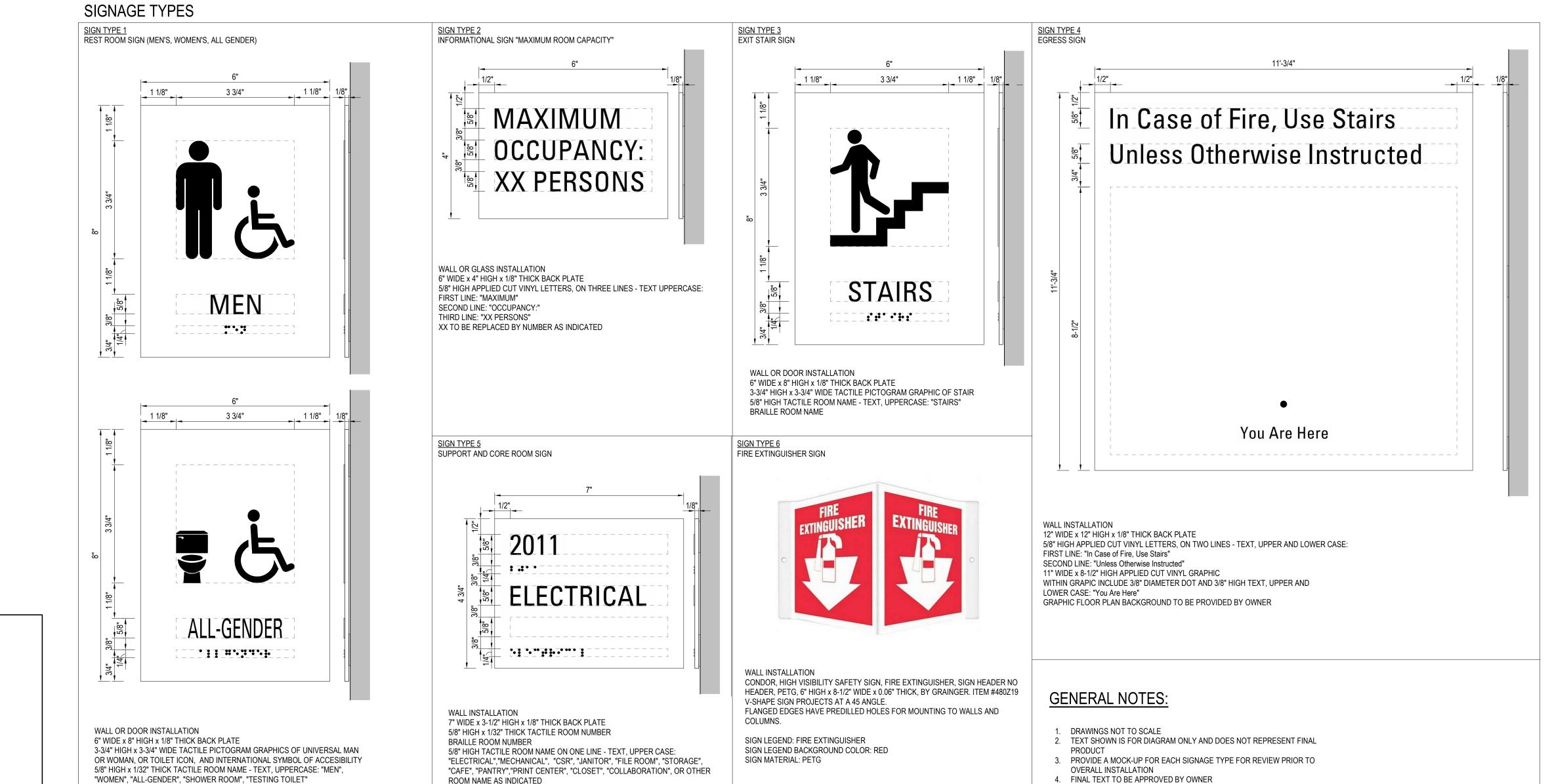
PROJECT: 23053.00 SCALE: As indicated

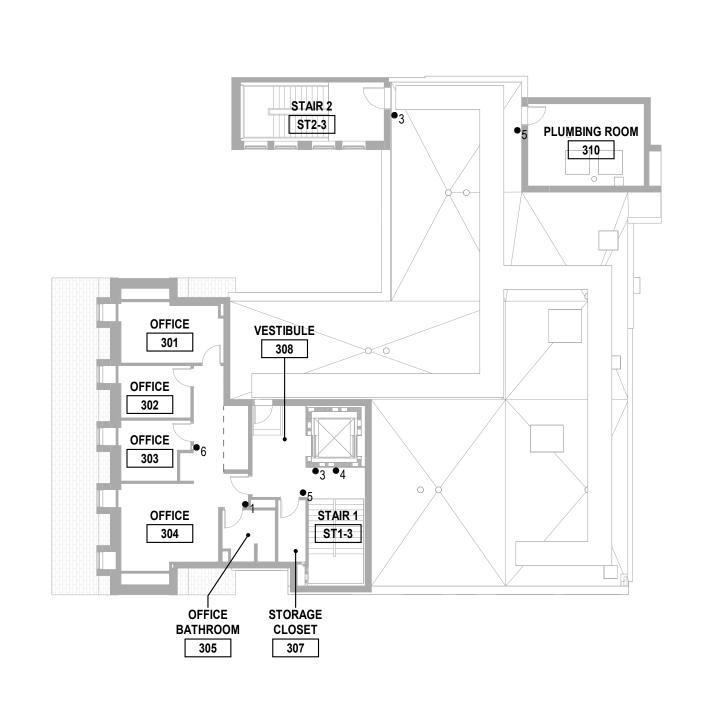
ARCHITECTURE TITLE:

> SIGNAGE PLANS AND DETAILS

NUMBER:

A970





SIGNAGE SCHEDULE / SIGNAGE TYPES

3 EXIT STAIR SIGN

4 EGRESS SIGN

SUPPORT AND CORE ROOM SIGN

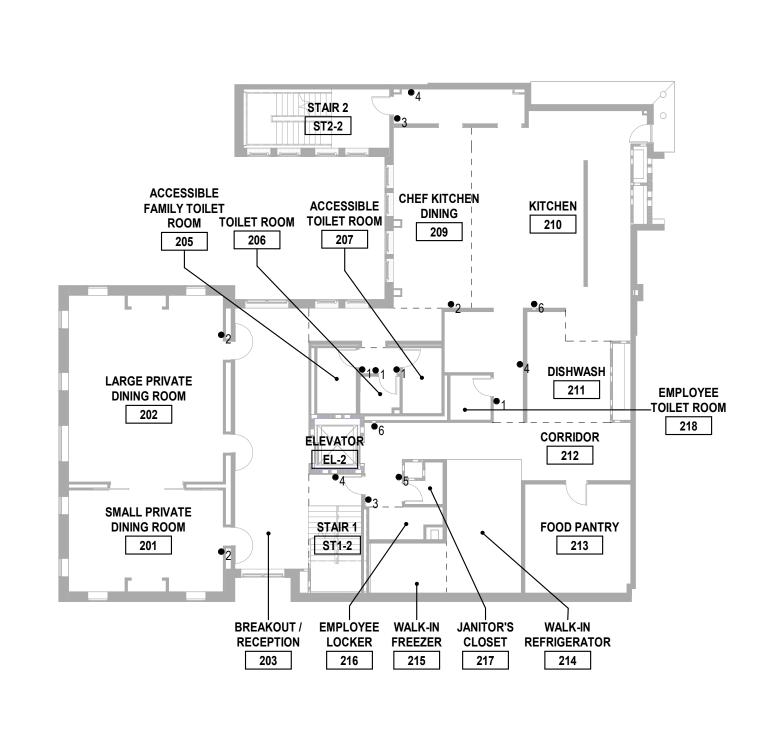
SIGNAGE PLAN

THIRD FLOOR

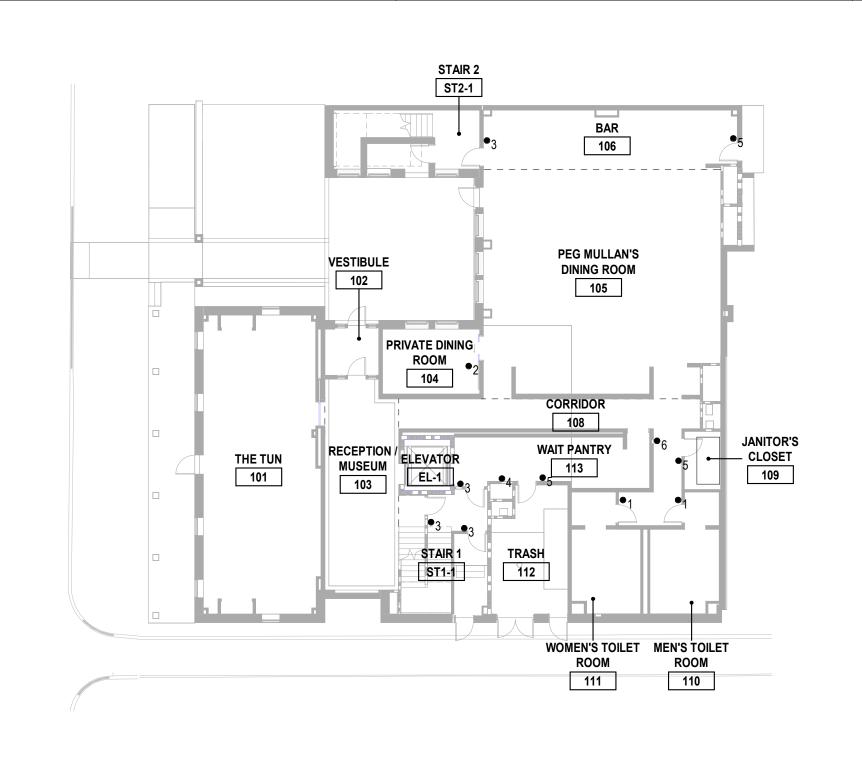
● 6 FIRE EXTINGUISHER SIGN

● 1 REST ROOM SIGN (MEN'S, WOMEN'S, ALL GENDER)

INFORMATIONAL SIGN "MAXIMUM ROOM CAPACITY"

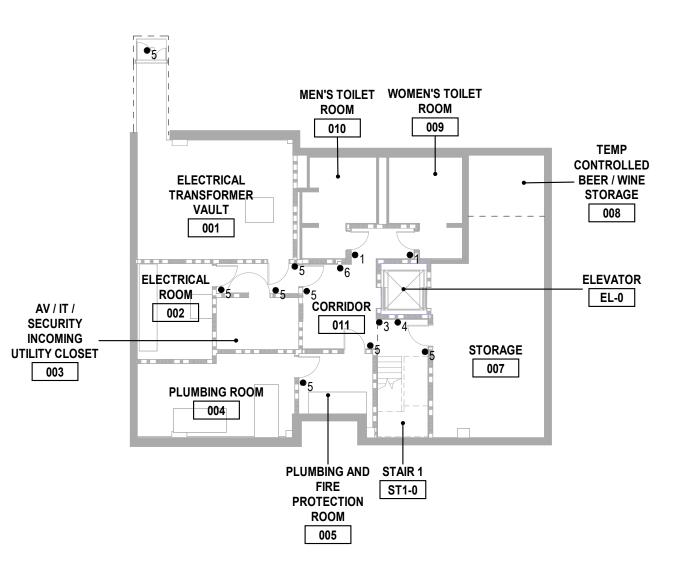


BRAILLE ROOM NAME



ROOM NAME AS INDICATED

BRAILLE ROOM NAME



SIGNAGE PLAN







# PERMIT SET

PHILADELPHIA, PENNSYLVANIA **FEBRUARY 28, 2025** 

		SHEET LIST TA	BLE	
SHEET	PAGE	SHEET TITLE	ISSUED DATE	REVISED DATE
CS0001	1	COVER SHEET	5/24/2024	1/31/2025
CS0201	2	EXISTING CONDITIONS PLAN	5/24/2024	1/31/2025
CS0501	3	DEMOLITION PLAN	5/24/2024	1/31/2025
CS1001	4	SITE PLAN	5/24/2024	1/31/2025
CS1501	5	GRADING PLAN	5/24/2024	1/31/2025
CS1701	6	UTILITY PLAN	5/24/2024	1/31/2025
CS6001	7	SITE DETAILS	5/24/2024	1/31/2025
CS6002	8	SITE DETAILS	5/24/2024	1/31/2025
CS6003	9	SITE DETAILS	7/10/2024	1/31/2025
CS8001	10	EROSION & SEDIMENT CONTROL PLAN	5/24/2024	1/31/2025
CS8501	11	EROSION & SEDIMENT CONTROL DETAILS	5/24/2024	1/31/2025
CS8502	12	EROSION & SEDIMENT CONTROL NOTES	5/25/2024	1/31/2025

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Est. 1693	

THE TUN

15-25 S SECOND ST PHILADELPHIA, PA, 19106

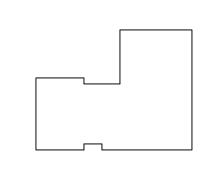
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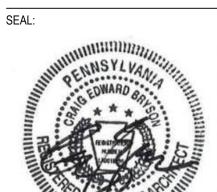
CONSULTANTS:

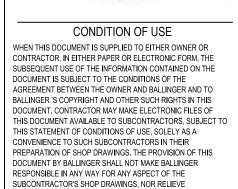


PENNONI ASSOCIATES INC.
1900 Market Street, Suite 300 Philadelphia, PA 19103

T 215.222.3000 F 215.222.3588







01/31/2025 ISSUE 3

DRAWING ISSUE

PROJECT: 23053.00

**COVER SHEET** 

**UTILITY USERS LIST** 

REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, ASSIGNED SERIAL NUMBER 20233262223, IN ACCORDANCE WITH PA ACT 287 AS OF 1974 AS AMENDED BY ACT 50 OF 2017, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA, VIA THE PENNSYLVANIA ONE CALL SYSTEM, A MINIMUM OF 3 WORKING DAYS BEFORE THE START OF EXCAVATION. (800) 242-1776

ADDRESS: 1100 3RD AVE ALTOONA, PA 16602 CONTACT: PAT SUTTON EMAIL: PS4364@ATT.COM PHONE: 814-321-6470

COMPANY: COMCAST ADDRESS: 1250 HADDONFIELD-BERLIN RD CHERRY HILL, NJ 08034 CONTACT: WYATT PARRISH EMAIL: WYATT\_PARRISH@CABLE.COMCAST.COM PHONE: 484-368-4391

COMPANY: INDEPENDENCE NATIONAL HISTORIC PARK ADDRESS: 143 S 3RD ST PHILADELPHIA, PA 19106 CONTACT: RICARDO NIEVES

EMAIL: RICARDO\_NIEVES@NPS.GOV

PHONE: 267-250-1457 COMPANY: PECO AN EXELON COMPANY C/O USIC ADDRESS: 450 S HENDERSON RD, SUITE B KING OF PRUSSIA, PA 19406 CONTACT: NIKKIA SIMPKINS

EMAIL: NIKKIASIMPKINS@USICLLC.COM PHONE: 484-681-5720 COMPANY: LUMEN FORMERLY LEVEL 3 ADDRESS: 1025 ELDORADO BLVD BROOMFIELD, CO 80021 CONTACT: LUMEN OPERATOR PERSONNEL

EMAIL: RELOCATIONS@LUMEN.COM PHONE: 877-366-8344 EXT. 3 COMPANY: PHILADELPHIA CITY WATER DEPARTMENT ADDRESS: 1101 MARKET ST JEFFERSON TOWER, 2ND FLOOR

PHILADELPHIA, PA 19111

EMAIL: ERIC.PONERT@PHILA.GOV

CONTACT: ERIC PONERT

PHONE: 215-685-6353

COMPANY: ZAYO BANDWIDTH FORMERLY PPL TELECOM LLC ADDRESS: 170 ROBBINS RD DOWNINGTOWN, PA 19335 CONTACT: JOHN HOWELLS EMAIL: JOHN.HOWELLS@ZAYO.COM PHONE: 610-476-1634

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS ADDRESS: 4501 G ST PHILADELPHIA, PA 19124 CONTACT: JAMES CUMMINGS EMAIL: JAMES.CUMMINGS@PGWORKS.COM

PHONE: 215-684-6415 COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY ADDRESS: 1234 MARKET ST, 12TH FLOOR PHILADELPHIA, PA 19107

EMAIL: TLADD@SEPTA.ORG PHONE: 215-580-8015 COMPANY: VICINITY ENERGY ADDRESS: 2600 CHRISTIAN ST PHILADELPHIA, PA 19146 CONTACT: ERIC ELZEY EMAIL: ERIC.ELZEY@VICINITYENERGY.US PHONE: 267-350-5846

COMPANY: VERIZON BUSINESS FORMERLY MCI

CONTACT: TYLER LADD

ADDRESS: 7000 WESTON PKWY CARY, NC 27513 CONTACT: VICTOR WOOD EMAIL: VICTOR.S.WOOD@VERIZON.COM PHONE: 919-414-2782

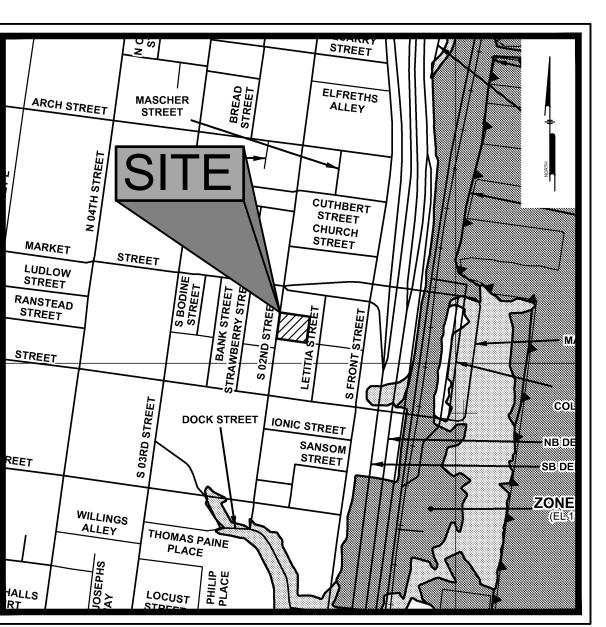
PREPARED FOR: OWNER/DEVELOPER

# TUN TAVERN LEGACY FOUNDATION, INC.

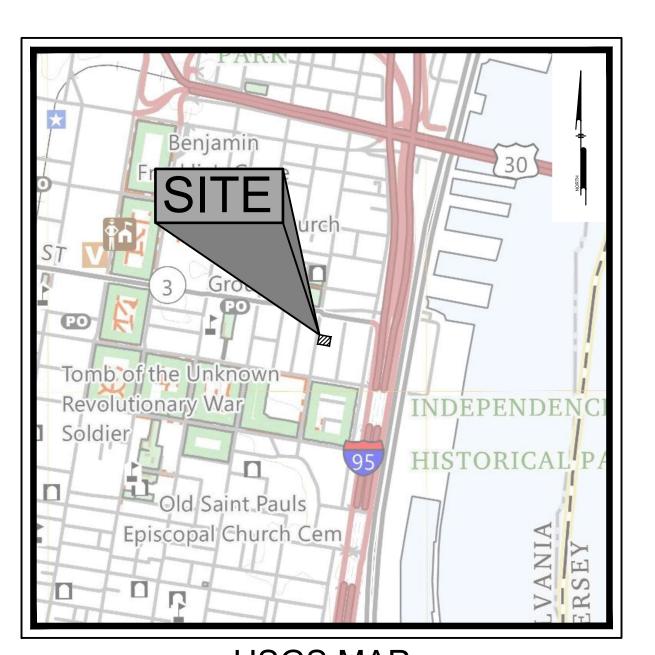
**27 N. HILL TOP DRIVE CHURCHVILLE, PENNSYLVANIA 18966** 



SOILS MAP

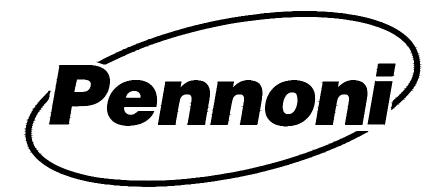


FEMA MAP Scale: 1" = 500'

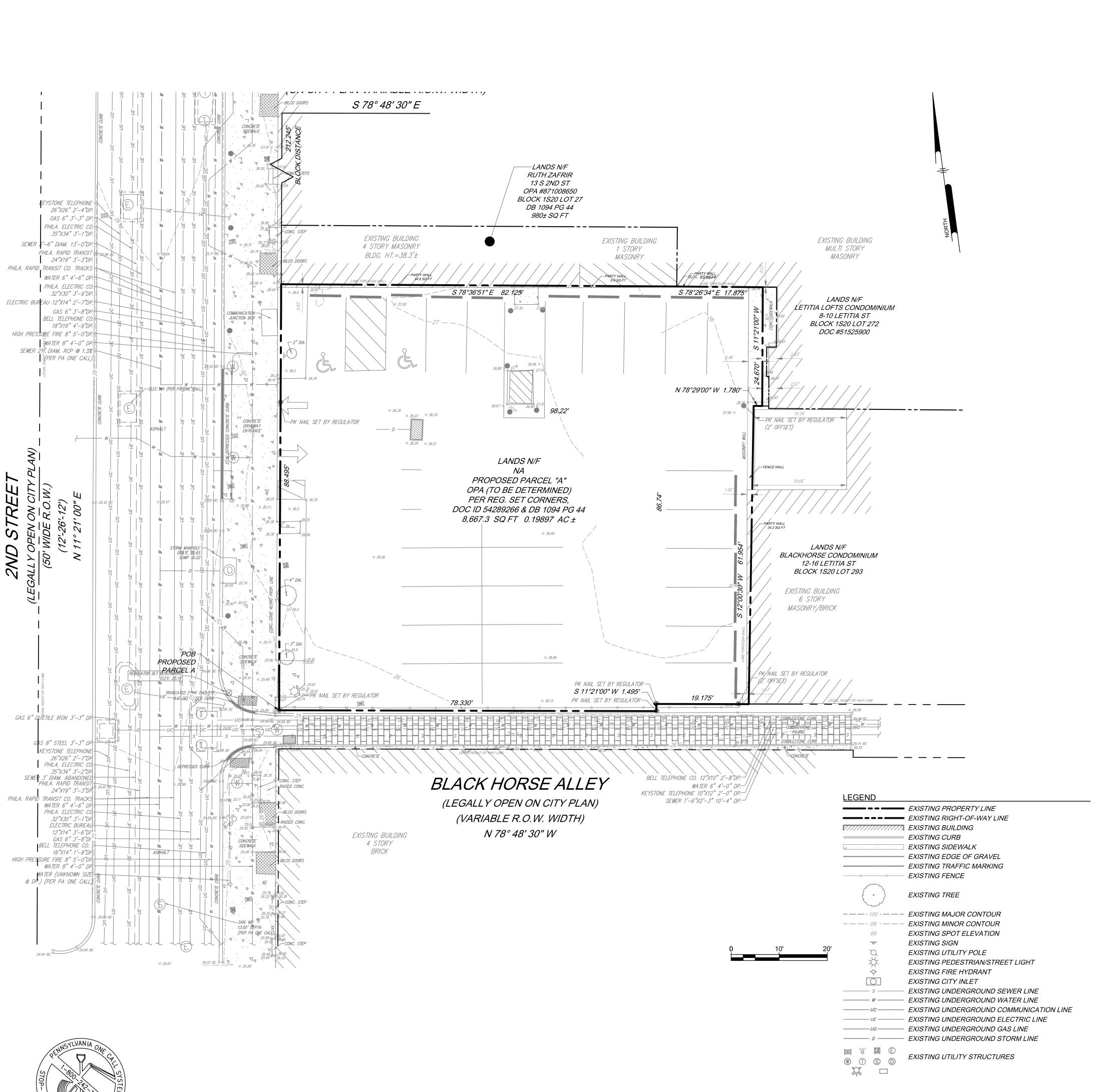


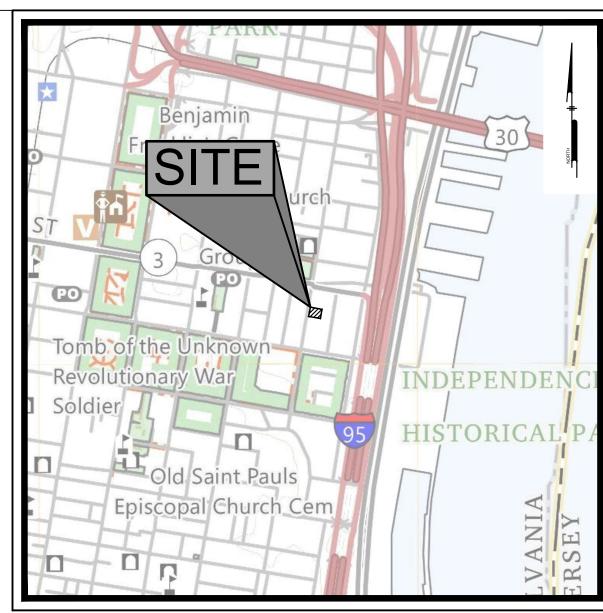
**USGS MAP** Scale: 1" = 500'

PREPARED BY: PENNONI ASSOCIATES INC.



1900 Market Street, Suite 300 Philadelphia, PA 19103 **T** 215.222.3000 **F** 215.222.3588







THE TUN

15-25 S SECOND ST PHILADELPHIA, PA, 19106

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CONSULTANTS:



PENNONI ASSOCIATES INC.
1900 Market Street, Suite 300 Philadelphia, PA 19103 T 215.222.3000 F 215.222.3588

**GENERAL NOTES:** 

- SITE ADDRESS: 15-25 S 2ND STREET PHILADELPHIA, PA 19106
- OWNER/APPLICANT:
- TUN TAVERN LEGACY FOUNDATION, INC. P.O. BOX 52649
- PHILADELPHIA, PA 19115
- PENNONI ASSOCIATES INC. 1900 MARKET STREET, SUITE 300 PHILADELPHIA, PA 19103

- LOCATION: THE PROJECT IS BOUND BY BLACK HORSE ALLEY TO THE SOUTH, 8-10 S 2ND STREET AND 12-16 S 2ND STREET TO THE EAST, 13 S 2ND STREET TO THE NORTH, AND S 2ND STREET TO THE WEST. PREVIOUS OPA ACCOUNT FOR 15-17 S 2ND ST: 885765020
- PREVIOUS OPA ACCOUNT FOR 19-25 S 2ND ST: 885765080 LOT CONSOLIDATION FOR 15-17 S 2ND ST AND 19-25 S 2ND ST, PROPOSED PARCEL "A", WAS APPROVED AND STAMPED BY CITY REGULATOR ON 06/07/2024. OPA TO BE DETERMINED.
- SITE BENCHMARK NOTE: TEMPORARY SET BENCHMARK 1001 ELEVATION = 28.15' LOCATION: WITHIN THE SIDEWALK AT THE INTERSECTION OF THE SOUTH SIDE OF MARKET STREET AND THE EAST
- SIDE OF S 2ND STREET. 1. THE INTENT OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF A RESTAURANT WITH ASSOCIATED PROPOSED UTILITIES AND OTHER PROPOSED IMPROVEMENTS SUCH AS AN OUTDOOR PLAZA, A PORCH, AND ASSOCIATED
- . THE PROJECT IS LOCATED ENTIRELY WITHIN THE COMMUNITY COMMERCIAL MIXED USE (CMX-3) ZONING DISTRICT. 3. ACCORDING TO THE USDA NRCS CUSTOM SOIL RESOURCE REPORT FOR PHILADELPHIA COUNTY, PENNSYLVANIA, LANDS LOCATED WITHIN THE PROJECT BOUNDARY ARE CLASSIFIED AS URBAN LAND (Ub). 4. THE SITE WILL BE SERVICED BY A PUBLIC WATER SUPPLY AND PUBLIC SEWER THROUGH THE PHILADELPHIA
- WATER DEPARTMENT. 5. THE PWD TRACKING NUMBER FOR THIS PROJECT IS FY24-TUNT-7702-01. 6. THE PSD TRACKING NUMBERS FOR THIS PROJECT ARE SR-2024-023050 AND SR-2024-024711.
- THE L&I ZONING TRACKING NUMBER FOR THIS PROJECT IS ZP-2024-002872. 8. <u>UTILITY NOTES:</u>
  8.1. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM
- EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE 8.2. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS
- NOT GUARANTEED. 8.3. IN ACCORDANCE WITH PA ACT 287 AS OF 1974 AS AMENDED BY ACT 50 OF 2017, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776).
- 8.4. THE CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
- 8.5. IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER
- FOR INSTRUCTION BEFORE PROCEEDING WITH WORK. 9. ELEVATIONS ARE BASED ON PHILADELPHIA CITY DATUM. 10. ALL BOUNDARY LINES ARE DRAWN IN UNITED STATES MEASURE (US) AND DIMENSIONED IN DISTRICT MEASURE (DS). ALL PROPOSED SITE AND BUILDING DIMENSIONS ARE SHOWN IN UNITED STATES (US) MEASURE UNLESS
- NOTED PHILADELPHIA DISTRICT STANDARD MEASURE (DS). 11. REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTÉM, ASSIGNED SERIAL NUMBER 20233262223 IN ACCORDANCE WITH PA ACT 287 AS OF 1974, AS AMENDED, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". (800-242-1776)
- 1. A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES INC. IN JULY OF 2023. BOUNDARY INFORMATION WAS TAKEN THROUGH AN EXISTING CONDITIONS SURVEY OF THE SITE, PERFORMED BY PENNONI ASSOCIATES INC. DATED DECEMBER 5, 2023, ENTITLED "ALTA/NSPS LAND TITLE SURVEY PLAN (V-0301)."
- 2. LOT CONSOLIDATION FOR 15 S 2ND ST, 17 S 2ND ST, AND 19-25 S 2ND ST INTO ONE LOT, PROPOSED PREMISES 15-25 S 2ND ST, WAS STAMPED AND APPROVED ON JUNE 7, 2024. PLAN ENTITLED "LOT CONSOLIDATION PLAN (V 0802)" BY PENNONI ASSOCIATES INC.

MANAGEMENT AGENCY.

1. BY GRAPHIC PLOTTING ONLY, BASED UPON THE FLOOD INSURANCE RATE MAP, PANEL NO. 184 OF 230 COMMUNITY MAP NO. 4207570184H, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 18, 2015, THE SITE IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY

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REPARATION OF THEIR REQUIRED SHOP DRAWINGS

02/28/2025 PERMIT SET 01/31/2025 ISSUE 3 11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00 SCALE: 1"=10'

CIVIL TITLE:

> **EXISTING** CONDITIONS PLAN

CALL BEFORE YOU DIG

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S): 20233262223





THE TUN

15-25 S SECOND ST PHILADELPHIA, PA, 19106

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CONSULTANTS:



PENNONI ASSOCIATES INC Philadelphia, PA 19103 T 215.222.3000 F 215.222.3588

OWNER/APPLICANT:

TUN TAVERN LEGACY FOUNDATION, INC. P.O. BOX 52649 PHILADELPHIA, PA 19115

PENNONI ASSOCIATES INC. 1900 MARKET STREET, SUITE 300

## PHILADELPHIA, PA 19103

**GENERAL NOTES:** 

15-25 S 2ND STREET

PHILADELPHIA, PA 19106

SITE ADDRESS:

LOCATION: THE PROJECT IS BOUND BY BLACK HORSE ALLEY TO THE SOUTH, 8-10 S 2ND STREET AND 12-16 S 2ND STREET TO THE EAST, 13 S 2ND STREET TO THE NORTH, AND S 2ND STREET TO THE WEST.

PREVIOUS OPA ACCOUNT FOR 15-17 S 2ND ST: 885765020 PREVIOUS OPA ACCOUNT FOR 19-25 S 2ND ST: 885765080 LOT CONSOLIDATION FOR 15-17 S 2ND ST AND 19-25 S 2ND ST, PROPOSED PARCEL "A", WAS APPROVED AND

STAMPED BY CITY REGULATOR ON 06/07/2024. OPA TO BE DETERMINED. SITE BENCHMARK NOTE: TEMPORARY SET BENCHMARK 1001

SIDE OF S 2ND STREET 1. THE INTENT OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF A RESTAURANT WITH ASSOCIATED PROPOSED

LOCATION: WITHIN THE SIDEWALK AT THE INTERSECTION OF THE SOUTH SIDE OF MARKET STREET AND THE EAST

UTILITIES AND OTHER PROPOSED IMPROVEMENTS SUCH AS AN OUTDOOR PLAZA, A PORCH, AND ASSOCIATED THE PROJECT IS LOCATED ENTIRELY WITHIN THE COMMUNITY COMMERCIAL MIXED USE (CMX-3) ZONING DISTRICT. ACCORDING TO THE USDA NRCS CUSTOM SOIL RESOURCE REPORT FOR PHILADELPHIA COUNTY, PENNSYLVANIA, LANDS LOCATED WITHIN THE PROJECT BOUNDARY ARE CLASSIFIED AS URBAN LAND (Ub)

4. THE SITE WILL BE SERVICED BY A PUBLIC WATER SUPPLY AND PUBLIC SEWER THROUGH THE PHILADELPHIA

WATER DEPARTMENT. 5. THE PWD TRACKING NUMBER FOR THIS PROJECT IS FY24-TUNT-7702-01.

THE PSD TRACKING NUMBERS FOR THIS PROJECT ARE SR-2024-023050 AND SR-2024-024711. THE L&I ZONING TRACKING NUMBER FOR THIS PROJECT IS ZP-2024-002872.

8. <u>UTILITY NOTES:</u>
8.1. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE

8.2. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.

8.3. IN ACCORDANCE WITH PA ACT 287 AS OF 1974 AS AMENDED BY ACT 50 OF 2017, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776).

THE CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK. 8.5. IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER

FOR INSTRUCTION BEFORE PROCEEDING WITH WORK. 9. ELEVATIONS ARE BASED ON PHILADELPHIA CITY DATUM. 10. ALL BOUNDARY LINES ARE DRAWN IN UNITED STATES MEASURE (US) AND DIMENSIONED IN DISTRICT MEASURE

(DS). ALL PROPOSED SITE AND BUILDING DIMENSIONS ARE SHOWN IN UNITED STATES (US) MEASURE UNLESS NOTED PHILADELPHIA DISTRICT STANDARD MEASURE (DS).

11. REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, ASSIGNED SERIAL NUMBER 20233262223 IN ACCORDANCE WITH PA ACT 287 AS OF 1974, AS AMENDED, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". (800-242-1776)

REFERENCE:

EXISTING CURB/FENCE/WALL TO BE REMOVED

— — PROPOSED SAWCUT

X EXISTING TREE/STRUCTURE TO BE REMOVED

1. A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES INC. IN JULY OF 2023. BOUNDARY INFORMATION WAS TAKEN THROUGH AN EXISTING CONDITIONS SURVEY OF THE SITE, PERFORMED BY PENNONI ASSOCIATES INC. DATED DECEMBER 5, 2023, ENTITLED "ALTA/NSPS LAND TITLE SURVEY PLAN (V-0301)." LOT CONSOLIDATION FOR 15 S 2ND ST, 17 S 2ND ST, AND 19-25 S 2ND ST INTO ONE LOT, PROPOSED PREMISES 15-25 S 2ND ST, WAS STAMPED AND APPROVED ON JUNE 7, 2024. PLAN ENTITLED "LOT CONSOLIDATION PLAN (V 0802)" BY PENNONI ASSOCIATES INC.

1. BY GRAPHIC PLOTTING ONLY, BASED UPON THE FLOOD INSURANCE RATE MAP, PANEL NO. 184 OF 230 COMMUNITY MAP NO. 4207570184H, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 18, 2015, THE SITE IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

2. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

## **DEMOLITION NOTES:**

- . DEMOLITION SHALL BE FULLY COORDINATED WITH THE CONSTRUCTION PHASING PLANS. 2. PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 OF 1974, AS AMENDED BY ACT 121 (OCTOBER 9.2008). THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST
- THREE (3) WORKING DAYS PRIOR TO EXCAVATION. 3. DEMOLITION WILL BEGIN UPON RECEIPT OF NECESSARY APPROVALS AND PERMITS FROM APPLICABLE
- OVERNMENTAL AGENCIES. WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES. 4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE AREAS FOR BOTH VEHICULAR AND PEDESTRIAN TRAFFIC BE SAFE, CLEAN, AND ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM (1-800-242-1776) PER ACT 287, AS AMENDED, NOT LESS THAN THREE DAYS NOR MORE THAN TEN WORKING DAYS BEFORE COMMENCING WITH DEMOLITION. 6. CONTRACTOR IS RESPONSIBLE FOR UTILIZING APPLICABLE EROSION CONTROL MEASURES PRIOR TO AND DURING DEMOLITION. THE EROSION AND SEDIMENTATION PLANS ARE TO BE SUBMITTED TO THE PHILADELPHIA WATER
- DEPARTMENT. REFER TO CS8000 SERIES FOR THIS PROJECT FOR EROSION AND SEDIMENT CONTROL PROCEDURES. THE CONTRACTOR SHALL ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS THAT COULD ADVERSELY IMPACT WATER QUALITY, DEMOLITION WASTES INCLUDE, BUT ARE NOT LIMITED TO. EXCESS SOIL MATERIALS, BUILDING MATERIAL, CONCRETE WASTE WATER, SANITARY WASTES, ETC. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSE KEEPING, MATERIAL MANAGEMENT AND LITTER CONTROL.
- DISCHARGES RESULTING FROM DEWATERING OPERATIONS TO A SUITABLE FILTERING DEVICE IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLANS. 8. SAFETY DEVICES (I.E. BARRICADES, WARNING TAPE, CHAIN LINK FENCING, ETC.) SHALL BE USED DURING DEMOLITION PROCEDURE TO INSURE THE SAFETY OF THE SURROUNDING PUBLIC. REFER TO SITE LOGISTICS PLAN FOR ADDITIONAL INFORMATION REGARDING LANE CLOSURES, AND CONSTRUCTION ENTRANCES. THE
- CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF THE SITE LOGISTICS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING, PREPARING, AND OBTAINING PERMITS RELATED TO STREET AND SIDEWALK CLOSURES RELATED TO CONSTRUCTION COMPONENTS OF THIS PROJECT. 9. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY DEBRIS THAT MAY FALL ON THE ROADWAY AND/OR MAY BE TRACKED ONTO THE ROADWAY.

WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL. DIRECT PUMP

- 10. STRUCTURES, PAVEMENT, SUBBASE AND MISCELLANEOUS ITEMS SHALL BE REMOVED IN THEIR ENTIRETY. OPEN EXCAVATION AS A RESULT OF DEMOLITION WORK (I.E. FOUNDATIONS, BASEMENTS, TRENCHES, MANHOLES, INLETS, CLEANOUTS AND STORMWATER PIPING) SHALL BE BACKFILLED TO SURROUNDING GRADE LEVEL IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AFTER DEMOLITION IS COMPLETE. 11. SIGNS, POSTS, FIRE HYDRANTS, VAULTS, VALVES, ETC. IN THE WALKWAYS AND STREETS ARE TO BE PROTECTED
- AND MAINTAINED IN OPERABLE CONDITION THROUGH OUT DEMOLITION AND CONSTRUCTION. PEDESTRIAN STREET LIGHTS, SIGNAGE, AND PARKING METERS SHALL BE REMOVED AND SALVAGED FOR REUSE / INSTALLATION BY CONTRACTOR (IF NECESSARY) AND COORDINATED WITH THE APPROPRIATE AUTHORITIES. 12. STREET LIGHT CONDUITS AND U/G WIRING LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY WILL NOT BE MARKED BY PA ONE-CALL AND A SEPARATE CONTACT MUST BE MADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY
- WORK TO RELOCATE ANY STREET LIGHTING EQUIPMENT. 13. ALL LINES TO BE ABANDONED SHALL BE SEALED WITH A MINIMUM OF 12-INCH DEEP MASONRY PLUG UNLESS OTHERWISE NOTED OR REQUIRED BY LOCAL UTILITY REQUIREMENTS. 14. CONTRACTOR SHALL DIG TEST PITS AT UTILITY CROSSINGS TO VERIFY THE ELEVATION OF THE EXISTING UTILITY MAINS A MINIMUM OF TWO WEEKS PRIOR TO COMMENCEMENT OF ANY WORK. THE ENGINEER SHALL BE PROVIDED
- WITH SURVEYED LOCATIONS AND ELEVATIONS AT PROPOSED TEST PIT. REFER TO PLAN FOR SPECIFIC AREAS OF CONCERN, ALTHOUGH CROSSINGS ARE THE CONTRACTOR'S RESPONSIBILITY. 15. UTILITIES TO BE CAPPED AND REMOVED ARE NOT SHOWN. CONTRACTOR TO CAP AND REMOVE EXISTING UTILITIES WHICH INTERFERE WITH PROPOSED SITE CONSTRUCTION. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM
- UTILITY OWNERS PRIOR TO REMOVAL OF FACILITIES. 16. CONTRACTOR TO PROTECT AND SUPPORT EXISTING UTILITY STRUCTURES WITHIN THE RIGHT-OF-WAY DURING DEMOLITION AND CONSTRUCTION
- 17. EXISTING UTILITIES AND STRUCTURES ARE TO BE PROTECTED AND MAINTAINED UNLESS OTHERWISE NOTED. 18. CONTRACTOR ONLY TO REMOVE ABANDONED UTILITIES ENCOUNTERED DURING EXCAVATION. UTILITIES NOT ENCOUNTERED MAY REMAIN IN PLACE, AND UNAFFECTED, UNLESS NOTED OTHERWISE ON THE PLANS.
- 19. NO UNSUITABLE MATERIAL IS TO BE USED ON-SITE. REMOVE ANY SUBGRADE THAT CANNOT BE PROPERLY COMPACTED AND THAT IS UNSUITABLE MATERIAL. UNDERCUTTING AND/OR SUBGRADE STABILIZATION MAY BE 20. MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER. 21. REMOVAL OF ANY FIRE HYDRANT SHALL BE REVIEWED AND APPROVED BY THE LOCAL FIRE OFFICIALS.
- CONTRACTOR TO COORDINATE HYDRANT REMOVAL AND APPROVAL WITH THE MUNICIPALITY/AUTHORITY AND UTILITY COMPANY. CONTRACTOR TO PROVIDE NEW/TEMPORARY AND OR PERMANENT RELOCATION OF HYDRANTS PER MUNICIPALITY/AUTHORITY REQUIREMENTS. 22. CONTRACTOR WILL BE RESPONSIBLE TO REMOVE ANY UNDERGROUND FOUNDATION OR ABANDONED UTILITY REQUIRED TO FACILITATE THE PROPOSED IMPROVEMENTS. 23. UTILITY REMOVALS/ABANDONMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING ADDITIONAL SPECIFICATIONS:
- 23.1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS: HOWEVER. THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- 23.2. CONTRACTOR TO NOTIFY APPROPRIATE UTILITY COMPANY PRIOR TO INTERRUPTION, RELOCATION, OR REMOVAL/ABANDONMENT OF SUCH UTILITY. 23.3. REMOVAL/ABANDONMENT OF PRIVATE UTILITY COMPANY SERVICES TO BE IN ACCORDANCE WITH EACH RESPECTIVE UTILITY COMPANY STANDARD SPECIFICATIONS OR THE FOLLOWING PROCEDURE, WHICH EVER IS
- 23.4. PIPES TO BE ABANDON SHALL BE EITHER EXCAVATED, REMOVED AND THE TRENCH BACKFILLED WITH COURSE AGGREGATE MATERIAL OR ALTERNATE MATERIAL APPROVED BY THE ENVIRONMENTAL ENGINEER OF RECORD OR THE PIPE SHALL BE COMPLETED FILLED WITH FLOWABLE FILL/SAND AND THE ENDS SEALED WITH WATERTIGHT GROUT. 23.5. STRUCTURES TO BE ABANDONED IN-PLACE SHALL HAVE AT MINIMUM THE FIRST 5 FEET BELOW PROPOSED
- GRADE REMOVED. THE REMAINING STRUCTURE SHALL BE COMPLETELY FILLED WITH FLOWABLE FILL, CAPPED WITH A WATERTIGHT CONCRETE COVER AND SEALED WITH WATERTIGHT GROUT. WHERE SITE GRADING NECESSITATES STRUCTURE REMOVAL, THE ASSOCIATED PIPES SHALL BE FILLED WITH FLOWABLE FILL AND THE ENDS SEALED WITH WATERTIGHT GROUT. THE CONTRACTOR SHALL FIELD VERIFY THE FLOW PATH OF ALL PIPES TO ENSURE THAT PLUGGING PIPES WILL NOT ADVERSELY AFFECT DRAINAGE ON ANY ADJACENT ROADWAY OR PROPERTY
- 24. MATERIALS TO BE REMOVED SHALL BE DISPOSED OF AT AN APPROVED WASTE DISPOSAL SITE, OR SHALL BE RECYCLED IN ACCORDANCE WITH PROJECT REQUIREMENTS. 25. REMOVAL AND DISPOSAL OF BITUMINOUS MATERIAL SHALL BE IN COMPLETED IN ACCORDANCE WITH DETAILS AND
- REGULATIONS OF THE MUNICIPALITY, PADEP, AND PENNDOT, AS APPLICABLE AND IS SUBJECT TO INSPECTION AND APPROVAL AS APPROPRIATE. 26. CONTRACTOR TO COLLECT AND REMOVE ALL TRASH/ DEBRIS ON SITE.

CONDITION OF USE WHEN THIS DOCUMENT IS SUPPLIED TO EITHER OWNER OR CONTRACTOR, IN EITHER PAPER OR ELECTRONIC FORM, THE JBSEQUENT USE OF THE INFORMATION CONTAINED ON THE OCUMENT IS SUBJECT TO THE CONDITIONS OF THE GREEMENT BETWEEN THE OWNER AND BALLINGER AND TO

BALLINGER 'S COPYRIGHT AND OTHER SUCH RIGHTS IN THIS HIS DOCUMENT AVAILABLE TO SUBCONTRACTORS, SUBJECT TO HIS STATEMENT OF CONDITIONS OF USE, SOLELY AS A REPARATION OF SHOP DRAWINGS. THE PROVISION OF THIS DOCUMENT BY BALLINGER SHALL NOT MAKE BALLINGER ESPONSIBLE IN ANY WAY FOR ANY ASPECT OF THE SUBCONTRACTOR'S SHOP DRAWINGS NOR RELIEVE

02/28/2025 PERMIT SET 01/31/2025 ISSUE 3 11/10/2024 ISSUE 2

DRAWING ISSUE PROJECT: 23053.00

SCALE: 1"=10' CIVIL TITLE:

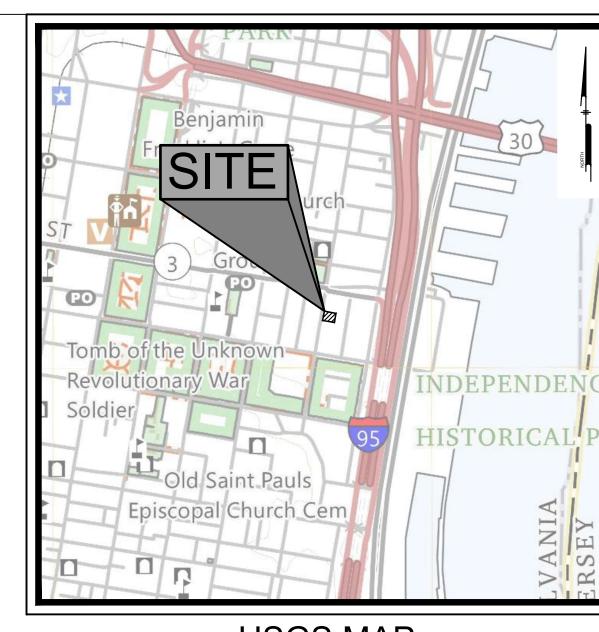
**DEMOLITION** 

**CALL BEFORE YOU DIG** BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS

NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S): 20233262223

BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.

SERIAL NUMBER(S): 20233262223



**USGS MAP** Scale: 1" = 500' DELAWARE DIRECT WATERSHED



THE TUN

15-25 S SECOND ST PHILADELPHIA, PA, 19106

215.446.0900 / t 215.446.0901 / f ballinger.com

CONSULTANTS:



PENNONI ASSOCIATES INC Philadelphia, PA 19103 T 215.222.3000 F 215.222.3588

## **GENERAL CONSTRUCTION AND GRADING NOTES:**

**GENERAL NOTES** 

15-25 S 2ND STREET

PHILADELPHIA, PA 19106

PHILADELPHIA, PA 19115

PENNONI ASSOCIATES INC.

PHILADELPHIA, PA 19103

1900 MARKET STREET, SUITE 300

TEMPORARY SET BENCHMARK 1001

TUN TAVERN LEGACY FOUNDATION, INC.

LOCATION: THE PROJECT IS BOUND BY BLACK HORSE ALLEY TO THE SOUTH, 8-10 S 2ND STREET AND 12-16 S 2ND

1. THE INTENT OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF A RESTAURANT WITH ASSOCIATED PROPOSED

4. THE SITE WILL BE SERVICED BY A PUBLIC WATER SUPPLY AND PUBLIC SEWER THROUGH THE PHILADELPHIA

8.3. IN ACCORDANCE WITH PA ACT 287 AS OF 1974 AS AMENDED BY ACT 50 OF 2017, THE CONTRACTOR SHALL

8.4. THE CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND

11. REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, ASSIGNED SERIAL NUMBER 20233262223 IN

1. A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES INC. IN JULY OF 2023. BOUNDARY

ASSOCIATES INC. DATED DECEMBER 5, 2023, ENTITLED "ALTA/NSPS LAND TITLE SURVEY PLAN (V-0301)."

ACCORDANCE WITH PA ACT 287 AS OF 1974, AS AMENDED, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION

INFORMATION WAS TAKEN THROUGH AN EXISTING CONDITIONS SURVEY OF THE SITE, PERFORMED BY PENNONI

1. BY GRAPHIC PLOTTING ONLY, BASED UPON THE FLOOD INSURANCE RATE MAP, PANEL NO. 184 OF 230 COMMUNITY

NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE

NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY

2. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY

3. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS

REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.

4. ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE.

DAMAGE WORK WITHOUT CHARGE TO THE OWNER.

12. UTILITIES ENTER THE PREMISES FROM SURROUNDING STREETS.

SUBJECT TO FINAL DESIGN AND APPROVAL BY THE CITY OF PHILADELPHIA.

ANIMALS, ANIMAL CARCASSES OR SKINS, OR SIMILAR ITEMS ARE PERMITTED ON SITE.

SUBSURFACE DETENTION AND INFILTRATION BASINS.

THE CITY OF PHILADELPHIA WATER SYSTEM.

ARE TO REMAIN UNOBSTRUCTED.

DEPARTMENT SPECIFICATIONS.

AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

MAP NO. 4207570184H, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 18, 2015, THE SITE IS LOCATED IN ZONE X,

1. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES. ALL NECESSARY LICENSES AND

PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE

5. SIDEWALK CONSTRUCTION SHOWN IN THESE PLANS SHALL MEET ALL REQUIREMENTS OF THE AMERICANS WITH

DISABILITIES ACT OF JULY 1991 AS AMENDED, TITLE II, TITLE III, AND ANY STATE, COUNTY, LOCAL OR OTHER

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PROTECTION OF WORK AREAS DURING CONSTRUCTION.

SIDEWALK, CURB, OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND

CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER, CONTRACTOR SHALL REPAIR OR REPLACE ALL

PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING,

8. DAMAGE TO EXISTING PAVING, SIDEWALK, CURB, OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING

9. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS PRIOR TO START OF

13.  $\,$  SUBSURFACE DETENTION IS PROPOSED ONSITE. THE IMPERVIOUS ROOF WILL BE CONNECTED DIRECTLY TO. AND

15. POTABLE AND FIRE WATER SYSTEMS AND SANITARY AND DRAINAGE SEWER SYSTEMS ARE TO BE CONNECTED TO

16. PROPOSED UTILITY SERVICE AND CONNECTIONS (SANITARY SEWER, STORM SEWER, AND WATER SERVICE) ARE

17. NO STORAGE OF TRASH, GARBAGE, REFUSE, EXPLOSIVE OR FLAMMABLE MATERIALS, HAZARDOUS SUBSTANCES,

19. CONTRACTOR TO MAINTAIN FIRE DEPARTMENT ACCESS TO THE SITE AT ALL TIMES AND EXISTING FIRE HYDRANTS

MANAGED BY THE BASINS. AT GRADE STORMWATER RUNOFF WILL BE CONVEYED TO AND MANAGED BY THE

10. CURB RAMPS TO BE CONSTRUCTED IN ACCORDANCE TO PENNDOT RC-67M AND PHILADELPHIA STREETS

11. PROPOSED UTILITIES ARE SUBJECT TO FINAL DESIGN AND APPROVAL BY THE LOCAL UTILITY COMPANIES.

14. THE PROPOSED STORMWATER DESIGN SHALL COMPLY WITH THE CITY OF PHILADELPHIA STORMWATER

18. CONTRACTOR TO REFER TO ARCHITECTURAL AND LANDSCAPE PLANS FOR ADDITIONAL DESIGN DETAILS.

LANDS LOCATED WITHIN THE PROJECT BOUNDARY ARE CLASSIFIED AS URBAN LAND (Ub)

E. THE PSD TRACKING NUMBERS FOR THIS PROJECT ARE SR-2024-023050 AND SR-2024-024711.

UTILITIES AND OTHER PROPOSED IMPROVEMENTS SUCH AS AN OUTDOOR PLAZA, A PORCH, AND ASSOCIATED

THE PROJECT IS LOCATED ENTIRELY WITHIN THE COMMUNITY COMMERCIAL MIXED USE (CMX-3) ZONING DISTRICT.

EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE

NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776).

ACCORDING TO THE USDA NRCS CUSTOM SOIL RESOURCE REPORT FOR PHILADELPHIA COUNTY, PENNSYLVANIA,

LOT CONSOLIDATION FOR 15-17 S 2ND ST AND 19-25 S 2ND ST, PROPOSED PARCEL "A", WAS APPROVED AND

LOCATION: WITHIN THE SIDEWALK AT THE INTERSECTION OF THE SOUTH SIDE OF MARKET STREET AND THE EAST

STREET TO THE EAST, 13 S 2ND STREET TO THE NORTH, AND S 2ND STREET TO THE WEST.

STAMPED BY CITY REGULATOR ON 06/07/2024. OPA TO BE DETERMINED.

THE PWD TRACKING NUMBER FOR THIS PROJECT IS FY24-TUNT-7702-01.

STRUCTURES BEFORE THE START OF WORK.

9. ELEVATIONS ARE BASED ON PHILADELPHIA CITY DATUM.

FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.

NOTED PHILADELPHIA DISTRICT STANDARD MEASURE (DS).

THE L&I ZONING TRACKING NUMBER FOR THIS PROJECT IS ZP-2024-002872.

PREVIOUS OPA ACCOUNT FOR 15-17 S 2ND ST: 885765020

PREVIOUS OPA ACCOUNT FOR 19-25 S 2ND ST: 885765080

SITE ADDRESS:

OWNER/APPLICANT:

P.O. BOX 52649

SITE BENCHMARK NOTE:

NOT GUARANTEED

PENNONI ASSOCIATES INC.

- 1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS, AS APPLICABLE: 1.1. PENNDOT SPECIFICATION, PUB 408/2007 OR LATEST REVISION. 1.2. PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72, LAST REVISED 9/19/08 OR LATEST REVISION.
- AMERICANS WITH DISABILITIES ACT OF JULY 1991 AS AMENDED 1.5. THE PENNSYLVANIA CLEAN STREAM LAW (35 P.S. SECTION 691.1 ET. SEQ.). 1.6. REGULATIONS OF PA CODE TITLE 25, CHAPTER 102.

1.3. PENNDOT HANDBOOK OF APPROVED SIGNS, PUB 236/2006 OR LATEST REVISION.

- 1.7. CITY OF PHILADELPHIA STANDARDS AND SPECIFICATIONS (LATEST E 1.8. IN EVENT OF A CONFLICT AMONG THESE REQUIREMENTS AND/OR PLANS, THE MORE RESTRICTIVE REGULATION SHALL APPLY OR A CLARIFICATION SHALL BE OBTAINED FROM THE ENGINEER. THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING NOT BUT NOT LIMITED TO:
- 2.1. EROSION AND SEDIMENTATION CONTROL PLAN 2.2. POST CONSTRUCTION STORMWATER MANAGEMENT PLAN 3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERROR THEY
- DISCOVER IN THE PLANS. 4. EXISTING GRADES AND ELEVATIONS TO BE TIED INTO AROUND THE SITE SHALL BE VERIFIED BY THE CONTRACTOR. DEVIATIONS OF EXISTING GRADES AND ELEVATIONS FOUND IN THE FIELD BY THE CONTRACTOR SHALL BE
- IMMEDIATELY REPORTED TO THE DESIGN ENGINEER. 5. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE OF THE WORK TO BE UNACCEPTABLE. 6. CONTRACTOR SHALL RESET EXISTING MANHOLE RIMS AND UTILITY STRUCTURES TO FINISHED GRADE.

CONTRACTOR SHALL COORDINATE DETAIL WITH RESPECTIVE UTILITY COMPANIES.

- MAXIMUM SIDEWALK CROSS SLOPE IS 2% AND MINIMUM SIDEWALK CROSS SLOPE IS 0.5%. 8. MINIMUM PAVEMENT GRADE SHALL BE 1.0% UNLESS NOTED OTHERWISE. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY KEYPLAN: OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK
- ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK. 10. MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND
- 11. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION. 12. TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINS THROUGHOUT THE
- 8. <u>UTILITY NOTES:</u>
  8.1. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM 13. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC. 14. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR 8.2. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS HAVING A CRUSHED STONE BASE, ETC., WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE
  - SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 15. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONALLY BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO
- 8.5. IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER PROPERLY CONSTRUCT THE WORK 16. BACKFILL OF TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL 10. ALL BOUNDARY LINES ARE DRAWN IN UNITED STATES MEASURE (US) AND DIMENSIONED IN DISTRICT MEASURE BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A (DS). ALL PROPOSED SITE AND BUILDING DIMENSIONS ARE SHOWN IN UNITED STATES (US) MEASURE UNLESS GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH
  - SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. 17. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THI ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT
- 18. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY 2. LOT CONSOLIDATION FOR 15 S 2ND ST, 17 S 2ND ST, AND 19-25 S 2ND ST INTO ONE LOT, PROPOSED PREMISES 15-25 19. SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A S 2ND ST, WAS STAMPED AND APPROVED ON JUNE 7, 2024. PLAN ENTITLED "LOT CONSOLIDATION PLAN (V 0802)" BY GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD
  - BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER, AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE 20. IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH THE MUNICIPAL STANDARDS AND
  - 21. PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. 22. PAVEMENT MARKINGS ON PRIVATE PROPERTY SHALL CONFORM TO CURRENT MUTCD STANDARDS. 23. UNSTABLE SOILS TO BE UNDERCUT, REMOVED, AND REPLACED IN ACCORDANCE WITH THE GEOTECHNICAL
  - 24. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STAIR, RAMP, AND WALL DESIGNS AND DETAILS. 25. PAVEMENT MARKINGS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPAINTED. MATERIALS TO BE INSTALLED/CONSTRUCTED SHALL BE DONE SO IN ACCORDANCE WITH MANUFACTURES
  - SPECIFICATIONS. 27. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF MATERIALS TO BE INSTALLED/CONSTRUCTED FOR REVIEW AND APPROVAL BY THE OWNER AND ENGINEER.

# PHILADELPHIA STREETS DEPARTMENT NOTES:

SPECIFICATIONS

- WORK TO BE DONE IN ACCORDANCE WITH STANDARD SPECIFICATIONS, APPROVED DRAWINGS, AND REGULATIONS OF THE DEPARTMENT OF STREETS. PHILADELPHIA WATER DEPARTMENT, PHILADELPHIA PARKS & RECREATION DEPARTMENT, AND SPECIAL PROVISIONS OF THE PROPOSAL PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 (1974), AS AMENDED, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION, PENNSYLVANIA ONE CALL SYSTEM # 220233262223 AND WARD # 5.
- UTILITIES SHOWN ARE TAKEN FROM PUBLIC RECORD. THE CONTRACTOR MUST VERIFY THE EXACT LOCATION HORIZONTAL AND VERTICAL CONTROL, LINE AND GRADE STAKES FOR CURB, PAVING, ETC. WILL BE FURNISHED BY THE 2ND SURVEY DISTRICT OF THE CITY OF PHILADELPHIA BASED ON ITEM #4-1040. NOTE: THIS ITEM, ENGINEERING SERVICES, IS A PRE-DETERMINED AMOUNT TO BE DETERMINED BY THE SURVEYOR & REGULATOR AND TO BE INCLUDED IN THE CONTRACTOR'S BID. PERMITS FOR BOLLARDS, CURB, & SIDEWALK PAVING WILL BE FURNISHED BY THE 3RD HIGHWAY DISTRICT OF
- THE CITY OF PHILADELPHIA. 6. THE CITY OF PHILADELPHIA SHALL PROVIDE INSPECTION SERVICES FOR PAVING AND RELATED WORK, TO BE PAID UNDER ITEM # 4-1041 AT A COST OF \$345 PER DAY. THE CONTRACTOR SHALL CONTACT TH CONSTRUCTION UNIT OF THE DIVISION OF SURVEYS, DESIGN & CONSTRUCTION AT (215) 686-5539, A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. THIS ITEM, INSPECTION SERVICES, SHALL BE INCLUDED IN THE CONTRACTOR'S BID STREET LIGHT POLE LOCATIONS ARE NOT FINAL. THE STREETS DEPARTMENT STREET LIGHTING ENGINEER
- WILL DETERMINE THE EXACT LOCATIONS OF THE STREET LIGHT POLES DURING CONSTRUCTION. CONTACT THE STREET LIGHTING ENGINEER AT (215) 686-5517 TO COORDINATE STREET LIGHT POLE LOCATIONS. STREET TREES MUST BE PERMITTED BY THE PHILADELPHIA DEPARTMENT OF PARKS & RECREATION. CONTACT THE STREET TREE MANAGEMENT DIVISION AT (215) 685-4363 FOR PROJECTS ON STATE ROUTES, NOTICE IS HEREBY GIVEN THAT THE RECEIPT OF A PERMIT FROM EITHER
- THE PHILADELPHIA STREETS DEPARTMENT, OR THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) DOES NOT IMPLY A PERMIT FROM THE OTHER. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.

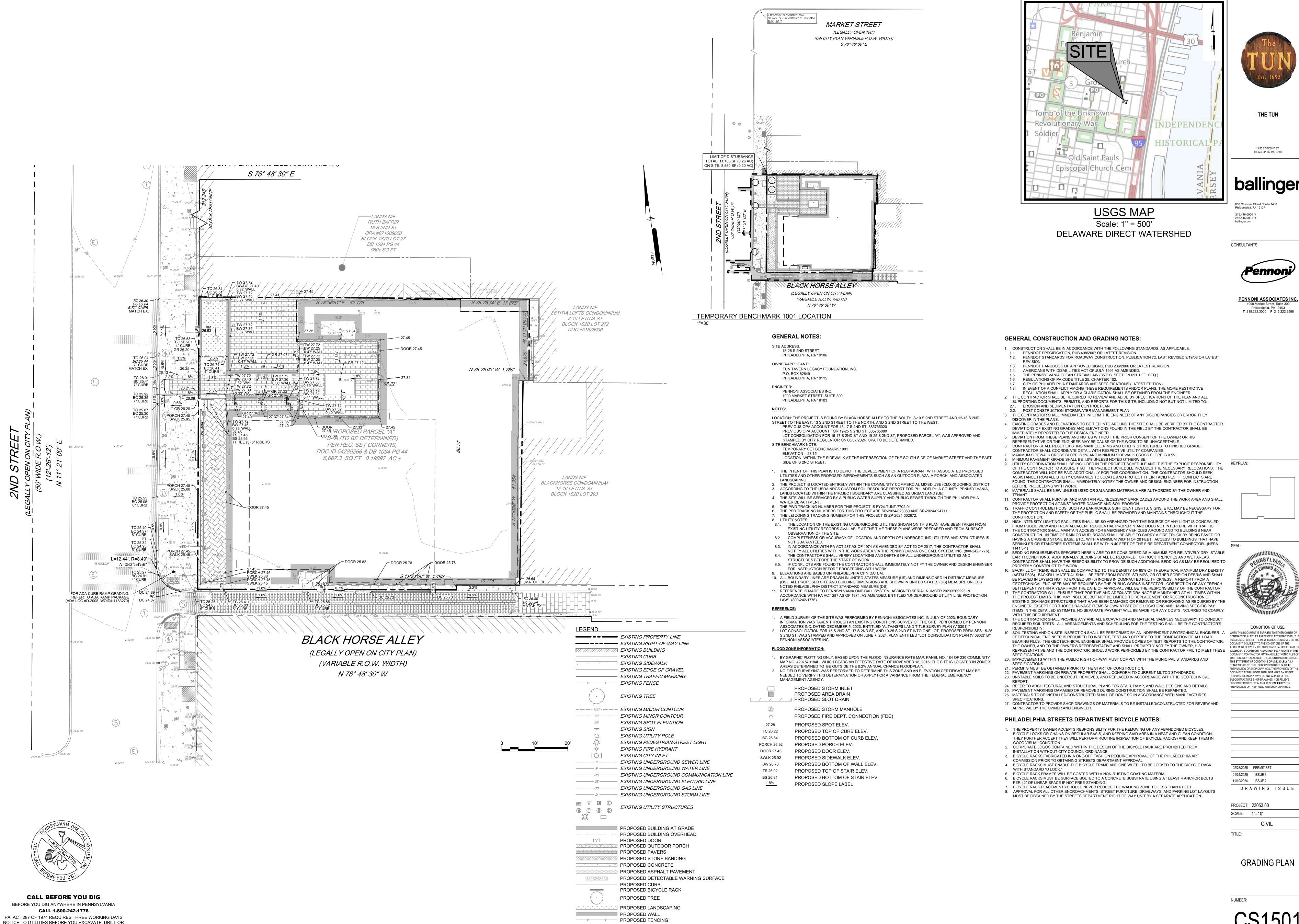
CONDITION OF USE WHEN THIS DOCUMENT IS SUPPLIED TO EITHER OWNER OR SUBSEQUENT USE OF THE INFORMATION CONTAINED ON THE OCUMENT IS SUBJECT TO THE CONDITIONS OF THE GREEMENT BETWEEN THE OWNER AND BALLINGER AND TO BALLINGER'S COPYRIGHT AND OTHER SUCH RIGHTS IN THIS DCUMENT. CONTRACTOR MAY MAKE ELECTRONIC FILES C HIS DOCUMENT AVAILABLE TO SUBCONTRACTORS, SUBJECT TO THIS STATEMENT OF CONDITIONS OF USE, SOLELY AS A REPARATION OF SHOP DRAWINGS. THE PROVISION OF THIS OCUMENT BY BALLINGER SHALL NOT MAKE BALLINGER ESPONSIBLE IN ANY WAY FOR ANY ASPECT OF THE SUBCONTRACTOR'S SHOP DRAWINGS, NOR RELIEVE SUBCONTRACTORS FROM FULL RESPONSIBILITY FOR REPARATION OF THEIR REQUIRED SHOP DRAWING

02/28/2025 PERMIT SET 11/10/2024 ISSUE 2

DRAWING ISSUE PROJECT: 23053.00

SCALE: 1"=10' CIVIL

SITE PLAN



BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S): 20233262223



**USGS MAP** Scale: 1" = 500' DELAWARE DIRECT WATERSHED



THE TUN

15-25 S SECOND ST PHILADELPHIA, PA, 19106

215.446.0900 / t 215.446.0901 / f ballinger.com

CONSULTANTS:



PENNONI ASSOCIATES INC Philadelphia, PA 19103 T 215.222.3000 F 215.222.3588

### **GENERAL CONSTRUCTION AND GRADING NOTES:**

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS, AS APPLICABLE: 1.1. PENNDOT SPECIFICATION, PUB 408/2007 OR LATEST REVISION.

PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72, LAST REVISED 9/19/08 OR LATEST 1.3. PENNDOT HANDBOOK OF APPROVED SIGNS. PUB 236/2006 OR LATEST REVISION.

AMERICANS WITH DISABILITIES ACT OF JULY 1991 AS AMENDED. THE PENNSYLVANIA CLEAN STREAM LAW (35 P.S. SECTION 691.1 ET. SEQ.).

REGULATIONS OF PA CODE TITLE 25, CHAPTER 102. CITY OF PHILADEL PHIA STANDARDS AND SPECIFICATIONS

1.8. IN EVENT OF A CONFLICT AMONG THESE REQUIREMENTS AND/OR PLANS, THE MORE RESTRICTIVE REGULATION SHALL APPLY OR A CLARIFICATION SHALL BE OBTAINED FROM THE ENGINEER. 2. THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL

SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING NOT BUT NOT LIMITED TO: 2.1. EROSION AND SEDIMENTATION CONTROL PLAN 2.2. POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERROR THEY

4. EXISTING GRADES AND ELEVATIONS TO BE TIED INTO AROUND THE SITE SHALL BE VERIFIED BY THE CONTRACTOR.

DEVIATIONS OF EXISTING GRADES AND ELEVATIONS FOUND IN THE FIELD BY THE CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE DESIGN ENGINEER.

DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE OF THE WORK TO BE UNACCEPTABLE.

6 CONTRACTOR SHALL RESET EXISTING MANHOLF RIMS AND UTILITY STRUCTURES TO FINISHED GRADE CONTRACTOR SHALL COORDINATE DETAIL WITH RESPECTIVE UTILITY COMPANIES.

MAXIMUM SIDEWALK CROSS SLOPE IS 2% AND MINIMUM SIDEWALK CROSS SLOPE IS 0.5%. MINIMUM PAVEMENT GRADE SHALL BE 1.0% UNLESS NOTED OTHERWISE. 9. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY KEYPLAN: OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE

CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK

11. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.

12. TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINS THROUGHOUT THE

13. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC. . THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR

SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONALLY BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO

PROPERLY CONSTRUCT THE WORK 16. BACKFILL OF TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH

SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPL'

18. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S 9. SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A WHEN THIS DOCUMENT IS SUPPLIED TO EITHER OWNER OR GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER, AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS

20. IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH THE MUNICIPAL STANDARDS AND . PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. 22. PAVEMENT MARKINGS ON PRIVATE PROPERTY SHALL CONFORM TO CURRENT MUTCD STANDARDS.

23. UNSTABLE SOILS TO BE UNDERCUT, REMOVED, AND REPLACED IN ACCORDANCE WITH THE GEOTECHNICAL 24. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STAIR, RAMP, AND WALL DESIGNS AND DETAILS. 25. PAVEMENT MARKINGS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPAINTED.

26. MATERIALS TO BE INSTALLED/CONSTRUCTED SHALL BE DONE SO IN ACCORDANCE WITH MANUFACTURES 27. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF MATERIALS TO BE INSTALLED/CONSTRUCTED FOR REVIEW AND APPROVAL BY THE OWNER AND ENGINEER.

# PHILADELPHIA STREETS DEPARTMENT BICYCLE NOTES:

BICYCLE LOCKS OR CHAINS ON REGULAR BASIS, AND KEEPING SAID AREA IN A NEAT AND CLEAN CONDITION. THEY FURTHER ACCEPT THEY WILL PERFORM ROUTINE INSPECTION OF BICYCLE RACK(S) AND KEEP THEM IN 2. CORPORATE LOGOS CONTAINED WITHIN THE DESIGN OF THE BICYCLE RACK ARE PROHIBITED FROM INSTALLATION WITHOUT CITY COUNCIL ORDINANCE. 3. BICYCLE RACKS FABRICATED IN A ONE-OFF FASHION REQUIRE APPROVAL OF THE PHILADELPHIA ART

COMMISSION PRIOR TO OBTAINING STREETS DEPARTMENT APPROVAL 4. BICYCLE RACKS MUST ENABLE THE BICYCLE FRAME AND ONE WHEEL TO BE LOCKED TO THE BICYCLE RACK

BICYCLE RACK FRAMES WILL BE COATED WITH A NON-RUSTING COATING MATERIAL. 6. BICYCLE RACKS MUST BE SURFACE BOLTED TO A CONCRETE SUBSTRATE USING AT LEAST 4 ANCHOR BOLTS PER 42" OF LINEAR SPACE IF NOT FREE-STANDING. 7. BICYCLE RACK PLACEMENTS SHOULD NEVER REDUCE THE WALKING ZONE TO LESS THAN 6 FEET.

8. APPROVAL FOR ALL OTHER ENCROACHMENTS, STREET FURNITURE, DRIVEWAYS, AND PARKING LOT LAYOUTS MUST BE OBTAINED BY THE STREETS DEPARTMENT RIGHT OF WAY UNIT BY A SEPARATE APPLICATION

11/10/2024 ISSUE 2 DRAWING ISSUE PROJECT: 23053.00

02/28/2025 PERMIT SET

01/31/2025 ISSUE 3

TITLE:

CONDITION OF USE

CONTRACTOR, IN EITHER PAPER OR ELECTRONIC FORM, THE

SUBSEQUENT USE OF THE INFORMATION CONTAINED ON THE

GREEMENT BETWEEN THE OWNER AND BALLINGER AND TO

THIS DOCUMENT AVAILABLE TO SUBCONTRACTORS, SUBJECT T

REPARATION OF SHOP DRAWINGS. THE PROVISION OF THIS

THIS STATEMENT OF CONDITIONS OF USE, SOLELY AS A

OCUMENT BY BALLINGER SHALL NOT MAKE BALLINGER

ESPONSIBLE IN ANY WAY FOR ANY ASPECT OF THE

JBCONTRACTORS FROM FULL RESPONSIBILITY FOR

REPARATION OF THEIR REQUIRED SHOP DRAWING

SUBCONTRACTOR'S SHOP DRAWINGS, NOR RELIEVE

DOCUMENT IS SUBJECT TO THE CONDITIONS OF THE

SCALE: 1"=10' CIVIL

**GRADING PLAN** 





THE TUN

15-25 S SECOND ST

PHILADELPHIA, PA, 19106

33 Chestnut Street / Suite 1400 215.446.0900 / t 215.446.0901 / f ballinger.com

CONSULTANTS:



PENNONI ASSOCIATES INC Philadelphia, PA 19103 T 215.222.3000 F 215.222.3588

SHALL BE 10'

SITE ADDRESS: 15-25 S 2ND STREET PHILADELPHIA, PA 19106

OWNER/APPLICANT:

TUN TAVERN LEGACY FOUNDATION, INC. P.O. BOX 52649 PHILADELPHIA, PA 19115

PENNONI ASSOCIATES INC. 1900 MARKET STREET, SUITE 300

PHILADELPHIA, PA 19103

**GENERAL NOTES:** 

LOCATION: THE PROJECT IS BOUND BY BLACK HORSE ALLEY TO THE SOUTH, 8-10 S 2ND STREET AND 12-16 S 2ND STREET TO THE EAST, 13 S 2ND STREET TO THE NORTH, AND S 2ND STREET TO THE WEST. PREVIOUS OPA ACCOUNT FOR 15-17 S 2ND ST: 885765020

PREVIOUS OPA ACCOUNT FOR 19-25 S 2ND ST: 885765080 LOT CONSOLIDATION FOR 15-17 S 2ND ST AND 19-25 S 2ND ST, PROPOSED PARCEL "A", WAS APPROVED AND

STAMPED BY CITY REGULATOR ON 06/07/2024. OPA TO BE DETERMINED. SITE BENCHMARK NOTE: TEMPORARY SET BENCHMARK 1001

1. THE INTENT OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF A RESTAURANT WITH ASSOCIATED PROPOSED UTILITIES AND OTHER PROPOSED IMPROVEMENTS SUCH AS AN OUTDOOR PLAZA, A PORCH, AND ASSOCIATED

THE PROJECT IS LOCATED ENTIRELY WITHIN THE COMMUNITY COMMERCIAL MIXED USE (CMX-3) ZONING DISTRICT. LANDS LOCATED WITHIN THE PROJECT BOUNDARY ARE CLASSIFIED AS URBAN LAND (Ub)

ACCORDING TO THE USDA NRCS CUSTOM SOIL RESOURCE REPORT FOR PHILADELPHIA COUNTY, PENNSYLVANIA, 4. THE SITE WILL BE SERVICED BY A PUBLIC WATER SUPPLY AND PUBLIC SEWER THROUGH THE PHILADELPHIA WATER DEPARTMENT.

5. THE PWD TRACKING NUMBER FOR THIS PROJECT IS FY24-TUNT-7702-01. THE PSD TRACKING NUMBERS FOR THIS PROJECT ARE SR-2024-023050 AND SR-2024-024711. 7. THE L&I ZONING TRACKING NUMBER FOR THIS PROJECT IS ZP-2024-002872.

8. <u>UTILITY NOTES:</u>
8.1. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE

8.2. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED. 8.3. IN ACCORDANCE WITH PA ACT 287 AS OF 1974 AS AMENDED BY ACT 50 OF 2017, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776). 8.4. THE CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND

STRUCTURES BEFORE THE START OF WORK. 8.5. IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK. 9. ELEVATIONS ARE BASED ON PHILADELPHIA CITY DATUM.

10. ALL BOUNDARY LINES ARE DRAWN IN UNITED STATES MEASURE (US) AND DIMENSIONED IN DISTRICT MEASURE (DS). ALL PROPOSED SITE AND BUILDING DIMENSIONS ARE SHOWN IN UNITED STATES (US) MEASURE UNLESS NOTED PHILADELPHIA DISTRICT STANDARD MEASURE (DS). 11. REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, ASSIGNED SERIAL NUMBER 20233262223 IN ACCORDANCE WITH PA ACT 287 AS OF 1974, AS AMENDED, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION

LAW". (800-242-1776)

1. A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES INC. IN JULY OF 2023. BOUNDARY INFORMATION WAS TAKEN THROUGH AN EXISTING CONDITIONS SURVEY OF THE SITE. PERFORMED BY PENNONI ASSOCIATES INC. DATED DECEMBER 5, 2023, ENTITLED "ALTA/NSPS LAND TITLE SURVEY PLAN (V-0301)." 2. LOT CONSOLIDATION FOR 15 S 2ND ST, 17 S 2ND ST, AND 19-25 S 2ND ST INTO ONE LOT, PROPOSED PREMISES 15-25 S 2ND ST, WAS STAMPED AND APPROVED ON JUNE 7, 2024. PLAN ENTITLED "LOT CONSOLIDATION PLAN (V 0802)" BY PENNONI ASSOCIATES INC.

1. BY GRAPHIC PLOTTING ONLY, BASED UPON THE FLOOD INSURANCE RATE MAP, PANEL NO. 184 OF 230 COMMUNITY MAP NO. 4207570184H, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 18, 2015, THE SITE IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

PROPOSED STORM SEWER ----- s ----- PROPOSED SANITARY SEWER PROPOSED FIRE LINE ------ PROPOSED NATURAL GAS LINE —— ∪T ——— PROPOSED CABLE/TELEPHONE LINE ------ PROPOSED ELECTRIC LINE ——— uc ——— PROPOSED COMMUNICATION LINE PROPOSED STORM INLET PROPOSED AREA DRAIN PROPOSED SLOT DRAIN PROPOSED STORM MANHOLE

PROPOSED CONCRETE

PROPOSED LANDSCAPING

PROPOSED CURB

PROPOSED WALL

PROPOSED FENCING

PROPOSED ASPHALT PAVEMENT

PROPOSED DETECTABLE WARNING SURFACE

PROPOSED BICYCLE RACK

PROPOSED TREE

**GENERAL UTILITY NOTES:** 

WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776) A MINIMUM OF 3 WORKING DAYS BEFORE THE START OF EXCAVATION. 2. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. 3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND NDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED 4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCATION AND PROTECTION OF THEIR

UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO

1. IN ACCORDANCE WITH PA ACT 287 (1974), AS AMENDED, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE

REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR. 5. CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES FOR CONSTRUCTION. 6. CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR NEW SERVICE AND IS RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS

7. THE LOCATION OF THE EXISTING OVERHEAD UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM FIELD 8. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO CURBING. PAVING. AND COMPACTED SUB-GRADE. LOCATION: WITHIN THE SIDEWALK AT THE INTERSECTION OF THE SOUTH SIDE OF MARKET STREET AND THE EAST 9. A COPY OF THE EMERGENCY OPERATIONS PLAN WILL BE PROVIDED TO THE MUNICIPALITY BEFORE A CLEAR CERTIFICATE OF OCCUPANCY IS OBTAINED. 10. THE MINIMUM DISTANCE BETWEEN THE PLACEMENT OF TREES, LIGHT POLES, ETC. AND UTILITY SERVICE LINES

> 1. PROPOSED UTILITIES ARE TO BE INSTALLED UNDERGROUND. IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK. 13. CONTRACTOR IS CAUTIONED TO PROTECT ANY STRUCTURES IMMEDIATELY ADJACENT TO HIS EXCAVATION AREAS. ANY DAMAGE TO STRUCTURE SHALL BE REPAIRED BY CONTRACTOR AT HIS OWN COST. 14. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 12 INCH CLEARANCE BETWEEN PROPOSED AND EXISTING UNDERGROUND UTILITIES AND STRUCTURES. CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER / ENGINEER

> IMMEDIATELY AFTER UNCOVERING EXISTING UTILITIES IF CLEARANCE CANNOT BE ACHIEVED. NO CHANGES ARE TO BE MADE WITHOUT THE CONSTRUCTION MANAGER'S / ENGINEER'S APPROVAL. 15. THE LOCATIONS AND ELEVATIONS OF THE EXISTING UTILITIES ARE APPROXIMATE. THE ELEVATIONS OF THE EXISTING UTILITIES AT THE TERMINATING CONNECTION POINTS TO THE PROPOSED UTILITIES AND AT PROPOSED UTILITY CROSSINGS MUST BE FIELD CHECKED PRIOR TO CONSTRUCTING THE NEW UTILITIES. 16. THE THICKNESS OF THE ARCHES AND THE CHARACTER AND THE EXTENT OF THE CRADLES OF THE EXISTING

SEWERS ARE UNKNOWN. 7. SEAL OPEN ENDS OF SANITARY SEWER WITH VITRIFIED PIPE STOPPERS AND OPEN ENDS OF STORMWATER CONDUITS WITH BRICK BULKHEADS. 18. REMOVE EXISTING PIPE STOPPERS AND BRICK BULKHEADS PRIOR TO CONNECTING TO EXISTING SEWERS OR

STORMWATER CONDUITS. I9. WATER MAINS SHALL BE DUCTILE IRON PIPE. ALL WATER MAINS AND APPURTENANCES SHALL MEET THE REQUIREMENTS OF THE CITY OF PHILADELPHIA WATER DEPARTMENT STANDARD SPECIFICATIONS AND THE PHILADELPHIA PLUMBING CODE. ALL FIRE HYDRANT LOCATIONS ARE SUBJECT TO THE APPROVAL OF THE PHILADELPHIA FIRE DEPARTMENT. ALL METERING AND BACKFLOW PREVENTION DEVICES MUST BE APPROVED BY THE CITY OF PHILADELPHIA WATER DEPARTMENT. 20. WATER MAINS SHALL BE POLYETHYLENE COATED AND ALL FITTINGS SHALL BE TAPED AND COATED WITH

BITUMASTIC. 21. WATER MAINS SHALL BE INSTALLED AT 4'-0" MINIMUM COVER UNLESS OTHERWISE INDICATED. 22. CONNECTIONS TO EXISTING SEWERS SHALL BE MADE PER PHILADELPHIA WATER DEPARTMENT REQUIREMENTS AND APPROVALS, AND USING APPROVED MATERIALS. APPROVED DIELECTRIC COUPLINGS SHALL BE USED BETWEEN DISSIMILAR MATERIALS. 23. CLEANOUTS & F.A.I. BOXES TO BE PER PHILA PLUMBING CODE AND HIGHWAY LOAD RATED. RIMS TO BE AT GRADE.

24. EXTERIOR STORM AND SANITARY SEWER BUILDING LATERALS LOCATED WITHIN 10' OF BUILDINGS TO BE DUCTILE IRON PIPE INSTALLED IN ACCORDANCE WITH THE PHILADELPHIA PLUMBING CODE. 25. STORM SEWERS SHALL BE DUCTILE IRON PIPE (DIP) WITH MECHANICAL WATER TIGHT JOINTS OR REINFORCED CONCRETE PIPE (RCP) WITH O-RING GASKETED JOINTS UNLESS OTHERWISE NOTED. ALL PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PHILADELPHIA WATER DEPARTMENT STANDARD SPECIFICATIONS. 26. THE CONTRACTOR SHALL PROVIDE O-RING GASKETED JOINTS, CLASS 3 OR CLASS 4 ON ALL STORMWATER RCP 27. ON SITE STORM SEWERS SHALL BE CONNECTED WITH WYE PIPE FITTINGS. CONNECTIONS SHALL NOT BE MADE FROM MANHOLE TO MANHOLE. INLET TO INLET. INLET TO MANHOLE. AND MANHOLE TO INLET. 28. IF UTILITY CONFLICTS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY INFORM THE CONSTRUCTION MANAGER / ENGINEER AND MAKE ARRANGEMENTS WITH THE UTILITY OWNER FOR THE RELOCATION OF THE NECESSARY UTILITIES AT NO COST TO THE OWNER OR THE ENGINEER.

29. MANHOLE RIM AND INLET GRATE ELEVATIONS ARE APPROXIMATE, CONTRACTOR SHALL ADJUST RIMS TO MATCH

FINAL GRADE ADJACENT TO SAME. 30. CLEANOUT CAPS, GRATES, VALVE BOXES, ETC. SHALL HAVE BLACK FINISH TOPS. 31. IF CONFLICTS EXIST BETWEEN PROPOSED SEWERS SHOWN ON SEWER PROFILES AND THOSE SHOWN ON UTILITY PLANS, CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER / ENGINEER IMMEDIATELY. 32. CONTRACTOR IS RESPONSIBLE FOR THE SUPPORT OF ALL EXCAVATIONS AND OF EXISTING UTILITIES WITHIN THE EXCAVATIONS PER OSHA REQUIREMENTS, STATE AND LOCAL CODES, UTILITY COMPANY REQUIREMENTS, ACCEPTED INDUSTRY STANDARDS,OR SPECIFIED REQUIREMENTS, WHICHEVER IS MOST STRINGENT. 33. UTILITY TRENCHES TO BE BACKFILLED WITH SAFE CLEAN STRUCTURAL FILL MATERIAL APPROVED BY AND UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER.

34. CONTRACTOR TO CONFIRM GRATE, RIM, AND JUNCTION BOX ELEVATIONS OF UTILITIES. ADJUST PER PROPOSED 35. CONTRACTOR SHALL CONFIRM SIZE AND MATERIAL OF PROPOSED UTILITY SERVICES AND LOCATION OF APPROVED SERVICE CONNECTIONS WITH MEP. CONNECTIONS BETWEEN BUILDING UTILITY LATERALS AND BUILDING UTILITY SERVICES TO BE COORDINATED WITH THE MEP. CONTRACTOR SHALL ALSO COORDINATE THE LOCATION OF ANY PROPOSED UTILITY EQUIPMENT WITH MEP. ALL UTILITIES TO BE IN ACCORDANCE WITH MEP. 36. CONTRACTOR TO CONSTRUCT MANHOLE AND INLET STRUCTURES IN ACCORDANCE WITH LATEST EDITION OF PHILADELPHIA STREETS DEPARTMENT, PHILADELPHIA WATER DEPARTMENT, AND PENNDOT PUBLICATION 72M

STANDARDS FOR ROADWAY CONSTRUCTION. 37. CONTRACTOR SHALL CONFIRM THE LOCATION, SIZE, AND INVERTS OF EXISTING STORM AND SANITARY SEWER AT PROPOSED TIE-IN LOCATIONS AND NOTIFY THE ENGINEER IF CONDITIONS VARY. 38. SANITARY SEWER CONSTRUCTION MUST CONFORM TO PHILADELPHIA WATER DEPARTMENT SEWER REGULATIONS, STANDARDS, AND SPECIFICATIONS. 39. LOW PRESSURE AIR TESTING REQUIRED FOR SANITARY SEWER SYSTEMS. THIS TEST, AT A MINIMUM, MUST MEET ALL REQUIREMENTS AS OUTLINED IN ASTM C-828-80 OR CURRENT REVISION. 40. STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT JOINTS.

41. UTILITY CONNECTION AND UTILITY COMPANY DETAILS FOR RECONNECTION AND NEW SERVICE WERE NOT PROVIDED BY THE UTILITY COMPANIES. CONTRACTOR MUST OBTAIN ANY UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR NEW SERVICE AND IS RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANIES SPECIFICATIONS. . PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE. 43. CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH FOR WHICH PIPE CAN BE INSTALLED AND TRENCH

BACKFILLED BY THE END OF EACH WORK DAY. 44. EXISTING UTILITY LATERALS FOR THE PREVIOUS USE ARE NOT TO BE REUSED UNLESS NOTED ON THE PLANS. 45. UTILITIES TO BE ABANDONED AND/OR REMOVED WILL BE FILLED AND CAPPED. 46. RUNOFF FROM IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE SANITARY SEWER NOR ONTO ADJACENT 47. WATER MAINS SHALL BE DUCTILE IRON PIPE. ALL WATER MAINS AND APPURTENANCES SHALL MEET THE REQUIREMENTS OF THE CITY OF PHILADELPHIA STANDARD SPECIFICATIONS. WATER MAINS ARE TO BE INSTALLED AT 4'-0" MINIMUM COVER UNLESS OTHERWISE INDICATED. 48. CONTRACTOR SHALL CONFIRM LOCATION OF EXISTING WATER MAIN AND COORDINATE SERVICE CONNECTIONS

WITH THE PHILADELPHIA WATER DEPARTMENT. 49. WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE PHILADELPHIA WATER DEPARTMENT STANDARDS AND SPECIFICATIONS. CONTACT THE PHILADELPHIA WATER DEPARTMENT BEFORE TAPPING EXISTING WATER MAIN. WATER LINE SHALL HAVE BEDDING CONSISTENT WITH THE PHILADELPHIA WATER DEPARTMENT'S REQUIREMENTS AND SPECIFICATIONS. 50. DOMESTIC AND FIRE WATER METERING AND BACKFLOW PREVENTION DEVICES ARE TO BE INSTALLED WITHIN THE BUILDING AND APPROVED BY THE CITY OF PHILADELPHIA WATER DEPARTMENT.

51. FINAL LOCATIONS OF HOSE BIBBS AND ROUTING OF SERVICE PIPING SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD AND IN ACCORDANCE WITH THE MEP PLANS. 52. ELECTRICAL TRANSFORMERS, PAD SIZES, AND LOCATIONS TO BE COORDINATED WITH THE UTILITY COMPANY, OWNER/DEVELOPER AND ARCHITECT 53. PROPOSED CONNECTIONS TO THE CITY SEWER MUST BE INSPECTED BY PWD WATER TRANSPORT RECORDS. 54. ALL VALVES, VENTS, MANHOLES, INLETS AND OTHER UTILITY STRUCTURES HAVE BEEN FIELD VERIFIED AND WILL

NOT CONFLICT WITH PROPOSED CURB ALIGNMENTS.

01/31/2025 ISSUE 3 11/10/2024 ISSUE 2 DRAWING ISSUE

02/28/2025 PERMIT SET

PROJECT: 23053.00 SCALE: 1"=10' CIVIL

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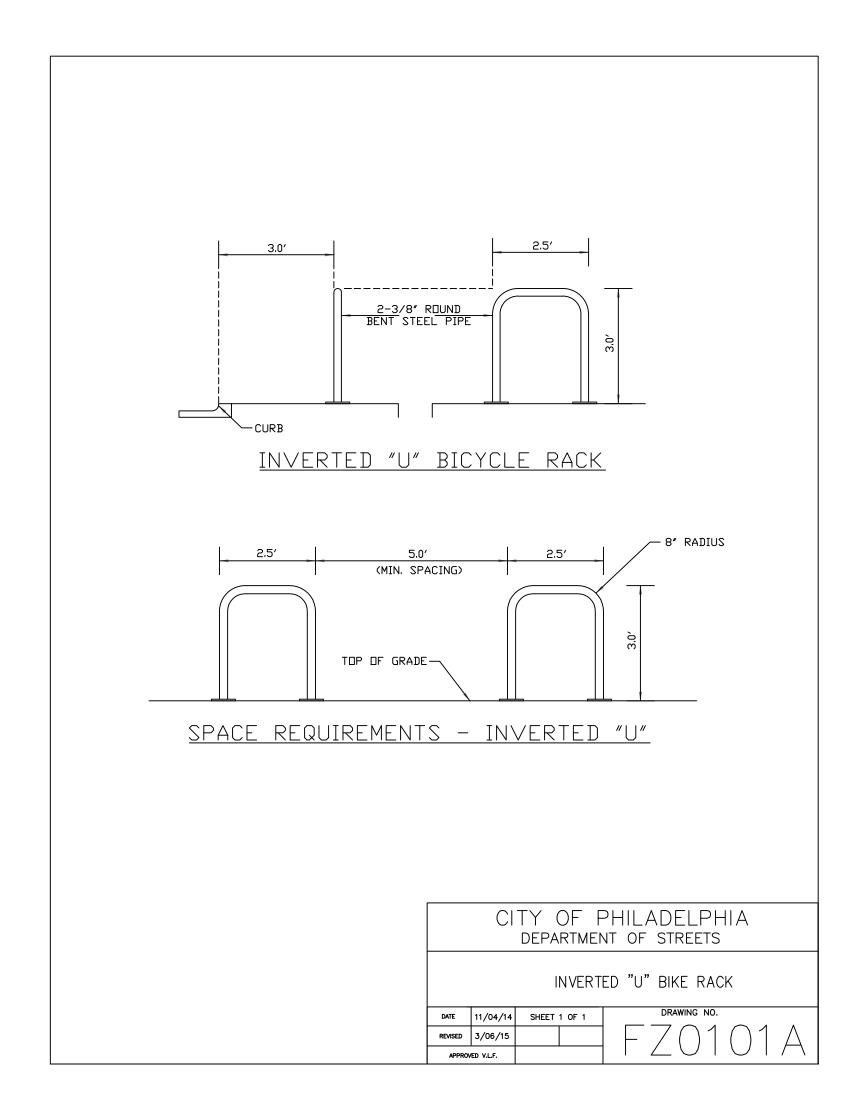
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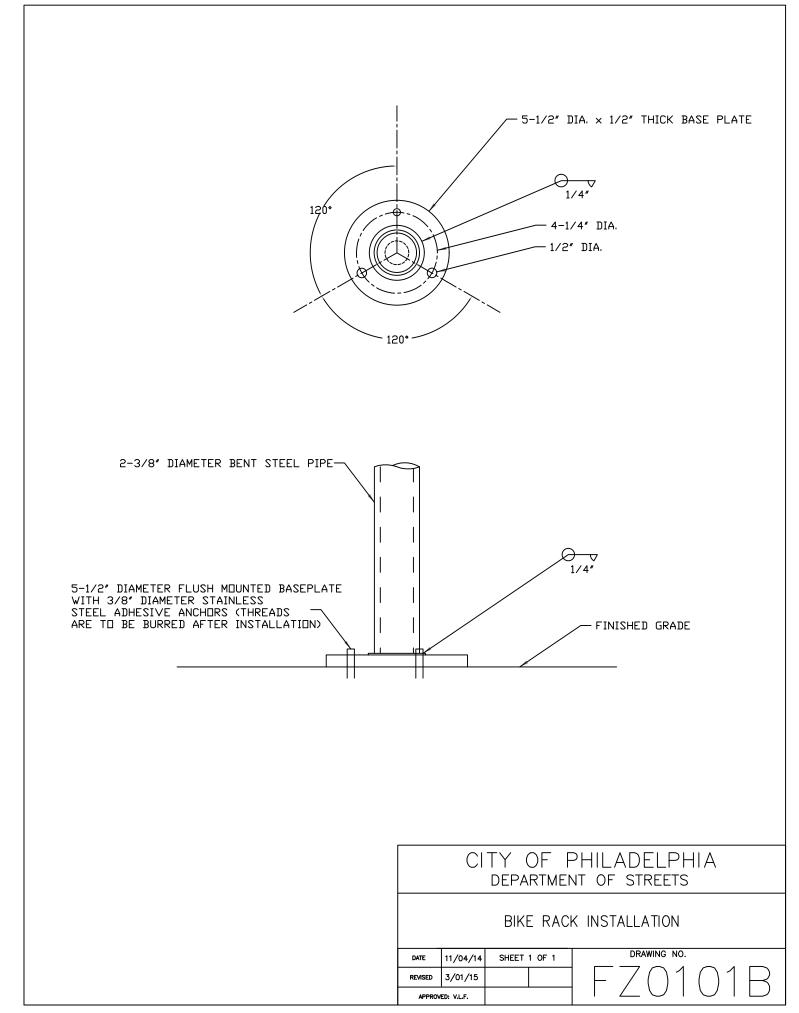
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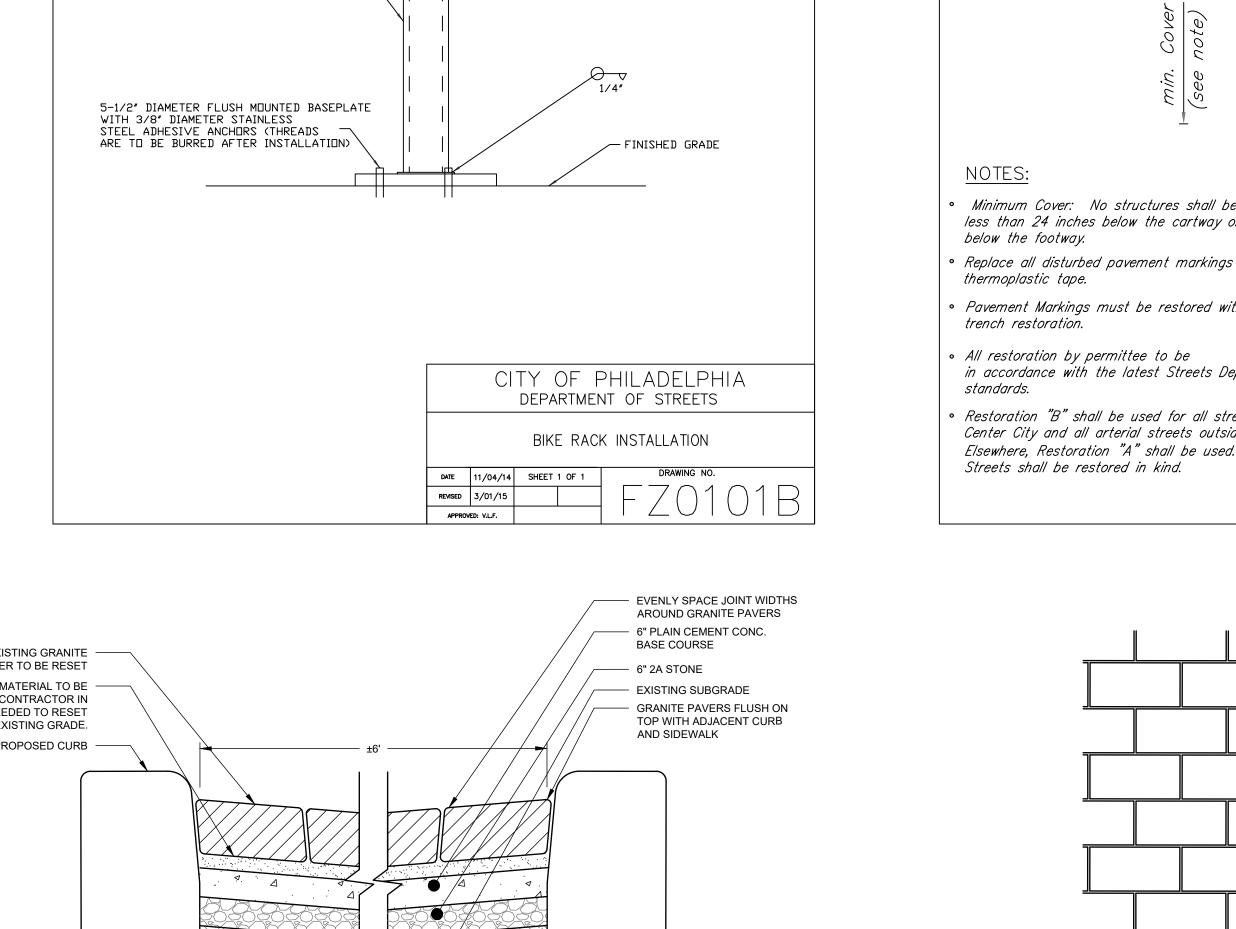
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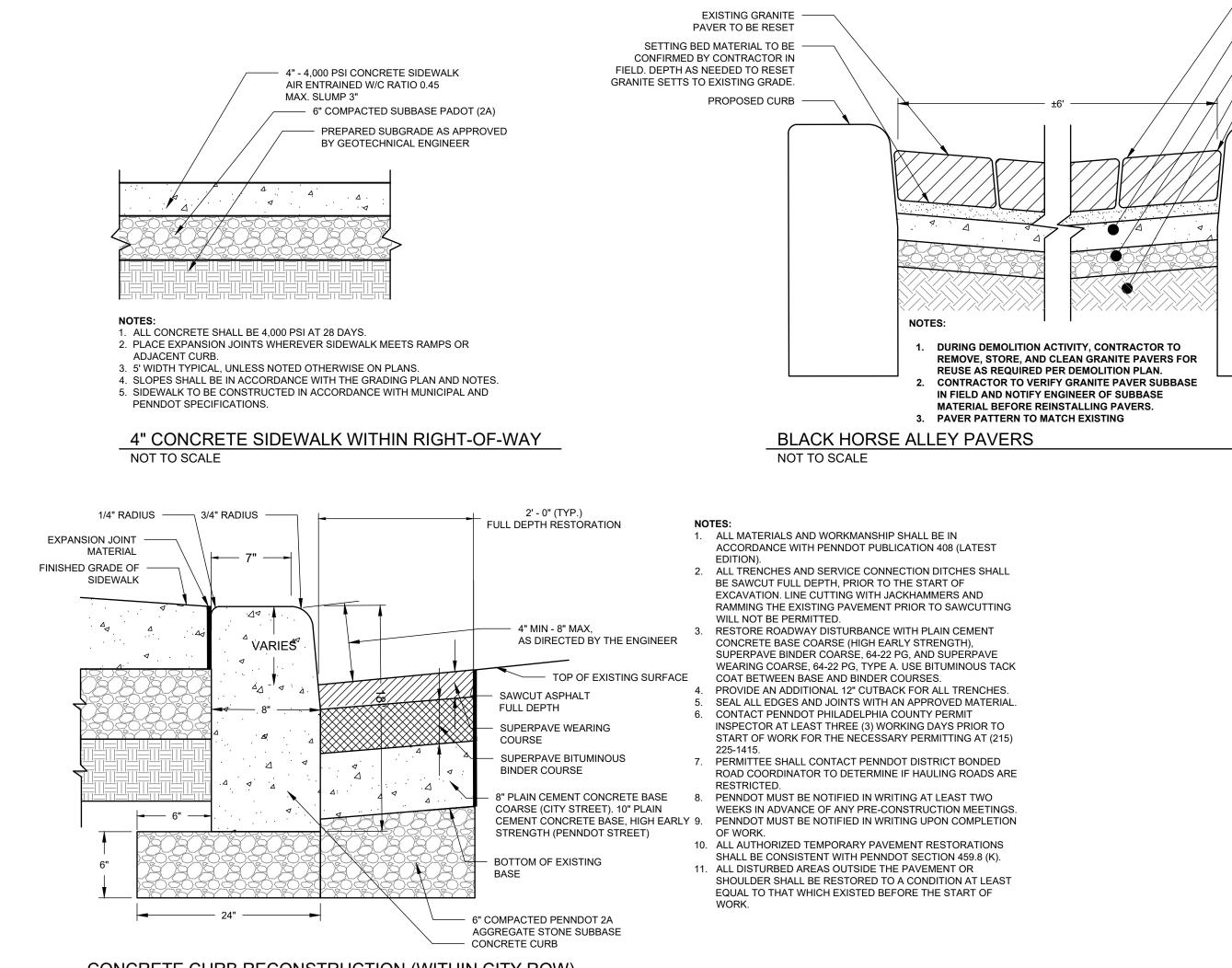
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS

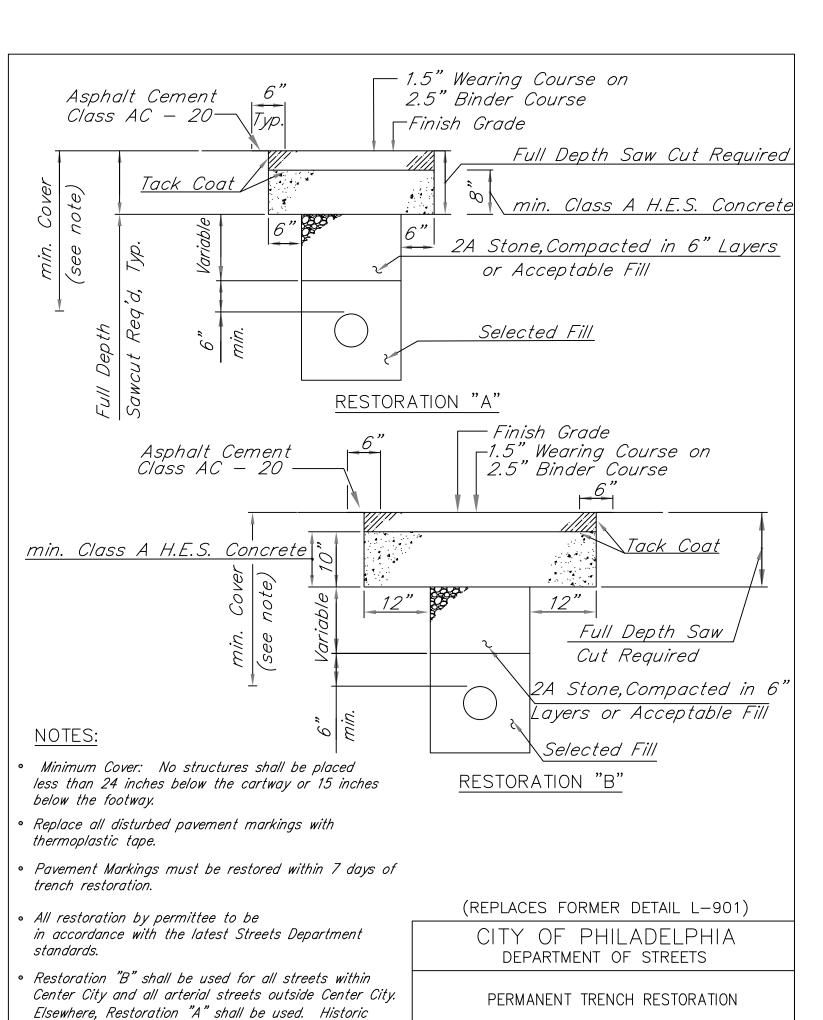
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S): 20233262223

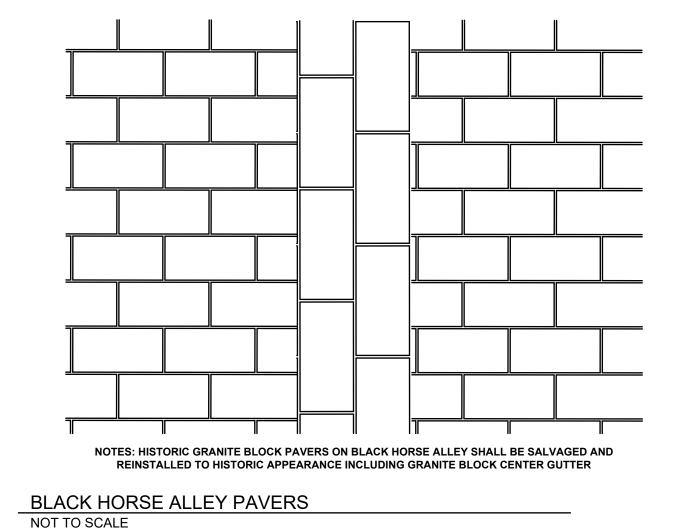












DATE 2-4-02 SHEET 1 OF 1

REVISED 3-1-15 1-10-17

APPROVED: V.L.F.



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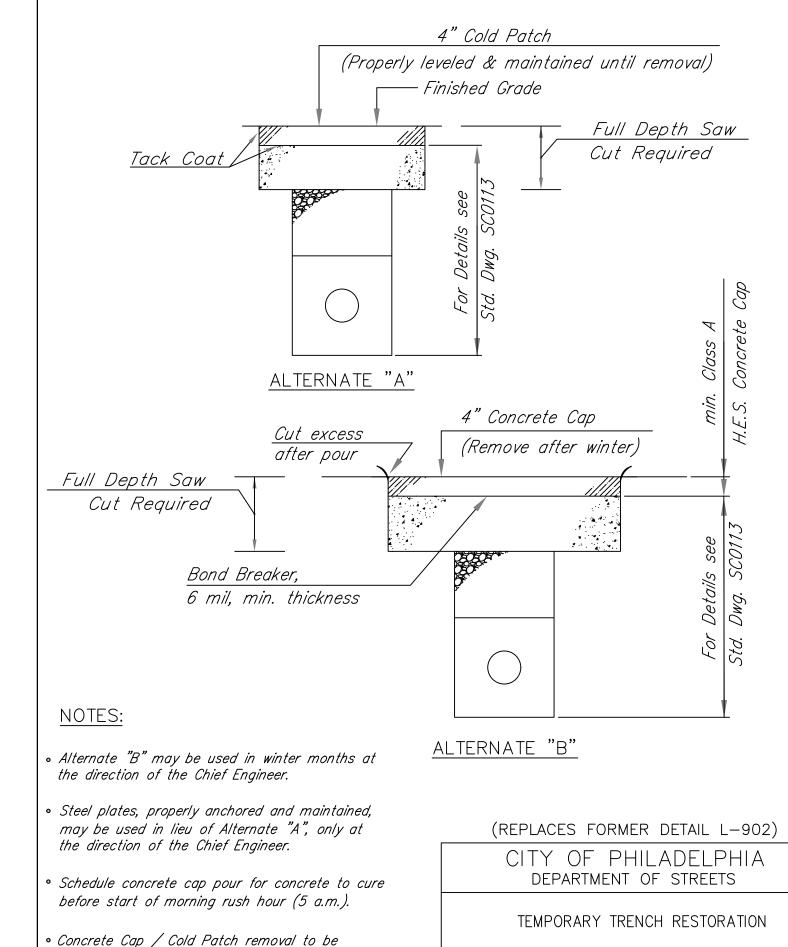
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PROJECT: 23053.00

SITE DETAILS

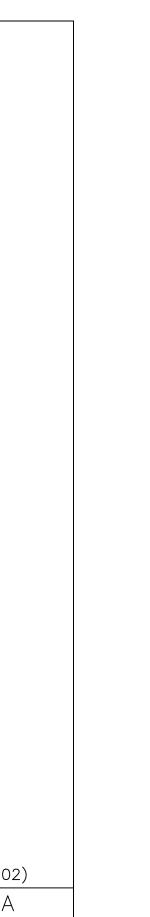


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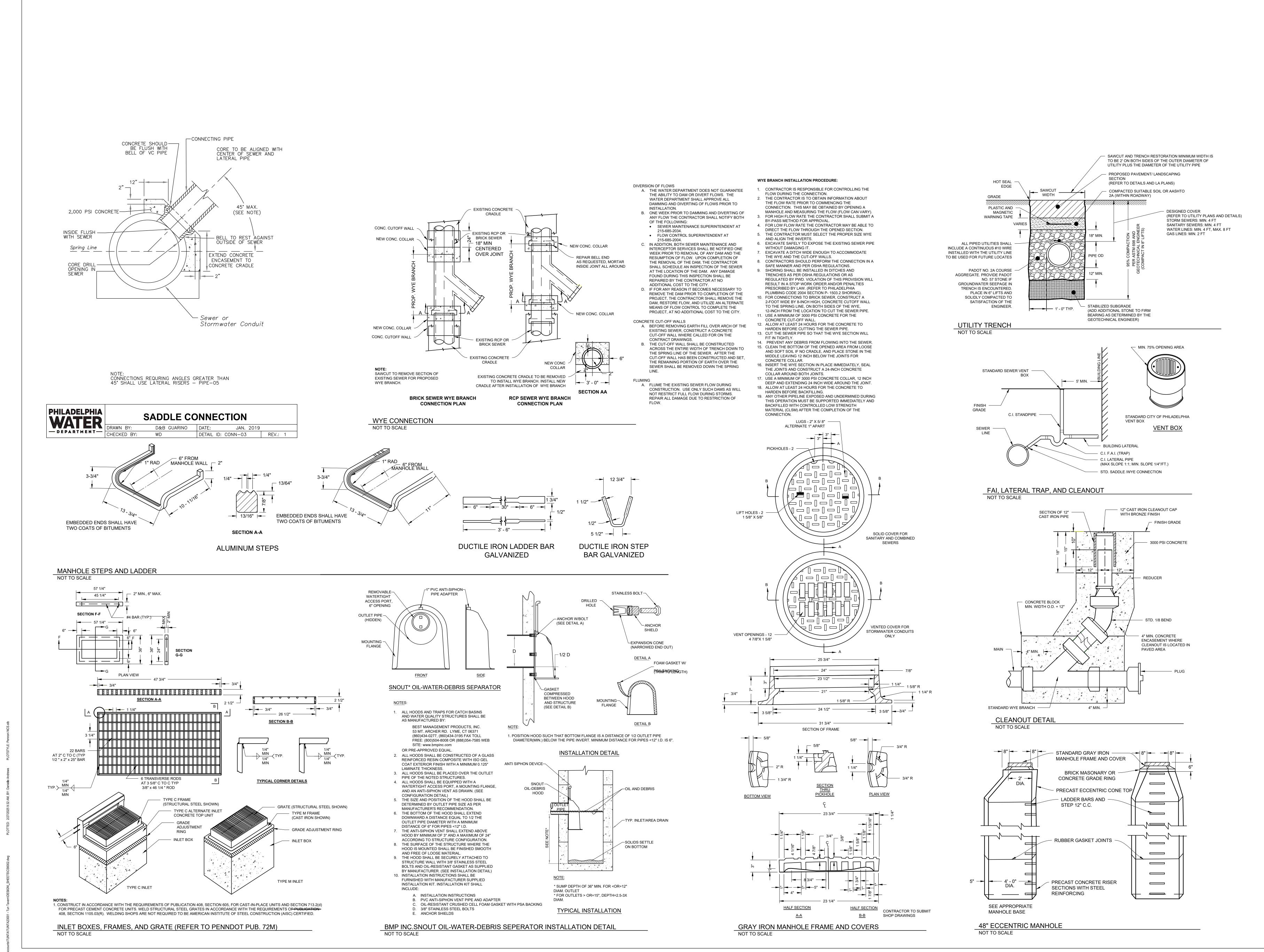
scheduled around weather and at direction of

Chief Engineer.





CONCRETE CURB RECONSTRUCTION (WITHIN CITY ROW)





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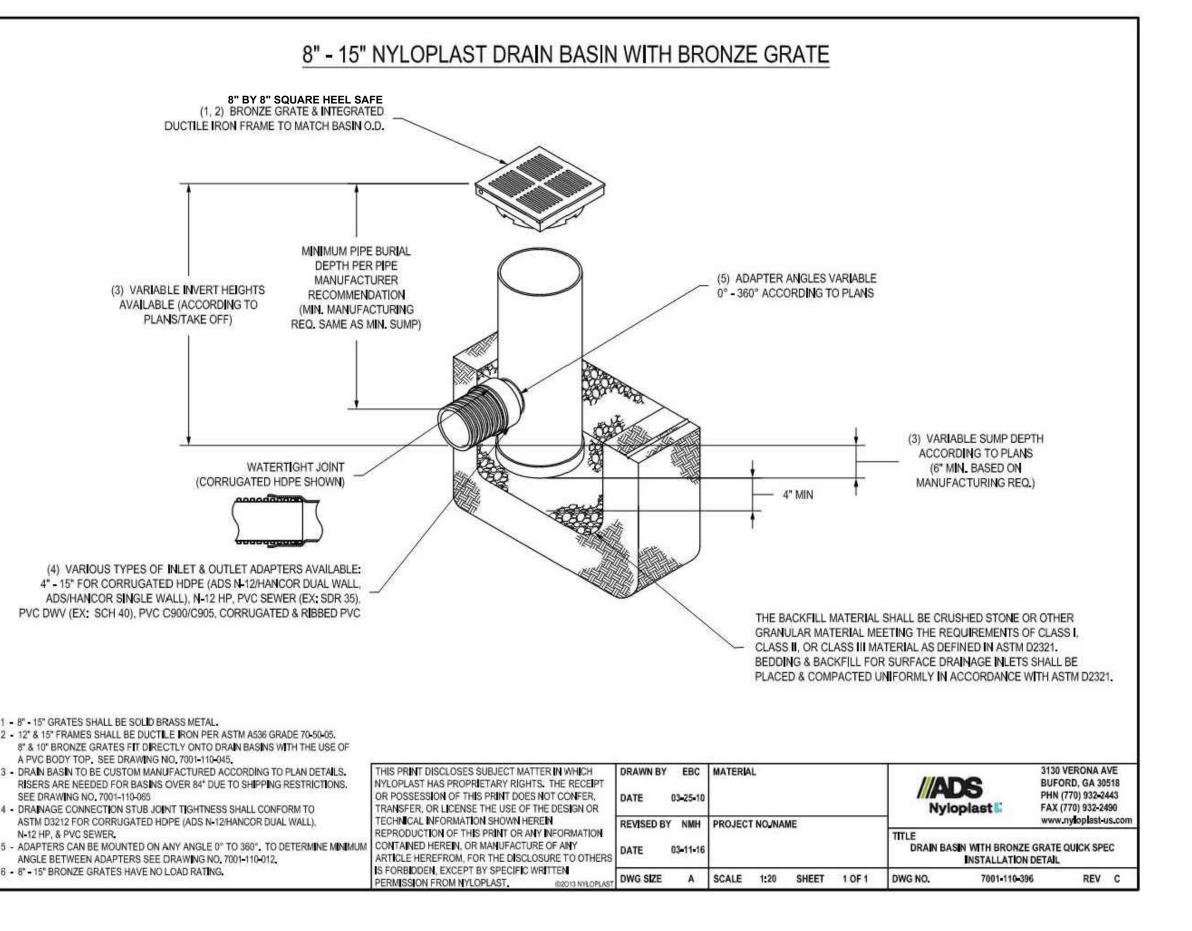
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01/31/2025 ISSUE 3 11/10/2024 ISSUE 2 DRAWING ISSUE

SCALE: AS SHOWN





# Type 476D Longitudinal ductile iron grate (ADA) & N.M. Ø C € DrainLok grate 142171 19.69 (500) 4.85 (123.1) Type 476D Ductile iron longitudinal grate

825 W. Beechcraft St. Casa Grande, AZ 85122 4211 Pleasant Road Fort Mill, SC 29708 Electronic Contact: info@ACODrain.us Toll free: (800) 543-4764 Toll free: (800) 543-4764 Toll Free: (888) 490-9552 Fax: (803) 802-1063 Fax: (520) 421-9899 © April 2018, ACO, Inc. This information is believed to be accurate but it is not guaranteed to be so. We cannot assume liability for results that buyer obtains with our product since conditions of use are beyond the control of the company. It is the customer's responsibility to evaluate suitability and safety of product for his own use. ACO, inc. reserves the right to change the product and specifications without notice. www.ACODrain.us April 2018

TRENCH DRAIN DUCTILE IRON GRATE (OR APPROVED EQUAL)

Specifications

properties as follows:

www.ACODrain.us

The surface drainage system shall be ACO Drain K100, KS100, and H100K-8 channels\*, complete with ACO Type 476D longitudinal ductile iron grate with

'DrainLok' locking as manufactured by ACO, Inc. or similar approved.

The covers shall be manufactured from ductile iron and have minimum

Independently certified to meet Load Class C

to EN 1433 - 56,000 lbs - 1,162 psi

manufacturer's installation instructions and recommendations.

Slots measure at 2.1" (53.34mm) by 0.24" (6.09mm).

Ductile iron to ASTM A 536-84 - Grade 65-45-12

Intake area of 22.6 sq. in. (145.16 cm²) per half meter of grate

delete as appropriate

The overall width of 4.85" (123mm) and overall length of 19.69" (500mm).

The trench drain system and grates shall be installed in accordance with the

**ACO DRAIN** 

Product Features

Uses 'DrainLok' boltless locking system

E- coated for improved resistance against rust

 Complies with ADA - American Disabilities Act of 1990 Section 4.5.4

Bicycle Tire Penetration Resistant to AS 3996 - 2006

Type 476D Longitudinal ductile iron grate (ADA)

Certified to EN 1433 Load Class C - 56,000 lbs - 1,162 psi

Suitable for use with K100, KS100, and H100K-8 channels

Manufactured from ductile iron to ASTM A 536-84 - Grade 65-45-12

EN MA CO

'DrainLok' locking mechanism ACO DrainLok™ is a patented, boltless locking system that rainLok clip removes the need for bolts and bars and improves the hydraulic capacity of the channel. The DrainLok™ mechanism simply 5 clips into the channel edge rail for rapid installation. ACO DrainLok™ grates are fitted with an anti-shunt mechanism that restricts unwanted grate movement when installed, improving durability and longevity of the system. 9470 Pinecone Drive Mentor, OH 44060

1. IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. ENGINEERING ADVICE MAY BE REQUIRED. 2. MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS. 3. EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. ENGINEERING ADVICE MAY BE REQUIRED. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" [3mm] ABOVE THE TOP OF THE CHANNEL EDGE. 5. CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.

6. REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS. Haunched Paver Pavement

KS100 - KLASSIKDRAIN - LOAD CLASS: A INSTALLATION DRAWING - ACO DRAIN

Arizona Tel: 888-490-9552 e-mail: sales@acousa.com Ohio Tel: 800-543-4764 www.acousa.com South Carolina Tel: 800-543-4764

KS100 TRENCH DRAIN (OR APPROVED EQUAL)

NOT TO SCALE

325 W. Beechcraft St Tel: 520-421-9988 Fax: 520-421-9899

ACO Polymer Products, Inc. 9470 Pinecone Dr. Mentor, OH 44060 Casa Grande, AZ 85122 Tel: 440-639-7230 Fax: 440-639-7235

**Series DBRS** 

Reverse Slip-In Check Valve

Sleeve Elastomer

band clamp

316 Stainless steel expanding

View is rotated for pictorial —

clarification

835 Industrial Hwy

www.onyxvalve.com

SPECIFICATION CLAUSE

BY ACO POLYMER PRODUCTS, INC.

DILUTE ACID AND ALKALI RESISTANT B117 SALT SPRAY TEST COMPLIANT

THE SYSTEM SHALL BE 4" (100mm) NOMINAL INTERNAL WIDTH WITH A 5.1" (130mm) OVERALL

WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL

INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY

PARTIAL SYSTEM DESIGN AND/OR IMPROPER

PROVIDED BY ACO POLYMER PRODUCTS, INC.

ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR

INSTALLATION WILL VOID ANY AND ALL WARRANTIES

CHANNEL SHALL WITHSTAND LOADING TO PROPER

LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE

CLASS SPECIFIED AND INTENDED APPLICATION.

BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE

1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED

SHALL BE CERTIFIED TO MEET THE SPECIFIED EN

GRATES SHALL BE SECURED USING 'DRAINLOK'

IN ACCORDANCE WITH THE MANUFACTURER'S

INSTRUCTIONS AND RECOMMENDATIONS.

SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD

CHANNELS SHALL BE INTERLOCKING WITH A

LOAD CLASS A

BE AS FOLLOWS:

FROST PROOF

COMPRESSIVE STRENGTH:

FLEXURAL STRENGTH: TENSILE STRENGTH:

WATER ABSORPTION:

MALE/FEMALE JOINT.

KS100 KLASSIKDRAIN 'DRAINLOK'

THE SURFACE DRAINAGE SYSTEM SHALL BE

MATERIALS
CHANNELS SHALL BE MANUFACTURED FROM

POLYESTER RESIN POLYMER CONCRETE WITH AN

INTEGRALLY CAST-IN STAINLESS STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL

> 14,000 PSI 4,000 PSI

1,500 PSI

0.07%

POLYMER CONCRETE KS100 CHANNEL SYSTEM WITH STAINLESS STEEL EDGE RAILS AS MANUFACTURED

Fax: 856-829-3080

P: 856-829-2888

The series DBRS slip-in check valve, like the series DBCP, offers a cost effective method of backflow prevention. It is designed for installation inside of a non-flanged pipe se-

The series DBRS slip-in check valve eliminates the mechanical parts which can wear and jam in conventional check

cured by expanding band clamp.

expanding band clamp

All Dimensions are in Inches.

ONYX VALVE CO

REVERSE SLIP-IN CHECK VALVE (OR APPROVED EQUAL)

PAVEMENT PER

- DESIGN

DOCUMENTS

Performance Features:

Low pressure drop

Corrosion resistant

Frost proof

Silent operation

4211 Pleasant Rd. Fort Mill, SC 29708 Tel: 440-639-7230

Fax: 803-802-1063

PROJECT: 23053.00

CIVIL

SITE DETAILS







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## **GENERAL NOTES:**

15-25 S 2ND STREET

PHILADELPHIA, PA 19106 OWNER/APPLICANT:

TUN TAVERN LEGACY FOUNDATION, INC. P.O. BOX 52649

PHILADELPHIA, PA 19115

PENNONI ASSOCIATES INC. 1900 MARKET STREET, SUITE 300 PHILADELPHIA, PA 19103

LOCATION: THE PROJECT IS BOUND BY BLACK HORSE ALLEY TO THE SOUTH, 8-10 S 2ND STREET AND 12-16 S 2ND STREET TO THE EAST, 13 S 2ND STREET TO THE NORTH, AND S 2ND STREET TO THE WEST. PREVIOUS OPA ACCOUNT FOR 15-17 S 2ND ST: 885765020

PREVIOUS OPA ACCOUNT FOR 19-25 S 2ND ST: 885765080 LOT CONSOLIDATION FOR 15-17 S 2ND ST AND 19-25 S 2ND ST, PROPOSED PARCEL "A", WAS APPROVED AND STAMPED BY CITY REGULATOR ON 06/07/2024. OPA TO BE DETERMINED.

SITE BENCHMARK NOTE: TEMPORARY SET BENCHMARK 1001 ELEVATION = 28.15'

LOCATION: WITHIN THE SIDEWALK AT THE INTERSECTION OF THE SOUTH SIDE OF MARKET STREET AND THE EAST SIDE OF S 2ND STREET. 1. THE INTENT OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF A RESTAURANT WITH ASSOCIATED PROPOSED

UTILITIES AND OTHER PROPOSED IMPROVEMENTS SUCH AS AN OUTDOOR PLAZA, A PORCH, AND ASSOCIATED THE PROJECT IS LOCATED ENTIRELY WITHIN THE COMMUNITY COMMERCIAL MIXED USE (CMX-3) ZONING DISTRICT. . ACCORDING TO THE USDA NRCS CUSTOM SOIL RESOURCE REPORT FOR PHILADELPHIA COUNTY, PENNSYLVANIA,

4. THE SITE WILL BE SERVICED BY A PUBLIC WATER SUPPLY AND PUBLIC SEWER THROUGH THE PHILADELPHIA 5. THE PWD TRACKING NUMBER FOR THIS PROJECT IS FY24-TUNT-7702-01.

LANDS LOCATED WITHIN THE PROJECT BOUNDARY ARE CLASSIFIED AS URBAN LAND (Ub).

THE PSD TRACKING NUMBERS FOR THIS PROJECT ARE SR-2024-023050 AND SR-2024-024711. THE L&I ZONING TRACKING NUMBER FOR THIS PROJECT IS ZP-2024-002872.

8. <u>UTILITY NOTES:</u>
8.1. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE 8.2. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS

8.3. IN ACCORDANCE WITH PA ACT 287 AS OF 1974 AS AMENDED BY ACT 50 OF 2017, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776).

THE CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK. 8.5. IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.

9. ELEVATIONS ARE BASED ON PHILADELPHIA CITY DATUM. 10. ALL BOUNDARY LINES ARE DRAWN IN UNITED STATES MEASURE (US) AND DIMENSIONED IN DISTRICT MEASURE (DS). ALL PROPOSED SITE AND BUILDING DIMENSIONS ARE SHOWN IN UNITED STATES (US) MEASURE UNLESS NOTED PHILADELPHIA DISTRICT STANDARD MEASURE (DS).

11. REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, ASSIGNED SERIAL NUMBER 20233262223 IN ACCORDANCE WITH PA ACT 287 AS OF 1974, AS AMENDED, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION

1. A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES INC. IN JULY OF 2023. BOUNDARY INFORMATION WAS TAKEN THROUGH AN EXISTING CONDITIONS SURVEY OF THE SITE, PERFORMED BY PENNONI ASSOCIATES INC. DATED DECEMBER 5, 2023, ENTITLED "ALTA/NSPS LAND TITLE SURVEY PLAN (V-0301)." 2. LOT CONSOLIDATION FOR 15 S 2ND ST, 17 S 2ND ST, AND 19-25 S 2ND ST INTO ONE LOT, PROPOSED PREMISES 15-25 S 2ND ST, WAS STAMPED AND APPROVED ON JUNE 7, 2024. PLAN ENTITLED "LOT CONSOLIDATION PLAN (V 0802)" BY

### PENNONI ASSOCIATES INC. **FLOOD ZONE INFORMATION:**

1. BY GRAPHIC PLOTTING ONLY, BASED UPON THE FLOOD INSURANCE RATE MAP, PANEL NO. 184 OF 230 COMMUNITY MAP NO. 4207570184H, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 18, 2015, THE SITE IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY

WHEN THIS DOCUMENT IS SUPPLIED TO EITHER OWNER OR JBSEQUENT USE OF THE INFORMATION CONTAINED ON THE OCUMENT IS SUBJECT TO THE CONDITIONS OF THE GREEMENT BETWEEN THE OWNER AND BALLINGER AND TO BALLINGER'S COPYRIGHT AND OTHER SUCH RIGHTS IN THIS THIS DOCUMENT AVAILABLE TO SUBCONTRACTORS, SUBJECT TO THIS STATEMENT OF CONDITIONS OF USE, SOLELY AS A REPARATION OF SHOP DRAWINGS. THE PROVISION OF THIS DOCUMENT BY BALLINGER SHALL NOT MAKE BALLINGER RESPONSIBLE IN ANY WAY FOR ANY ASPECT OF THE

SUBCONTRACTOR'S SHOP DRAWINGS, NOR RELIEVE

SUBCONTRACTORS FROM FULL RESPONSIBILITY FOR

02/28/2025 PERMIT SET

11/10/2024 ISSUE 2 DRAWING ISSUE

PROJECT: 23053.00 SCALE: 1"=10'

CIVIL

**EROSION & SEDIMENT** CONTROL PLAN

CS8001

**PWD TRACKING NUMBER FY24-TUNT-7702-01** 

CALL BEFORE YOU DIG BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776

NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S): 20233262223

PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS

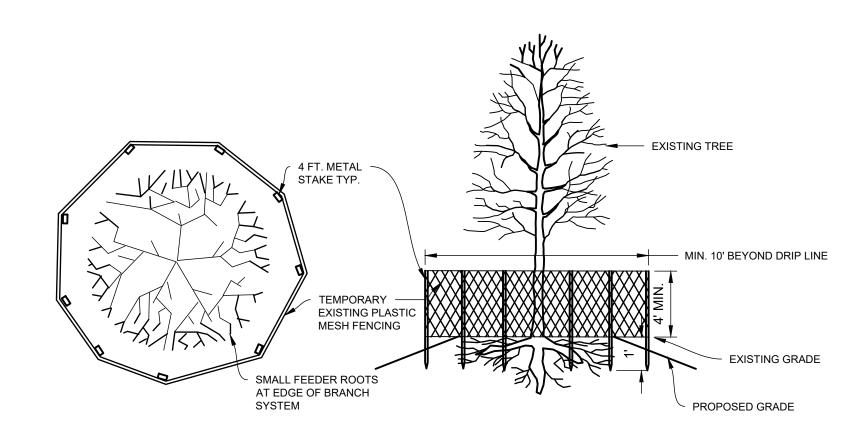
\* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

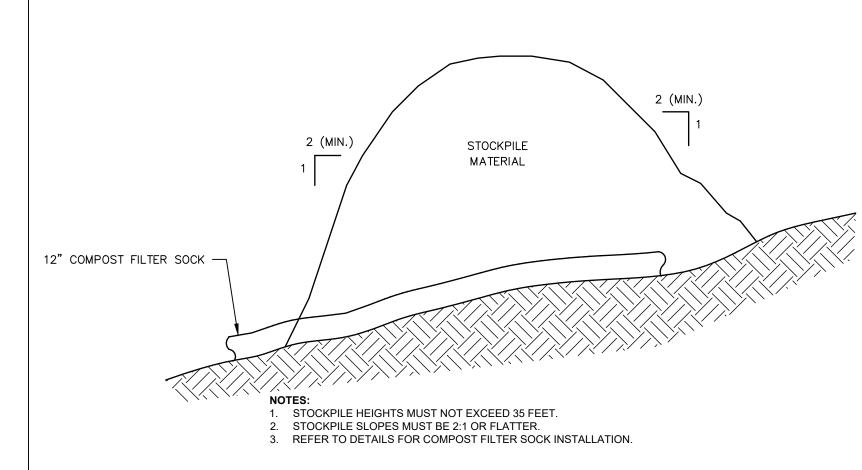
MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

## STANDARD CONSTRUCTION DETAIL #3-1 **ROCK CONSTRUCTION ENTRANCE**



TREE PROTECTION

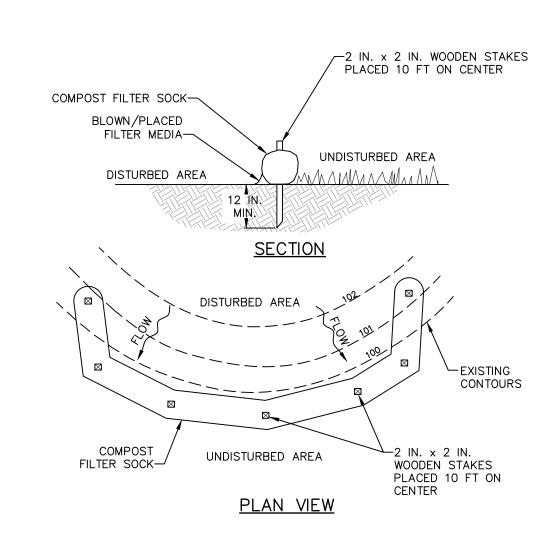


NOT TO SCALE



**CALL BEFORE YOU DIG** BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE. DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.

SERIAL NUMBER(S): 20233262223



SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

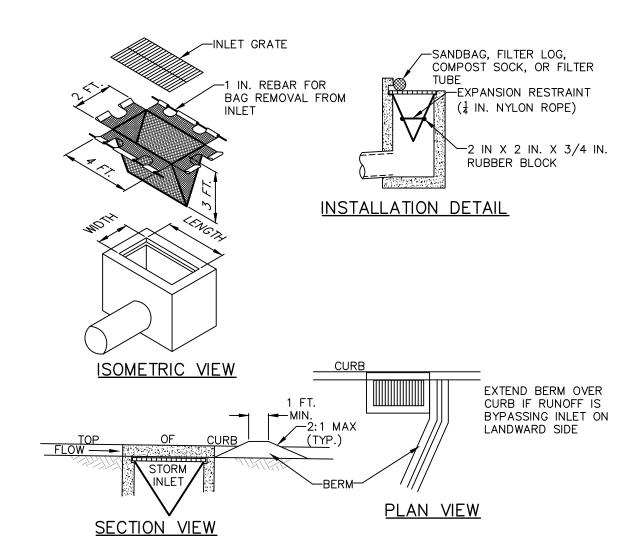
COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

REPLACED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH

SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT.
DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK



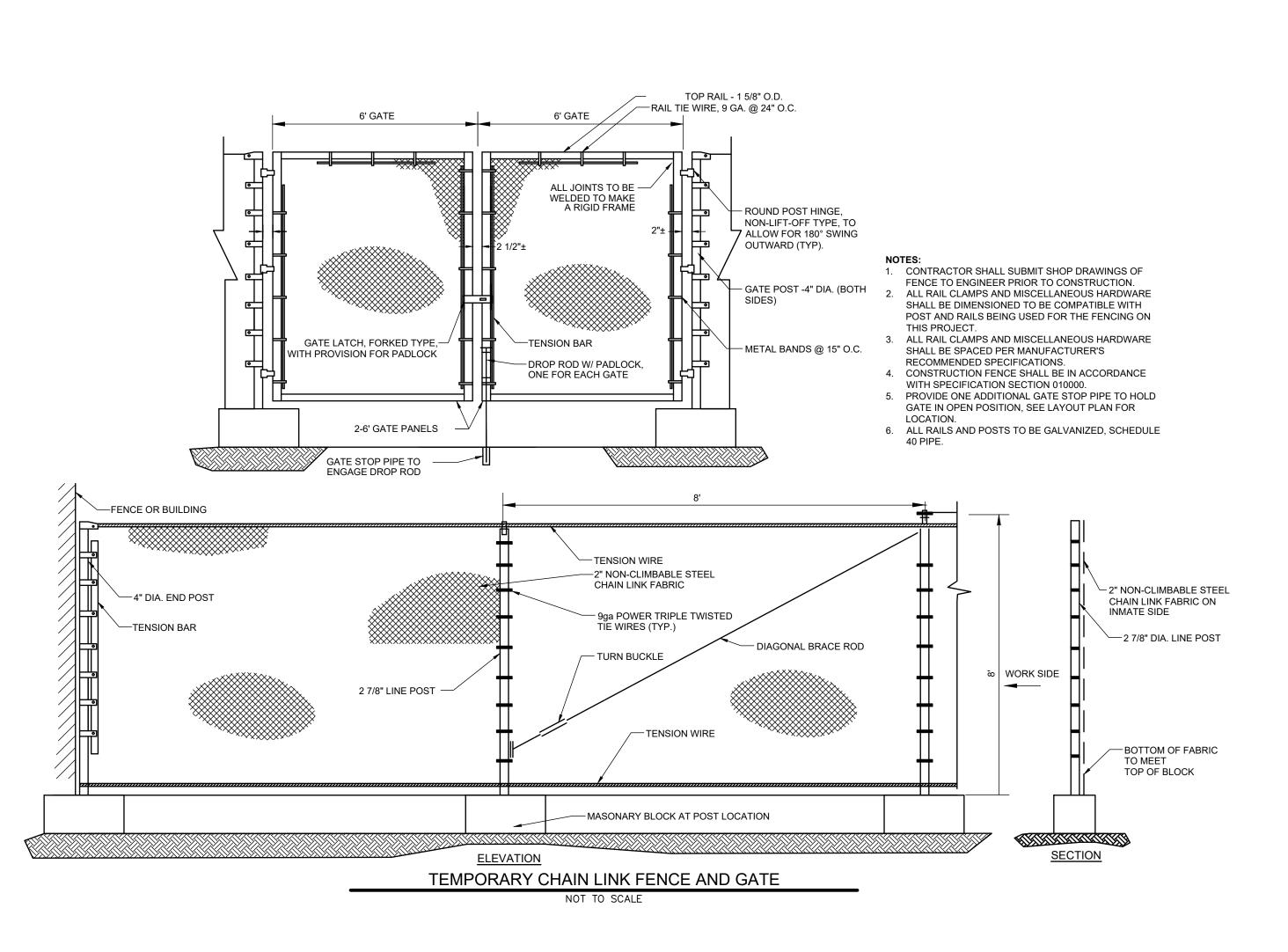
MAXIMUM DRAINAGE AREA = 1/2 ACRE.

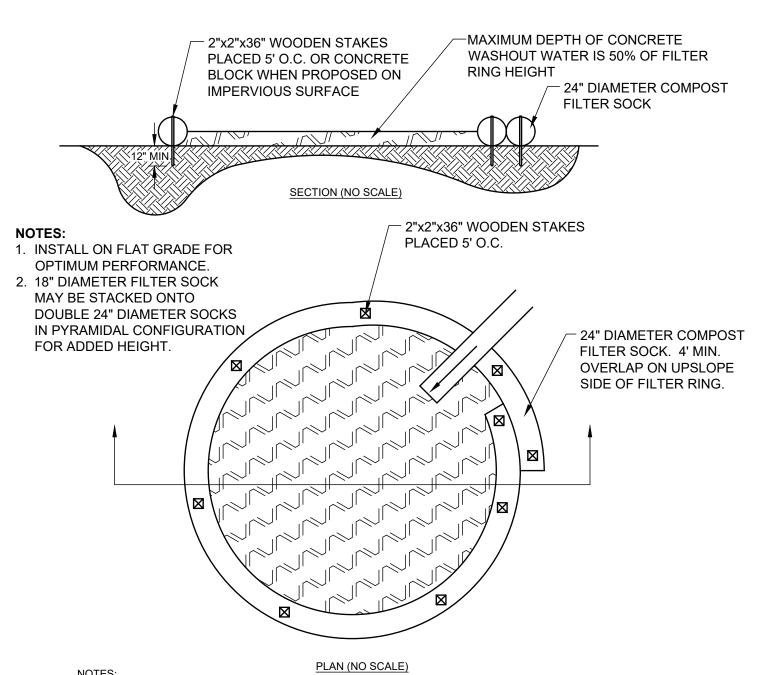
INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS. STANDARD CONSTRUCTION DETAIL #4-15 FILTER BAG INLET PROTECTION - TYPE C INLET

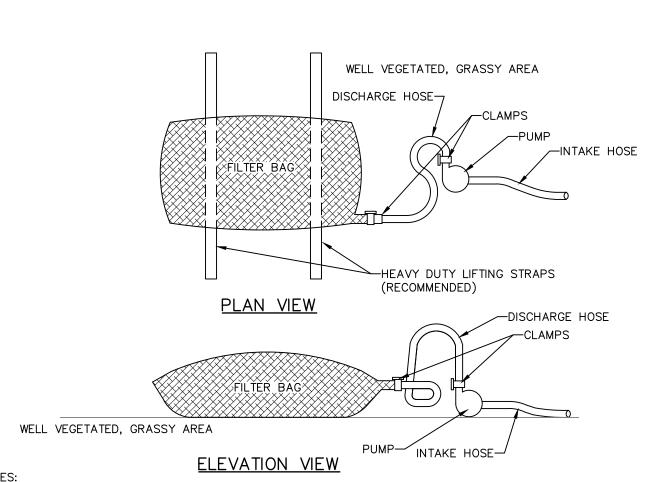




1. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING 2. WHENEVER COMPOST SOCK WASHOUTS ARE USED, A SUITABLE IMPERVIOUS GEOMEMBRANE SHOULD BE PLACED AT THE LOCATION OF THE WASHOUT. COMPOST SOCKS SHOULD BE STAKED IN THE MANNER RECOMMENDED BY THE MANUFACTURER AROUND THE PERIMETER OF THE GEOMEMBRANE SO AS TO FORM A RING WITH THE ENDS OF THE

SOCK LOCATED AT THE UPSLOPE CORNER (AS SHOWN ABOVE). CARE SHOULD BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS. WHERE NECESSARY, SOCKS MAY BE STACKED AND STAKED SO AS TO FORM A TRIANGULAR CROSS SECTION. 3. ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY, DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATLY, ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY. PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

TYPICAL COMPOST SOCK / CONCRETE WASHOUT NOT TO SCALE



LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE

TOLLOWING STANDARDS.							
PROPERTY	TEST METHOD	MINIMUM STANDARD					
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN					
GRAB TENSILE	ASTM D-4632	205 LB					
PUNCTURE	ASTM D-4833	110 LB					
MULLEN BURST	ASTM D-3786	350 PSI					
UV RESISTANCE	ASTM D-4355	70%					
AOS % RETAINED	ASTM D-4751	80 SIEVE					

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS. NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY

AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED. STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG NOT TO SCALE



THE TUN

15-25 S SECOND ST PHILADELPHIA, PA, 19106

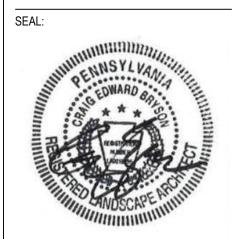
215.446.0901 / f

ballinger.com

CONSULTANTS:



PENNONI ASSOCIATES INC.
1900 Market Street, Suite 300 Philadelphia, PA 19103 T 215.222.3000 F 215.222.3588



CONDITION OF USE WHEN THIS DOCUMENT IS SUPPLIED TO EITHER OWNER OR CONTRACTOR, IN EITHER PAPER OR ELECTRONIC FORM, THE SUBSEQUENT USE OF THE INFORMATION CONTAINED ON THE DOCUMENT IS SUBJECT TO THE CONDITIONS OF THE AGREEMENT BETWEEN THE OWNER AND BALLINGER AND TO BALLINGER'S COPYRIGHT AND OTHER SUCH RIGHTS IN THIS DOCUMENT. CONTRACTOR MAY MAKE ELECTRONIC FILES OF THIS DOCUMENT AVAILABLE TO SUBCONTRACTORS, SUBJECT TO THIS STATEMENT OF CONDITIONS OF USE, SOLELY AS A PREPARATION OF SHOP DRAWINGS. THE PROVISION OF THIS DOCUMENT BY BALLINGER SHALL NOT MAKE BALLINGER RESPONSIBLE IN ANY WAY FOR ANY ASPECT OF THE

SUBCONTRACTOR'S SHOP DRAWINGS NOR RELIEVE

SUBCONTRACTORS FROM FULL RESPONSIBILITY FOR

02/28/2025 PERMIT SET 01/31/2025 ISSUE 3 11/10/2024 ISSUE 2

DRAWING ISSUE PROJECT: 23053.00

SCALE: AS SHOWN CIVIL

**EROSION & SEDIMENT CONTROL DETAILS** 

AT LEAST SEVEN (7) DAYS PRIOR TO ANY EARTH DISTURBANCE, THE INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) MUST BE CALLED TO SCHEDULE A PRECONSTRUCTION MEETING. AT LEAST THREE (3) DAYS PRIOR TO RAIN GARDEN, GREEN ROOF, JELLYFISH FILTER, AND SUBSURFACE DETENTION BASIN INSTALLATION, THE INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) MUST BE CALLED TO SCHEDULE AN INSPECTION (FOR EACH SMP).

STONE, THE CONTRACTOR MAY BE REQUIRED TO REMOVE THE SEDIMENT AND REPLACE IT WITH CLEAN-WASHED STONE. 4. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) FOR A FINAL INSPECTION PRIOR TO REMOVAL/CONVERSION OF

AS SOON AS SLOPES, CHANNELS, DITCHES, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.

6. THE NPDES NOTICE OF TERMINATION (N.O.T.) MUST BE SUBMITTED TO PA DEP UPON COMPLETION OF CONSTRUCTION. WATER PUMPED FROM WORK AREAS SHOULD BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A "SURFACE WATER" OR

THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 et seq. AND 287.1 et seq. CONSTRUCTION WASTES INCLUDE, BUT NOT LIMITED TO:

GEO-TEXTILE FABRIC 10. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, POTENTIALLY NATURALLY OCCURRING POLLUTION CAUSING MATERIAL NOTE:

COMPOST FILTER SOCKS

SOIL TYPE IS URBAN FILL. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONTAMINATED SOIL OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING CONSTRUCTION.

SHOULD UNFORESEEN EROSIVE CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT

REGULATIONS, TITLE 25, PART 1, D.E.P., SUB-PART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT EXISTING TREES AND SHRUBS WHICH ARE TO REMAIN IN PLACE.

WRITTEN NOTICE GIVEN BY THE CITY OF PHILADELPHIA, TO PROVIDE TIRE WASHING FACILITIES AT ALL ROCK CONSTRUCTION ENTRANCES. CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE:

THE OPERATOR IS RESPONSIBLE FOR ENSURING THAT ALL MATERIAL PLACED ON THE SITE QUALIFIES AS CLEAN FILL. CLEAN FILL IS DEFINED AS: JNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL. USED ASPHALT, AND BRICK, BLOCK, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIAL PLACED IN OR ON WATERS OF THE COMMONWEALTH UNLESS THERWISE AUTHORIZED. ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL ROTECTION'S POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER 258-2182-773. A COPY OF THIS DOCUMENT IS AVAILABLE THROUGH THE DEP WEBSITE AT WWW.DEPWEB.STATE.PA.US

20. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE TO FIVE INCHES -- SIX TO 12 INCHES ON COMPACTED SOILS --PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM FOUR INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND SEQUENCE OF CONSTRUCTION:

INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR

22. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED NINE INCHES IN THICKNESS. 23. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.

21. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS, FILL

PWD STANDARD EROSION AND SEDIMENTATION CONTROL NOTES:

ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FILTER FENCE/FILTER SOCK.

THAT SEQUENCE MUST BE APPROVED IN WRITING BY PWD AND THE PA DEP PRIOR TO IMPLEMENTATION.

MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO PWD AT THE TIME OF INSPECTION.

MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF TWO INCHES OF TOPSOIL.

MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET

DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.

POLLUTION AND NOTIFY PWD AND PA DEP.

ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS.

1. AN INDUSTRIAL WASTE PERMIT WILL BE REQUIRED SHOULD PUMPING TO CITY-OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION.

ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED

2. INLET PROTECTION SHOULD BE PROVIDED FOR ALL INLETS OWNED BY PWD THAT ARE LOCATED WITHIN ONE BLOCK OF THE PROJECT SITE.

 ${\tt SEDIMENT\ CONTROL\ PRACTICES.\ CONTRACTOR\ SHALL\ BE\ RESPONSIBLE\ FOR\ ANY\ CLEANING\ OR\ REPAIRS\ NEEDED.}$ 

3. PWD IS NOT RESPONSIBLE FOR ANY CLEANING OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND

5. THE MAXIMUM HEIGHT FOR STOCKPILES AREAS SHALL BE 20 FEET. THE MAXIMUM SIDE SLOPE FOR STOCKPILE AREAS SHALL NOT EXCEED 2:1.

4. INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY

6 THE ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED ON-SITE. A STOCKPILE SHALL BE MAINTAINED ON-SITE FOR THIS

PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE

7. FILTER FABRIC FENCE AND/OR COMPOST FILTER SOCK SHOULD BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE/SOCK SECTION SHOULD

SOCKS PLACED ON PAVED SURFACES IN LIEU OF STAKES TO HOLD THE SOCK IN PLACE. OBJECTS TO BE PLACED AT INTERVALS PER THE COMPOST

FILTER SOCK MANUFACTURER'S SPECIFICATION OR PA DEP MAXIMUM SPACING OF 10' ON CENTER. SEDIMENT MUST BE REMOVED WHEN

8. ANY FENCE/SOCK SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT

9. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER

HE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT

11. UNTIL THE SITE IS STABILIZED, ALL E&S BMPS SHALL BE MAINTAINED PROPERLY, MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL E&S BMPS PRIOR

E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.

TO ANY ANTICIPATED STORM EVENT, AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK,

INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF THE

12. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS, SHALL BE DONE IN ACCORDANCE WITH THE APPROVED

13. AT LEAST THREE(3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE

16. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE.

BY THE BMP SEQUENCE FOR THAT STAGE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.

MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.

19. ALL SEDIMENT REMOVED FROM E&S BMPS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL REGULATIONS.

14. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM

15. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE

SENERAL SITE CLEARING. GRUBBING. AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED

17. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN

18. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE

PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

8. PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. PWD SHALL BE NOTIFIED OF ANY CHANGES

TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. PWD MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW

CONSTRUCTION SITE. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE

BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. SUPPORT STAKES SHALL BE SPACED AT A MAXIMUM OF 8 FEET, OBJECTS OF CONSIDERABLE MASS (E.G. CONCRETE BLOCKS, SAND BAGS, ETC.) SHALL BE USED IMMEDIATELY DOWNSLOPE OF COMPOST FILTER

24. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS. 25. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

26. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.

27. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.

STURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE. WHICH WILL BE REACTIVATED WITHIN ONE YEAR. MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN ONE YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS. 29 PERMANENT STABILIZATION IS DEFINED AS A MINIMUM LINIFORM PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER

28. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL

WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING,

30. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY PWD AND PA DEP.

31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED. TEMPORARY E&S BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT IST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE E&S BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY

32. SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG

33. DURING CONSTRUCTION, THE SELECTED CONTRACTOR IS EXPECTED TO FOLLOW THE PCSMP APPROVED BY PWD. NO CHANGE OR DEVIATION FROM THE

34. ALL WORK ASSOCIATED WITH PWD WATER CONVEYANCE AND SEWER INFRASTRUCTURE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PHILADELPHIA WATER DEPARTMENT "WATER MAIN STANDARD DETAILS AND CORROSION CONTROL SPECIFICATIONS", 1985 EDITION, AND "STANDARD DETAILS AND STANDARD SPECIFICATIONS FOR SEWERS", 2019 EDITION.

35. CONTACT PWD WATER TRANSPORT RECORDS (1101 MARKET STREET, 2ND FLOOR, PHONE: 215-685-6271) FOR ADDITIONAL APPROVALS AND PERMITS REQUIRED FOR ALL WATER SERVICES, METERS, AND CONNECTIONS TO THE EXISTING AND/OR PROPOSED PWD FACILITIES

36. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE PADEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED. BURIED. DUMPED. OR DISCHARGED AT THE SITE.

37. A DUST CONTROL PERMIT WILL BE REQUIRED WHEN COMPLETELY DEMOLISHING A BUILDING OR STRUCTURE THAT IS MORE THAN THREE (3) STORIES, GREATER THAN FORTY (40) FEET TALL, OR ENCOMPASSES MORE THAN TEN THOUSAND (10,000) SQUARE FEET; COMPLETELY OR PARTIALI DEMOLISHING ANY BUILDING OR STRUCTURE BY IMPLOSION; OR ENGAGING IN EARTHWORKS, DEFINED AS "CLEARING, GRUBBING, OR EARTH DISTURBANCE OF ANY LAND IN EXCESS OF 5,000 SQUARE FEET."

# TEMPORARY EROSION AND SEDIMENT CONTROL:

APPROVED PCSMP IS PERMITTED WITHOUT PRIOR APPROVAL FROM PWD.

I. INLET PROTECTION SHALL BE APPLIED, AS DETAILED ON THE PLAN, TO EVERY INLET WHICH HAS BEEN CONSTRUCTED TO THE ROADWAY SUBBASE LEVATION. INLET PROTECTION MUST BE PROVIDED FOR ALL CITY OWNED INLETS LOCATED WITHIN ONE CITY BLOCK OF THE PROJECT SITE. 2. SILT FENCES/COMPOST FILTER SOCKS SHALL BE INSTALLED DOWNSLOPE OF ALL AREAS TO BE DISTURBED BEFORE ANY WORK BEGINS. SILT FENCE/COMPOST FILTER SOCKS AND ROCK FILTERS SHALL BE INSTALLED AS NEAR AS POSSIBLE TO THE LOCATIONS SHOWN ON THE PLAN. FILTER FABRIC/COMPOST FILTER SOCKS SHOULD BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION SHOULD BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. SUPPORT STAKES AND/OR OBJECTS OF CONSIDERABLE MASS SHALL BE SPACED AT A MAXIMUM OF 8 FEET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FILTER FENCE/FILTER

3. STOCKPILED TOPSOIL MOUNDS SHALL BE STABILIZED BY APPLYING TEMPORARY SEED AND A PERIMETER SILT FENCE/FILTER SOCK SHALL BE INSTALLED AROUND EACH MOUND. TEMPORARY SEEDING SHALL BE PER PENNDOT FORM 408, SECTION 804(B).

4. ALL STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AS NEAR AS POSSIBLE TO THE LOCATION SHOWN ON THE PLAN. THE ROCK RUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED ON SITE. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE

5. FREQUENT INSPECTION SHALL BE MADE ON THE FILTER FABRIC FENCE/COMPOST FILTER SOCK. DAMAGED FENCES/SOCK SHALL BE IMMEDIATELY REPLACED. SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHTS OF FENCE/SOCK. SILT FENCE/COMPOST FILTER SOCK WHICH HAS BEEN TOPPED OR UNDERMINED IS TO BE REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET

### PROCEDURE FOR STABILIZATION OF SOILS FOUND OR SUSPECTED TO BE CONTAMINATED: 1. DISTURBED EARTH TO BE IMMEDIATELY STABILIZED WITH SEEDING THROUGH THE USE OF HYDROSEEDING TECHNIQUES AND HAY OR STRAW MULCHING

2 PLASTIC LINER TO BE INSTALLED BELOW TEMPORARY TOPSOIL STOCKPILES, TOPSOIL STOCKPILE TO BE STABILIZED WITH SEEDING AND TO BE

COVERED BY A TEMPORARY DAILY COVER IMMEDIATELY PER THE REQUIREMENTS OF THE PA DEP E&S GUIDELINES 3. EXPOSED SOILS TO BE SPRINKLED WITH WATER ON A DAILY BASIS UNTIL MOIST TO PREVENT DUST GENERATION AND TRANSPORT.

4. UTILIZE APPROVED PA DEP EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT SOIL FROM LEAVING THE SITE. METHODS INCLUDE, BUT ARE NOT LIMITED TO WHEEL WASH, SILT FENCE, INLET FILTER PROTECTION, ROCK CONSTRUCTION ENTRANCE, ETC.

### PWD STANDARD SEQUENCE OF CONSTRUCTION NOTES:

ALL STONE THAT MAKES UP THE SUBSURFACE DETENTION BASIN AND RAIN GARDEN MUST REMAIN FREE OF SEDIMENT. IF SEDIMENT ENTERS THE

INLET PROTECTION PUMPED WATER FILTER BAGS

STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH

THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND

CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES, INCLUDING REPLACING TREES OR SHRUBS IN KIND IF NECESSARY. 4. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING REGULARLY TRACKED ONTO PUBLIC STREETS. THE CONTRACTOR SHALL BE PREPARED, UPON

ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING BY NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE AND SHALL BE COMPLETED IN COMPLIANCE WITH PHILADELPHIA WATER DEPARTMENT AND CHAPTER 102 REGULATIONS

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES. THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LAND OWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE FROM THE PHILADELPHIA WATER DEPARTMENT TO SCHEDULE A PRE-CONSTRUCTION MEETING, ALSO, AT LEAST 3 WORKING DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS. ADDITIONALLY, AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL CONFIRM RECEIPT OF THE APPROVED "SOIL MANAGEMENT PLAN" PREPARED BY PENNONI ASSOCIATES, AND PROVIDE WRITTEN CONFIRMATION THAT THEY UNDERSTAND AND

WILL ADHERE TO ALL REQUIREMENTS AND SOIL MANAGEMENT SET FORTH IN THE APPROVED PLAN. BEFORE IMPLEMENTING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE PHILADELPHIA WATER DEPARTMENT AND PA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ. AND 287.1 ET SEQ IF MATERIALS ARE ENCOUNTERED WHICH, THROUGH LABORATORY ANALYSES OR PREVIOUS INVESTIGATIONS, ARE DETERMINED TO BE ABOVE THE PADEP MSC'S AND REQUIRE OF SITE EXPORTATION, THE SOILS SHALL BE TRANSPORTED OFF-SITE AND PROPERLY DISPOSED. EACH SOIL DISPOSAL

THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE PHILADELPHIA WATER DEPARTMENT AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL PROPOSED SOIL/ROCK SPOIL AND BORROW AREAS ON OR OFFSITE. CONSTRUCTION WILL BEGIN UPON RECEIPT OF ALL REQUIRED PERMITS FROM CITY OF PHILADELPHIA AND PA DEP. PRIOR TO PROCEEDING WITH CONSTRUCTION, CONFIRM THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES. MAINTAIN AND PROTECT

AS SOON AS SLOPES, CHANNELS, DITCHES, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.

4. WATER PUMPED FROM WORK AREAS SHOULD BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A "SURFACE WATER".

5. DISTURBANCE OF THE PROJECT SITE MUST BE KEPT TO THE ABSOLUTE MINIMUM. 6. ALL SOIL MOVEMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND APPLICABLE MUNICIPAL, STATE, AND FEDERAL REGULATIONS.

EXISTING PEDESTRIAN TRAFFIC SHALL BE MAINTAINED OR PROPERLY DIRECTED AROUND THE SITE THROUGHOUT THE DURATION OF THE 8. DELINEATE LIMITS OF DISTURBANCE AS OUTLINED ON THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS WITH ORANGE

CONSTRUCTION FENCING OR TEMPORARY CHAIN LINK FENCE. LINEAR UTILITY TRENCHES, AS OUTLINED ON THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS, DO NOT NEED TO BE DELINEATED WITH FENCE. UTILITY TRENCHES SHALL BE BACKFILLED AT THE END OF EACH DAY AND TEMPORARILY STABILIZED. CONTRACTOR SHALL NOT PERFORM ANY OTHER WORK OUTSIDE OF THE APPROVED LIMITS OF DISTURBANCE. CONTRACTOR TO COORDINATE ON-STREET PARKING REMOVAL WITH THE CITY OF PHILADELPHIA.

10. THE STAGING AREA SHALL BE ESTABLISHED AS SHOWN ON THE APPROVED PLAN AND SHALL NOT IMPEDE RUNOFF FROM REACHING THE KISTING INLETS. STAGING AREAS NOT CREATED ON EXISTING PAVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED

11. INSTALL ROCK CONSTRUCTION ENTRANCE AS SHOWN ON THE APPROVED PLAN. EXISTING SUBGRADE TO BE REMOVED WITHIN THE FOOTPRINT OF THE ROCK CONSTRUCTION ENTRANCE FOR CONSTRUCTION PER THE APPROVED DETAIL. CONTRACTOR SHALL EXCAVATE ONLY ENOUGH AREA FOR WHICH ROCK CONSTRUCTION ENTRANCE CAN BE INSTALLED BY THE END OF EACH WORK DAY, CONSTRUCTION VEHICLES SHALL ENTER AND EXIT THE SITE THROUGH THE ENTRANCE. ROCK CONSTRUCTION ENTRANCE TO BE RESTORED AND SEDIMENT IS TO BE REMOVED ON

12. CONCRETE WASHOUT TO BE INSTALLED ADJACENT TO THE ROCK CONSTRUCTION ENTRANCE PER THE APPROVED PLANS.

13. CONTRACTOR SHALL TEMPORARILY STABILIZE THE SITE AT THE END OF EACH WORK DAY (WHENEVER POSSIBLE) AND AT THE START OF A RAINFALL EVENT. CESSATION OF EARTH DISTURBANCE ACTIVITIES FOR AT LEAST 4 DAYS REQUIRES TEMPORARY STABILIZATION. 14. INSTALL COMPOST FILTER SOCKS DOWN GRADE AND ON CONTOUR OF DISTURBED AREAS PER THE APPROVED PLAN. DISTURBED AREAS SHALL

BE IMMEDIATELY STABILIZED AND GRADED TO SLOPE TOWARDS THE SITE AND COMPOST FILTER SOCK. 15. CONTRACTOR TO HAVE PUMPED WATER FILTER BAG ONSITE AND AVAILABLE FOR DEWATERING OF EXCAVATED AREAS WHEN REQUIRED. FILTER

BAG TO DISCHARGE OVER UNDISTURBED VEGETATED AREAS OR GEOTEXTILE IN ACCORDANCE WITH THE APPROVED PLANS. 16. CONTRACTOR TO BEGIN DEMOLITION OF THE EXISTING SITE FEATURES. REMOVE VEGETATION AND BEGIN BULK EXCAVATION AND CONSTRUCTION OF THE BUILDING FOUNDATION. DISTURBED AREAS SHALL BE STABILIZED WHENEVER POSSIBLE AND AS REQUIRED. PROVIDE DUST CONTROL DURING DEMOLITION AND CONSTRUCTION AS REQUIRED TO PREVENT AIR BOURNE SEDIMENT FROM LEAVING THE SITE. IF

THEPADEP MSC'S AND REQUIRE OF SITE EXPORTATION, THE SOILS SHALL BE TRANSPORTED OFF-SITE AND PROPERLY DISPOSED. EACH SOIL DISPOSAL OR RECYCLING FACILITY HAS SPECIFIC SAMPLING AND ANALYSIS REQUIREMENTS 7 CONTRACTOR TO BEGIN CONSTRUCTION, CONCURRENTLY WITH FOUNDATION AND BUILDING CONSTRUCTION, STORM AND SANITARY SEWER BUILDING UTILITY LATERALS, AND UTILITY CONNECTIONS TO BE CONSTRUCTED. CONTRACTOR SHALL ONLY DISTURB AND EXCAVATE TRENG FOR THAT AMOUNT OF UTILITY THAT CAN BE INSTALLED. BACKFILLED. AND STABILIZED WITHIN ONE WORKING DAY. TRENCH SOIL SPOILS ARE TO BE PLACED ON THE UPSLOPE SIDE OF THE UTILITY TRENCH. CONTRACTOR SHALL IMMEDIATELY RESTORE THE ROCK CONSTRUCTION ENTRANCE WHEN STORM SEWER CONSTRUCTION BENEATH IT IS COMPLETE. NO VEHICLE SHALL ENTER OR LEAVE THE SITE WHILE THE ROCK

MATERIALS ARE ENCOUNTERED WHICH, THROUGH LABORATORY ANALYSES OR PREVIOUS INVESTIGATIONS, ARE DETERMINED TO BE ABOVE

CONSTRUCTION ENTRANCE IS DISTURBED FOR THE STORM SEWER CONSTRUCTION. 18. PERFORM REMAINING ROUGH GRADING OF THE SITE AND INSTALL CONCRETE CURB, STONE SUBBASE, AND SIDEWALKS. CONTRACTOR TO UTILIZE FILL MATERIAL FROM THE STOCKPILE TO COMPLETE ROUGH GRADING. DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED AND

19. COMPLETE GRADING, SIDEWALKS, AND OTHER CONCRETE SURFACES AROUND THE PROPOSED BUILDING. CONSTRUCT LANDSCAPED AREAS AND

20. REMOVE ROCK CONSTRUCTION ENTRANCES AND CONCRETE WASHOUTS WHEN CONCRETE WORK IS COMPLETE AND CONSTRUCTION EQUIPMENT NO LONGER NEEDS ACCESS AND CONSTRUCT REMAINING SITE FEATURES.

21. COMPLETE UTILITY HOOK UPS TO THE PROPOSED BUILDING

GRADED TO SLOPE TOWARDS THE SITE AND COMPOST FILTER SOCK.

22. COMPLETE BUILDING CONSTRUCTION.

23. ONCE THE PROPOSED STRUCTURE NO LONGER REQUIRES HEAVY EQUIPMENT FOR ITS CONSTRUCTION, THE CONTRACTOR SHALL SWEEP ALL EMENT AREAS AND PERFORM FINAL MILL AND OVERLAY, PAVING, AND LINE STRIPING AS INDICATED ON THE APPROVED PLANS.

24. ONCE THE SITE AREA HAS ACHIEVED A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION, REMOVE TEMPORARY EROSION AND SEDIMENTATION BMP'S INCLUDING ROCK CONSTRUCTION ENTRANCES AND INLET PROTECTION. ANY AREA DISTURBED DURING THE REMOVAL OF A TEMPORARY BMP SHALL BE IMMEDIATELY STABILIZED WITH SEEDING AND STRAW MULCH.

25. REMOVAL AND DISPOSAL OF BITUMINOUS MATERIAL SHALL BE IN COMPLETED IN ACCORDANCE WITH DETAILS AND REGULATIONS OF THE MUNICIPALITY, PADEP, AND PENNDOT, AS APPLICABLE AND IS SUBJECT TO INSPECTION AND APPROVAL AS APPROPRIATE

# TEMPORARY SEEDING SITE PREPARATION:

26. CONTRACTOR TO COLLECT AND REMOVE ALL TRASH/DEBRIS ON SITE.

TEMPORARY STABILIZATION OF ALL EXPOSED EARTH SURFACES WHERE CONSTRUCTION ACTIVITY HAS CEASE, INCLUDING TOPSOIL STOCKPILES SHALL BE STABILIZED IMMEDIATELY BY THE FOLLOWING METHODS AND MATERIALS

21. APPLY ONE (1) TON OF AGRICULTURAL GRADE LIMESTONE PER ACRE PLUS FERTILIZER (10-10-10) AT THE RATE OF 1000 LBS PER ACRE AND WORK

23. AFTER SEEDING MULCH WITH HAY OR STRAW AT A RATE OF THREE (3) TONS PER ACRE

22. APPLY 100% ANNUAL RYEGRASS SEED AT A RATE OF 4 TO 5 LBS PER 1000 SQUARE FEET.

### PERMANENT SEEDING SITE PREPARATION:

ACCOMPLISHED BY THE FOLLOWING METHODS AND MATERIALS:

1. AFTER INSTALLATION OF THE NEEDED SURFACE WATER CONTROL MEASURES, PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE

OBTAIN SOILS TESTING FROM AN INDEPENDENT LABORATORY TO DETERMINE NECESSARY SOILS MODIFICATIONS.

4. IN THE ABSENCE OF SOILS TESTING, WORK IN FERTILIZER AT THE RATE OF 1000 LBS. OF 10-20-20 OR EQUIVALENT PER ACRE.

5. SMOOTH AND FIRM SEEDED AREAS WITH CULTIPACKER, OR OTHER SIMILAR EQUIPMENT, PRIOR TO SEEDING.

7. COVER GRASS SEEDS WITH 1/4 INCH OF TOPSOIL WITH SUITABLE EQUIPMENT.

SHALL INCLUDE THE INSPECTION OF EROSION CONTROL FACILITIES AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS, UNLESS MORE FREQUENT INSPECTION IS REQUIRED. IMMEDIATELY PERFORM CLEANOUT, REPAIR AND REPLACEMENT OF THE FACILITIES AS NEEDED.

2. UNTIL THE SITE IS STABILIZED ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WIL

CONDUCTING THE INSPECTION. THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO PWD/DEP UPON REQUEST.

3.3. THE TIME FRAME TO CORRECT THE NONCOMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

4. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.

PPLIED TO RETAIN THE SEED ALONG WITH AN ANCHORING METHOD DESCRIBED ON THE ATTACHED MULCH ANCHORING GUIDE, UNTIL IT HAS A

DURING NON-GERMINATING PERIODS. MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHE GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE

7. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

8. INLET FILTER BAGS SHALL BE CLEANED OUT OR REPLACED WHEN BAG IS HALF FULL.

10. THE CONTRACTOR SHALL INSPECT ALL ROCK CONSTRUCTION ENTRANCES ON A DAILY BASIS AND SHALL ENSURE THAT SEDIMENT IS NOT BEING

TRACKED ONTO PUBLIC STREETS. SEDIMENT THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE COLLECTED AND RETURNED TO THE SITE OR

OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS, IF USED

OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 6 INCH LAYERED LIFTS AT 95% DENSITY.

14. BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY EFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN. THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE PA DEP. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED, IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR

16. DEWATERING OR PUMPING OF GROUNDWATER MUST DISCHARGE TO CITY OWNED INFRASTRUCTURE, IF REQUIRED, CONTRACTOR SHALL OBTAIN

AND REPAIRS DUE TO FAILURE OF APPROVED EROSION CONTROL MEASURES.

18. IF CONTAMINATED SOILS ARE ENCOUNTERED DURING CONSTRUCTION, REFER TO THE APPROVED SOIL MANAGEMENT PLAN.

20. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM

22. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER

PERMANENT STABILIZATION OF THE ALL EXPOSED EARTH SURFACES AFTER THE COMPLETION OF THE SITE GRADING AND IMPROVEMENTS SHALL BE

3. IN THE ABSENCE OF SOILS TESTING, APPLY AGRICULTURAL GRADE LIMESTONE AT THE MINIMUM RATE OF SIX TONS LIMESTONE PER ACRE (276

PREVENT GULLYING. USE SOD AT THE DIRECTION OF THE MUNICIPAL ENGINEER OR HIS AUTHORIZED REPRESENTATIVE. 10. HYDROSEEDING SHALL BE AN ACCEPTABLE ALTERNATIVE TO THE ABOVE SEEDING WHEN PERFORMED IN ACCORDANCE WITH PENNDOT PUB. 408

1. DURING THE LIFE OF THE PROJECT, ALL EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE PROPERLY MAINTAINED, MAINTENANCE

WHERE BMP'S ARE FOUND TO FAIL TO ALLEVIATE EROSION OR SEDIMENT POLLUTION THE PERMITTEE OR CO-PERMITTEE NOTIFY THE

SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED, AS NECESSARY, AND THEN RESEEDED. A STRAW COVER SHALL BE

6. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES.

12. FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND

DURING REMOVAL OF THE BMP'S MUST BE STABILIZED IMMEDIATELY.

15. ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP. AND

SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR

17. PWD SHALL NOT BE RESPONSIBLE FOR ANY CLEANUP OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE OR REPAIRS DUE TO FAILURE OF APPROVED EROSION CONTROL MEASURES OF CITY OWNED INFRASTRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CLEANUP

21. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.

THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY

APPLY SEED.

8. APPLY STRAW MULCH AT A RATE OF 3.0 TON PER ACRE IMMEDIATELY AFTER SEEDING.

9. USE SOD WHERE THERE IS A HEAVY CONCENTRATION OF WATER AND IT IS IMPORTANT TO GET A QUICK VEGETATIVE COVER IN ORDER TO

**EROSION AND SEDIMENTATION MAINTENANCE:** 

(REGRADE, RESEED AND MULCH WASHED OUT AREAS AS NEEDED.)

PHILADELPHIA WATER DEPARTMENT OF THE FAILURE AND SHALL INCLUDE THE FOLLOWING INFORMATION: 3.1. THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.

3.2. ALL STEPS TAKEN TO, REDUCE, ELIMINATE AND PREVENT THE RECURRENCE OF THE NON-COMPLIANCE.

9. SEDIMENT SHALL BE REMOVED FROM COMPOST FILTER SOCKS WHEN REACHING ONE HALF THE HEIGHT OF THE SOCK.

11. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF SURFACE WATER AND ON ALL

13. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP'S MUST BE REMOVED, AREAS DISTURBED

ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

AN INDUSTRIAL DISCHARGE PERMIT THROUGH THE INDUSTRIAL WASTE UNIT. DISCHARGE MUST BE CONNECTED DIRECTLY TO A COMBINED OR

19. THE CONCRETE WASHOUT AREA (CWA) SHALL BE REPAIRED. CLEANED OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.

23. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ABOVE. IN NO CASE SHALL IT BE ALLOWED TO ENTER THE SURFACE

THE TUN

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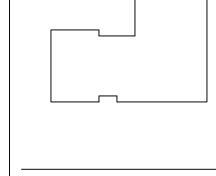
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KEYPLAN:



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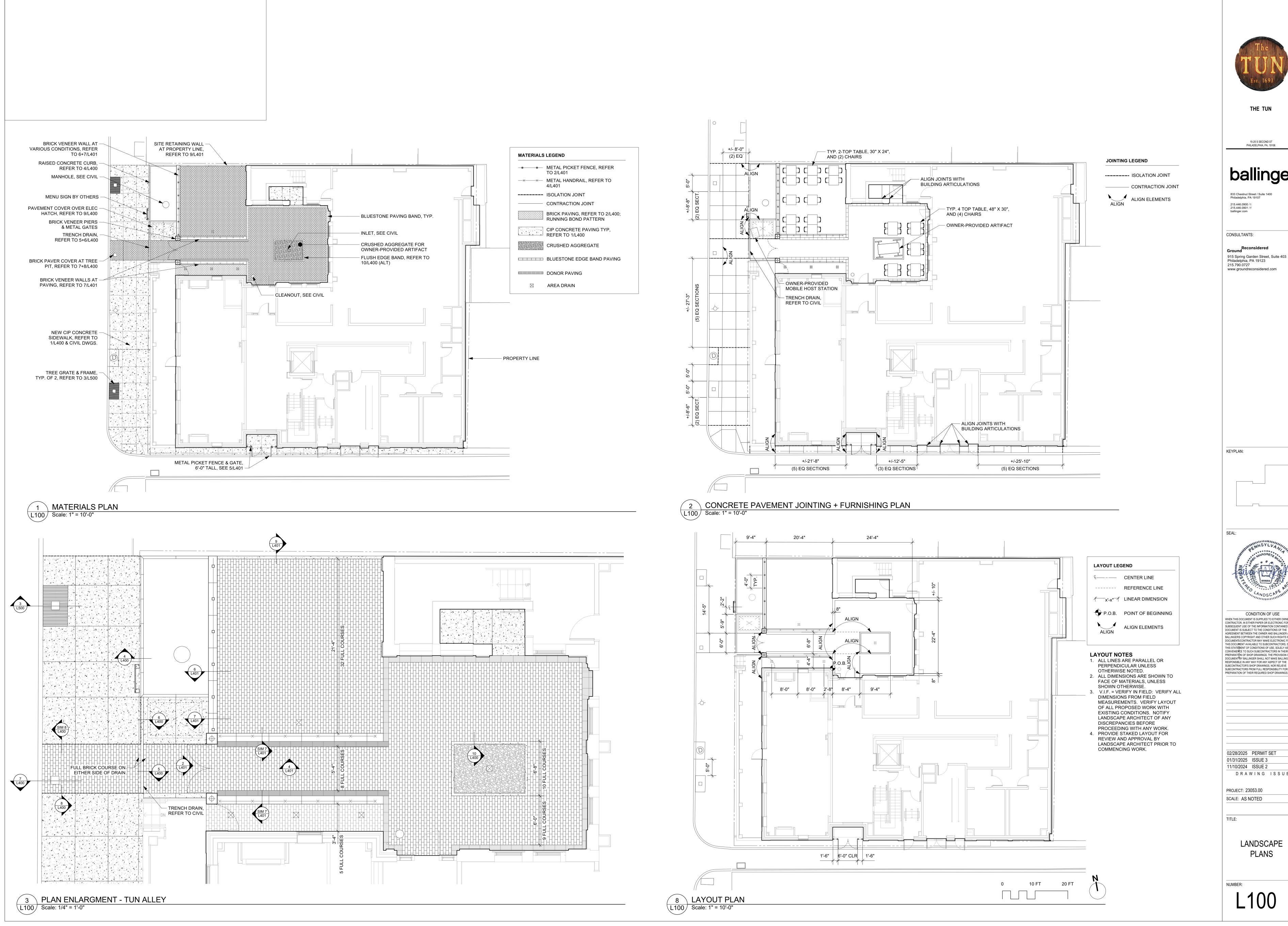
02/28/2025 PERMIT SET

DRAWING ISSUE

PROJECT: 23053.00 SCALE: NONE CIVIL

11/10/2024 ISSUE 2

EROSION & SEDIMENT **CONTROL NOTES** 





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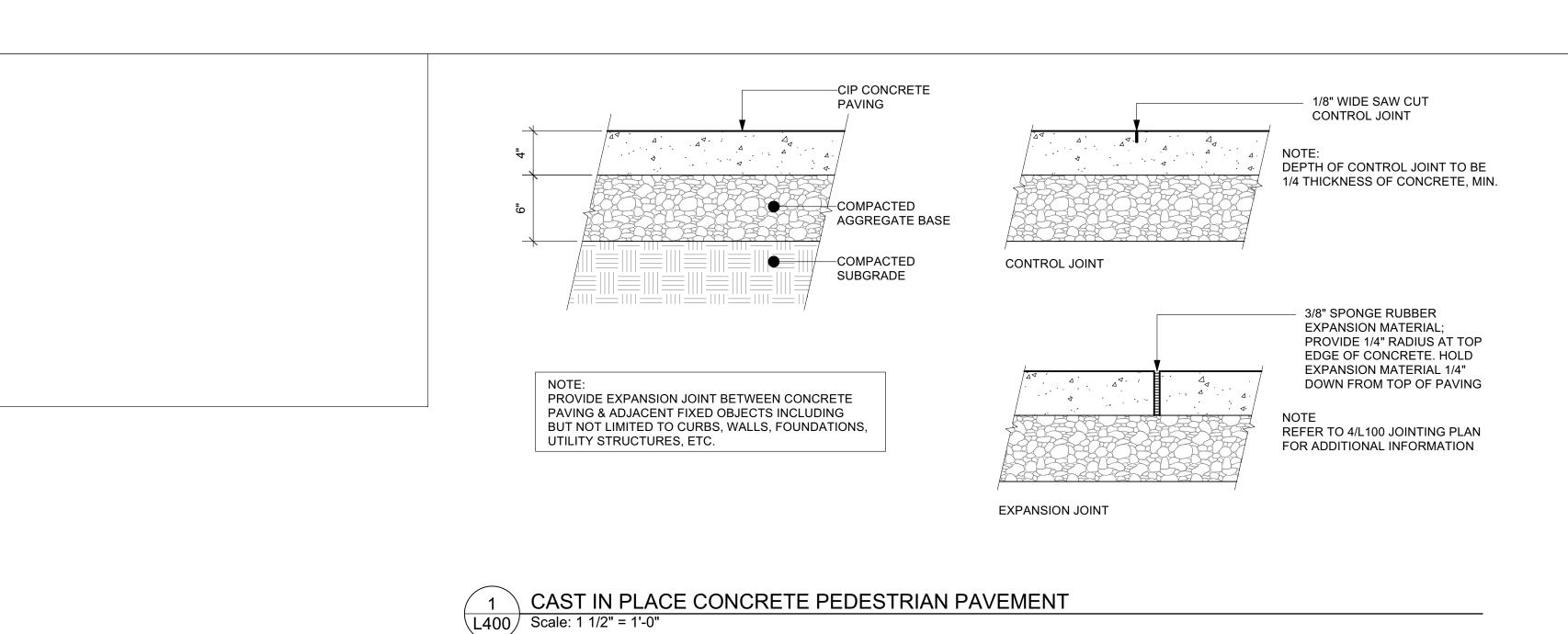
01/31/2025 ISSUE 3 11/10/2024 ISSUE 2 DRAWING ISSUE

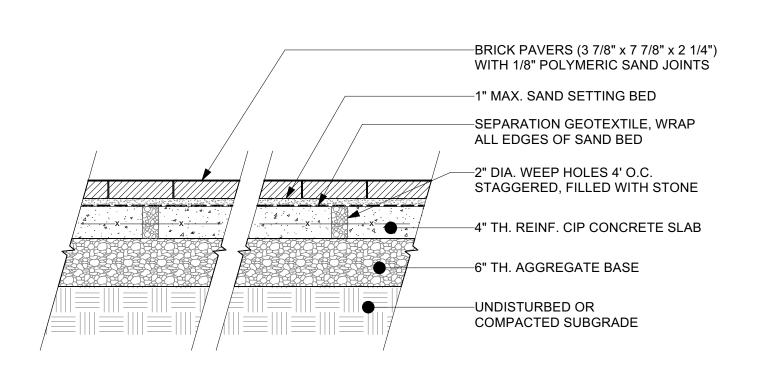
PROJECT: 23053.00 SCALE: AS NOTED

TITLE:

LANDSCAPE **PLANS** 

NUMBER: L100





ADA COMPLIANT TRENCH DRAIN,—

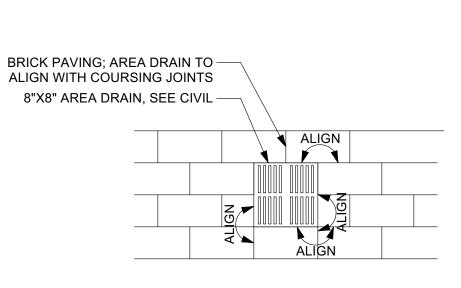
TRENCH DRAIN AT CAST-IN-PLACE CONCRETE

FINISH LEVEL OF CONCRETE MUST BE-

1/8" ABOVE THE TOP OF THE CHANEL

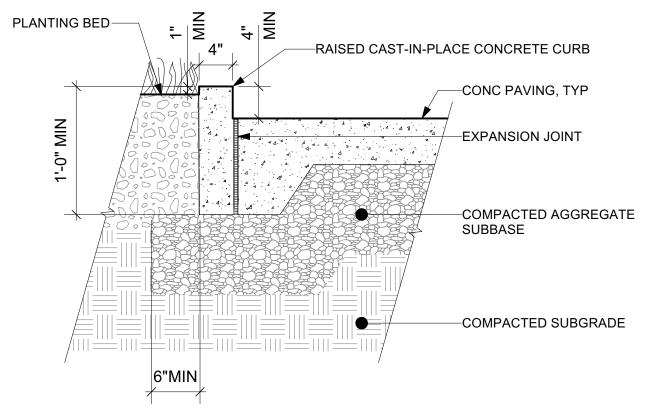
EDGE PER MANUFACTURER REC

REER TO CIVIL

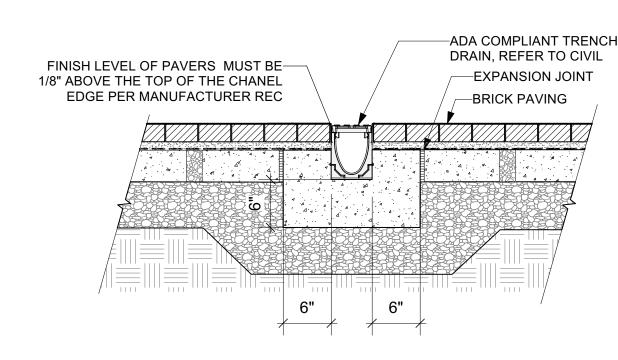




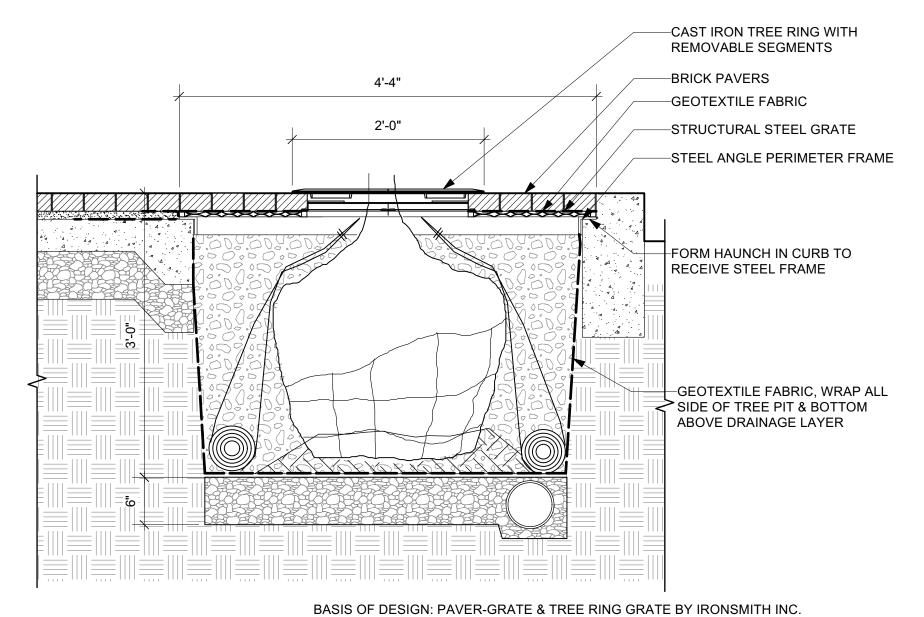
YELAN DETAIL- AREA DRAIN IN BRICK PAVING L400 | Scale: 1" = 1'-0"



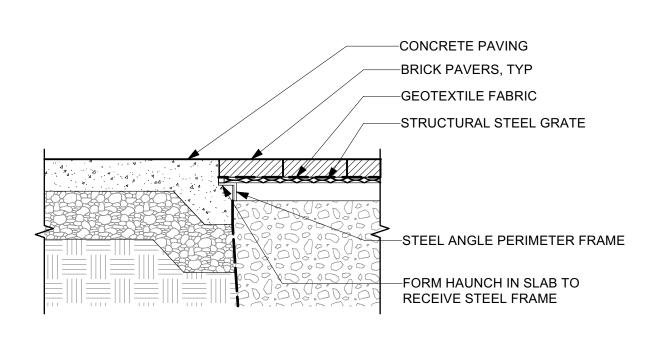




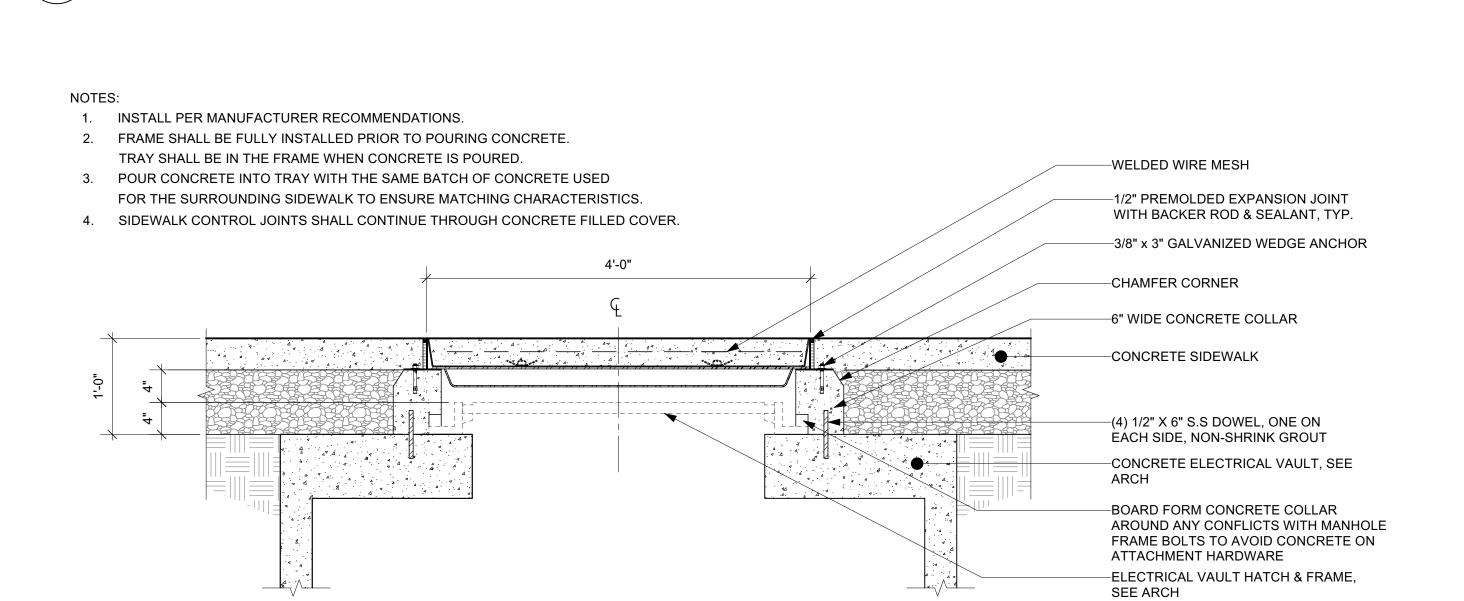
5 TRENCH DRAIN AT BRICK PAVING
L400 Scale: 1" = 1'-0"







STREET TREE BRICK PAVER COVER AT CONC PAVING L400 | Scale: 1" = 1'-0"



-CAST-IN-PLACE CONCRETE

ELECTRICAL VAULT BELOW

COORDINATE WITH

-EXPANSION JOINT

ELECTRICAL VAULT

COVER, SEE 9/L400

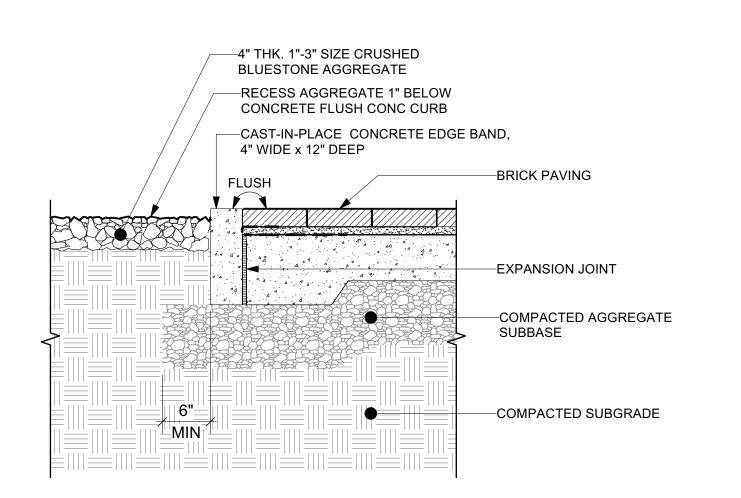
-ELECTRICAL VAULT,

REFER TO ARCH

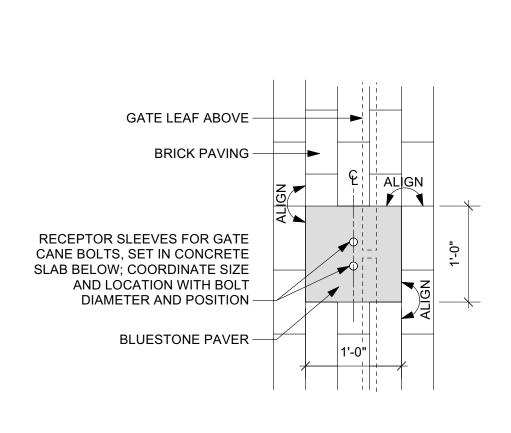
HAUNCH FOR TRENCH DRAIN,



BASIS OF DESIGN: CONCRETE PAVEMENT TRAY BY WUNDERCOVER.



L400 Scale: 1" = 1'-0"









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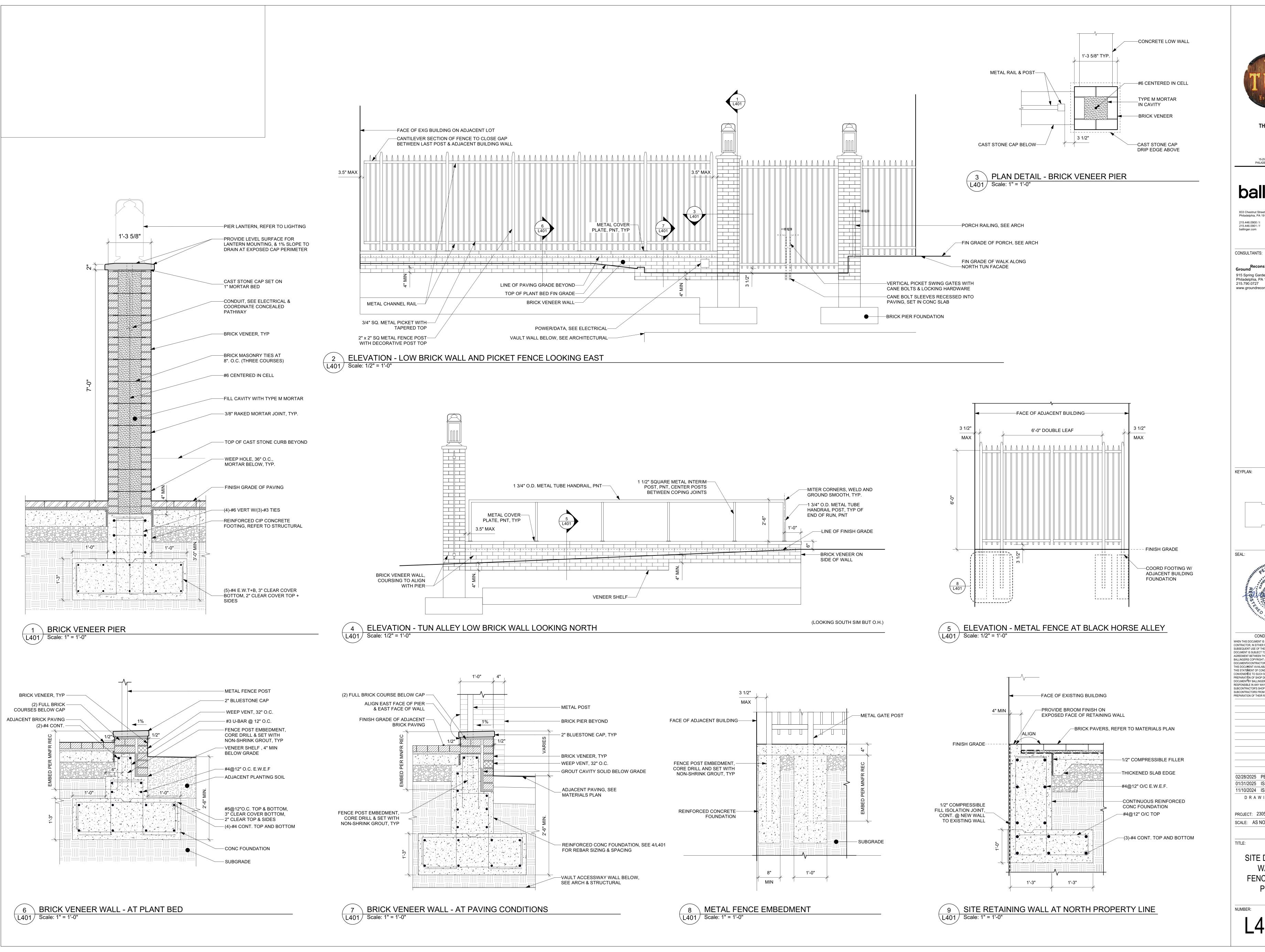
PROJECT: 23053.00

SCALE: AS NOTED

TITLE:

SITE DETAILS -PAVING, CURBS, DRAINS, ETC

L400





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PROJECT: 23053.00 SCALE: AS NOTED

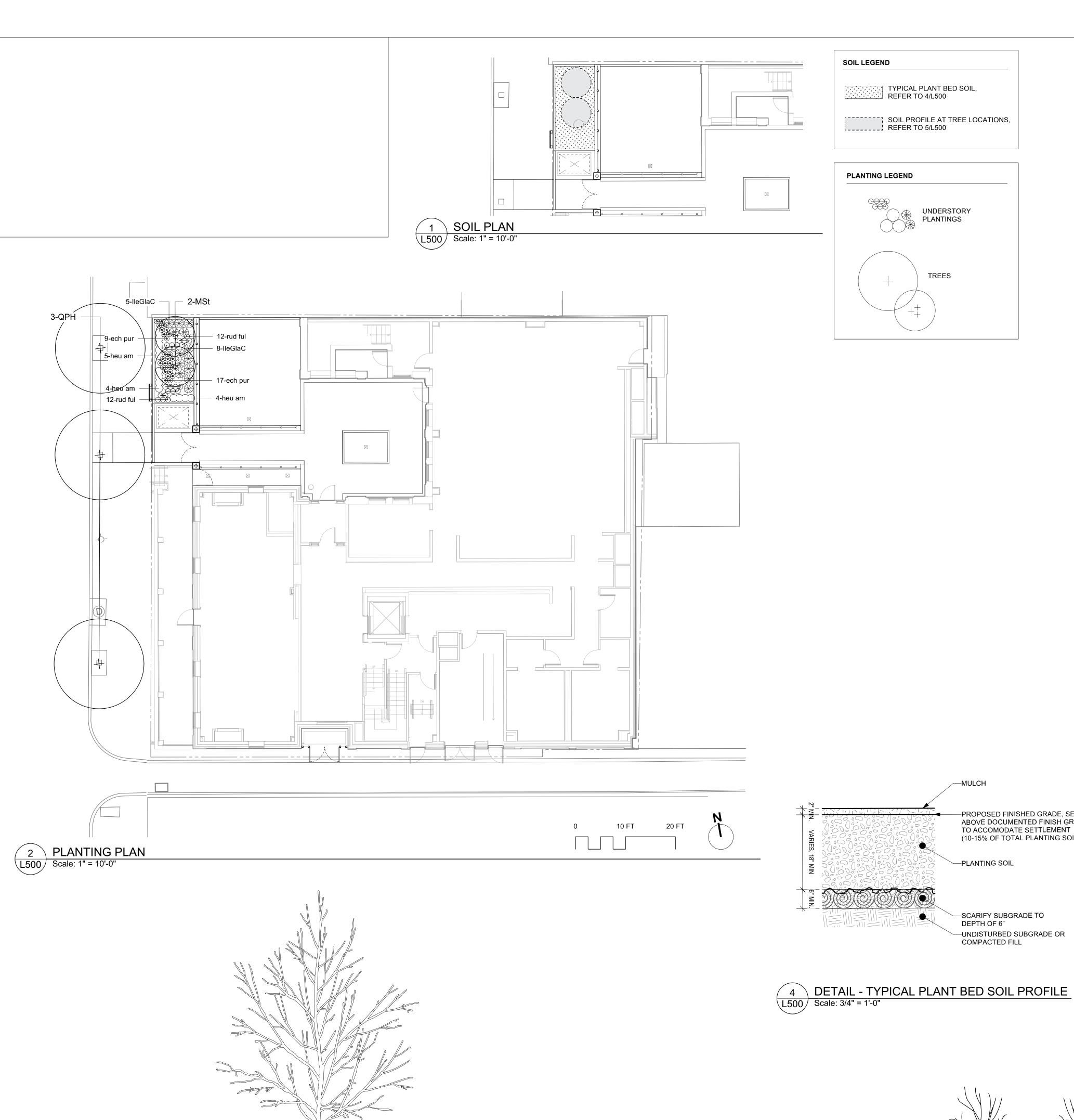
TITLE: SITE DETAILS -WALLS,

FENCES, AND

**PIERS** 

NUMBER:

L401



TOP OF ROOT BALL SHALL BE FLUSH

-PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT.

—EXISTING SOIL

—2" LAYER OF MULCH OR 3" LAYER OF

AGGREGATE ON TOP OF ROOT BALL

SURFACE AGGREATE, ASHHTO #9. NO MORE THAN 1" OF MULCH / SURFACE

18" DEPTH OF SOIL IN TREE ZONES, SEE SOIL PLAN FOR TREE ZONE EXTENTS

WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR

WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.

WITH FINISHED GRADE

—BOTTOM OF ROOT BALL RESTS ON

EXISTING OR RECOMPACTED SOIL

REMOVE TOP 2/3 WIRE BASKET, TYP. DO NOT FOLD-

DOWN WIRE. WIRE MUST BE CUT AND REMOVED

FROM HOLE. REMOVE BURLAP TO GREATEST

ROUND-TOPPED SOIL BERM 4" HIGH X 8" WIDE-

ABOVE ROOT BALL SURFACE SHALL BE

NOTES:

1. SCARIFY SUBGRADE AT SIDES AND BOTTOM OF PLANTING PIT, TYPICAL.

2. REMOVE EXCESS SOIL FROM ROOTBALL TO EXPOSE FLARE PRIOR TO SETTING ROOTBALL.

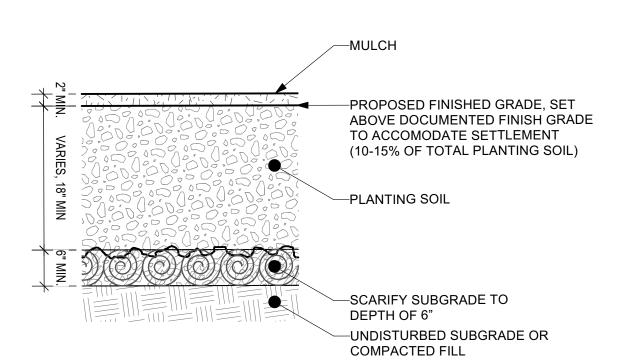
EXTENT POSSIBLE, BUT NO LESS THAN TOP 1/3.

CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY.

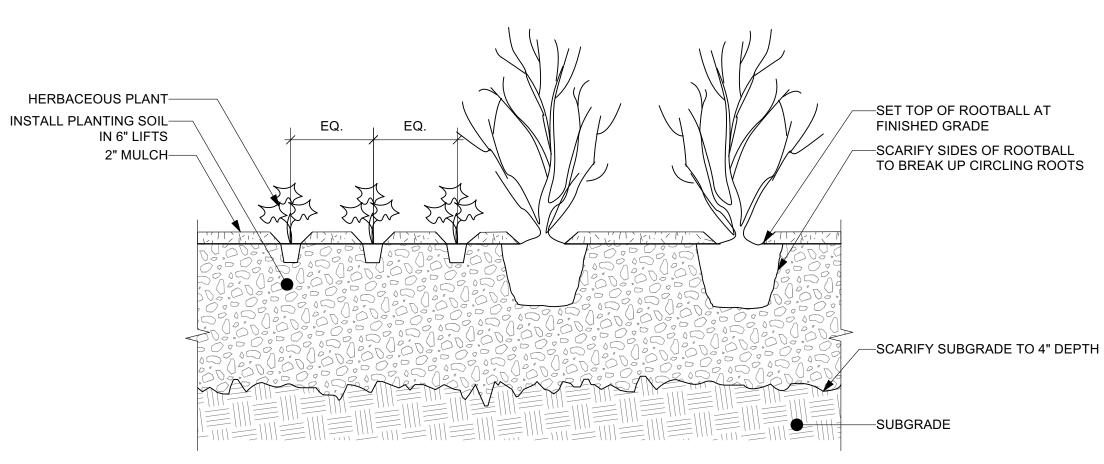
FINISHED GRADE—

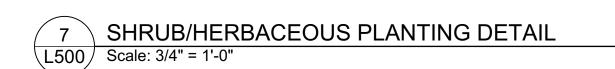
PLANTING SOIL-

6 TREE PLANTING DETAIL
L500 Scale: 3/4" = 1'-0"









## PLANTING SCHEDULE

3'x5' DECORATIVE CAST IRON TREE GRATE & FRAME

COMPACTED PLANTING SOIL UNDER -

ROOTBALL DEPTH VARIES DEPENDING ON

SIZE OF ROOTBALL - **DO NOT CUT ROOTS**.

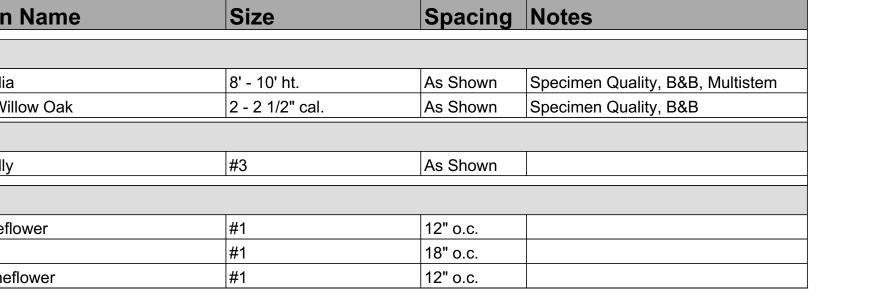
6" DIA. PERFORATED UNDERDRAIN PIPE -

USED AS RESEVOIR - NO OUTLET

ANCHORED TO PAVEMENT & ADJACENT CURB

COMPACTED SUBGRADE -

Qty	ld	Botanical Name	Common Name	Size	Spacing	Notes					
Canopy Trees											
2	MSt	Magnolia stellata	Star Magnolia	8' - 10' ht.	As Shown	Specimen Quality, B&B, Multistem					
3	QPH	Quercus phellos 'Hightower'	Hightower Willow Oak	2 - 2 1/2" cal.	As Shown	Specimen Quality, B&B					
Shrubs											
13	lleGlaC	llex glabra 'Strongbox'	Inkberry Holly	#3	As Shown						
Perennials											
A18	ech pur	Echinacea purpurea	Purple Coneflower	#1	12" o.c.						
A18	heu am	Heuchera americana 'Dale's Strain'	Coral Bells	#1	18" o.c.						
A18	rud ful	Rudbeckia fulgida var. fulgida	Orange Coneflower	#1	12" o.c.						



NOTES:

1. CENTER TREE IN OPENING

OF NEW & EXIST. PAVING.

-GEOTEXTILE FABRIC, WRAP ALL SIDES OF TREE PIT & BOTTOM ABOVE DRAINAGE LAYER -6" DIA. X 30" LONG DEADMAN

- WRAP BOTTOM & ALL SIDES

NO. 57 COURSE AGGREGATE

2. REMOVE WIRE BASKET FROM SIDES OF

PROPOSED TREE ROOTBALL. REMOVE BURLAP FROM TOP 1/2 OF ROOT BALL.

3. SCARIFY BOTTOM TRENCH PRIOR TO

INSTALLING NO. 57 COURSE AGGREGATE.

4. PROVIDE EXPANSION JT. AT INTERFACE

NONWOVEN GEOTEXTILE FILTER FABRIC



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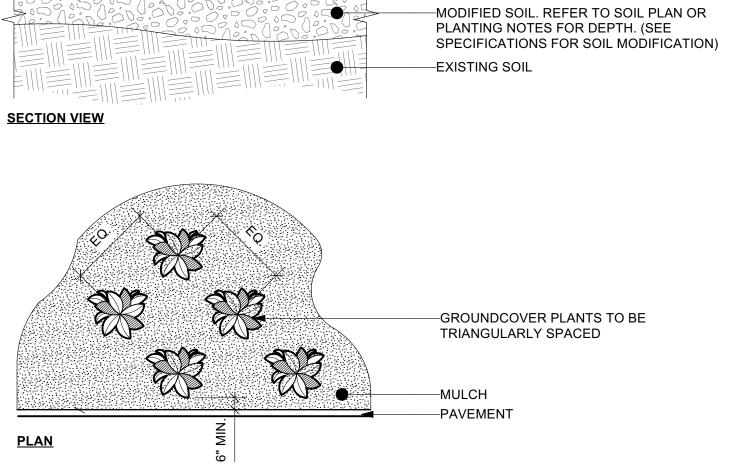
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DECORATIVE STREET TREE GRATE AT CONCRETE PAVING

PROPOSED FINISHED GRADE, SET ABOVE DOCUMENTED FINISH GRADE TO ACCOMODATE SETTLEMENT (10-15% OF TOTAL PLANTING SOIL) -PLANTING SOIL -ROOTBALL -SCARIFY SUBGRADE TO DEPTH OF 8". CREATE A TRANSITION LAYER OF 50% EXISTING SOIL / 50% PLANTING SOIL - BLEND THOROUGHLY -UNDISTURBED SUBGRADE OR COMPACTED FILL





-GROUNDCOVER

-FINISHED GRADE

—2-3" THICK LAYER OF MULCH

8 GROUNDCOVER PLANTING DETAIL L500 Scale: 3/4" = 1'-0"

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PROJECT: 23053.00

SCALE: AS NOTED

TITLE:

PLANTING PLANS, LEGENDS, AND **DETAILS** 

NUMBER: L500