

ADDRESS: 15-17 AND 19-25 S 2ND ST

Proposal: Construct three-story building

Review Requested: Review and Comment

Owner: Tun Legacy Foundation, Inc.

Applicant: Roxanne Marshall, Wolfe Scott Associates, Inc.

History: Parking lot

Individual Designation: None

District Designation: Old City Historic District, Non-contributing, 12/12/2003

Staff Contact: Jon Farnham, jon.farnham@phila.gov

OVERVIEW: This application proposes to construct a three-story structure for use as a restaurant at 15-17 and 19-25 S. 2nd Street in the Old City Historic District. The site is currently a surface parking lot and is classified as non-contributing in the historic district. Therefore, the Historical Commission's jurisdiction over the undeveloped site is review-and-comment only, meaning that the Historical Commission and its advisory Architectural Committee may offer non-binding comments on the application at public meetings, but may not approve or deny it.

The design of the proposed restaurant structure is based on the historic Tun Tavern. The historic tavern was constructed in 1683 about 250 yards southeast of the site in question. The original Tun Tavern is associated with the founding of six prominent organizations, the US Marine Corps, US Navy, Pennsylvania Freemasons, Society of St. George, St. Andrew's Society, and the Friendly Sons and Daughters of St. Patrick. The historic tavern was demolished in 1781. The design of the new structure is based on a historic drawing of Tun Tavern. The new structure would be three stories tall, clad in brick, with a gabled section along 2nd Street and a more contemporary section at the rear. An open plaza would be located at the northwest corner of the site.

SCOPE OF WORK:

- Construct a three-story building

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The new structure will be compatible with the size, massing, scale, and architectural features of the property and the Old City Historic District.

STAFF RECOMMENDATION: Approval, with the staff to review details, pursuant to Standard 9.



The Tun

Philadelphia
Historical
Commission

The Tun Legacy Foundation

MARCH 25, 2025

THE TUN

- New Construction of a 170-Seat Restaurant



THE TUN

Features:

- Re-create an Historic Maritime Tavern and Restaurant
- Coalition of Legacy Institutions Founded at The Tun
- 501(c)3 Non-Profit, Charitable Giving
- Family Restaurant for the Community and Tourists
- Educational Experience



THE TUN

Program:

- Location
- Site Photographs
- Zoning Plan
- Project Summary
- Site Plan
- Floor Plans
- Building Elevations



LOCATION
PLAN



SITE PHOTOGRAPHS

Panoramic View Looking East



SITE PHOTOGRAPHS

Second Street Looking South Toward Chestnut St



Second Street Looking North Toward Market St



SITE PHOTOGRAPHS

Second Street Looking Northeast Toward Market St



View From Site Looking Northwest

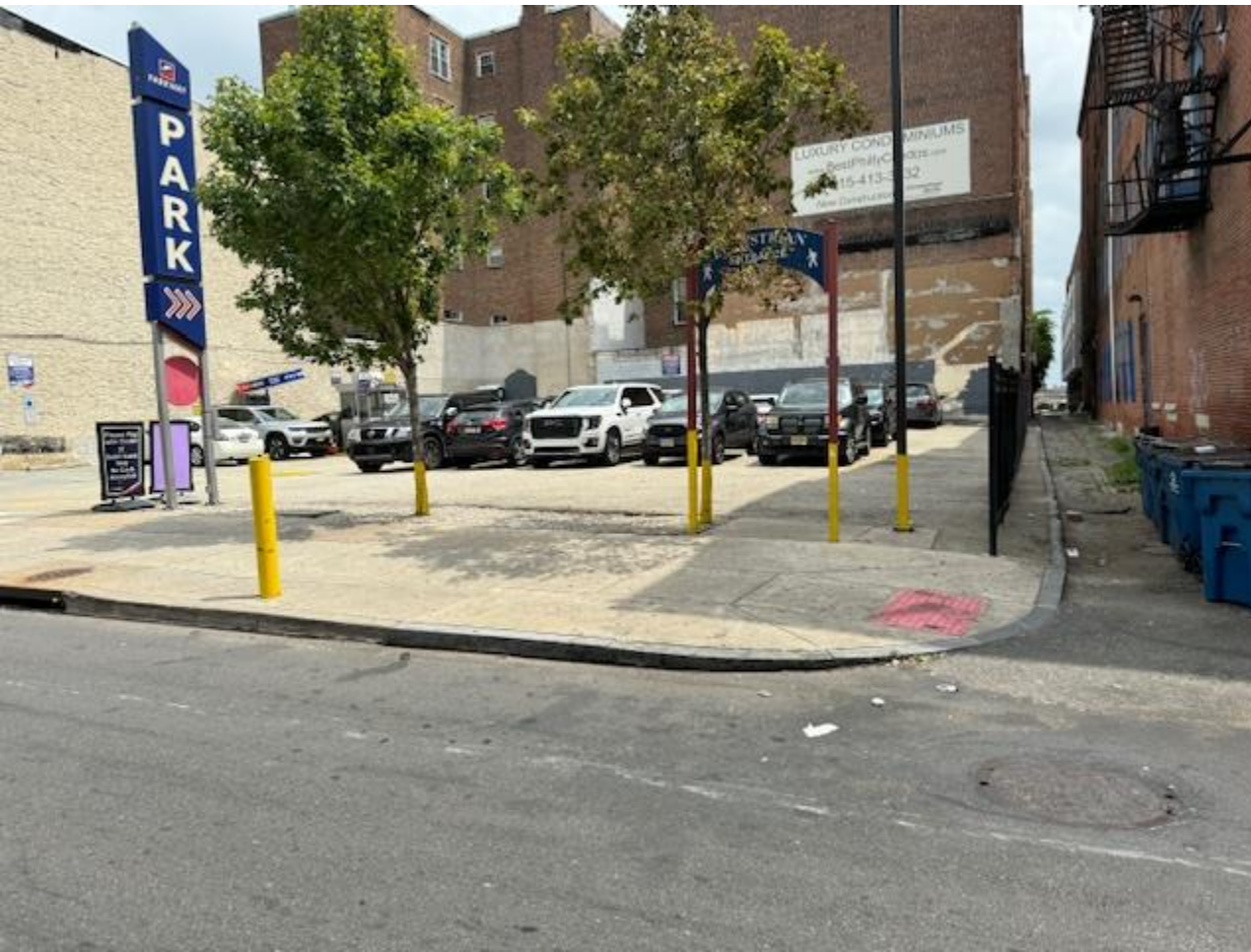


SITE PHOTOGRAPHS

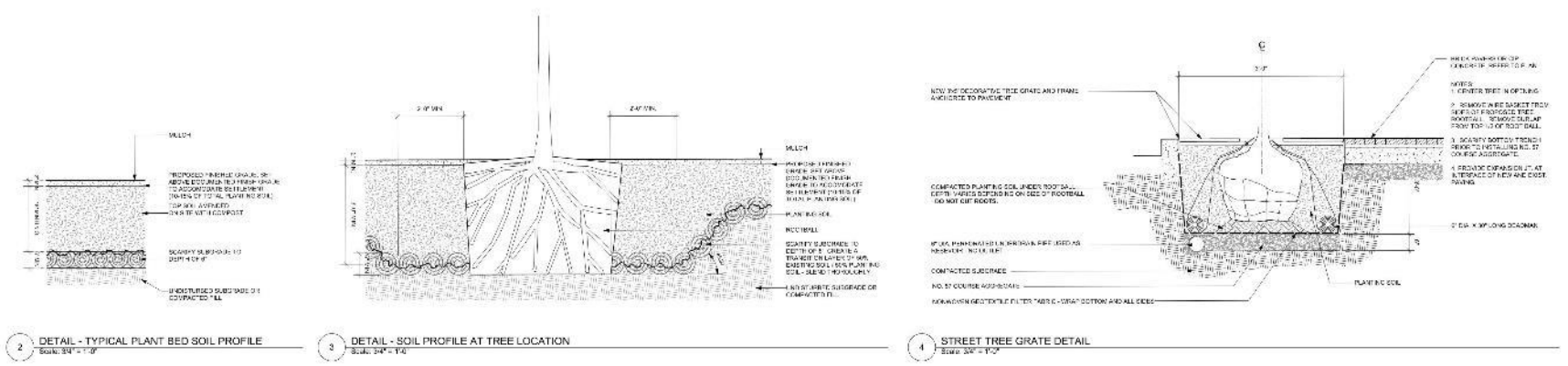
Black Horse Alley
Looking East



Site and Black Horse Alley Looking East

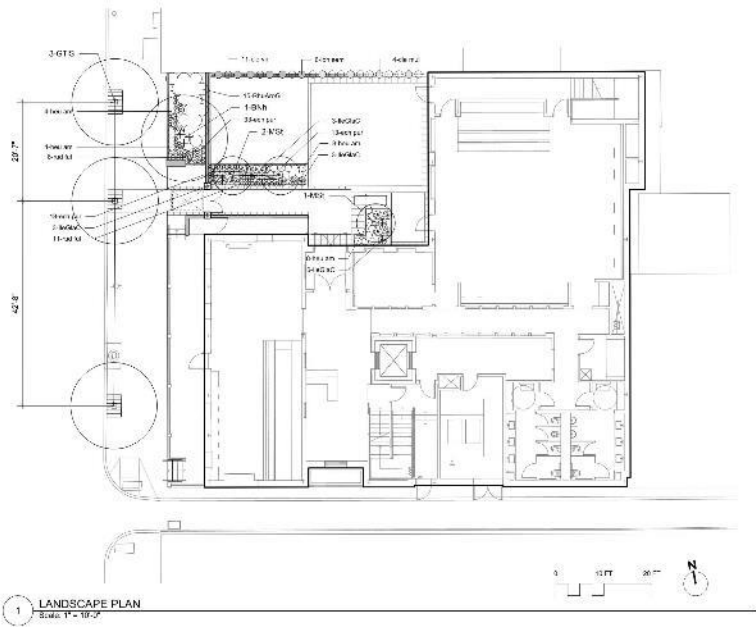
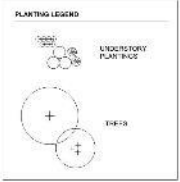


ZONING LANDSCAPE PLAN



Qty	Id	Botanical Name	Common Name	Size	Spacing	Notes
Canopy Trees						
1	B1	<i>Betula nigra</i> 'Mortgage'	Hortigo River Birch	10' - 12' h	As Shown	Specimen Quality, BAB, Multistem
3	S115	<i>Quercus laevis</i> 'Stuebelii'	Stuebelii White Oak	8' - 10' h	As Shown	Specimen Quality, BAB
3	M1	<i>Magnolia speciosa</i>	Sor Magnolia	10' - 12' h	As Shown	Specimen Quality, BAB, Multistem
Shrubs						
15	I1	<i>Ilex glabra</i> 'Sagebrush'	Red-twig Dogwood	6'	As Shown	
15	R1	<i>Rosa rugosa</i> 'Santitas'	Red-twig Dogwood	6'	As Shown	
Perennials						
15	P1	<i>Coreopsis grandiflora</i>	Golden Coreopsis	12" x 6"		
15	P2	<i>Coreopsis grandiflora</i> 'Sunny Sky'	Golden Coreopsis	12" x 6"		
15	P3	<i>Coreopsis grandiflora</i> 'Sunny Sky'	Golden Coreopsis	12" x 6"		
Vines						
15	V1	<i>Clematis vitalba</i>	Flowering Clematis	6'	As Shown	
15	V2	<i>Clematis vitalba</i>	Flowering Clematis	6'	As Shown	

LANDSCAPING REQUIREMENTS			
TYPE OF LANDSCAPING: OPEN SPACE, ZONED COMMUNITY, COMMERCIAL, INDUSTRIAL, RESIDENTIAL			
LANDSCAPING REQUIREMENTS: 1. ALL OPEN SPACE, ZONED COMMUNITY, COMMERCIAL, INDUSTRIAL, RESIDENTIAL			
OPEN SPACE (AS DEFINED BY ZONING CODE) SHALL BE 10% OF THE TOTAL LOT AREA			
NOTE: 1. ALL OPEN SPACE, ZONED COMMUNITY, COMMERCIAL, INDUSTRIAL, RESIDENTIAL			
SECTION	REQUIREMENTS	PROPOSED	
1. ALL OPEN SPACE, ZONED COMMUNITY, COMMERCIAL, INDUSTRIAL, RESIDENTIAL	1. ALL OPEN SPACE, ZONED COMMUNITY, COMMERCIAL, INDUSTRIAL, RESIDENTIAL	1. ALL OPEN SPACE, ZONED COMMUNITY, COMMERCIAL, INDUSTRIAL, RESIDENTIAL	1. ALL OPEN SPACE, ZONED COMMUNITY, COMMERCIAL, INDUSTRIAL, RESIDENTIAL
2. ALL OPEN SPACE, ZONED COMMUNITY, COMMERCIAL, INDUSTRIAL, RESIDENTIAL	2. ALL OPEN SPACE, ZONED COMMUNITY, COMMERCIAL, INDUSTRIAL, RESIDENTIAL	2. ALL OPEN SPACE, ZONED COMMUNITY, COMMERCIAL, INDUSTRIAL, RESIDENTIAL	2. ALL OPEN SPACE, ZONED COMMUNITY, COMMERCIAL, INDUSTRIAL, RESIDENTIAL



THE TUN

ballinger

PROJECT: LANDSCAPE ZONING PLAN

SCALE: 1" = 10'-0"

DATE: 11/11/2023

BY: [Signature]

LANDSCAPE ZONING PLAN

L1.0

PROJECT SUMMARY / SITE PLAN

FLOOR AREA / SF

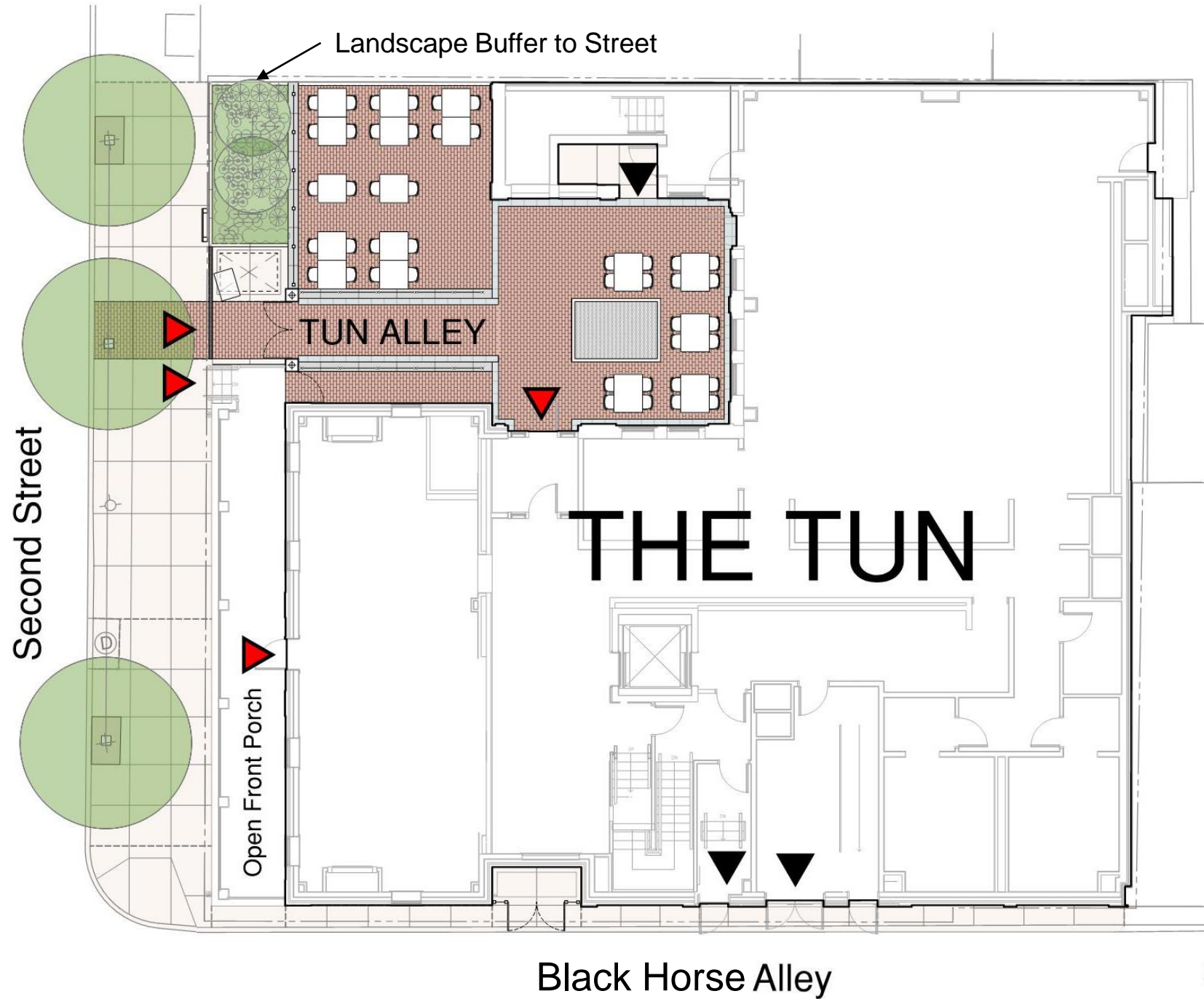
Cellar	0
First Floor	6,820
Second Floor	6,820
Third Floor	6,168
Total SF	19,808

DINING / BAR SEAT COUNT

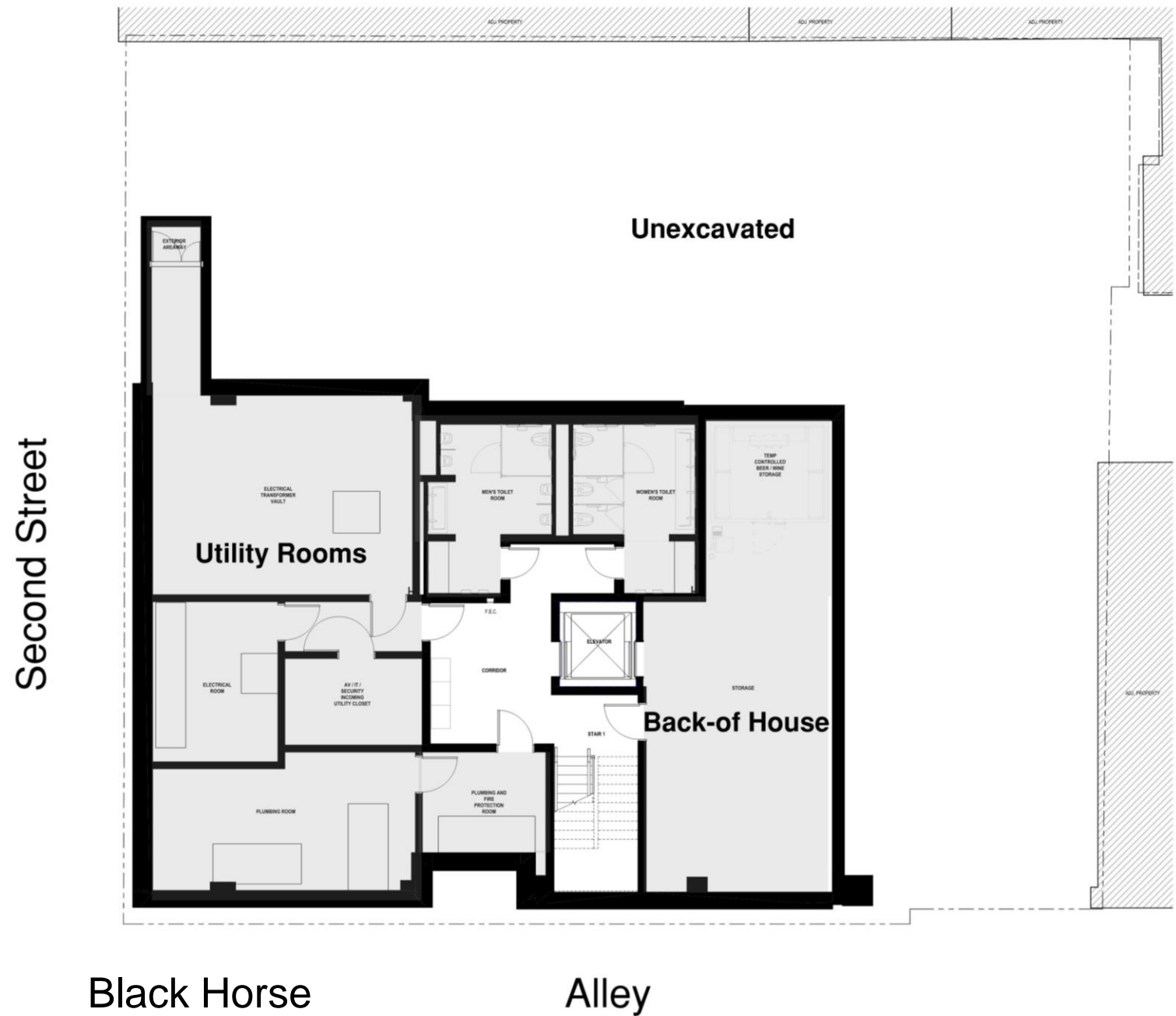
170 Dining Seats
45 Tavern and Bar Seats

SEASONAL DINING

44 Tun Alley Dining Seats
80 Third Floor Dining Seats

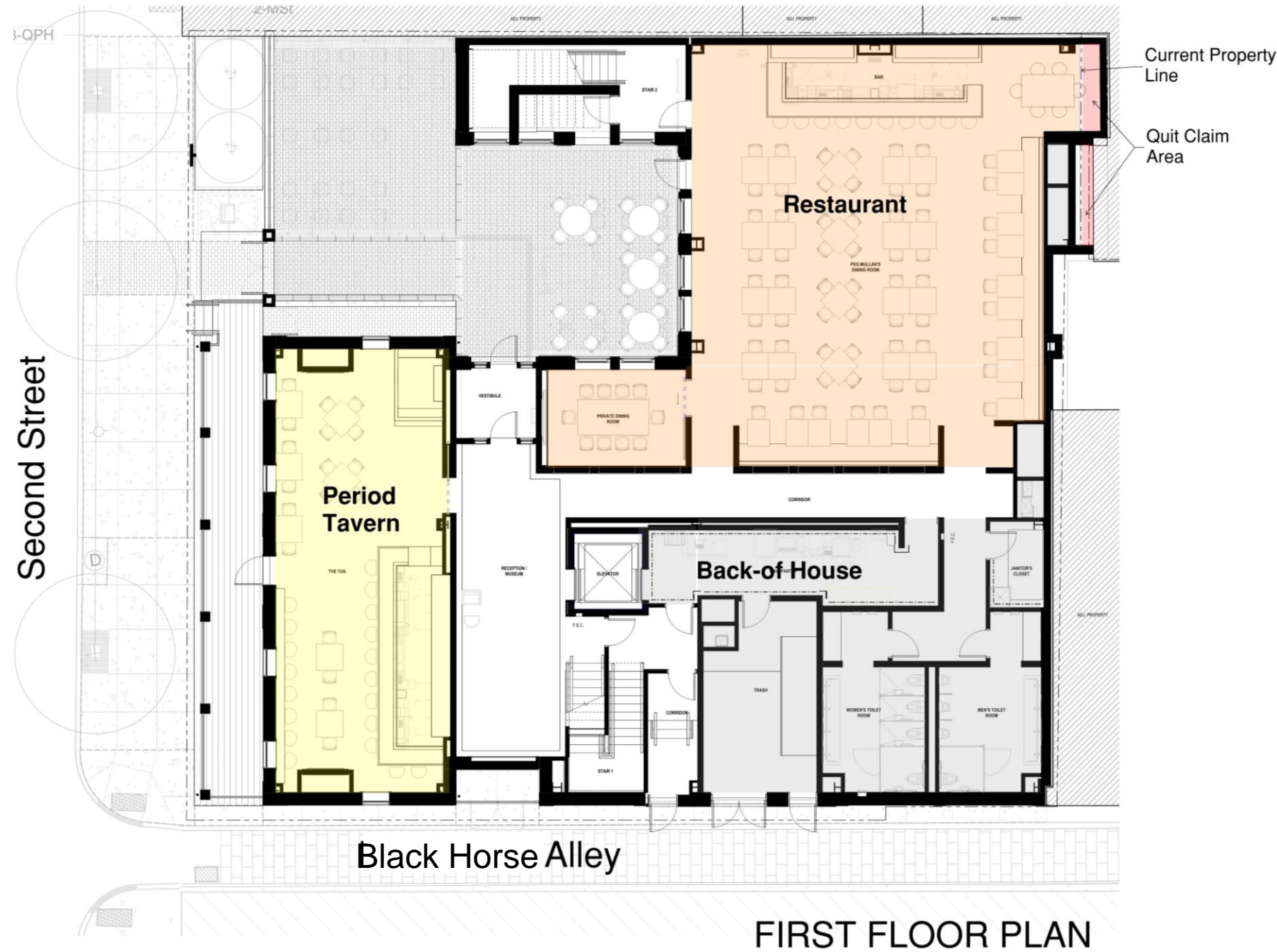


FLOOR PLANS



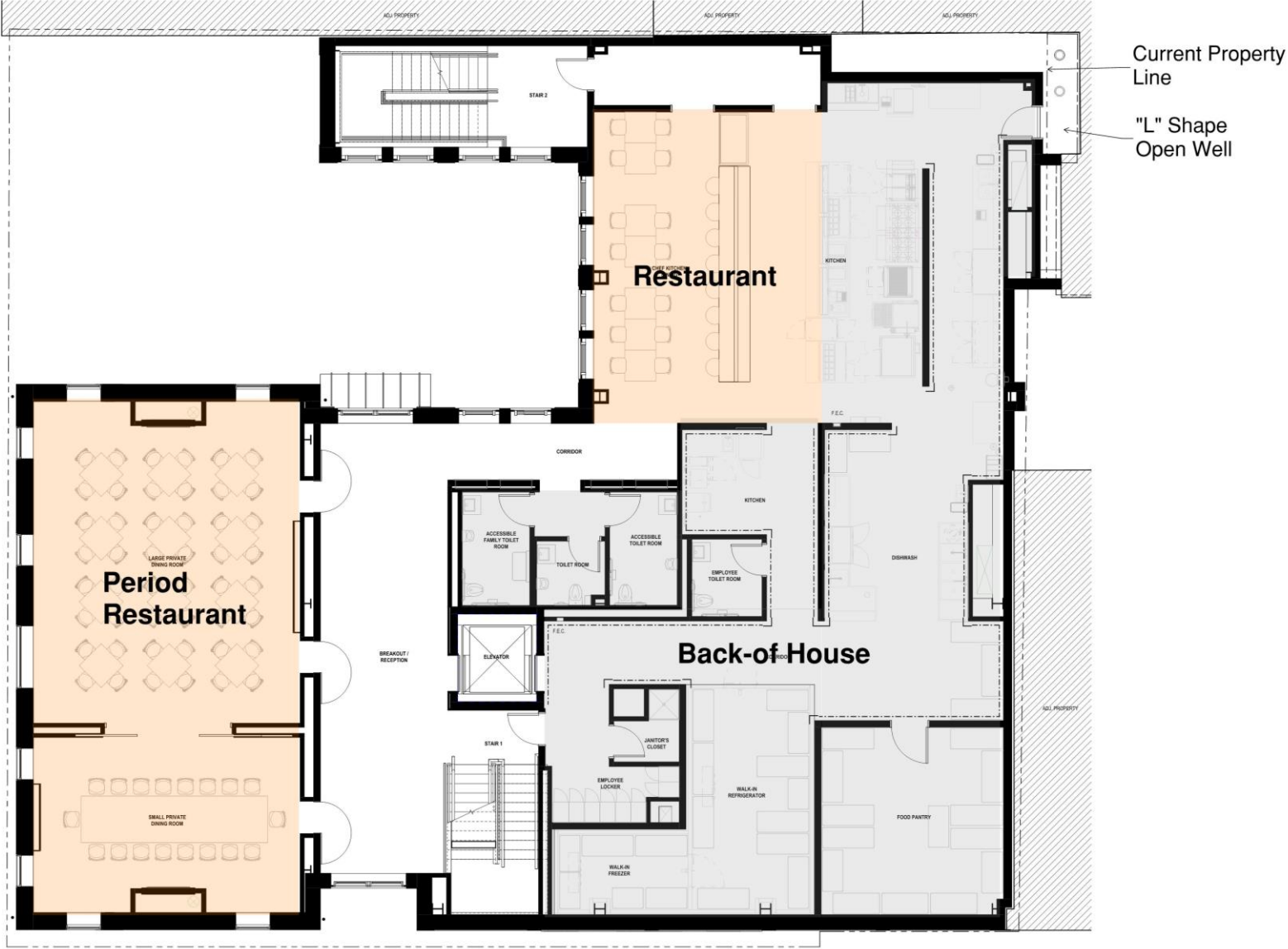
CELLAR FLOOR PLAN

FLOOR PLANS



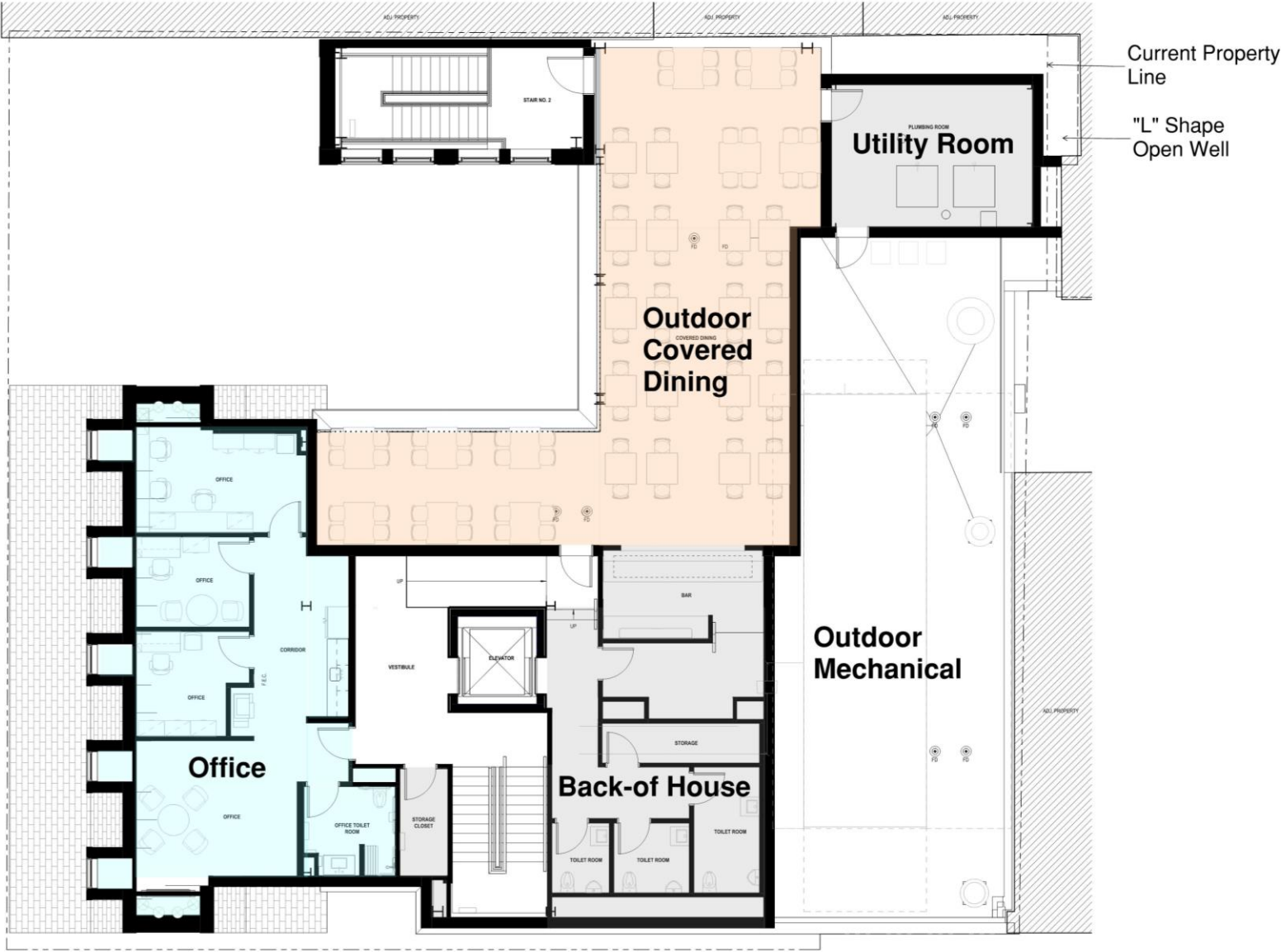
FIRST FLOOR PLAN

FLOOR PLANS



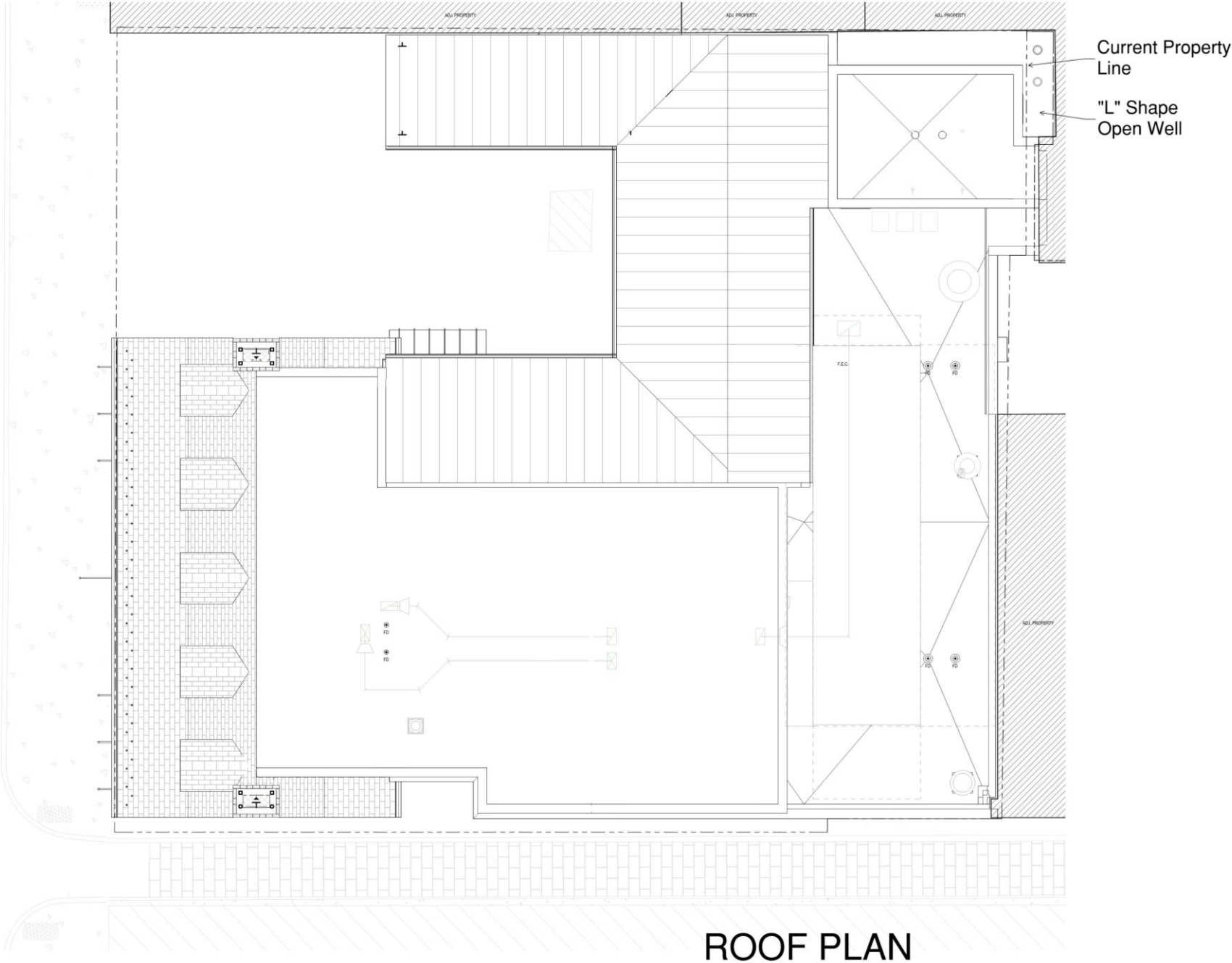
SECOND FLOOR PLAN

FLOOR PLANS



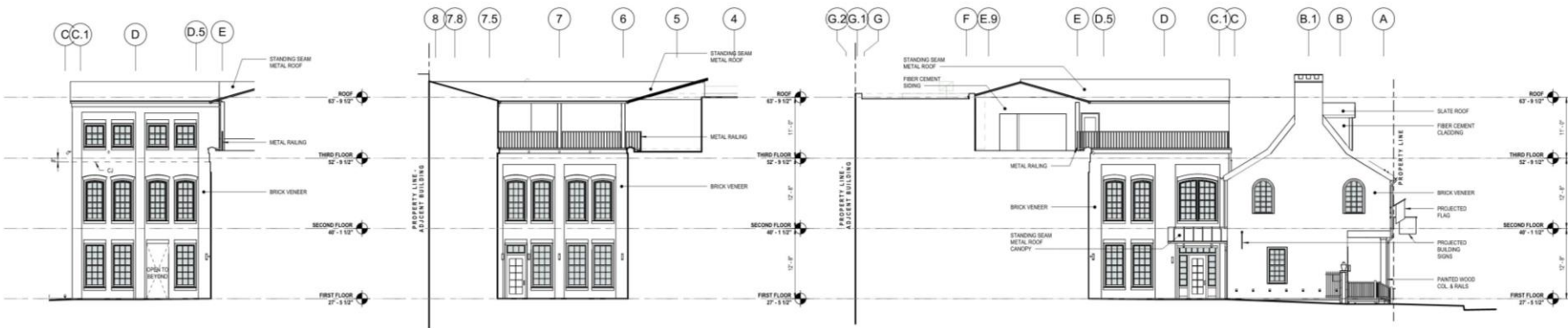
THIRD FLOOR PLAN

FLOOR PLANS



BUILDING ELEVATIONS – ZONING

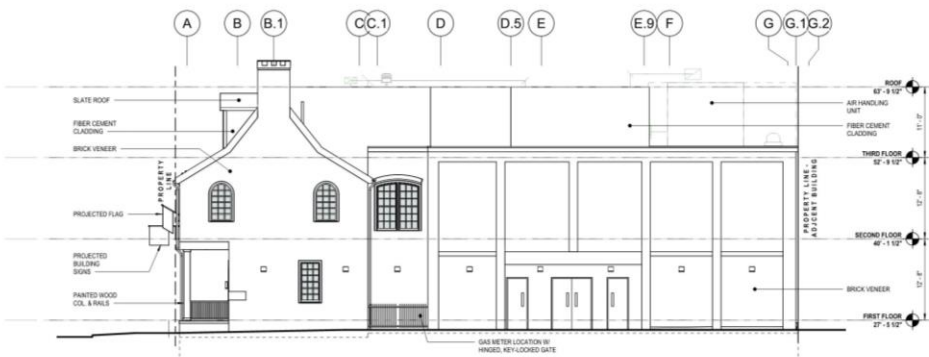
Building Height – 38’-0” Above Grade



TUN ALLEY ELEVATIONS



SECOND STREET ELEVATION



BLACK HORSE ALLEY ELEVATION

BUILDING ELEVATIONS

THE TUN

Project Schedule:

- Contract Documents Complete
- Trade Contract Award
March 2025
- Zoning Approval
April 2025
- Building Permit
May 2025
- Commence Construction
June 2025
- Grand Opening
Fall / Winter 2026



THE TUN

15-25 S 2ND ST, PHILADELPHIA, PENNSYLVANIA, 19106



THE TUN

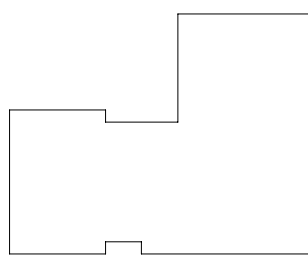
15-25 S 2ND ST
PHILADELPHIA, PA 19106

ballinger

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Philadelphia, PA 19107
215.446.0000 / f
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ballinger.com

CONSULTANTS:

KEYPLAN:



SEAL:



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02/28/2025 PERMIT SET
01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: 12" = 1'-0"
ARCHITECTURE
TITLE:

COVER SHEET

NUMBER:

CS001

SYMBOLS

ENLARGED PLAN LOCATOR ENLARGED SECTION/DETAIL LOCATOR		LOCATOR "SIMILAR" WHERE APPLICABLE INDEX NUMBER SHEET NUMBER
EXTERIOR ELEVATION LOCATOR		DIRECTION ARROW INDEX NUMBER/NAME SHEET NUMBER
INTERIOR ELEVATION LOCATOR		INDEX NUMBER/NAME DIRECTION ARROW SHEET NUMBER
BUILDING SECTION LOCATOR		"SIMILAR" WHERE APPLICABLE DIRECTION INDICATOR INDEX NUMBER SHEET NUMBER
DETAIL SECTION LOCATOR		"SIMILAR" WHERE APPLICABLE INDEX NUMBER SHEET NUMBER
DIMENSIONS		DIRECTION INDICATOR DIMENSION TO FACE
ROOM NAME TAG		ROOM NAME ROOM NUMBER
TOILET ACCESSORY TYPES		TYPE KEY SEE SPECIFICATIONS
DOOR NUMBERS		DOOR NUMBER SEE DOOR SCHEDULE IN SPEC
PARTITION TYPES		PARTITION TYPE
DEMOLITION SYMBOLS		EXISTING WALL TO REMAIN EXISTING WALL TO BE REMOVED EXISTING DOOR TO REMAIN EXISTING DOOR TO BE REMOVED
COLUMN GRID LINES		NEW COLUMN LINE EXISTING COLUMN LINE
FLOOR LEVEL/ DATUM LEVEL INDICATOR		NOTE: ALL EXISTING ELEVATIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION
FIRE SEPARATION TYPES		1 HOUR 2 HOUR 3 HOUR SMOKE PARTITION

CONSULTANTS

CIVIL ENGINEER:

PENNONI
1900 MARKET STREET, SUITE 300
PHILADELPHIA, PA 19103

LIGHTING DESIGN:

THE LIGHTING PRACTICE
123 SOUTH BROAD STREET, SUITE 2320
PHILADELPHIA, PA 19109

ACOUSTICS / VIBRATION:

SHEN MILSOM & WILKE LLC
44 PRINCETON HEIGHTS TOWN ROAD
PRINCETON JUNCTION, NJ 08536

LANDSCAPE ARCHITECT:

GROUND RECONSIDERED
915 SPRING GARDEN, SUITE 403
PHILADELPHIA, PA 19123

FOOD SERVICE:

CORSI ASSOCIATES
1001 BALTIMORE PIKE, SUITE 308
SPRINGFIELD, PA 19064

HISTORIC CONSULTANT:

RICHARD GRUBB & ASSOCIATES, INC.
259 PROSPECT PLAINS ROAD, BUILDING D
CRANBURY, NJ 08512



THE TUN

15-25 S 2ND ST, PHILADELPHIA, PENNSYLVANIA, 19106

ABBREVIATIONS

ABBREV.	ABBREVIATION NAME	ABBREV.	ABBREVIATION NAME	ABBREV.	ABBREVIATION NAME
&	AND	FB	FLOOR BOX	Q.C.	QUALITY CONTROL
@	AT	FDC	FIRE DEPARTMENT CONNECTION	QT	QUARRY TILE
A.E.S.S.	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL	FDV	FIRE DEPARTMENT VALVE	QTY	QUANTITY
A.F.F.	ABOVE FINISHED FLOOR	FE	FIRE EXTINGUISHER (MULTIPURPOSE)	R	RISER
A.H.U.	AIR HANDLING UNIT	FE2	FIRE EXTINGUISHER (CARBON DIOXIDE)	R.C.P.	REFLECTED CEILING PLAN
A.V.B.	AIR & VAPOR BARRIER	FEC	FIRE EXTINGUISHER CABINET	R.D.	ROOF DRAIN
ABV	ABOVE	FFE	FURNITURE, FIXTURES AND EQUIPMENT	R.O.	ROUGH OPENING
ALUM.	ALUMINUM	FHC	FIRE HOSE CABINET	R.T.	REVEAL TRIM
ANOD.	ANODIZED	FIN.	FINISH	RA	ROOF ANCHOR (SAFETY TIEBACK)
APC	ACOUSTICAL PANEL CEILING	FLR.	FLOOR	RAD	RADIUS
APPROX.	APPROXIMATE	FLSH	FLASHING	RAF	RAISED ACCESS FLOOR
APS	ALARM PULL STATION	FP	FIRE PROTECTION	RCPT	RECEPTACLE
APVD	APPROVED	FPD	FLAT PANEL DISPLAY	RD/OD	ROOF DRAIN OVERFLOW DRAIN COMBINATION
AVFB	AUDIO/VISUAL FLOOR BOX	FRAP	FIRE RATED ACCESS PANEL	REF.	REFERENCE
B.O.D.	BASIS OF DESIGN	FRC	FIBER REINFORCED CONCRETE PANELS	REINF.	REINFORCED
BD.	BOARD	FT	FOOT	REM.	REMOVABLE
BITUM.	BITUMINOUS	G.A.C.W.	GLAZED ALUMINUM CURTAIN WALL	REQD	REQUIRED
BLDG.	BUILDING	G.W.B.	GYPSUM WALL BOARD	RESIL	RESILIENT
BLKG.	BLOCKING	GA	GAUGE	REV	REVISION
BM	BEAM	GALV.	GALVANIZED	RFG	ROOFING
BRS	BACKER ROD AND SEALANT	GEN	GENERATOR	RFM	RECESSED FLOOR MAT
CFLSH	COUNTER FLASHING	GFRG	GLASS FIBER REINFORCED CONCRETE	RG	RETURN GRILLE
C.G.	CORNER GUARD	GL	GLASS	RLF	RELIEF
C.J.	CONTROL JOINT	GRG	GLASS REINFORCED GYPSUM	RR	RETURN REGISTER
C.M.U.	CONCRETE MASONRY UNIT	GYP	GYPSUM	RS	ROLLER SHADE
CA	COMPRESSED AIR	H	HIGH	RWC	RAINWATER CONDUCTOR
CAB.	CABINET	HB	HOSE BIB	S	SOUTH
CD	CEILING DIFFUSER	HDG	HOT DIPPED GALVANIZED	S.A.	SHELF ANGLE (CONTINUOUS)
CEM	CEMENT	HDW	HARDWARE	S.F.	SQUARE FOOT
CF	COLD-FORMED	HM	HOLLOW METAL	S.O.	STOREFRONT OPENING
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	HORIZ.	HORIZONTAL	S.S.	STAINLESS STEEL
CFM	CUBIC FEET PER MINUTE	HP	HIGH POINT	SAN	SANITARY
CH	CEILING HEIGHT	HT	HEIGHT	SCHED	SCHEDULE
CL	CENTER LINE	HW	HOT WATER	SFFA	SQUARE FOOT FREE AREA
CLG.	CEILING	I.D.	INSIDE DIAMETER	SGP	SPANDREL GLASS PANEL
CLR	CLEAR	I.G.U.	INSULATED GLASS UNIT	SIM	SIMILAR
CO	CLEANOUT	IGRS	INTERIOR GLASS RAILING SYSTEM	SLV	SLEEVE
COL.	COLUMN	IGWS	INTERIOR GLASS WALL SYSTEM	SPECS	SPECIFICATIONS
COMP.	COMPOSITE	IMP	INSULATED METAL PANEL	SQ	SQUARE
CONC.	CONCRETE	INCAND	INCANDESCENT	SR	SUPPLY REGISTER
CONT.	CONTINUOUS	INFO	INFORMATION	SSM	SOLID SURFACE MATERIAL
COORD.	COORDINATE	INSUL	INSULATION / INSULATED	STL	STEEL
CPT	CARPET	INT	INTERIOR	STN	STONE
CR	CARD READER	INVT	INVERT	STOR.	STORAGE
CT	CERAMIC TILE	JC	JANITORS CLOSET	STRUCT.	STRUCTURE
CVT	CONDUCTIVE VINYL TILE	JT	JOINT	STW	STORM WATER
CW	COLD WATER	LAM	LAMINATE	T	TREAD
D	DEPTH	LBL	LABEL	T.O.	TOP OF
DBL	DOUBLE	LNTL	LINTEL	T.O.S.	TOP OF STEEL
DIA.	DIAMETER	LTG.	LIGHTING	TELE	TELEPHONE
DIM.	DIMENSION	MAS	MASONRY	TEMP	TEMPORARY
DIV.	DIVISION	MAX.	MAXIMUM	TG	TRANSFER GRILLE
DL	DEAD LOAD	MECH.	MECHANICAL	TYP.	TYPICAL
DN	DOWN	MFR.	MANUFACTURER	U.C.	UNDER COUNTER
DP	DAMP PROOFING	MIN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
DR	DOOR	MISC.	MISCELLANEOUS	V	VINYL
DTL.	DETAIL	MTL	METAL	V.I.F.	VERIFY IN FIELD
DWG.	DRAWING	MW	MILLWORK	VAC	VACUUM
E.O.S.	EDGE OF SLAB	N	NORTH	VB	VAPOR BARRIER
E.W.C.	ELECTRIC WATER COOLER	N.I.C.	NOT IN CONTRACT	VCT	VINYL COMPOSITE TILE
EF	ELASTOMERIC FLASHING	N.T.S.	NOT TO SCALE	VERT	VERTICAL
EJ	EXPANSION JOINT	NO.	NUMBER	VEST	VESTIBULE
ELEC.	ELECTRIC	O.C.	ON CENTER	VGP	VISION GLASS PANEL
ELEV.	ELEVATION	O.H.	OPPOSITE HAND	VNT	VENT
EP	EMERGENCY PHONE	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED	VR	VAPOR RETARDER
EPS	EXPANDED POLYSTYRENE	OFOI	OWNER FURNISHED, OWNER INSTALLED	W	WIDE
EQ.	EQUAL	OPNG	OPENING	W.C.	WATER CLOSET
EQUIP.	EQUIPMENT	OPP	OPPOSITE	W.O.	WINDOW OPENING
ER	EXHAUST REGISTER	ORD	OVERFLOW ROOF DRAIN	W.T.	WOOD TRIM
ERS	EXTERIOR ROLLER SHADE	PL	PLATE	W.W.F.	WELDED WIRE FABRIC
EW	EACH WAY	PLAM	PLASTIC LAMINATE	W	WITH
EXH	EXHAUST	PLUMB.	PLUMBING	W/O	WITHOUT
EXIST.	EXISTING	PLYWD	PLYWOOD	WBL	WOOD BLOCKING
EXTING.	EXTINGUISHER	PNL	PANEL	WD	WOOD
F.F.	FINISHED FLOOR	PR	PAIR	WK	WORK
F.O.	FACE OF	PRCST	PRECAST	WP	WATERPROOF (ING)
F.O.G.	FACE OF GLASS	PREP	PREPARE / PREPARATION	WPT	WORKPOINT
F.O.S.	FACE OF STUD	PS	PROJECTION SCREEN	WR	WEATHER RESISTANT
F.O.W.	FACE OF WALL	PT	POKE THRU (ELEC./DATA)	WTHP	WEATHERPROOF
FA	FIRE ALARM	PTD.	PAINTED	XPS	EXTRUDED POLYSTYRENE
		PTN	PARTITION		

DRAWING LIST

	ISSUE 2 - 11/10/2024	ISSUE 3 - 01/31/2024
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CS002	DRAWING LIST	-
LS101	LIFE SAFETY PLANS AND CODE INFORMATION	-
LS102	FIREPROOFING PLANS	-

CIVIL		
CS0001	COVER SHEET	-
CS0201	EXISTING CONDITIONS PLAN	-
CS0501	DEMOLITION PLAN	-
CS1001	SITE PLAN	-
CS1501	GRADING PLAN	-
CS1701	UTILITY PLAN	-
CS6001	SITE DETAILS	-
CS6002	SITE DETAILS	-
CS6003	SITE DETAILS	-
CS8001	EROSION & SEDIMENT CONTROL PLAN	-
CS8501	EROSION & SEDIMENT CONTROL DETAILS	-
CS8502	EROSION & SEDIMENT CONTROL NOTES	-

LANDSCAPE		
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L200	LANDSCAPE PLANS	-
L400	SITE DETAILS - PAVING, CURBS, AND STONE ELEMENTS	-
L401	SITE DETAILS - WALLS, FENCES, AND PIERS	-
L402	SITE DETAILS - NORTH COURTYARD FENCE	-
L500	PLANTING PLANS, LEGENDS, AND DETAILS	-

STRUCTURAL		
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S002	LIVE LOAD DIAGRAMS, ABBREVIATIONS, AND SYMBOLS	-
S003	SNOW LOAD DIAGRAMS	-
S004	EXTERIOR COMPONENTS & CLADDING WIND LOAD DIAGRAMS	-
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S101	FIRST FLOOR FRAMING PLAN	-
S102	SECOND FLOOR FRAMING PLAN	-
S103	THIRD FLOOR FRAMING PLAN	-
S104	ROOF FRAMING PLAN	-
S501	TYPICAL FOUNDATION SECTIONS AND DETAILS	-
S502	TYPICAL FOUNDATION SECTIONS AND DETAILS	-
S503	TYPICAL PILE CAP DETAILS	-
S504	TYPICAL GRADE BEAM DETAILS	-
S505	FOUNDATION SECTIONS AND DETAILS	-
S506	FOUNDATION SECTIONS AND DETAILS	-
S511	TYPICAL SUPERSTRUCTURE SECTIONS AND DETAILS	-
S512	TYPICAL SUPERSTRUCTURE SECTIONS AND DETAILS	-
S513	TYPICAL SUPERSTRUCTURE SECTIONS AND DETAILS	-
S514	SUPERSTRUCTURE SECTIONS AND DETAILS	-
S515	SUPERSTRUCTURE SECTIONS AND DETAILS	-
S516	SUPERSTRUCTURE SECTIONS AND DETAILS	-
S601	COLUMN SCHEDULE	-

ARCHITECTURE		
AS101	SITE PLAN	-
CP100	CELLAR CONTROL PLAN	-
CP101	FIRST FLOOR CONTROL PLAN	-
CP102	SECOND FLOOR CONTROL PLAN	-
CP103	THIRD FLOOR CONTROL PLAN	-
CP104	ROOF CONTROL PLAN	-
A100	CELLAR PLAN	-
A101	FIRST FLOOR PLAN	-
A102	SECOND FLOOR PLAN	-
A103	THIRD FLOOR PLAN	-
A104	ROOF PLAN	-
A201	BAR DETAIL PLANS AND ELEVATIONS - THE TUN BAR	-
A202	BAR DETAIL PLANS AND ELEVATIONS - CAGED BAR	-
A203	BAR DETAIL PLANS AND ELEVATIONS - PEG MULLANS BAR	-
A204	BAR DETAIL PLANS AND ELEVATIONS - CHEF'S KITCHEN BAR	-
A211	STAIR 1 PLANS AND ELEVATIONS	-
A212	STAIR 1 DETAILS	-
A213	STAIR 2 PLANS AND ELEVATIONS	-
A214	STAIR 2 DETAILS	-
A215	ELEVATOR PLANS, ELEVATIONS, AND DETAILS	-
A220	CELLAR TOILET ROOMS ENLARGED PLANS AND ELEVATIONS	-
A221	FIRST FLOOR TOILET ROOMS ENLARGED PLANS AND ELEVATIONS	-
A222	SECOND FLOOR TOILET ROOMS ENLARGED PLANS AND ELEVATIONS	-
A223	THIRD FLOOR TOILET ROOMS ENLARGED PLANS AND ELEVATIONS	-
A301	INTERIOR ELEVATIONS	-
A302	EXTERIOR ELEVATIONS	-

	ISSUE 2 - 11/10/2024	ISSUE 3 - 01/31/2024
ARCHITECTURE (CONTINUED)		
A401	BUILDING SECTIONS	-
A402	BUILDING SECTIONS	-
A411	WALL SECTIONS	-
A412	WALL SECTIONS	-
A413	WALL SECTIONS	-
A501	EXTERIOR SYSTEMS	-
A510	EXTERIOR DETAILS	-
A511	EXTERIOR DETAILS	-
A521	ROOF DETAILS	-
A601	PARTITION SCHEDULE	-
A610	FINISH SCHEDULE	-
A611	DOOR AND WINDOW SCHEDULE AND DETAILS	-
A700	CELLAR REFLECTED CEILING PLAN	-
A701	FIRST FLOOR REFLECTED CEILING PLAN	-
A702	SECOND FLOOR REFLECTED CEILING PLAN	-
A703	THIRD FLOOR REFLECTED CEILING PLAN	-
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A800	CELLAR AND FIRST FLOOR INTERIOR ELEVATIONS	-
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A811	INTERIOR DETAILS - MILLWORK	-
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A901	FIRST FLOOR FINISH PLAN	-
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EL101B	FIRST FLOOR LIGHTING PLAN - MILLWORK	-
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EL603	LIGHTING FIXTURE SCHEDULE	-
EL604	LIGHTING FIXTURE SCHEDULE	-
EL605	LIGHTING FIXTURE SCHEDULE	-
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T123	TELECOMMUNICATIONS REFLECTED CEILING PLAN - LEVEL 3	-
T501	TELECOMMUNICATIONS DETAILS	-
T125	TELECOMMUNICATIONS DOOR DETAILS	-



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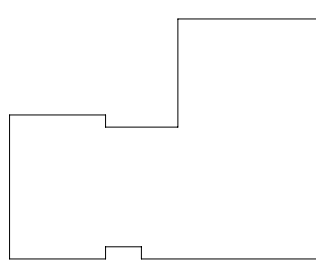
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02/28/2025 PERMIT SET
01/31/2025 ISSUE 3
11/10/2024 ISSUE 2

D R A W I N G I S S U E

PROJECT: 23053.00

SCALE:

ARCHITECTURE

TITLE:



THE TUN

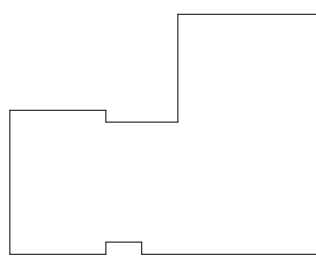
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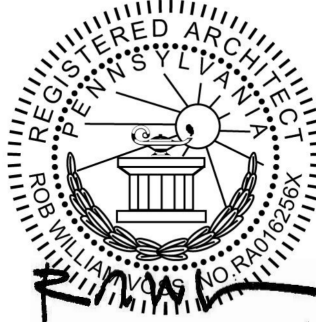
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02/28/2025 PERMIT SET
01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: 1/8" = 1'-0"
ARCHITECTURE
TITLE:

SITE PLAN

NUMBER:

AS101

2ND STREET
(LEGALLY OPEN ON CITY PLAN)
(50'-WIDE R.O.W.)
(12'-26'-12")
N 11° 21' 00" E

MARKET STREET
(LEGALLY OPEN 100')
(ON CITY PLAN VARIABLE R.O.W. WIDTH)
S 78° 48' 30" E

LANDS N/F
RUTH ZAFRIR
13 S 2ND ST
OPA #871008650
BLOCK 1S20 LOT 27
DB 1094 PG 44
980± SQ FT

LANDS N/F
LOFTS CONDOMINIUM
6-10 LETITIA ST
BLOCK 1S20 LOT 272
DOC #61525900

LANDS N/F
BLACKHORSE CONDOMINIUM
12-16 LETITIA ST
BLOCK 1S20 LOT 293

BLACK HORSE ALLEY
(LEGALLY OPEN ON CITY PLAN)
(VARIABLE R.O.W. WIDTH)
N 78° 48' 30" W

JOINTING LEGEND

1/8" = 1'-0" 1 SITE PLAN
A-SP-Site Plan



THE TUN

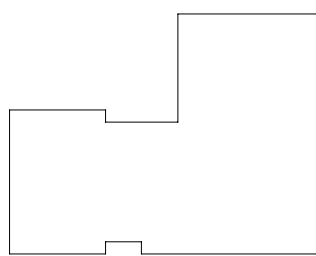
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02/28/2025 PERMIT SET

01/31/2025 ISSUE 3

11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

Author

TITLE:

CELLAR CONTROL PLAN

NUMBER:

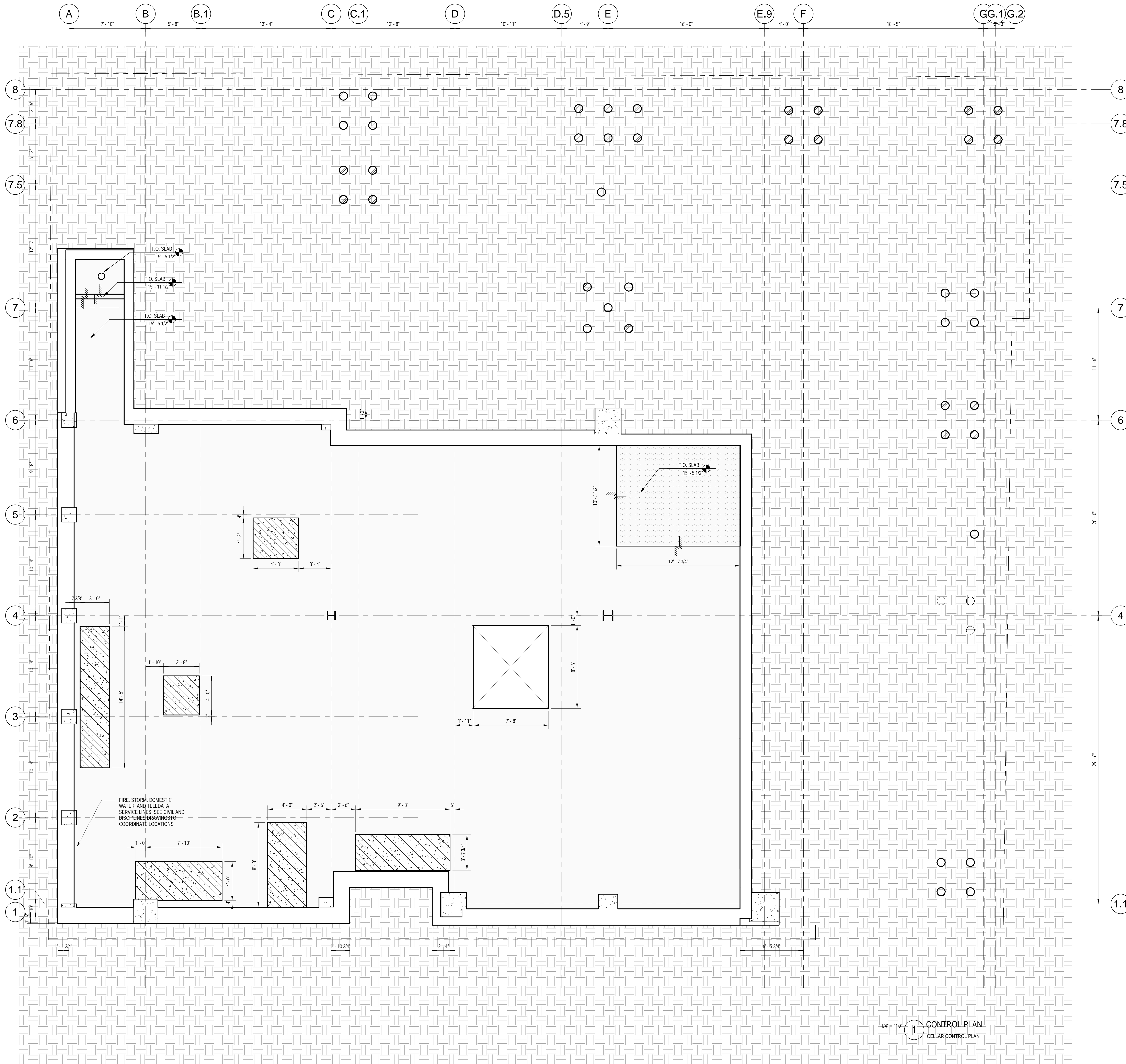
CP100

CONTROL PLAN LEGEND

	SLAB DEPRESSION
	DELAYED POUR
	EQUIPMENT PAD, 4" HIGH U.N.O. COORDINATE SIZE & LOCATIONS W/ MEP DWGS
	FLOOR BOX
	FLOOR DRAIN
	ROOF DRAIN
	FLOOR SINK
	POKE THRU

CONTROL PLAN GENERAL NOTES

- REFER TO SITE PLANS AND CIVIL DRAWINGS FOR BUILDING LOCATION INFORMATION.
- CONTROL PLAN DRAWINGS ARE TO BE USED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND RESOLVE SUCH DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- ALL SLAB ELEVATIONS ARE GIVEN TO THE TOP OF CONCRETE.
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION DESIGN AND DETAILS, CONCRETE REINFORCEMENT, EXTENT OF FOUNDATION AND TYPICAL SLAB / DECK CONSTRUCTION INFORMATION.
- PENETRATIONS, RECESSED FLOOR BOXES AND FRAMED OPENINGS IN THE SLAB / DECK / WALLS ARE NOT LIMITED TO THOSE INDICATED ON THE CONTROL PLAN DRAWINGS. SEE ARCHITECTURAL FLOOR PLANS IN CONJUNCTION WITH ALL OTHER DISCIPLINES' DRAWINGS, INCLUDING BUT NOT LIMITED TO MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL AND IT / SECURITY / AV DRAWINGS, FOR ANY ADDITIONAL REQUIRED PENETRATIONS, RECESSED DEVICES / FIXTURES AND / OR OPENINGS. ALL PIPES / CONDUIT THROUGH CONCRETE STRUCTURE ARE REQUIRED TO BE SLEEVED PRIOR TO THE CONCRETE PLACEMENT - REFER TO STRUCTURAL DRAWINGS FOR LIMITATION AND TYPICAL REINFORCING DETAILS AT PENETRATIONS. COORDINATE ALL PENETRATIONS SHOWN WITH APPROVED EQUIPMENT, UTILITIES, PARTITION LAYOUT AND ENGINEERING DRAWINGS. ACTUAL LAYOUT OF PENETRATIONS IN THE FIELD MAY VARY FROM DIMENSIONS SHOWN ON CONTROL PLANS. PENETRATION DIMENSIONS SHOWN ON THE CONTROL PLANS DO NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY TO COORDINATE THE WORK. SLEEVES SHALL BE LOCATED PER FINAL MP / ARCHITECTURAL (GENERAL CONSTRUCTION) TRADE COORDINATION.
- HOUSEKEEPING PADS NOT SHOWN HEREIN ARE THE RESPONSIBILITY OF THE CONTRACTOR PROVIDING THE RELATED EQUIPMENT. REFER TO MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS FOR ADDITIONAL CONCRETE HOUSEKEEPING PADS ASSOCIATED WITH SPECIFIC EQUIPMENT. REFER TO STRUCTURAL, PLUMBING AND ARCHITECTURAL DRAWINGS FOR INFORMATION RE: EMBEDS WITHIN CONCRETE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: CURTAIN WALL EMBED PLATES AND ANGLES.
- COORDINATE CURB LOCATIONS AND ASSOCIATED RAMPS WITH PARTITION LOCATIONS AND PARTITION TYPES AND DOOR LOCATIONS.



1/4" = 1'-0"
1 CONTROL PLAN
CELLAR CONTROL PLAN



THE TUN

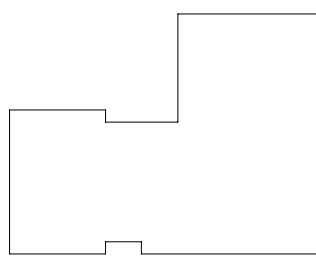
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02/28/2025 PERMIT SET

01/31/2025 ISSUE 3

11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

Author

TITLE:

SECOND FLOOR
CONTROL PLAN

NUMBER:

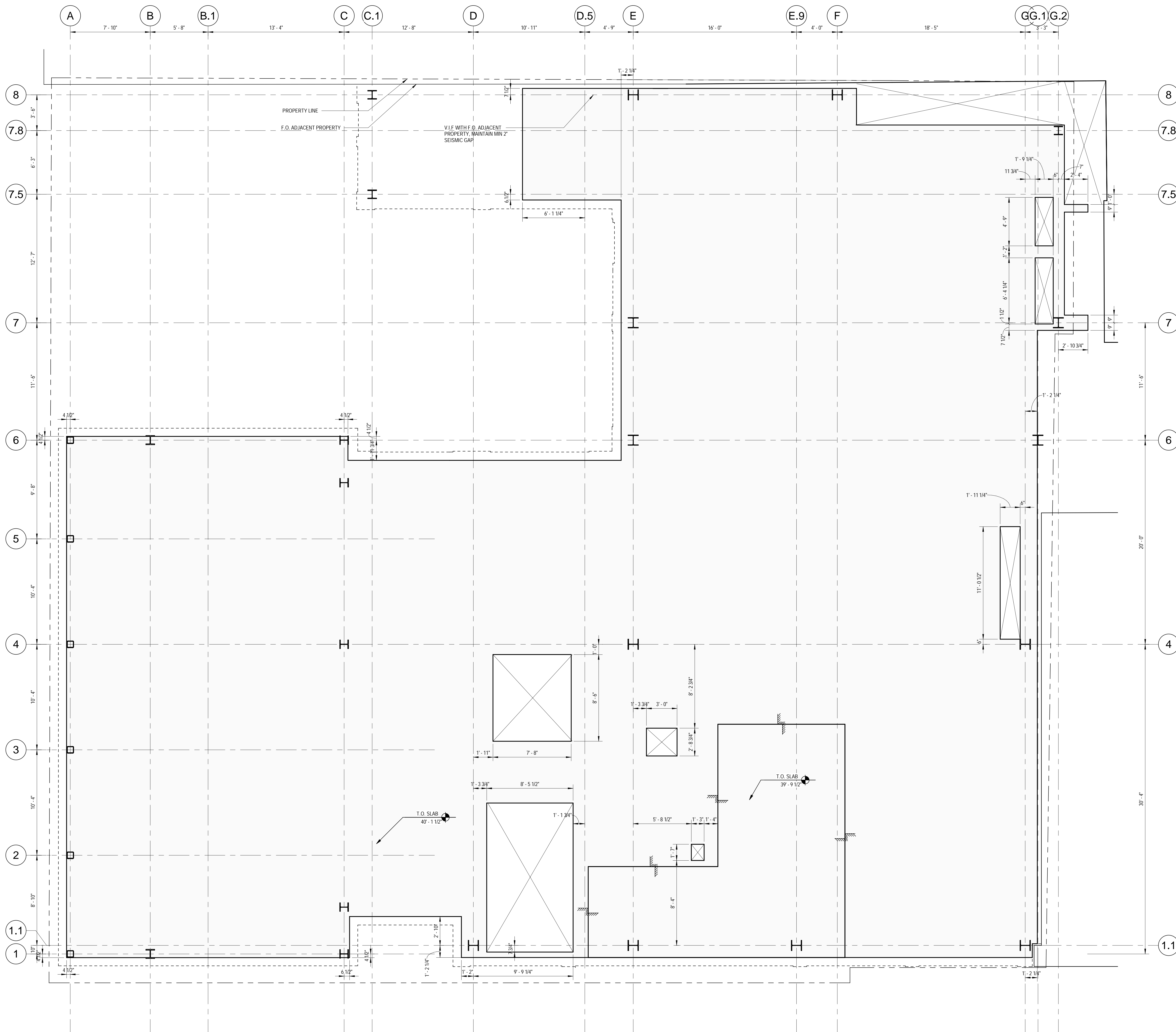
CP102

CONTROL PLAN LEGEND

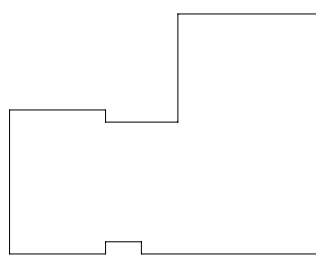
	SLAB DEPRESSION
	DELAYED POUR
	EQUIPMENT PAD, 4" HIGH U.N.O. COORDINATE SIZE & LOCATIONS W/ MEP DWGS
	FLOOR BOX
	FLOOR DRAIN
	ROOF DRAIN
	FLOOR SINK
	POKE THRU

CONTROL PLAN GENERAL NOTES

- REFER TO SITE PLANS AND CIVIL DRAWINGS FOR BUILDING LOCATION INFORMATION.
- CONTROL PLAN DRAWINGS ARE TO BE USED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND RESOLVE SUCH DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- ALL SLAB ELEVATIONS ARE GIVEN TO THE TOP OF CONCRETE.
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION DESIGN AND DETAILS, CONCRETE REINFORCEMENT, EXTENT OF FOUNDATION AND TYPICAL SLAB / DECK CONSTRUCTION INFORMATION.
- PENETRATIONS, RECESSED FLOOR BOXES AND FRAMED OPENINGS IN THE SLAB / DECK / WALLS ARE NOT LIMITED TO THOSE INDICATED ON THE CONTROL PLAN DRAWINGS. SEE ARCHITECTURAL FLOOR PLANS IN CONJUNCTION WITH ALL OTHER DISCIPLINES DRAWINGS, INCLUDING BUT NOT LIMITED TO MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL AND IT / SECURITY / AV DRAWINGS. FOR ANY ADDITIONAL REQUIRED PENETRATIONS, RECESSED DEVICES / FIXTURES AND / OR OPENINGS. ALL PIPES / CONDUIT THROUGH CONCRETE STRUCTURE ARE REQUIRED TO BE SLEEVED PRIOR TO THE CONCRETE PLACEMENT - REFER TO STRUCTURAL DRAWINGS FOR LIMITATION AND TYPICAL REINFORCING DETAILS AT PENETRATIONS. COORDINATE ALL PENETRATIONS SHOWN WITH APPROVED EQUIPMENT, UTILITIES, PARTITION LAYOUT AND ENGINEERING DRAWINGS. ACTUAL LAYOUT OF PENETRATIONS IN THE FIELD MAY VARY FROM DIMENSIONS SHOWN ON CONTROL PLANS. PENETRATION DIMENSIONS SHOWN ON THE CONTROL PLANS DO NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY TO COORDINATE THE WORK. SLEEVES SHALL BE LOCATED PER FINAL MP / ARCHITECTURAL (GENERAL CONSTRUCTION) TRADE COORDINATION. HOUSEKEEPING PADS NOT SHOWN HEREIN ARE THE RESPONSIBILITY OF THE CONTRACTOR PROVIDING THE RELATED EQUIPMENT. REFER TO MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS FOR ADDITIONAL CONCRETE HOUSEKEEPING PADS ASSOCIATED WITH SPECIFIC EQUIPMENT. REFER TO STRUCTURAL, PLUMBING AND ARCHITECTURAL DRAWINGS FOR INFORMATION RE: EMBEDS WITHIN CONCRETE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: CURTAIN WALL EMBED PLATES AND ANGLES.
- COORDINATE CURB LOCATIONS AND ASSOCIATED RAMPS WITH PARTITION LOCATIONS AND PARTITION TYPES AND DOOR LOCATIONS.



1/4" = 1'-0" 1 CONTROL PLAN
SECOND FLOOR CONTROL PLAN



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02/28/2025	PERMIT SET
01/31/2025	ISSUE 3
11/10/2024	ISSUE 2
DRAWING 1	

PROJECT: 23053.00

SCALE: As indicated

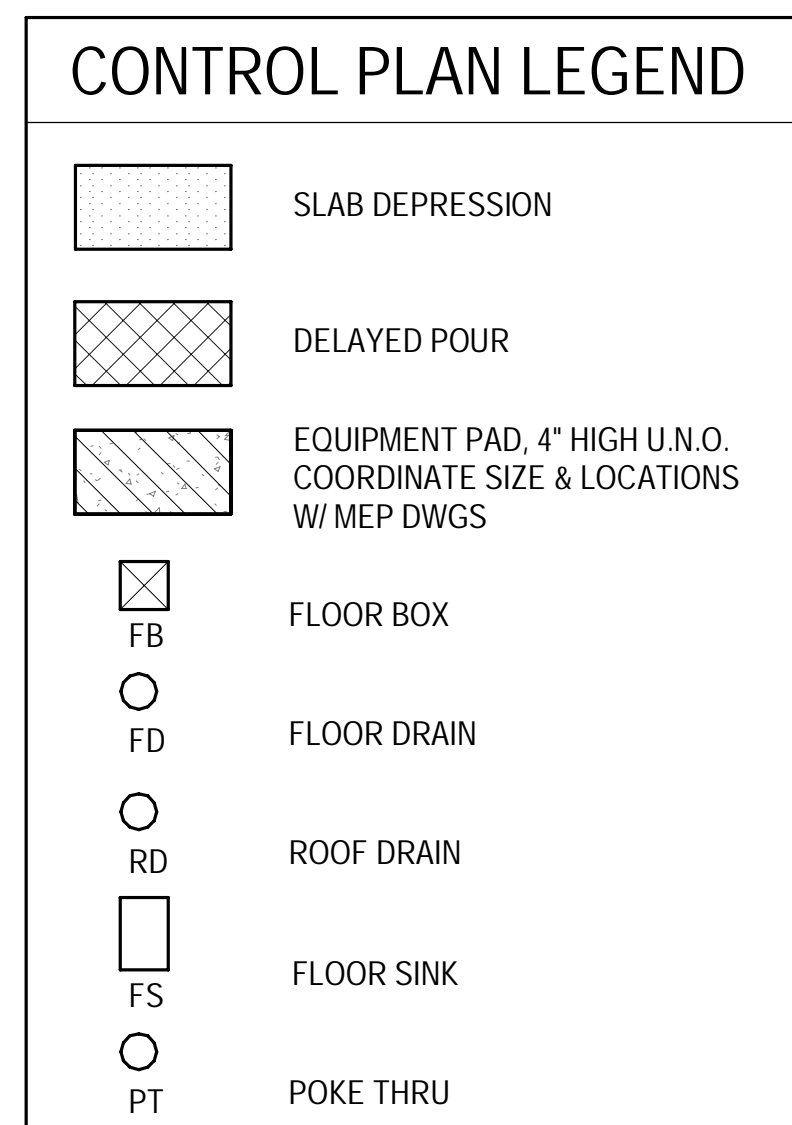
SCALE: AS INDICATED

TITLE

THIRD FLOOR CONTROL PLAN

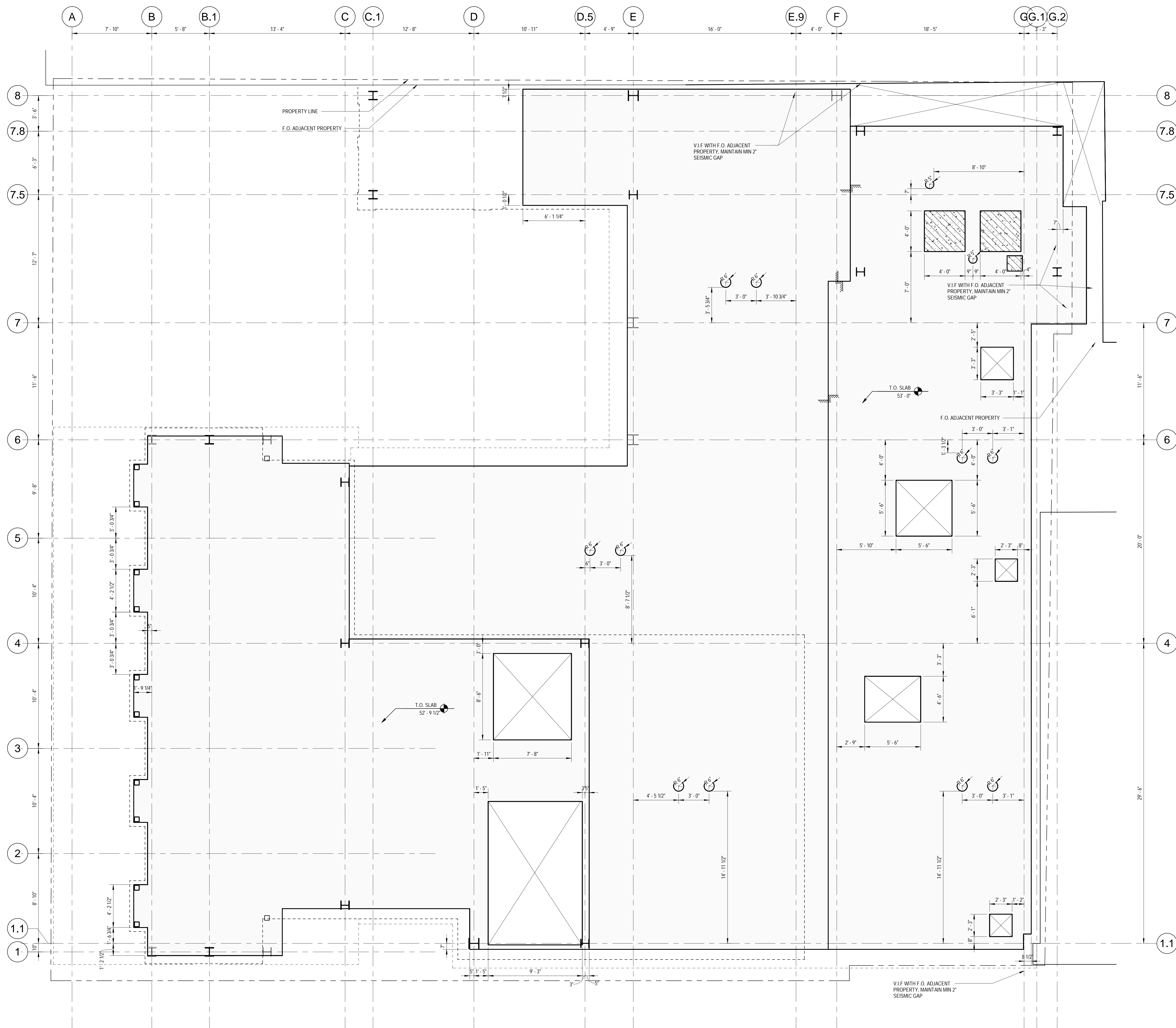
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CONTROL PLAN GENERAL NOTES

1. REFER TO SITE PLANS AND CIVIL DRAWINGS FOR BUILDING LOCATION INFORMATION.
2. CONTROL PLAN DRAWINGS ARE TO BE USED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL AND STRUCTURAL PLANS. NOT THE SUBJECT OF ANY DISCREPANCIES AND RESOLVE SUCH DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
3. ALL SLAB ELEVATIONS ARE GIVEN TO THE TOP OF CONCRETE.
4. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION DESIGN AND DETAILS, CONCRETE REINFORCEMENT, EXTENT OF FOUNDATION AND TYPICAL SLAB / DECK CONSTRUCTION INFORMATION.
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7. REFER TO STRUCTURAL, PLUMBING AND ARCHITECTURAL DRAWINGS FOR INFORMATION RE: EMBEDS WITHIN CONCRETE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: CURTAIN WALL EMBED PLATES AND ANGLES.
8. COORDINATE RUMB LOCATIONS AND ASSOCIATED CURBS WITH PARTITION LOCATIONS AND PARTITION TYPES AND DOOR LOCATIONS.



1/4" = 1'-0" **1** CONTROL PLAN
THIRD FLOOR CONTROL PLAN



THE TUN

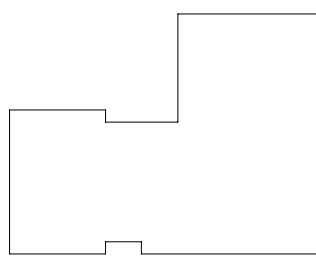
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02/28/2025 PERMIT SET

01/31/2025 ISSUE 3

11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

Author

TITLE:

ROOF CONTROL PLAN

NUMBER:

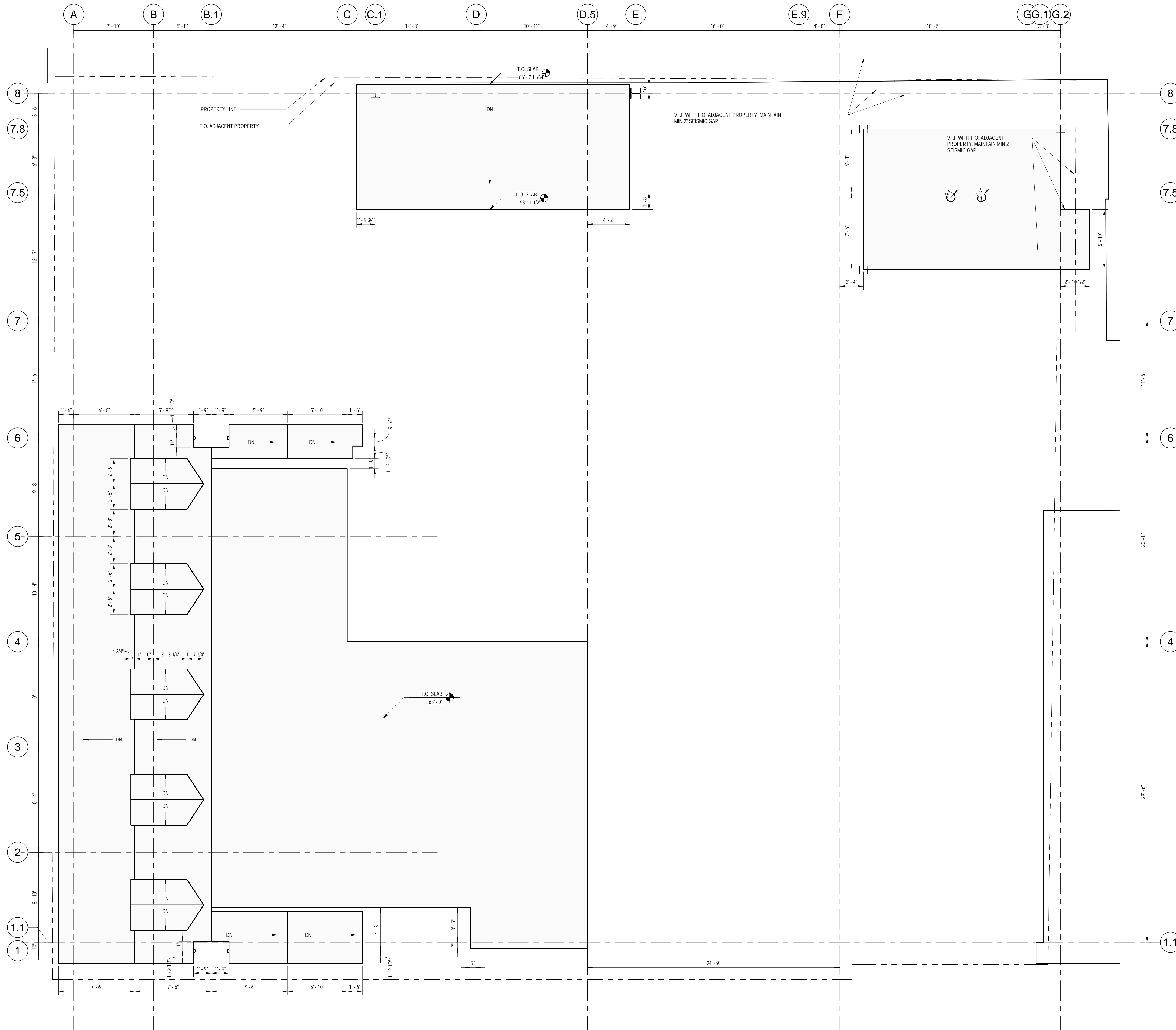
CP104

CONTROL PLAN LEGEND

	SLAB DEPRESSION
	DELAYED POUR
	EQUIPMENT PAD, 4" HIGH U.N.O. COORDINATE SIZE & LOCATIONS W/ MEP DWGS
	FLOOR BOX
	FLOOR DRAIN
	ROOF DRAIN
	FLOOR SINK
	POKE THRU

CONTROL PLAN GENERAL NOTES

- REFER TO SITE PLANS AND CIVIL DRAWINGS FOR BUILDING LOCATION INFORMATION.
- CONTROL PLAN DRAWINGS ARE TO BE USED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND RESOLVE SUCH DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- ALL SLAB ELEVATIONS ARE GIVEN TO THE TOP OF CONCRETE.
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION DESIGN AND DETAILS, CONCRETE REINFORCEMENT, EXTENT OF FOUNDATION AND TYPICAL SLAB / DECK CONSTRUCTION INFORMATION.
- PENETRATIONS, RECESSED FLOOR BOXES AND FRAMED OPENINGS IN THE SLAB / DECK / WALLS ARE NOT LIMITED TO THOSE INDICATED ON THE CONTROL PLAN DRAWINGS. SEE ARCHITECTURAL FLOOR PLANS IN CONJUNCTION WITH ALL OTHER DISCIPLINE'S DRAWINGS, INCLUDING BUT NOT LIMITED TO MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL AND IT / SECURITY / AV DRAWINGS. FOR ANY ADDITIONAL REQUIRED PENETRATIONS, RECESSED DEVICES / FIXTURES AND / OR OPENINGS. ALL PIPES / CONDUIT THROUGH CONCRETE STRUCTURE ARE REQUIRED TO BE SLEEVED PRIOR TO THE CONCRETE PLACEMENT - REFER TO STRUCTURAL DRAWINGS FOR LIMITATION AND TYPICAL REINFORCING DETAILS AT PENETRATIONS. COORDINATE ALL PENETRATIONS SHOWN WITH APPROVED EQUIPMENT, UTILITIES, PARTITION LAYOUT AND ENGINEERING DRAWINGS. ACTUAL LAYOUT OF PENETRATIONS IN THE FIELD MAY VARY FROM DIMENSIONS SHOWN ON CONTROL PLANS. PENETRATION DIMENSIONS SHOWN ON THE CONTROL PLANS DO NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY TO COORDINATE THE WORK. SLEEVES SHALL BE LOCATED PER FINAL MP / ARCHITECTURAL (GENERAL CONSTRUCTION) TRADE COORDINATION.
- HOUSEKEEPING PADS NOT SHOWN HEREIN ARE THE RESPONSIBILITY OF THE CONTRACTOR PROVIDING THE RELATED EQUIPMENT. REFER TO MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS FOR ADDITIONAL CONCRETE HOUSEKEEPING PADS ASSOCIATED WITH SPECIFIC EQUIPMENT. REFER TO STRUCTURAL, PLUMBING AND ARCHITECTURAL DRAWINGS FOR INFORMATION RE: EMBEDS WITHIN CONCRETE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: CURTAIN WALL EMBED PLATES AND ANGLES.
- COORDINATE CURB LOCATIONS AND ASSOCIATED RAMPS WITH PARTITION LOCATIONS AND PARTITION TYPES AND DOOR LOCATIONS.



1/4" = 1'-0"
1 CONTROL PLAN
ROOF CONTROL PLAN



THE TUN

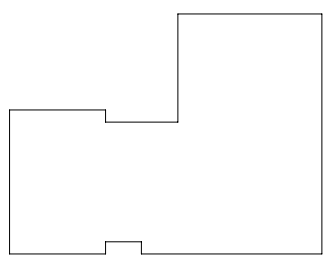
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11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

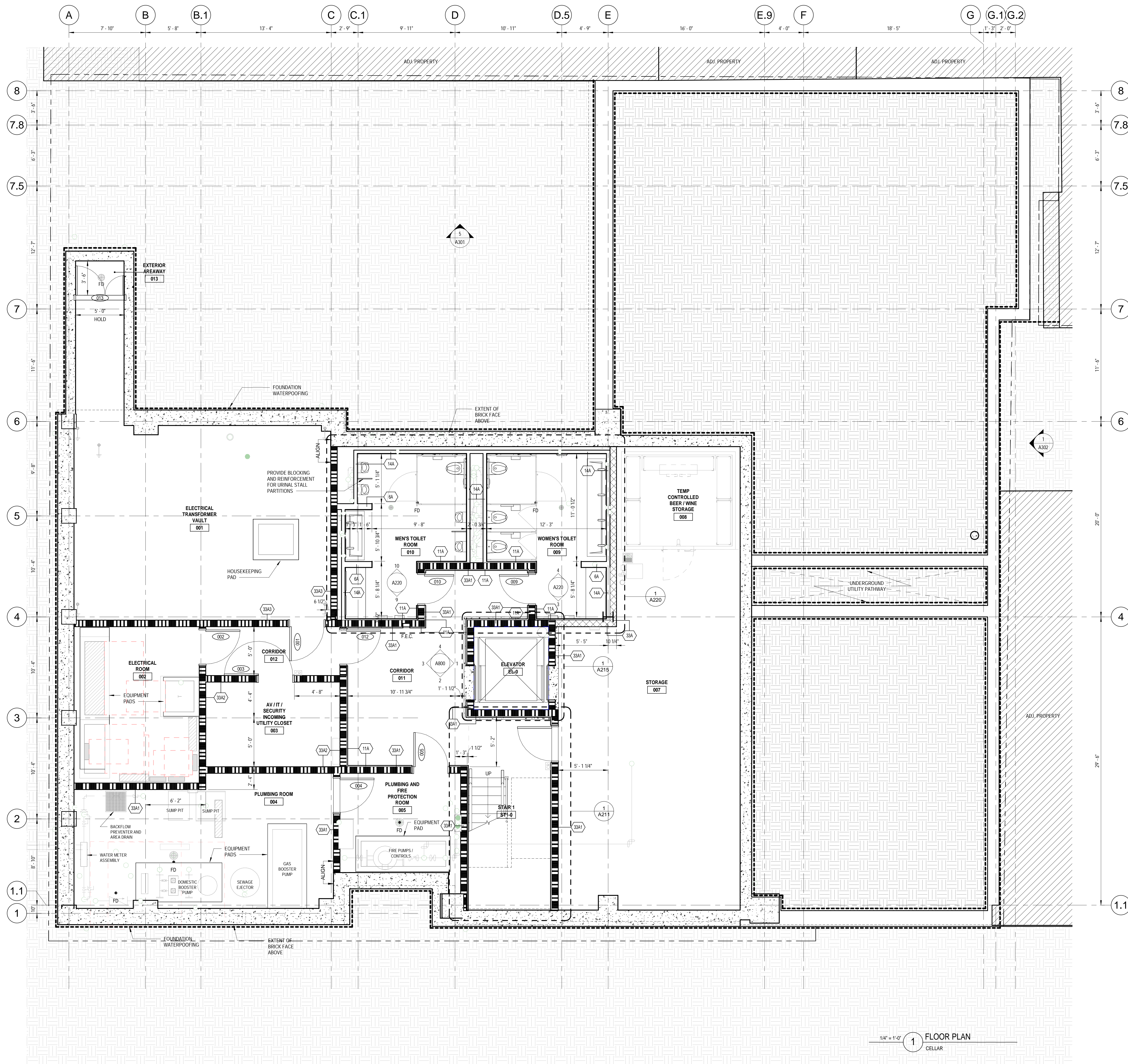
ARCHITECTURE

TITLE:

CELLAR PLAN

NUMBER:

A100



FLOOR PLAN GENERAL NOTES

1. REFER TO CS001 FOR SYMBOLS AND ABBREVIATIONS.
2. REFER TO CONTROL PLANS FOR SLAB EDGES, DEPRESSIONS AND OPENING LOCATIONS.
3. REFER TO A501 FOR TYPICAL EXTERIOR SYSTEMS.
4. REFER TO A601 FOR PARTITION TYPES AND DETAILS.
5. REFER TO INTERIOR ELEVATIONS AND ENLARGED PLANS FOR ADDITIONAL TAGS NOT SHOWN IN A100 PLANS.
6. REFER TO AV & SEC DWGS FOR AV & SEC EQUIPMENT TYPES & QUANTITIES.
7. ALL PARTITIONS ON FIRST AND SECOND FLOOR ARE TO BE TYPE 38 U.N.O.
8. PROVIDE CONCEALED BLKG. WITHIN PARTITIONS AT ALL WALL-MOUNTED ITEMS, INCLUDING TOILET ACCESSORIES AND EQUIPMENT PROVIDED BY OWNER. REFER TO ALL DISCIPLINES DWGS FOR EQUIPMENT, ACCESSORIES AND OTHER ITEMS THAT ARE WALL MOUNTED.
9. EXTERIOR CURTAIN WALL DIMENSIONS ARE TO FACE OF GLASS.
10. FINAL SIZE AND LOCATION OF EXTERIOR EQUIPMENT PADS TO BE COORDINATED WITH ELECTRICAL CONTRACTOR. SEE STRUCTURAL DWGS FOR DETAILS.
11. PROVIDE WATERPROOFING MEMBRANE EXTENDING 3'-0" FROM AREA FLOOR DRAINS AND FLOOR TROUGHS IN ALL TILED AREAS.

1/4" = 1'-0" 1 FLOOR PLAN
CELLAR



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11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

ARCHITECTURE

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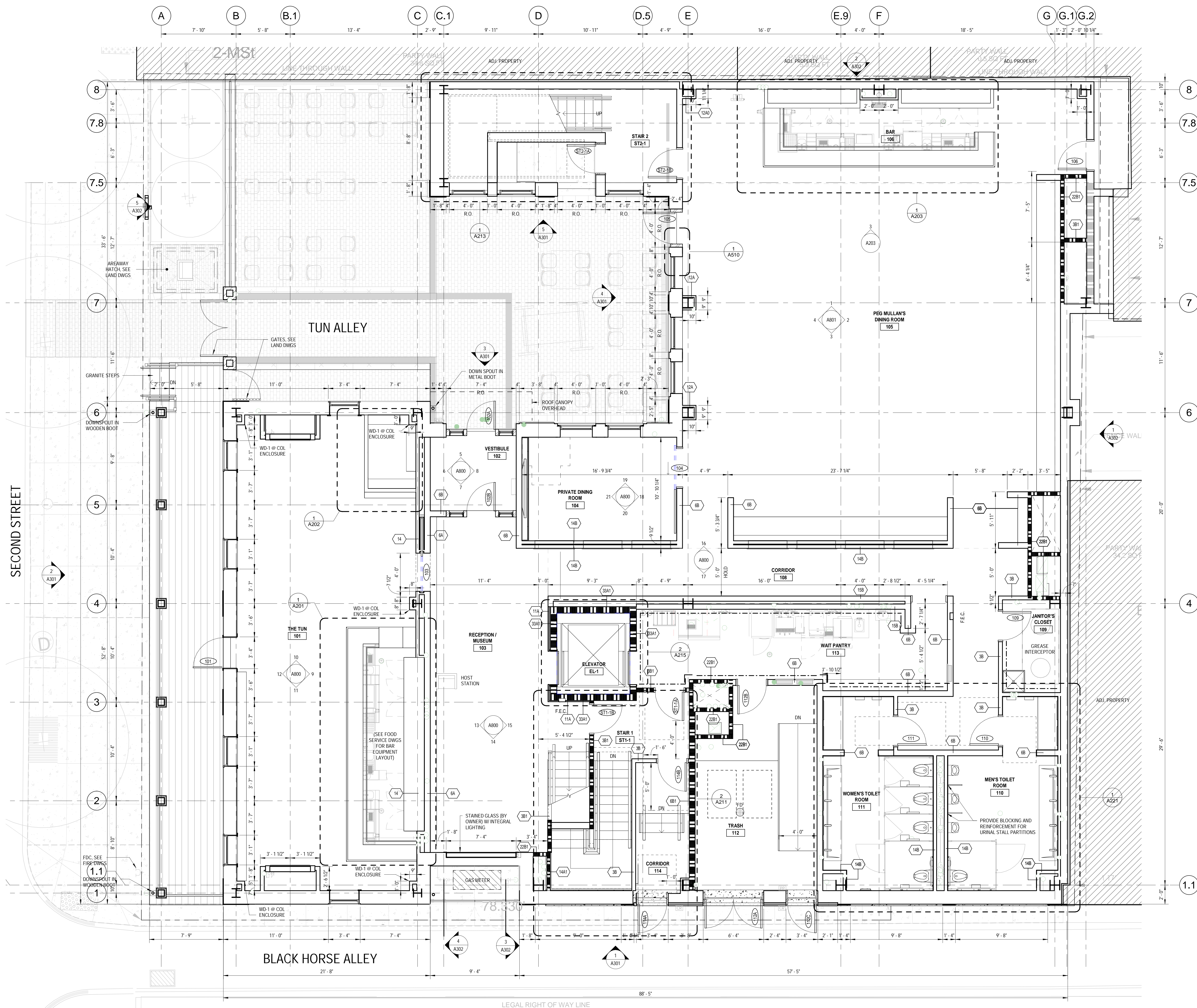
FIRST FLOOR PLAN

NUMBER:

A101

FLOOR PLAN GENERAL NOTES

1. REFER TO CS001 FOR SYMBOLS AND ABBREVIATIONS.
2. REFER TO CONTROL PLANS FOR SLAB EDGES, DEPRESSIONS AND OPENING LOCATIONS.
3. REFER TO AS01 FOR TYPICAL EXTERIOR SYSTEMS.
4. REFER TO AS01 FOR PARTITION TYPES AND DETAILS.
5. REFER TO INTERIOR ELEVATIONS AND ENLARGED PLANS FOR ADDITIONAL TAGS NOT SHOWN IN A100 PLANS.
6. REFER TO AV & SEC DWGS FOR AV & SEC EQUIPMENT TYPES & QUANTITIES.
7. ALL PARTITIONS ON FIRST AND SECOND FLOOR ARE TO BE TYPE 38 U.N.O.
8. PROVIDE CONCEALED BLKG. WITHIN PARTITIONS AT ALL WALL-MOUNTED ITEMS, INCLUDING TOILET ACCESSORIES AND EQUIPMENT PROVIDED BY OWNER. REFER TO ALL DISCIPLINES' DWGS FOR EQUIPMENT, ACCESSORIES AND OTHER ITEMS THAT ARE WALL MOUNTED.
9. EXTERIOR CURTAIN WALL DIMENSIONS ARE TO FACE OF GLASS.
10. FINAL SIZE AND LOCATION OF EXTERIOR EQUIPMENT PADS TO BE COORDINATED WITH ELECTRICAL CONTRACTOR. SEE STRUCTURAL DWGS FOR DETAILS.
11. PROVIDE WATERPROOFING MEMBRANE EXTENDING 3'-0" FROM AREA FLOOR DRAINS AND FLOOR TROUGHS IN ALL TILED AREAS.



1/4" = 1'-0"
1 FLOOR PLAN
FIRST FLOOR



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PROJECT: 23053.00

SCALE: As indicated

ARCHITECTURE

TITLE:

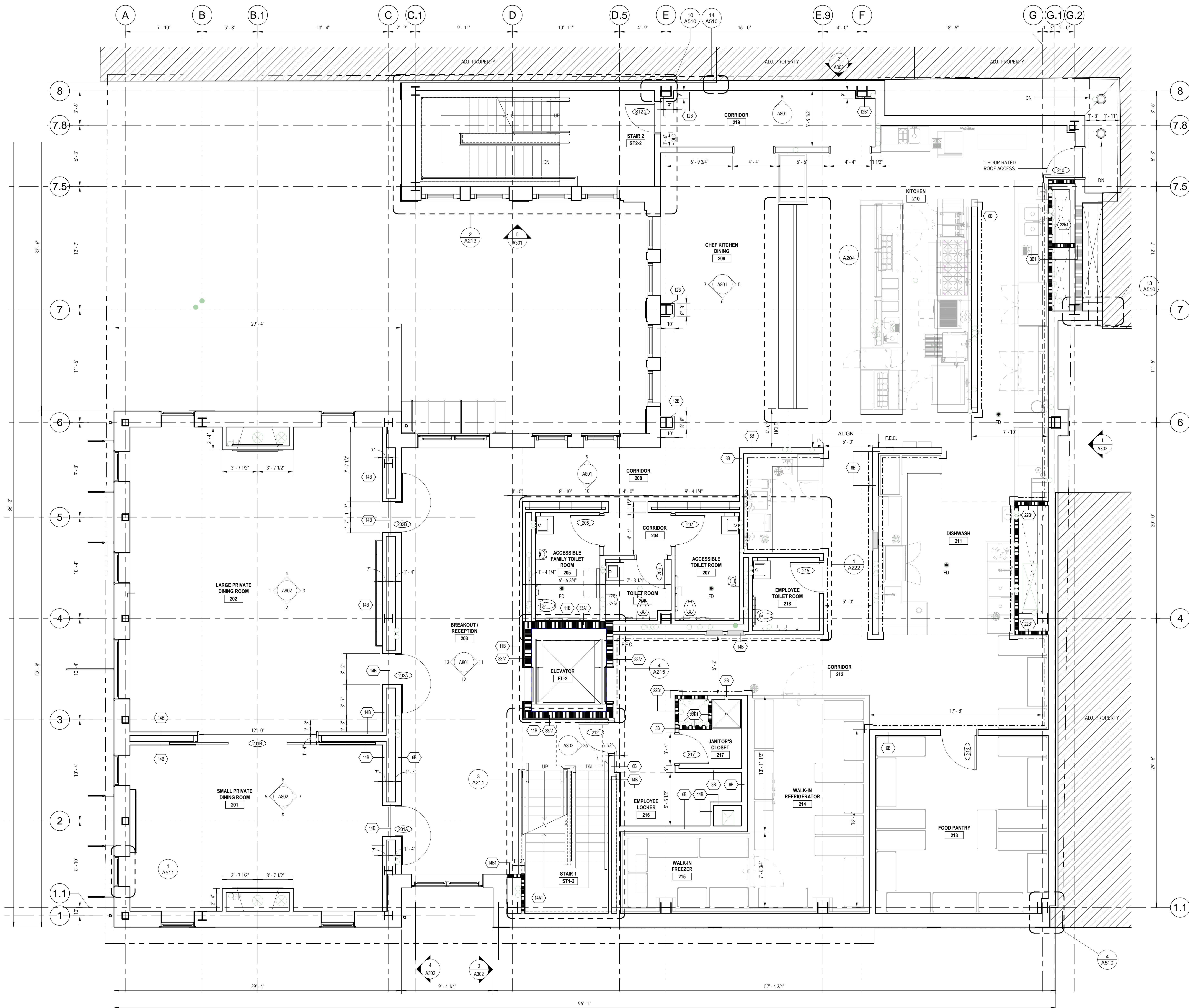
SECOND FLOOR
PLAN

NUMBER:

A102

FLOOR PLAN GENERAL NOTES

1. REFER TO CS001 FOR SYMBOLS AND ABBREVIATIONS.
2. REFER TO CONTROL PLANS FOR SLAB EDGES, DEPRESSIONS AND OPENING LOCATIONS.
3. REFER TO A501 FOR TYPICAL EXTERIOR SYSTEMS.
4. REFER TO A501 FOR PARTITION TYPES AND DETAILS.
5. REFER TO INTERIOR ELEVATIONS AND ENLARGED PLANS FOR ADDITIONAL TAGS NOT SHOWN IN A100 PLANS.
6. REFER TO AV & SEC DWGS FOR AV & SEC EQUIPMENT TYPES & QUANTITIES.
7. ALL PARTITIONS ON FIRST AND SECOND FLOOR ARE TO BE TYPE 3B U.N.O.
8. PROVIDE CONCEALED BLKG. WITHIN PARTITIONS AT ALL WALL-MOUNTED ITEMS, INCLUDING TOILET ACCESSORIES AND EQUIPMENT PROVIDED BY OWNER. REFER TO ALL DISCIPLINES' DWGS FOR EQUIPMENT, ACCESSORIES AND OTHER ITEMS THAT ARE WALL MOUNTED.
9. EXTERIOR CURTAIN WALL DIMENSIONS ARE TO FACE OF GLASS.
10. FINAL SIZE AND LOCATION OF EXTERIOR EQUIPMENT PADS TO BE COORDINATED WITH ELECTRICAL CONTRACTOR. SEE STRUCTURAL DWGS FOR DETAILS.
11. PROVIDE WATERPROOFING MEMBRANE EXTENDING 3'-0" FROM AREA FLOOR DRAINS AND FLOOR TROUGHS IN ALL TILED AREAS.



1/4" = 1'-0" 1 FLOOR PLAN
SECOND FLOOR



1. REFER TO CS001 FOR SYMBOLS AND ABBREVIATIONS.
2. REFER TO CONTROL PLANS FOR SLAB DEEPS, DEPRESSIONS AND SLOPES.
3. REFER TO A101 FOR TYPICAL EXTERIOR SYSTEMS.
4. REFER TO A601 FOR PARTITION TYPES AND DETAILS.
5. REFER TO A101 FOR EXTERIOR FINISHES.
6. REFER TO A101 FOR EXTERIOR ELEVATION AND ELEVATION PLANS FOR ADDITIONAL TAGS NOT SHOWN IN A101 PLANS.
7. REFER TO A & S DECS FOR VAN A & S EQUIPMENT TYPES & QUANTITIES.
8. ALL PARTITIONS ON FIRST AND SECOND FLOOR ARE TO BE TYPE 3B URM.
9. PROVIDE REINFORCED CONCRETE BULKHEAD PARTITIONS AT ALL WALL MOUNTED ITEMS, INCLUDING TOILET ACCESSORIES AND EQUIPMENT PROVIDED BY OWNER. REFER TO ALL DISCIPLINES FOR EQUIPMENT ACCESSORIES AND OTHER ITEMS THAT ARE WALL MOUNTED.
10. EXTERIOR CURTAIN WALL DIMENSIONS ARE TO FACE OF GLASS.
11. FINAL SIZE AND LOCATION OF EXTERIOR EQUIPMENT MOUNTS TO BE COORDINATED WITH ELECTRICAL CONTRACTOR. SEE ELECTRICAL SCHEDULES FOR EQUIPMENT TYPES.
12. PROVIDE WATERPROOFING MEMBRANE EXTENDING 3" FROM AREA FLOOR DRAINS AND FLOOR TROUGHS IN ALL TILED AREAS.

FLOOR PLAN
GENERAL NOTES

1. REFER TO CS001 FOR SYMBOLS AND ABBREVIATIONS.

2. REFER TO CONTROL PLANS FOR SLAB EDGES, DEPRESSIONS AND OPENING LOCATIONS.

3. REFER TO AS01 FOR TYPICAL EXTERIOR SYSTEMS.

4. REFER TO AS01 FOR PARTITION TYPES AND DETAILS.

5. REFER TO INTERIOR ELEVATIONS AND ENLARGED PLANS FOR ADDITIONAL TAGS NOT SHOWN IN A100 PLANS.

6. REFER TO AV & SEC DWGS FOR AV & SEC EQUIPMENT TYPES & QUANTITIES.

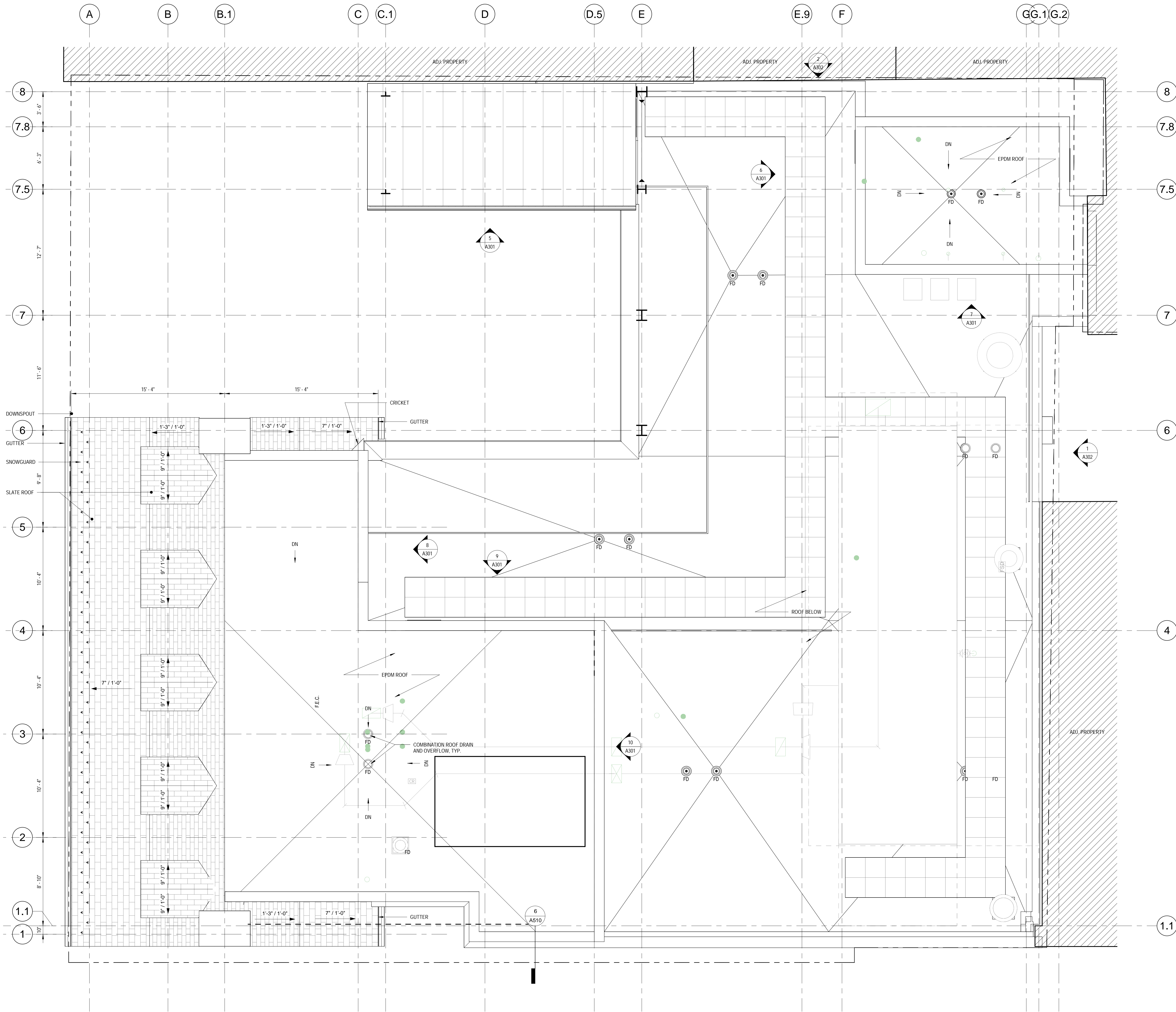
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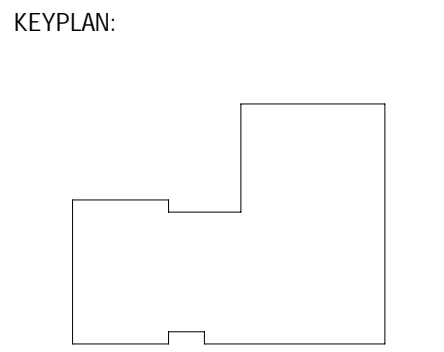
1/4" = 1'-0" 1 FLOOR PLAN
ROOF



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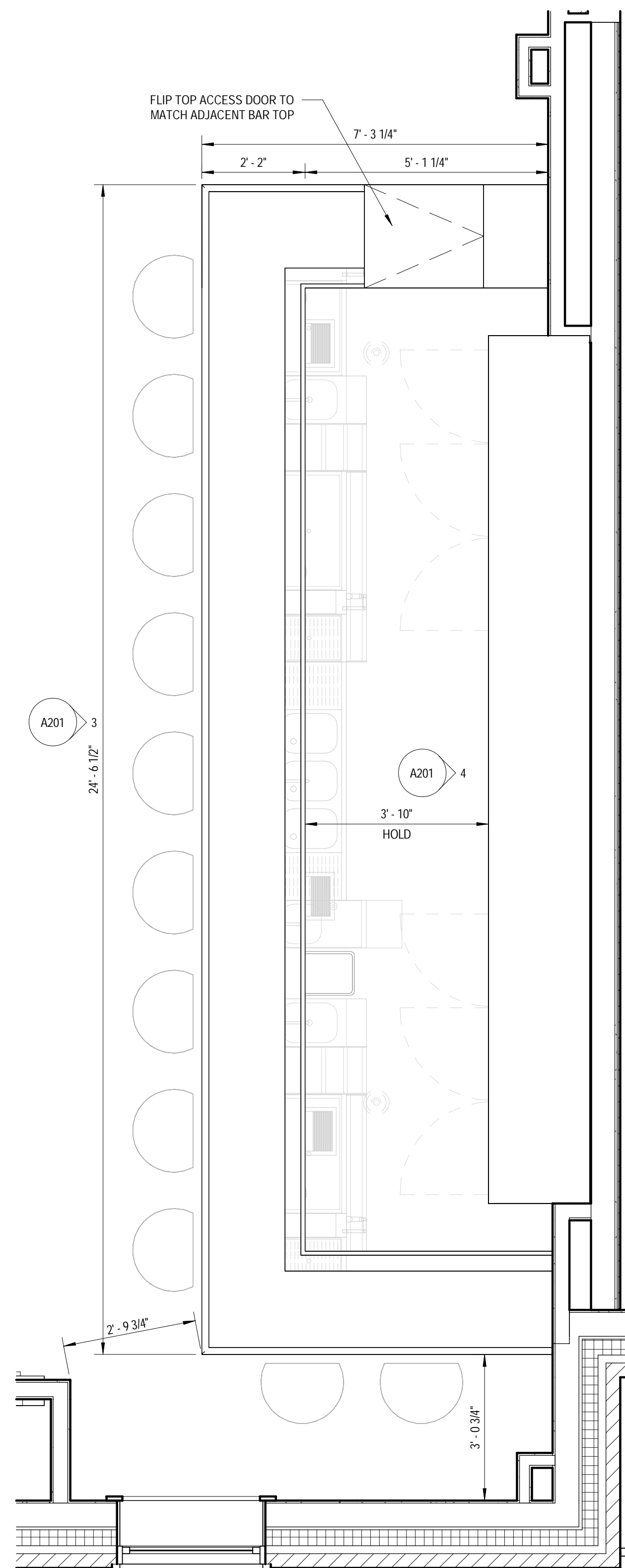
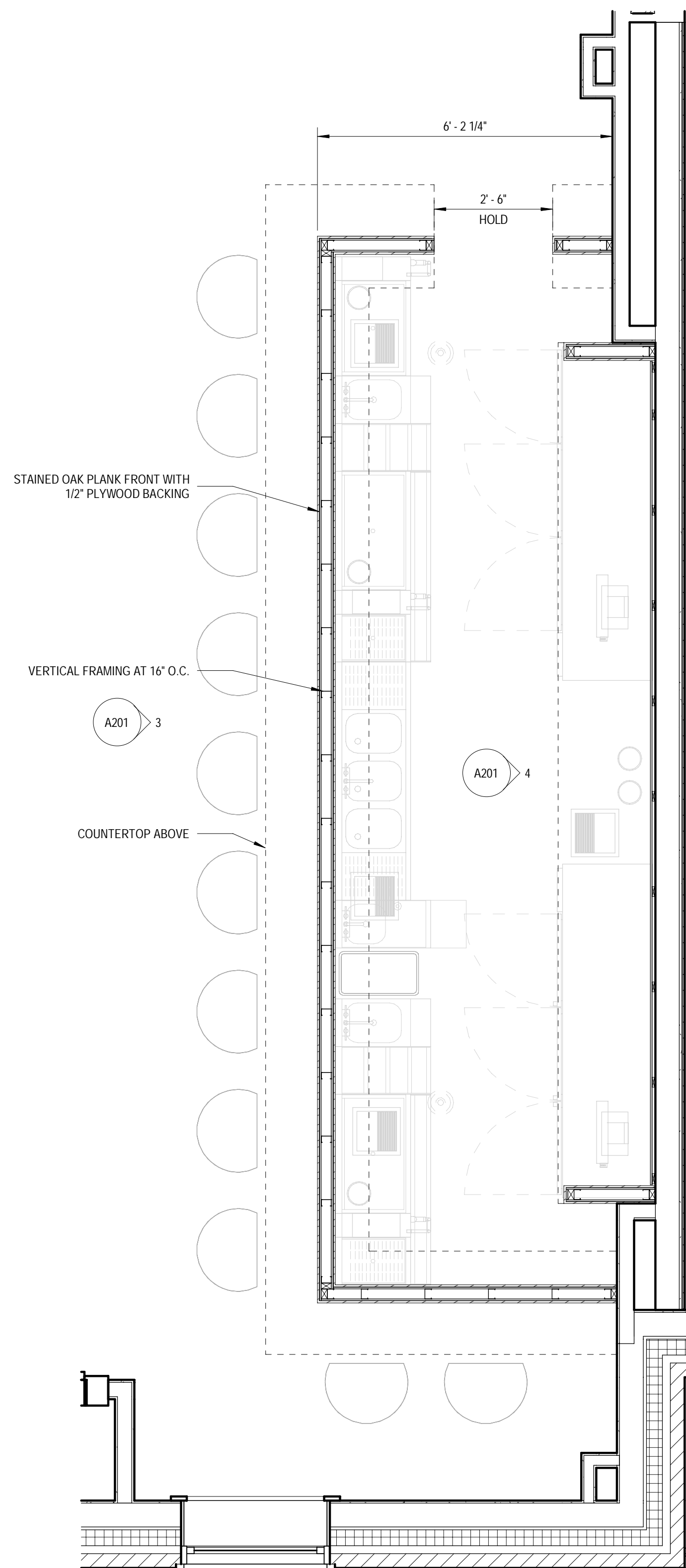
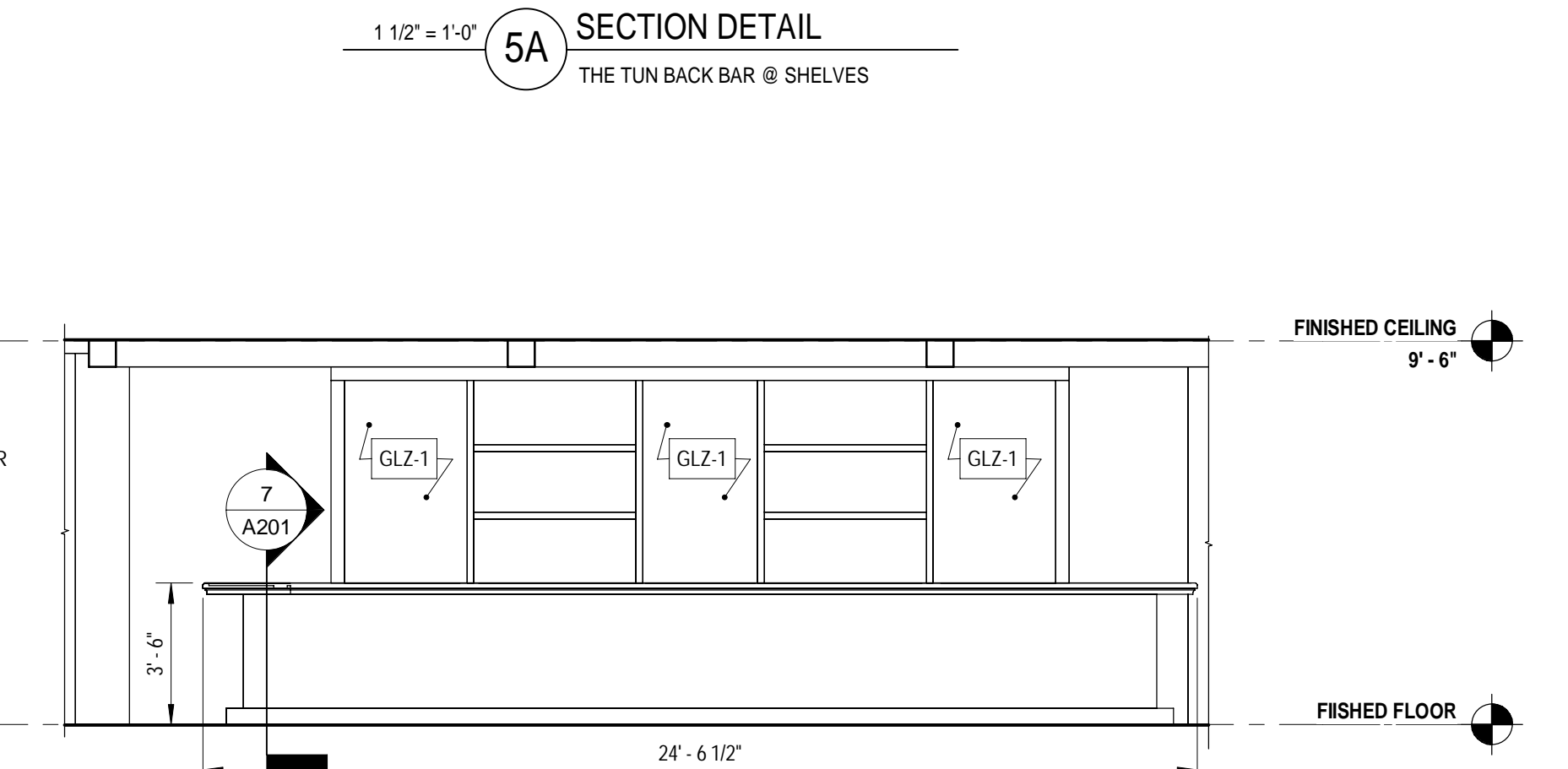
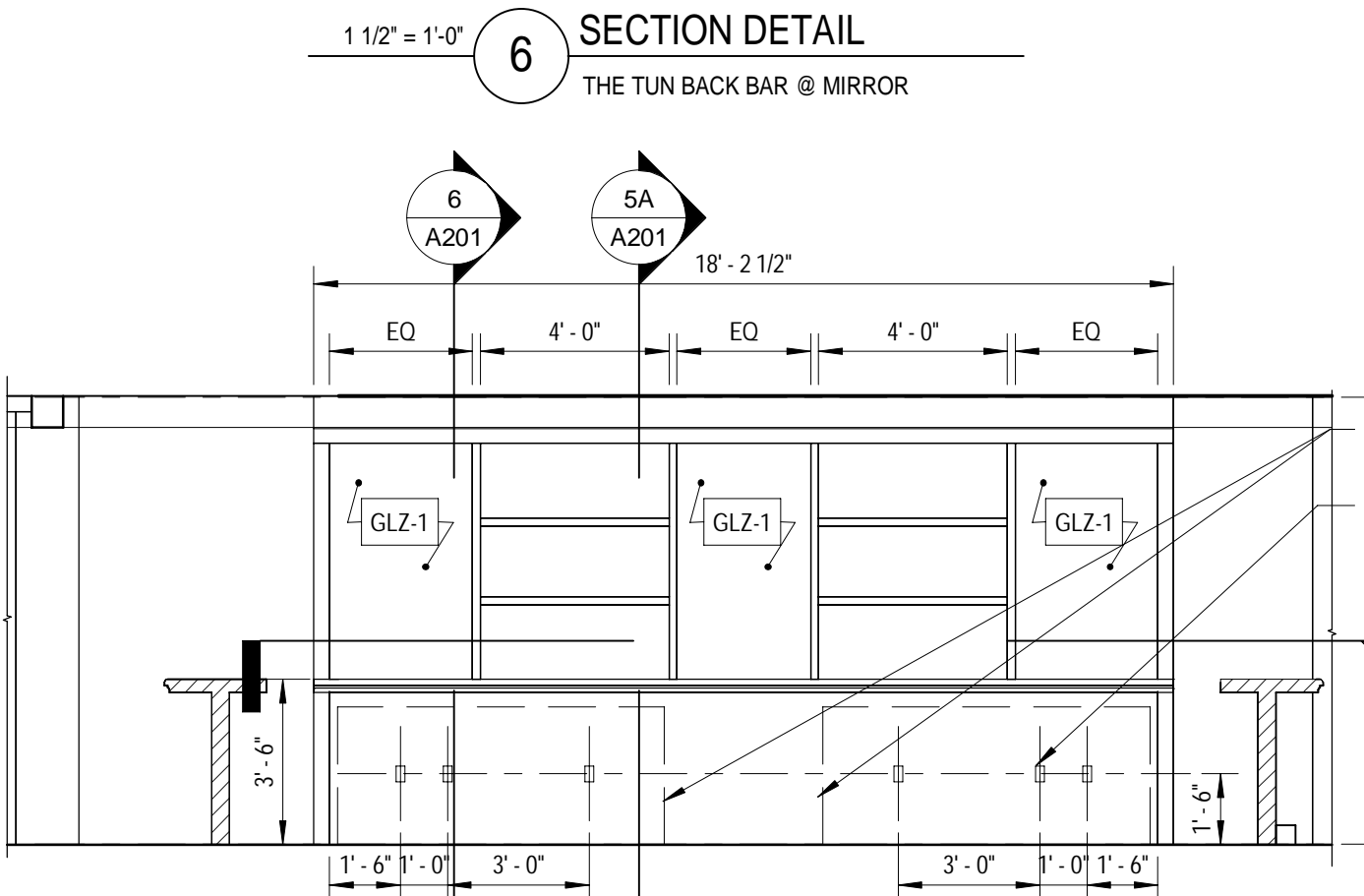
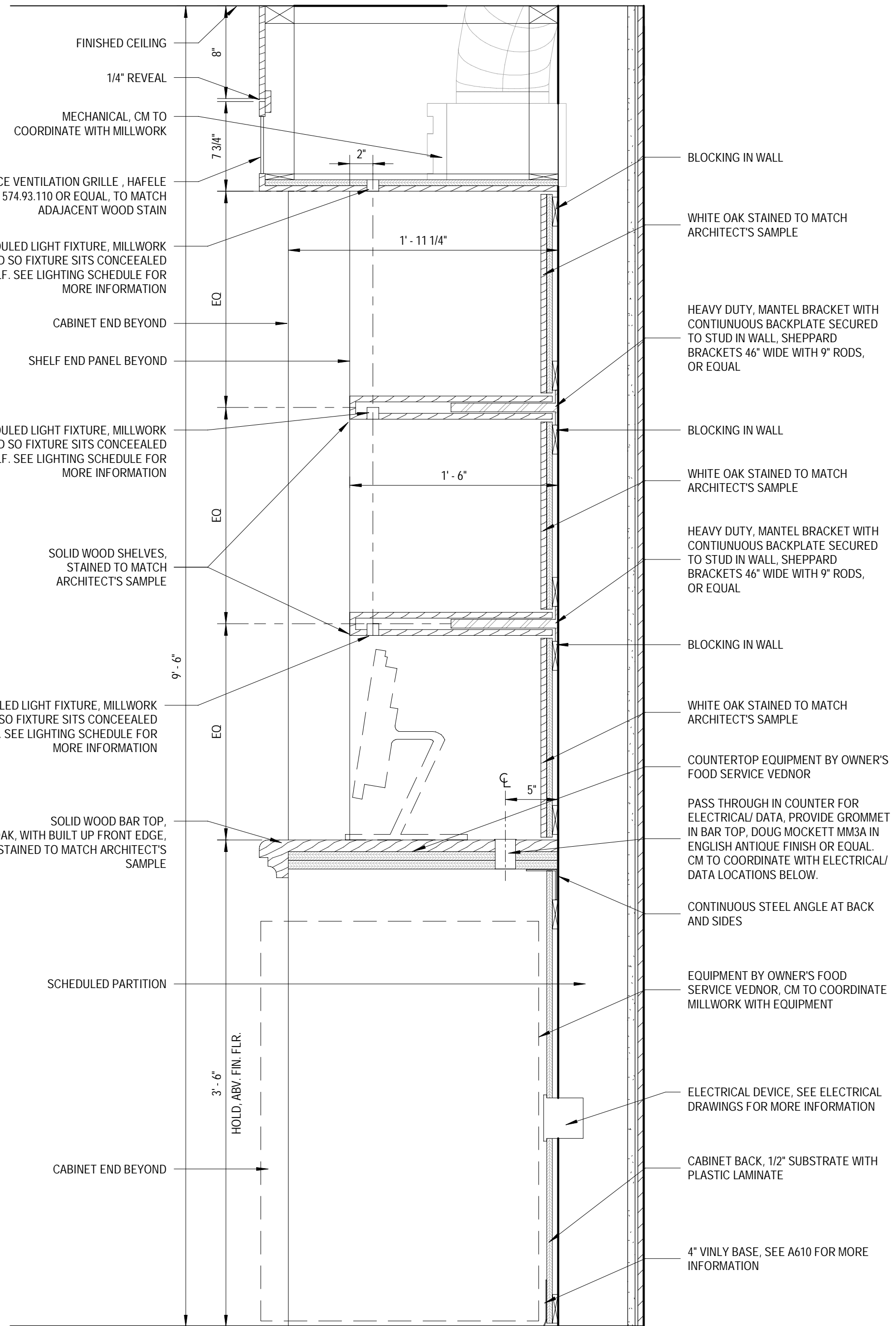
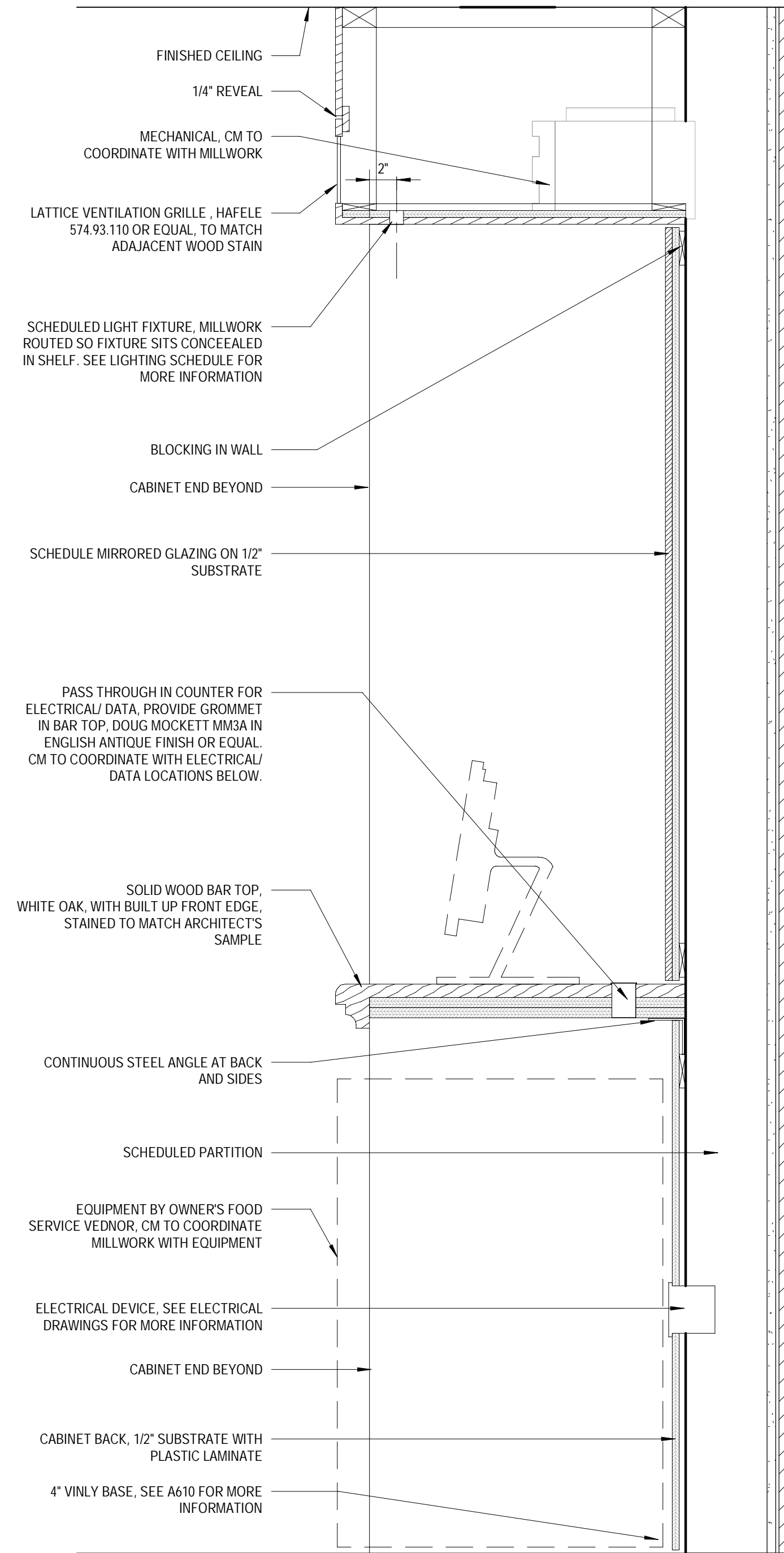
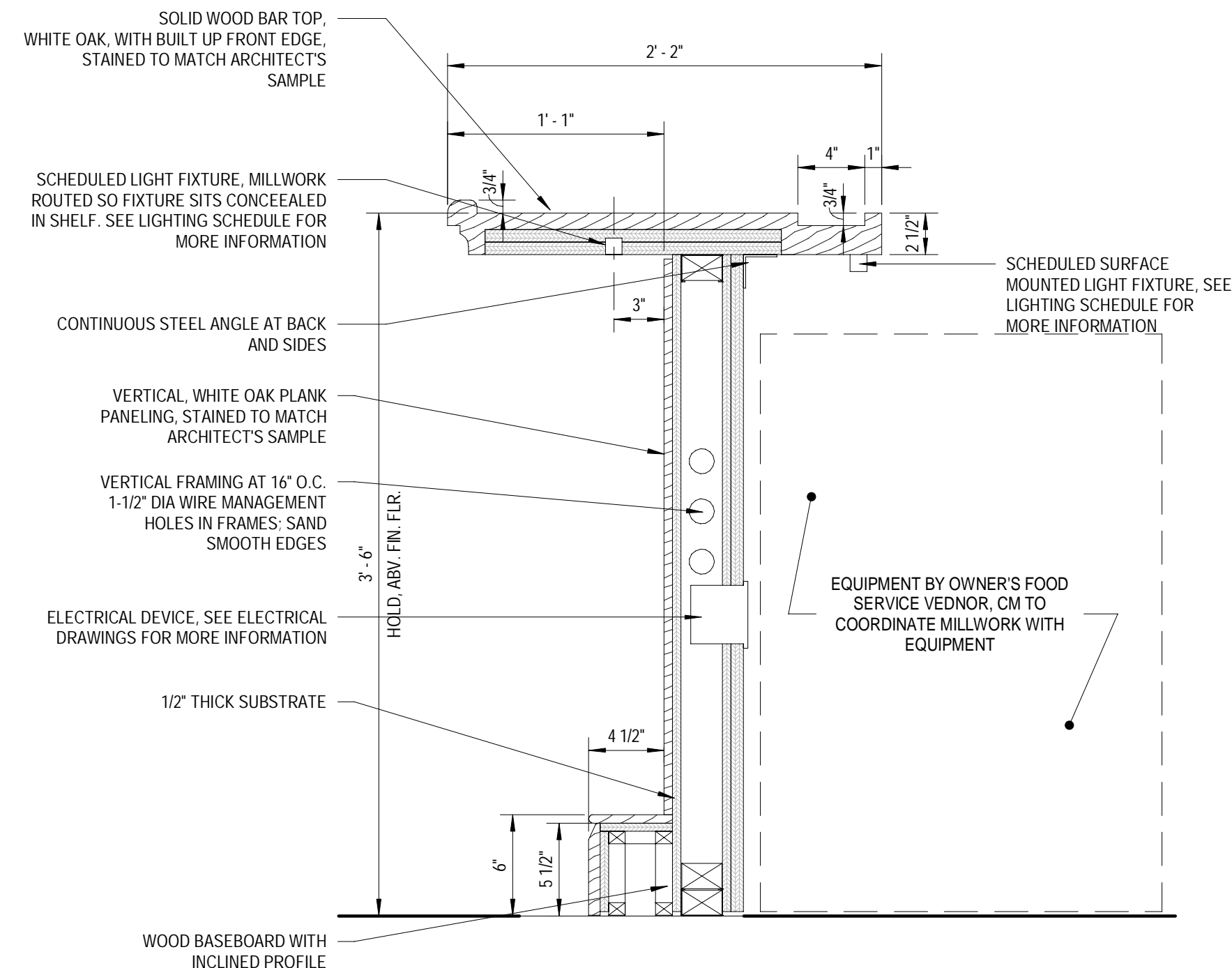
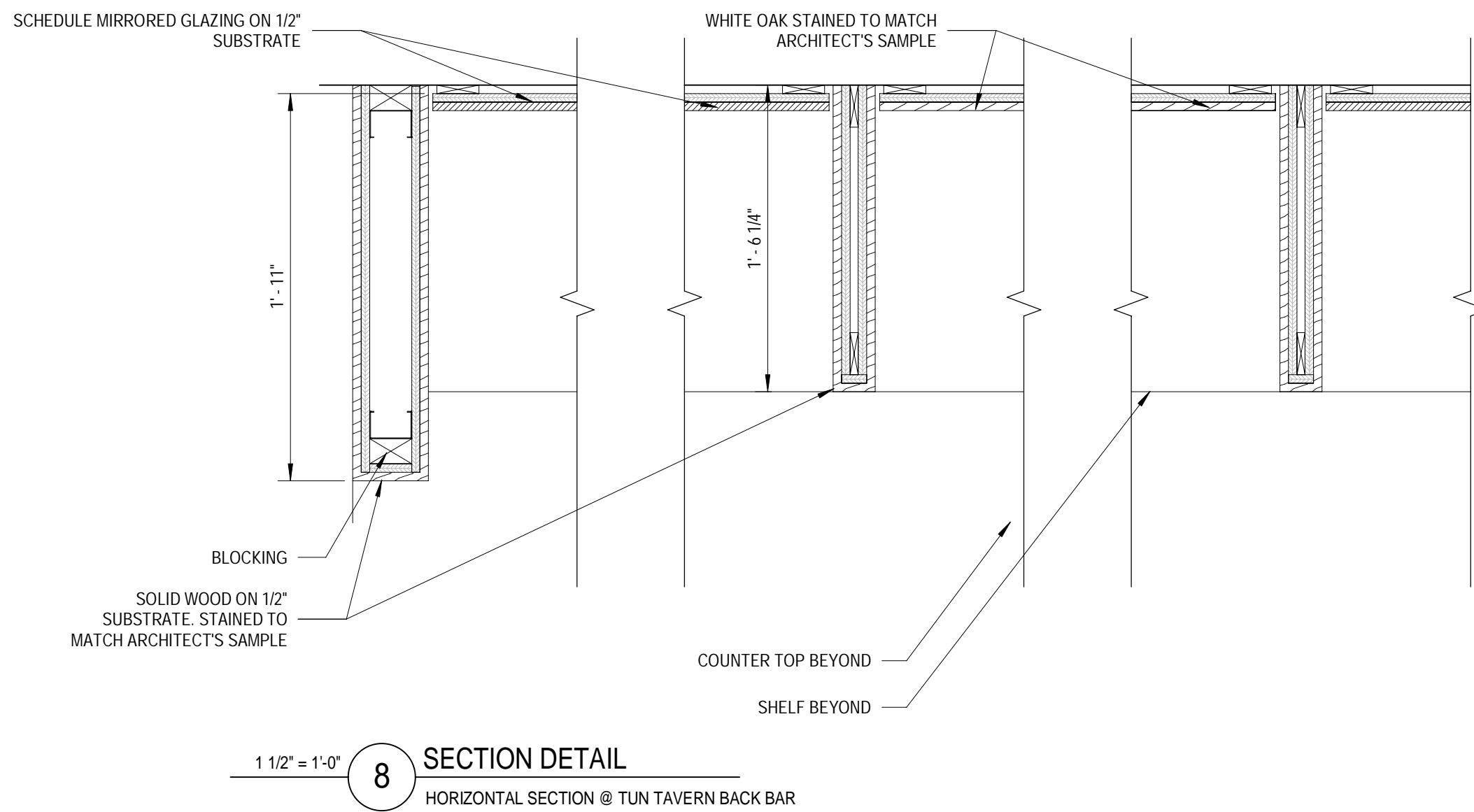
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11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: As indicated
ARCHITECTURE
TITLE:

ROOF PLAN

NUMBER:

A104



THE TUN

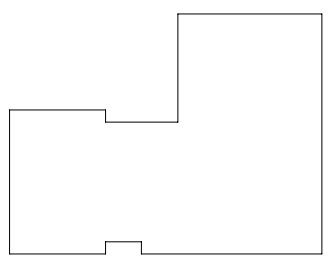
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11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

ARCHITECTURE

TITLE:

BAR DETAIL PLANS
AND ELEVATIONS -
THE TUN BAR

NUMBER:

A201



THE TUN

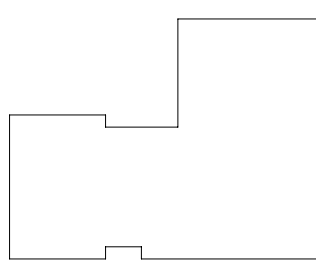
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02/28/2025 PERMIT SET

01/31/2025 ISSUE 3

11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

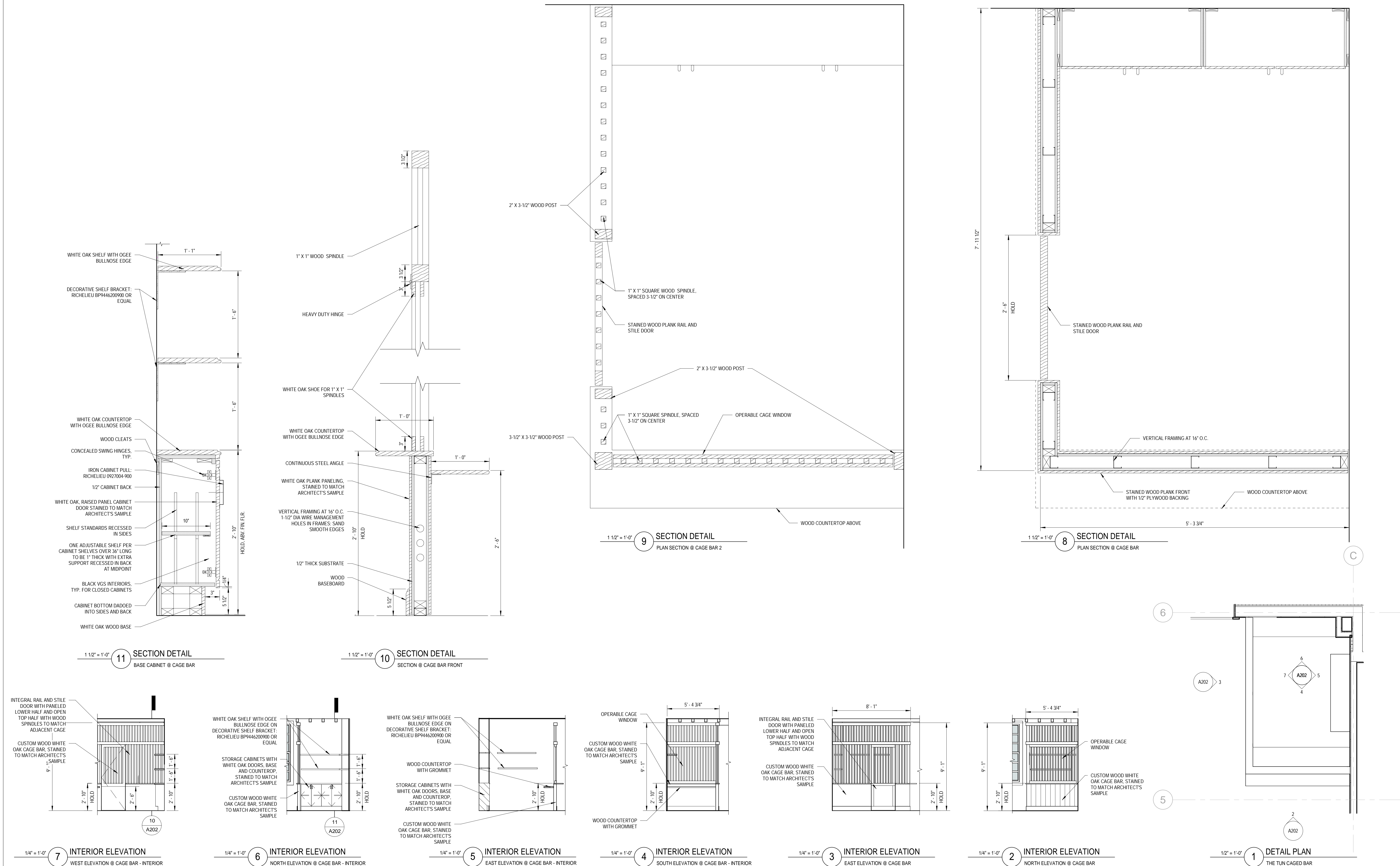
ARCHITECTURE

TITLE:

BAR DETAIL PLANS
AND ELEVATIONS -
CAGED BAR

NUMBER:

A202





THE TUN

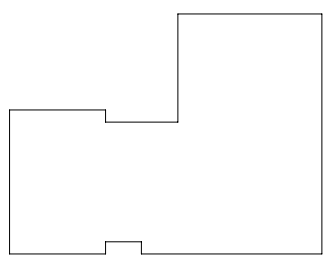
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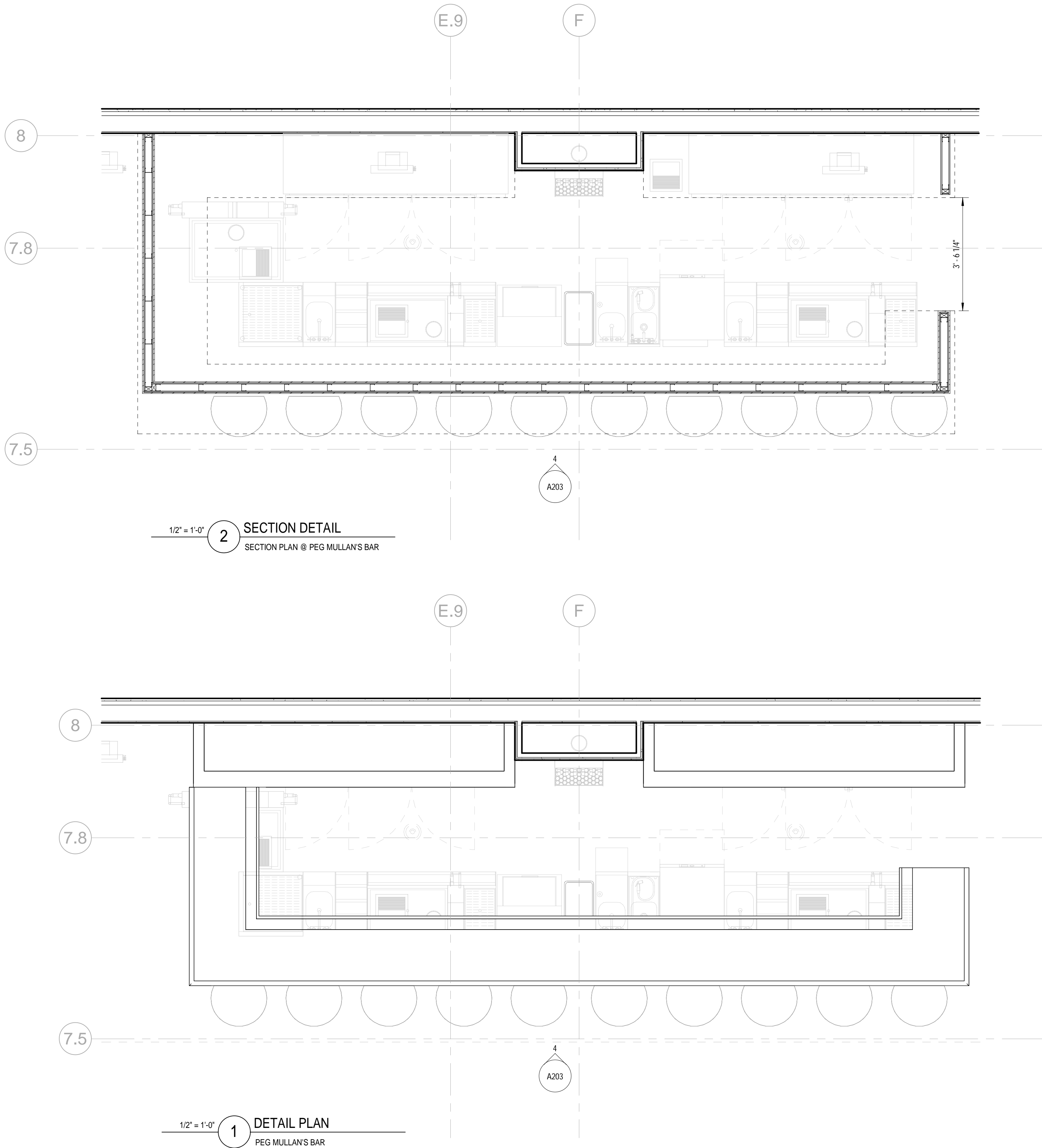
BAR DETAIL PLANS
AND ELEVATIONS -
PEG MULLAN'S BAR

NUMBER:

A203

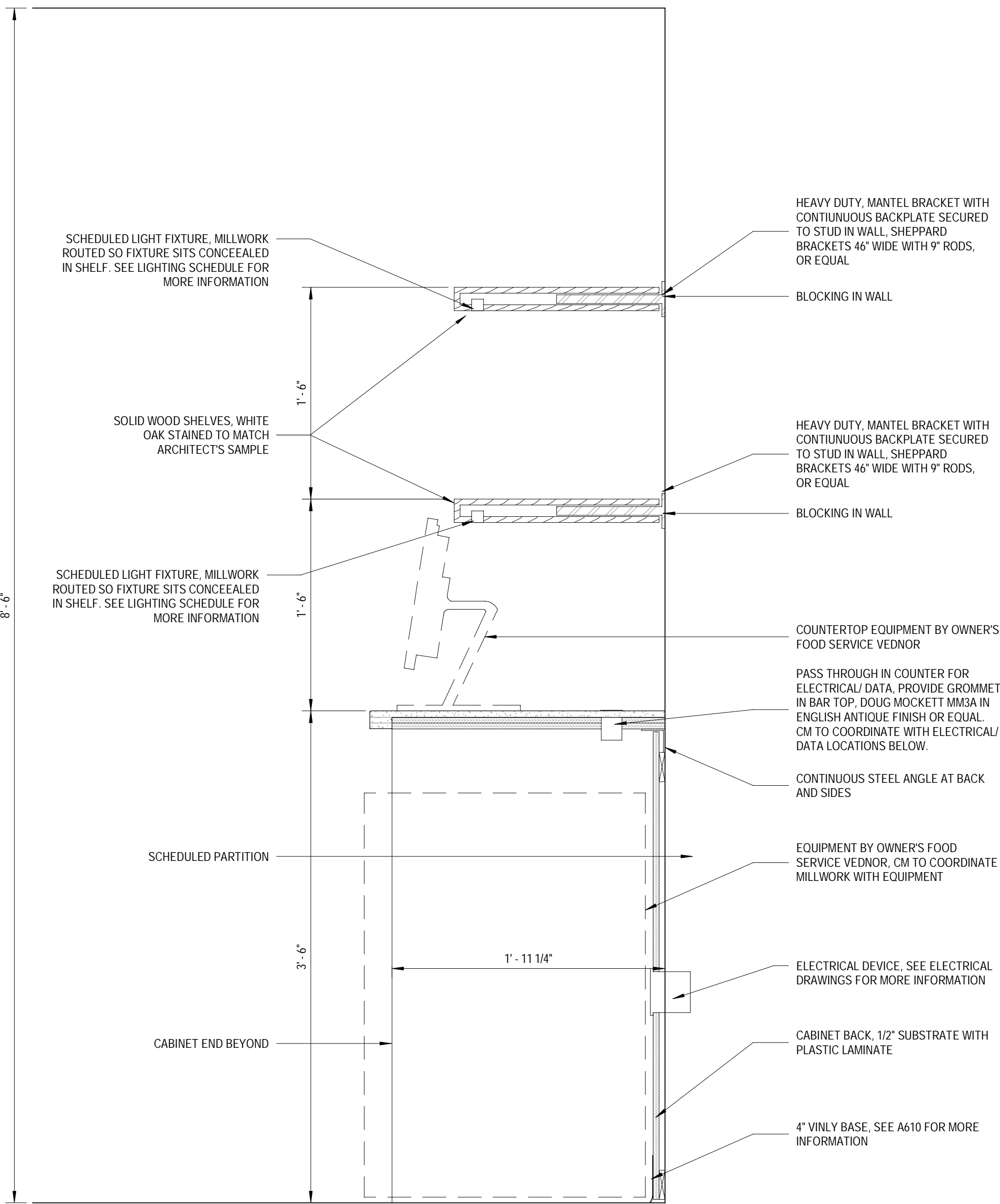
NO LONGER USED

1 1/2" = 1'-0" **7** SECTION DETAIL
HORIZONTAL SECTION @ PEG MULLANS BACK BAR

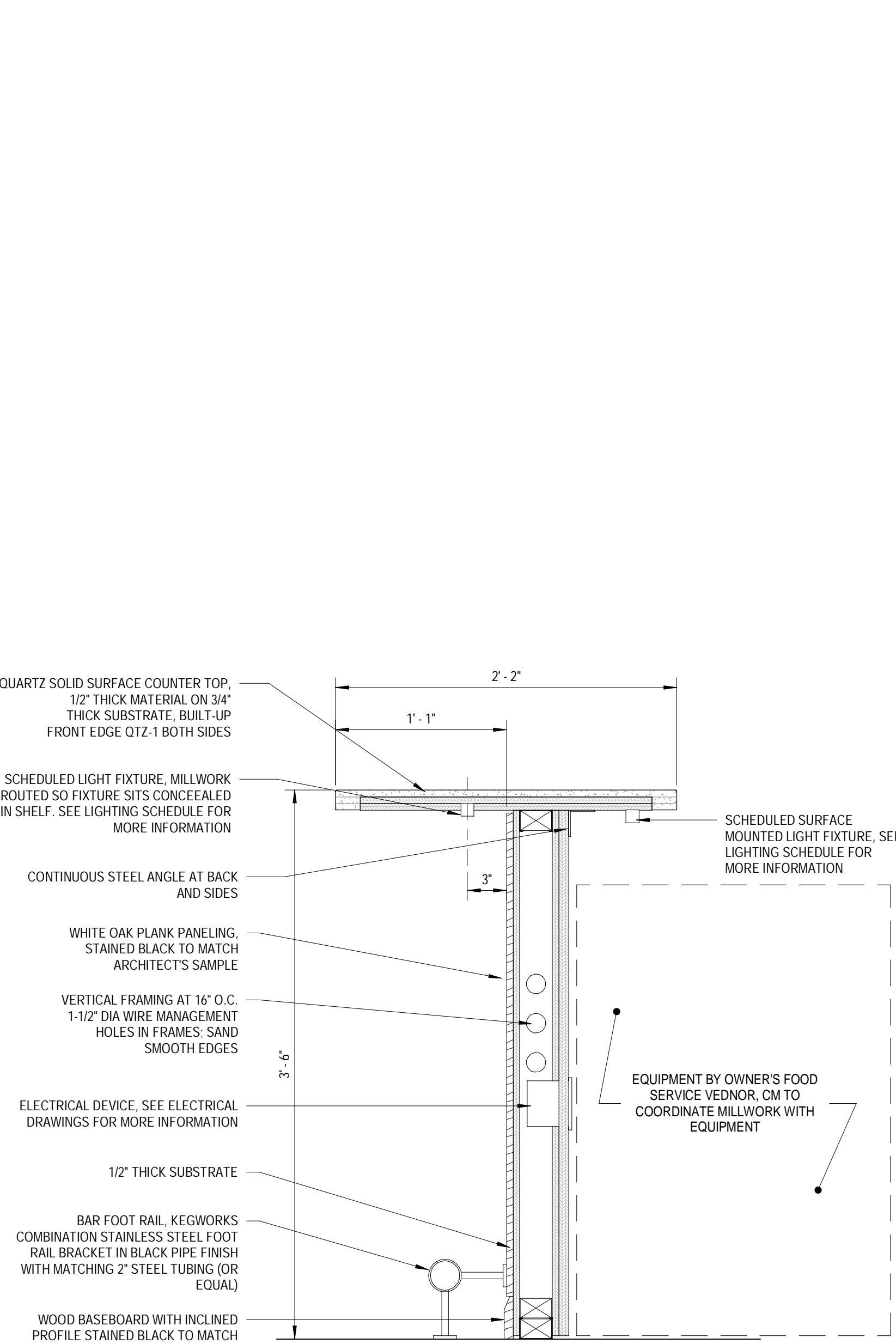


1/2" = 1'-0" **2** SECTION DETAIL
SECTION PLAN @ PEG MULLAN'S BAR

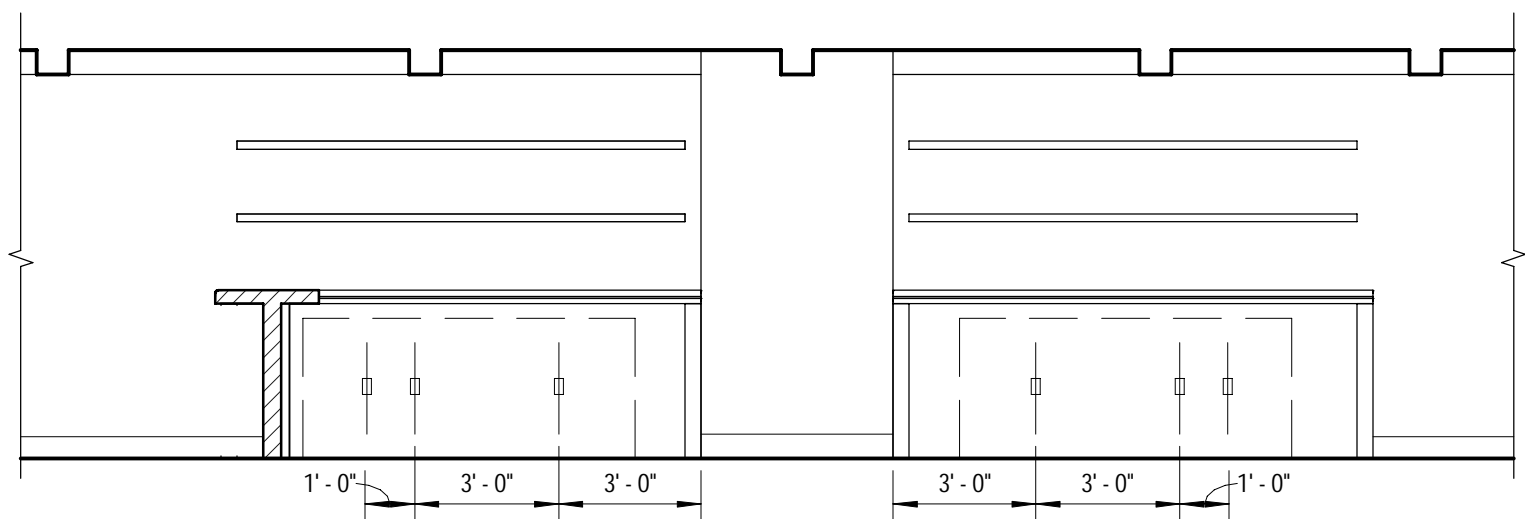
1/2" = 1'-0" **1** DETAIL PLAN
PEG MULLAN'S BAR



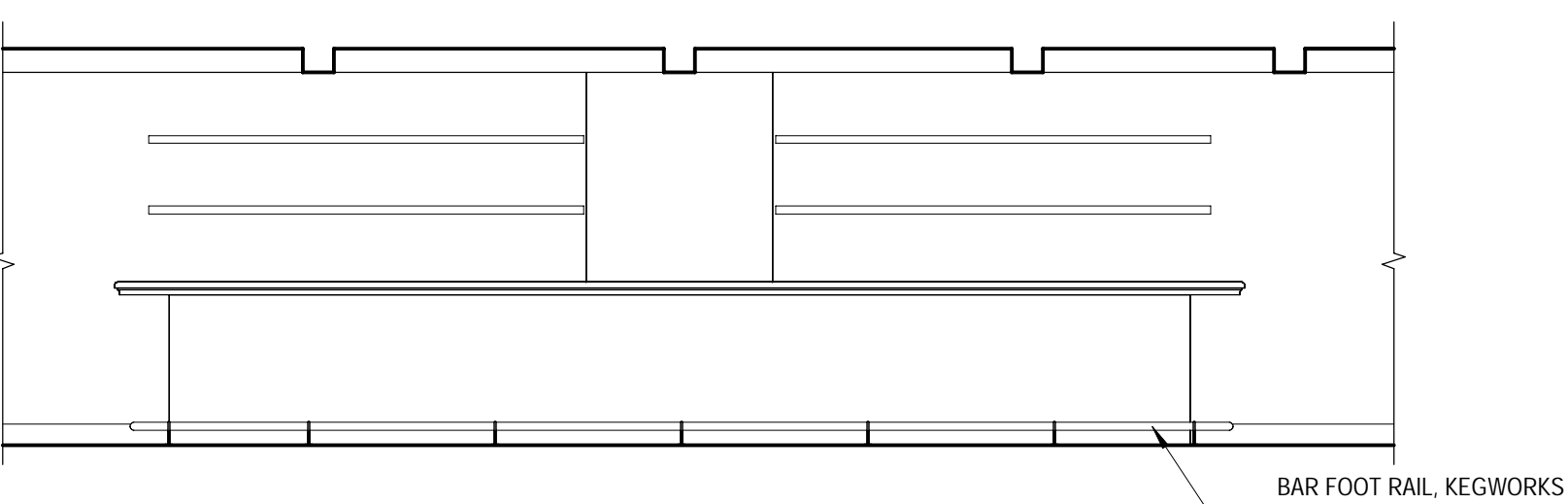
1 1/2" = 1'-0" **5** SECTION DETAIL
SECTION @ PEG MULLANS BACK BAR



1 1/2" = 1'-0" **6** SECTION DETAIL
SECTION @ PEG MULLANS FRONT BAR



1/4" = 1'-0" **4** INTERIOR ELEVATION
PEG MULLANS BACK BAR



1/4" = 1'-0" **3** INTERIOR ELEVATION
PEG MULLANS BAR FRONT



THE TUN

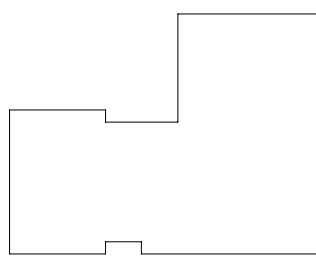
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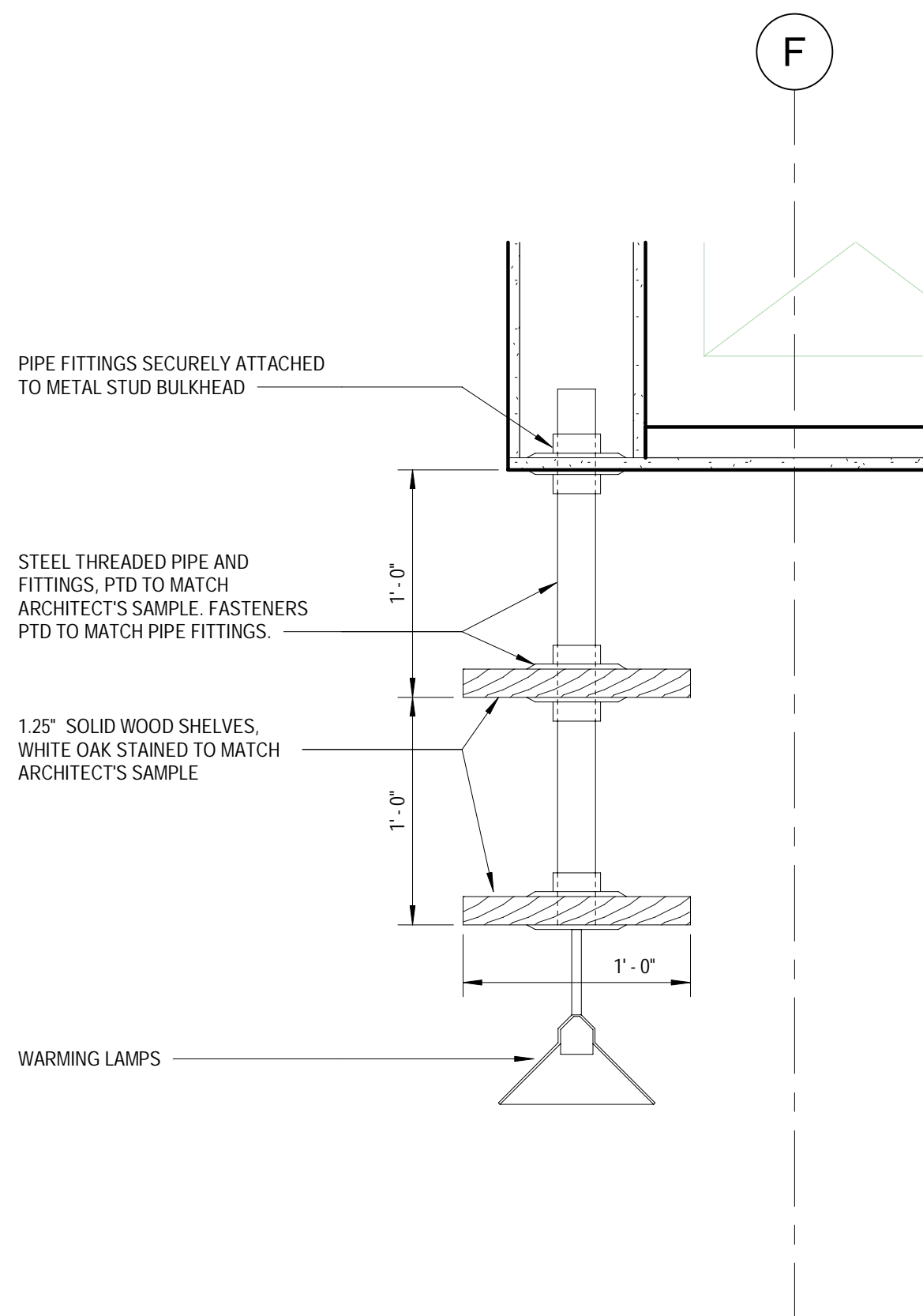
02/28/2025 PERMIT SET
01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: As indicated
ARCHITECTURE
TITLE:

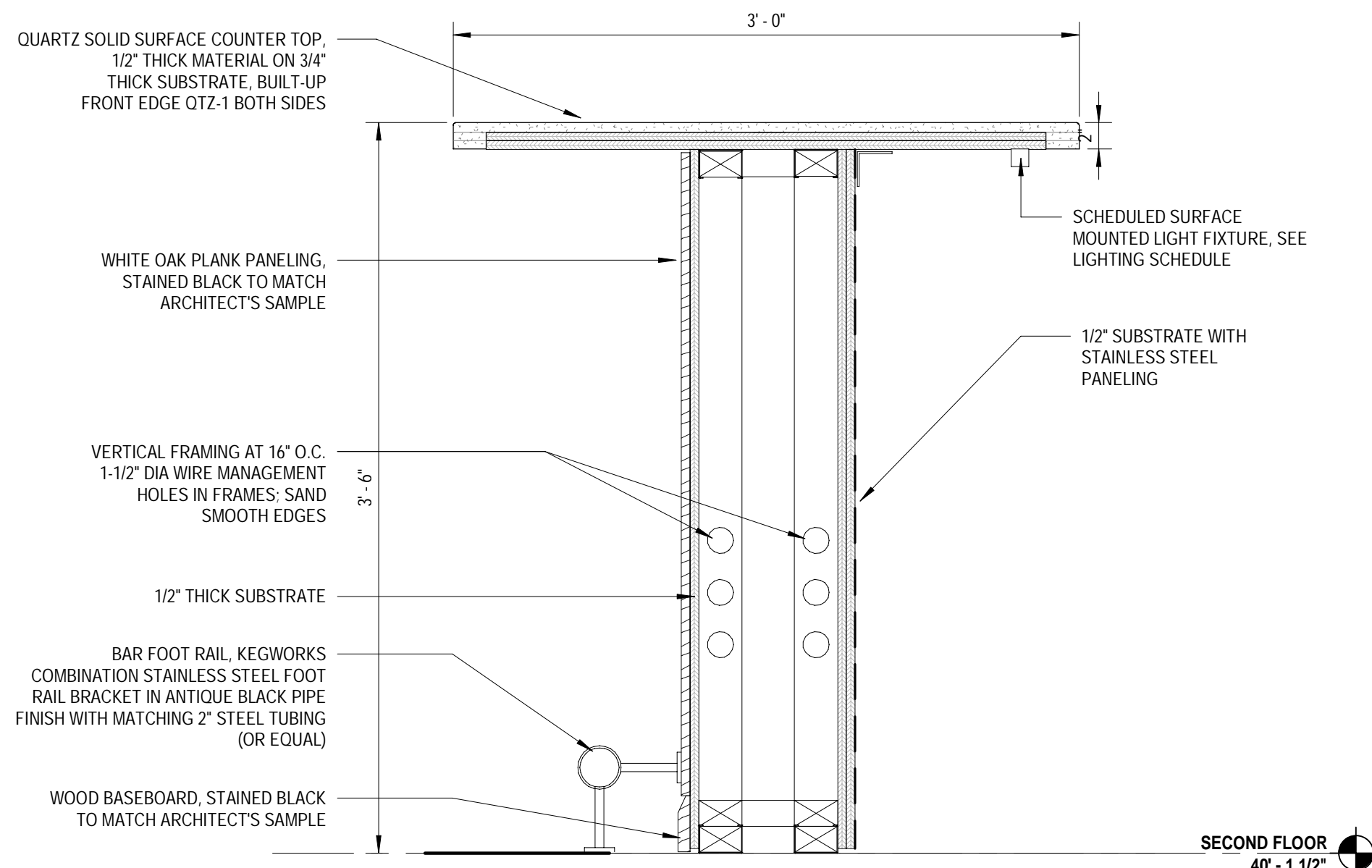
BAR DETAIL PLANS
AND ELEVATIONS -
CHEF'S KITCHEN
BAR

NUMBER:

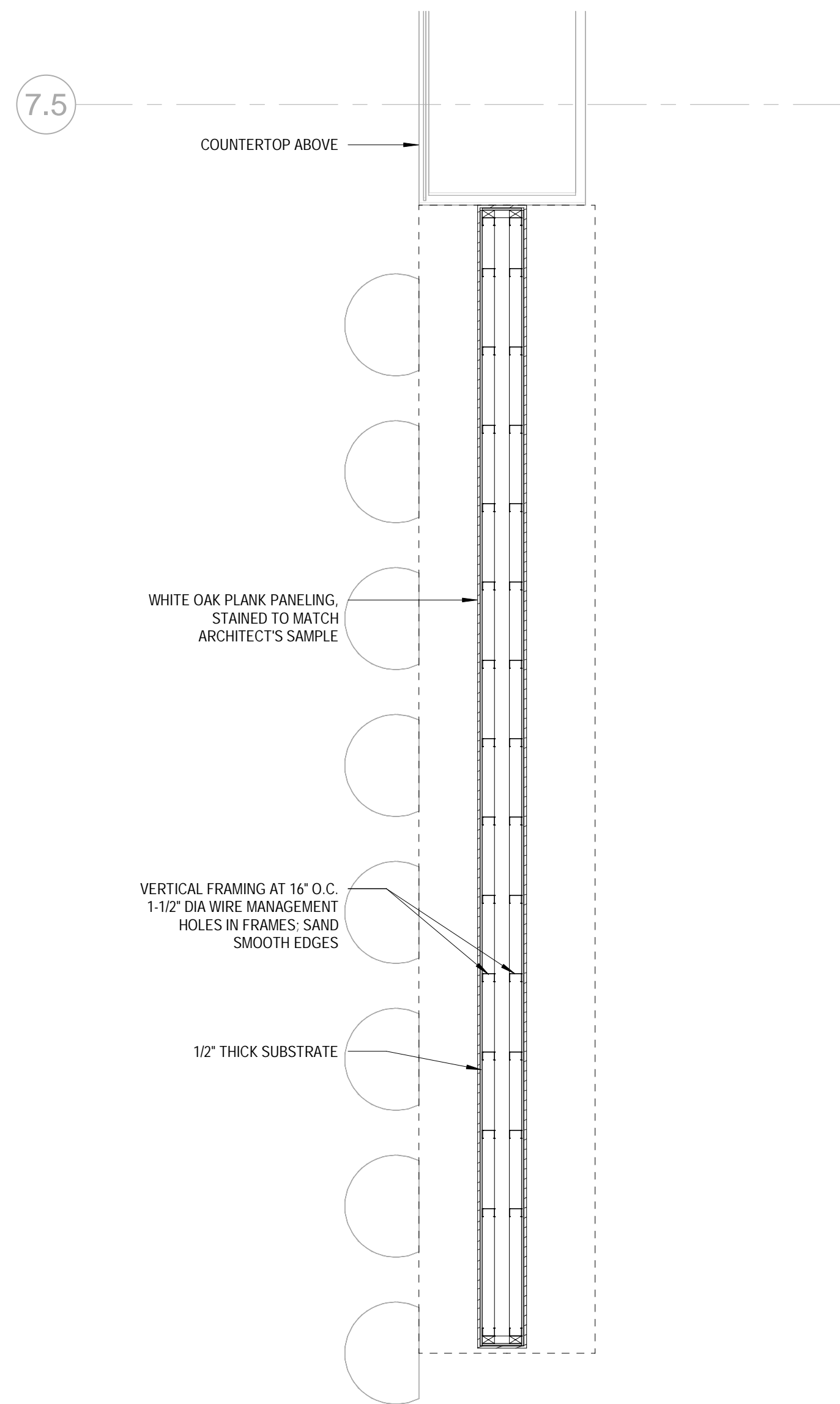
A204



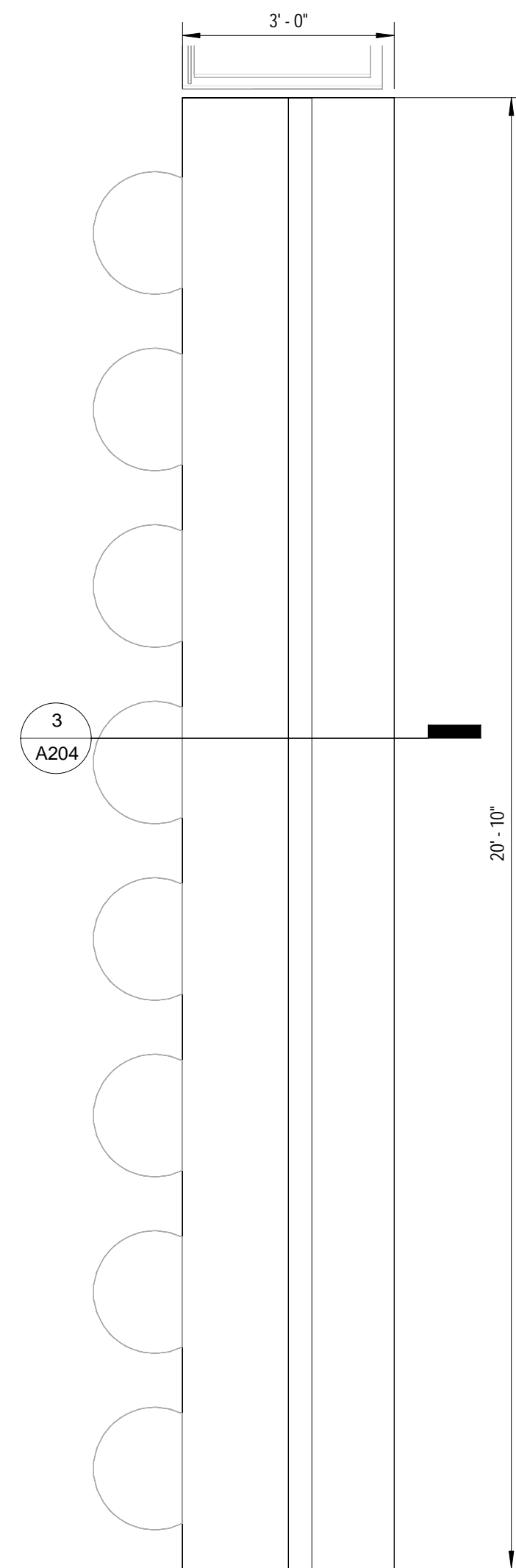
1 1/2" = 1'-0" 4 SECTION DETAIL
SECTION @ CHEF KITCHEN HANGING SHELVES



1 1/2" = 1'-0" 3 SECTION DETAIL
SECTION @ CHEF'S KITCHEN BAR



1/2" = 1'-0" 2 SECTION DETAIL
SECTION PLAN @ CHEF'S KITCHEN BAR



1/2" = 1'-0" 1 DETAIL PLAN
CHEF'S KITCHEN BAR



THE TUN

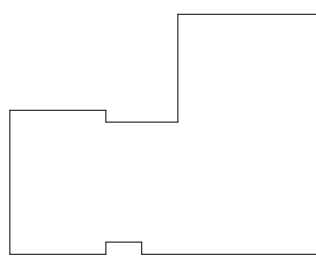
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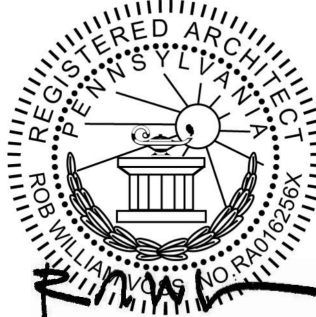
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11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00

SCALE: 1/4" = 1'-0"

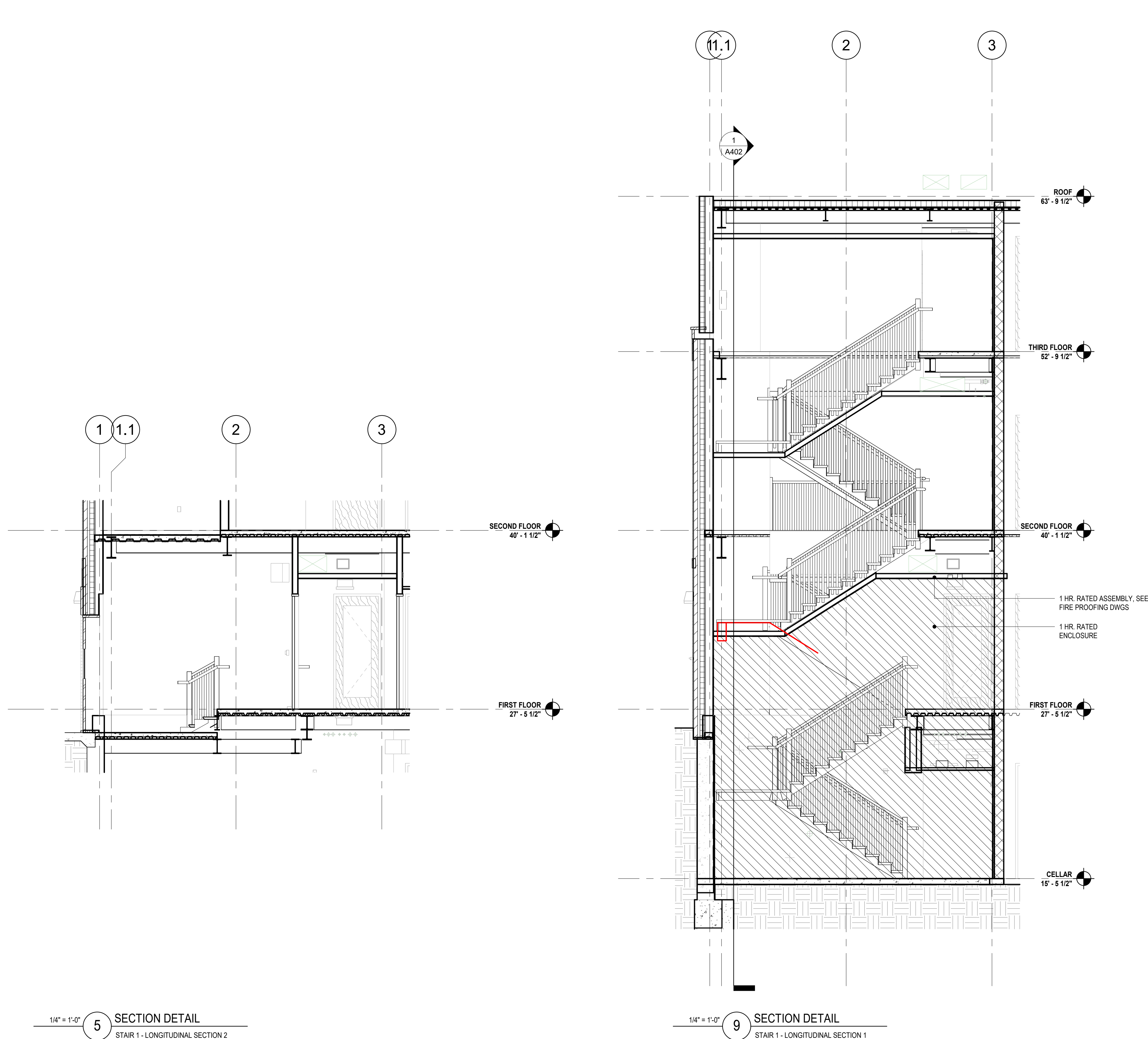
Author

TITLE:

STAIR 1 AND
ELEVATOR PLANS
AND ELEVATIONS

NUMBER:

A211





THE TUN

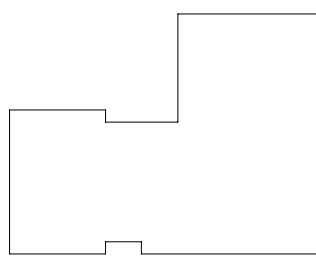
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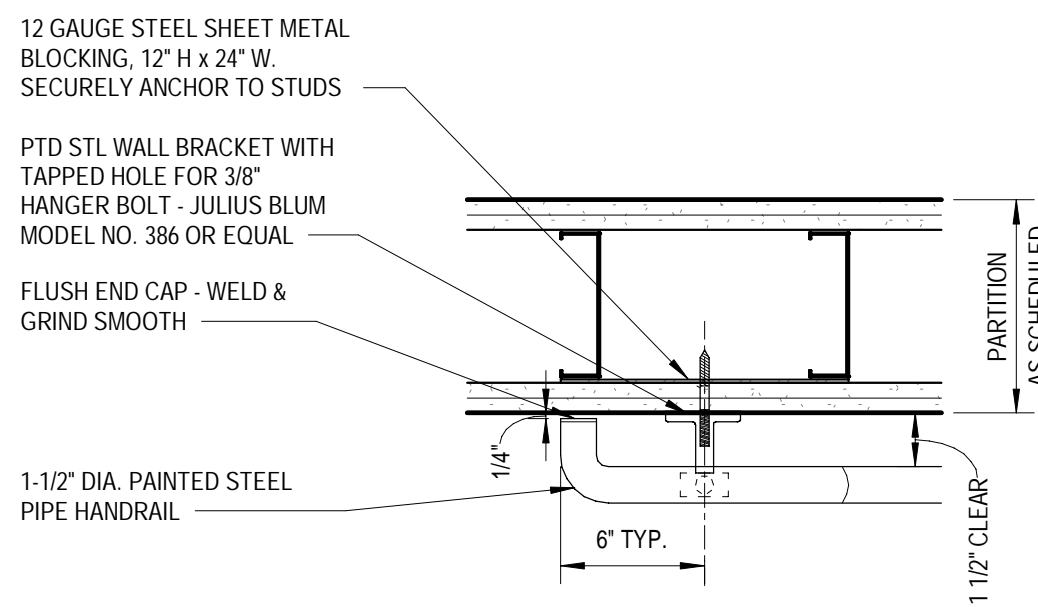
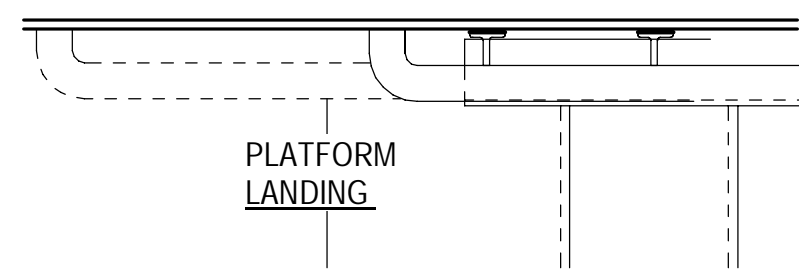
PROJECT: 23053.00
SCALE: 1 1/2" = 1'-0"
Author

TITLE:

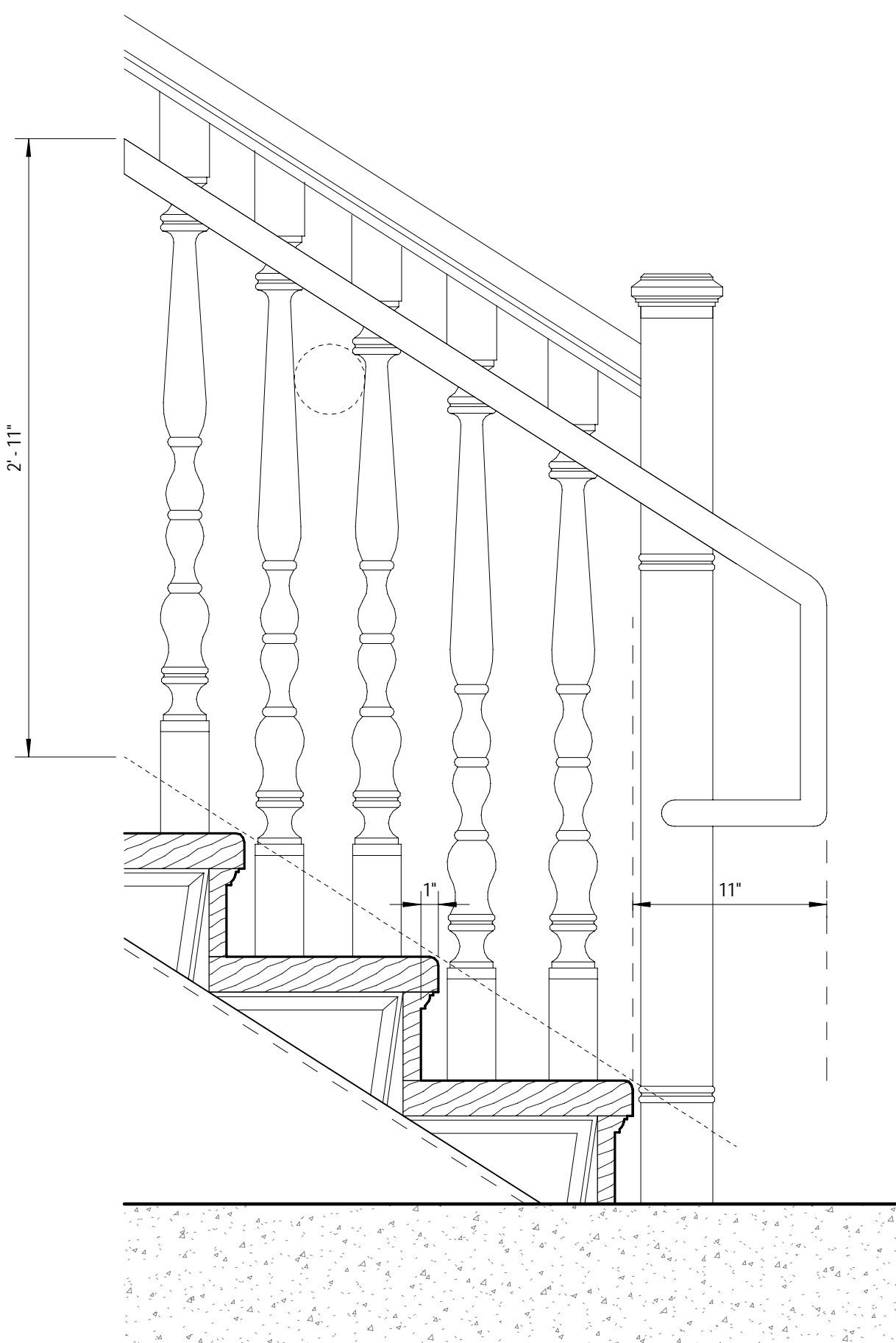
STAIR 1 DETAILS

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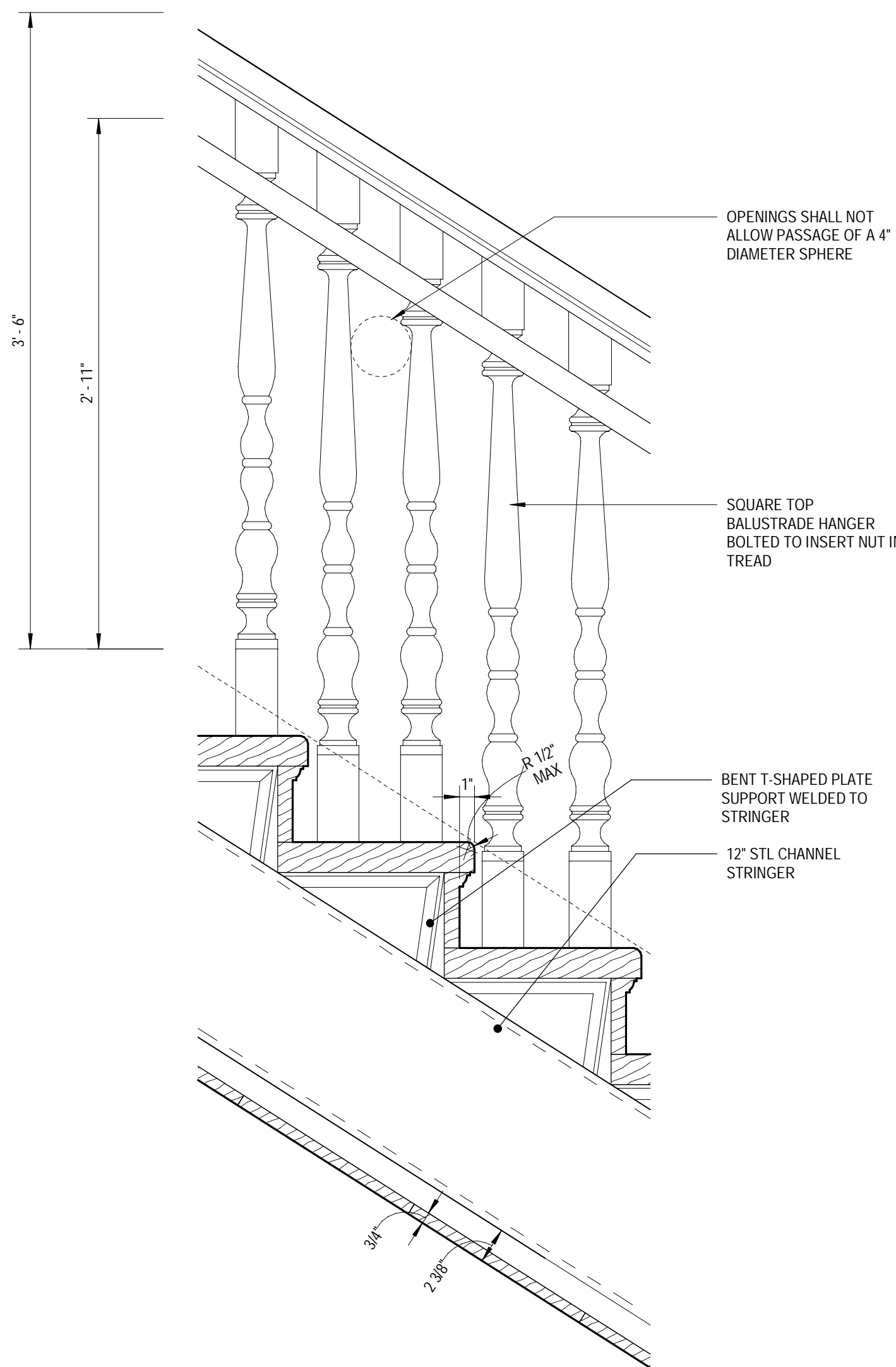
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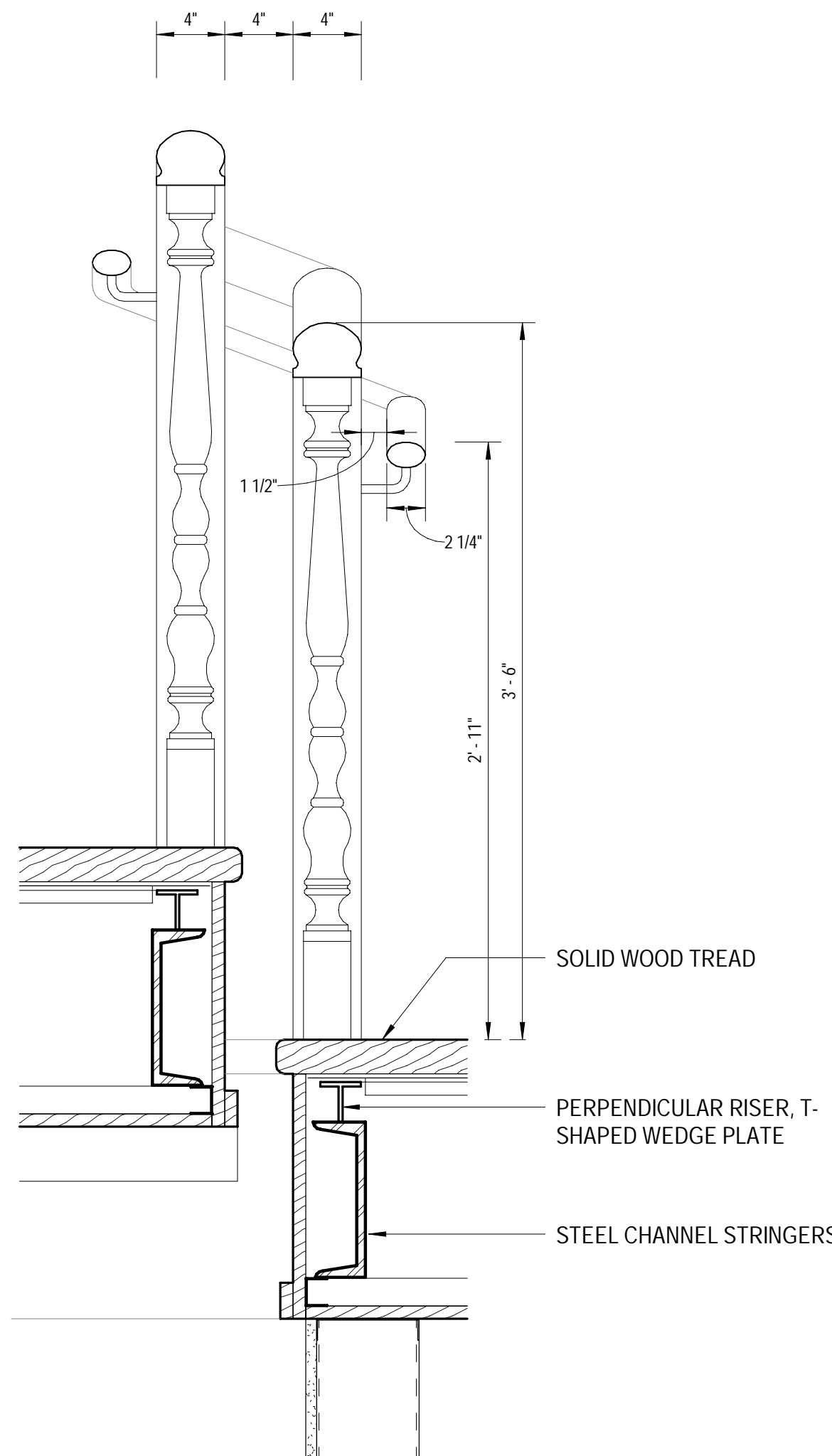
1 1/2" = 1'-0" 05 PLAN DETAIL
PLAN DETAIL AT HANDRAIL & WALL



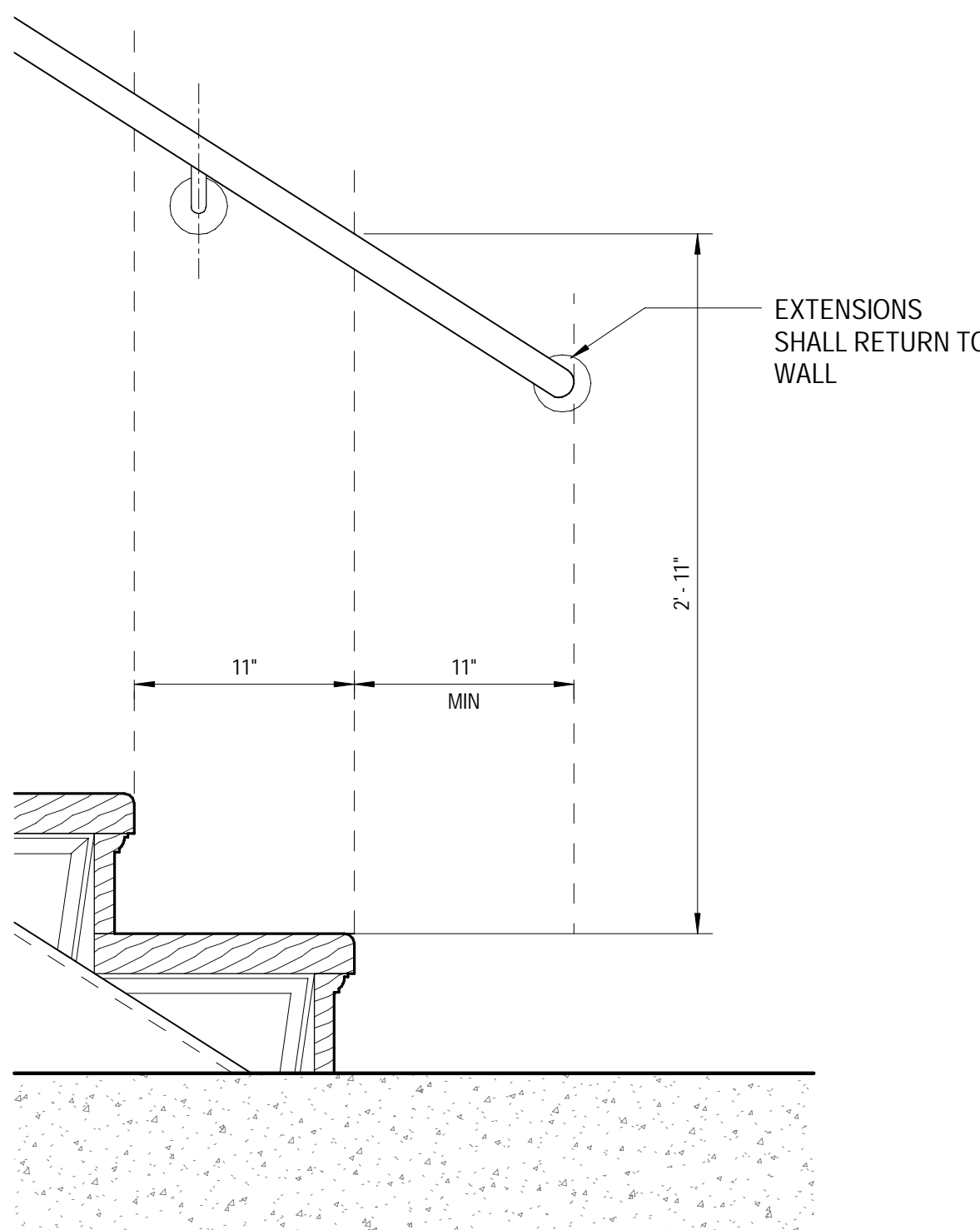
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TYP TREAD / RISER AT LOWEST LEVEL W/ INSIDE STRINGER HANDRAIL



1 1/2" = 1'-0" 03 SECTION DETAIL
TYP TREAD / RISER W/ INTERMEDIATE POST



1 1/2" = 1'-0" 02 SECTION DETAIL
TYP SECTION AT INTERMEDIATE STRINGER



1 1/2" = 1'-0" 01 SECTION DETAIL
TYP TREAD / RISER AT LOWEST LEVEL W/ OUTSIDE STRINGER HANDRAIL



THE TUN

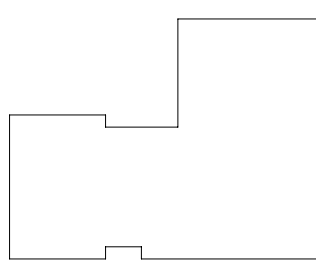
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11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: 1/4" = 1'-0"

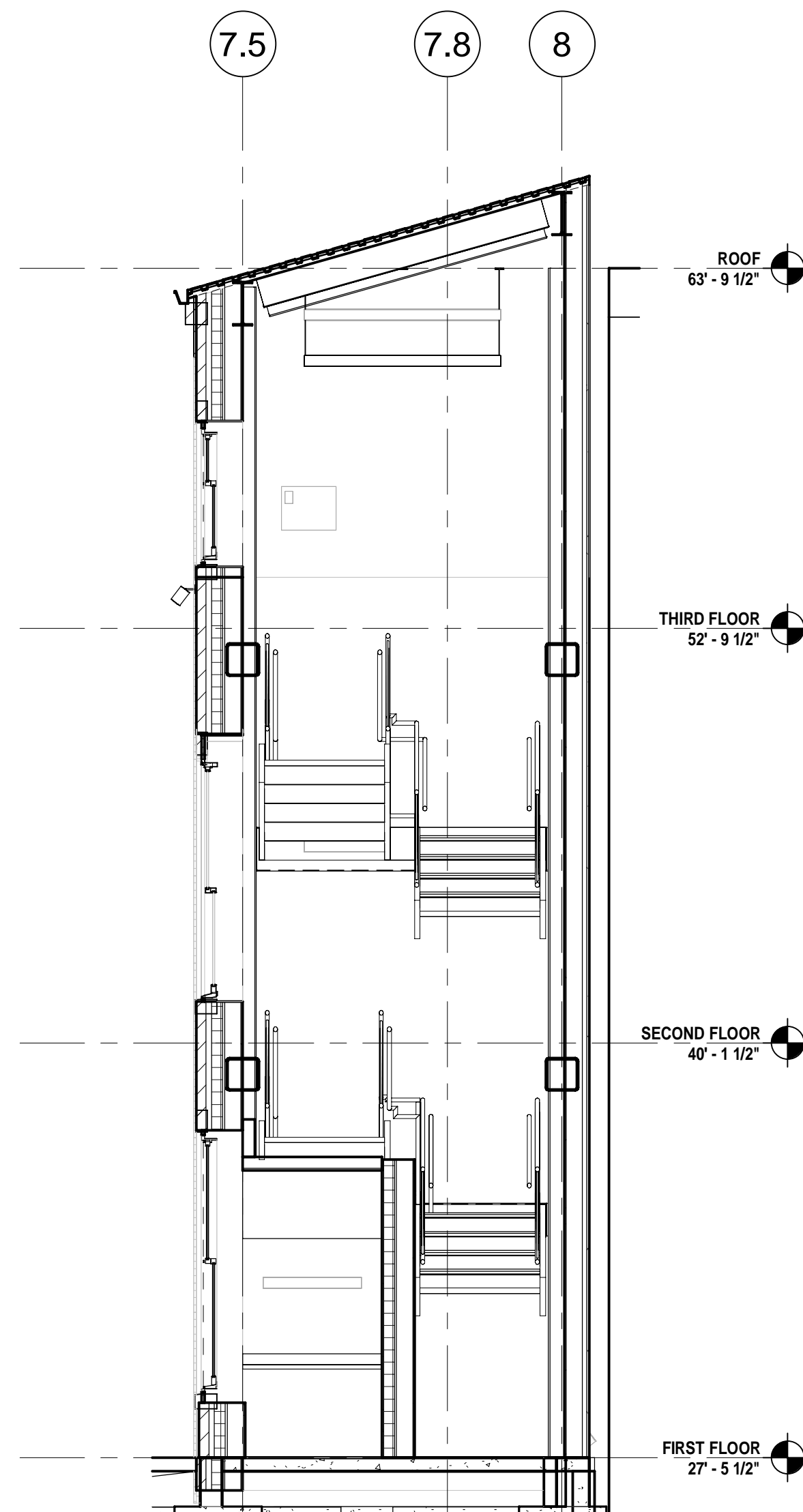
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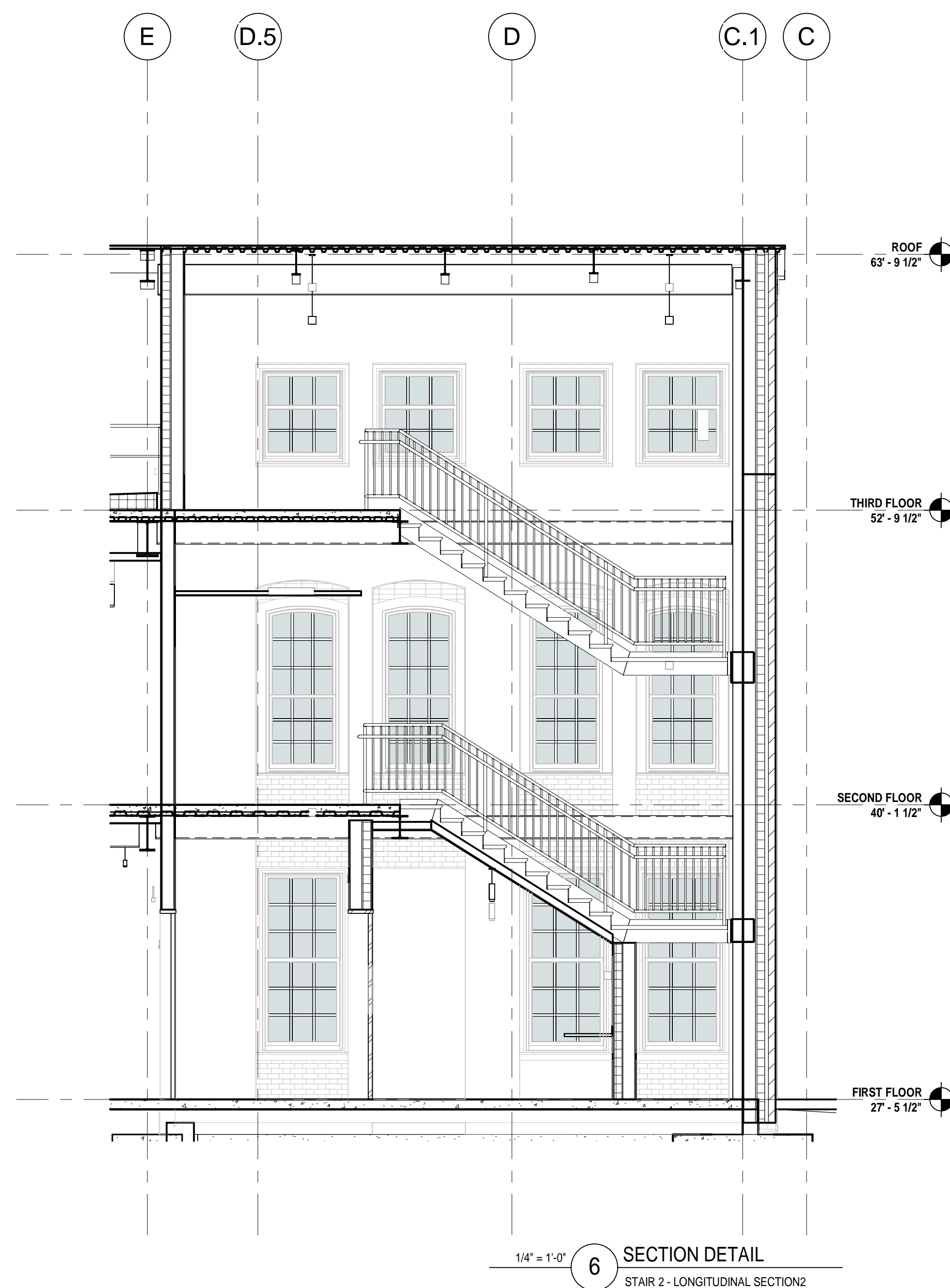
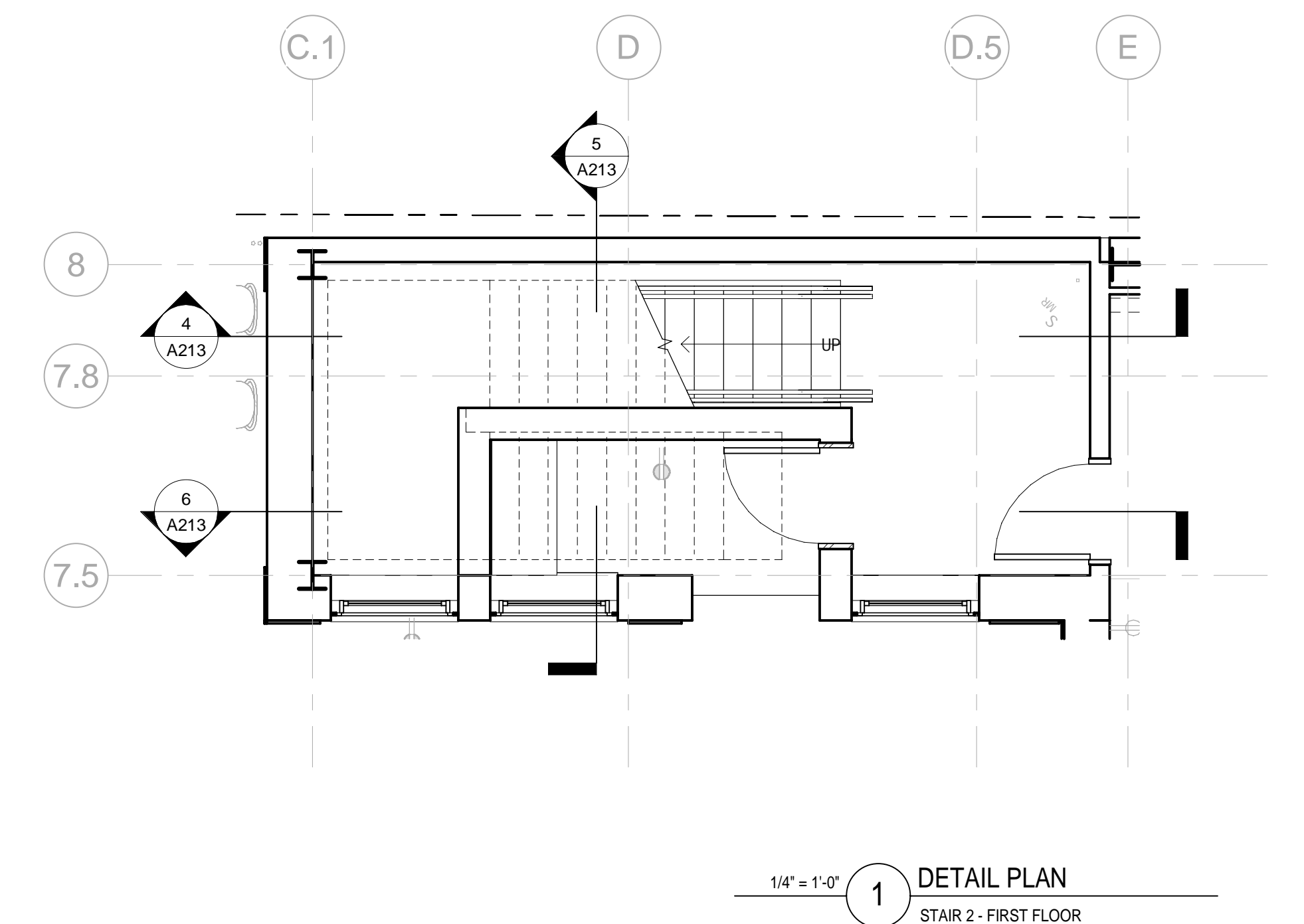
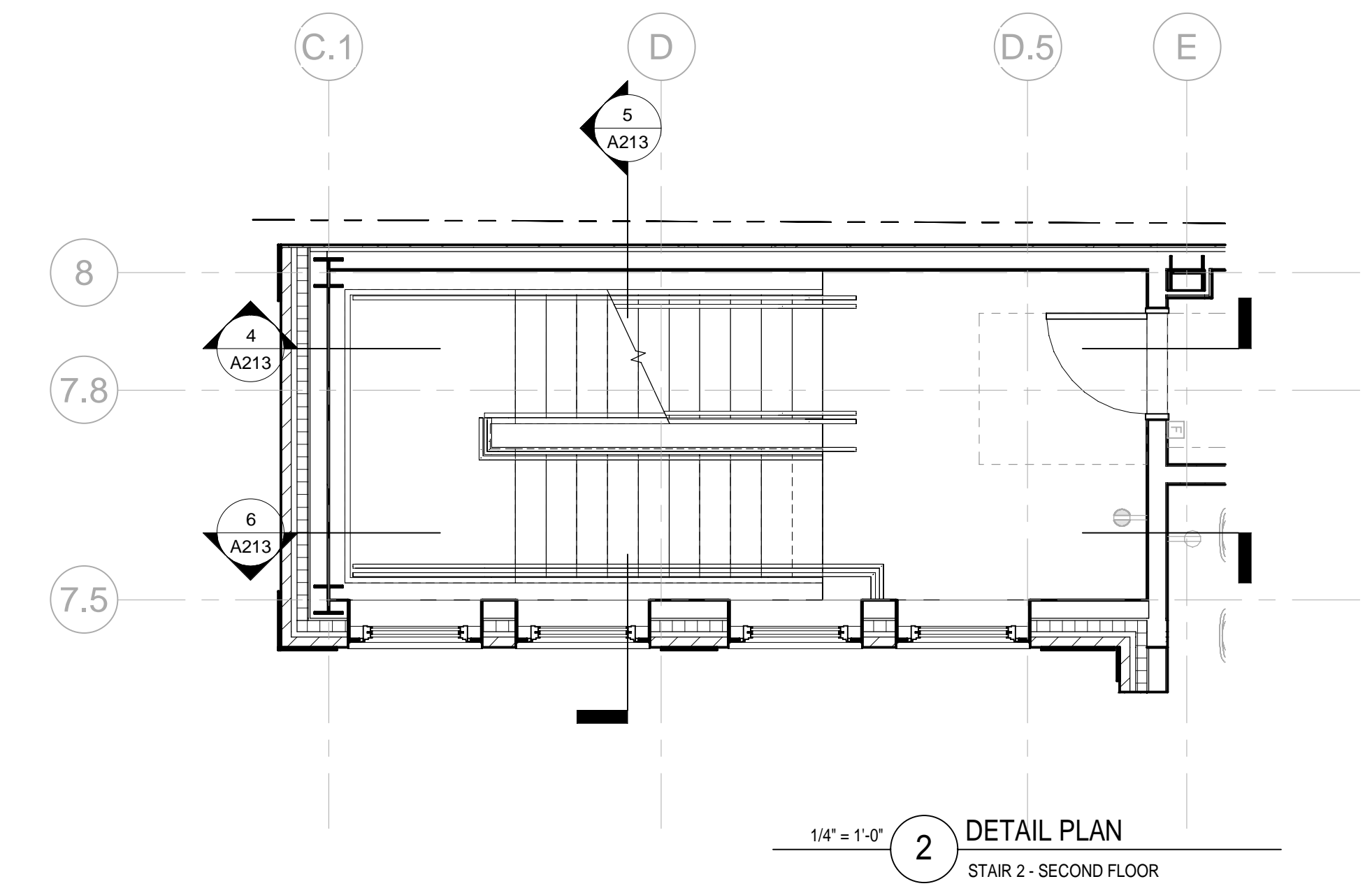
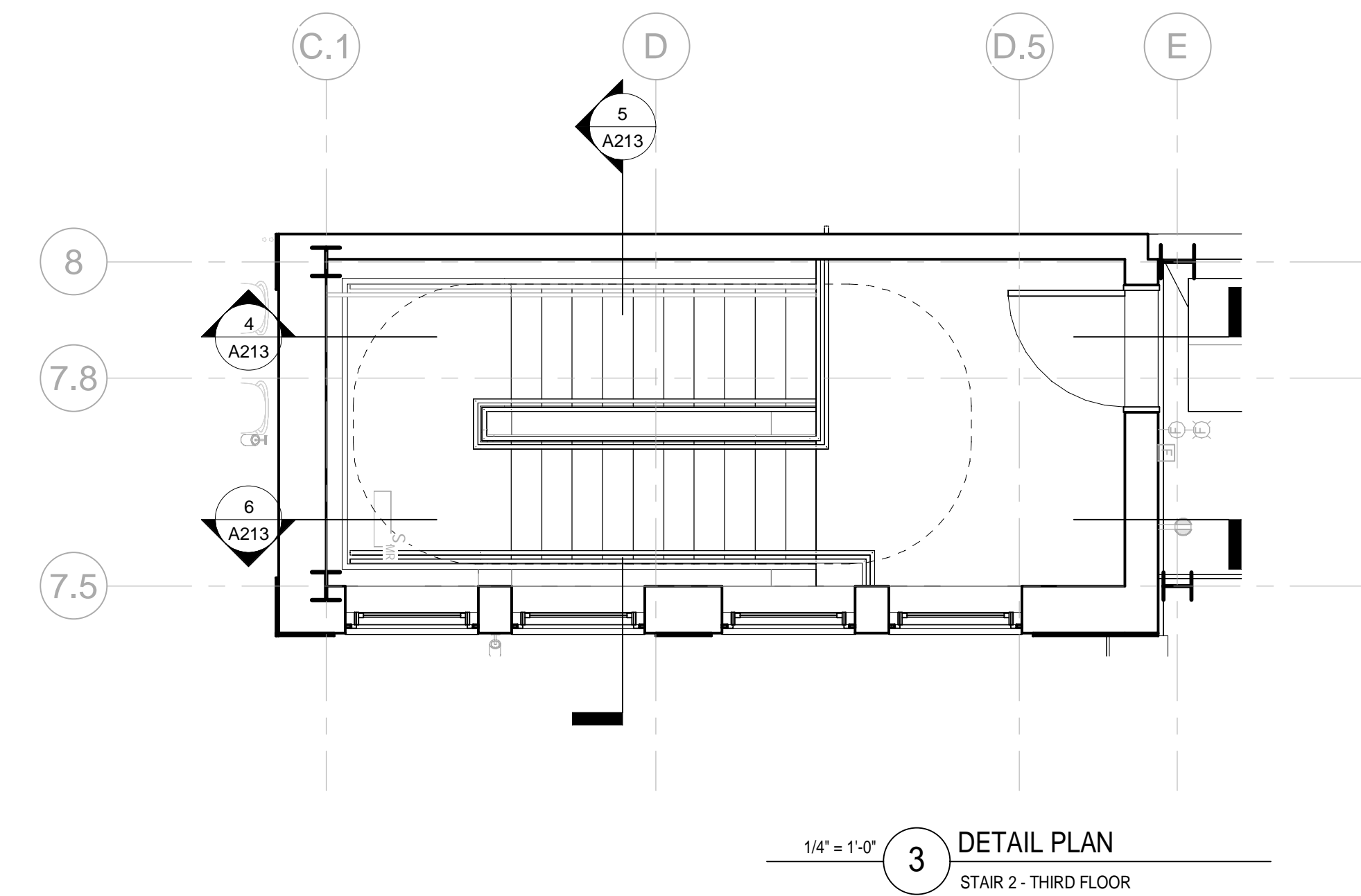
STAIR 2 PLANS AND
ELEVATIONS

NUMBER:

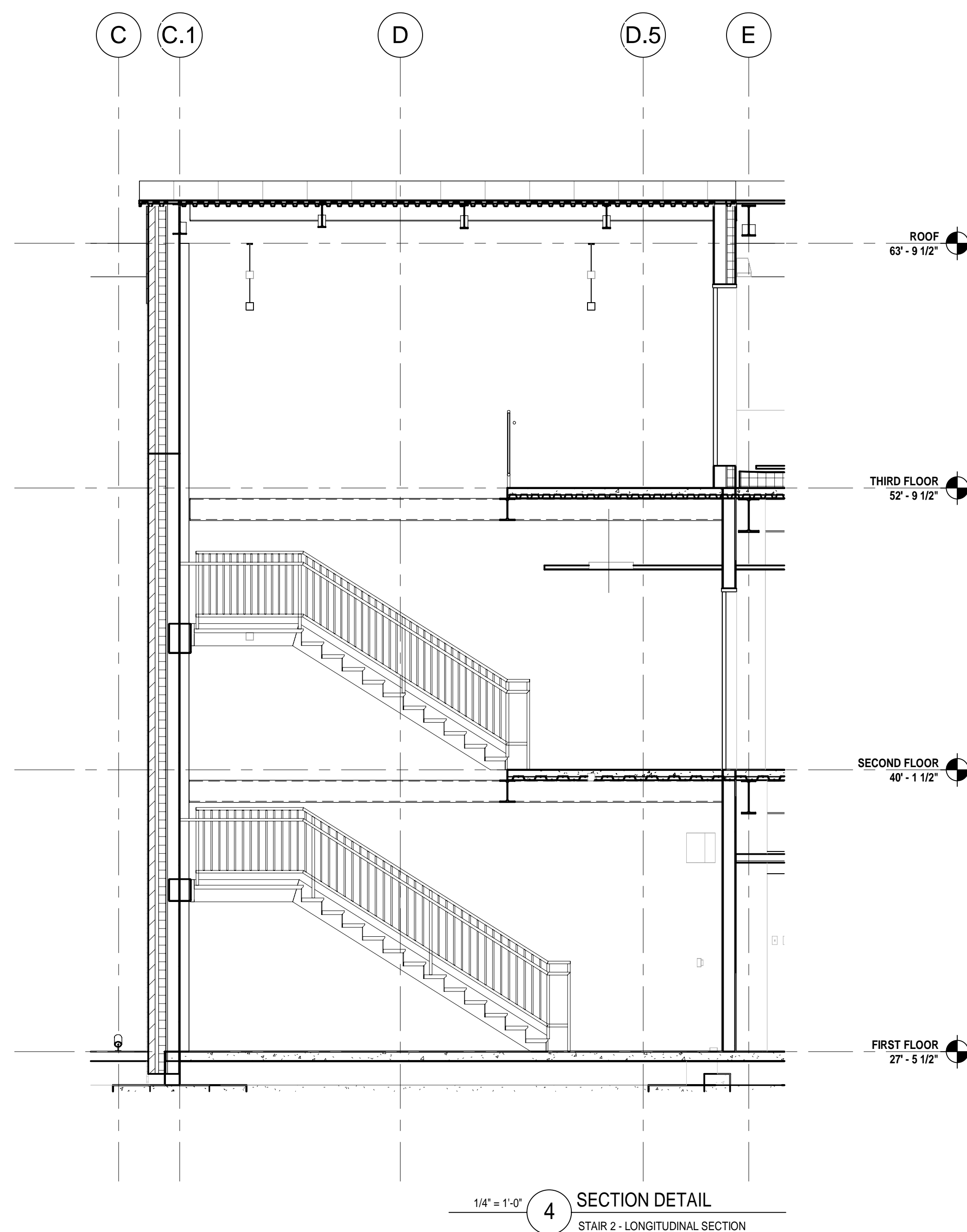
A213



1/4" = 1'-0" 5 SECTION DETAIL
STAIR 2 - LONGITUDINAL SECTION 1



1/4" = 1'-0" 6 SECTION DETAIL
STAIR 2 - LONGITUDINAL SECTION 2



1/4" = 1'-0" 4 SECTION DETAIL
STAIR 2 - LONGITUDINAL SECTION



THE TUN

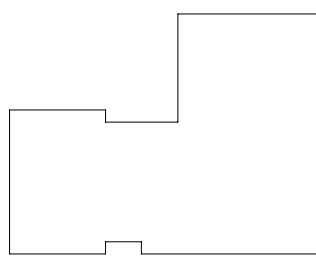
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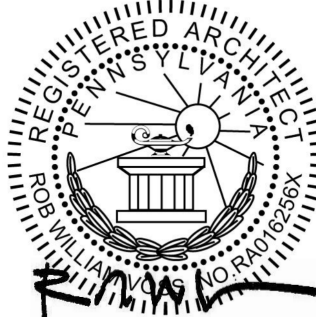
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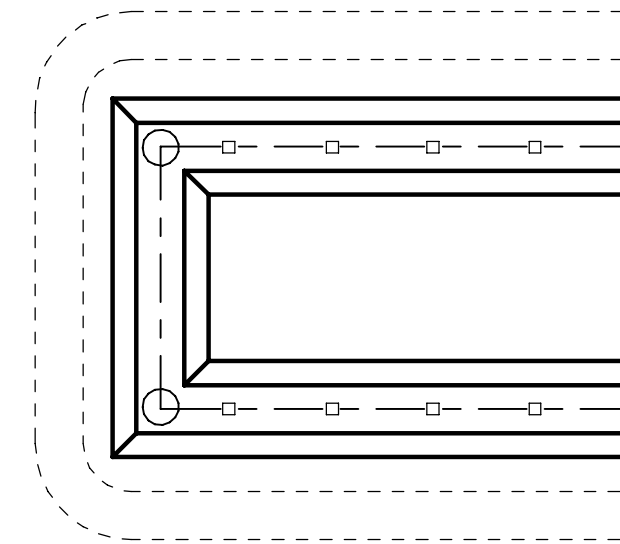
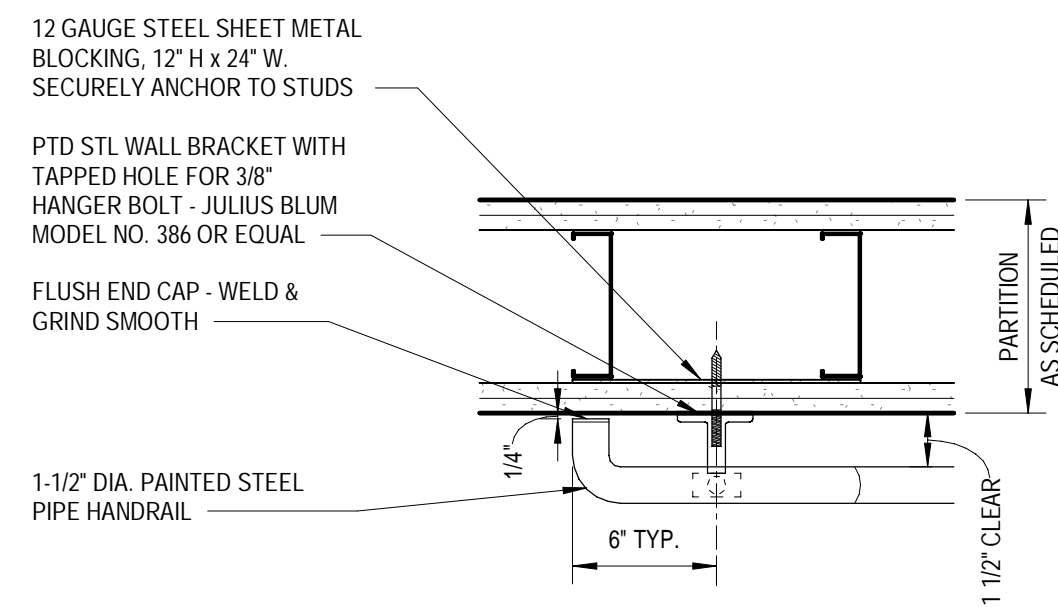
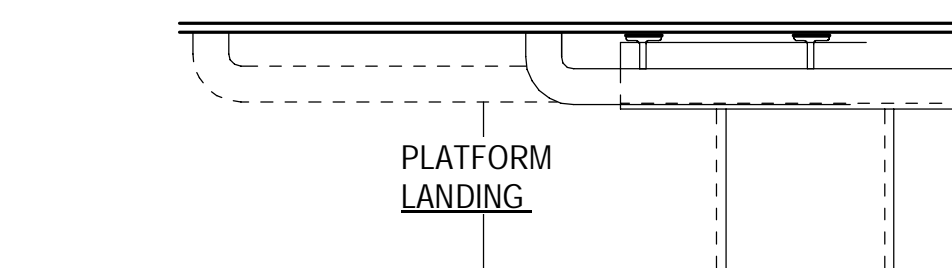
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11/10/2024 ISSUE 2
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PROJECT: 23053.00
SCALE: 1 1/2" = 1'-0"
Author
TITLE:

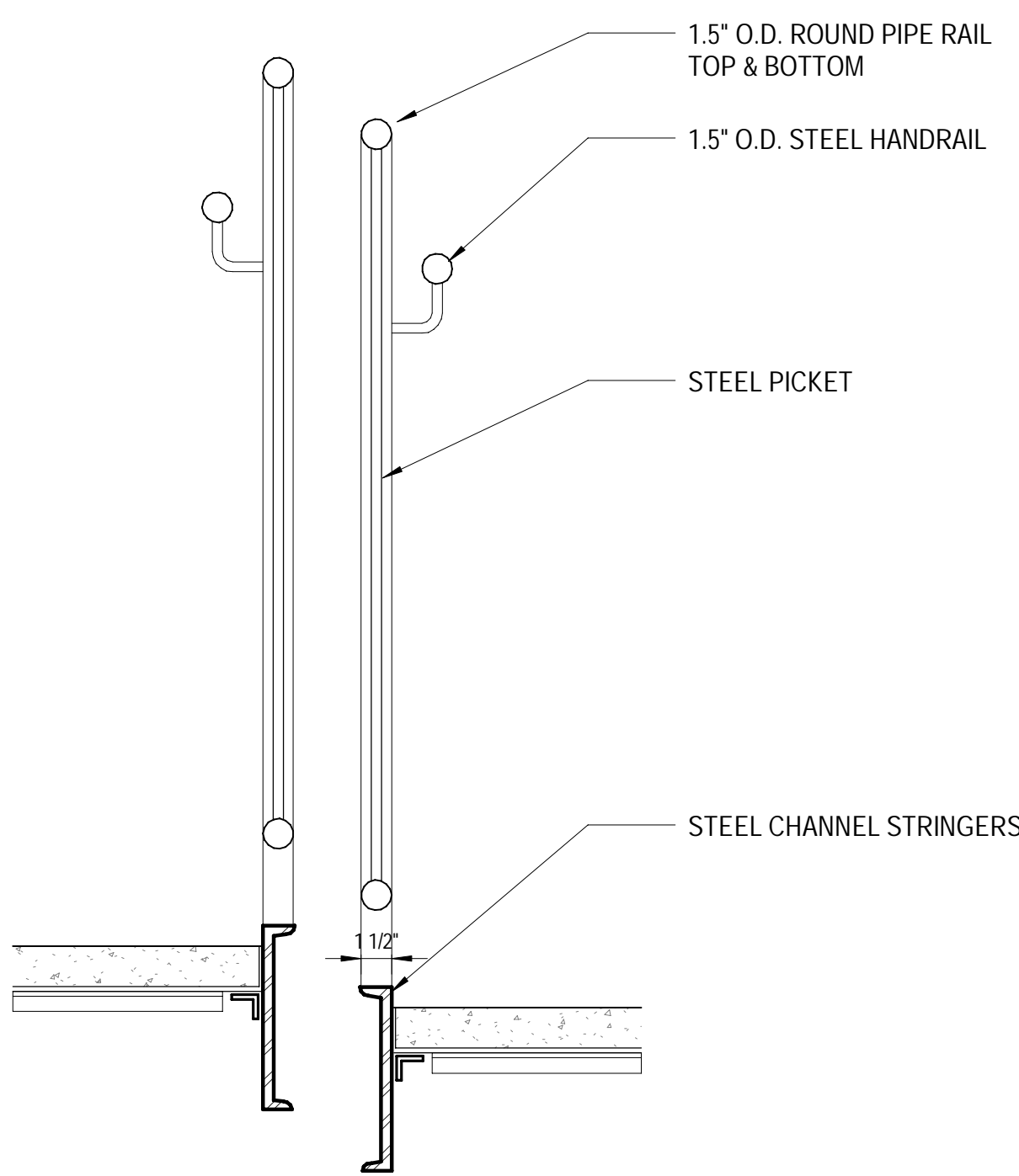
STAIR 2 DETAILS

NUMBER:

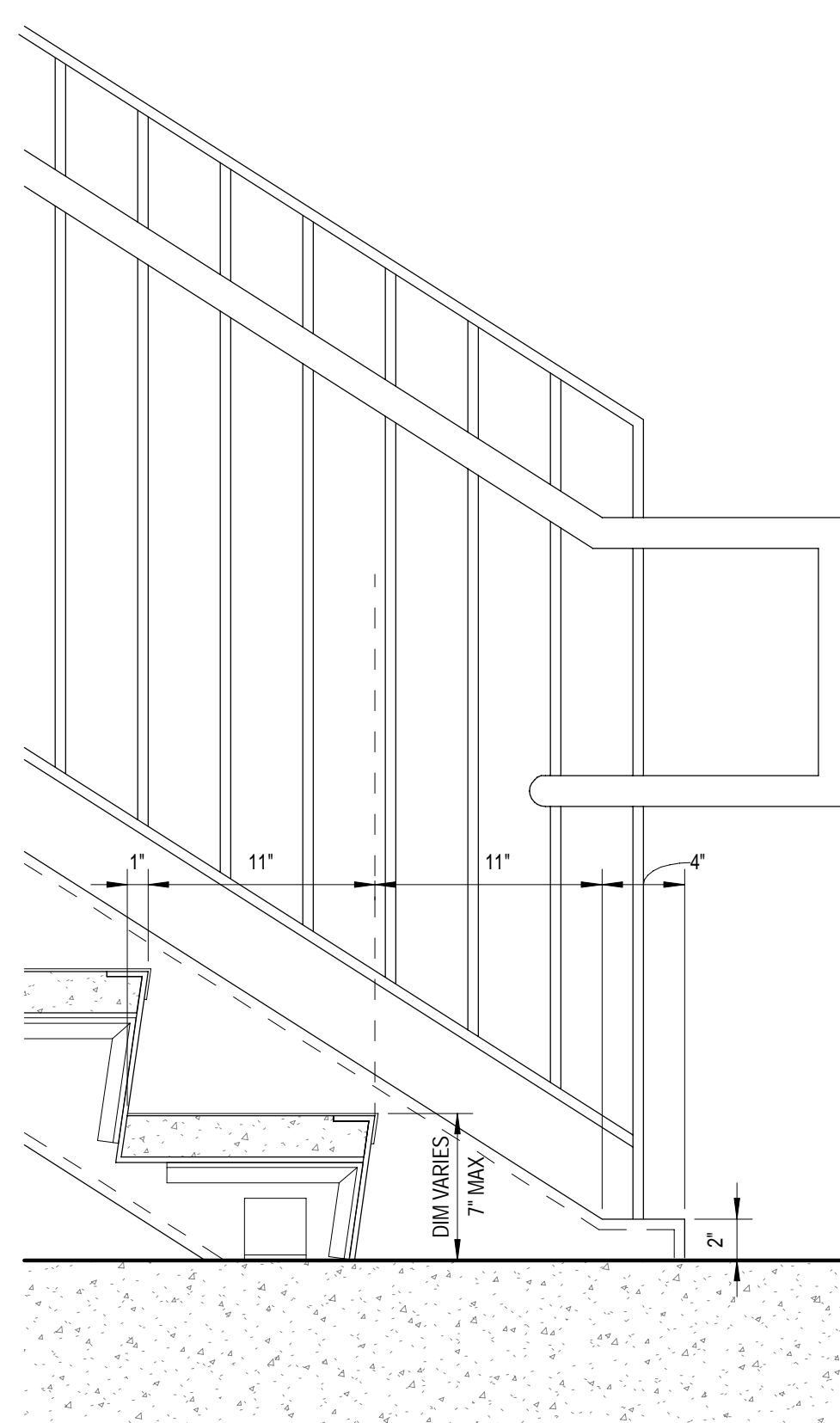
A214



1 1/2" = 1'-0" 10 PLAN DETAIL
PLAN DETAIL AT HANDRAIL & WALL

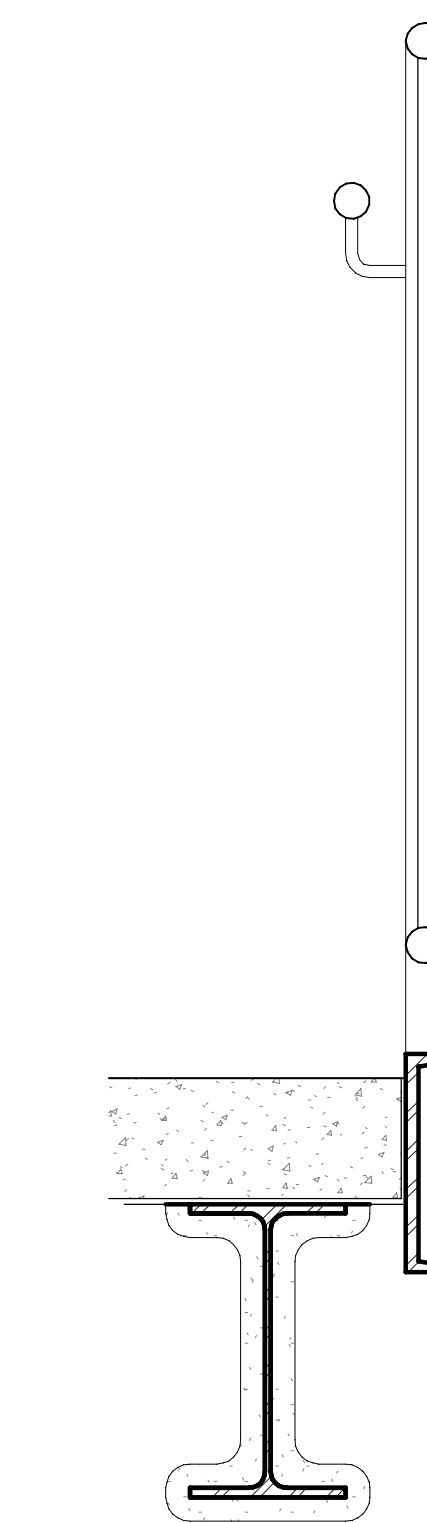


1 1/2" = 1'-0" 6 SECTION DETAIL
TYP SECTION AT INTERMEDIATE STRINGER

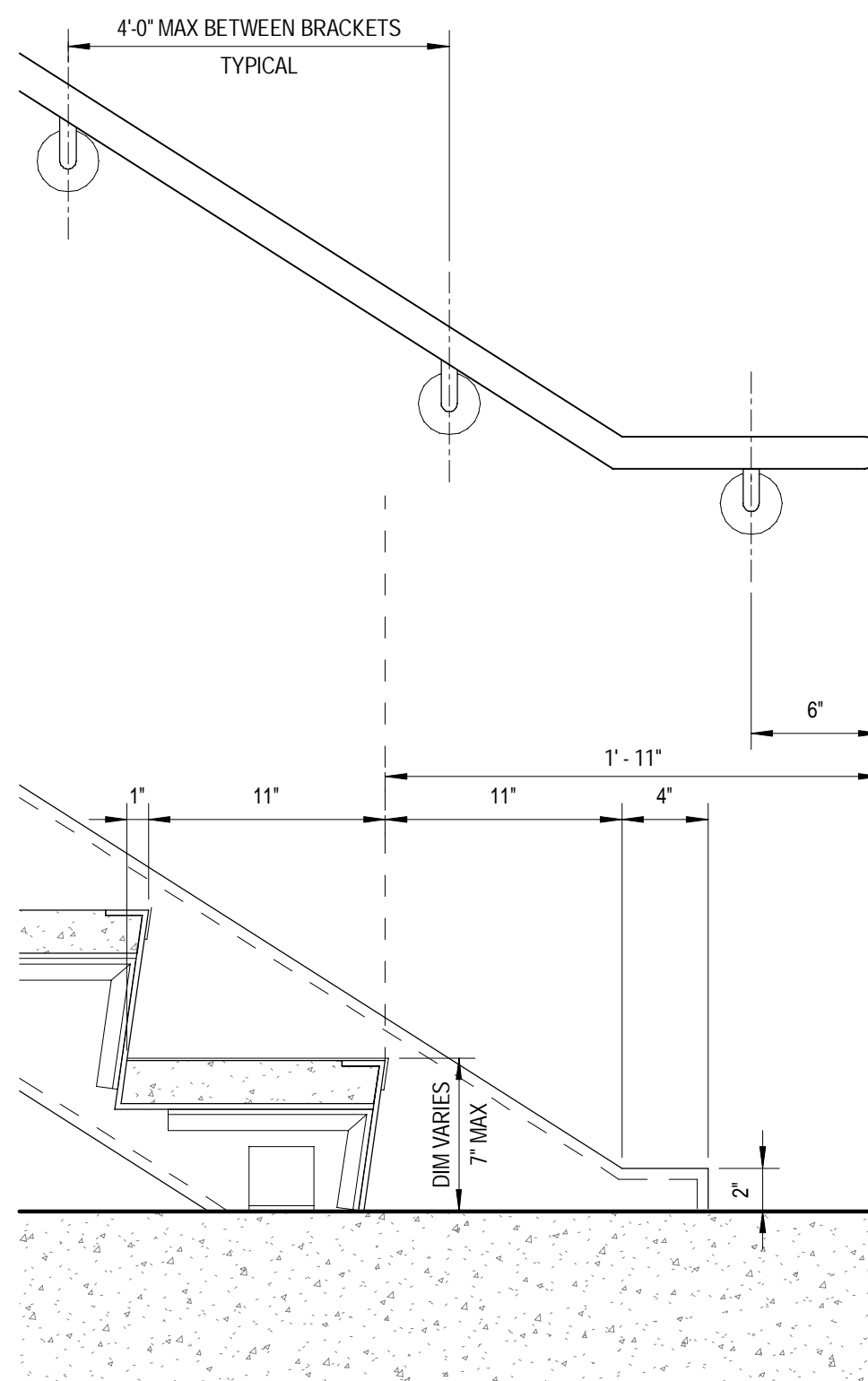


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TYP TREAD / RISER AT LOWEST LEVEL W/ INSIDE STRINGER HANDRAIL

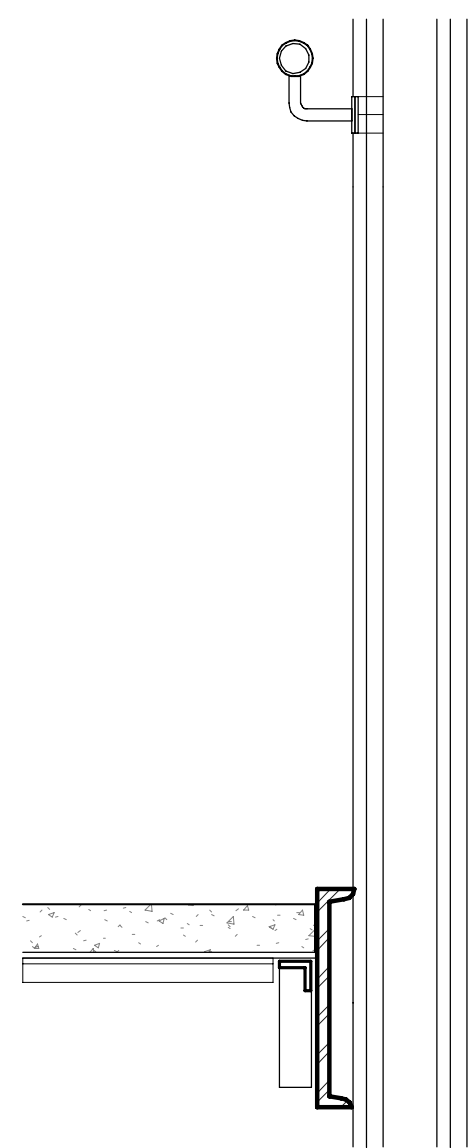
1 1/2" = 1'-0" 9 PLAN DETAIL
PLAN DETAIL AT SUPPORTS AND PICKETS



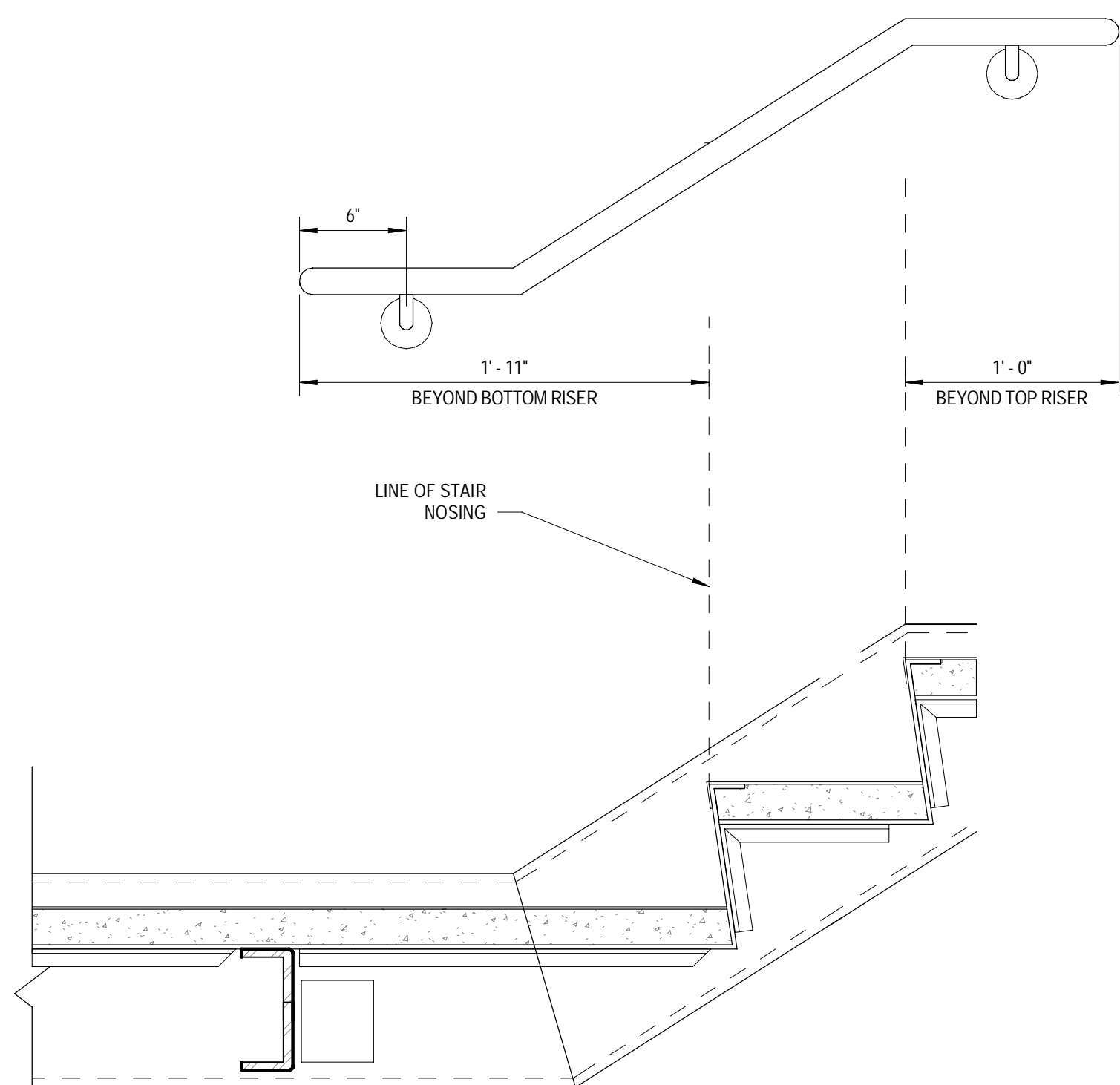
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TYP. SECTION AT GUARDRAIL AT TOP STRINGER



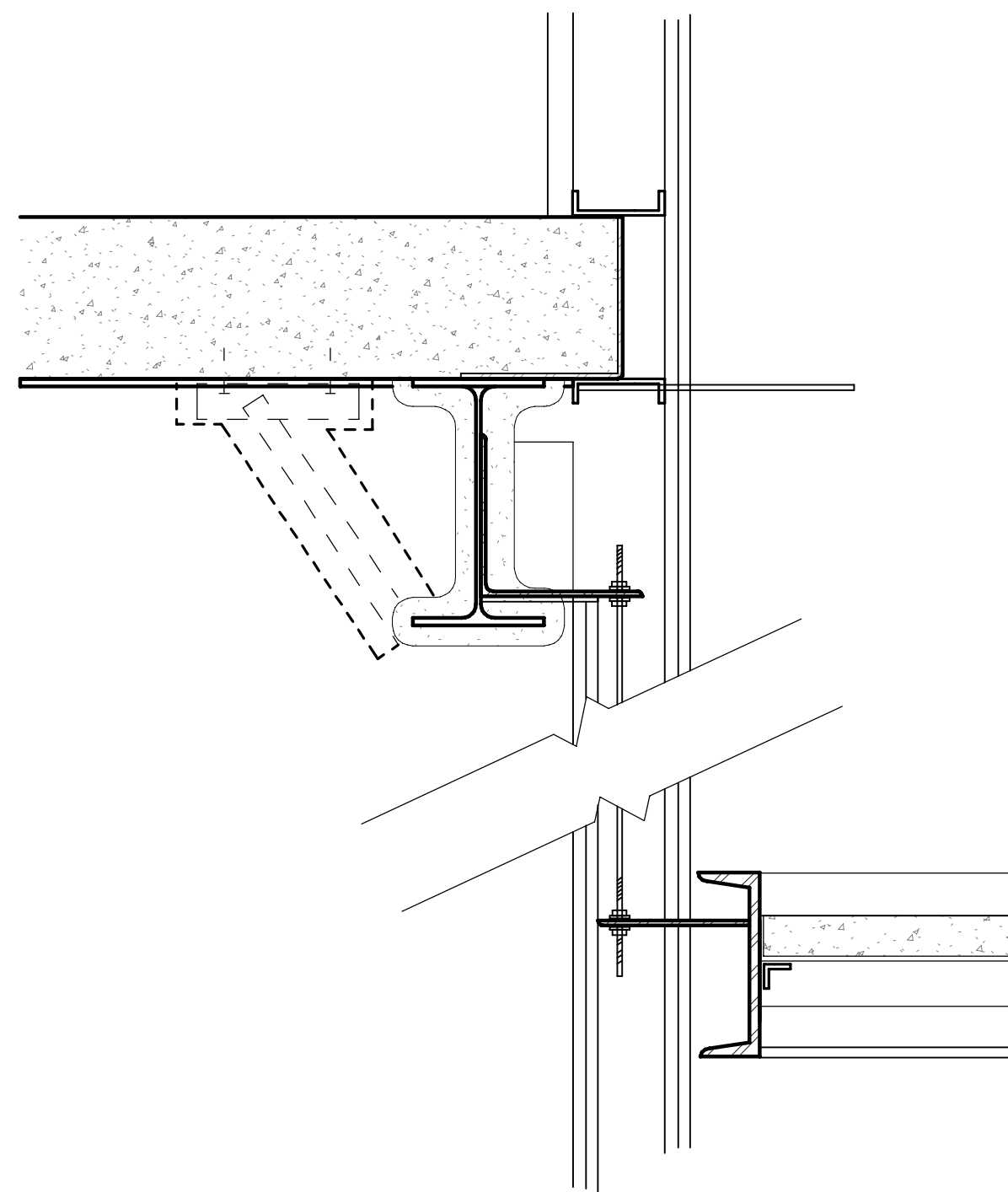
1 1/2" = 1'-0" 1 SECTION DETAIL
TYP TREAD / RISER AT LOWEST LEVEL W/ OUTSIDE STRINGER HANDRAIL



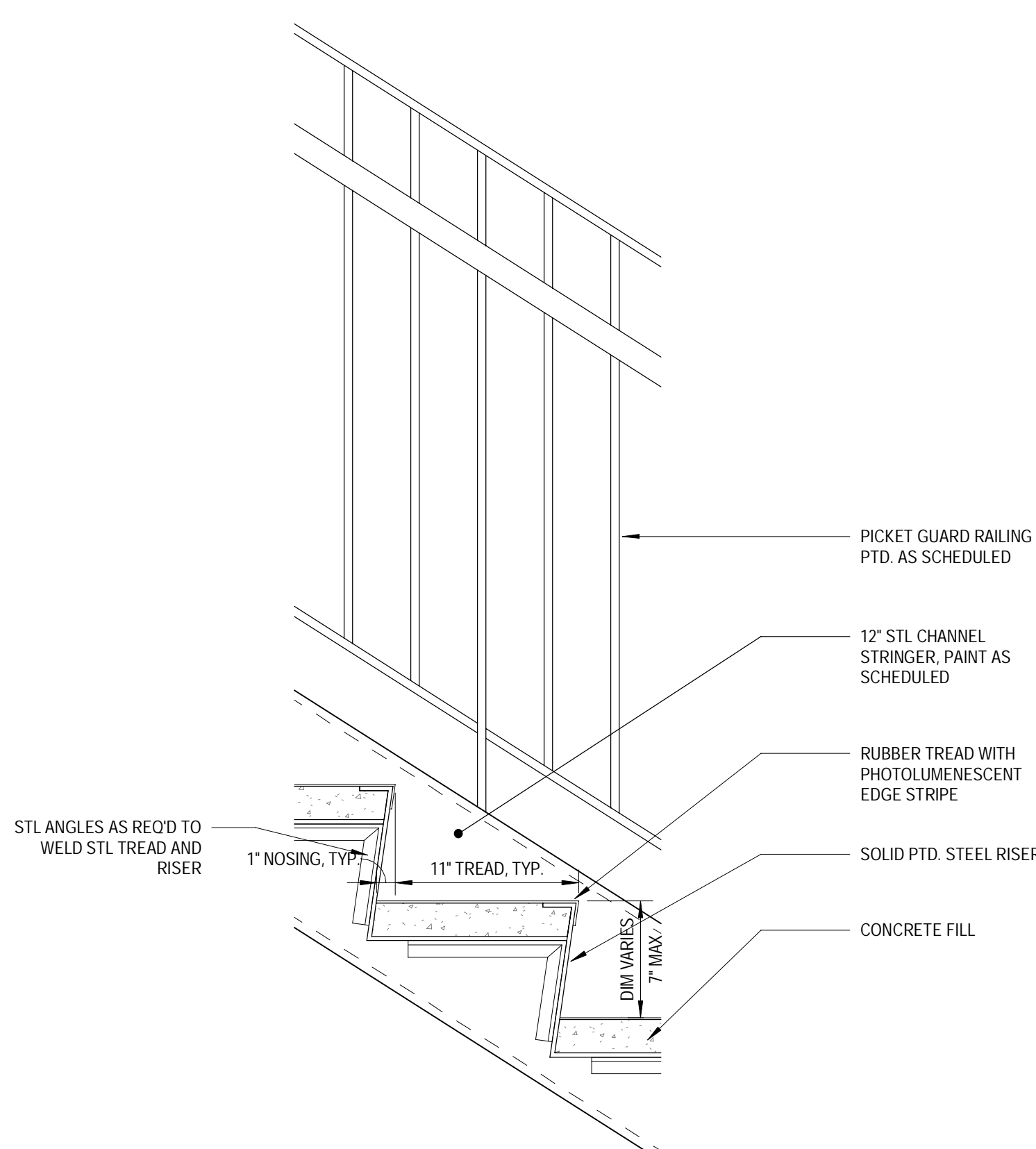
1 1/2" = 1'-0" 8 SECTION DETAIL
TYP SECTION AT STRINGER



1 1/2" = 1'-0" 4 SECTION DETAIL
TYP. SECTION AT LANDING W/ OUTSIDE WALL HANDRAIL



1 1/2" = 1'-0" 7 SECTION DETAIL
SECTION AT STRINGER AT INTERMEDIATE LANDING



1 1/2" = 1'-0" 3 SECTION DETAIL
TYP TREAD / RISER W/ INTERMEDIATE POST



THE TUN

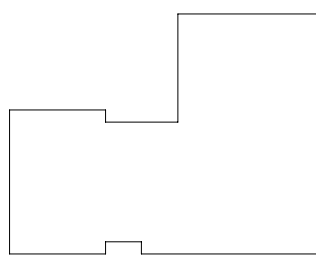
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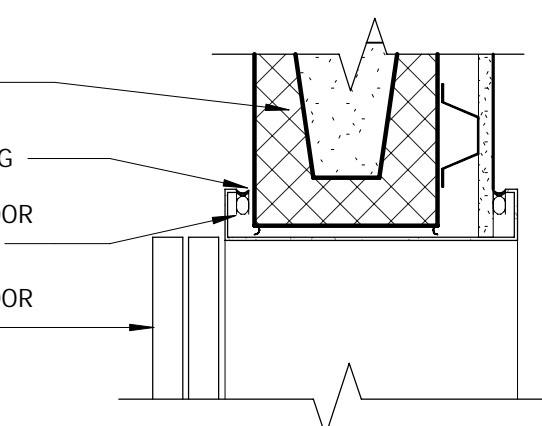
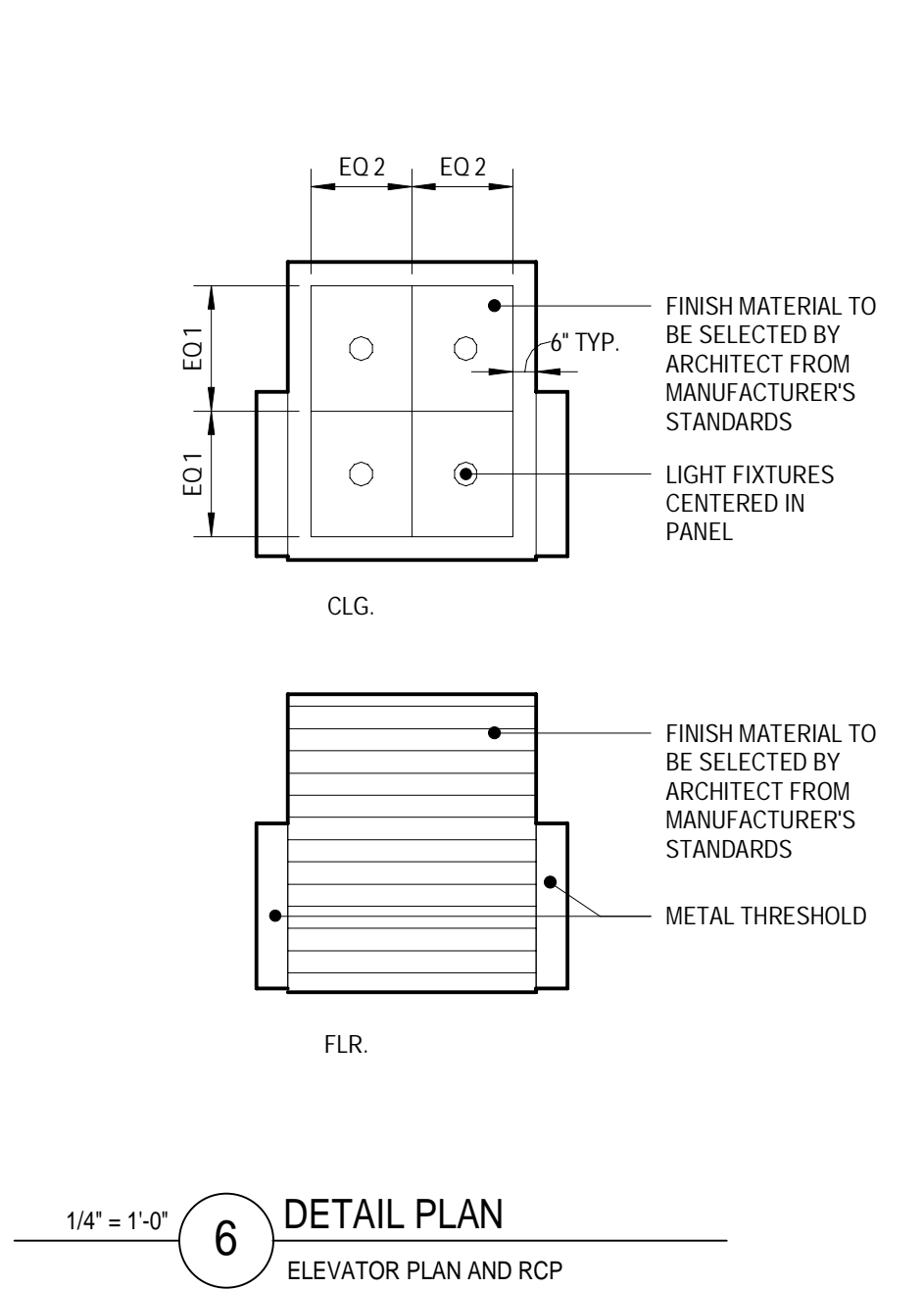
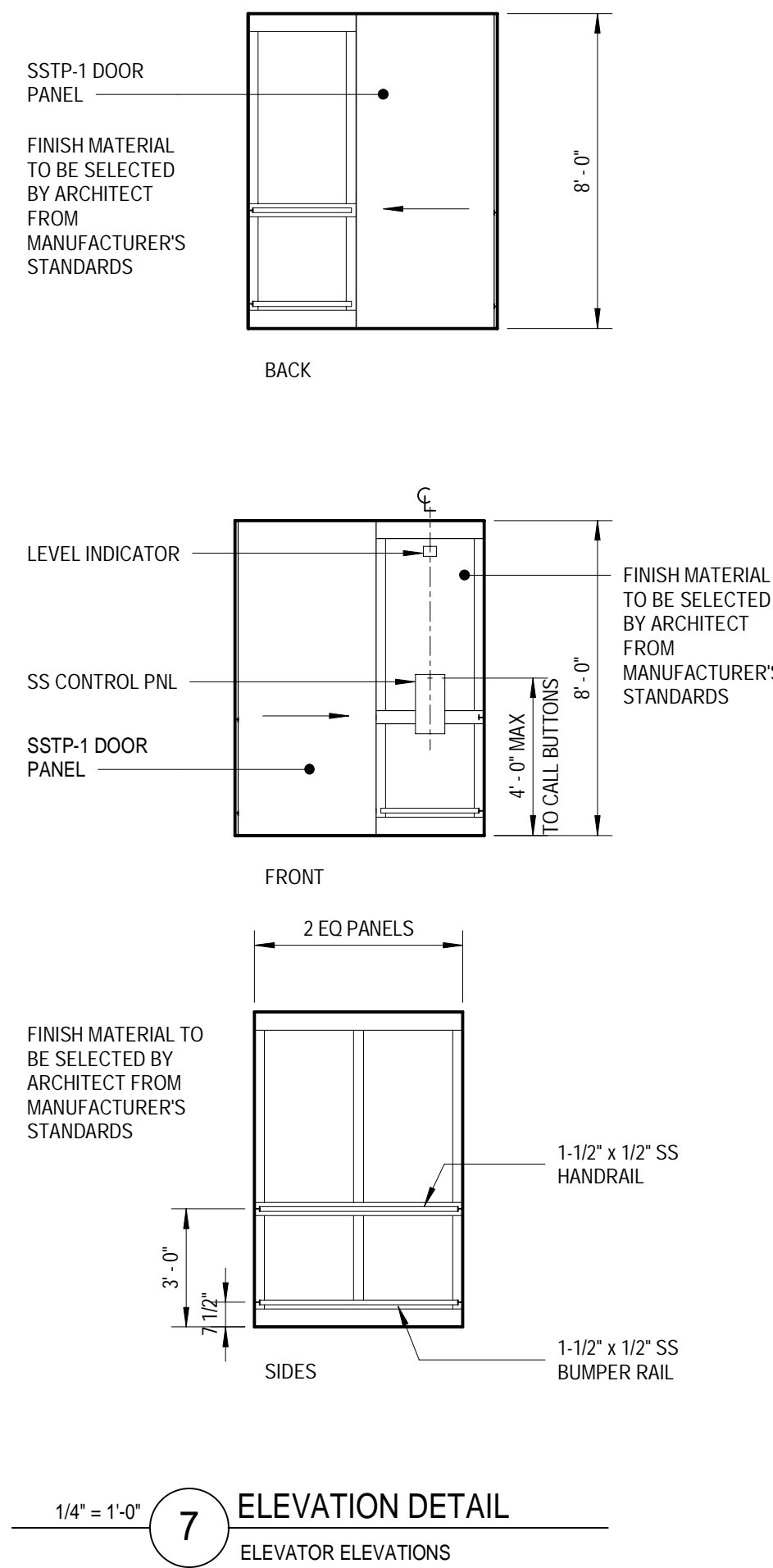
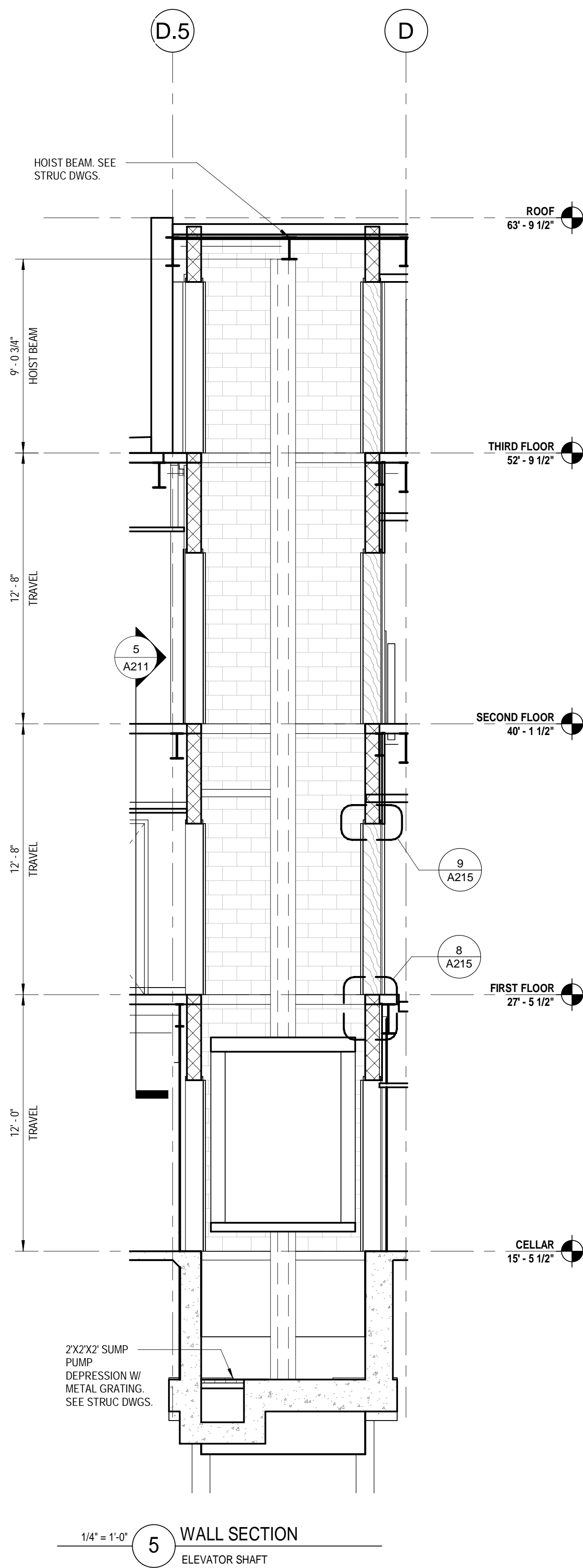
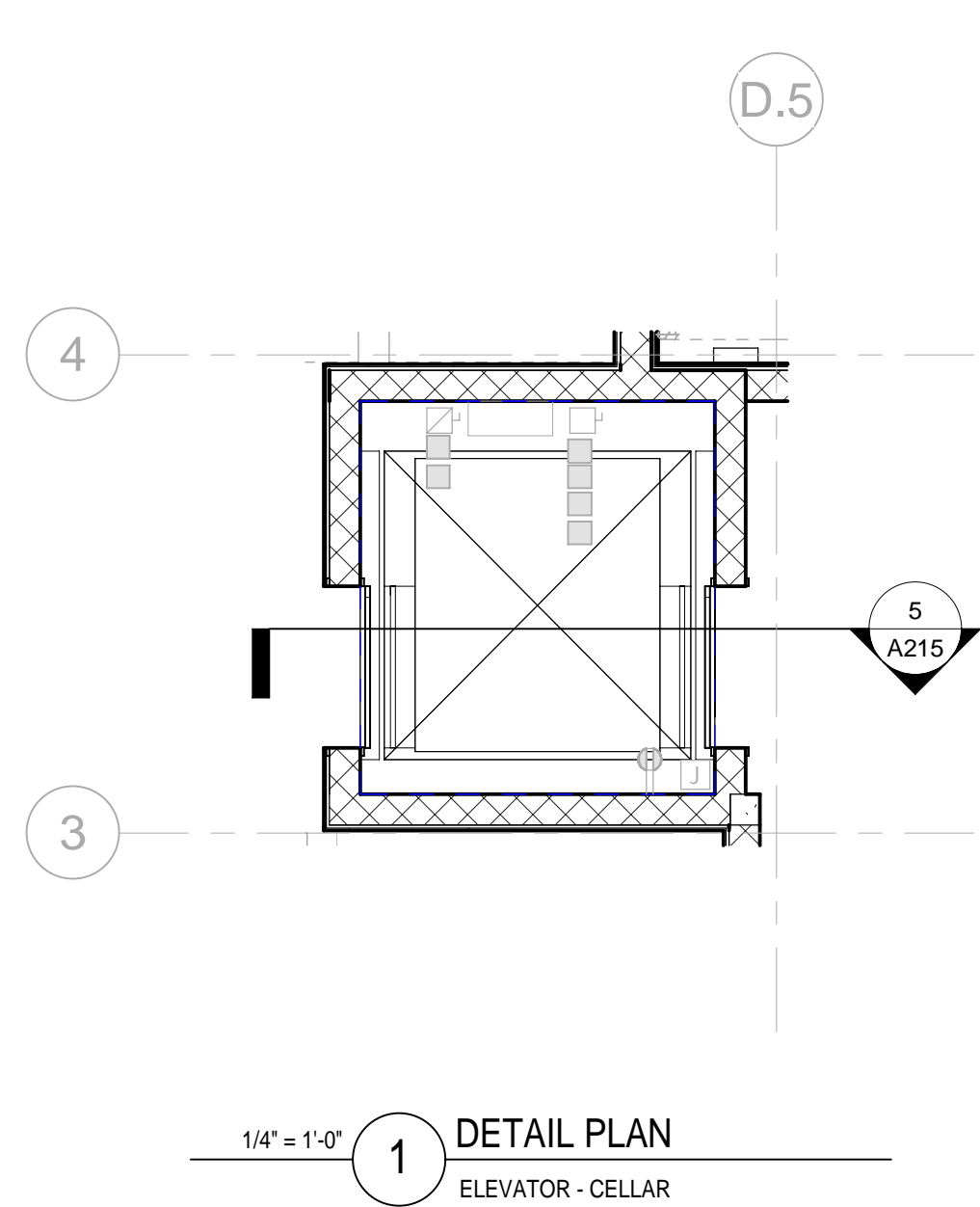
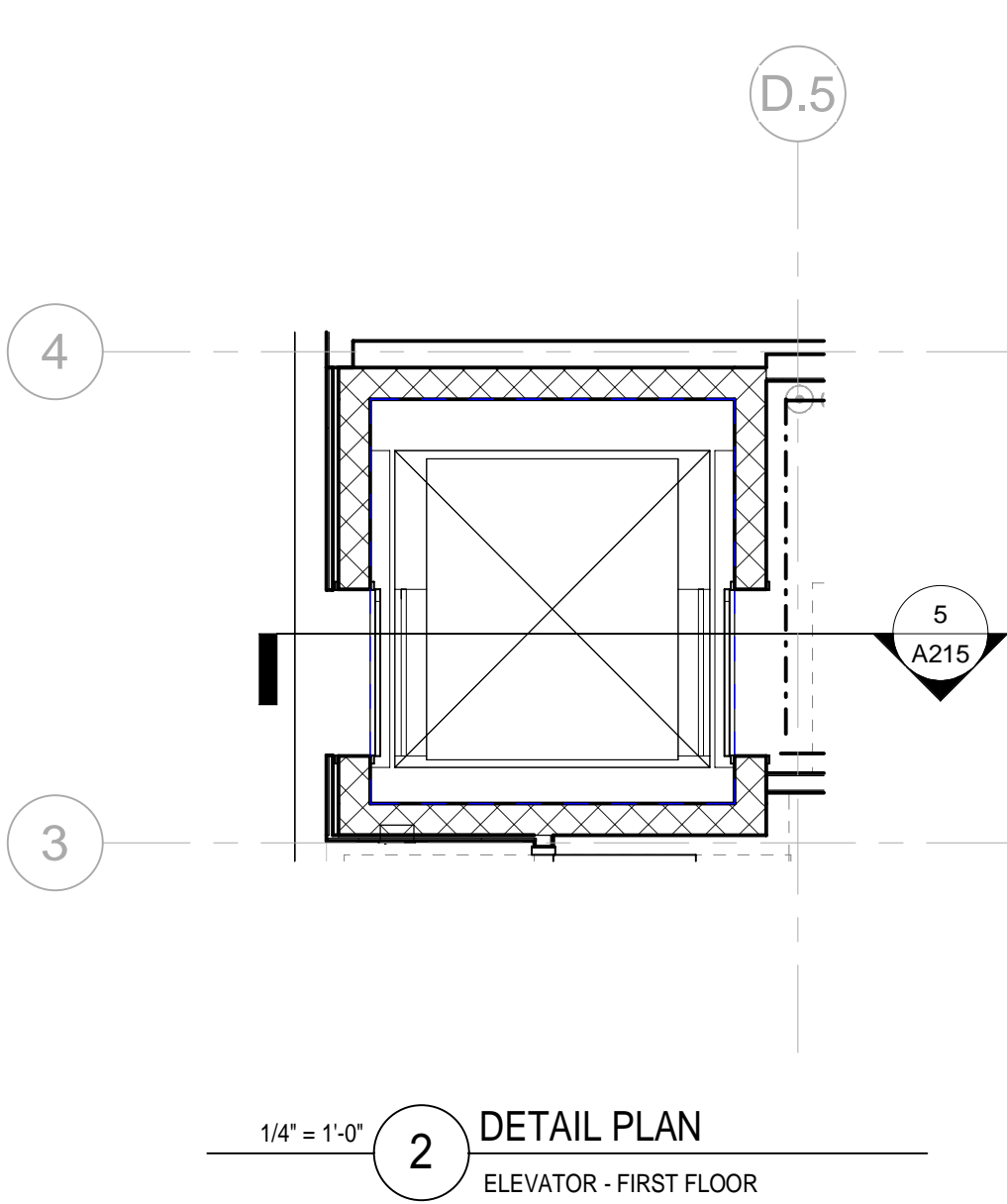
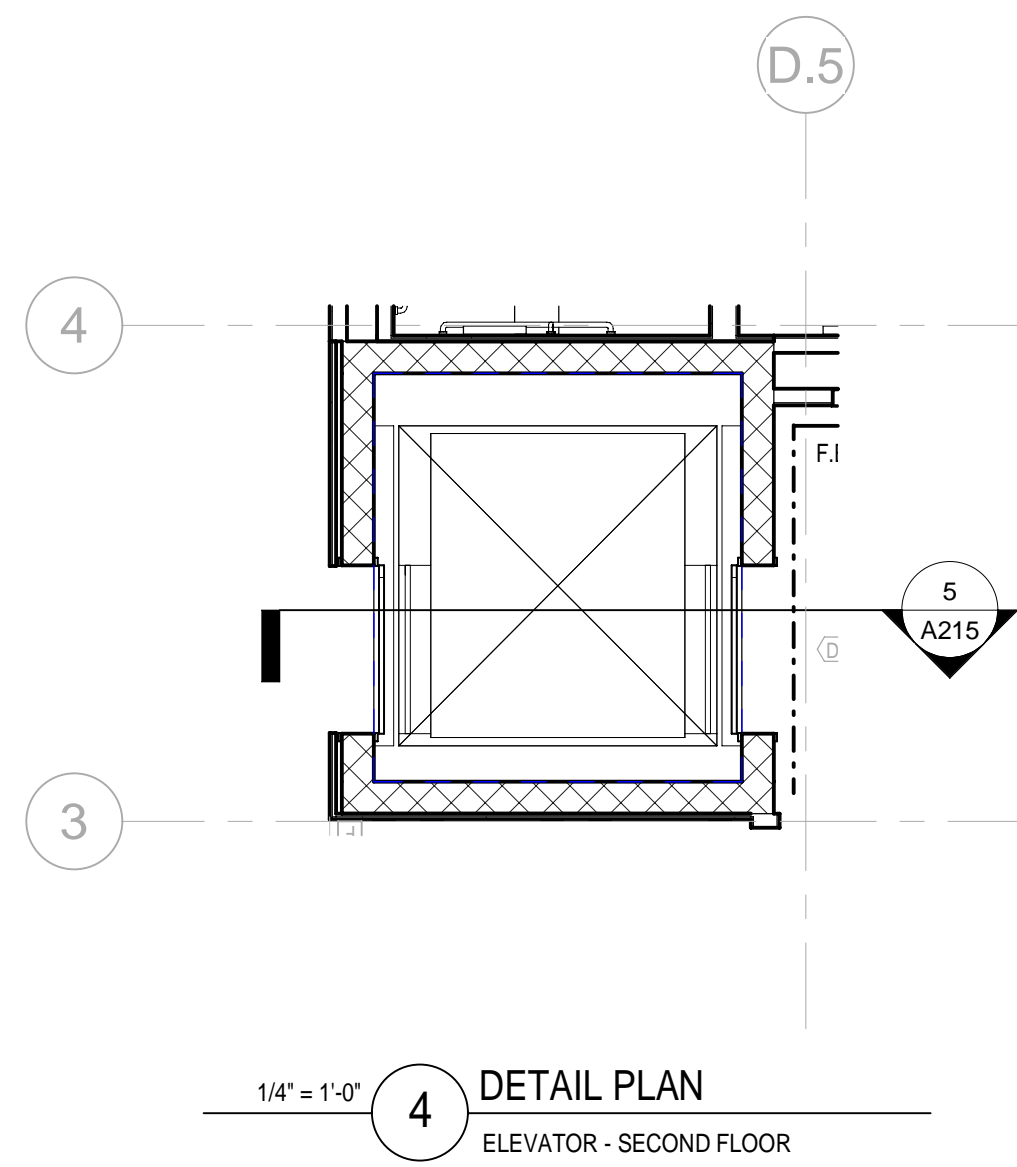
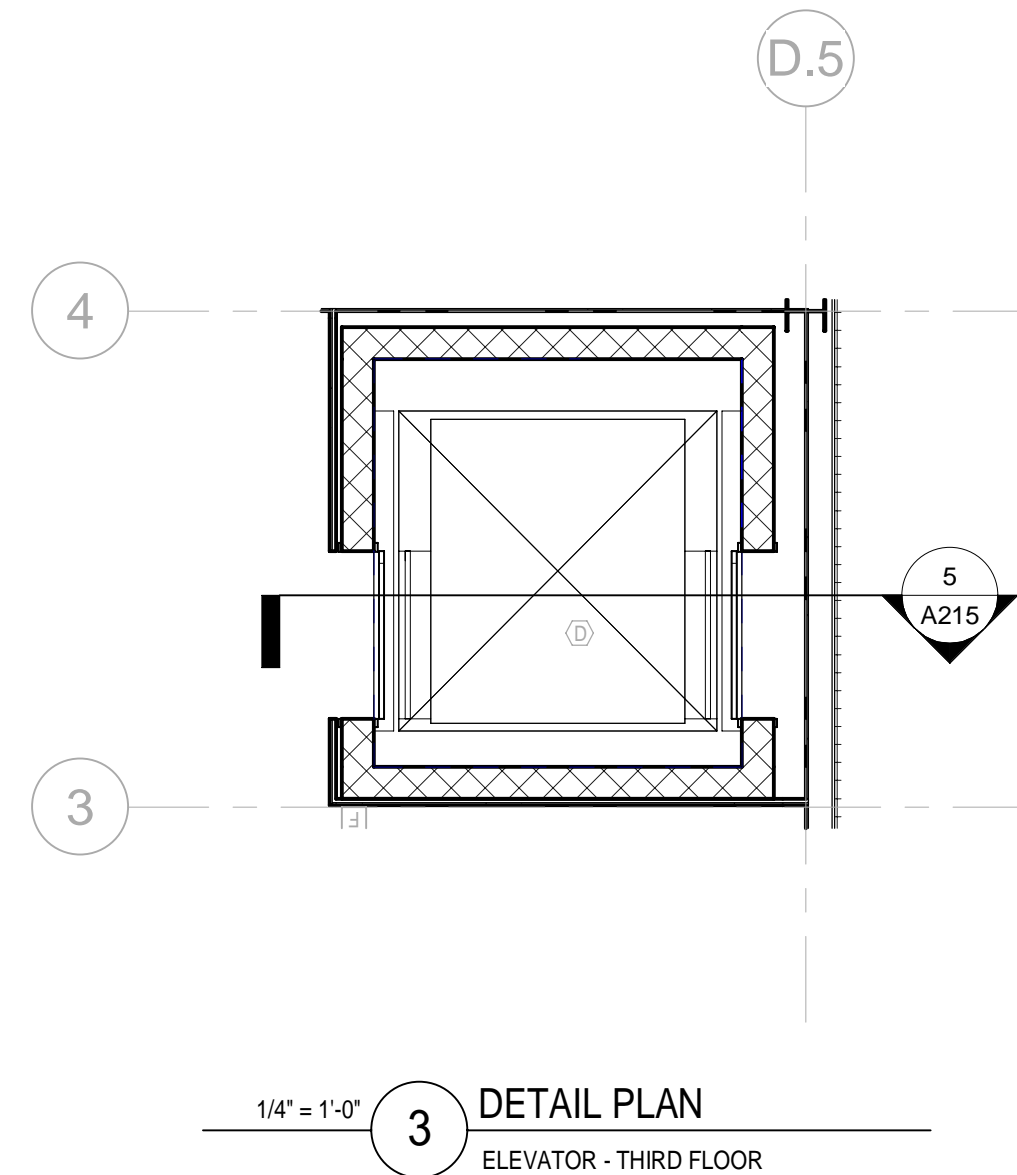
Author

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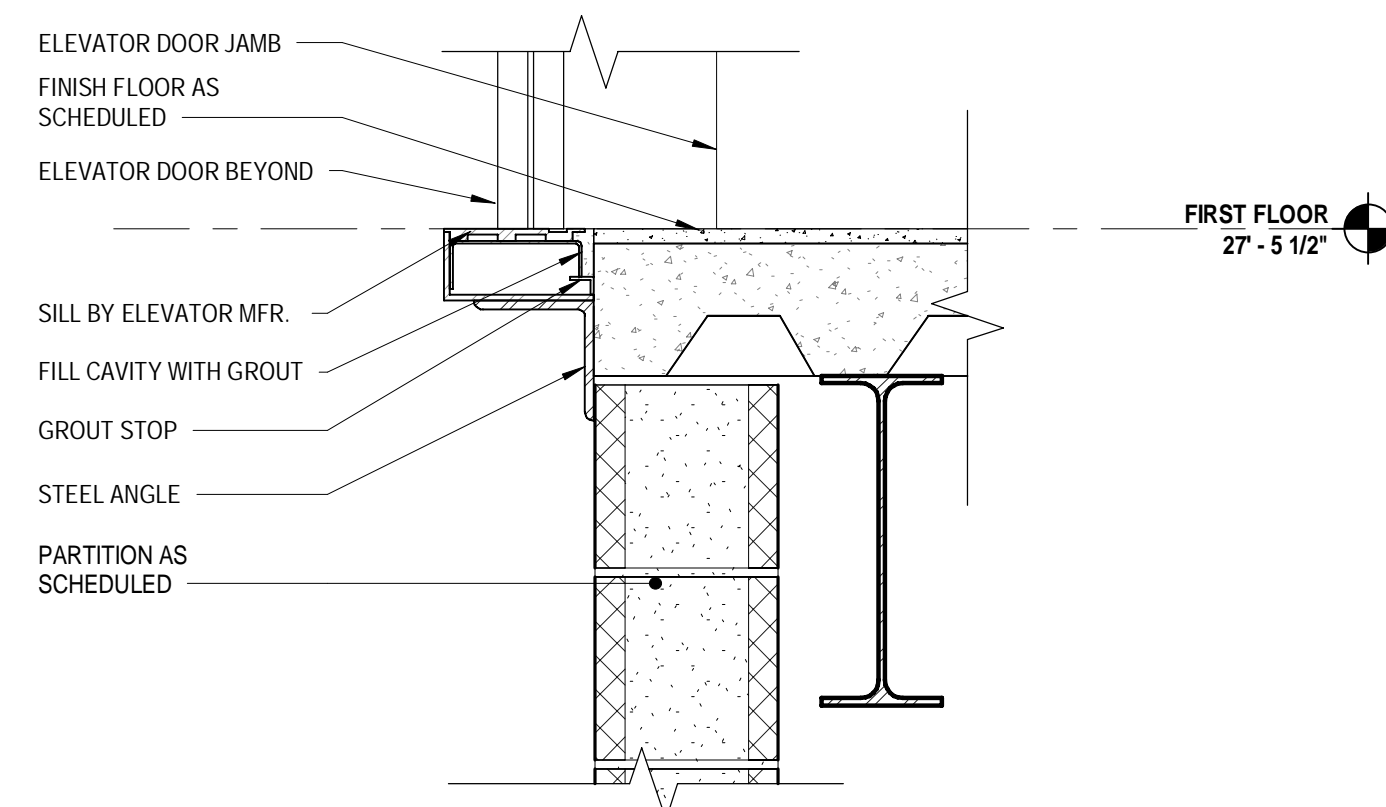
ELEVATOR PLANS
AND ELEVATIONS

NUMBER:

A215



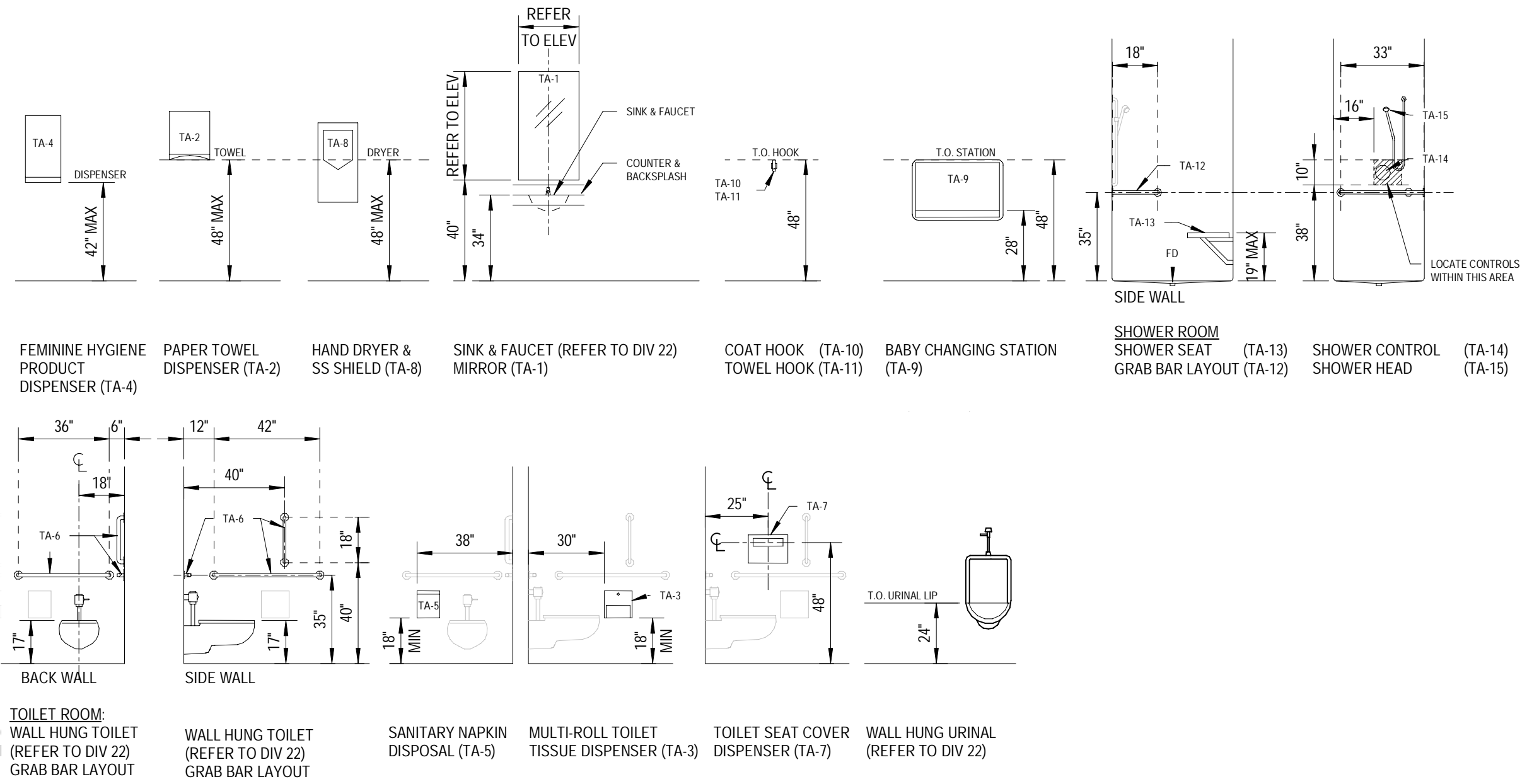
SECTION DETAIL
EL101 - DOOR HEAD



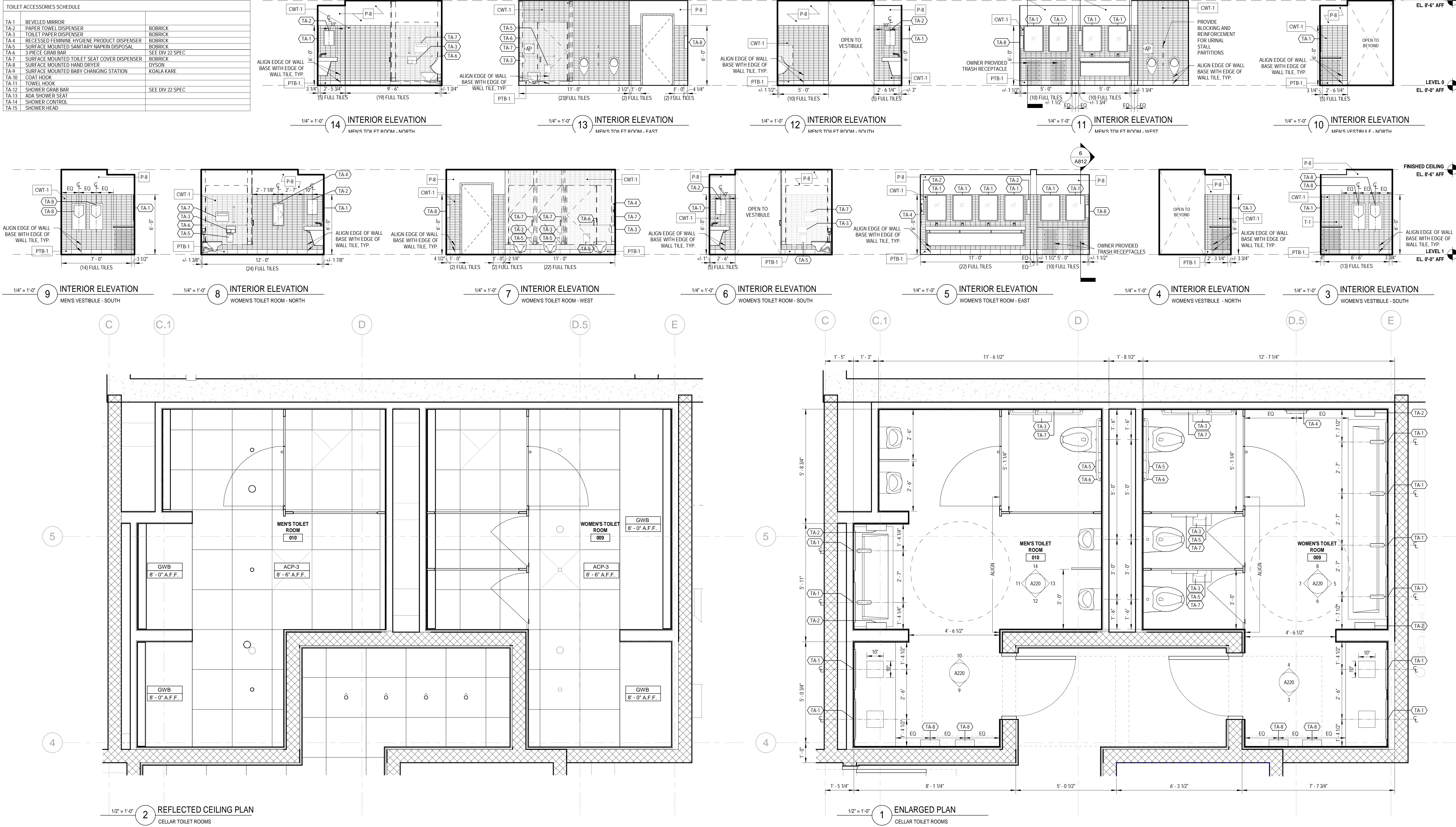
SECTION DETAIL
EL101 - DOOR THRESHOLD

ENLARGED TOILET ROOM PLAN GENERAL NOTES

1. REFER TO CS001 FOR SYMBOLS AND ABBREVIATIONS.
2. REFER TO CONTROL PLANS FOR SLAB EDGES, DEPRESSIONS AND OPENING LOCATIONS.
3. REFER TO PLUM DWGS FOR PLUMBING FIXTURES AND SCHEDULES.
4. REFER TO A220 FOR TOILET ACCESSORIES TYPICAL MOUNTING HEIGHTS.
5. REFER TO A220 FOR TOILET ACCESSORY SCHEDULE.
6. REFER TO A200S FOR FLOORING PATTERNS AND TILE ALIGNMENTS.
7. PROVIDE CONCEALED BULK. WITHIN PARTITIONS AT ALL WALL-MOUNTED ITEMS, INCLUDING TOILET ACCESSORIES, ADA GRAB BARS, AND EQUIPMENT PROVIDED BY OWNER. REFER TO ALL DISCIPLINE'S DWGS FOR EQUIPMENT, ACCESSORIES AND OTHER ITEMS THAT ARE WALL MOUNTED.
8. PROVIDE 3'-0" X 3'-0" WATERPROOFING MEMBRANE CENTERED ON AREA FLOOR DRAINS IN ALL TOILET ROOMS.
9. SLOPE FLOOR TILE TO DRAIN FROM HIGH POINTS AT ROOM PERIMETER TO LOW POINT AT AREA FLOOR DRAINS. AT SHOWER AREA IN LOCKER ROOMS, MINIMUM SLOPE = 1/4" 1'.
10. PROTECT SHOWER PAN AND ALL OTHER FINISHES FROM DAMAGE AFTER INSTALLATION THROUGHOUT CONSTRUCTION.



TOILET ACCESSORIES SCHEDULE	
TA-1	BEVELED MIRROR
TA-2	PAPER TOWEL DISPENSER
TA-3	TOILET PAPER DISPENSER
TA-4	RECESSED FEMININE HYGIENE PRODUCT DISPENSER
TA-5	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL
TA-6	3-PIECE GRAB BAR
TA-7	SURFACE MOUNTED TOILET SEAT COVER DISPENSER
TA-8	SURFACE MOUNTED HAND DRYER
TA-9	SURFACE MOUNTED BABY CHANGING STATION
TA-10	COAT HOOK
TA-11	TOWEL HOOK
TA-12	SHOWER GRAB BAR
TA-13	ADA SHOWER SEAT
TA-14	SHOWER CONTROL
TA-15	SHOWER HEAD



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01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: As indicated
ARCHITECTURE

TITLE:

CELLAR TOILET
ROOMS ENLARGED
PLANS AND
ELEVATIONS

NUMBER:

A220

ENLARGED TOILET ROOM PLAN GENERAL NOTES

1. REFER TO CS001 FOR SYMBOLS AND ABBREVIATIONS.
2. REFER TO CONTROL PLANS FOR SLAB EDGES, DEPRESSIONS AND OPENING LOCATIONS.
3. REFER TO PLUM DWGS FOR PLUMBING FIXTURES AND SCHEDULES.
4. REFER TO A220 FOR TOILET ACCESSORY TYPICAL MOUNTING HEIGHTS.
5. REFER TO A220 FOR TOILET ACCESSORY SCHEDULE.
6. REFER TO A905 FOR FLOORING PATTERNS AND TILE ALIGNMENTS.
7. PROVIDE CONCEALED BLKG. WITHIN PARTITIONS AT ALL WALL-MOUNTED ITEMS, INCLUDING TOILET ACCESSORIES, ADA GRAB BARS, AND EQUIPMENT PROVIDED BY OWNER. REFER TO ALL DISCIPLINE DWGS FOR EQUIPMENT, ACCESSORIES AND OTHER ITEMS THAT ARE WALL MOUNTED.
8. PROVIDE 3'-0" X 3'-0" WATERPROOFING MEMBRANE CENTERED ON AREA FLOOR DRAINS IN ALL TOILET ROOMS.
9. SLOPE FLOOR TILE TO DRAIN FROM HIGH POINTS AT ROOM PERIMETER TO LOW POINT AT AREA FLOOR DRAINS. AT SHOWER AREA IN LOCKER ROOMS, MINIMUM SLOPE = 1/4" 1'.
10. PROTECT SHOWER PAN AND ALL OTHER FINISHES FROM DAMAGE AFTER INSTALLATION THROUGHOUT CONSTRUCTION.



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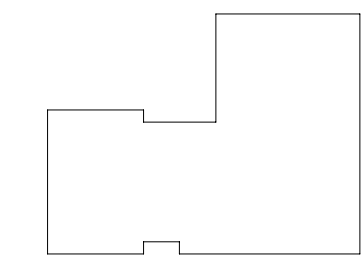
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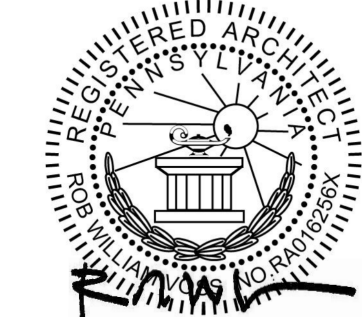
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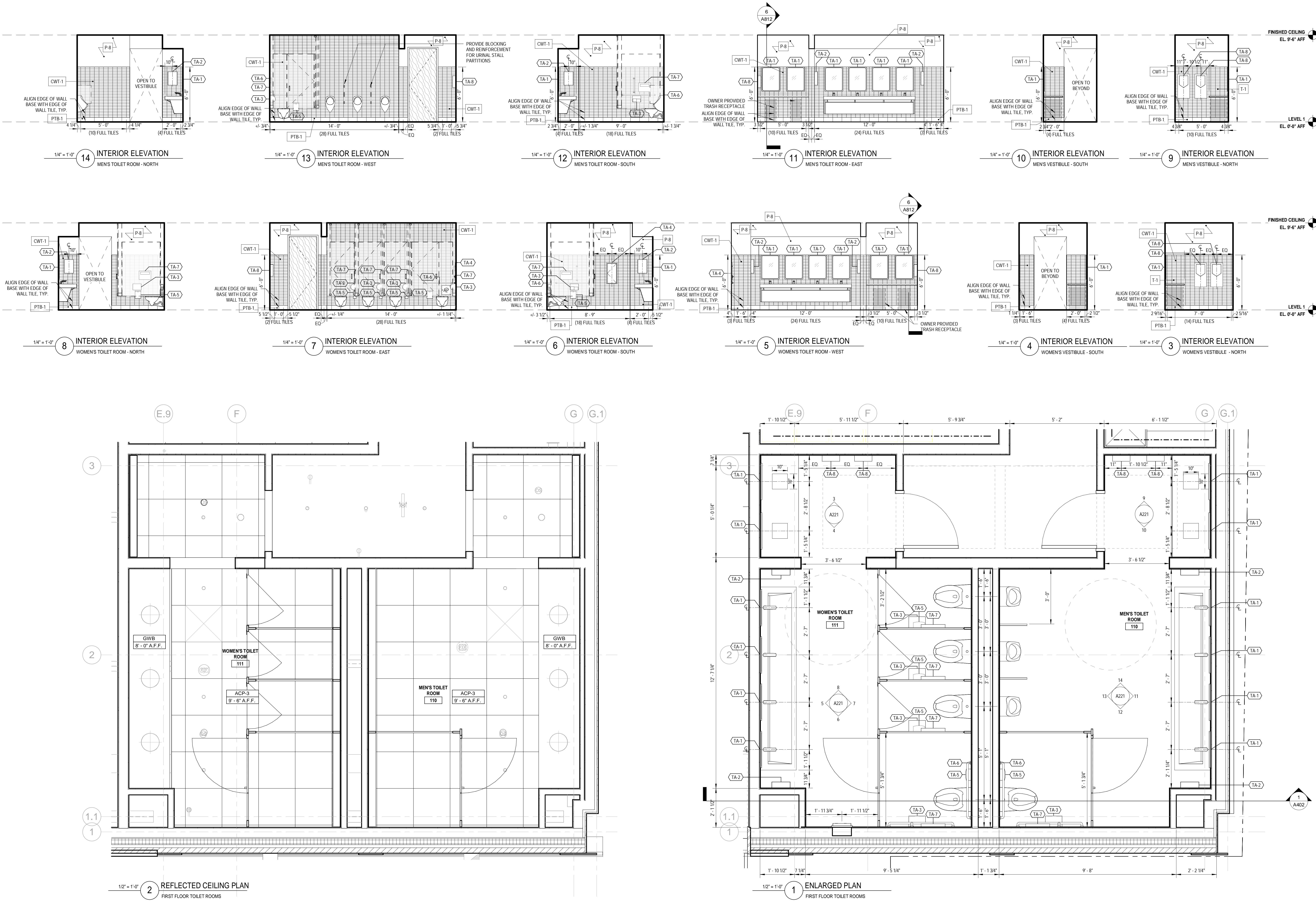
PROJECT: 23053.00
SCALE: As indicated
Author

TITLE:

FIRST FLOOR
TOILET ROOMS
ENLARGED PLANS
AND ELEVATIONS

NUMBER:

A221



ENLARGED TOILET ROOM PLAN GENERAL NOTES

1. REFER TO CS001 FOR SYMBOLS AND ABBREVIATIONS.
2. REFER TO CONTROL PLANS FOR SLAB EDGES, DEPRESSIONS AND OPENING LOCATIONS.
3. REFER TO PLUM DWGS FOR PLUMBING FIXTURES AND SCHEDULES.
4. REFER TO A220 FOR TOILET ACCESSORY TYPICAL MOUNTING HEIGHTS.
5. REFER TO A220 FOR TOILET ACCESSORY SCHEDULE.
6. REFER TO A900S FOR FLOORING PATTERNS AND TILE ALIGNMENTS.
7. PROVIDE CONCEALED BLKG. WITHIN PARTITIONS AT ALL WALL-MOUNTED ITEMS, INCLUDING TOILET ACCESSORIES, ADA GRAB BARS, AND EQUIPMENT PROVIDED BY OWNER. REFER TO ALL DISCIPLINE'S DWGS FOR EQUIPMENT, ACCESSORIES AND OTHER ITEMS THAT ARE WALL MOUNTED.
8. PROVIDE 3'-0" X 3'-0" WATERPROOFING MEMBRANE CENTERED ON AREA FLOOR DRAINS IN ALL TOILET ROOMS.
9. SLOPE FLOOR TILE TO DRAIN FROM HIGH POINTS AT ROOM PERIMETER TO LOW POINT AT AREA FLOOR DRAINS. AT SHOWER AREA IN LOCKER ROOMS, MINIMUM SLOPE = 1/4" 1' 12".
10. PROTECT SHOWER PAN AND ALL OTHER FINISHES FROM DAMAGE AFTER INSTALLATION THROUGHOUT CONSTRUCTION.



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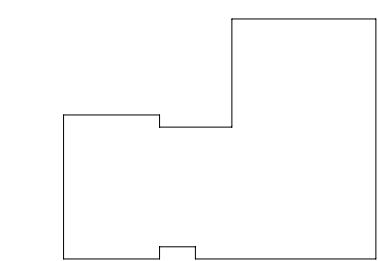
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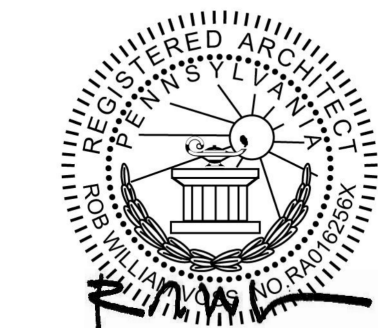
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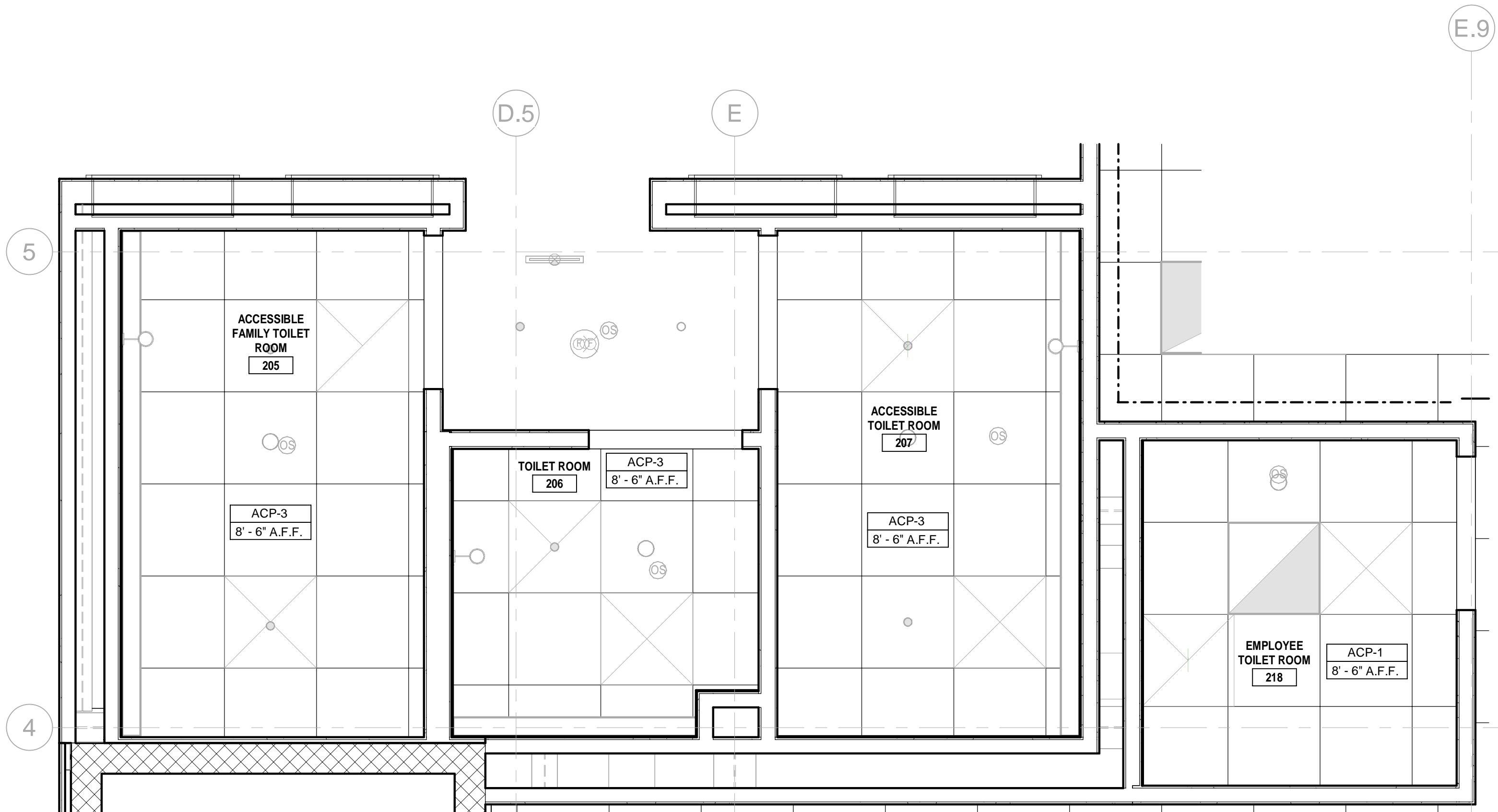
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01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: As indicated
Author

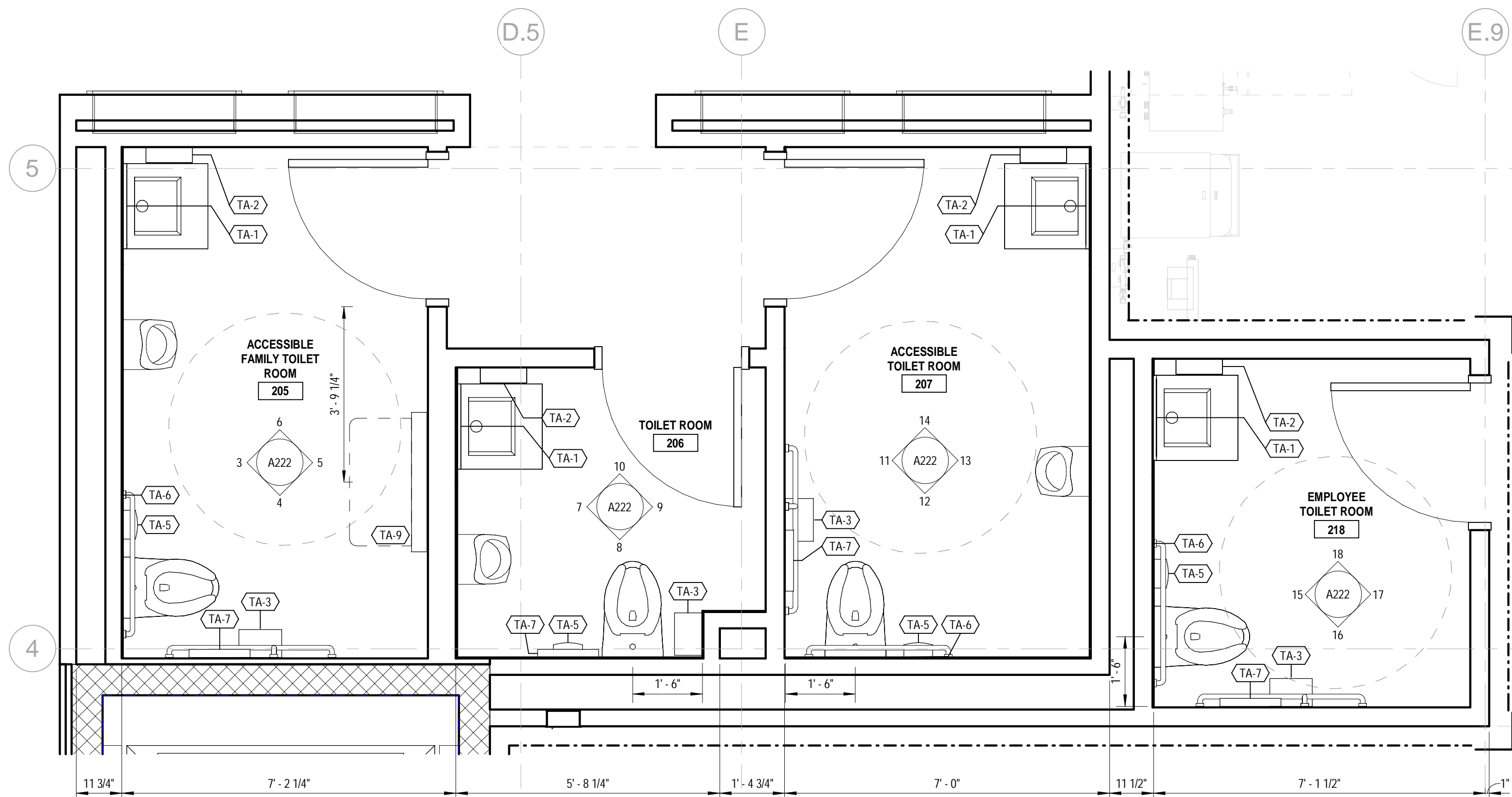
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SECOND FLOOR
TOILET ROOMS
ENLARGED PLANS
AND ELEVATIONS

NUMBER:

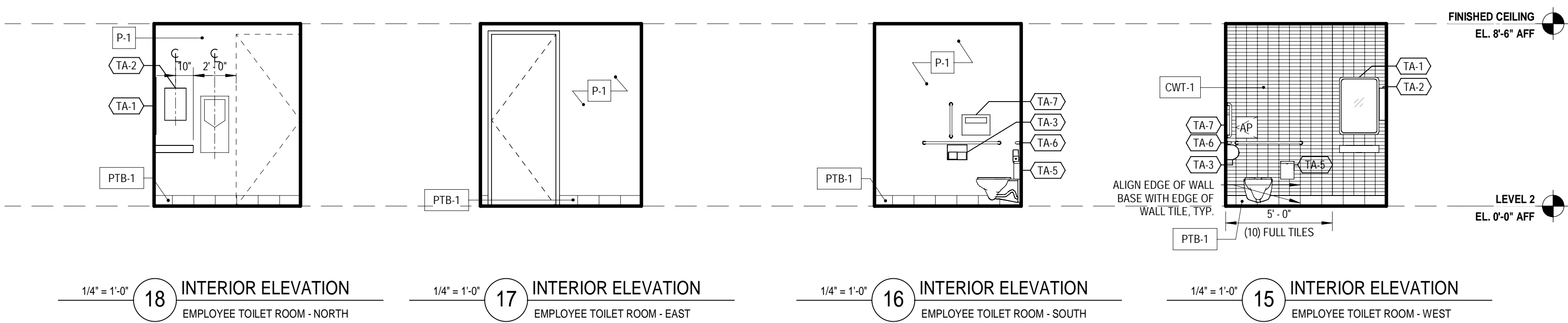
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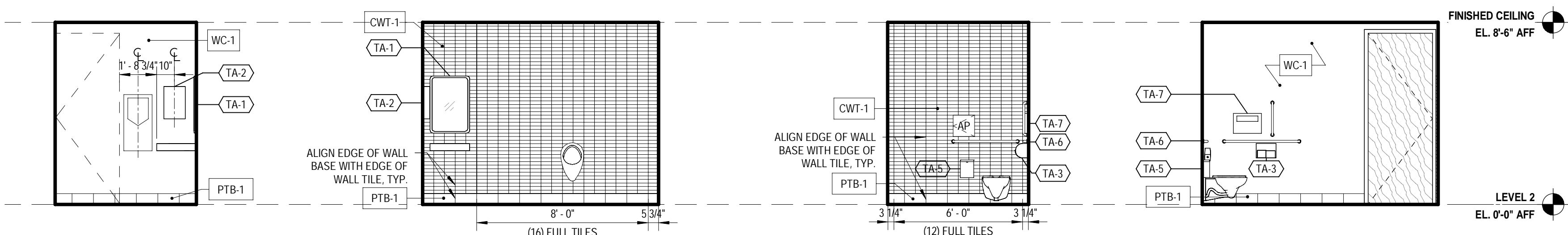
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SECOND FLOOR TOILET ROOMS



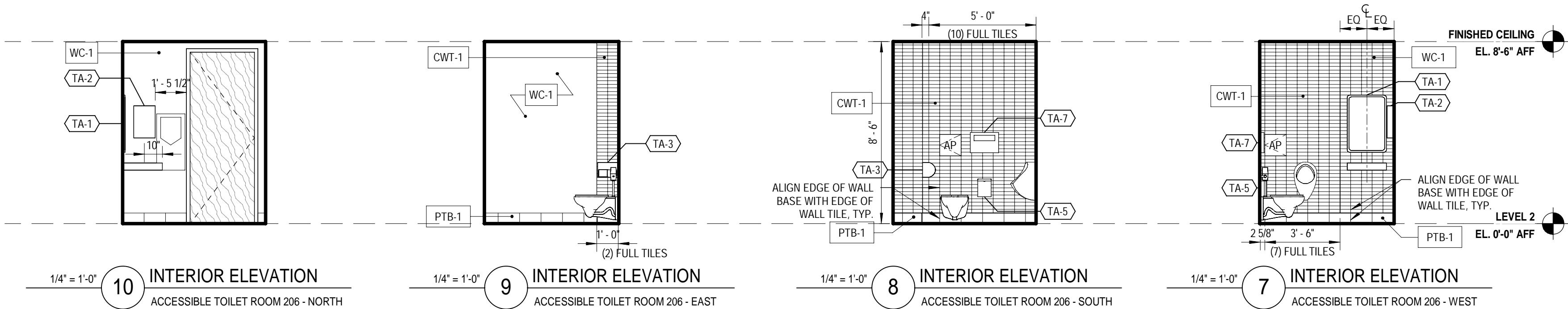
1 ENLARGED PLAN
SECOND FLOOR TOILET ROOMS



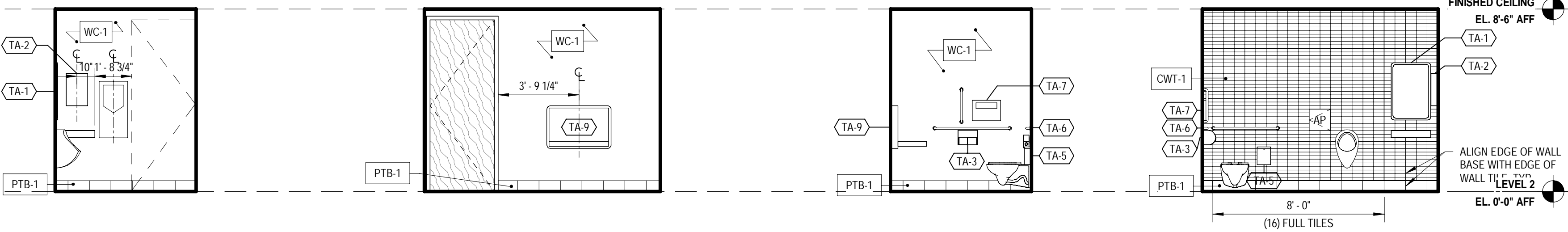
18 INTERIOR ELEVATION
EMPLOYEE TOILET ROOM - NORTH
17 INTERIOR ELEVATION
EMPLOYEE TOILET ROOM - EAST
16 INTERIOR ELEVATION
EMPLOYEE TOILET ROOM - SOUTH
15 INTERIOR ELEVATION
EMPLOYEE TOILET ROOM - WEST



14 INTERIOR ELEVATION
ACCESSIBLE TOILET ROOM 207 - NORTH
13 INTERIOR ELEVATION
ACCESSIBLE TOILET ROOM 207 - EAST
12 INTERIOR ELEVATION
ACCESSIBLE TOILET ROOM 207 - SOUTH
11 INTERIOR ELEVATION
ACCESSIBLE TOILET ROOM 207 - WEST



10 INTERIOR ELEVATION
ACCESSIBLE TOILET ROOM 206 - NORTH
9 INTERIOR ELEVATION
ACCESSIBLE TOILET ROOM 206 - EAST
8 INTERIOR ELEVATION
ACCESSIBLE TOILET ROOM 206 - SOUTH
7 INTERIOR ELEVATION
ACCESSIBLE TOILET ROOM 206 - WEST



6 INTERIOR ELEVATION
TOILET ROOM 205 - NORTH
5 INTERIOR ELEVATION
TOILET ROOM 205 - EAST
4 INTERIOR ELEVATION
TOILET ROOM 205 - SOUTH
3 INTERIOR ELEVATION
TOILET ROOM 205 - WEST

ENLARGED TOILET ROOM PLAN GENERAL NOTES

1. REFER TO C2001 FOR SYMBOLS AND ABBREVIATIONS.
2. REFER TO CONTROL PLANS FOR SLAB EDGES, DEPRESSIONS AND OPENING LOCATIONS.
3. REFER TO PLUM DWGS FOR PLUMBING FIXTURES AND SCHEDULES.
4. REFER TO A220 FOR TOILET ACCESSORY TYPICAL MOUNTING HEIGHTS.
5. REFER TO A220 FOR TOILET ACCESSORY SCHEDULE.
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10. PROTECT SHOWER PAN AND ALL OTHER FINISHES FROM DAMAGE AFTER INSTALLATION THROUGHOUT CONSTRUCTION.



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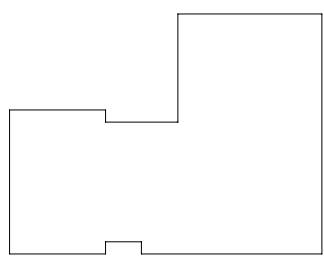
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DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

Author

TITLE:

THIRD FLOOR

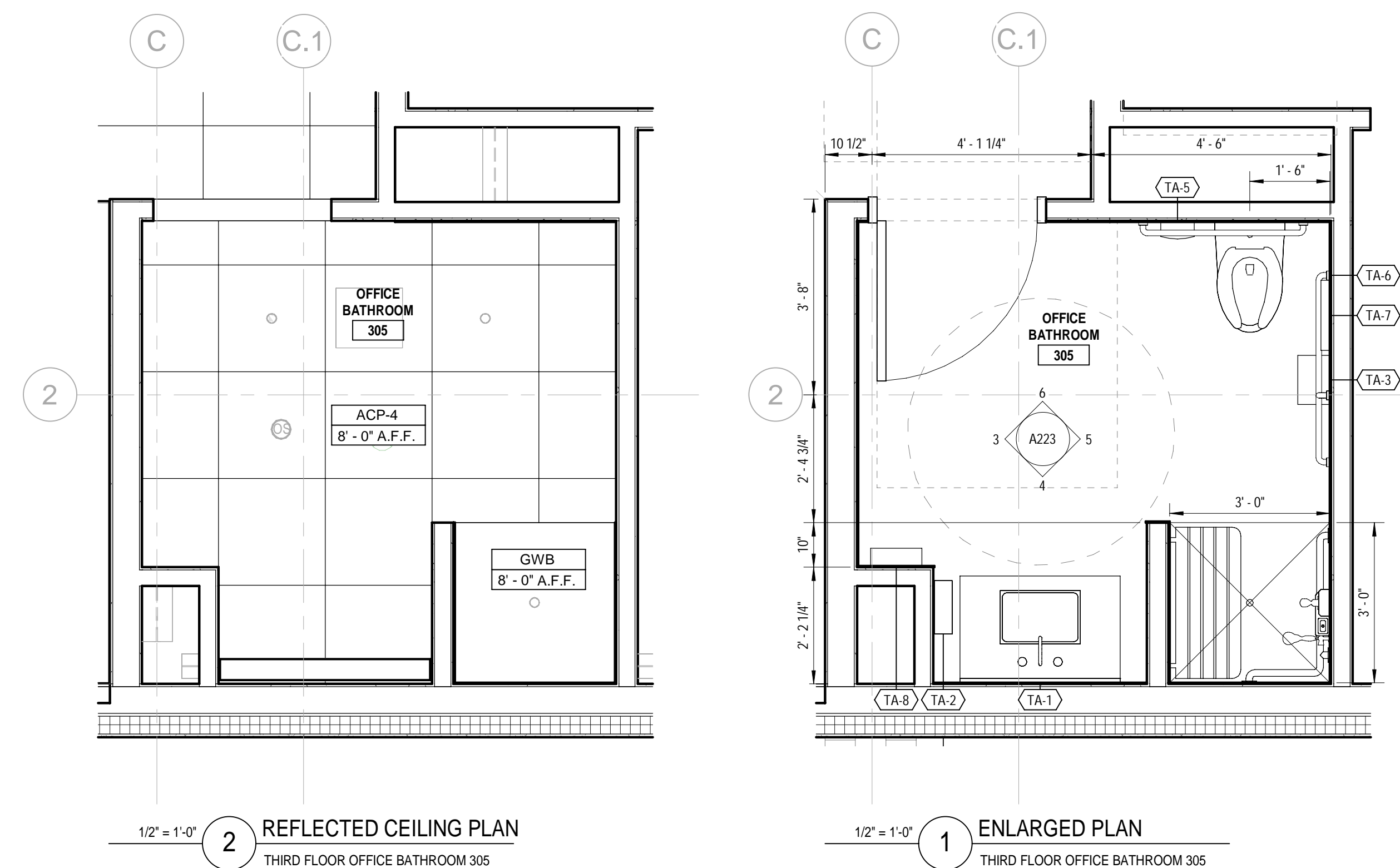
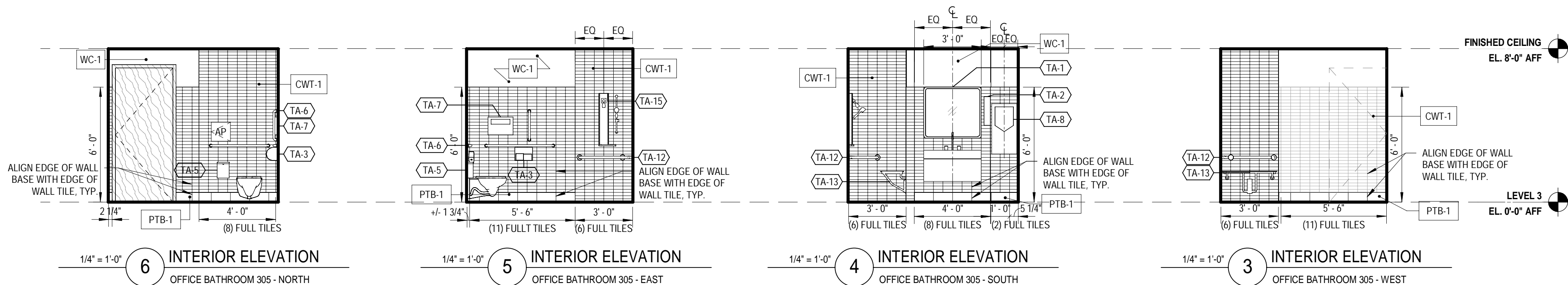
TOILET ROOM

ENLARGED PLANS

AND ELEVATIONS

NUMBER:

A223





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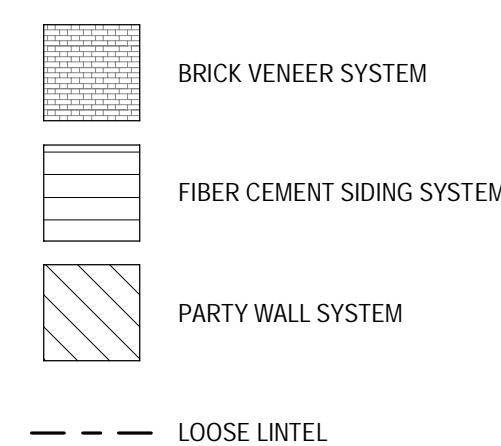
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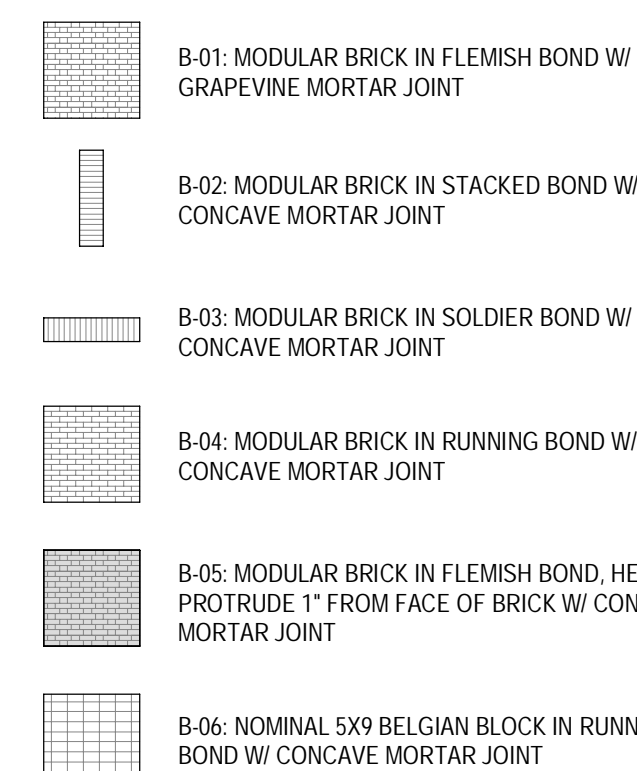
EXTERIOR ELEV. GENERAL NOTES

1. REFER TO SYSTEM SHEET (A501) FOR EXTERIOR ENVELOPE SYSTEM DETAILS
2. SEE WINDOW SCHEDULE (A611) FOR WINDOW DETAILS AND GLAZING INFORMATION.
3. WINDOW FRAME FINISH COLORS TO MATCH ARCHITECT'S CONTROL SAMPLES
4. SEE LOOSE STEEL LINTEL SCHEDULE, A302, FOR NON LOAD-BEARING BRICK

EXTERIOR ELEV. MATERIAL LEGEND

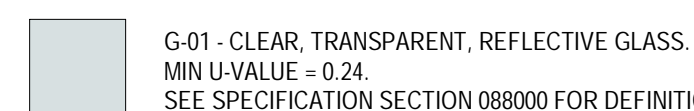


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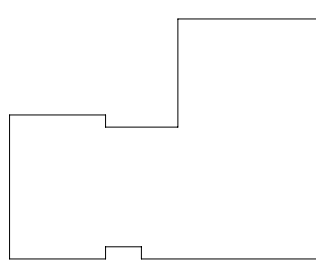


SEE SPECIFICATION SECTION 042113 BRICK MASONRY FOR DEFINITION

EXTERIOR GLAZING LEGEND



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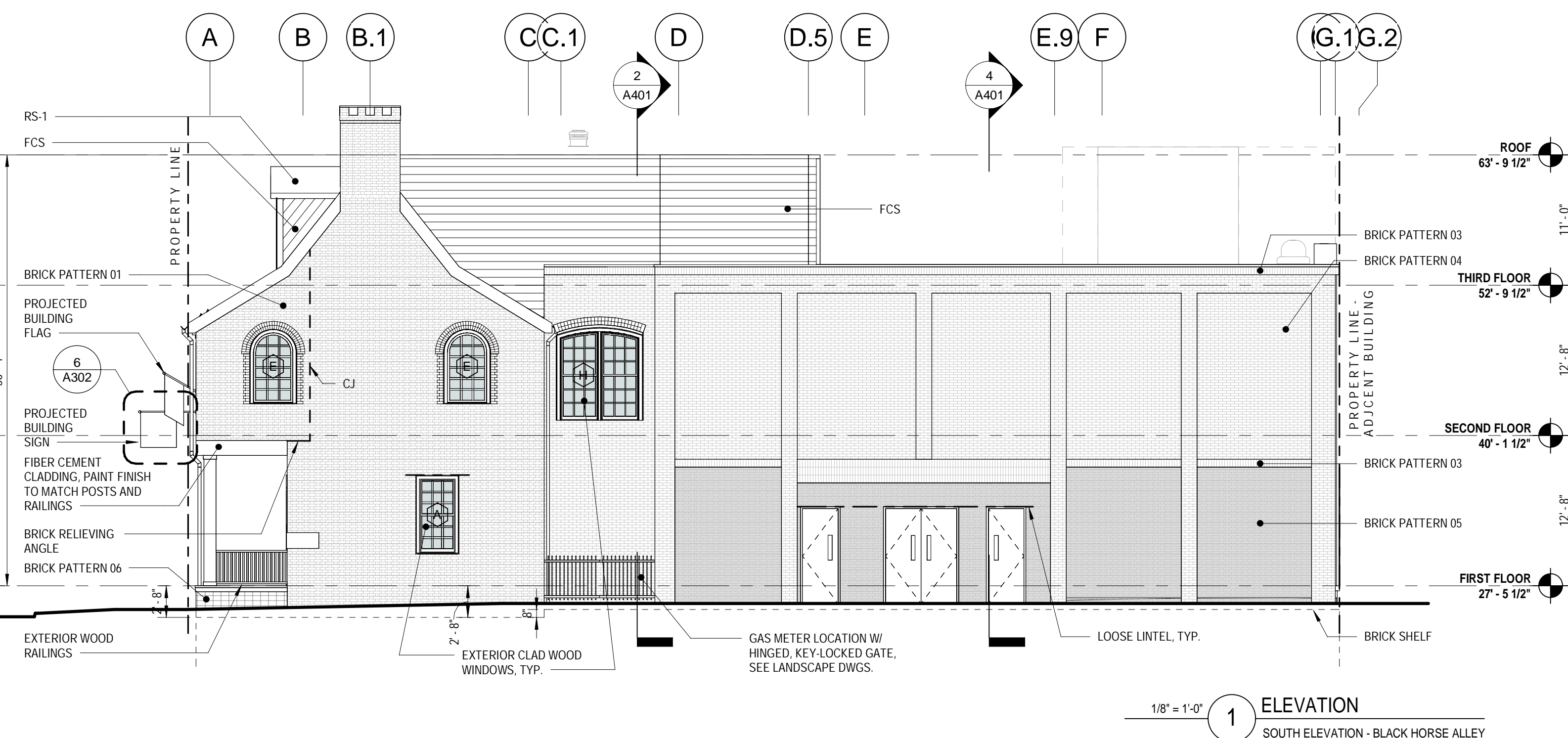
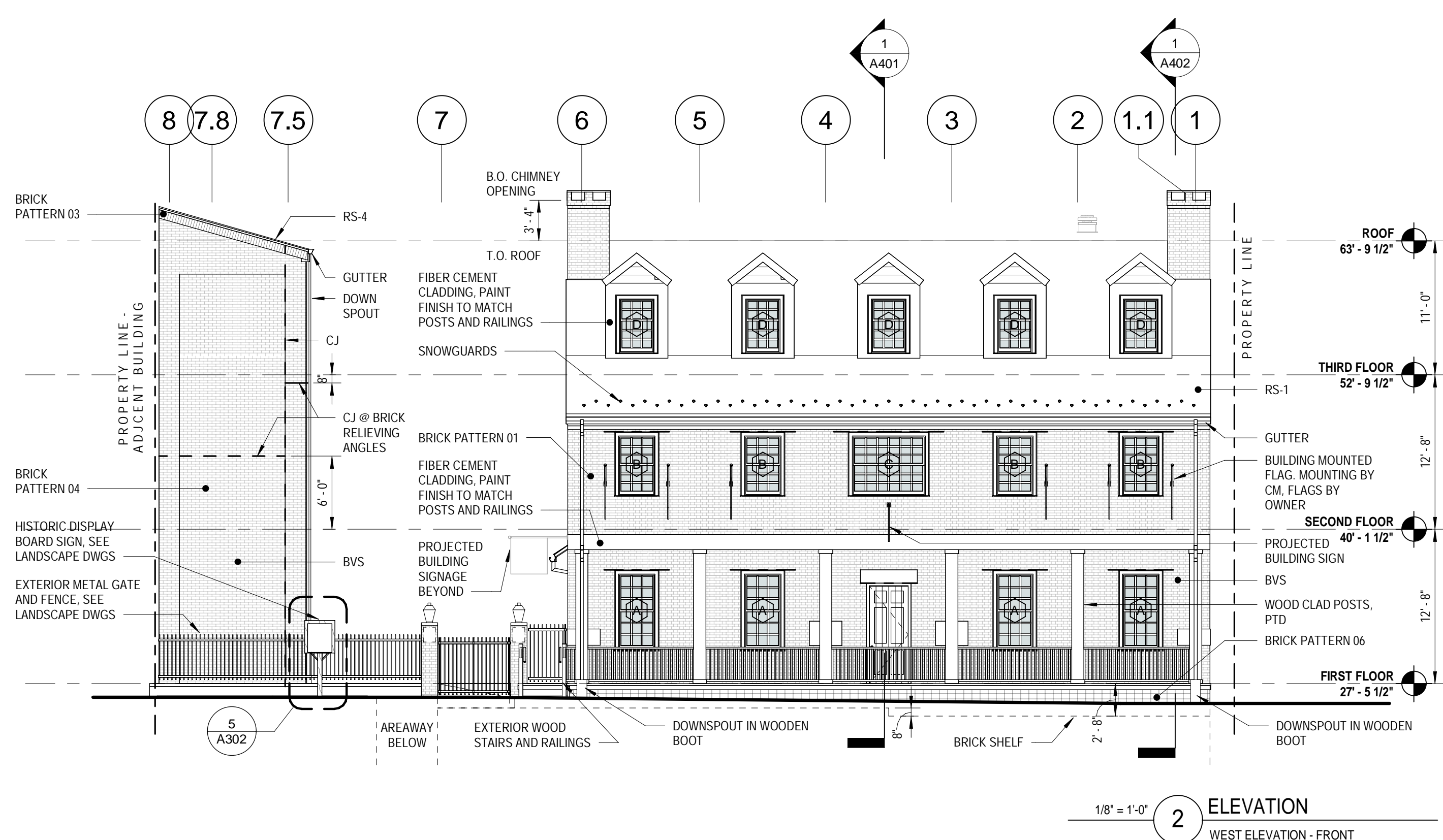
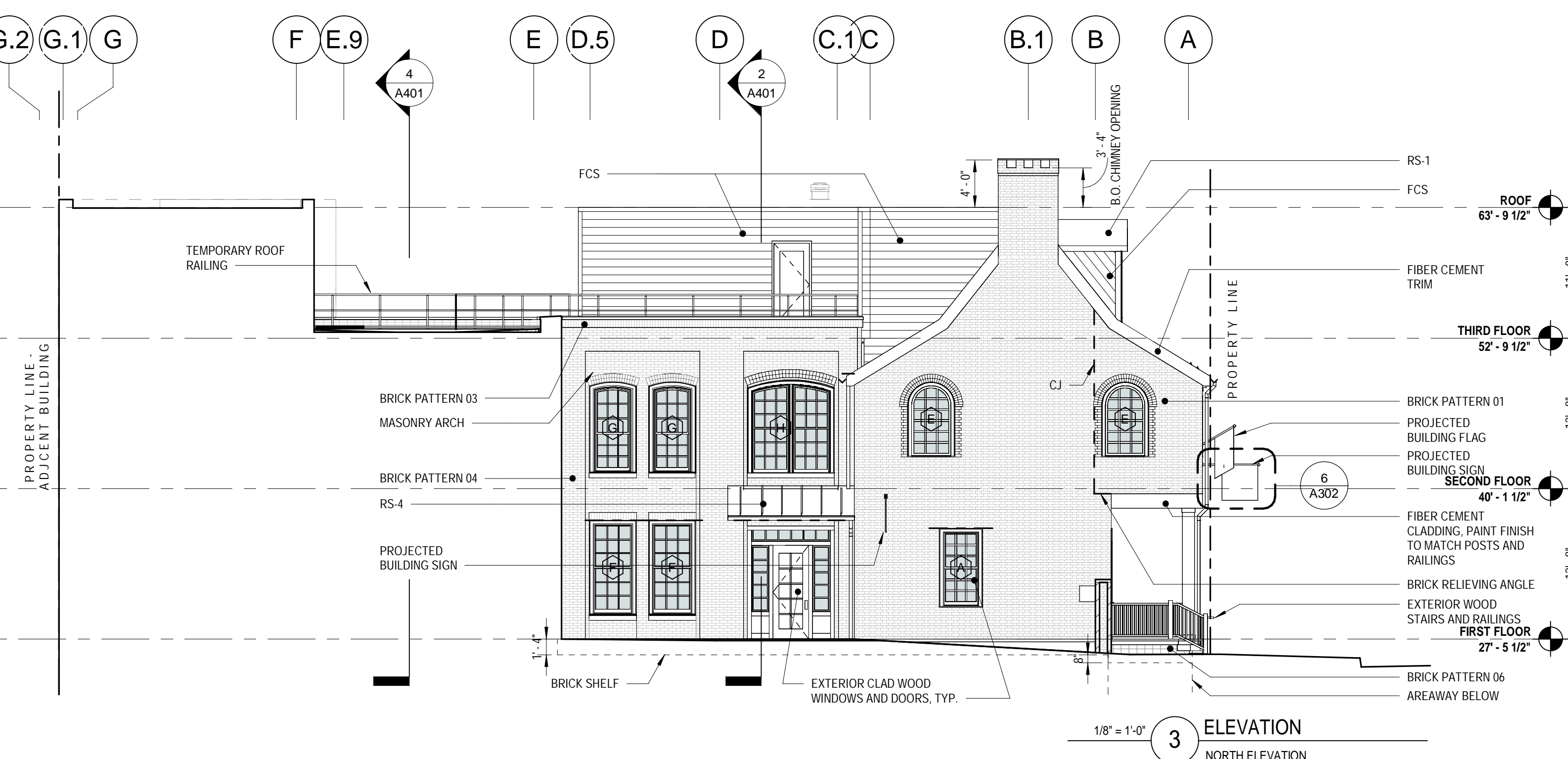
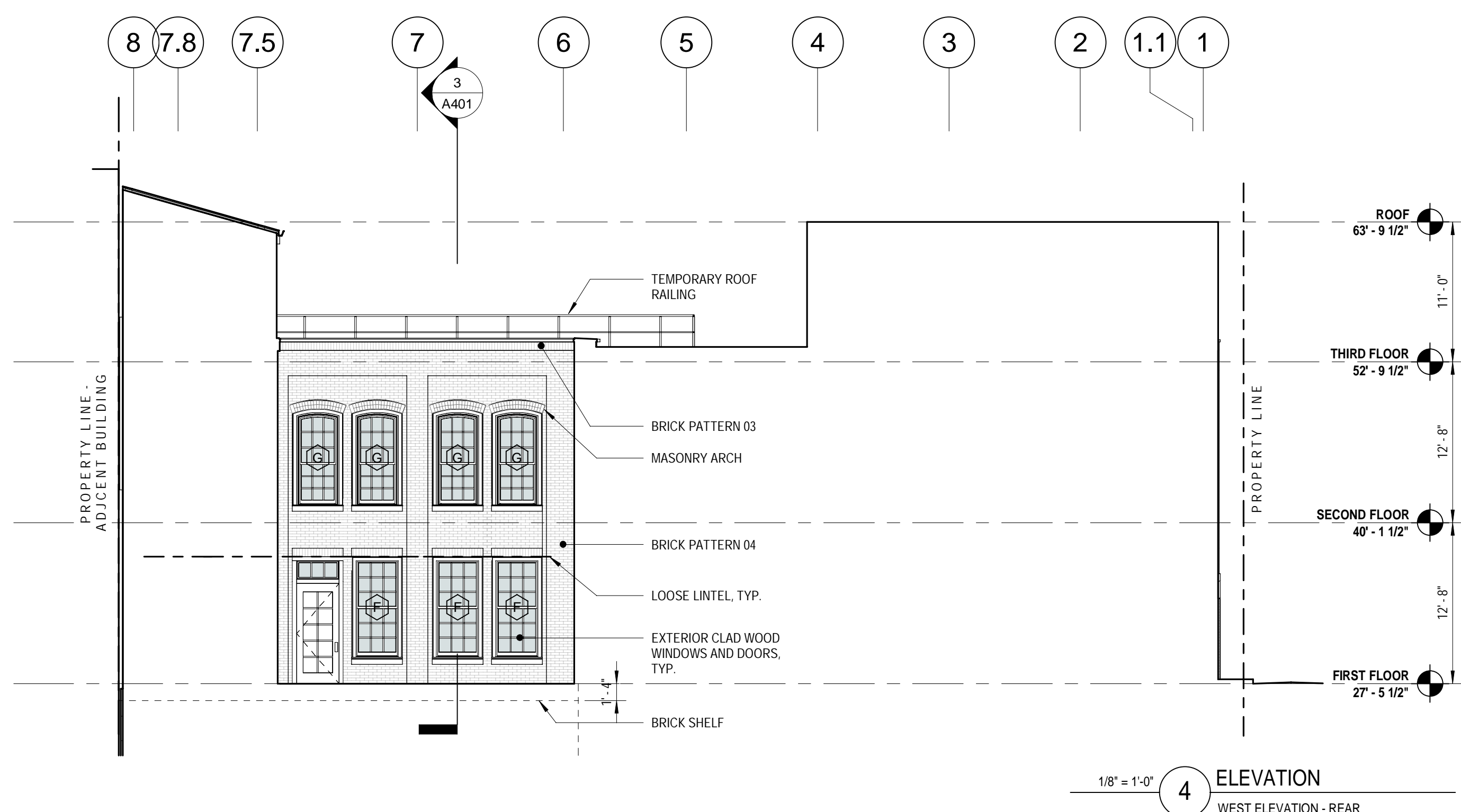
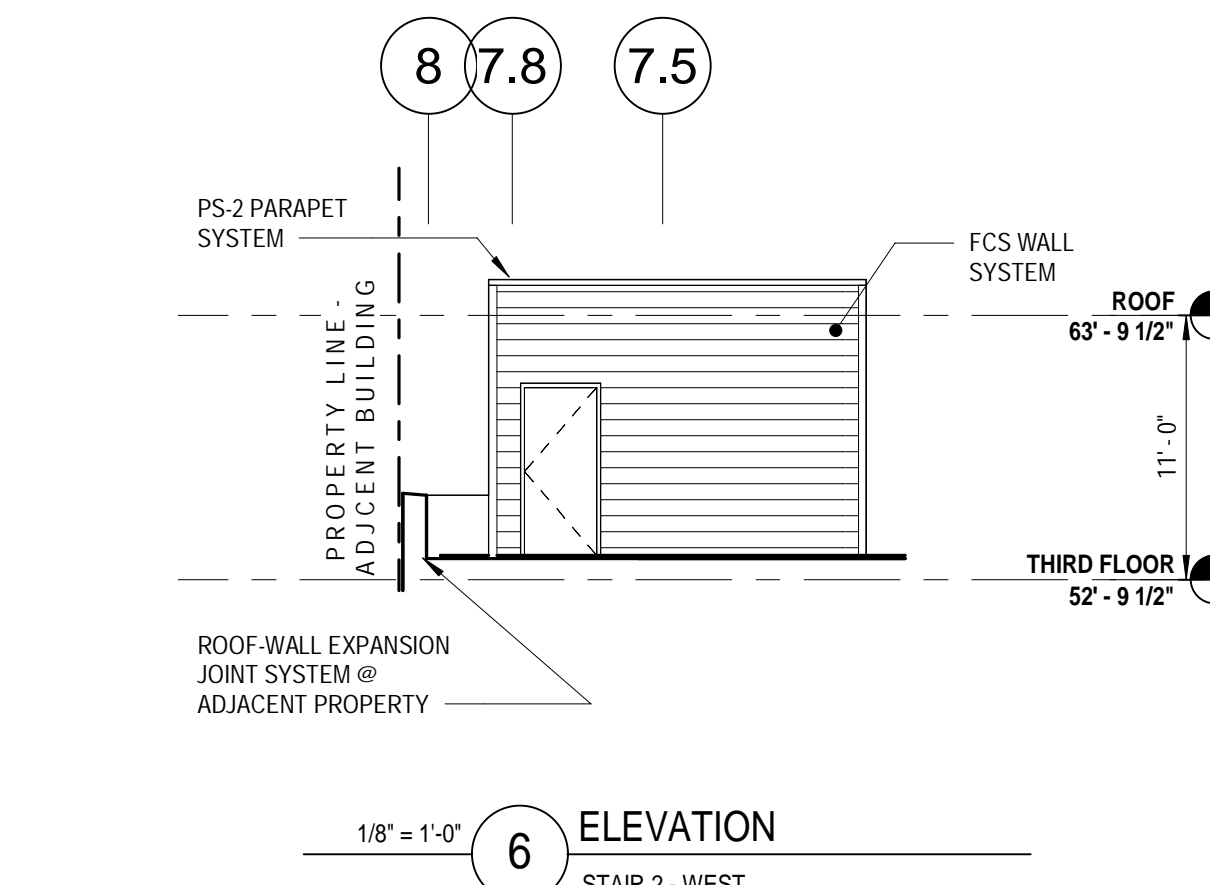
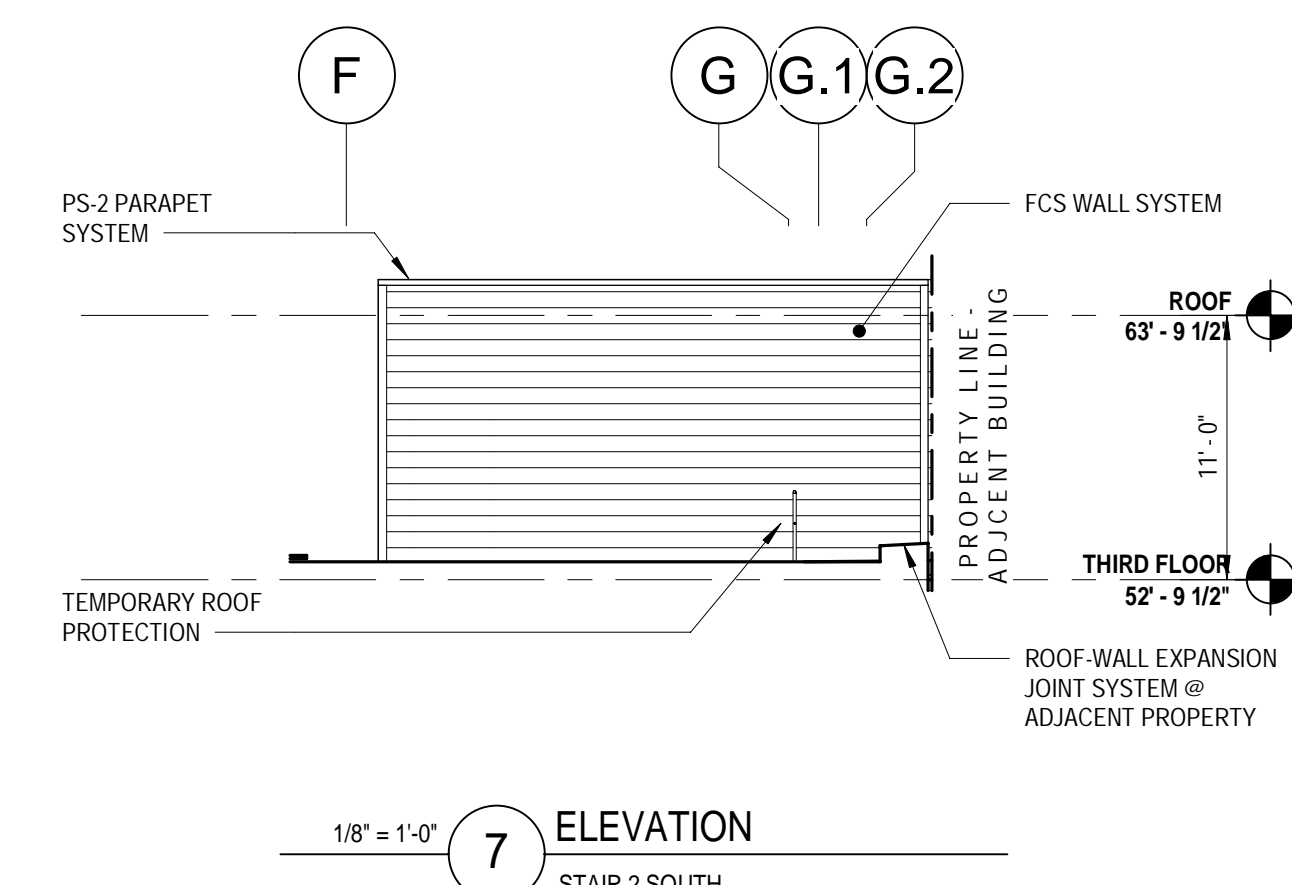
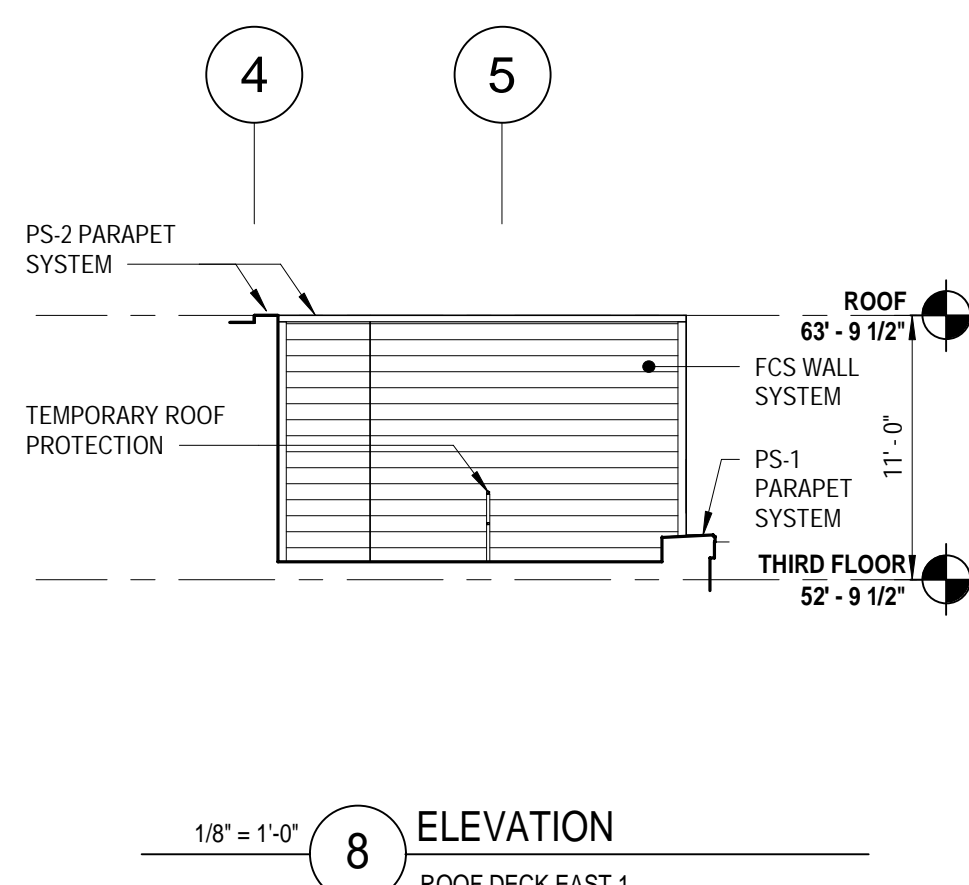
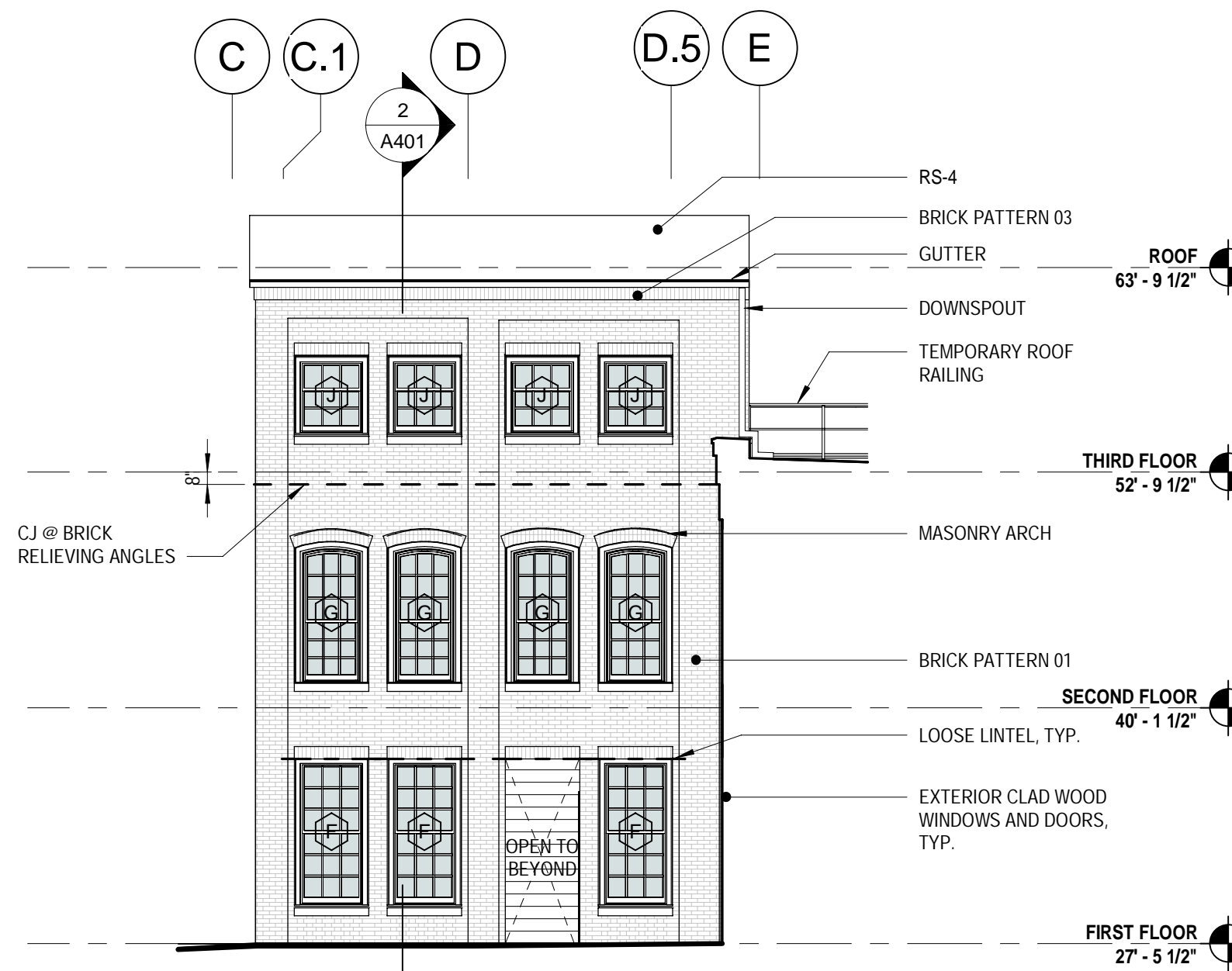
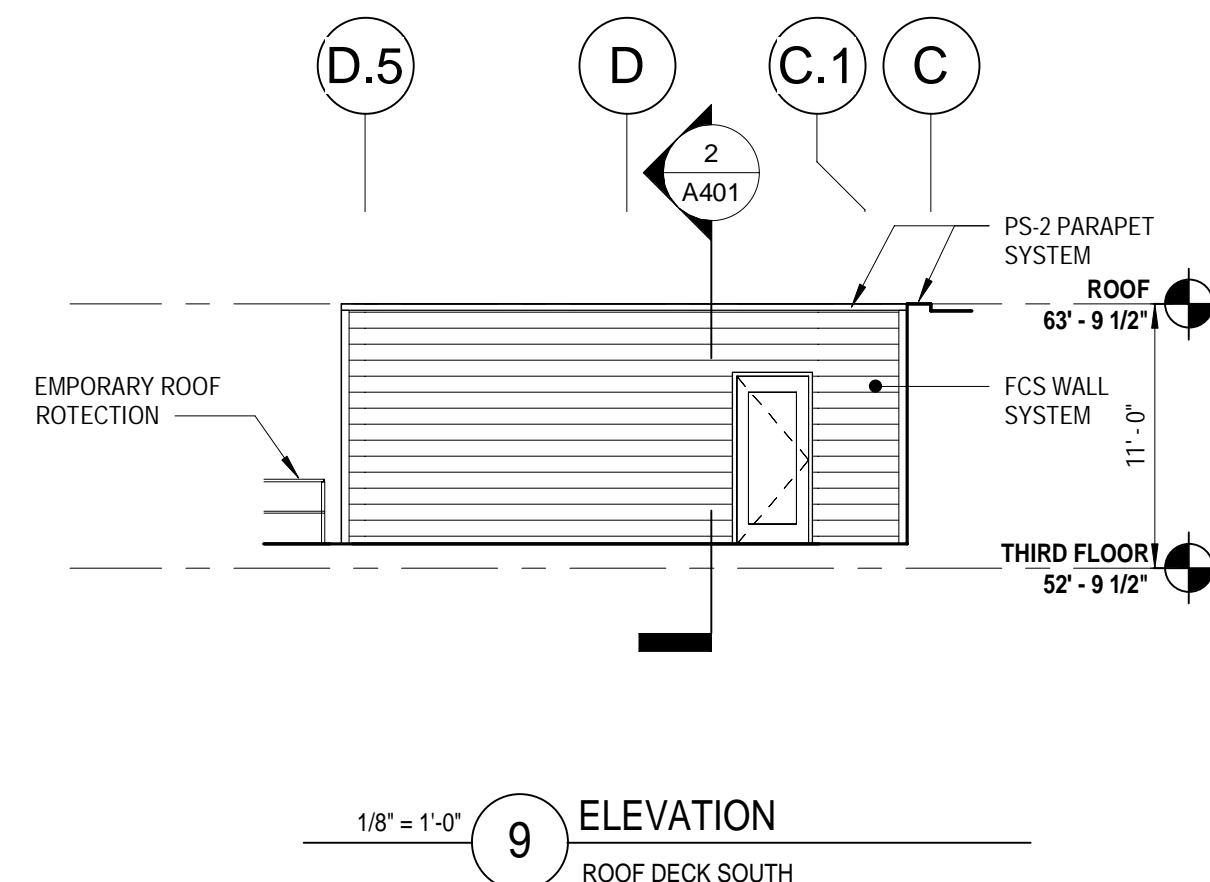
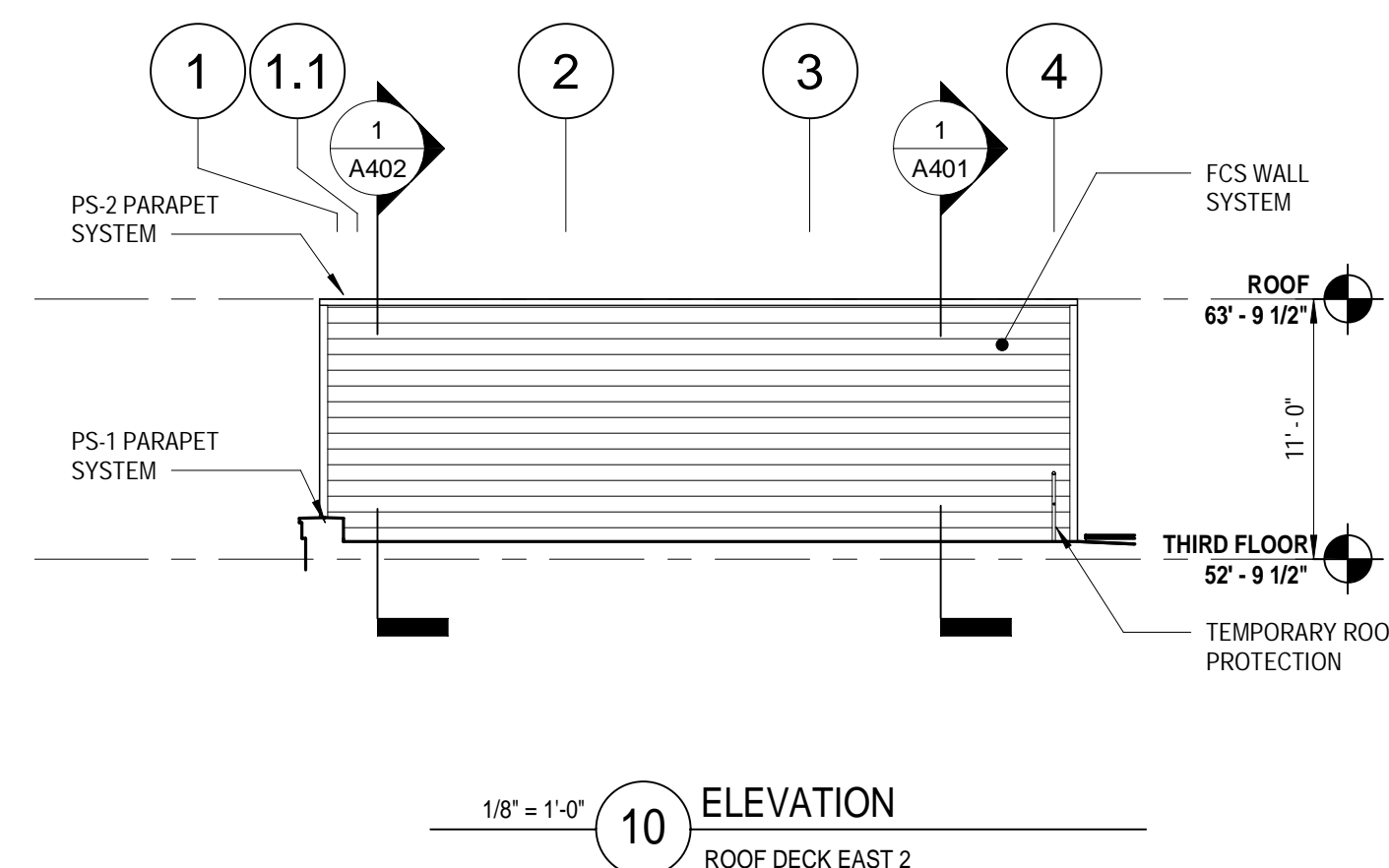
ARCHITECTURE

TITLE:

EXTERIOR ELEVATIONS

NUMBER:

A301





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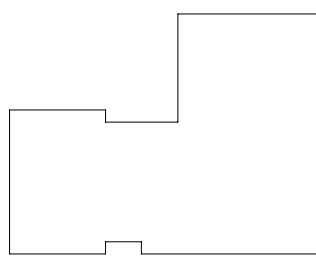
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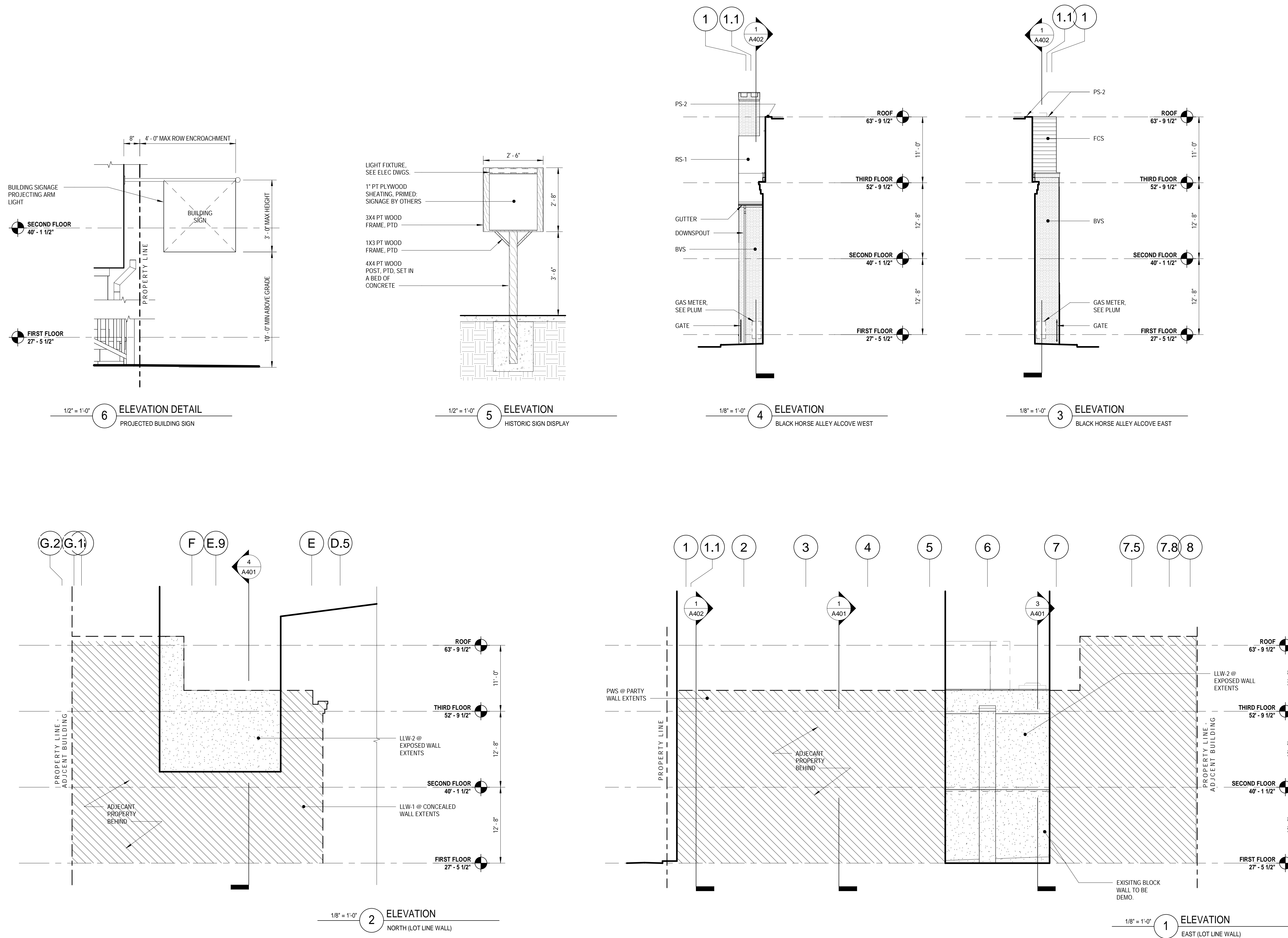
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11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: As indicated
Author
TITLE:

EXTERIOR
ELEVATIONS

NUMBER:

A302





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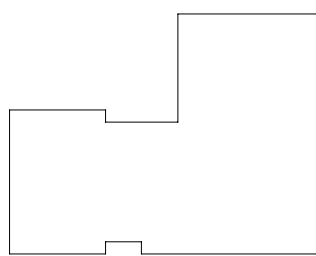
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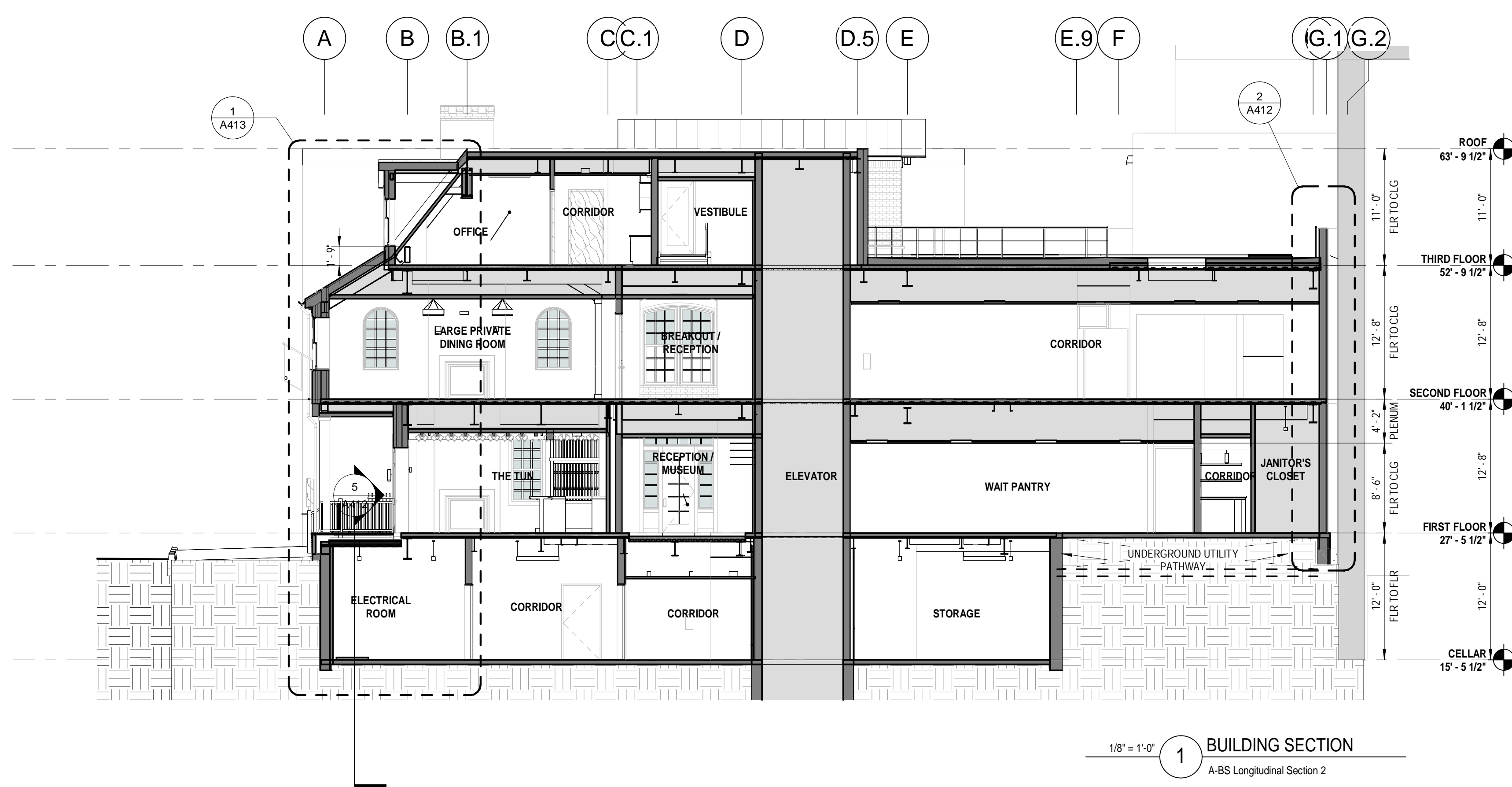
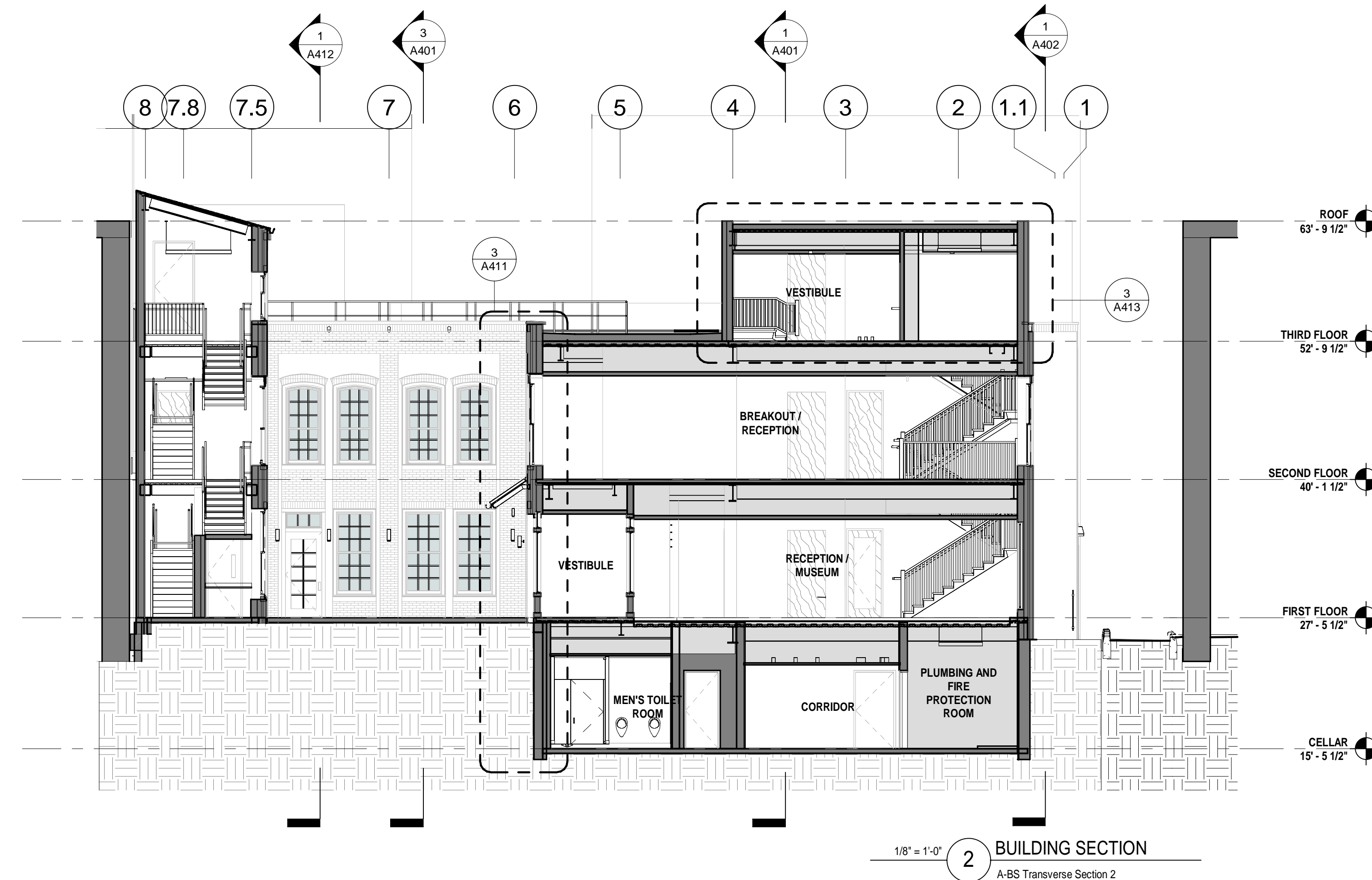
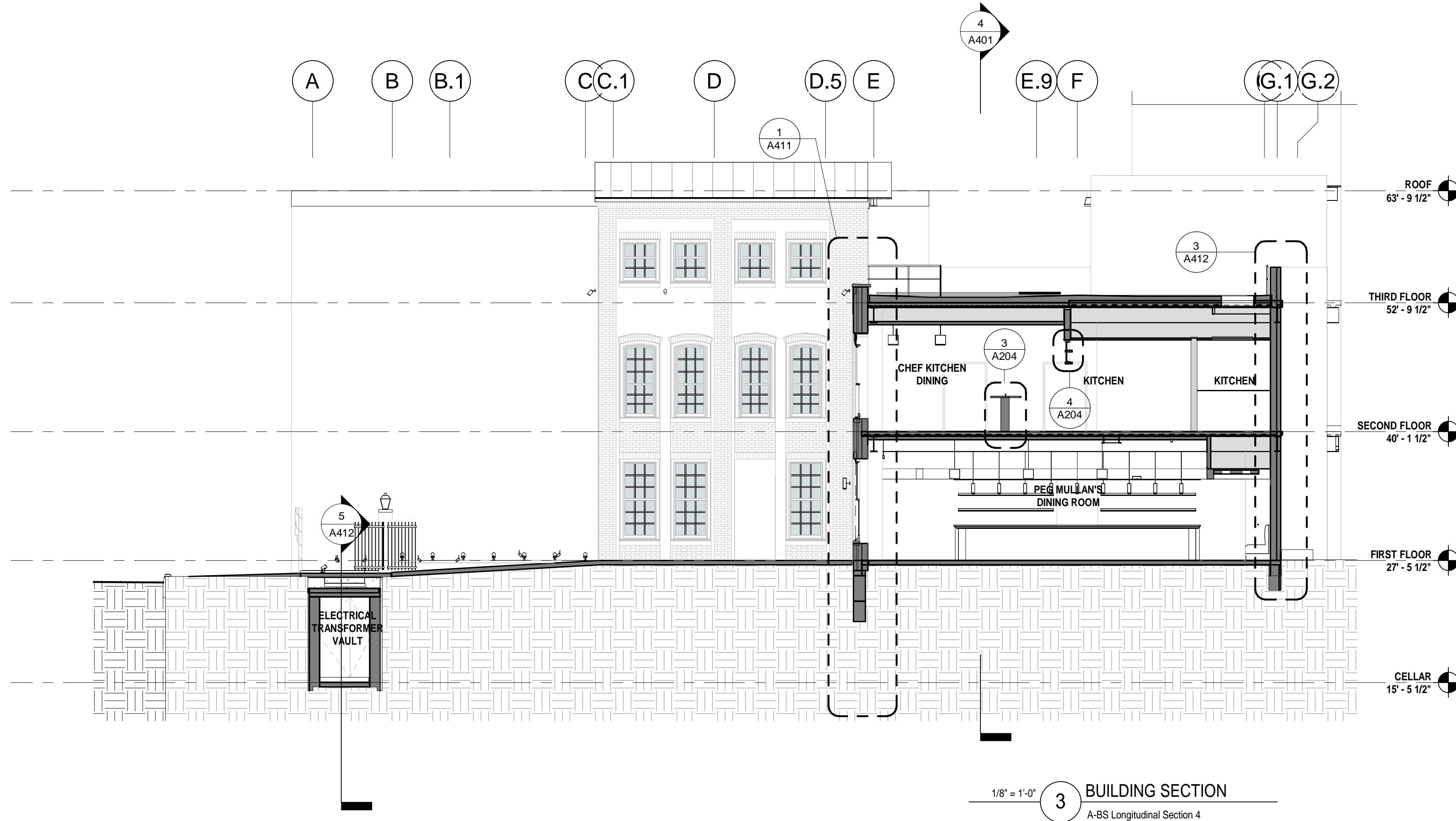
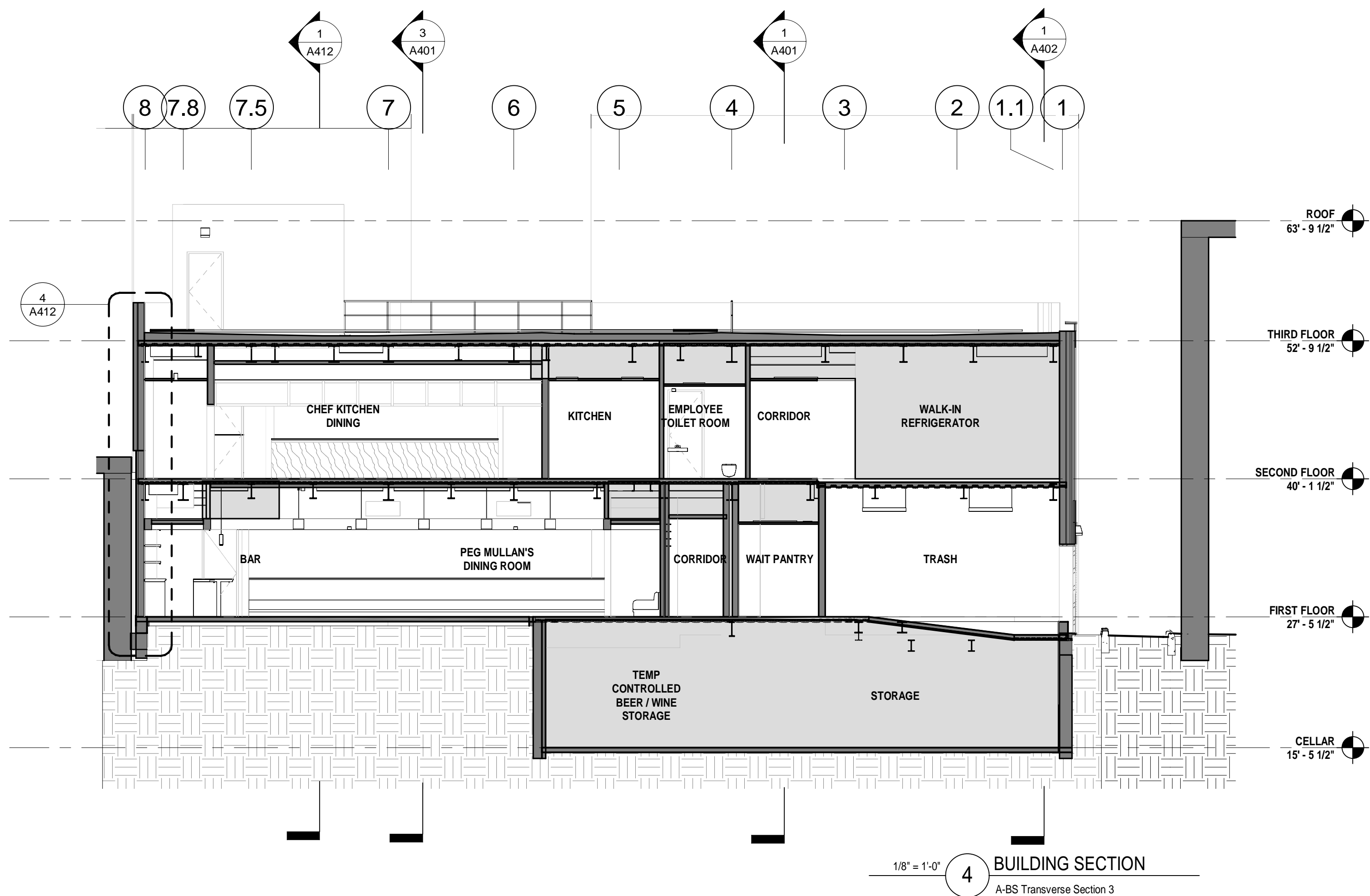
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DRAWING ISSUE

PROJECT: 23053.00
SCALE: 1/8" = 1'-0"
ARCHITECTURE
TITLE:

BUILDING SECTION

NUMBER:

A401





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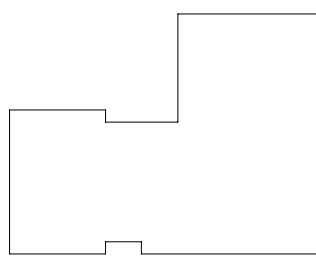
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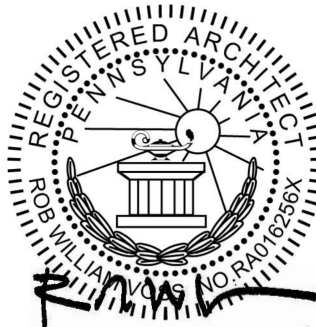
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KEYPLAN:



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01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00

SCALE: 1/8" = 1'-0"

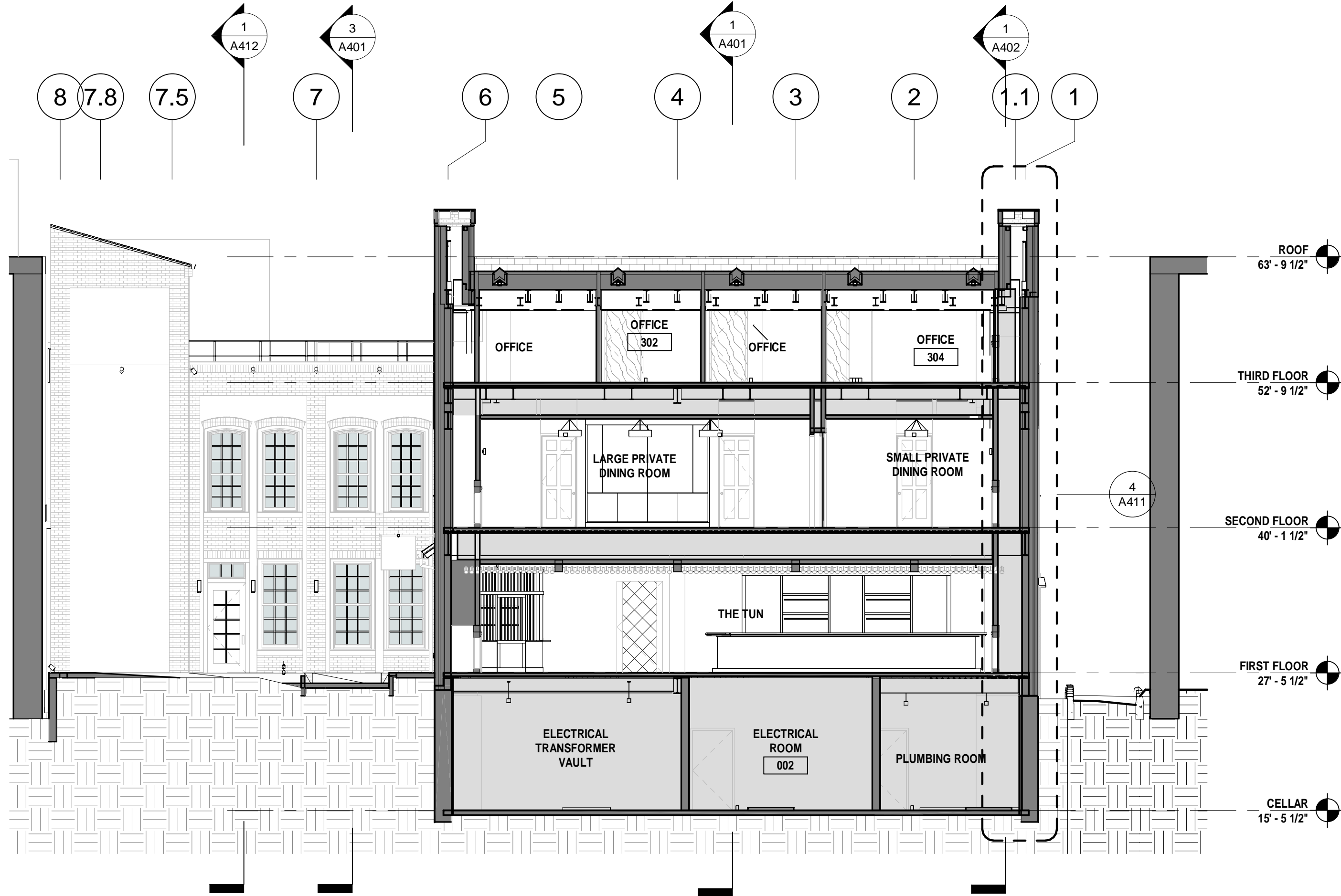
Author

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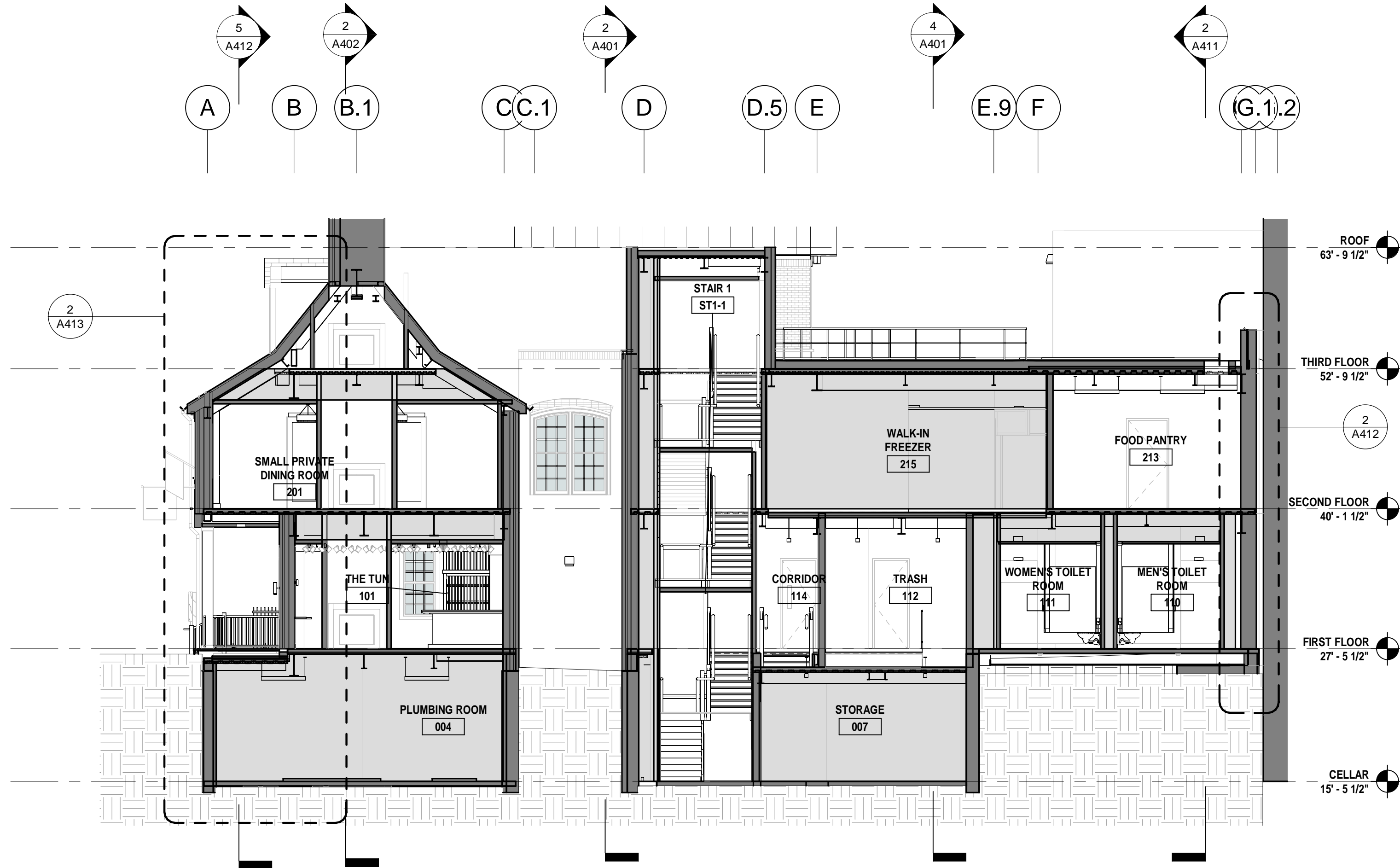
BUILDING SECTION

NUMBER:

A402



1/8" = 1'-0" 2 BUILDING SECTION
TAVERN CROSSSECTION



1/8" = 1'-0" 1 BUILDING SECTION
A-BS Longitudinal section 3



THE TUN

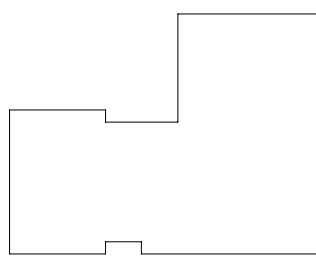
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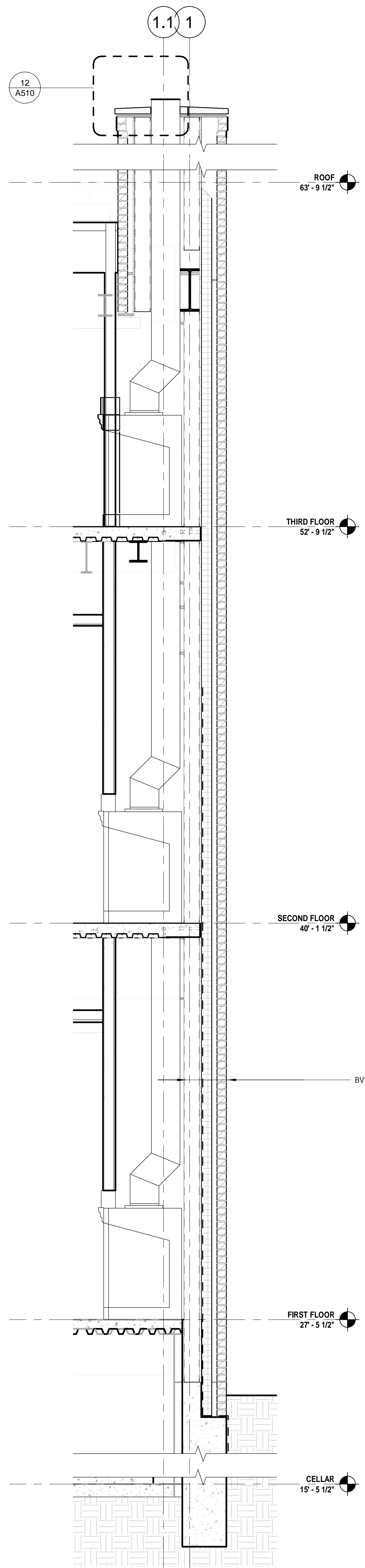
ARCHITECTURE

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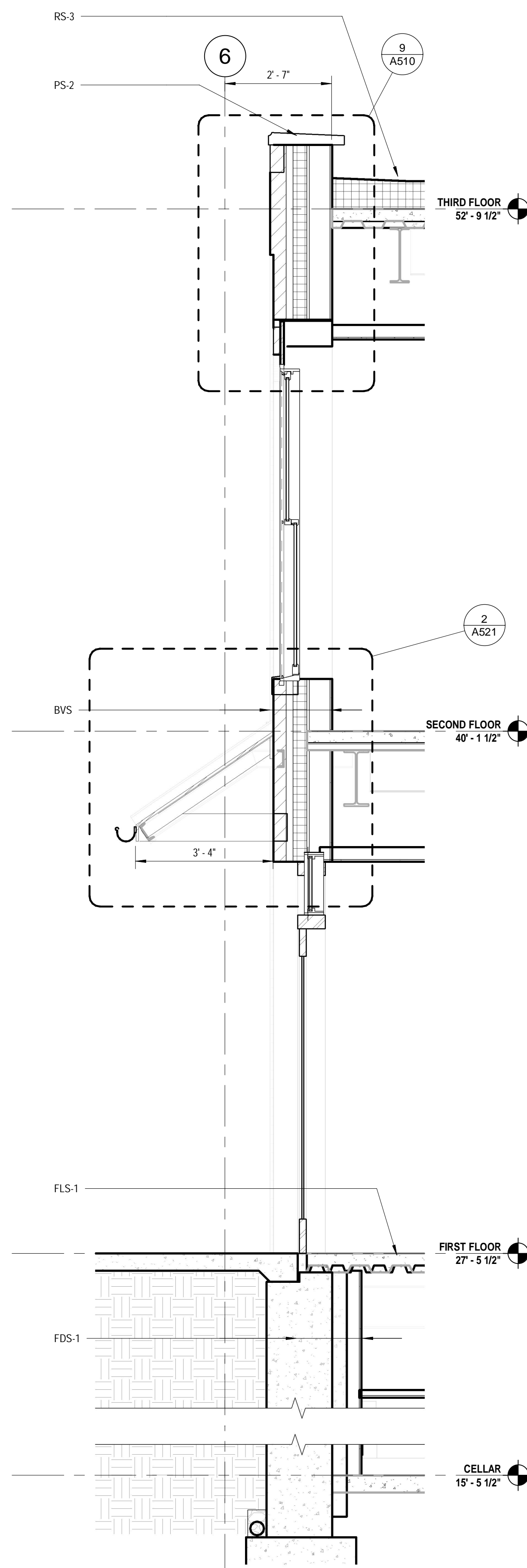
WALL SECTIONS

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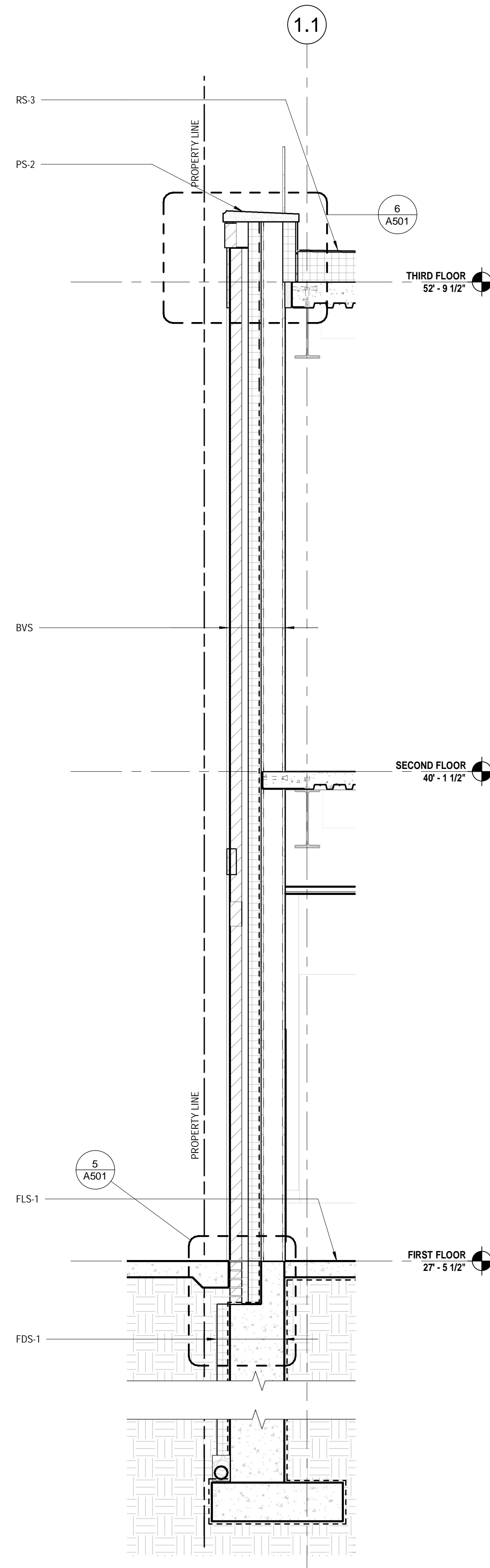
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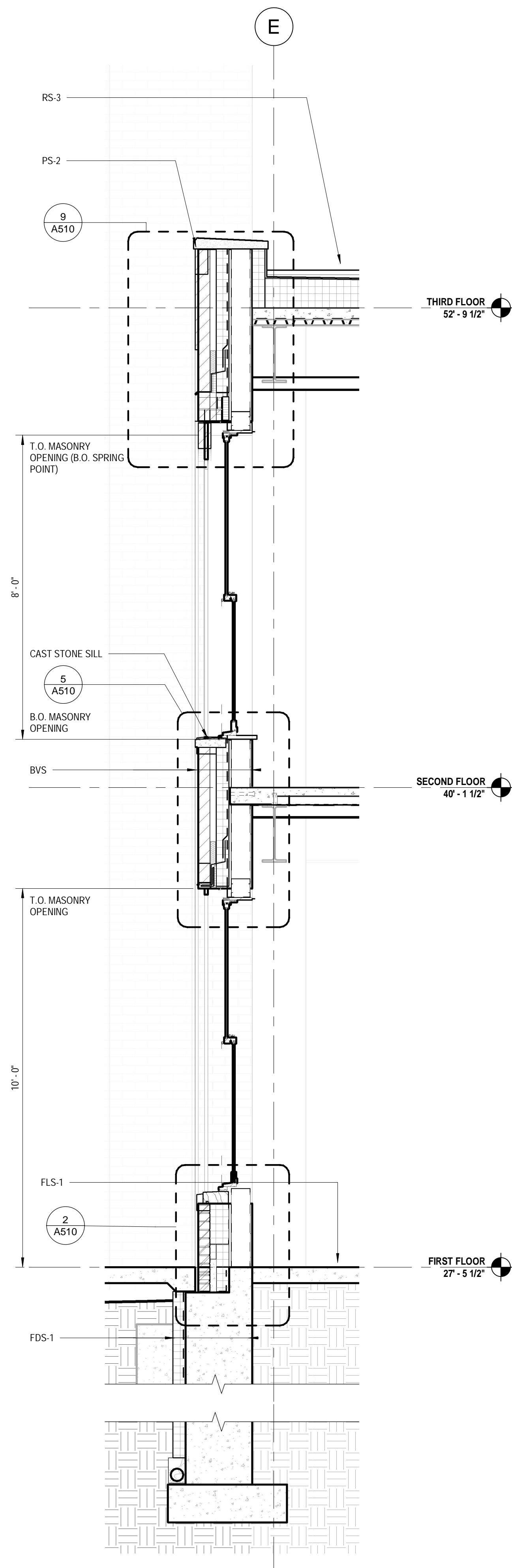
1/2" = 1'-0" 4 WALL SECTION
A/W'S TAVERN CHIMNEY



1/2" = 1'-0" 3 WALL SECTION
PEG MULLAN'S ENTRY CANOPY



1/2" = 1'-0" 2 WALL SECTION
BACK OF HOUSE



1/2" = 1'-0" 1 WALL SECTION
PEG MULLAN'S



THE TUN

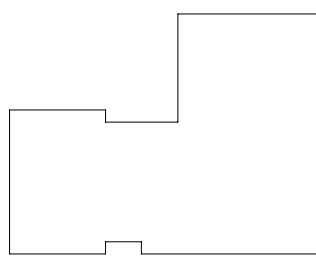
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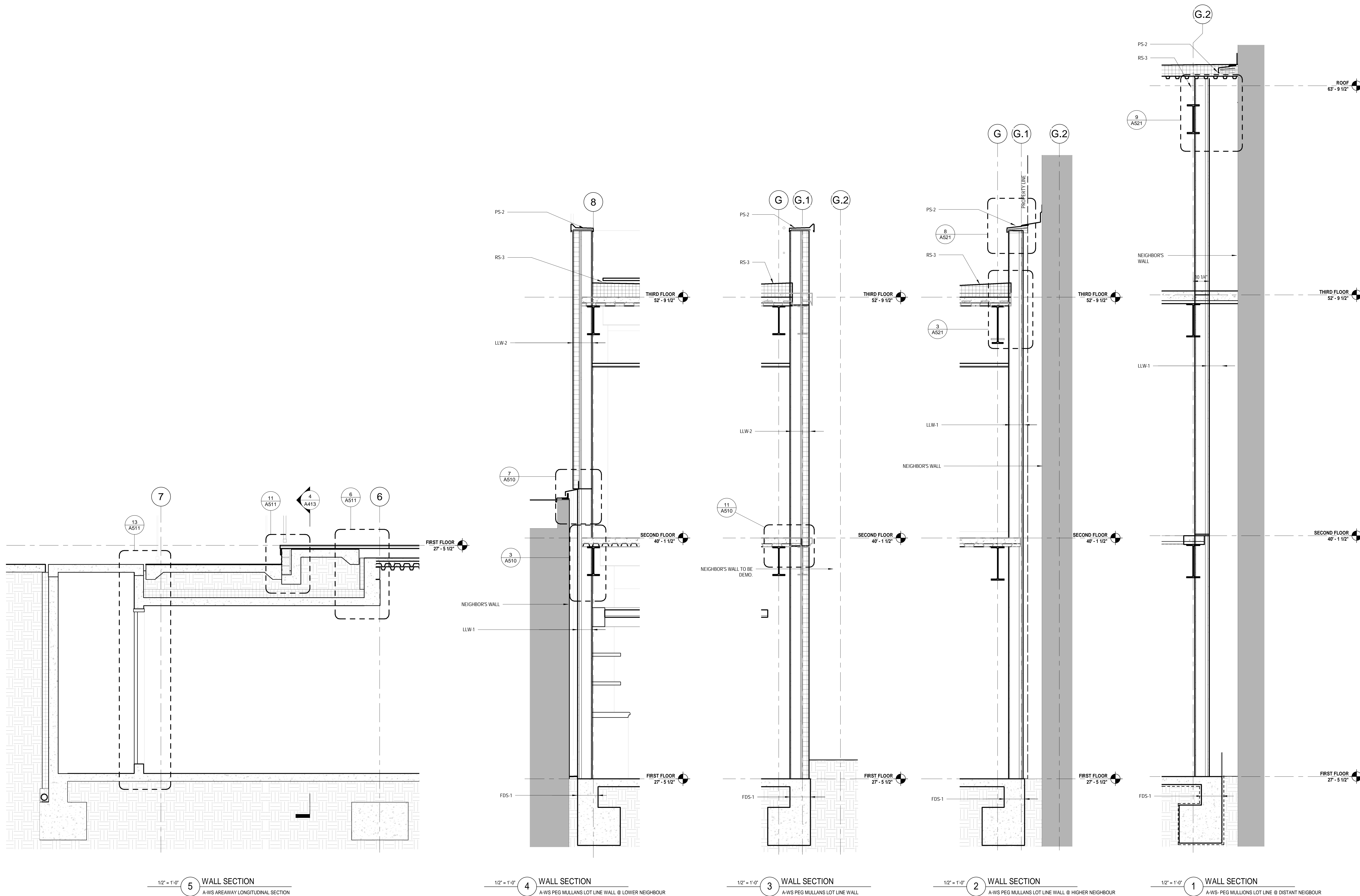
Author

TITLE:

WALL SECTIONS

NUMBER:

A412



1/2" = 1'-0" 5 WALL SECTION
A-WS AREAWAY LONGITUDINAL SECTION

1/2" = 1'-0" 4 WALL SECTION
A-WS PEG MULLANS LOT LINE WALL @ LOWER NEIGHBOUR

1/2" = 1'-0" 3 WALL SECTION
A-WS PEG MULLANS LOT LINE WALL

1/2" = 1'-0" 2 WALL SECTION
A-WS PEG MULLANS LOT LINE WALL @ HIGHER NEIGHBOUR

1/2" = 1'-0" 1 WALL SECTION
A-WS- PEG MULLANS LOT LINE @ DISTANT NEIGHBOUR



THE TUN

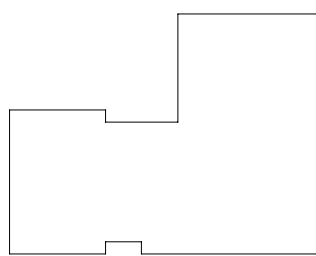
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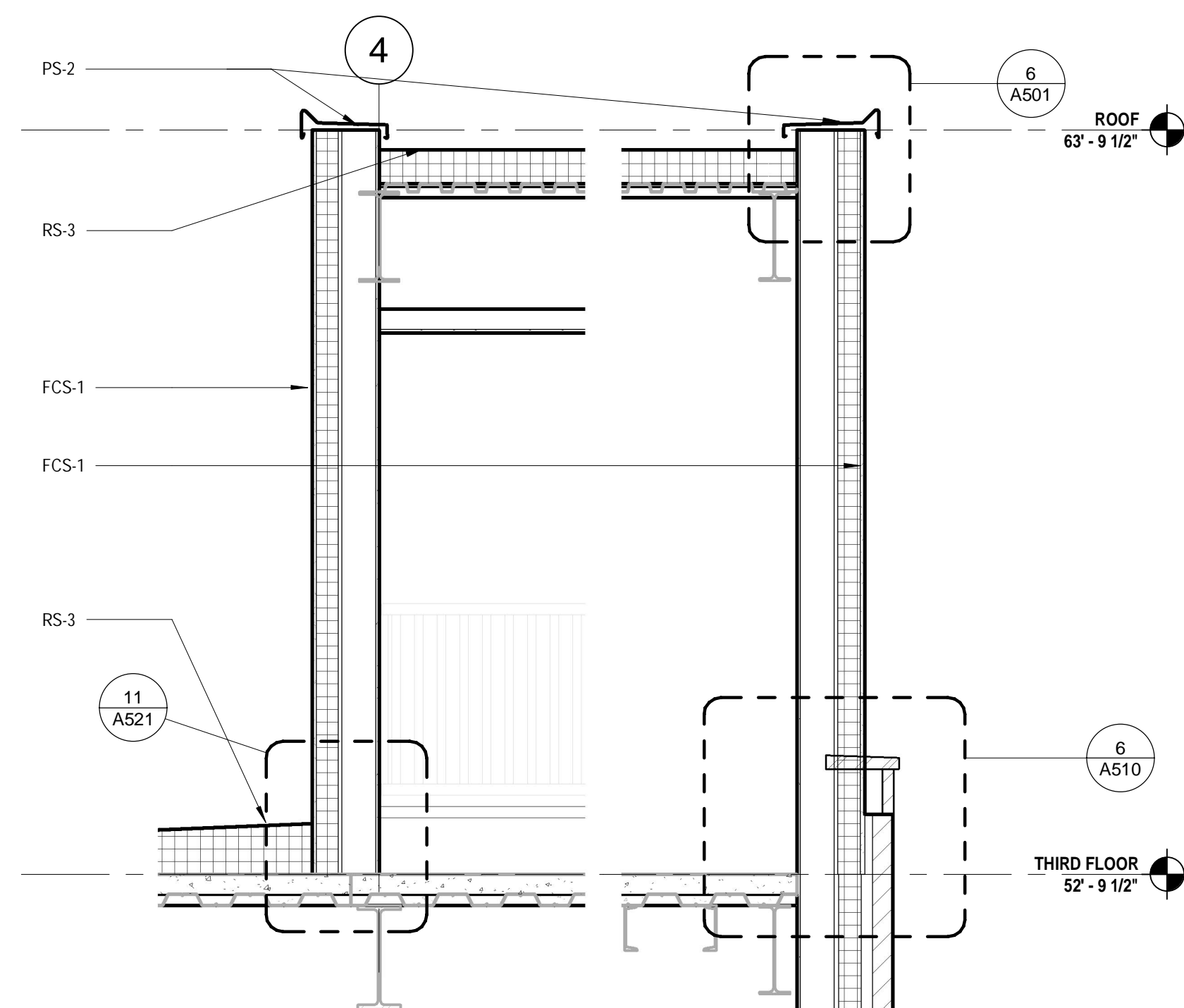
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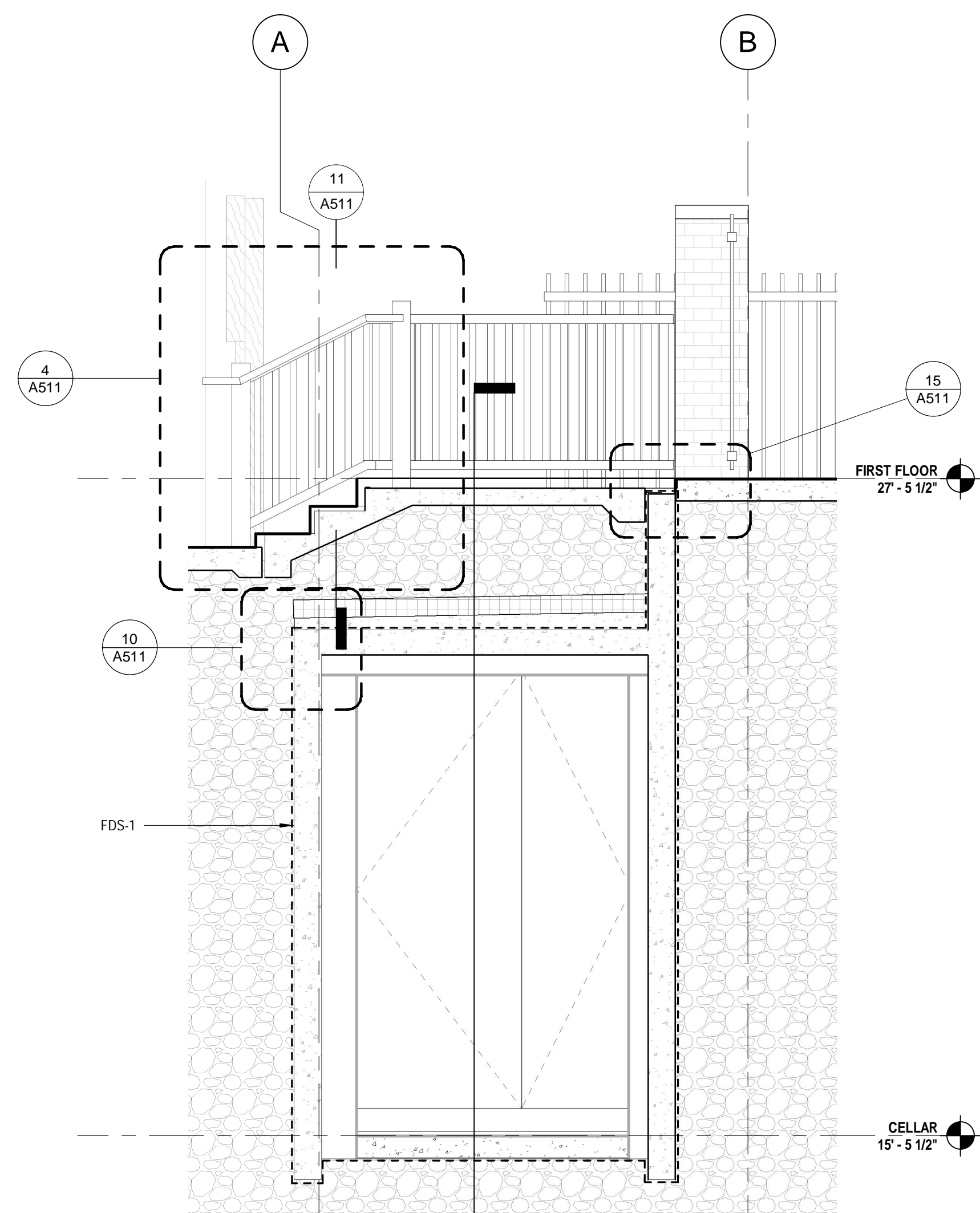
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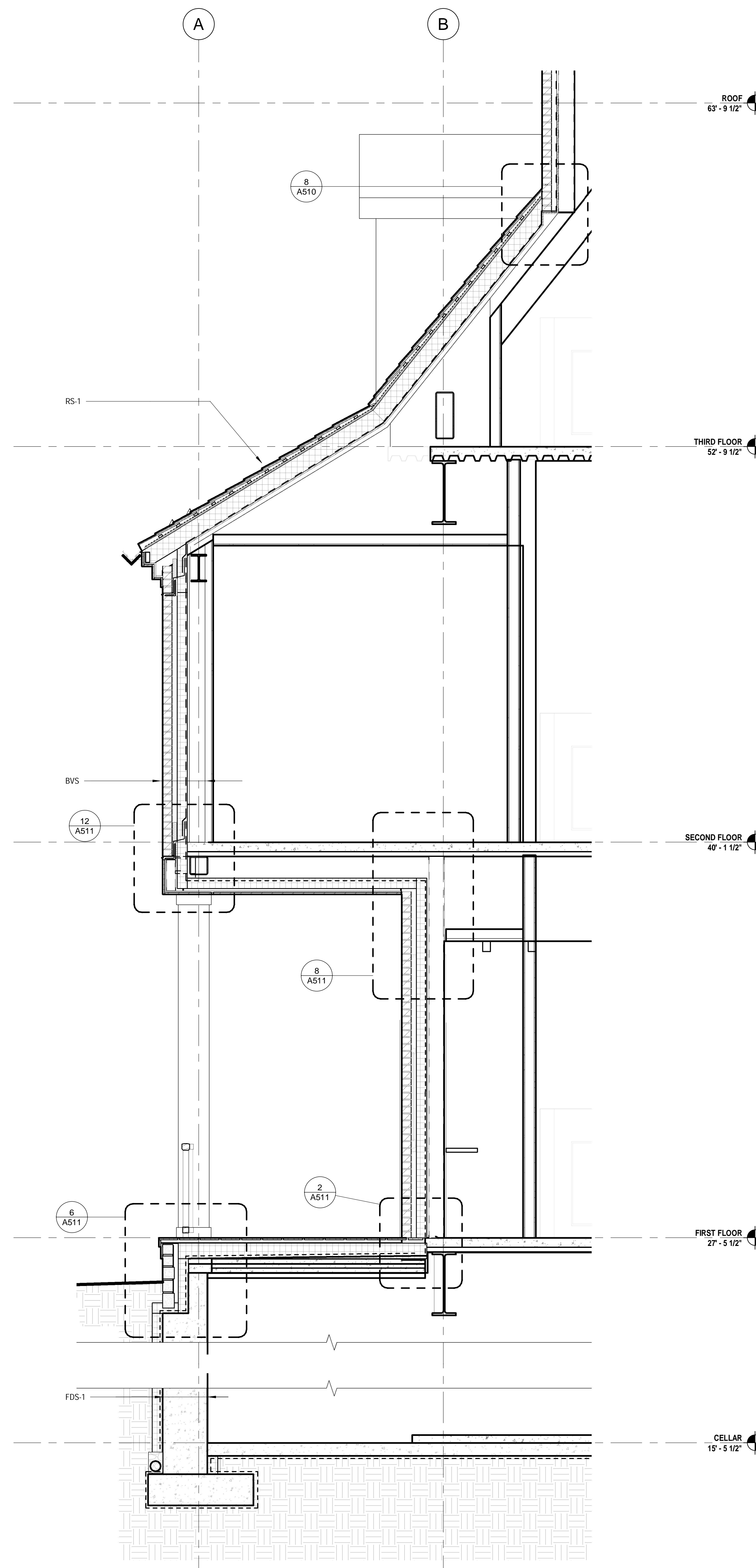
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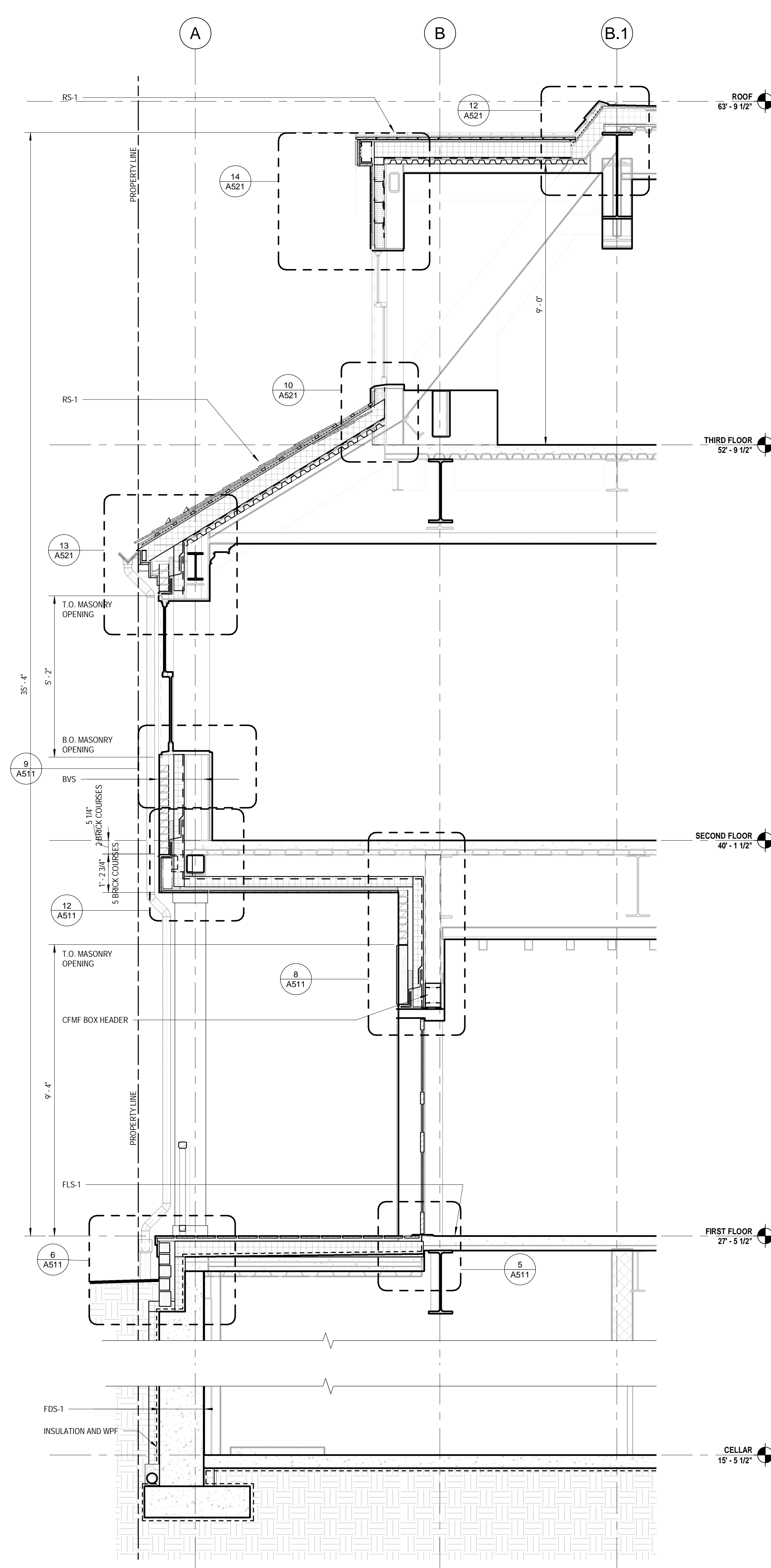
1/2" = 1'-0" 3 WALL SECTION
A-WS TAVERN 3RD FL



1/2" = 1'-0" 4 WALL SECTION
A-WS TAVERN PORCH AND AREAWAY @STAIR

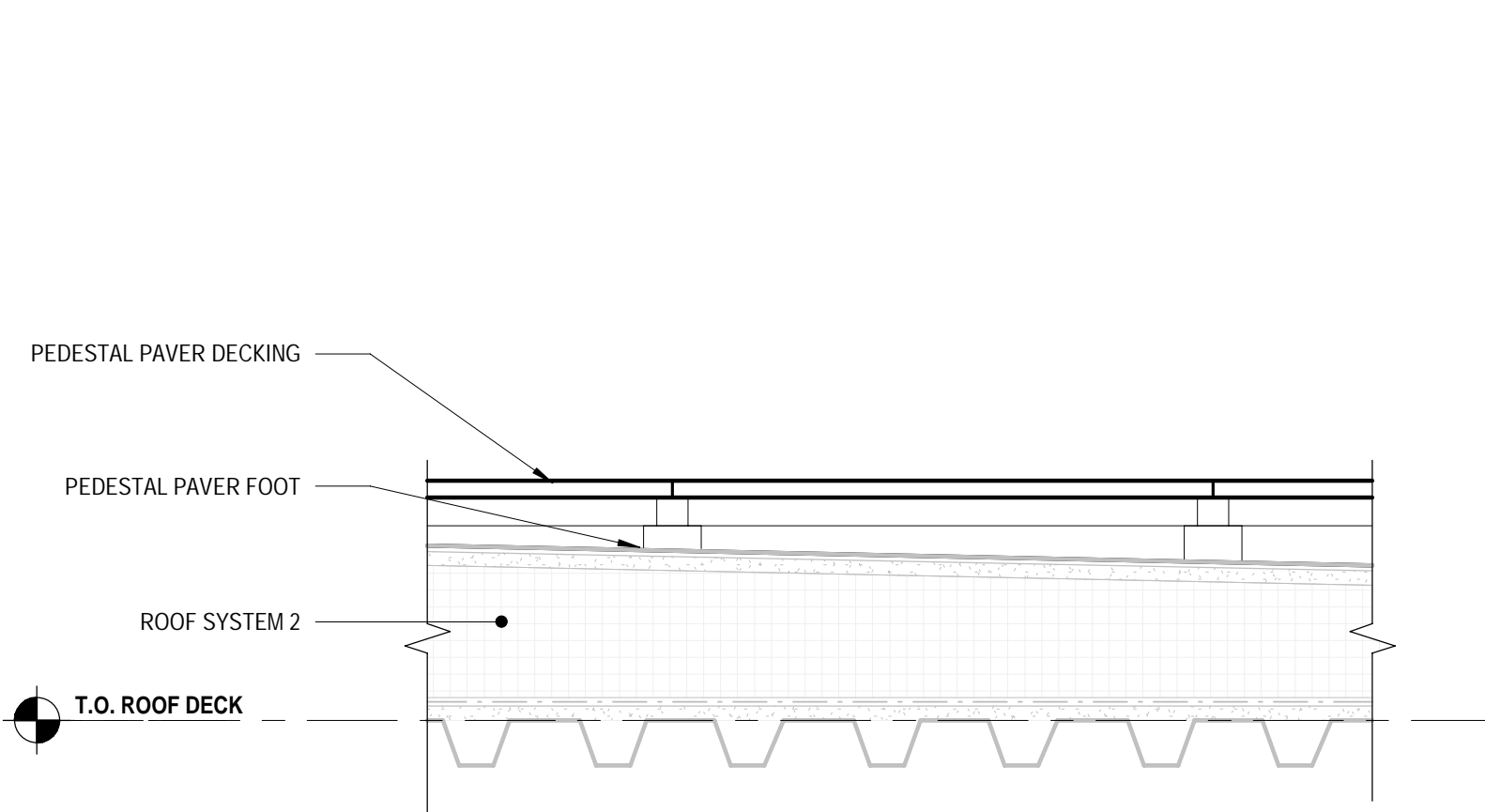


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A-WS TAVERN PORCH

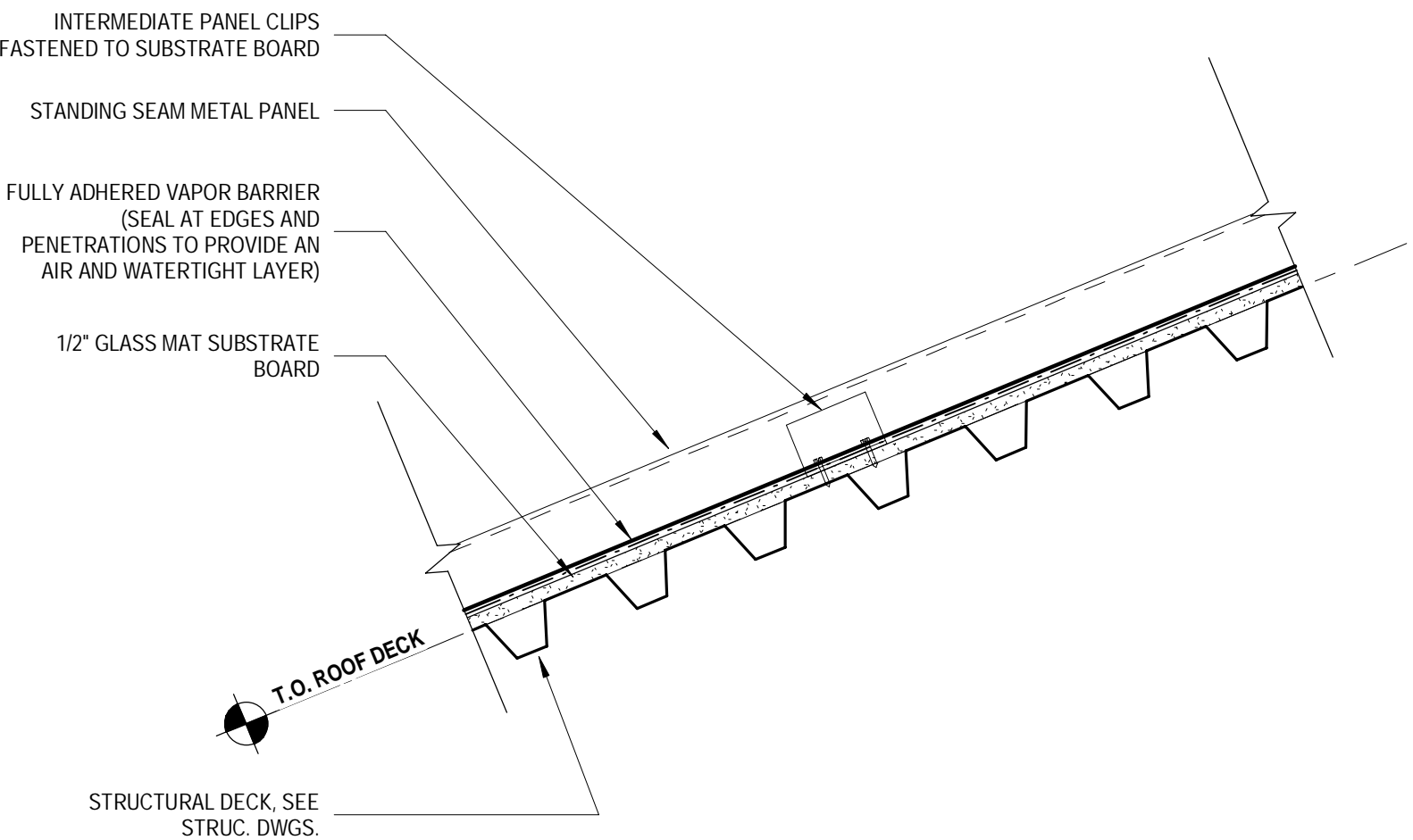


1/2" = 1'-0" 1 WALL SECTION
TAVERN PORCH

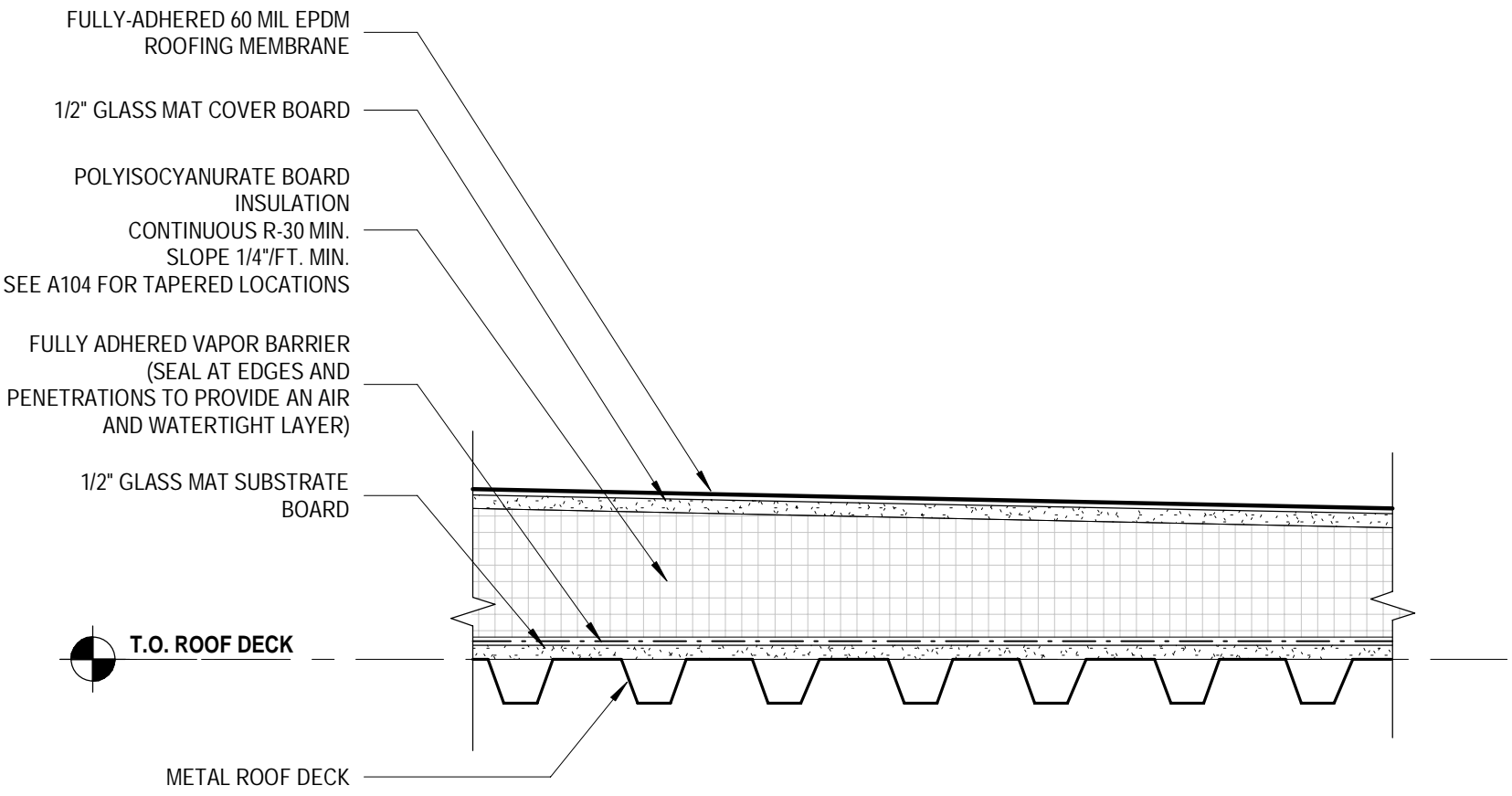
ROOF SYSTEMS



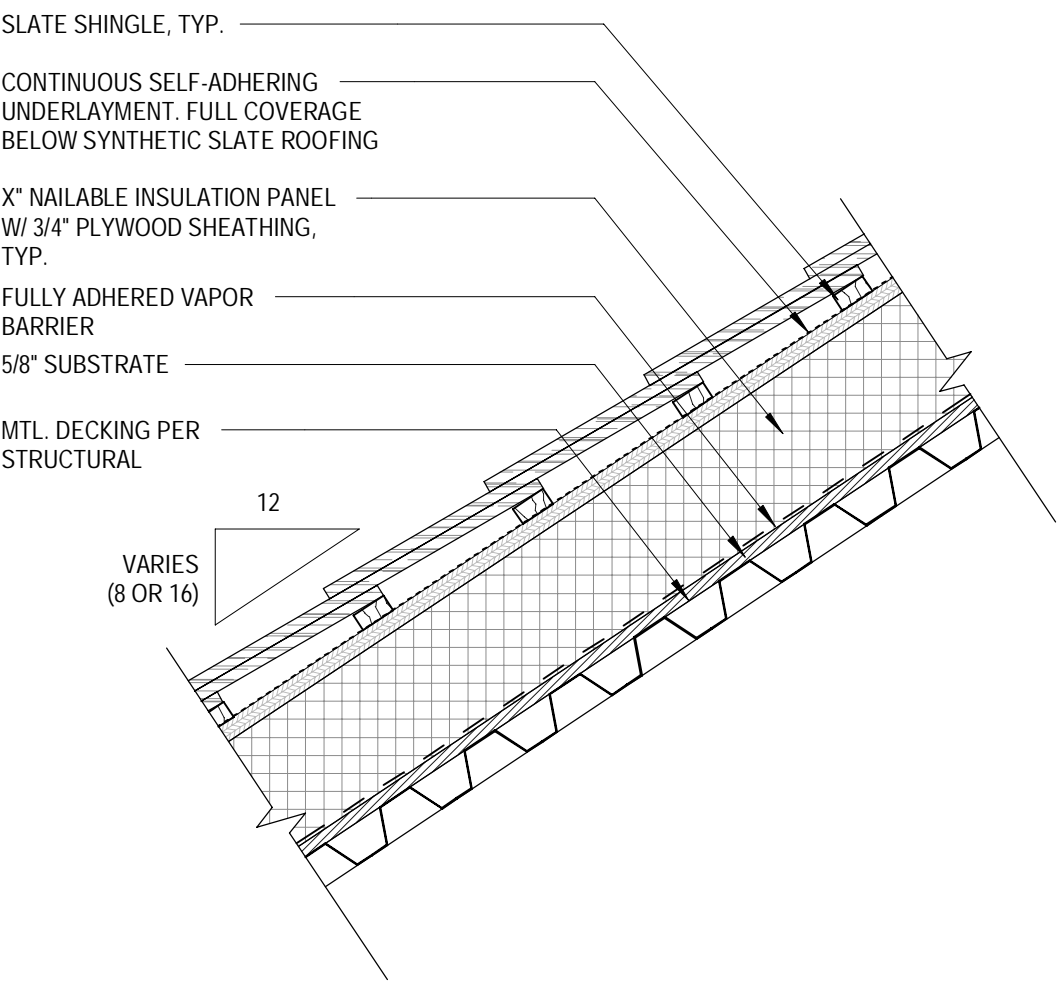
ROOF SYSTEM 3 (RS-3)
PEDESTAL PAVER (ALTERNATE)



ROOF SYSTEM 4 (RS-4)
STANDING SEAM METAL ROOF

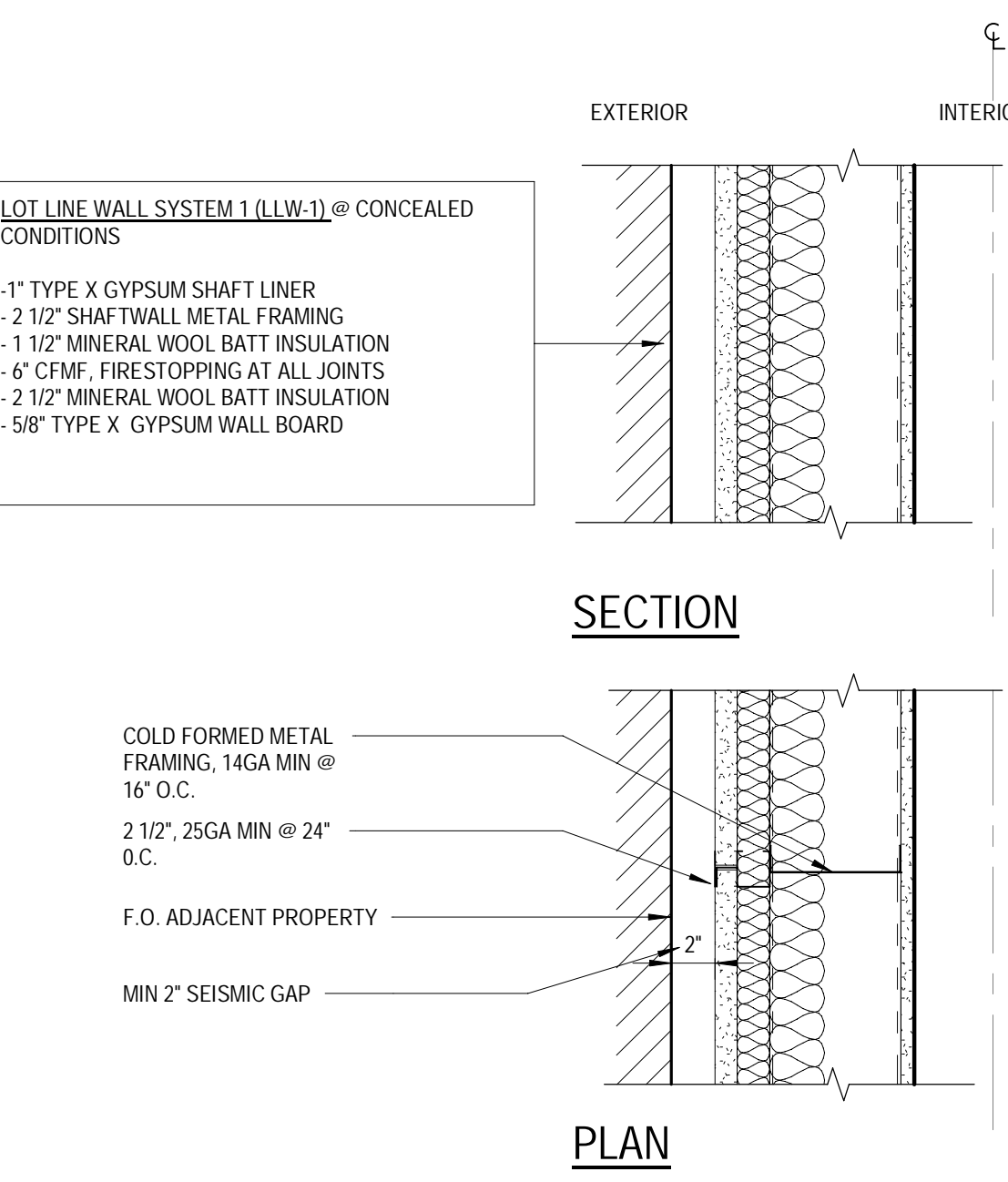


ROOF SYSTEM 2 (RS-2)
EPDM FLAT ROOF

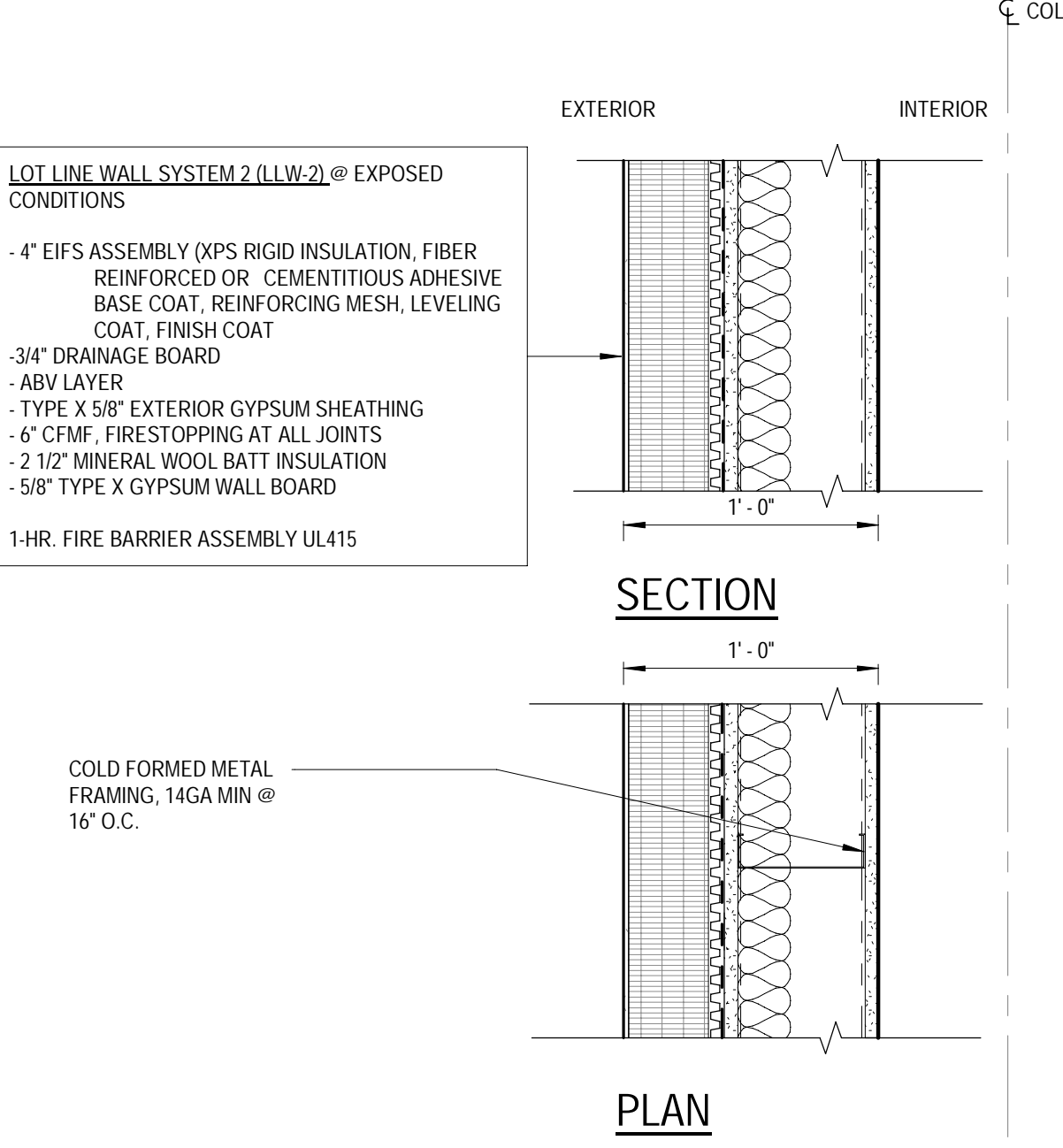


ROOF SYSTEM 1 (RS-1)
SLATE ROOF

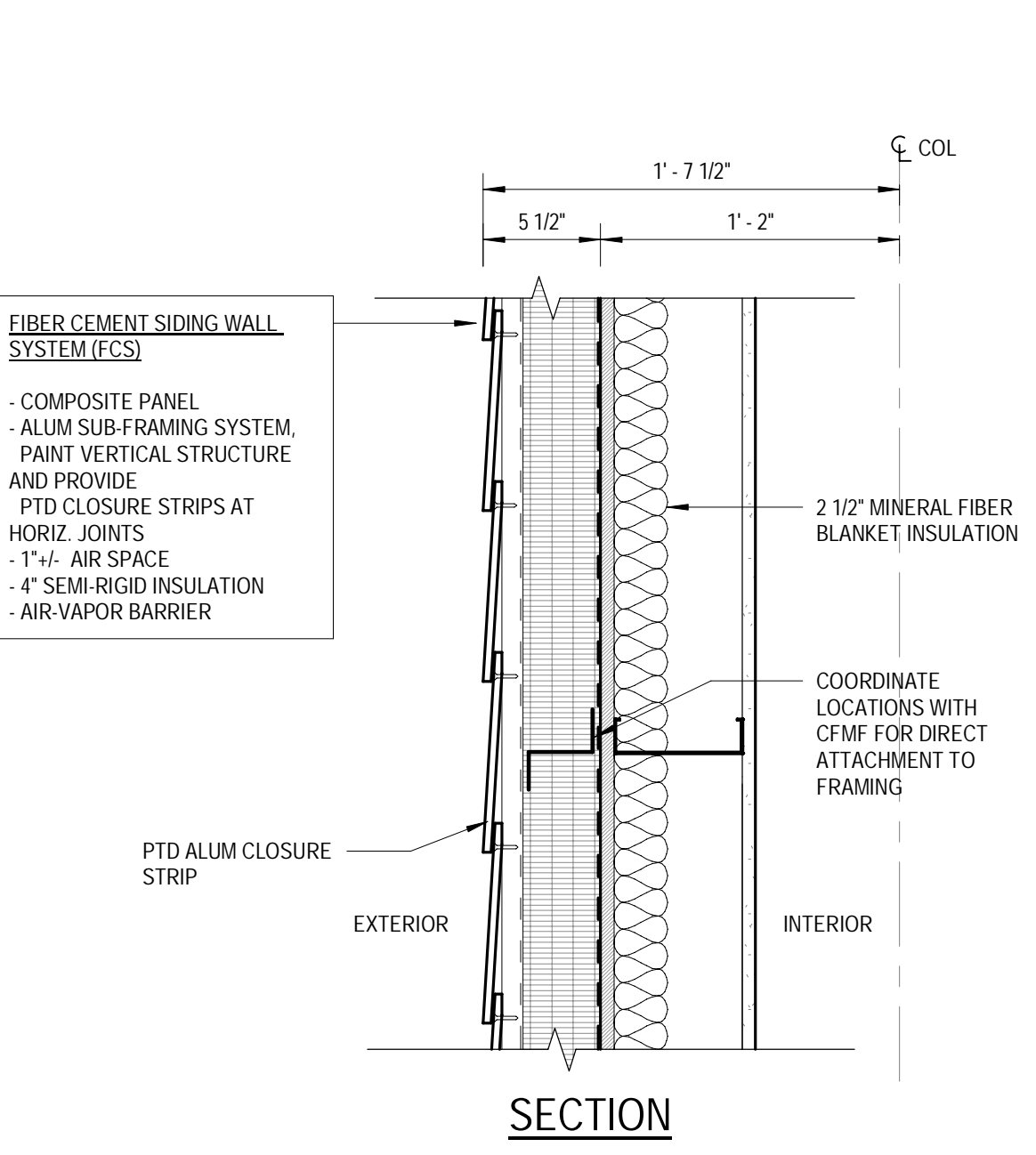
EXTERIOR WALL SYSTEMS



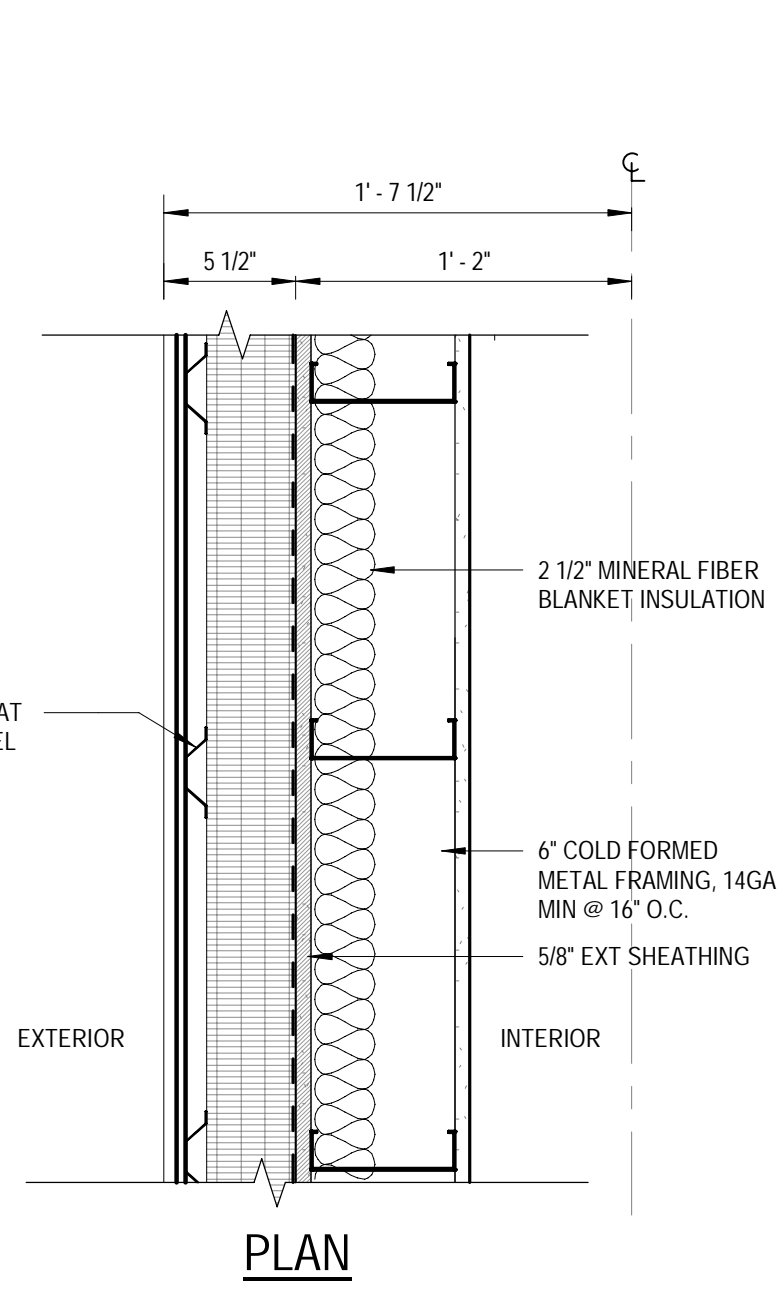
LOT LINE WALL SYSTEM (LLW-1)



LOT LINE WALL SYSTEM (LLW-2)

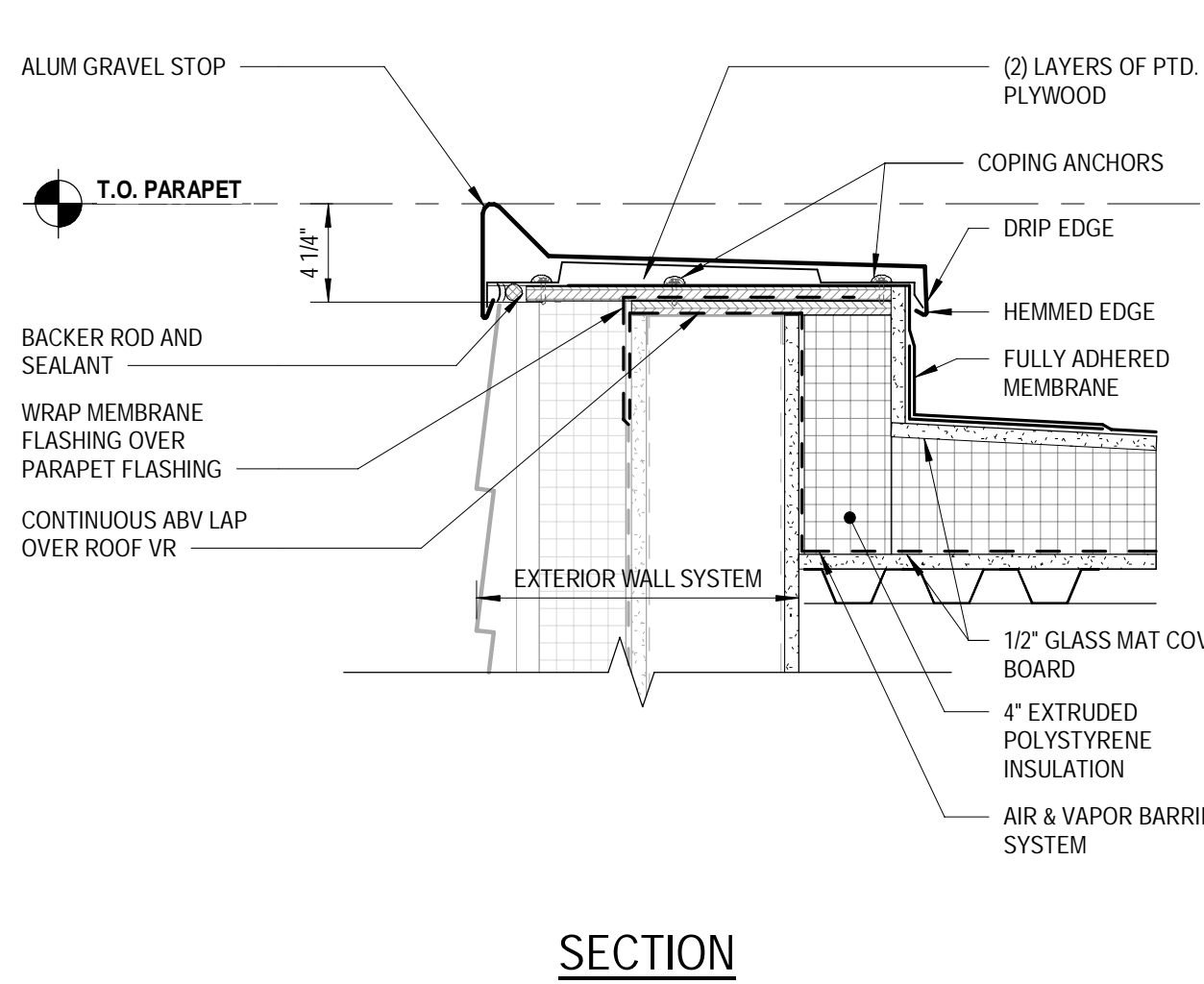


FIBER CEMENT SIDING WALL SYSTEM (FCS)

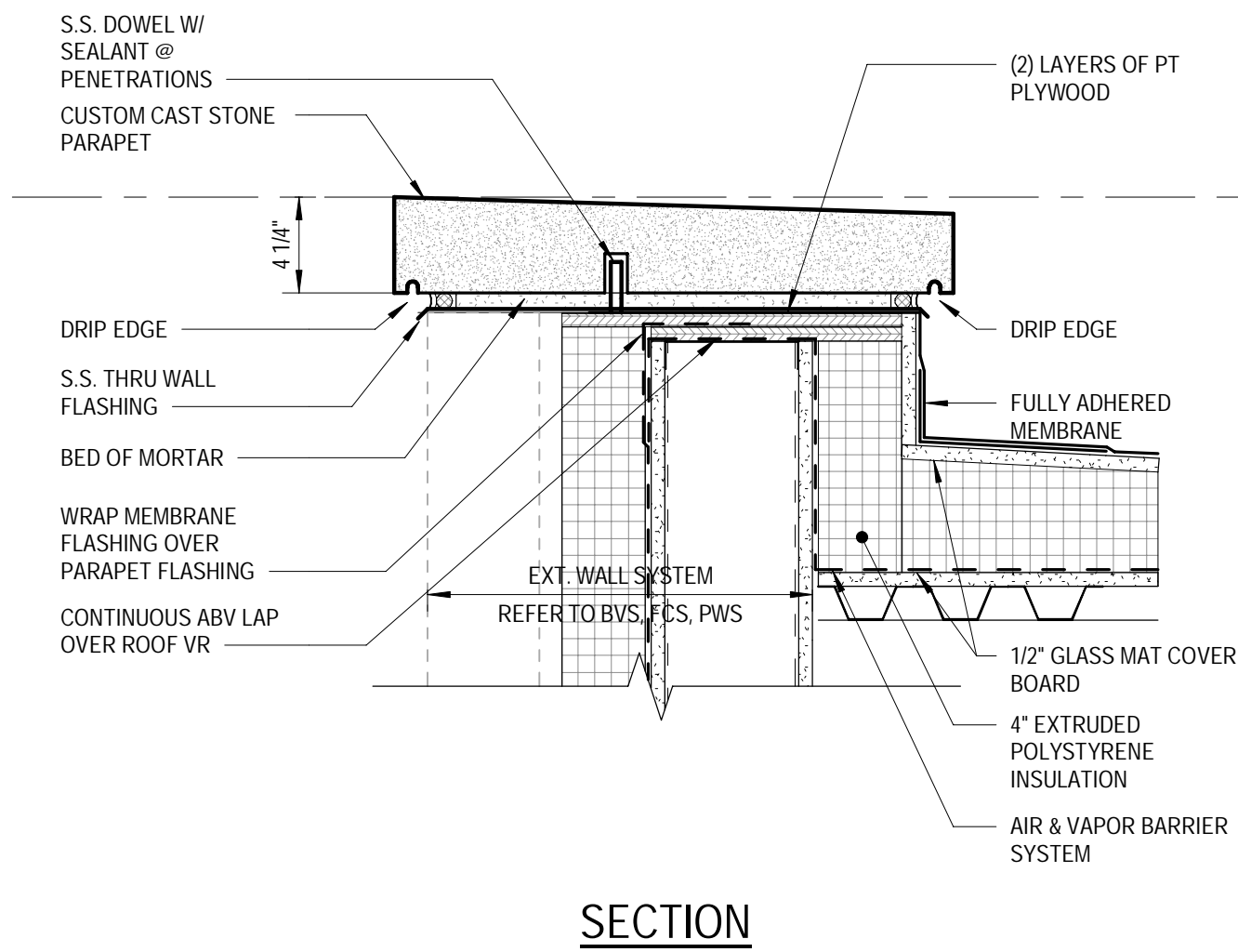


BRICK VENEER WALL SYSTEM (BVS)

PARAPET SYSTEMS

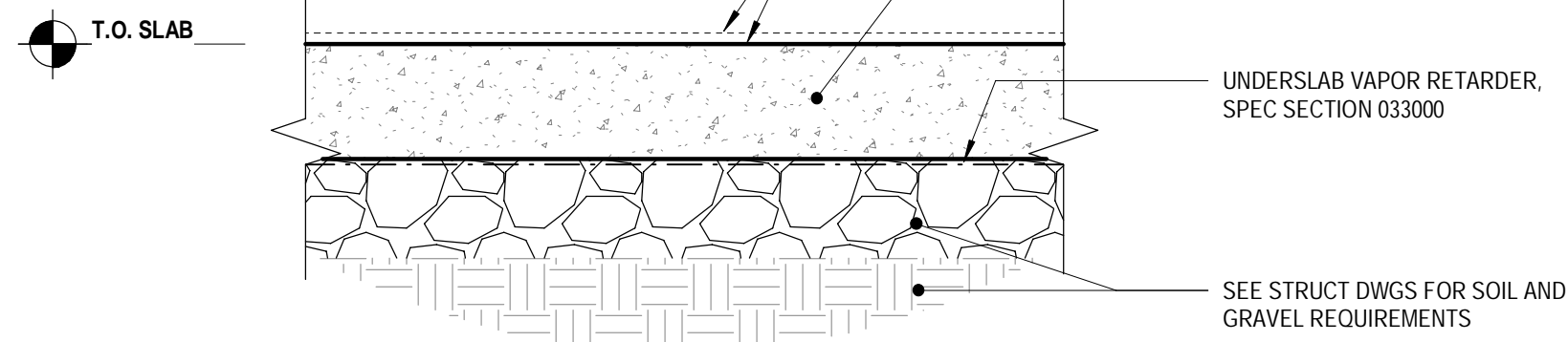


PARAPET SYSTEM 2 (PS-2)
ALUM GRAVEL STOP PARAPET



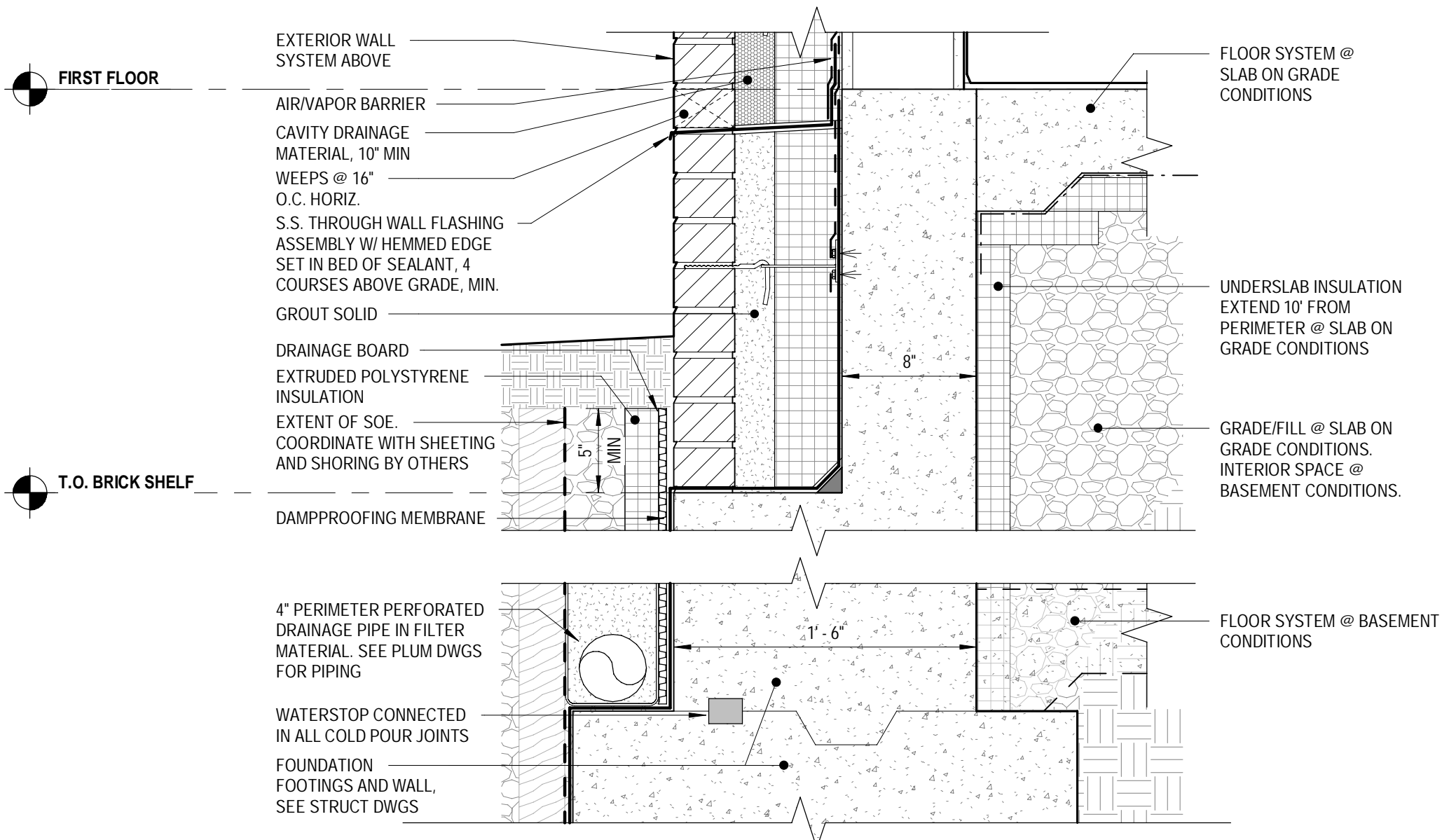
PARAPET SYSTEM 1 (PS-1)
CAST STONE PARAPET

FLOOR SYSTEMS



FLOOR SYSTEM (FLS-1)

FOUNDATION SYSTEMS



FOUNDATION SYSTEM (FDS-1)



THE TUN

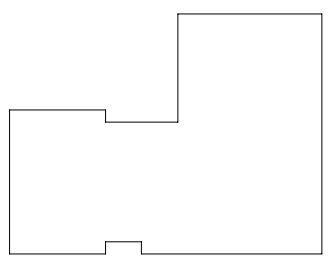
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PROJECT: 23053.00
SCALE: 1 1/2" = 1'-0"
ARCHITECTURE
TITLE:

EXTERIOR SYSTEMS

NUMBER:

A501



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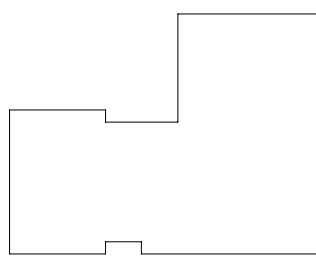
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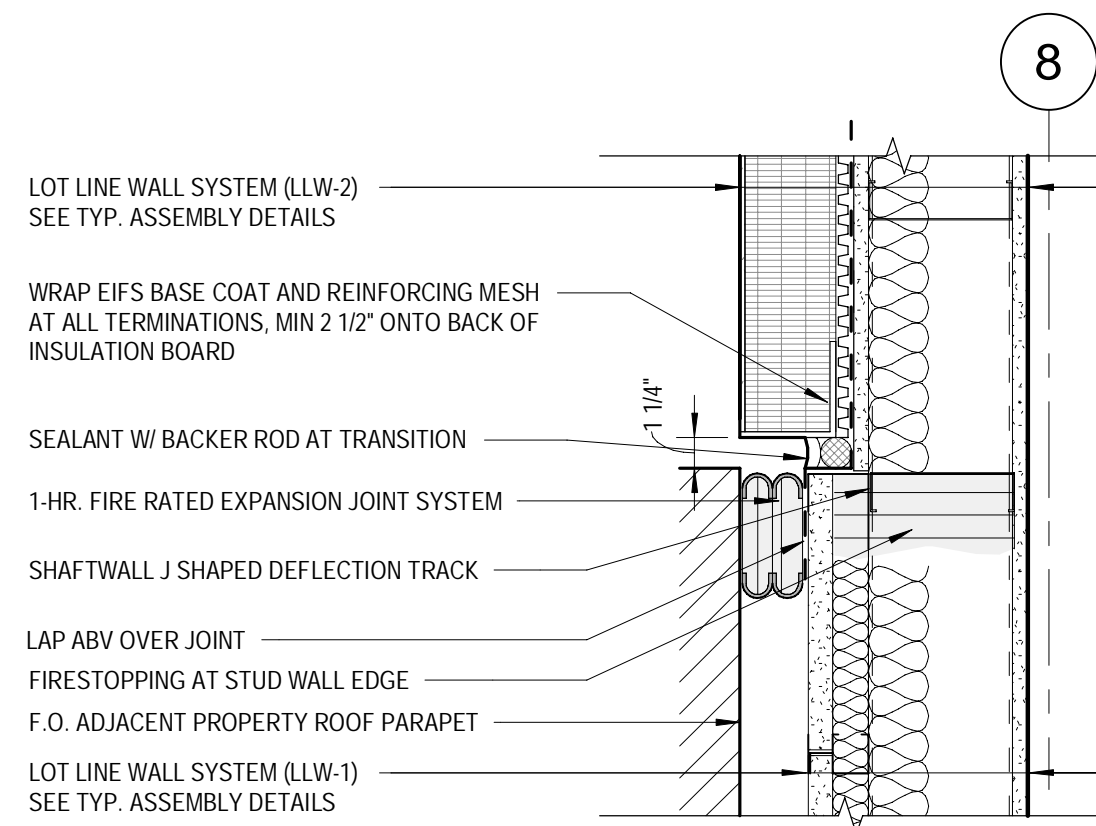
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Author

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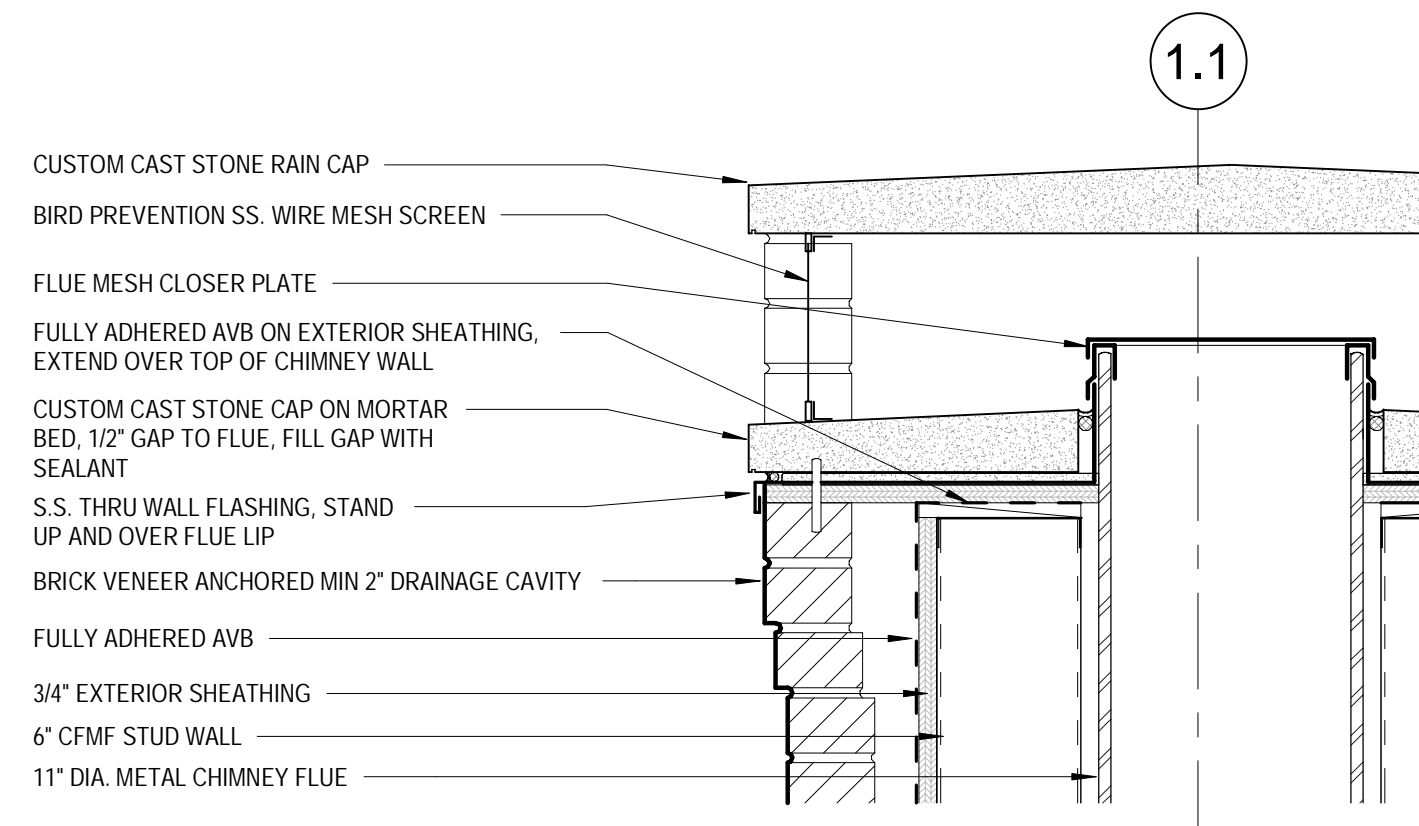
EXTERIOR DETAILS

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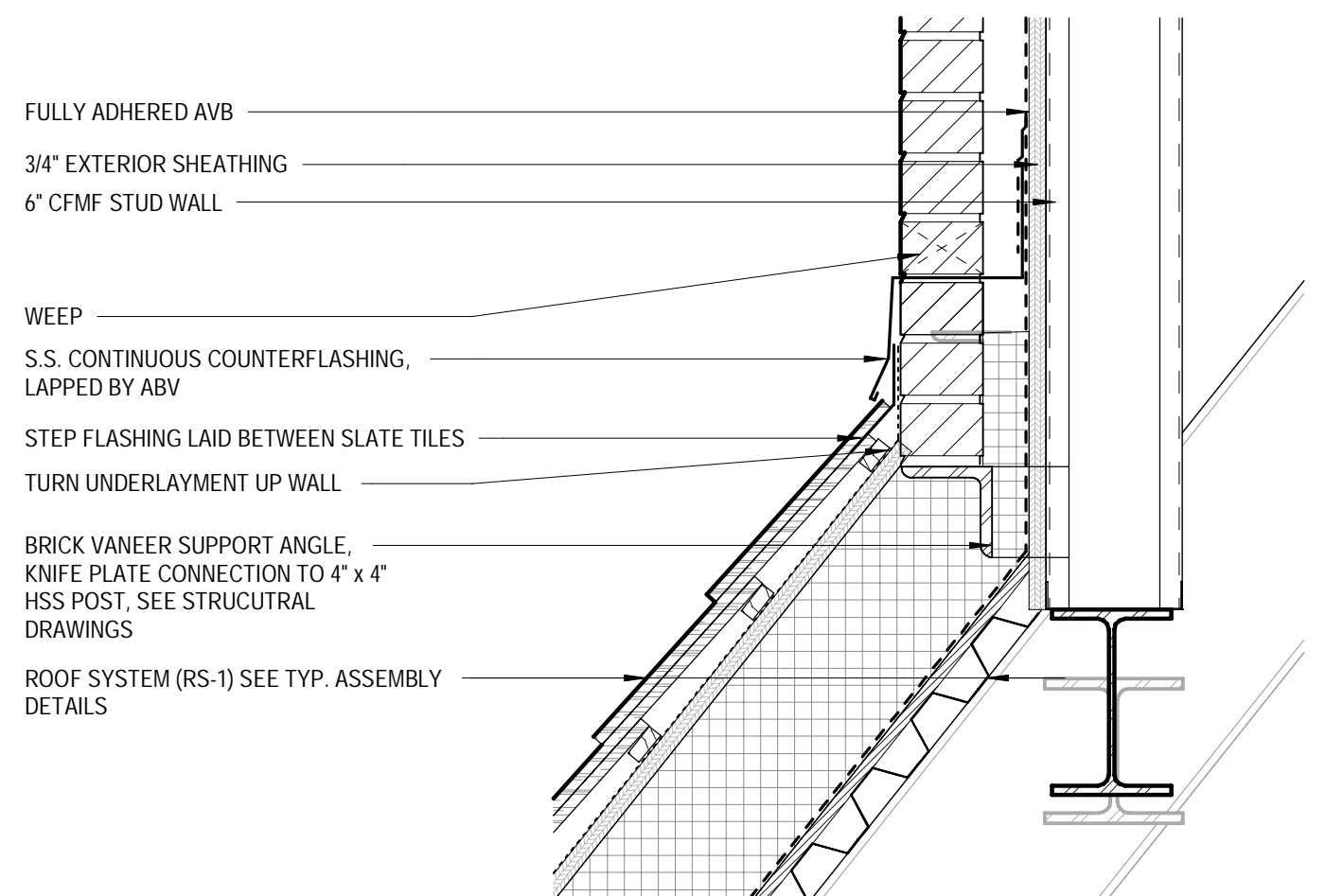
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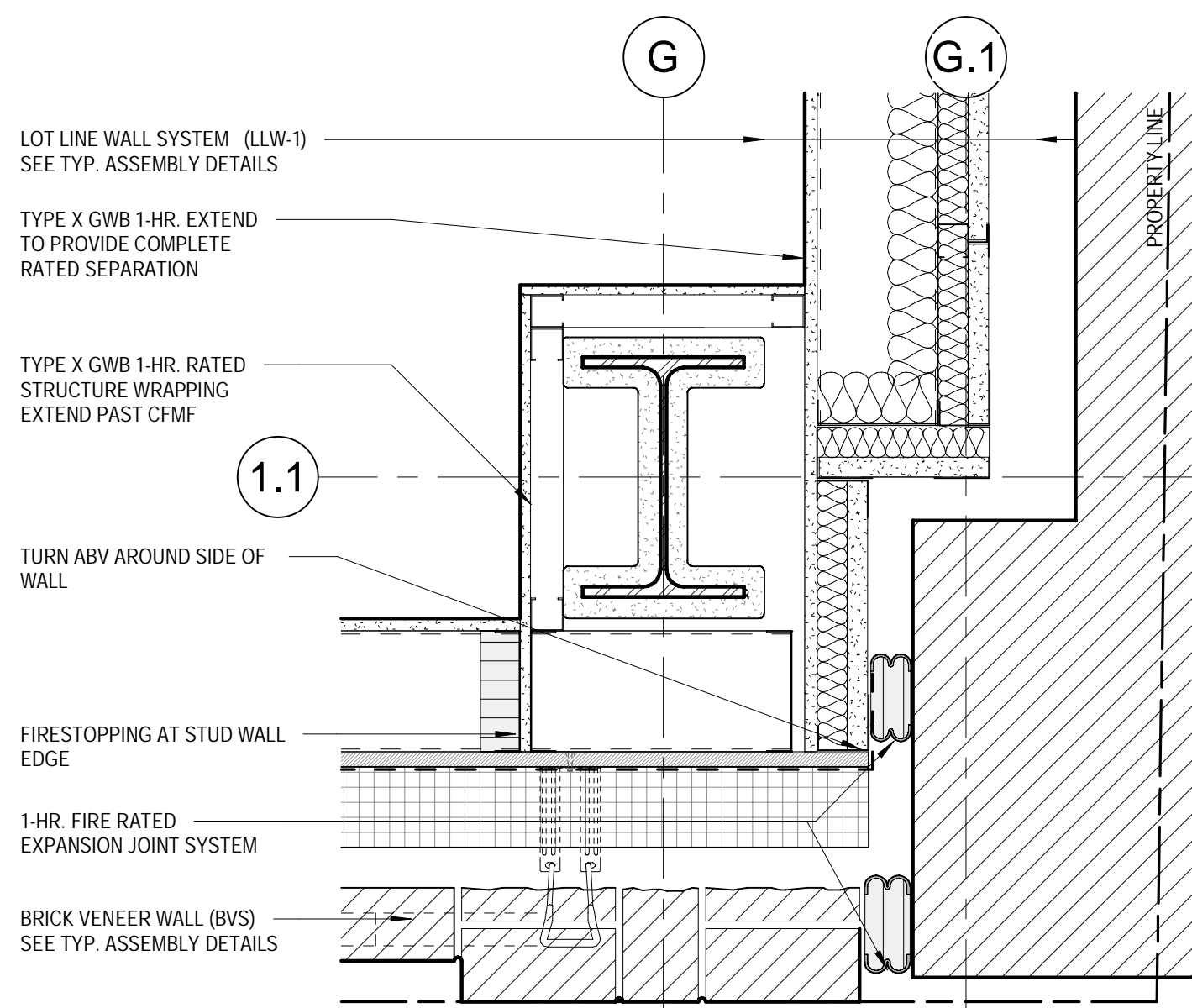
1 1/2" = 1'-0" 14 PLAN DETAIL
PWS @ INTERIOR EXTERIOR LINEAR TRANSITION - alt detail



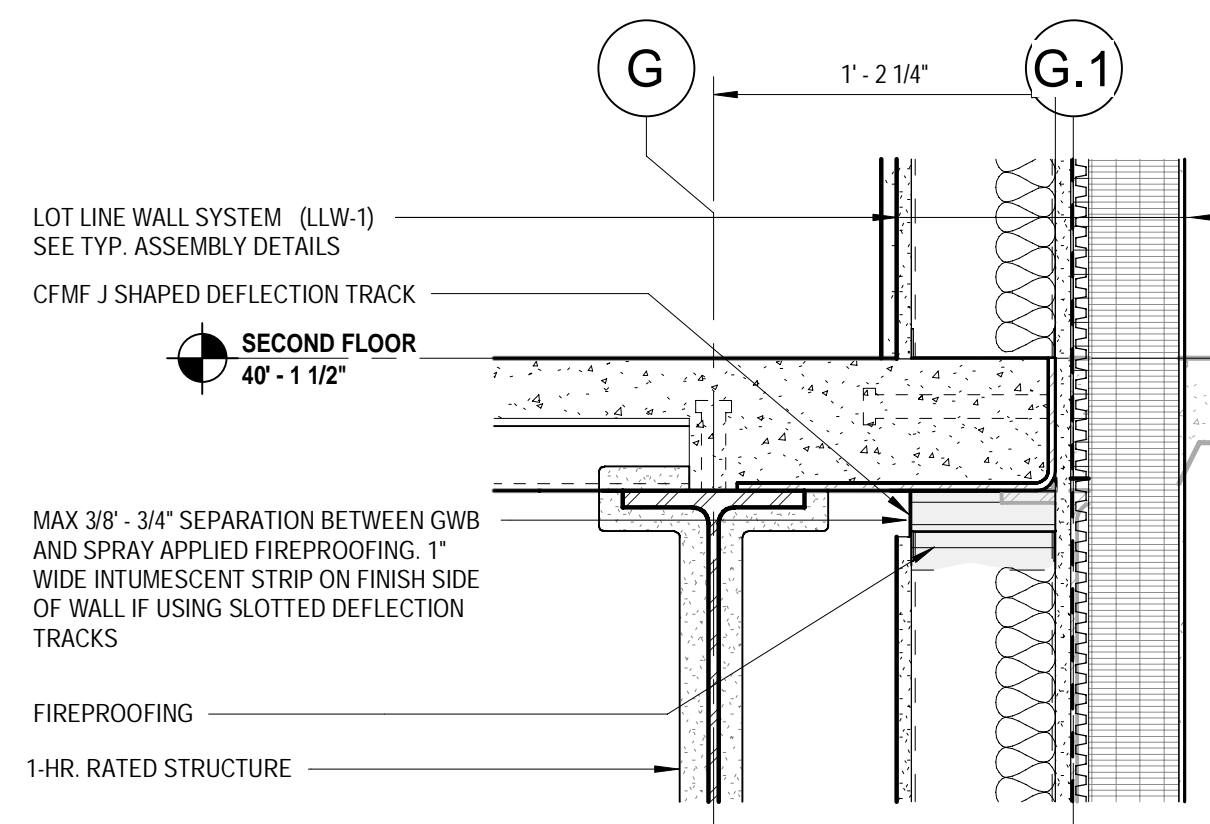
1 1/2" = 1'-0" 12 SECTION DETAIL
CHIMNEY @ RAINCAP



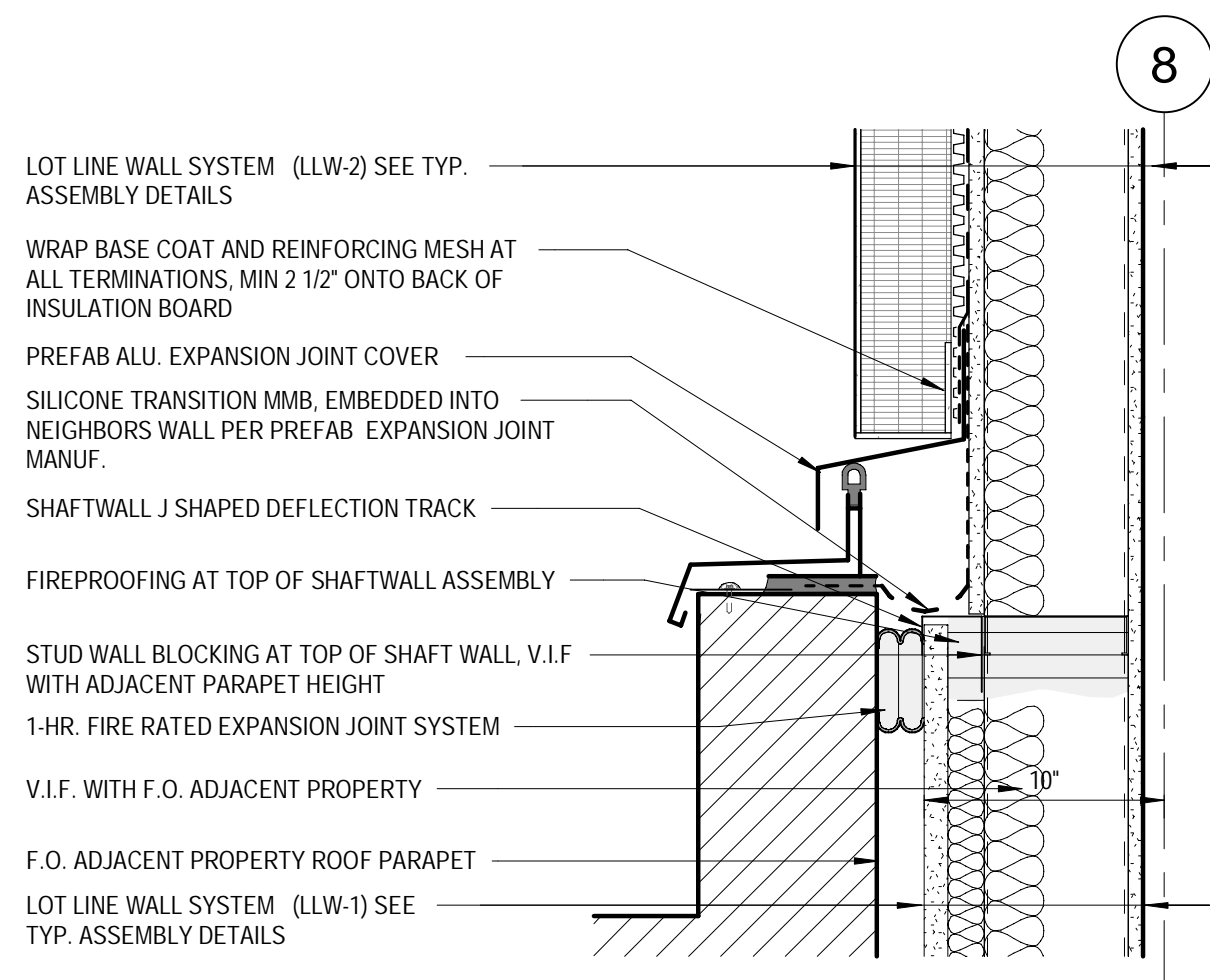
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CHIMNEY @ SIDE WALL SLOPE ROO



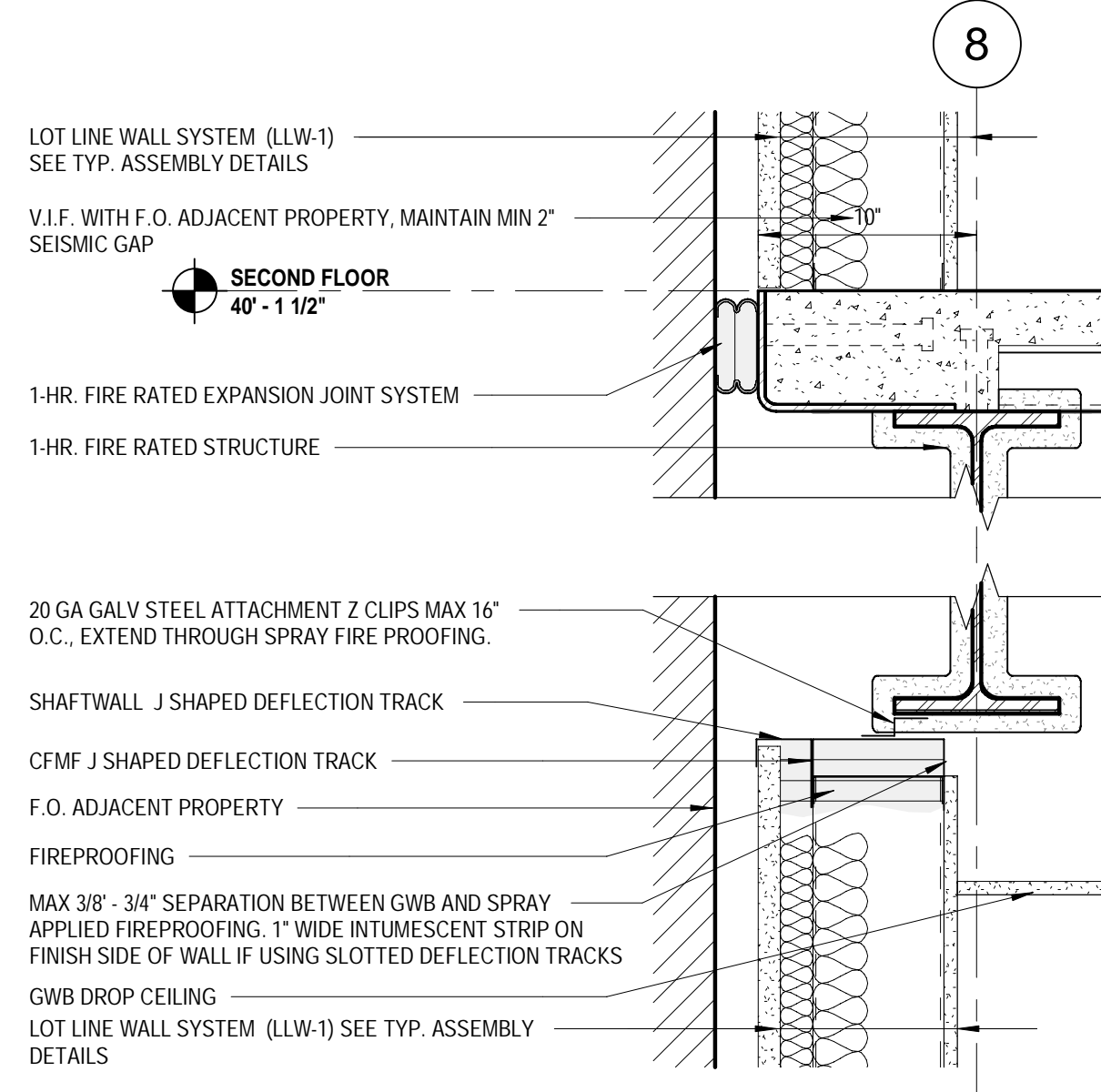
1 1/2" = 1'-0" 4 PLAN DETAIL
BVS @ LOT LINE CORNER TRANSITION



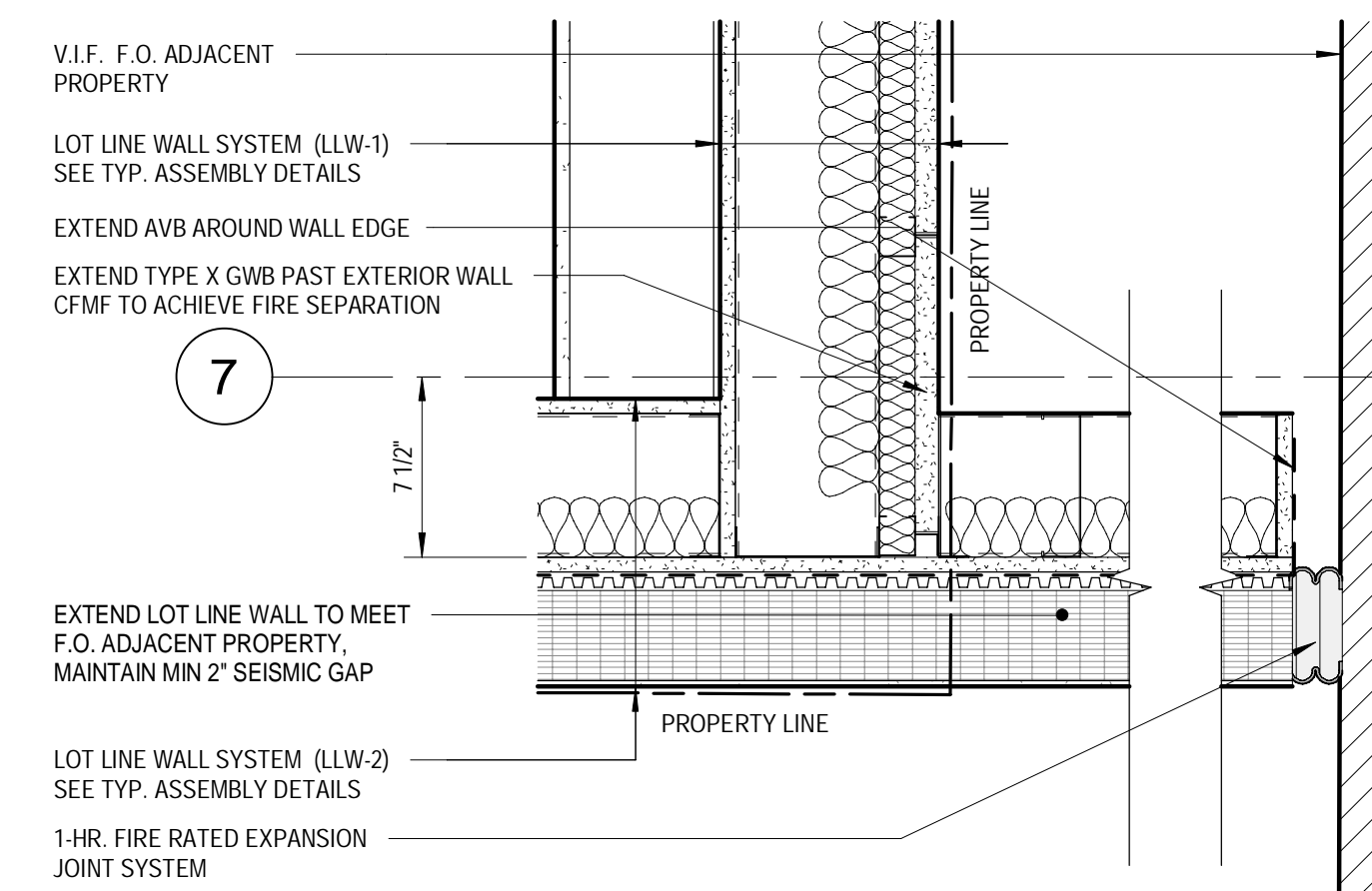
1 1/2" = 1'-0" 11 PLAN DETAIL
LLW @ EAST SLAB EDGE



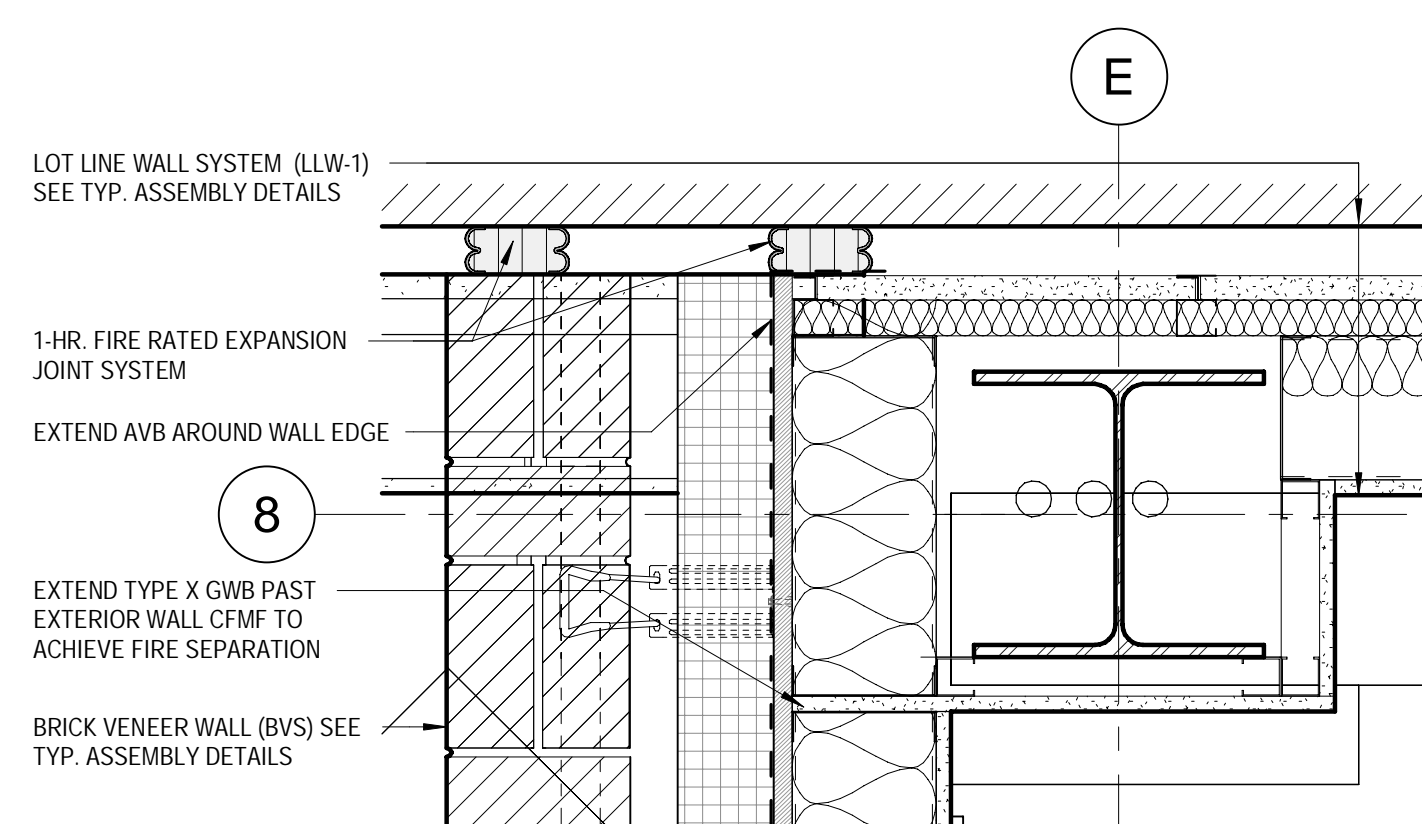
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LLW @ LOWER NEIGHBOUR



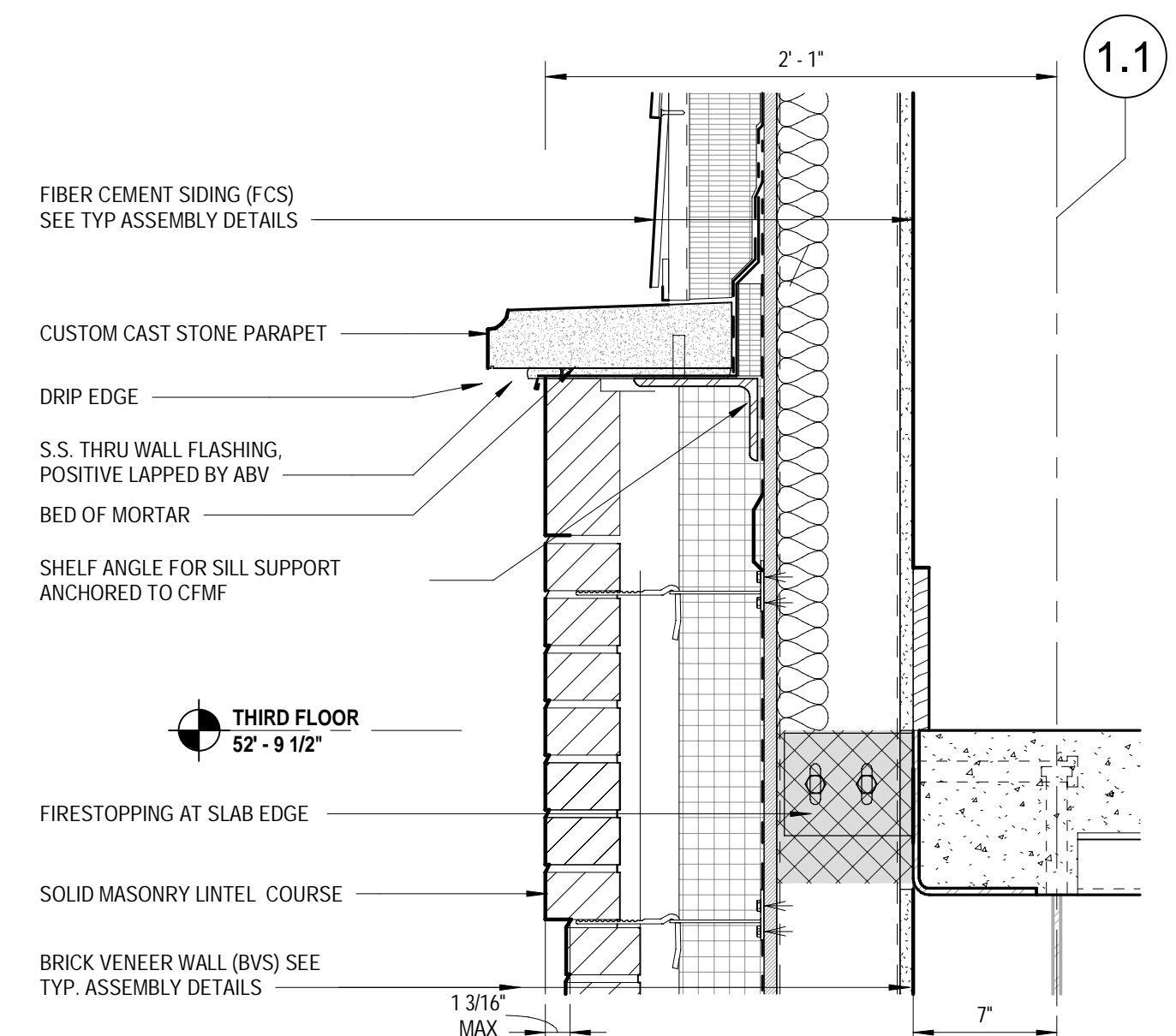
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LLW @ NORTH SLAB EDGE



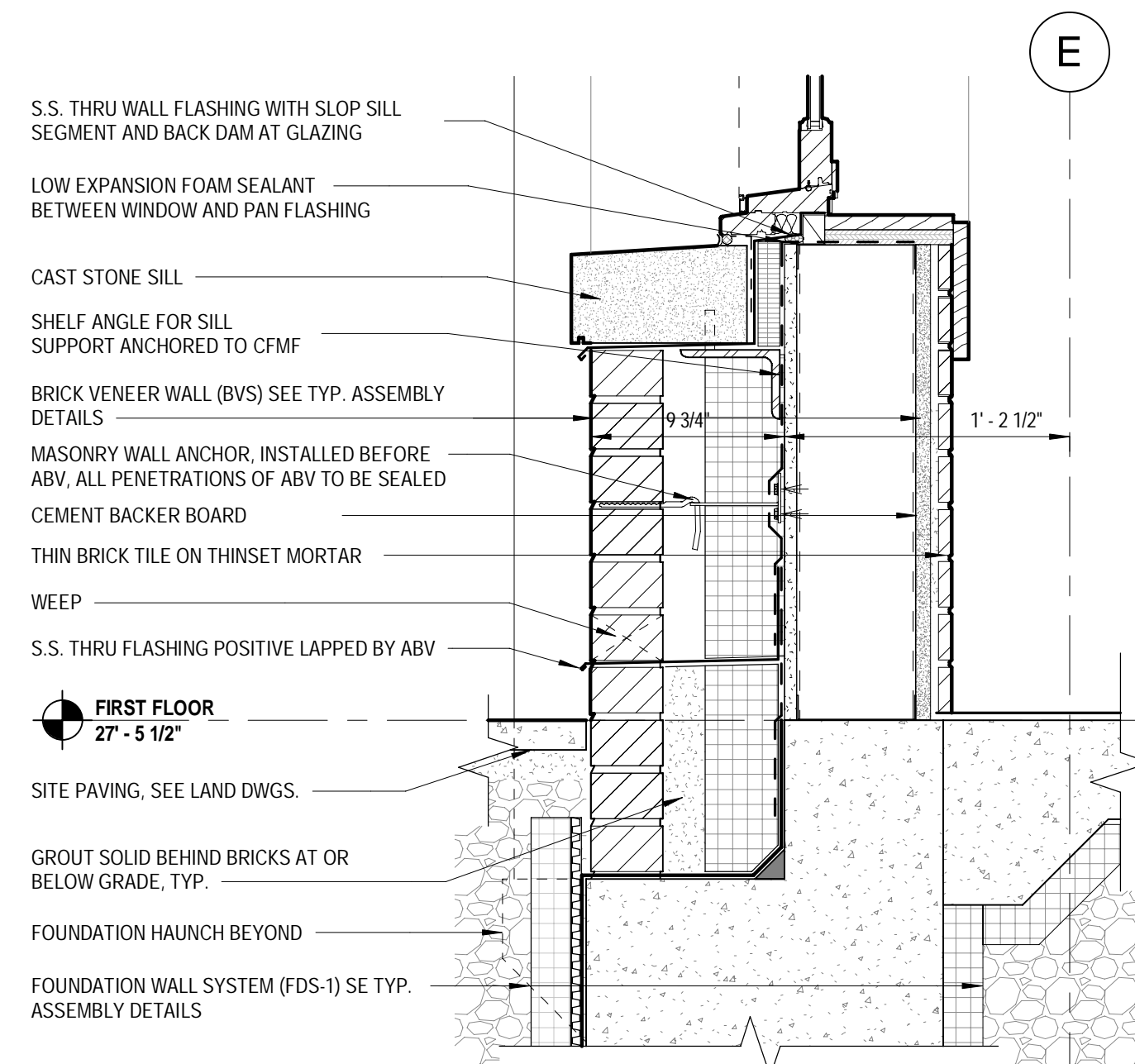
1 1/2" = 1'-0" 13 PLAN DETAIL
PWS @ LOT LINE CORNER - ADD ALT



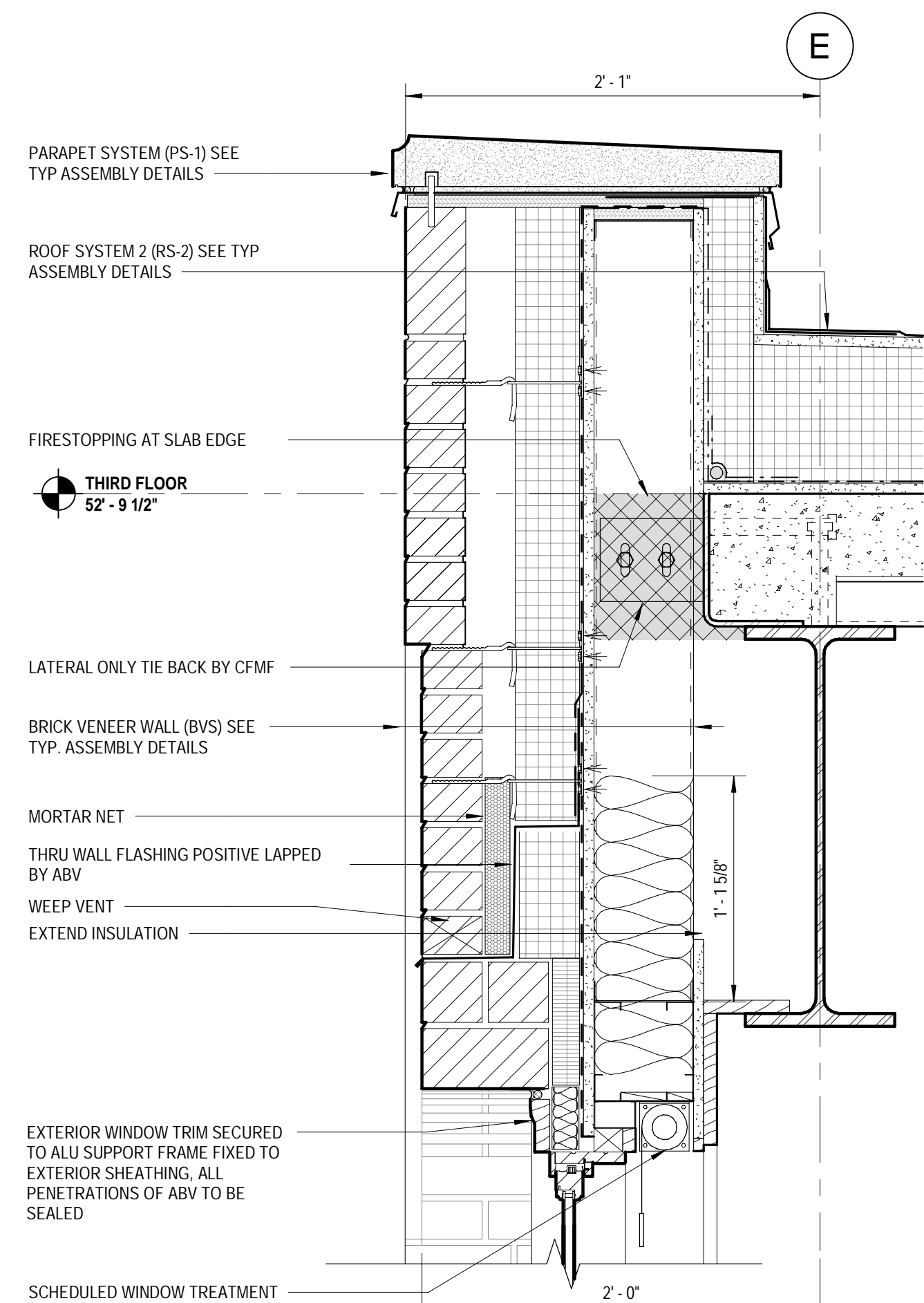
1 1/2" = 1'-0" 10 PLAN DETAIL
PWS @ PEG MULLANS BVS



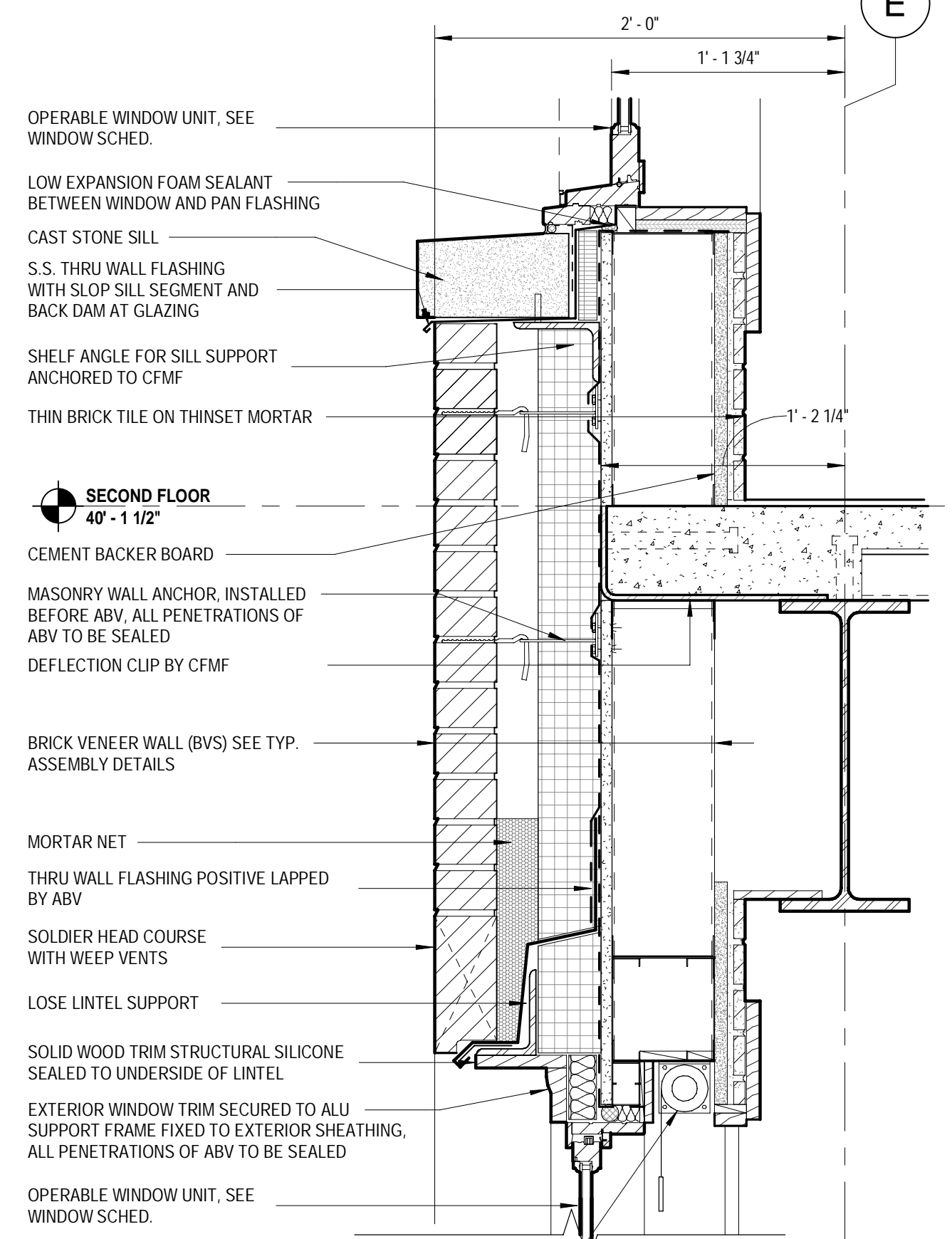
1 1/2" = 1'-0" 6 SECTION DETAIL
BVS @ TAVERN BVS FCS JOINT PARAPET



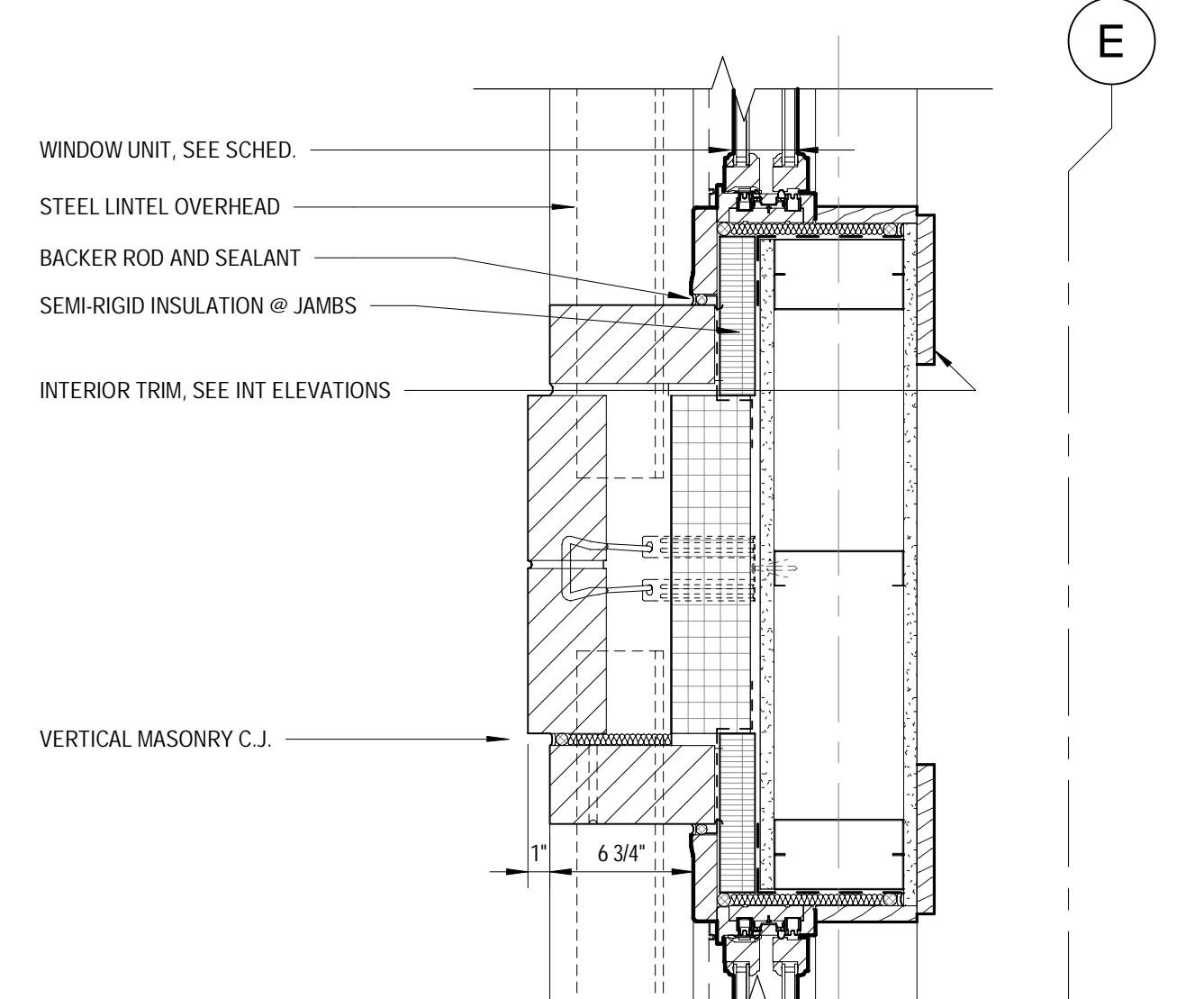
1 1/2" = 1'-0" 2 SECTION DETAIL
BVS @ TYP. PEG MULLANS BASE FOUNDATION WALL



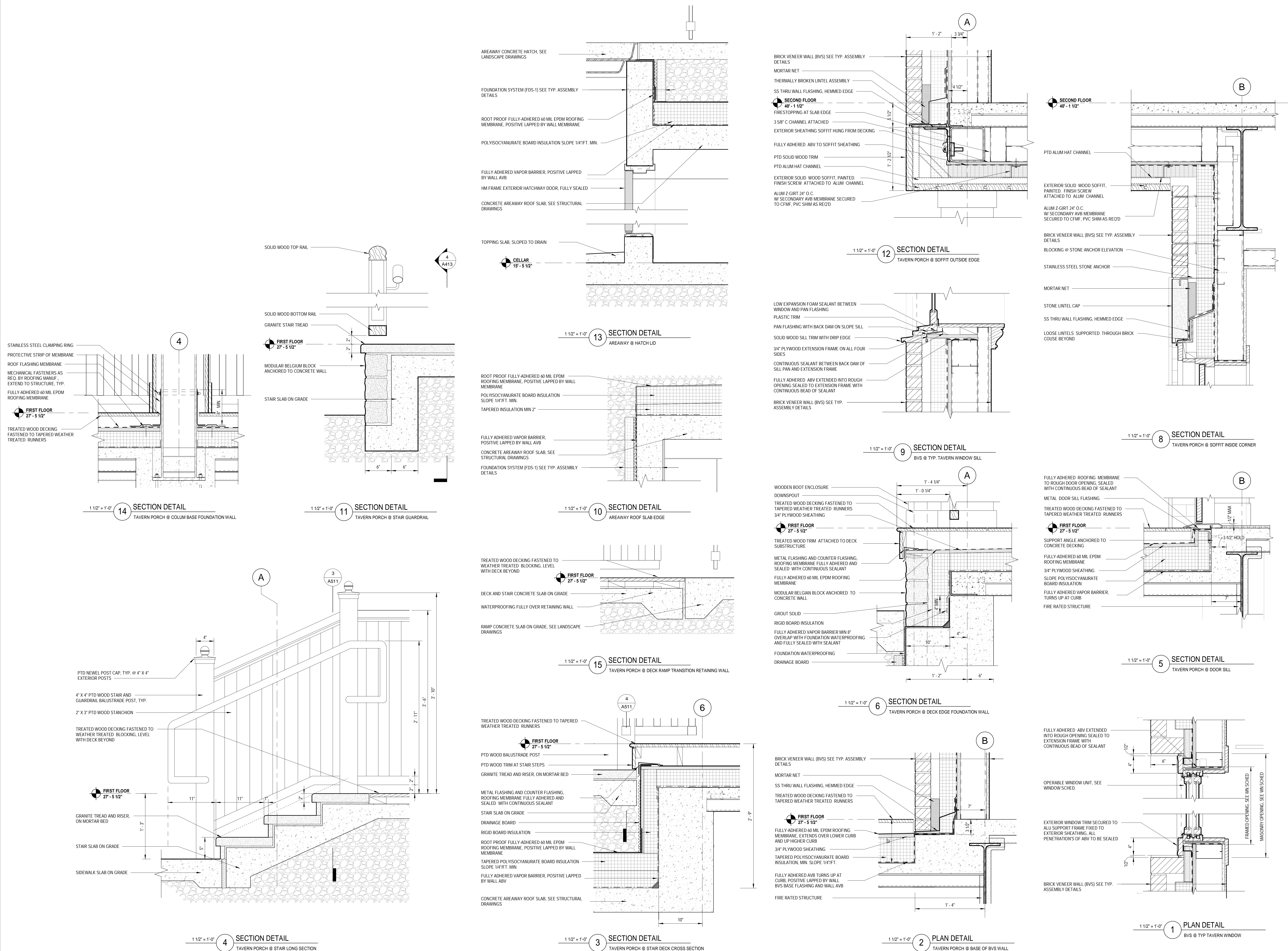
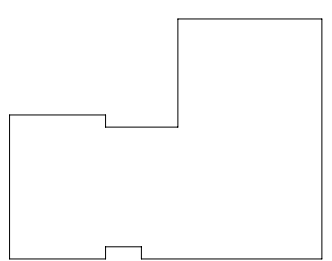
1 1/2" = 1'-0" 9 SECTION DETAIL
BVS @ TYP. PEG MULLANS PARAPET



1 1/2" = 1'-0" 5 SECTION DETAIL
BVS @ TYP. PEG MULLANS SLAB EDGE



1 1/2" = 1'-0" 1 PLAN DETAIL
BVS @ TYP. PEG MULLANS WINDOW





THE TUN

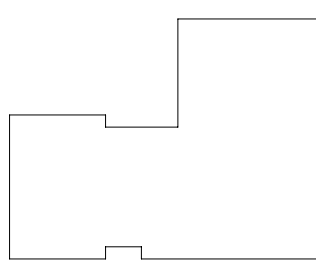
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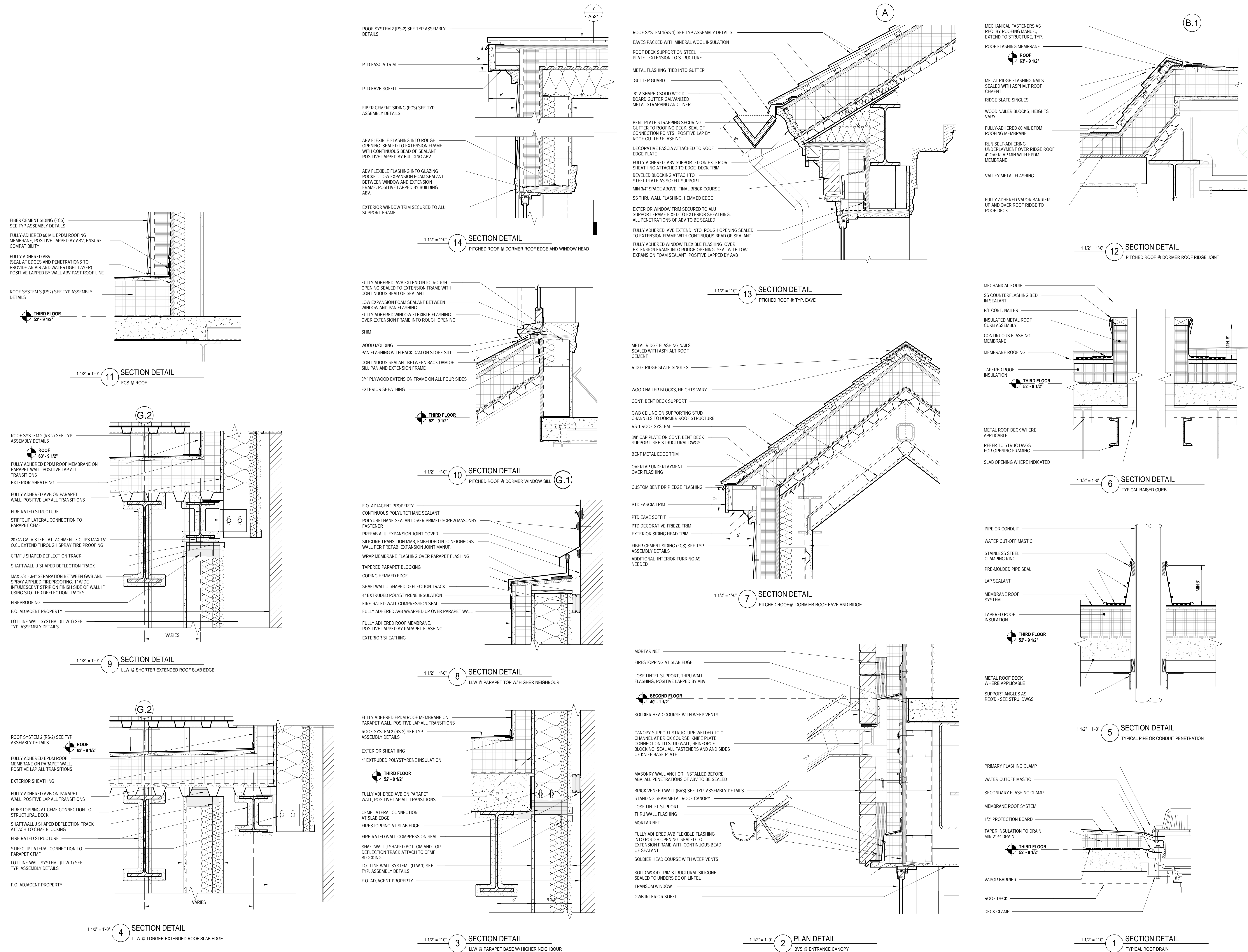
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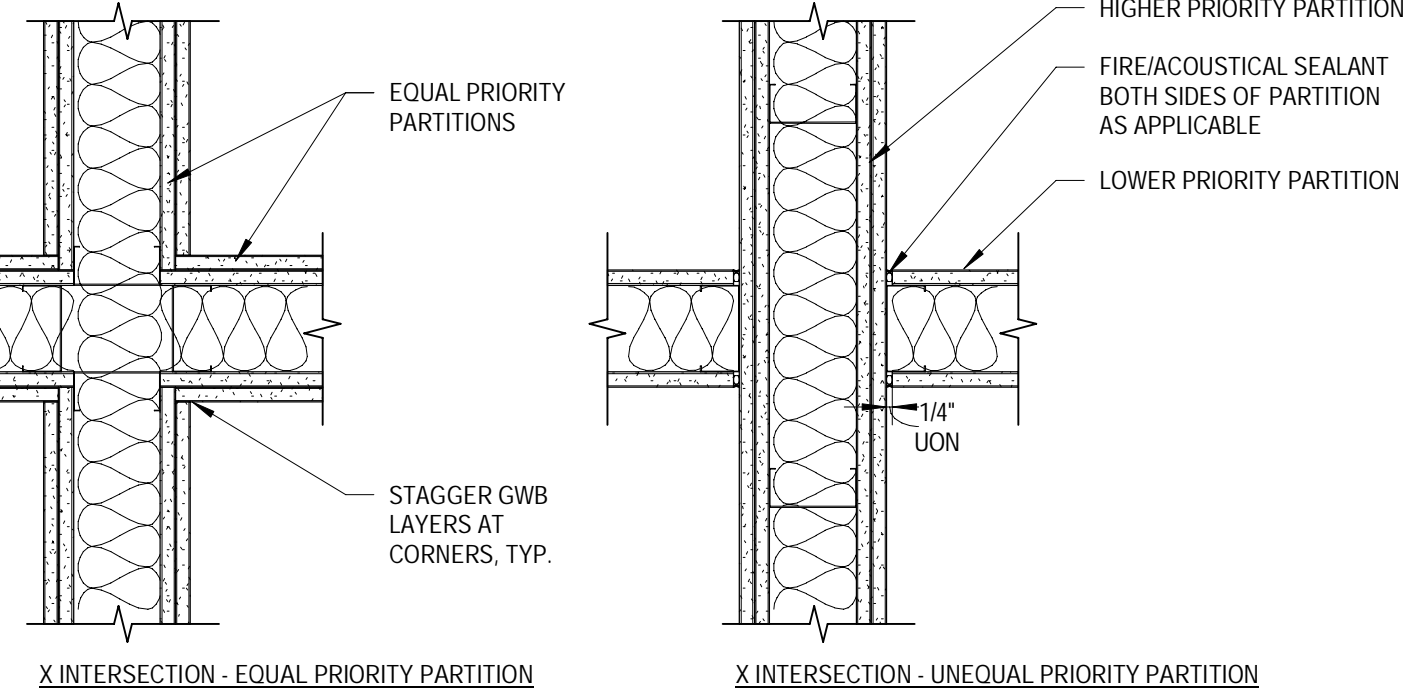
PROJECT: 23053.00
SCALE: 1 1/2" = 1'-0"
Author
TITLE:

ROOF DETAILS

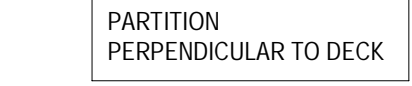
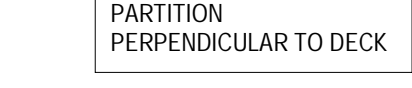
NUMBER:

A521





ALL FLOOR SLAB



TYP. GWB PARTITION TO MTL. DECK @ NON-RATED PARTITIONS

8" NOMINAL C.M.U.

7.5"

33A

33B

NOTE: PROVIDE REINFORCEMENT AT 16" O.C.

10. PROVIDE BLOCKING FOR ALL FIXED AND ADJUSTABLE SHELVING UTILIZING ONE FULL HT. 16 GAUGE MTL. STUD LOCATED DIRECTLY BEHIND EACH STANDARD OR SUPPORT BRACKET. THIS STUD IS TO BE OF THE SAME DEPTH AS PARTITION STUDS. THESE STUDS ARE NOT TO REPLACE, BUT ARE TO BE IN ADDITION TO THE STUDS USED TO ACHIEVE THE DOCUMENTED PARTITION ASSEMBLY.

11. PROVIDE 2 ROWS OF 6" WIDE, 16 GA GALV. STRIP METAL FOR ALL WALL CABINET AND WALL MOUNTED EQUIPMENT AND ACCESSORIES LOCATIONS.

12. PROVIDE DOUBLE STUDS (BACK TO BACK OR NESTED) AT ALL DOOR JAMBS.

13. ALL DOOR FRAMES LOCATED ADJACENT TO PERPENDICULAR PARTITIONS ARE TO BE SET WITH INSIDE FACE OF FRAME, 4" FROM FACE OF PARTITION

1 = 1 HOUR FIRE RATING
2 = 2 HOUR FIRE RATING



THE TUN

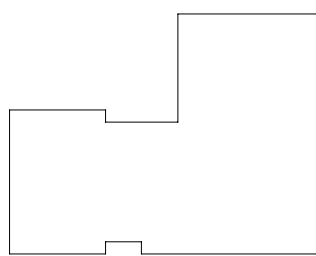
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02/28/2025 PERMIT SET

01/31/2025 ISSUE 3

11/10/2024 ISSUE 2

D R A W I N G I S S U E

PROJECT: 23053.00

SCALE:

ARCHITECTURE

TITLE:

FINISH SCHEDULE

NUMBER:

A610

CEILING FINISH LEGEND

FINISH	MATERIAL	MANUFACTURER	STYLE/MFR. NO.	COLOR/ FINISH	SIZE/ DIMENSIONS	REMARKS
ACP-1	ACOUSTICAL CEILING PANEL	ARMSTRONG	ULTIMA HEALTHZONE HIGH NRC 1446 9/16" BEVELED TEGULAR	WHITE	24" X 24" X 7/8"	SQUARE TEGULAR: FOR BACK OF HOUSE SERVICE AREAS
ACP-2	ACOUSTICAL CEILING PANEL	ARMSTRONG	CERAMAGUARD UNPERFORATED #605 15/16" PRELUDE PLUS XL FIRE GUARD GRID WITH HOLD DOWN CLIPS	WHITE	24" X 48" X 5/8"	SQUARE LAY-IN: FOR KITCHEN AND FOOD PREP AREAS
ACP-3	ACOUSTICAL CEILING PANEL	ARMSTRONG	ULTIMA HIGH NRC 9/16" BEVELED TEGULAR 2082	BLACK	24" X 24" X 1"	SQUARE TEGULAR: FOR TOILET ROOMS
ACP-4	ACOUSTICAL CEILING PANEL	ARMSTRONG	ULTIMA HIGH NRC 9/16" BEVELED TEGULAR 2082	WHITE	24" X 24" X 1"	SQUARE TEGULAR: FOR OFFICE AREAS
ACP-5	WOOD CEILING PANEL WITH ACOUSTICAL INFILL	ARMSTRONG	WOODWORKS LINEAR VENEERED PANEL 6690F01W1 WITH INFILL 1318 (BLACK) PRELUDE 15/16" SUSPENSION SYSTEM	RIFT WHITE OAK (NRO)	24" X 96" X 3/4"	NOMINAL 4" WIDE PLANKS WITH 3/4" ON PANEL SYSTEM.
CP-1	CEILING PAINT	SHERWIN WILLIAMS	SW6258	TRICORN BLACK	N/A	EXPOSED STRUCTURE ABOVE WOOD CEILING IN PEG MULLAN'S & CHEF'S KITCHEN
CP-2	CEILING PAINT	BENJAMIN MOORE	1560	ANTIQUE PEWTER	N/A	GWB CEILING: FLAT FINISH
CP-3	CEILING PAINT	SHERWIN WILLIAMS	SW6258	TRICORN BLACK	N/A	GWB SOFFITS IN TOILET ROOMS ONLY: FLAT FINISH
WD-1	RECLAIMED WOOD TONGUE AND GROOVE CEILING	BOD: NORTHERN WIDE PLANK	ARTIFAX NORTH AMERICAN RECLAIMED OAK	TBD	VARIES	TONGUE AND GROOVE CEILING SYSTEM WITH MATCHING BEAM ENCLOSURES.

WALL FINISH LEGEND

FINISH	MATERIAL	MANUFACTURER	STYLE/MFR. NO.	COLOR/ FINISH	SIZE/ DIMENSIONS	REMARKS
BV-1	BRICK VENEER	CHURCH	THIN BRICK	PHILADELPHIA, TO MATCH EXTERIOR	MODULAR 2-1/4" X 7-5/8"	MODULAR THIN BRICK SYSTEM. USE MANUFACTURER'S STANDARD CORNER PIECES AT CORNERS. MORTAR COLOR: TBD
CWT-1	CERAMIC WALL TILE	DALTILE	COLOR WHEEL LINEAR	MATTE BISCUIT K775	3" X 6" X 5/16"	TOILET ROOMS: EPOXY GROUT: MAPEI 5220 EGG SHELL
CWT-2	CERAMIC WALL TILE	ROYAL MOSA	GLOBAL COLLECTION	16790-1515	6" X 6" X 7MM	KITCHEN: EPOXY GROUT: LATICRETE 39 MUSHROOM
FRP-1	FIBERGLASS REINFORCED PLASTIC PANEL	MARLITE	STANDARD FRP	P-145 SILVER/SMOOTH	4'-0" X 8'-0" PANELS	INSTALLED AS 4'-0" HIGH, PROVIDE MANUFACTURER'S STANDARD TRIM PIECES
P-1	PAINT - INTERIOR	BENJAMIN MOORE	963	MARITIME WHITE	N/A	GENERAL PAINT COLOR
P-2	PAINT - INTERIOR	BENJAMIN MOORE	HC-49	MAYFLOWER RED	N/A	ACCENT PAINT COLOR: CELLAR
P-3	PAINT - INTERIOR	BENJAMIN MOORE	963	MARITIME WHITE	N/A	GENERAL PAINT COLOR: TUN TAVERN. 3-COAT, KNOCKDOWN INSTALLATION: 1ST COAT KNOCKDOWN: BENJAMIN MOORE ACRYLIC KNOCKDOWN FLAT 343, TO BE SPRAYED. 2ND COAT KNOCKDOWN: BENJAMIN MOORE ACRYLIC KNOCKDOWN FLAT 343, TO BE SPRAYED AS A SPLATTER COAT THEN "KNOCKED DOWN" 3RD COAT: BENJAMIN MOORE ULTRA SPEC 500 INTERIOR EGG SHELL N538: MARITIME WHITE AS SCHEDULED
P-4	PAINT - INTERIOR	BENJAMIN MOORE	1560	ANTIQUE PEWTER	N/A	GENERAL PAINT COLOR: PEG MULLANS & CHEFS KITCHEN
P-5	PAINT - INTERIOR	BENJAMIN MOORE	1560	ANTIQUE PEWTER	N/A	ACCENT, CHAIR RAIL & CROWN MOLDING: PRIVATE DINING
P-6	PAINT - INTERIOR	BENJAMIN MOORE	963	MARITIME WHITE	N/A	GENERAL PAINT COLOR: OFFICE
P-7	PAINT - INTERIOR	SHERWIN WILLIAMS	SW7069	IRON ORE	N/A	DOOR & WINDOW TRIM, PAINT COLOR FOR WOOD BASE
P-8	PAINT - INTERIOR	SHERWIN WILLIAMS	SW6258	TRICORN BLACK	N/A	GENERAL PAINT COLOR: TOILET ROOMS
WC-1	WALLCOVERING - VINYL	SPOONFLOWER	TYPE II VINYL WALLCOVERING	DESIGN 1009398, GEORGE WASHINGTON	2'-0" X 27'-0"	PVC-FREE WALLCOVERING, CONTACT: MARCY SULLIVAN@SPOONFLOWER.COM, TELEPHONE: 865-414-4501

WALL BASE FINISH LEGEND

FINISH	MATERIAL	MANUFACTURER	STYLE/MFR. NO.	COLOR/ FINISH	SIZE/ DIMENSIONS	REMARKS
CTB-1	QUARRY TILE BASE	DALTILE	QUARRY TILE: ROUND TOP COVE BASE	ARID GRAY 0042	5" X 6" X 1/2"	KITCHEN & FOOD PREP: SEE 900 SRIES FOR EXTENTS. EPOXY GROUT: MAPEI 5004 BAHAMA BEIGE
PTB-1	PORCELAIN TILE BASE	GARDEN STATE TILE	REVOLUTION	SAND MATTE	6" x 12"	TOILET ROOMS: EPOXY GROUT: LATICRETE 24 NATURAL GRAY
IRESB-1	INTEGRAL RESINOUS BASE	DEX-O-TEX	TEK-CRETE SL-B	431 BRIGHT GRAY	N/A	STANDARD COVE BASE WITH CAP STRIP
IRESB-2	INTEGRAL RESINOUS BASE	STONHARD	STONCLAD	BEECHWOOD	N/A	STANDARD COVE BASE WITH CAP STRIP
PWD-1	PAINTED WOOD WALL BASE		5-1/2" HIGH, INCLINED	P-7 (SEE ABOVE)	5-1/2" H X 3/4" THICK	INCLINED WALL BASE: SEE A800 SERIES FOR DETAILS
RWB-1	RUBBER BASE	TARKETT	JOHNSONITE BASEWORKS	29 MOON ROCK	4" HIGH	COVE BASE FOR SEALED CONCRETE LOCATIONS
RWB-2	RUBBER BASE	TARKETT	JOHNSONITE BASEWORKS	194 ANTIQUE WHITE	4" HIGH	STRAIGHT BASE AT CARPET, COVE BASE AT LUXURY VINYL TILE

FLOOR FINISH LEGEND

FINISH	MATERIAL	MANUFACTURER	STYLE/MFR. NO.	COLOR/ FINISH	SIZE/ DIMENSIONS	REMARKS
BR-1	BRICK FLOORING	CHURCH	BRICK PAVERS	TBD	3 5/8" x 7 5/8" x 2 1/4"	BRICK PAVERS WITH DONOR PLAQUES TO MATCH EXTERIOR
BR-2	BRICK FLOORING	CHURCH	BRICK PAVERS	TBD	3 5/8" x 7 5/8" x 2 1/4"	BRICK PAVERS WITH DONOR PLAQUES TO MATCH EXTERIOR
CFT-1	PORCELAIN FLOOR TILE	GARDEN STATE TILE	REVOLUTION	SAND MATTE	12" X 24" X 5/16"	TOILET ROOMS: EPOXY GROUT: LATICRETE 24 NATURAL GRAY
CFT-2	QUARRY FLOOR TILE	DALTILE	QUARRY TILE	ARID GRAY 0042 MATTE	6" X 6" X 1/2"	KITCHEN: GROUT: MAPEI 5220 EGG SHELL
CPT-1	CARPET TILE	INTERFACE	SUBTEXT TILE 5T409	05485 QUIP	9.845" X 39.38" X 25CM	THIRD FLOOR OFFICE, ASHLER INSTALLATION
LVT-1	LUXURY VINYL TILE	INTERFACE				
RES-1	RESINOUS FLOORING	DEX-O-TEX	TEK-CRETE SL-B	431 BRIGHT GRAY	N/A	FOR SELECT MEP SPACES, SEE FINISH GROUP SCHEDULE AND PLANS
RES-2	RESINOUS FLOORING	STONEHARD	STONCLAD	BEECHWOOD	N/A	FOR FOOD STORAGE AND PREP AREAS, SEE FINISH GROUP SCHEDULE AND PLANS
RST-1	RUBBER FLOORING	TARKETT - JOHNSONITE	ANGLE FIT RUBBER TREADS & RISERS	80 FAWN	N/A	STAIR TRED, RISERS AND LANDING
SC-1	SEALED CONCRETE	SHERWIN WILLIAMS	H&C CLARISHIELD WATER BASED NATURAL LOOK SEALER			SEE ARCHITECTURAL SPECIFICATION
WKF-1	RECESSED WALK-OFF CARPET	CONSTRUCTION SPECIALTIES	PEDIMAT M1	9322 SLATE	N/A	AT ENTRY VESTIBULE, SEE 900 SERIES FOR EXTENTS
WDF-1	RECLAIMED WOOD FLOORING	NORTHERN WIDE PLANK	ARTIFAX NORTH AMERICAN RECLAIMED OAK	TBD	VARIES	RECLAIMED, ENGINEERED WOOD, TOUNGE AND GROOVE FLOOR

MISCELLANEOUS FINISH LEGEND

FINISH	MATERIAL	MANUFACTURER	STYLE/MFR. NO.	COLOR/ FINISH	SIZE/ DIMENSIONS	REMARKS
CG-1	CORNER GUARD	MARLITE	CORNER GUARD M961	145 SILVER	STANDARD	SEE 900 SERIES FOR LOCATIONS
CM-1	DECORATIVE CROWN MOLDING		WHITE OAK		8" H X 3/4" THICK	SEE 800 SERIES FOR DETAILS
CM-2	DECORATIVE CROWN MOLDING		PAINTED WOOD TRIM	P-5, 1560 ANTIQUE PEWTER	5 1/2" H X 3/4" THICK	SEE 800 SERIES FOR DETAILS
CR-1	DECORATIVE CHAIR RAIL		PAINTED WOOD TRIM	P-5, 1560 ANTIQUE PEWTER	3 1/2" H X 3/4" THICK	SEE 800 SERIES FOR DETAILS
CS-1	CASING TRIM AT DOORS AND WINDOWS		PAINTED WOOD TRIM	P-7, SW7069 IRON ORE	4" H X 1/4 - 3/4" THICK	SEE 800 SERIES FOR DETAILS
DR-1	DRAPERY					FOR PRIVATE DINING. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
WT-1	MANUAL WINDOW SHADE	MECHOSHADE	URBANSHADE, EUROTWILL SHADE/CLOTH 6000 SERIES, 3% OPEN	6018 STONE	VERIFY IN FIELD	REVERSE ROLL, CEILING MOUNT. CONCEALED STEEL MOUNTING PLATE WITH SQUARE END PLATE.
GLZ-1	MIRRORRED GLAZING	MCGROERY GLASS	BA-1319	N/A	CUSTOM	FOR TUN TAVERN BACK BAR
PL-1	PLASTIC LAMINATE	FORMICA	8844 W/R	ACED ASH	N/A	THIRD FLOOR PANTRY MILLWORK, PROVIDE MATCHING ABS EDGE BANDING
SS-1	SOLID SURFACE	CORIAN	BISQUE	N/A	N/A	SEE 800 SERIES FOR LOCATIONS
QTZ-1	QUARTZ	CAESARSTONE	5111	STATUARIO NUVO	N/A	PEG MULLAN'S & CHEF'S KITCHEN BARS
UP-1	UPHOLSTERY	DESIGNTEX	SILUCONE NAPPA	704 BRANDY	N/A	BUILT-IN SEATING, SEAT
UP-2	UPHOLSTERY	MAHARAM	METERED STRIPE BY PAUL SMITH 466630	001 LONGWING	N/A	BUILT-IN SEATING, SEAT BACK

ROOM FINISH SCHEDULE - FINISH GROUP LEGEND

NUMBER	ROOM NAME	FLOORS	WALLS	BASE	MISC.	REMARKS
FG-1A	UTILITY SPACE	SC-1	P-1	RWB-1		
FG-1B	NO LONGER USED					
FG-2	NO LONGER USED					
FG-3	STAIR 2 (BOH)	RST-1	P-4	RWB-1		SEE DEDUCT ALTERNATE #2
FG-4	LL CORRIDOR (PATRON FACING)	WDF-1, CFT-1	P-2	PWD-1		SEE A900 SERIES FOR FLOORING EXTENTS
FG-5A	TOILET ROOM	CFT-1	CWT-1, P-8PTB-1	PTB-1	SS-1, CP-3	SEE 200 SERIES FOR TILE EXTENTS
FG-5B	TOILET ROOM	CFT-1	CWT-1, P-8PTB-1	PTB-1	WC-1, CP-3	SEE 200 SERIES FOR TILE EXTENTS
FG-6	NO LONGER USED					
FG-7	STAIR (PATRON FACING)	WDF-1	P-1, P-2	PWD-1	CP-2	SEE A900 SERIES FOR ACCENT PAINT LOCATIONS
FG-8	WAIT PANTRY / EMPLOYEE SPACE	CFT-2	P-1	CTB-1	FRP-1, CG-1	SEE A900 SERIES FOR WALL PROTECTION LOCATIONS
FG-9	JANITOR'S CLOSET	RES-1	P-1	IRESB-1	FRP-1	SEE ADD ALTERNATE #1
FG-10	VESTIBULE	BR-2, WKF-1	P-1	PWD-1	BV-1, CP-2	
FG-11	TUN TAVERN	WDF-1, CFT-2	P-3	PWD-1	BV-1, CM-1, GLZ-1	
FG-12	RECEPTION/ MUSEUM	BR-1, BR-2	P-1	PWD-1	BV-1, CP-2	
FG-13	CORRIDOR (PATRON FACING)	WDF-1	P-1	PWD-1	CP-2	
FG-14	TRASH/ EXTERIOR CORRIDOR	RES-1	P-1	IRESB-1		SEE DEDUCT ALTERNATE #3
FG-15	PEG MULLAN'S	WDF-1, CFT-2	P-4	PWD-1	BV-1, UP-1, UP-2, QTZ-1, CP-1, WT-1	
FG-16A	PRIVATE DINING - FIRST FLOOR	WDF-1	P-1, P-5	PWD-1	BV-1, CM-2, CR-1, WT-1	
FG-16B	PRIVATE DINING - SECOND FLOOR	WDF-1	P-1, P-5	PWD-1	CM-2, CR-1, DR-1	
FG-17	TOILET ROOM (EMPLOYEE)	CFT-1	CWT-1/ P-1	PTB-1		
FG-18	KITCHEN (OPEN)	CFT-2	CWT-2/ P-1	CTB-1	FRP-1, CG-1	SEE ADD ALTERNATE #2, SEE 900 SERIES FOR WALL PROTECTION EXTENTS
FG-19	KITCHEN (BOH)	RES-2	P-1	IRESB-2	FRP-1, CG-1	SEE ADD ALTERNATE #2, SEE 900 SERIES FOR WALL PROTECTION EXTENTS
FG-20	CHEF'S KITCHEN	WDF-1	P-4	PWD-2	BV-1, QTZ-1, CP-1, WT-1	
FG-21	KITCHEN (BOH)	SC-1	P-1	RWB-1		SEE 900 SERIES FOR WALL PROTECTION EXTENTS
FG-22	THIRD FLOOR CORRIDOR	CPT-1	P-1	PWD-1	CP-2	
FG-23	EMPLOYEE OFFICE	CPT-1, LVT-1	P-6	RWB-2	PL-1, SS-1	

FINISH NOTES

- PROVIDE FINISH COLORS AS SPECIFIED WITHOUT SUBSTITUTION.
- REFER TO PRODUCT SPECIFICATIONS FOR PROPER INSTALLATION METHODS, PROJECT CONDITIONS, ETC. OF INTERIOR FINISHES.
- FLOOR FINISH TRANSITIONS ARE TO OCCUR AT CENTERLINE OF DOORS, TYPICAL, UNLESS OTHERWISE NOTED. REFER TO SHEETS SERIES A810 FOR TRANSITION DETAILS.
- ALL SEALANT AROUND CASEWORK SHALL BE CLEAR IN COLOR.
- GENERAL PAINT TO BE EGG SHELL, TOILET ROOMS, KITCHEN AND FOOD SERVICE SPACES TO RECEIVE SEMI-GLOSS, CEILING PAINT TO BE FLAT FINISH.
- REFER TO INTERIOR ELEVATIONS AND DETAILS FOR LOCATIONS OF SPECIFIC FINISHES INCLUDING, BUT NOT LIMITED TO, CROWN MOLDING, DECORATIVE BASE, ETC.
- FINISHES IN CLOSETS AND ALCOVES SHALL MATCH ADJACENT SPACE OR ROOM UNLESS OTHERWISE NOTED.
- CARPET PATTERN TO BE CONTINUOUS AT THRESHOLDS BETWEEN CARPET TO CARPET FLOORING AREAS. DO NOT BREAK PATTERN AT DOOR OPENINGS, UNLESS OTHERWISE NOTED.
- REFER TO THE REFLECTED CEILING PLANS A700 SERIES FOR LOCATION OF FINISHES.

FINISH ALTERNATES

DEDUCT ALTERNATES	
#1	NO LONGER USED
#2	CM TO PRICE OUT COST FOR FG-3 FLOORINT TO BE SEALED CONCRETE (SC-1) INSTEAD OF RUBBER FLOORING
#1	CM TO PRICE OUT COST FOR FG-14 FLOORING TO BE SEALED CONCRETE (SC-1) AND RUBBER WALL BASE (RWB-1) INSTEAD OF RESINOUS FLOORING WITH INTEGRAL BASE.

ADD ALTERNATES	
#1	CM TO PRICE OUT COST FOR FG-9 FLOORING TO BE QUARRY TILE (CFT-2) WITH CERAMIC TILE BASE (CTB-1) INSTEAD OF RESINOUS FLOORING WITH INTEGRAL BASE
#2	NO LONGER USED



THE TUN

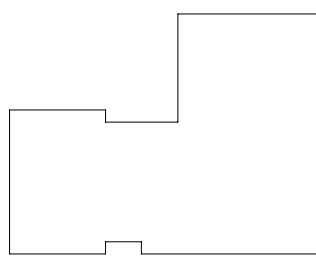
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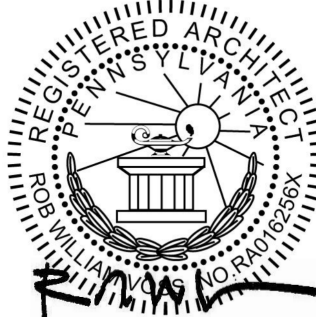
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02/28/2025 PERMIT SET
01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: As indicated
ARCHITECTURE
TITLE:

DOOR AND WINDOW
SCHEDULE AND
DETAILS

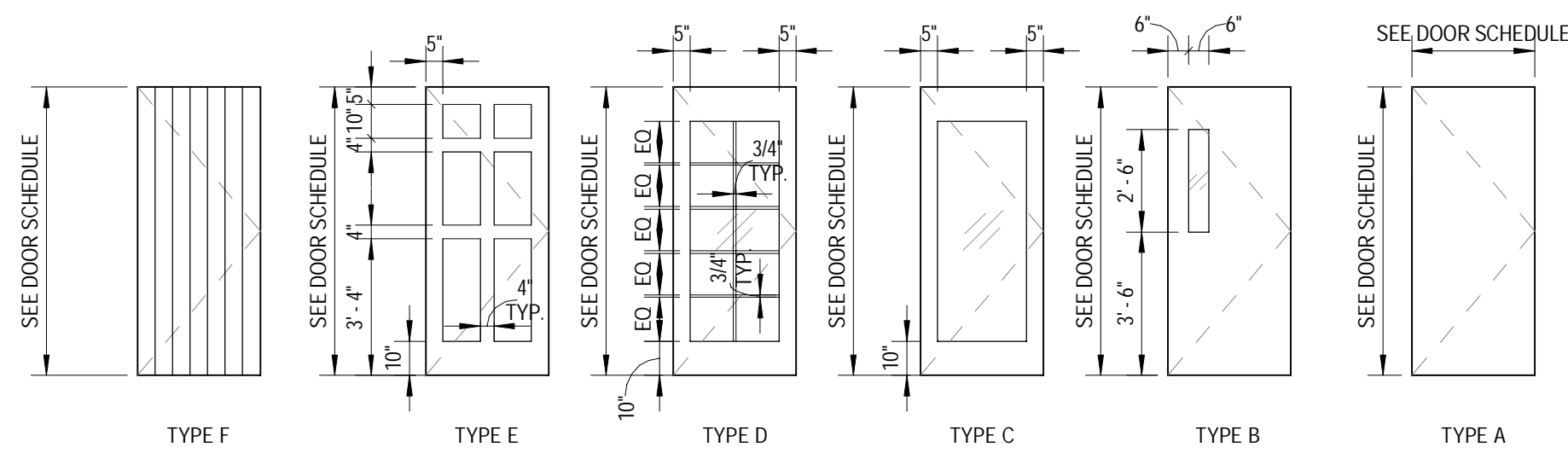
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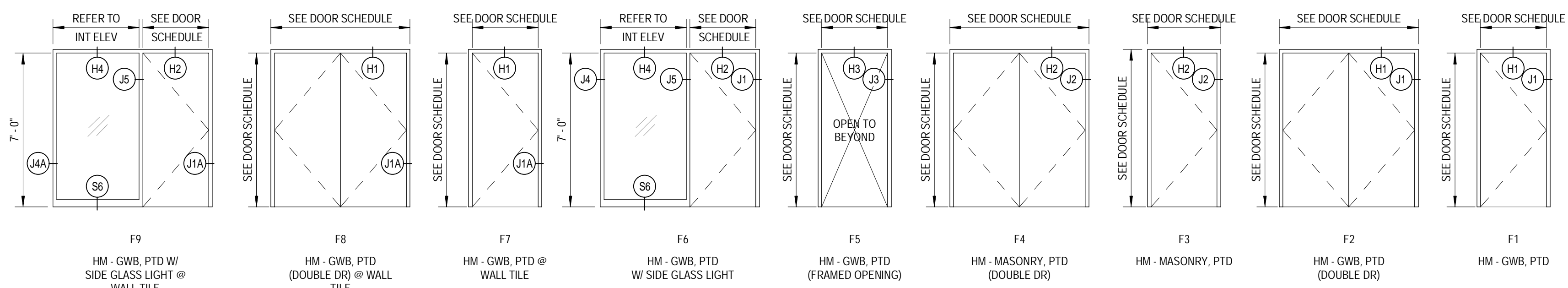
DOOR SCHEDULE

DOOR NUMBER	ROOM NAME	DOOR TYPE	DOOR MATERIAL	WIDTH	HEIGHT	FINISH	GLASS TYPE	FRAME TYPE	FRAME MATERIAL	FIRE RATING	DOOR HARDWARE	REMARKS
CELLAR												
001	ELECTRICAL TRANSFORMER VAULT	A	HM	3'-6"	7'-0"	HM	-	F1	HM	180	5	
002	ELECTRICAL ROOM	A	HM	3'-6"	7'-0"	HM	-	F1	HM	60	5	
003	AV / IT / SECURITY INCOMING UTILITY CLOSET	A	HM	3'-6"	7'-0"	HM	-	F1	HM	120	4.1	
004	PLUMBING ROOM	A	HM	3'-6"	7'-0"	HM	-	F1	HM	60	3.1	
005	PLUMBING AND FIRE PROTECTION ROOM	A	HM	3'-6"	7'-0"	HM	-	F1	HM	60	3	
007	STAIR 1	A	HM	3'-6"	7'-0"	HM	-	F1	HM	60	3	
009	WOMEN'S TOILET ROOM	A	HM	3'-0"	7'-0"	HM	-	F1	WD	60	7	
010	MEN'S TOILET ROOM	A	HM	3'-0"	7'-0"	HM	-	F1	WD	60	7	
012	CORRIDOR	A	HM	3'-6"	7'-0"	HM	-	F1	HM	60	3	
013	ELECTRICAL TRANSFORMER VAULT	A	HM	5'-0"	8'-0"	HM	-	F1	HM		5a	
FIRST FLOOR												
101	THE TUN	F	WD	3'-2"	8'-0"	PT		F1	PT		10	HISTORIC REPRODUCTION DOOR (EXTERIOR)
102A	VESTIBULE	C	WD	3'-0"	7'-10 1/2"	PT	G-01	F4	-		9	
102B	VESTIBULE	C	WD	3'-0"	7'-10 1/2"	PT	G-01	F4	-		9.1	
103	THE TUN	E	WD	4'-0"	8'-0"	PT	-	F1	PT		-	POCKET DOOR, HISTORIC REPRODUCTION DOOR (INTERIOR)
104	PRIVATE DINING ROOM		WD	8'-8"	8'-10"	PT	-	F1	-		-	BARN DOOR, HISTORIC REPRODUCTION DOOR (INTERIOR)
105	PEG MULLAN'S DINING ROOM	C	WD	3'-4"	7'-10 1/2"	PT	G-01	F4	-		6.2	
106	BAR	A	HM	3'-0"	8'-0"	WD	-	F1	HM	60	3.4	
109	JANITOR'S CLOSET	A	WD	3'-0"	8'-0"	WD	-	F1	HM		3	
110	MEN'S TOILET ROOM	A	WD	3'-0"	8'-0"	WD	-	F1	HM		7	
111	WOMEN'S TOILET ROOM	A	WD	3'-0"	8'-0"	WD	-	F1	HM		7	
112A	TRASH	B	HM	6'-0"	8'-0"	PT	G-01	F1	PT		3.2	
112B	WAIT PANTRY	A	HM	3'-0"	8'-0"	HM	-	F1	HM		3.3	
112C	TRASH	B	HM	3'-0"	8'-0"	PT	G-01	F1	PT		3.4	
114A	CORRIDOR	B	HM	3'-0"	8'-0"	PT	G-01	F1	PT		6.1	
114B	STAIR 1	B	HM	3'-0"	8'-0"	HM	G-01	F1	HM		6	
ST1-1A	STAIR 1	B	HM	3'-0"	8'-0"	HM	G-01	F1	HM	60	4	
ST1-1B	STAIR 1	C	WD	3'-0"	8'-0"	WD	G-01	F1	HM	60	6	
ST12-1A	STAIR 2	B	HM	3'-0"	8'-0"	PT	G-01	F1	PT		3.4	
ST12-1B	STAIR 2	B	WD	3'-0"	8'-0"	WD	G-01	F1	HM	60	6	
SECOND FLOOR												
201A	SMALL PRIVATE DINING ROOM	E	WD	3'-0"	8'-0"	PT		F1	PT		11	HISTORIC REPRODUCTION DOOR (INTERIOR)
201B	SMALL PRIVATE DINING ROOM	E	WD	12'-0"	8'-0"	PT		F1	PT		12	HISTORIC REPRODUCTION DOOR (INTERIOR)
202A	LARGE PRIVATE DINING ROOM	E	WD	3'-0"	8'-0"	PT	-	F1	PT		11	HISTORIC REPRODUCTION DOOR (INTERIOR)
202B	LARGE PRIVATE DINING ROOM	E	WD	3'-0"	8'-0"	PT	-	F1	PT		11	HISTORIC REPRODUCTION DOOR (INTERIOR)
205	CORRIDOR	A	WD	3'-0"	8'-0"	WD	-	F1	HM		7.2	
206	TOILET ROOM	A	WD	3'-0"	8'-0"	WD	-	F1	HM		7.2	
207	ACCESSIBLE TOILET ROOM	A	WD	3'-0"	8'-0"	WD	-	F1	HM		7.2	
210	KITCHEN	A	HM	3'-0"	8'-0"	PT	-	F1	HM	60	3	
212	STAIR 1	A	WD	3'-0"	8'-0"	WD	-	F1	HM		14	
213	FOOD PANTRY	A	HM	3'-6"	8'-0"	HM	-	F1	HM		15	
215	EMPLOYEE TOILET ROOM	A	HM	3'-0"	8'-0"	HM	-	F1	HM		7.1	
217	JANITOR'S CLOSET	A	HM	3'-0"	8'-0"	HM	-	F1	HM		3.1	
ST2-2	STAIR 2	B	WD	3'-0"	8'-0"	WD	G-01	F1	HM	60	6	
THIRD FLOOR												
301	CORRIDOR	A	WD	3'-0"	7'-0"	WD	-	F1	WD		1	
302	CORRIDOR	A	WD	3'-0"	7'-0"	WD	-	F1	WD		1	
303	CORRIDOR	A	WD	3'-0"	7'-0"	WD	-	F1	WD		1	
305	CORRIDOR	A	WD	3'-0"	7'-0"	WD	-	F1	WD		7.2	
306	CORRIDOR	A	WD	3'-0"	7'-0"	WD	-	F1	WD		4	
307	STORAGE CLOSET	A	WD	3'-0"	7'-0"	WD	-	F1	WD		3	
308	VESTIBULE	C	HM	3'-0"	7'-0"	HM	G-01	F1	HM		13	
310	VESTIBULE	A	HM	3'-0"	7'-0"	HM	-	F1	HM		16	
ST2.3		A	HM	3'-6"	8'-0"	HM	-	F1	HM		4.1	

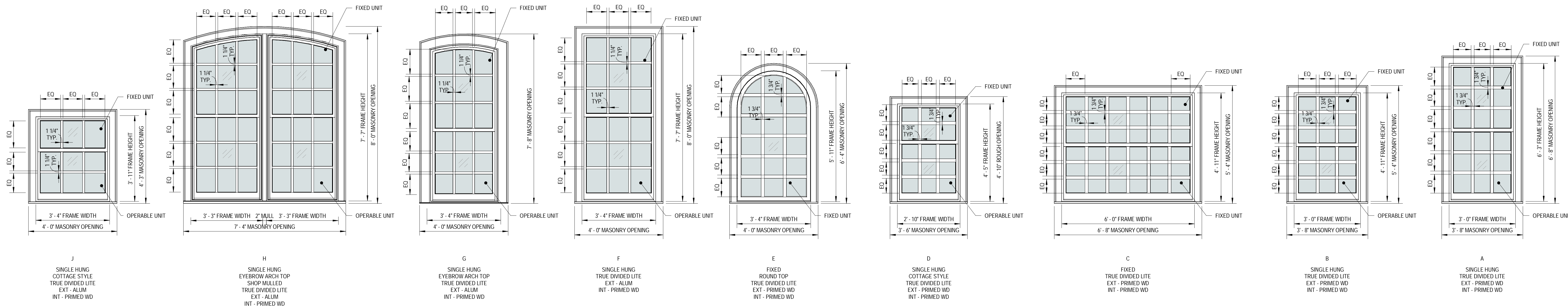
DOOR TYPES



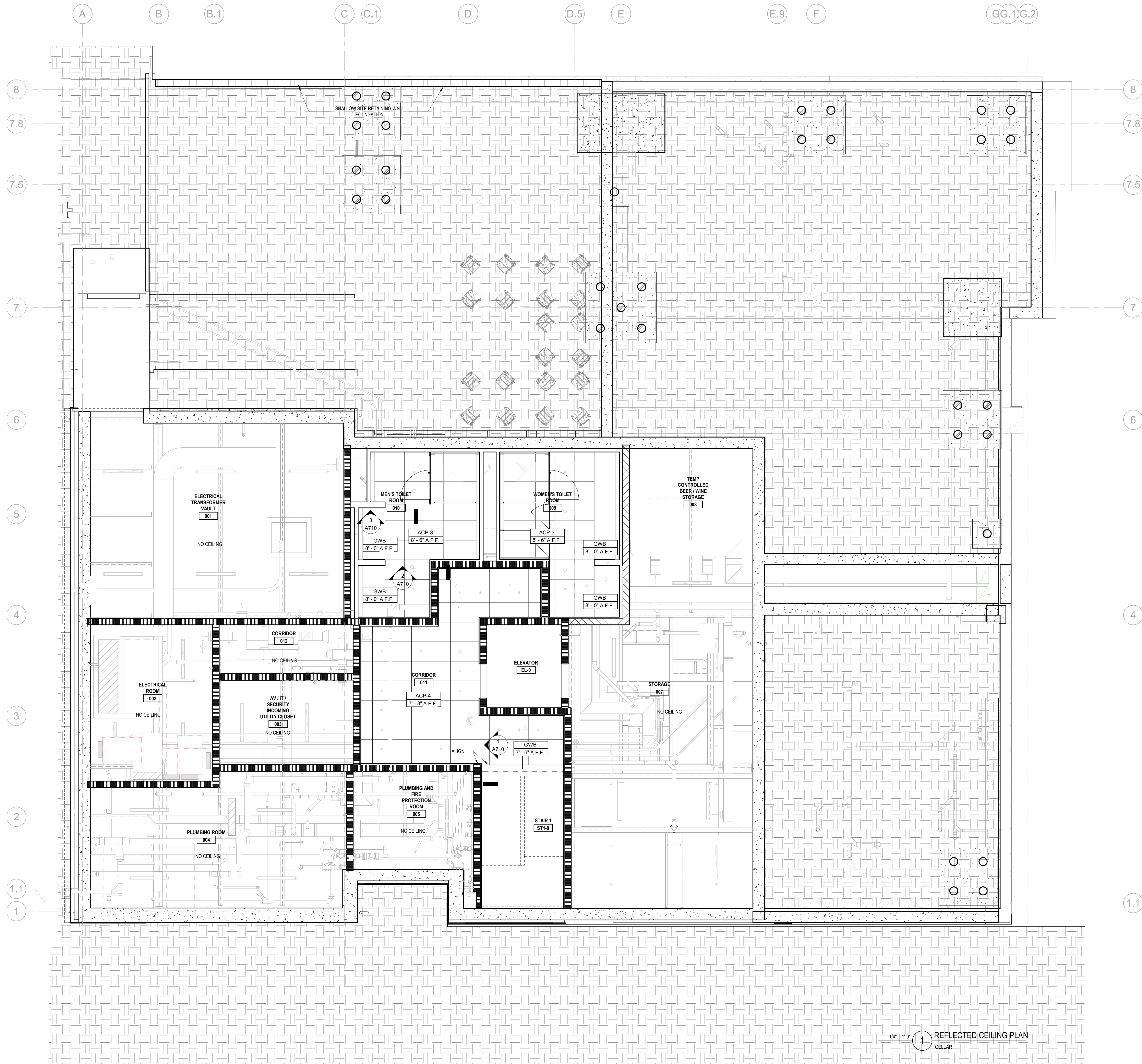
FRAME TYPES



WINDOW TYPES



NUMBER:



- RCP
GENERAL NOTES**
1. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE.
 2. SEE FINISH SCHEDULE, A610, FOR CEILING FINISH SCHEDULE.
 3. SEE A800 FOR WINDOW ROLLER SHADE MATERIALS AND ROLLER LENGTHS. SEE RCP'S FOR SHADE HOUSINGS.
 4. ALL SPRINKLERS, RECESSED LIGHT FIXTURES, SPRINKLERS, DETECTORS AND GRILLES ARE TO BE CENTERED IN CEILING TILE IN BOTH DIRECTIONS UNLESS OTHERWISE NOTED.
 5. ALL CEILING HEIGHTS MEASURED TO FACE OF FINISHED CEILING.
 6. PROVIDE UNDERCABINET TASK LYG. AT ALL UPPER CABINETS AND SHELVES UNLESS OTHERWISE NOTED.
 7. AT CEILINGS WITH TEGULAR APC PROVIDE FACTORY CUT AND FINISHED TEGULAR EDGES FOR PANELS ADJACENT TO 6" NOMINAL LINEAR LIGHT FIXTURES.
 8. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL FIXTURES AND TYPES.
 9. CONFIRM FINAL FURNITURE CLEARANCE BEFORE CONSTRUCTION OF 5'-6" G.W.B. SOFFITS AT LATERAL FILE ALCOVES.



THE TUN

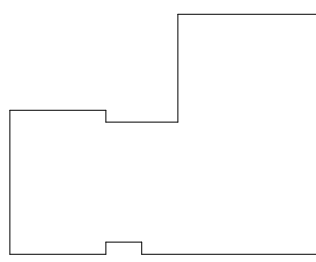
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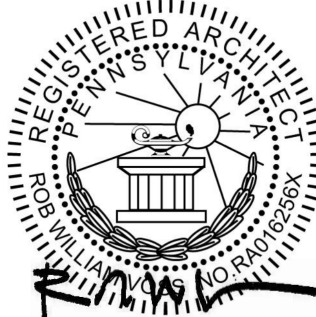
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01/11/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

ARCHITECTURE

TITLE:

**CELLAR REFLECTED
CEILING PLAN**

NUMBER:

A700



THE TUN

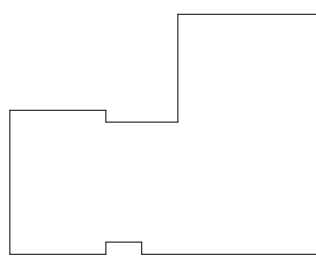
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11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

ARCHITECTURE

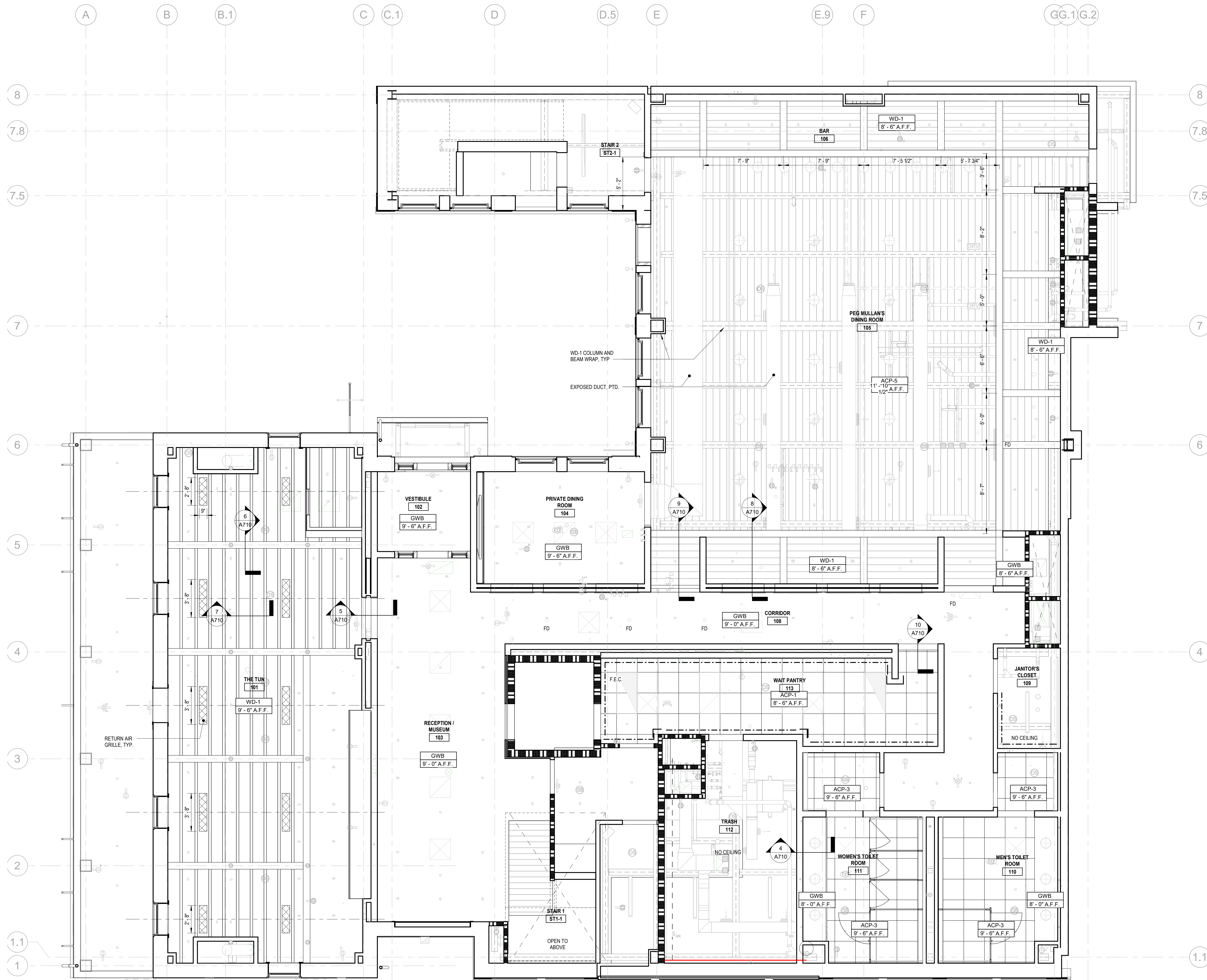
TITLE:

FIRST FLOOR
REFLECTED CEILING
PLAN

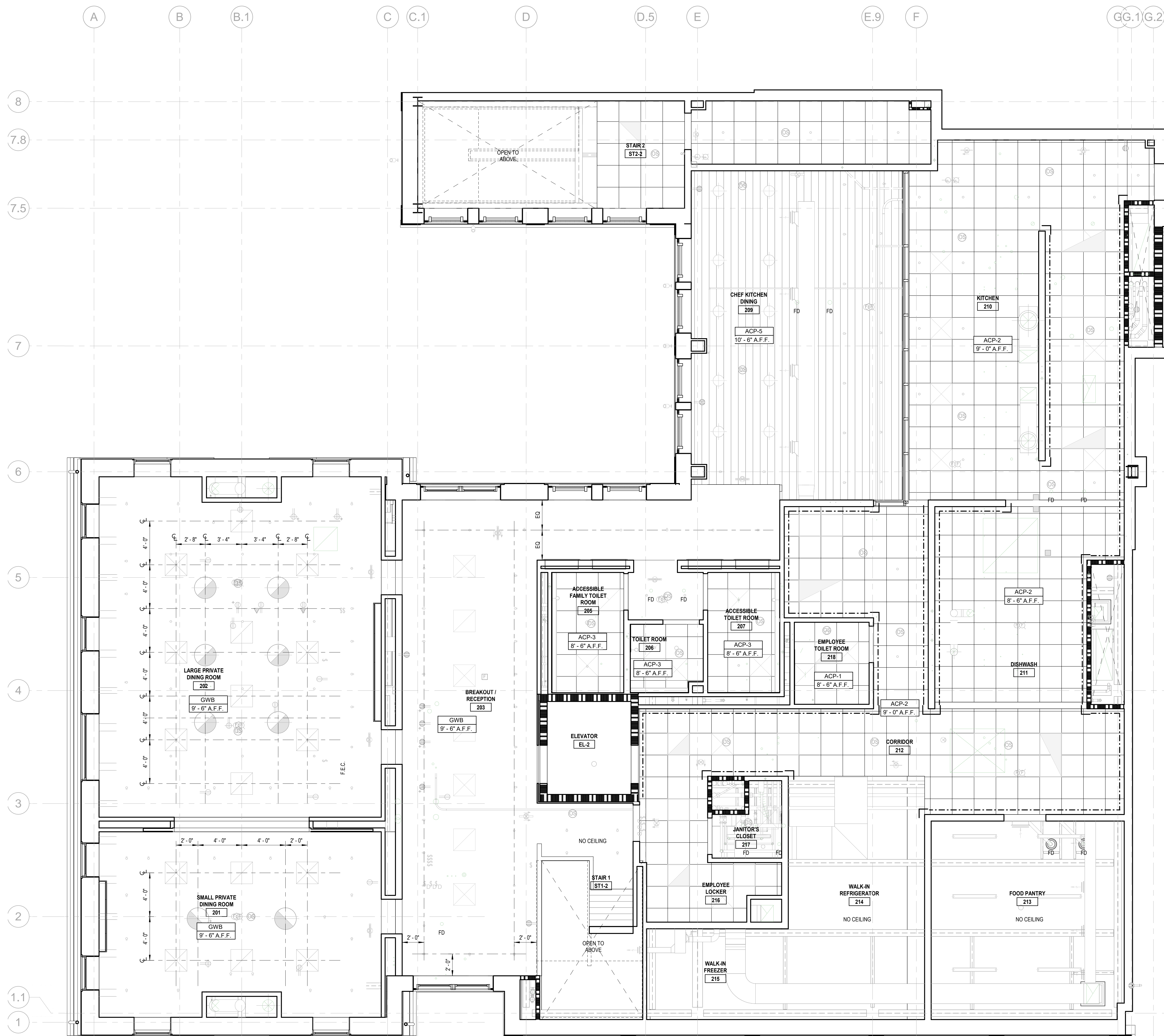
NUMBER:

A701

- RCP
GENERAL NOTES**
1. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE.
 2. SEE FINISH SCHEDULE, A610, FOR CEILING FINISH SCHEDULE.
 3. SEE A800 FOR WINDOW ROLLER SHADE MATERIALS AND ROLLER LENGTHS. SEE RCP'S FOR SHADE HOUSINGS.
 4. ALL SPRINKLERS, RECESSED LIGHT FIXTURES, SPEAKERS, DETECTORS AND GRILLES ARE TO BE CENTERED IN CEILING TILE IN BOTH DIRECTIONS UNLESS OTHERWISE NOTED.
 5. ALL CEILING HEIGHTS MEASURED TO FACE OF FINISHED CEILING.
 6. PROVIDE UNDERCABINET TASK LYG. AT ALL UPPER CABINETS AND SHELVES UNLESS OTHERWISE NOTED.
 7. AT CEILINGS WITH TEGULAR APC PROVIDE FACTORY CUT AND FINISHED TEGULAR EDGES FOR PANELS ADJACENT TO 6" NOMINAL LINEAR LIGHT FIXTURES.
 8. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL FIXTURES AND TYPES.
 9. CONFIRM FINAL FURNITURE CLEARANCE BEFORE CONSTRUCTION OF 5'-6" G.W.B. SOFFITS AT LATERAL FILE ALCOVES.



1/4" = 1'-0" 1 REFLECTED CEILING PLAN
FIRST FLOOR





THE TUN

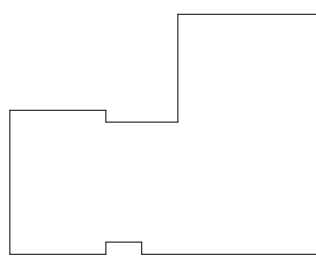
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11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

ARCHITECTURE

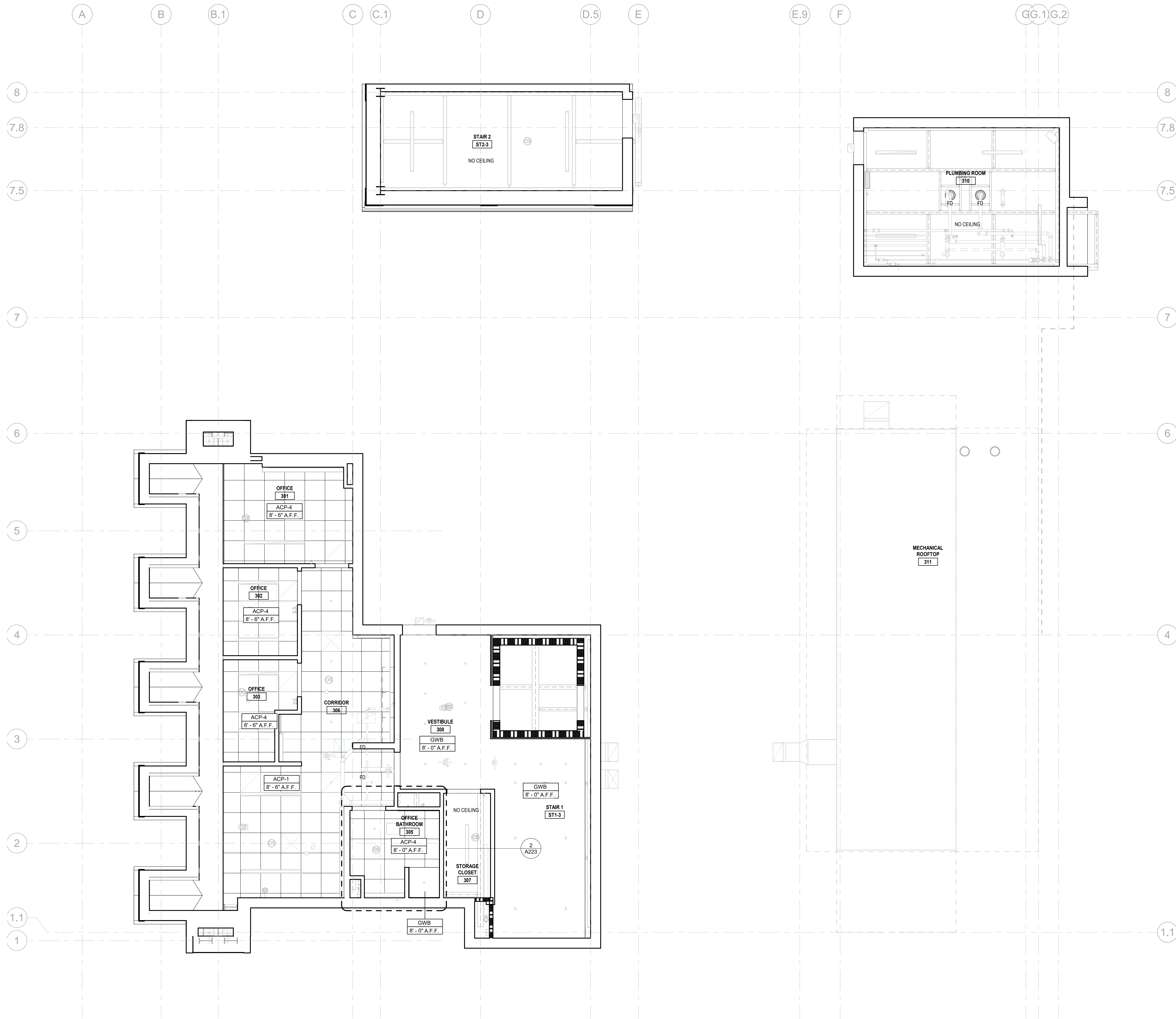
TITLE:

THIRD FLOOR
REFLECTED CEILING
PLAN

NUMBER:

A703

- RCP
GENERAL NOTES**
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE.
 - SEE FINISH SCHEDULE, A610, FOR CEILING FINISH SCHEDULE.
 - SEE A900 FOR WINDOW ROLLER SHADE MATERIALS AND ROLLER LENGTHS. SEE RCP'S FOR SHADE HOUSINGS.
 - ALL SPRINKLERS, RECESSED LIGHT FIXTURES, SPEAKERS, DETECTORS AND GRILLES ARE TO BE CENTERED IN CEILING TILE IN BOTH DIRECTIONS UNLESS OTHERWISE NOTED.
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 - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL FIXTURES AND TYPES.
 - CONFIRM FINAL FURNITURE CLEARANCE BEFORE CONSTRUCTION OF 5'-6" G.W.B. SOFFITS AT LATERAL FILE ALCOVES.



1/4" = 1'-0" 1 REFLECTED CEILING PLAN
THIRD FLOOR



THE TUN

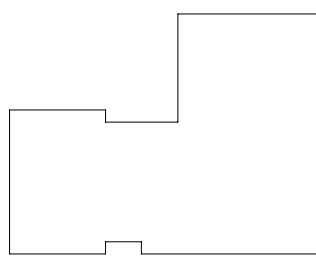
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DRAWING ISSUE

PROJECT: 23053.00

SCALE: 1 1/2" = 1'-0"

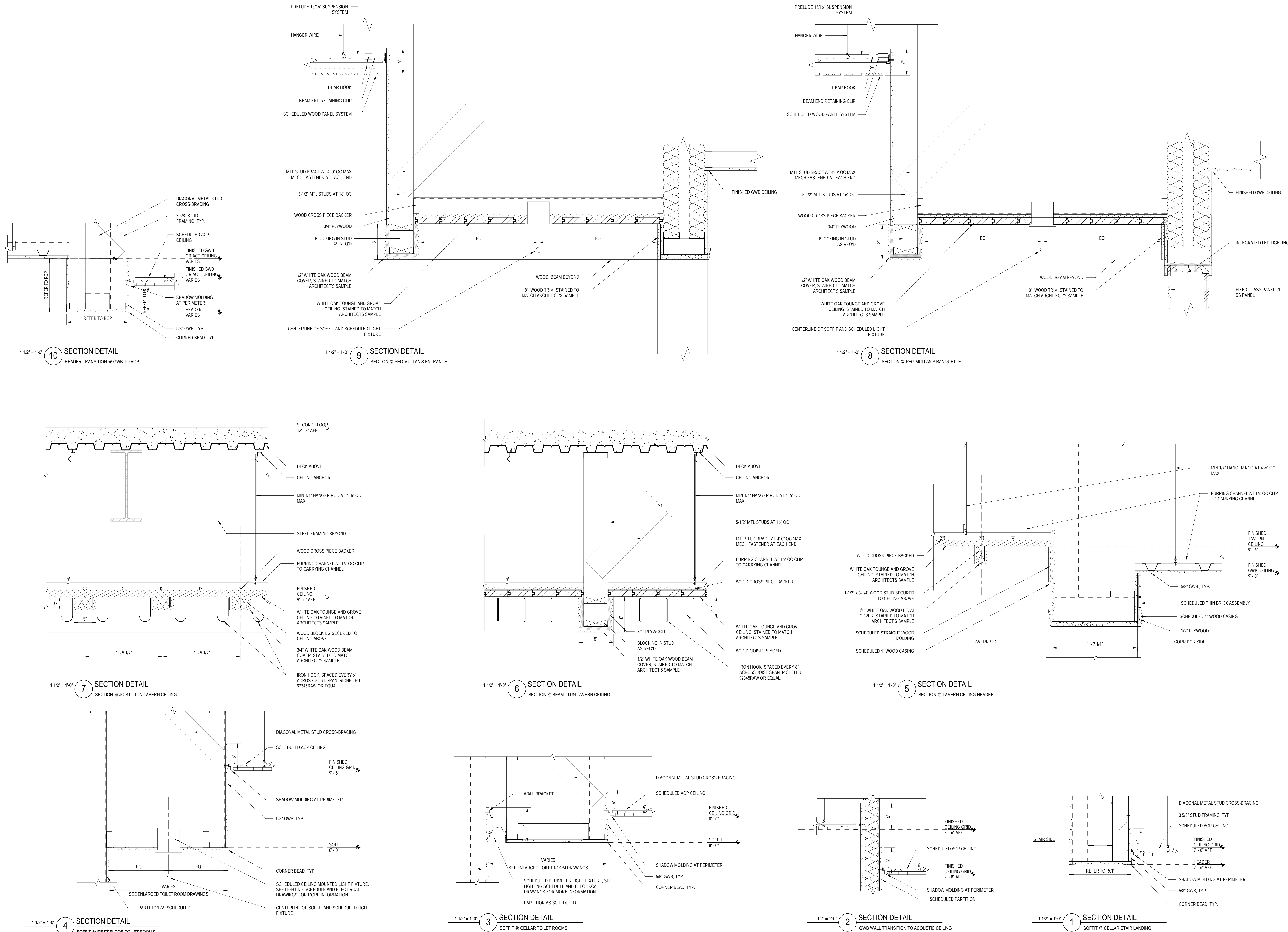
Author

TITLE:

CEILING DETAILS

NUMBER:

A710





THE TUN

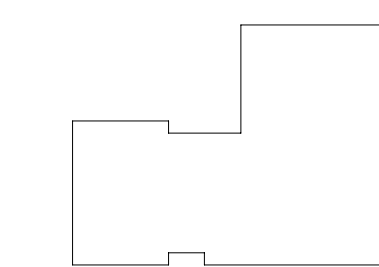
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DRAWING ISSUE

PROJECT: 23053.00
SCALE: 1/4" = 1'-0"

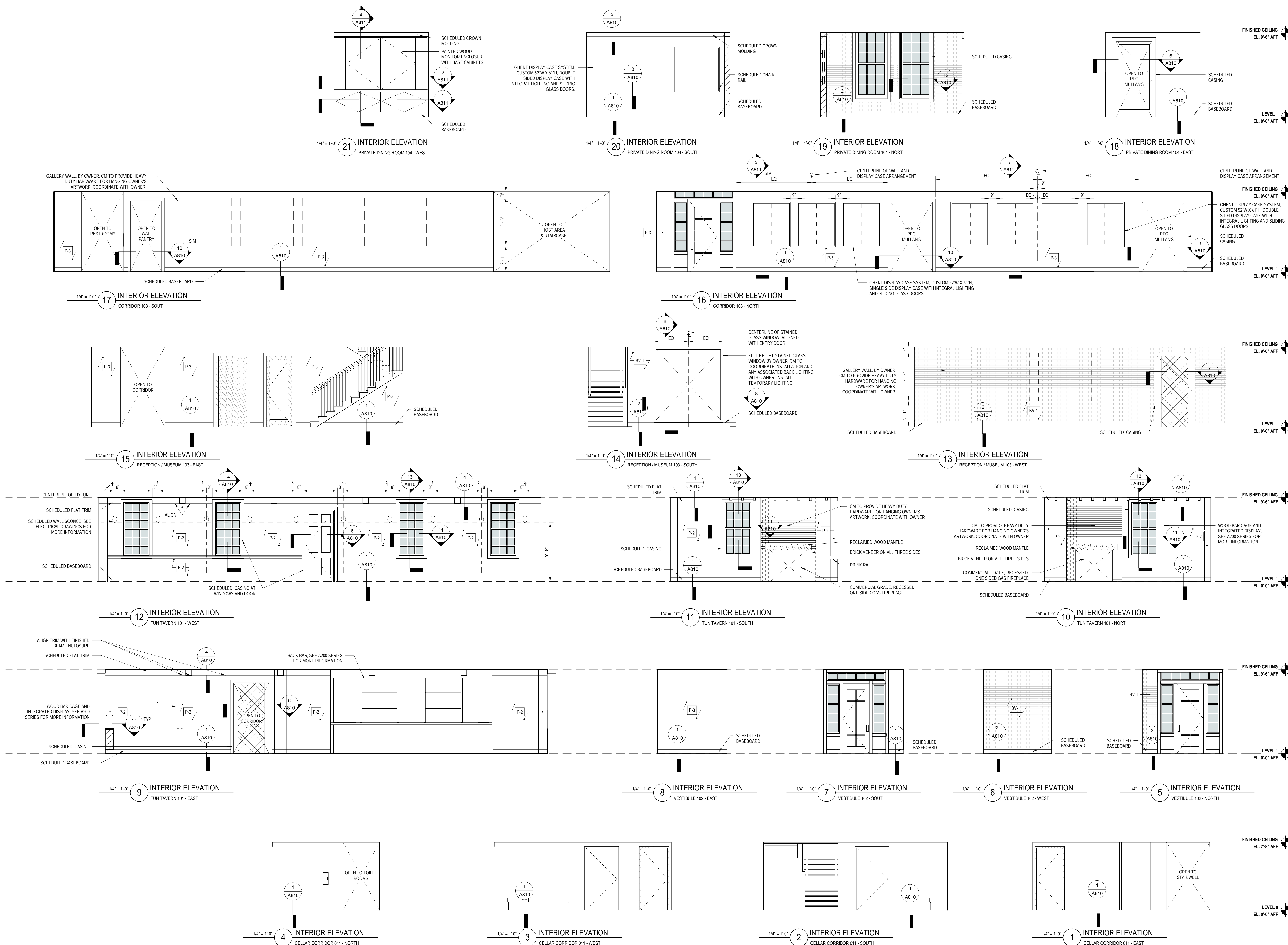
ARCHITECTURE

TITLE:

CELLAR AND FIRST
FLOOR INTERIOR
ELEVATIONS

NUMBER:

A800





THE TUN

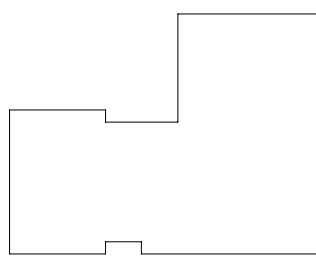
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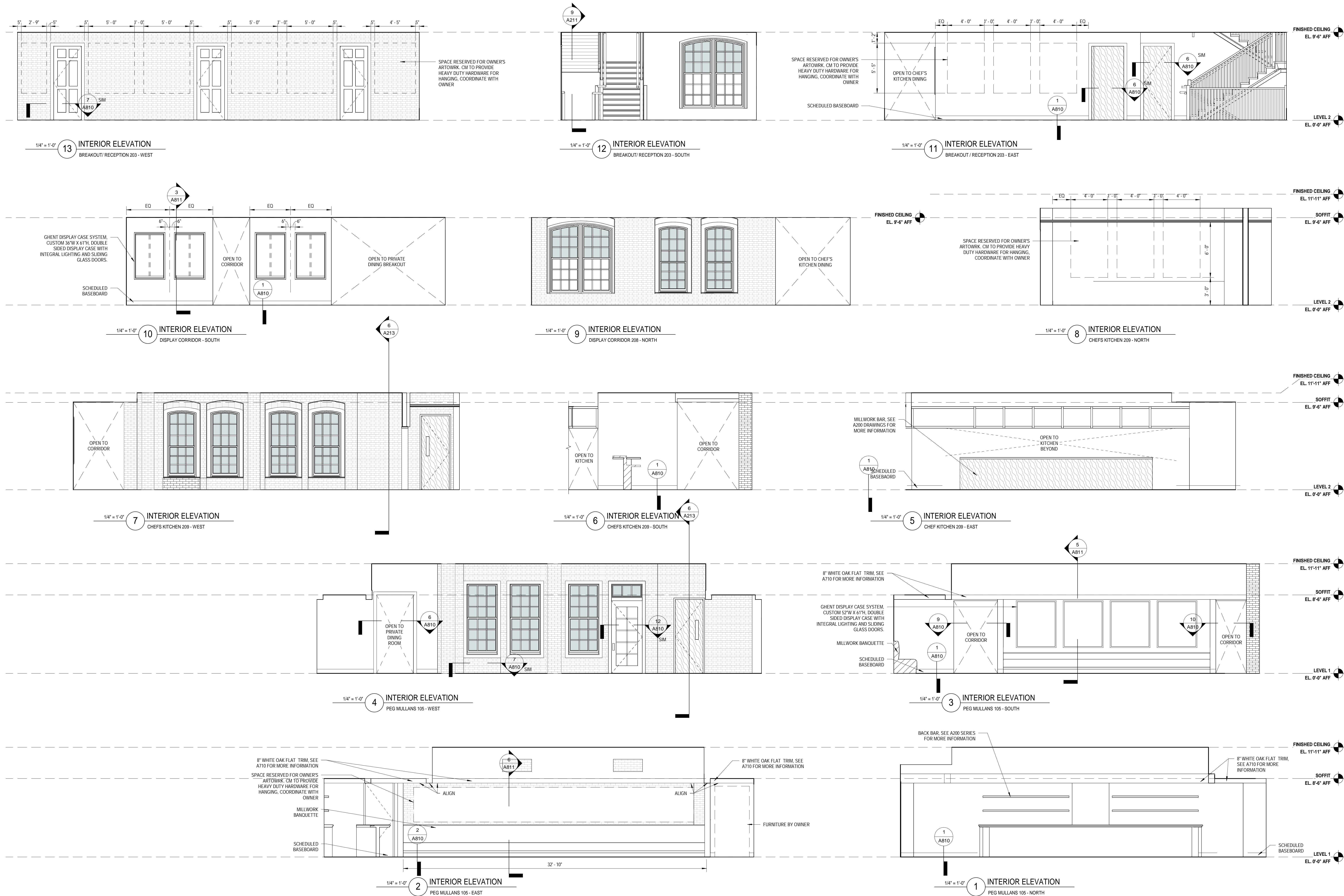
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11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: 1/4" = 1'-0"
ARCHITECTURE
TITLE:

FIRST AND SECOND
FLOOR INTERIOR
ELEVATIONS

NUMBER:

A801





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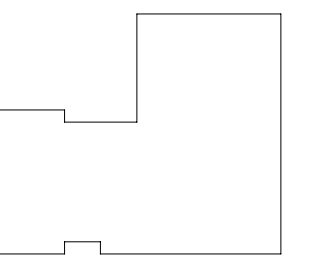
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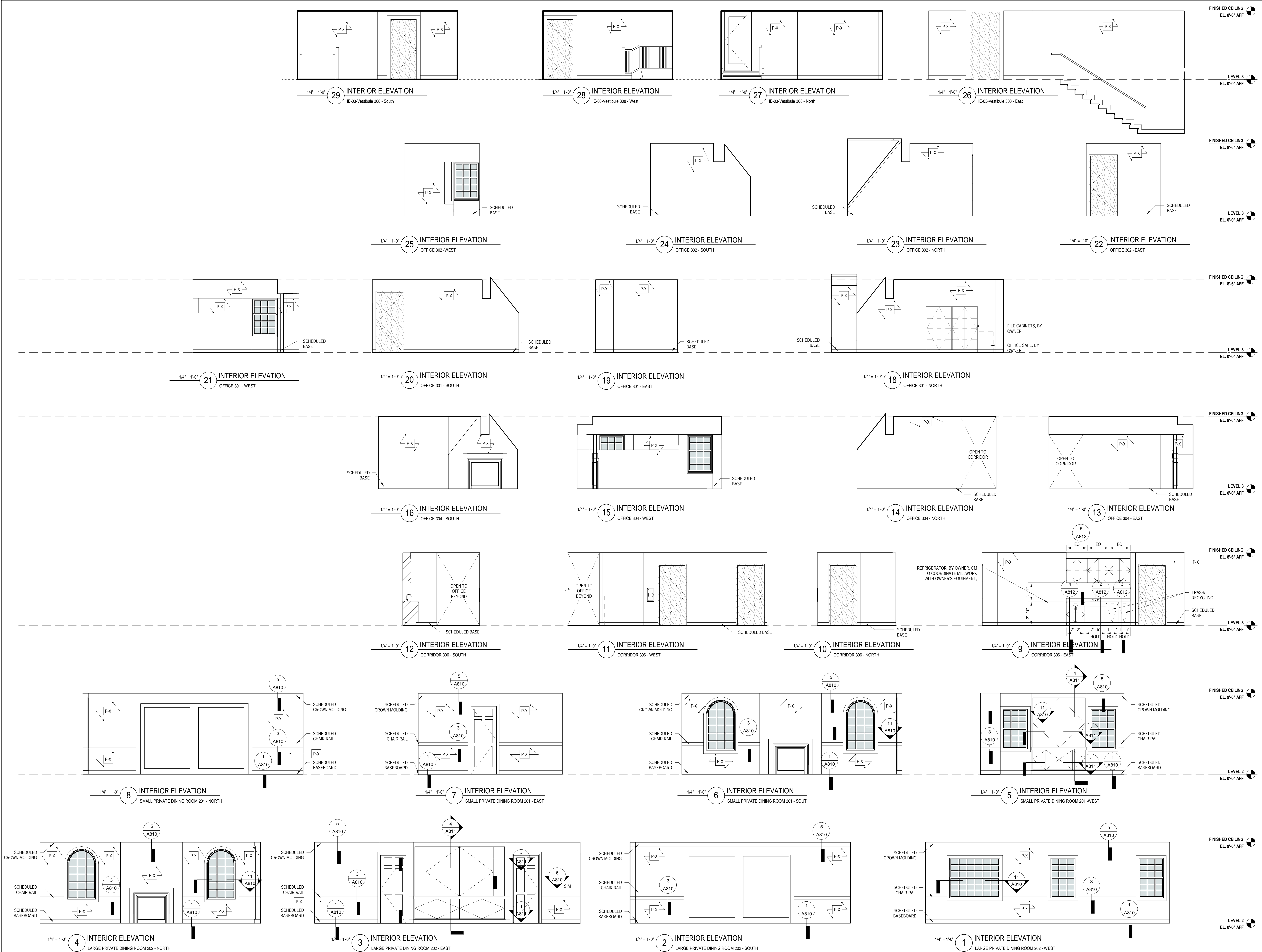
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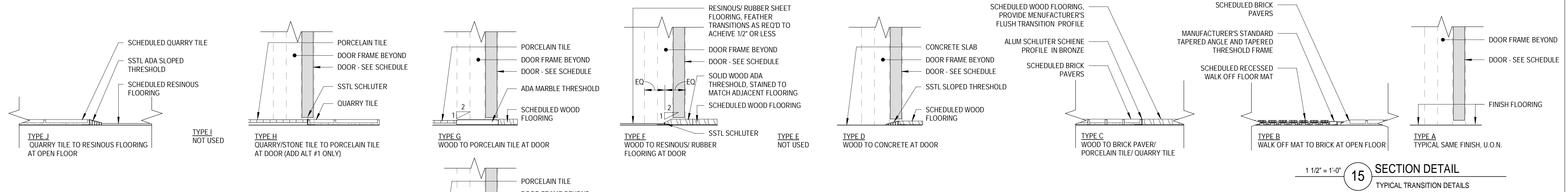
PROJECT: 23053.00
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ARCHITECTURE
TITLE:

SECOND AND THIRD
FLOOR INTERIOR
ELEVATIONS

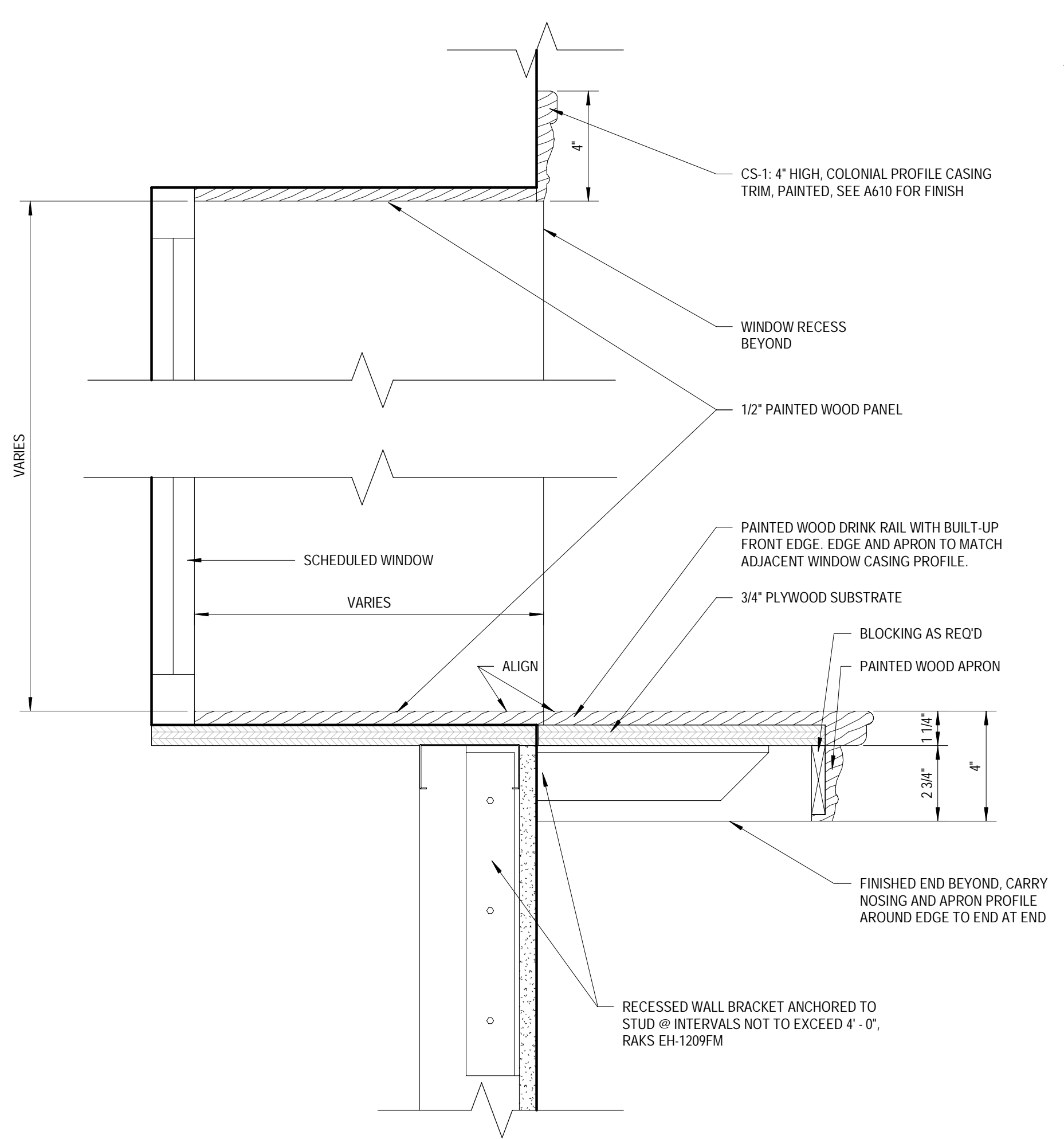
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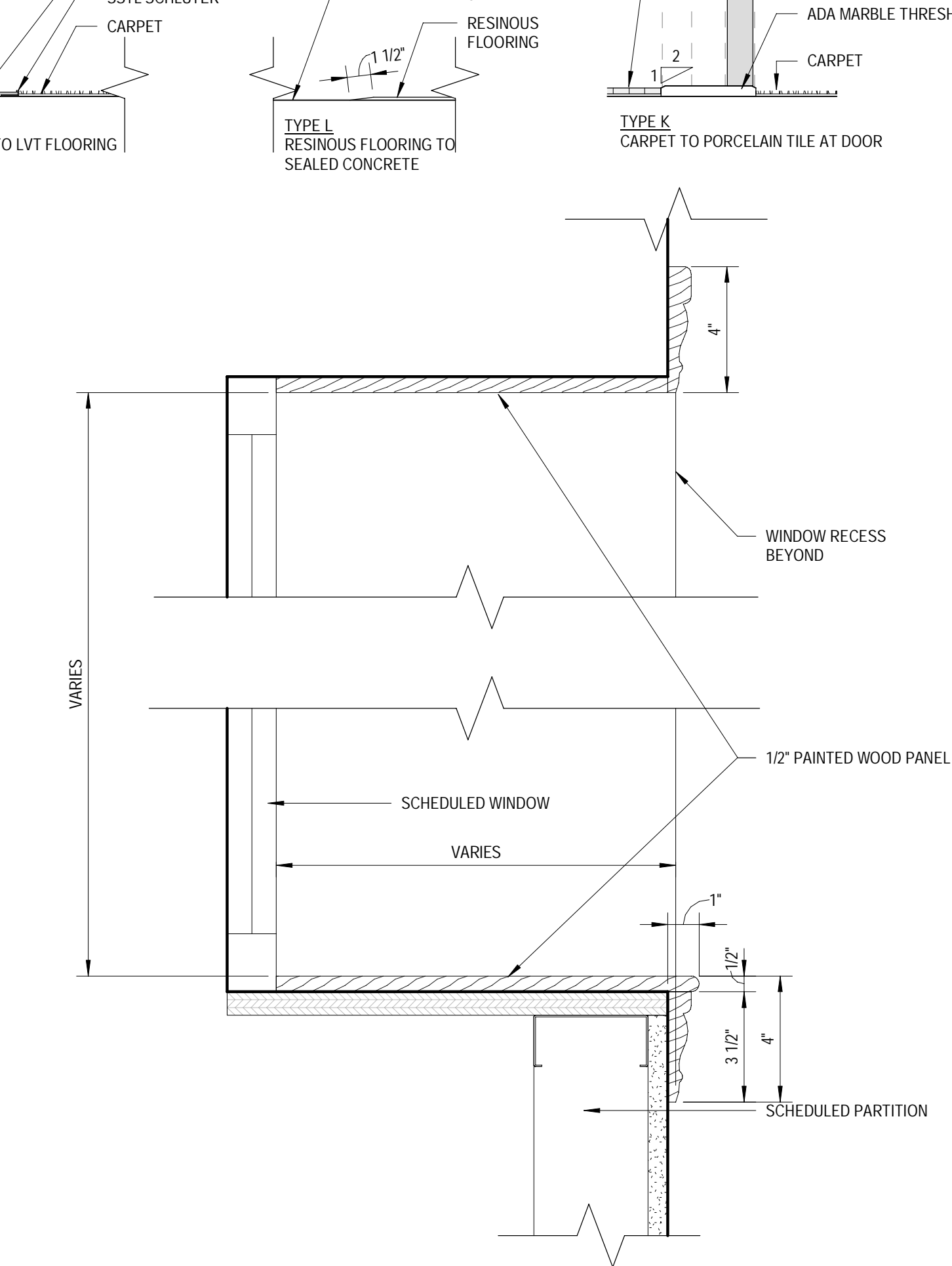




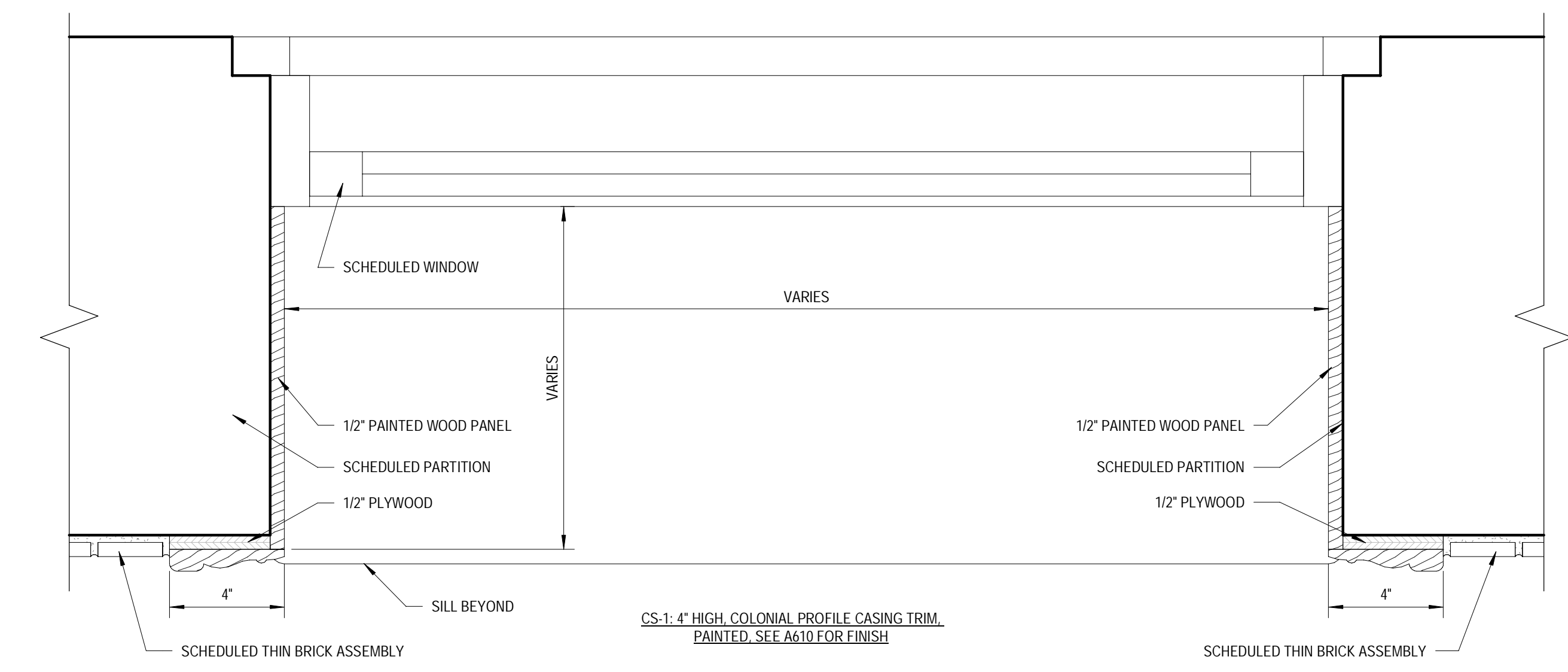
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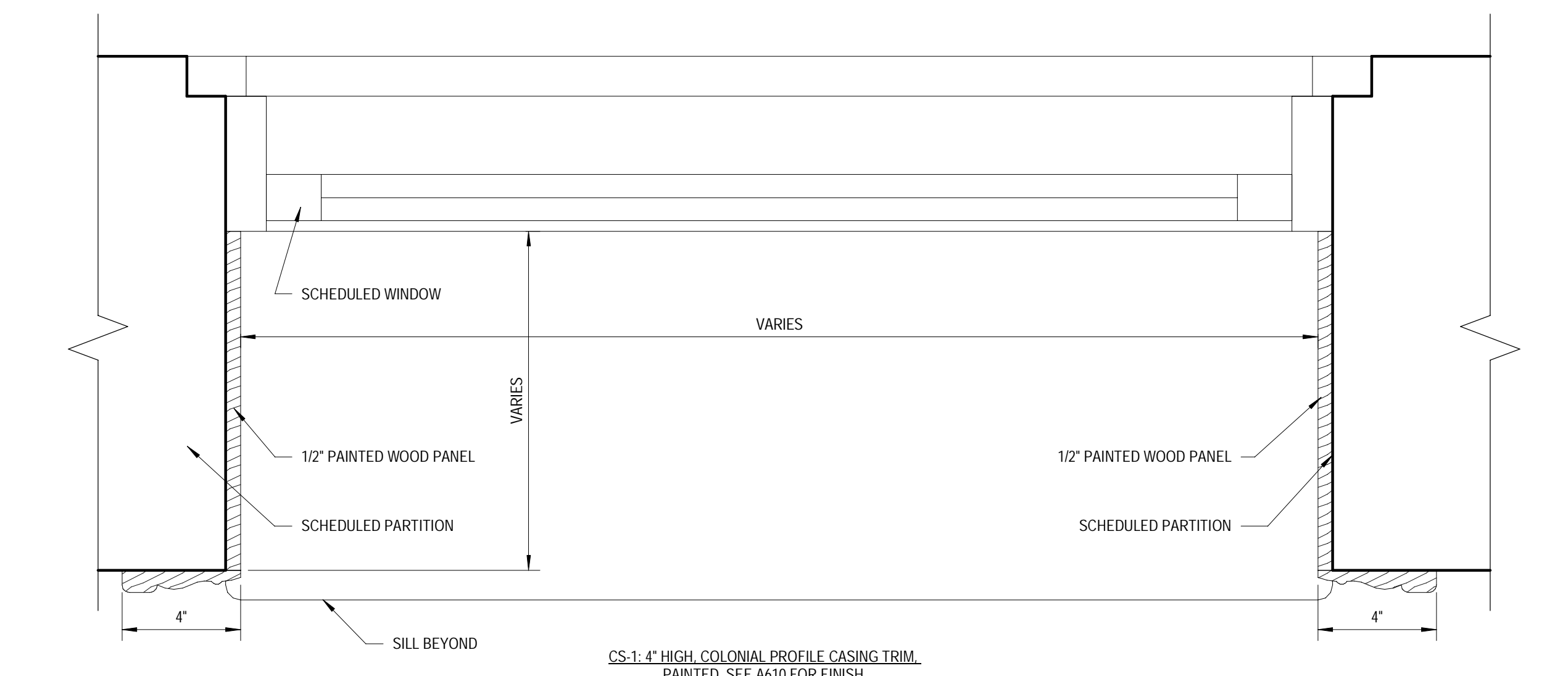
14 SECTION DETAIL
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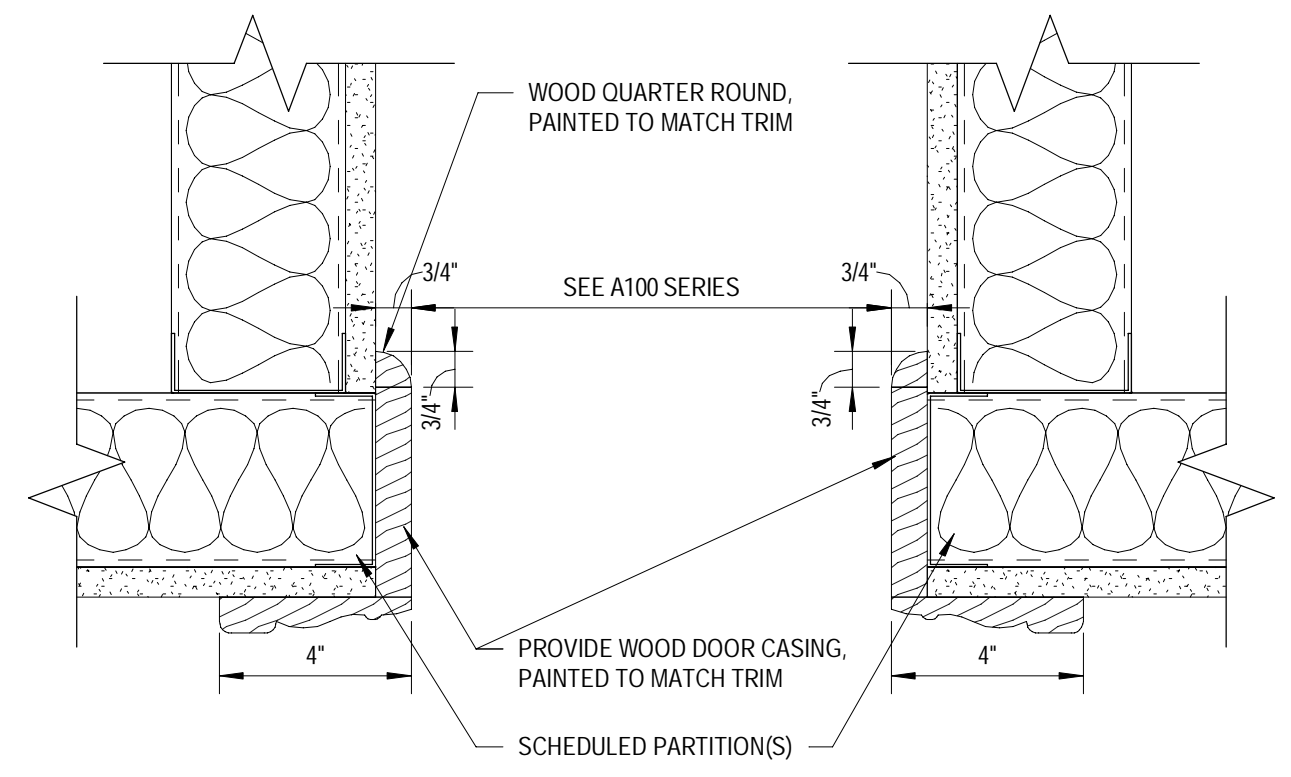
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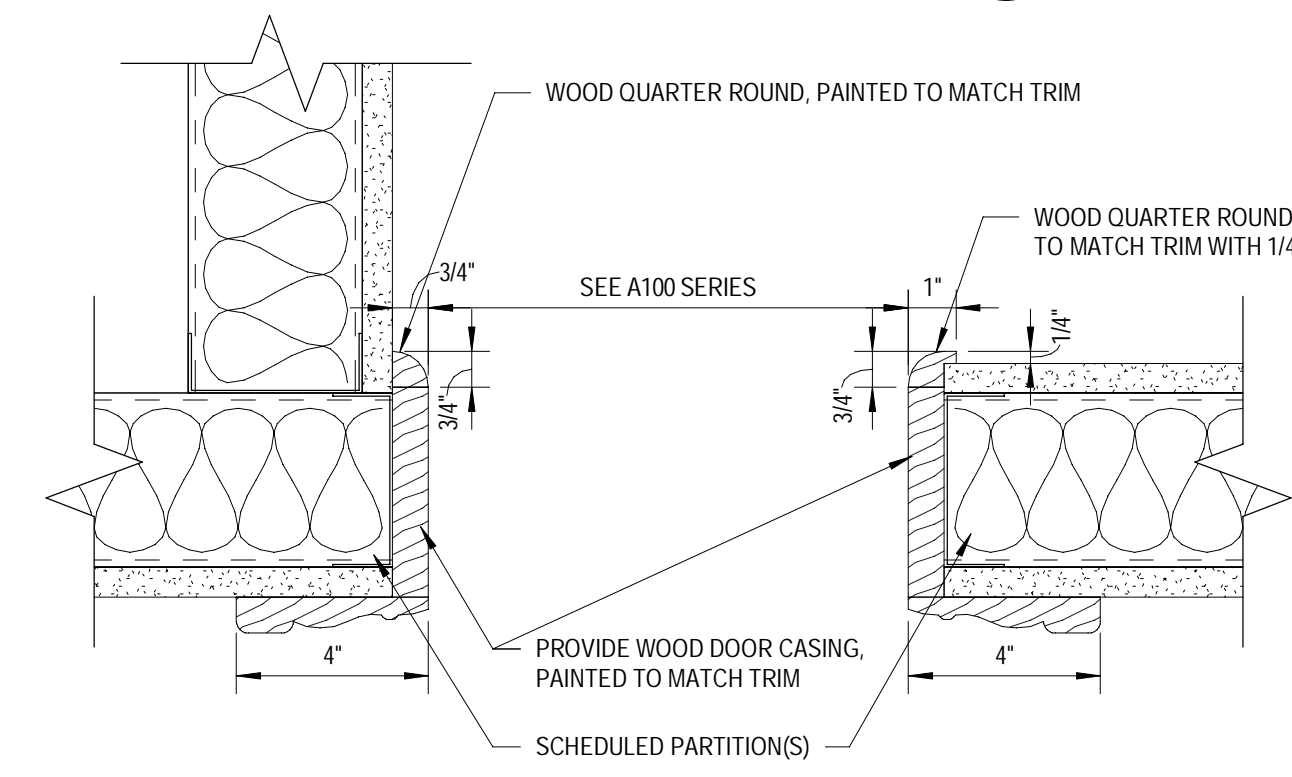
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HORIZONTAL @ WINDOW CASING - BRICK WALL



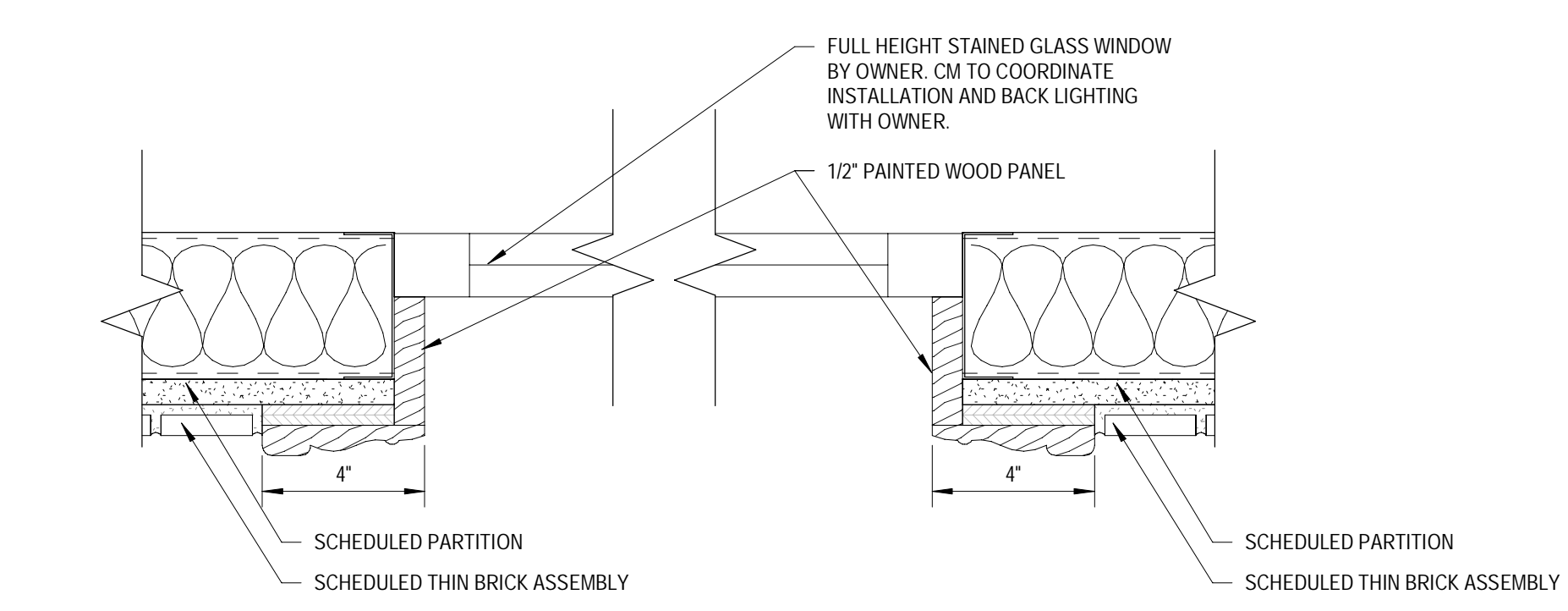
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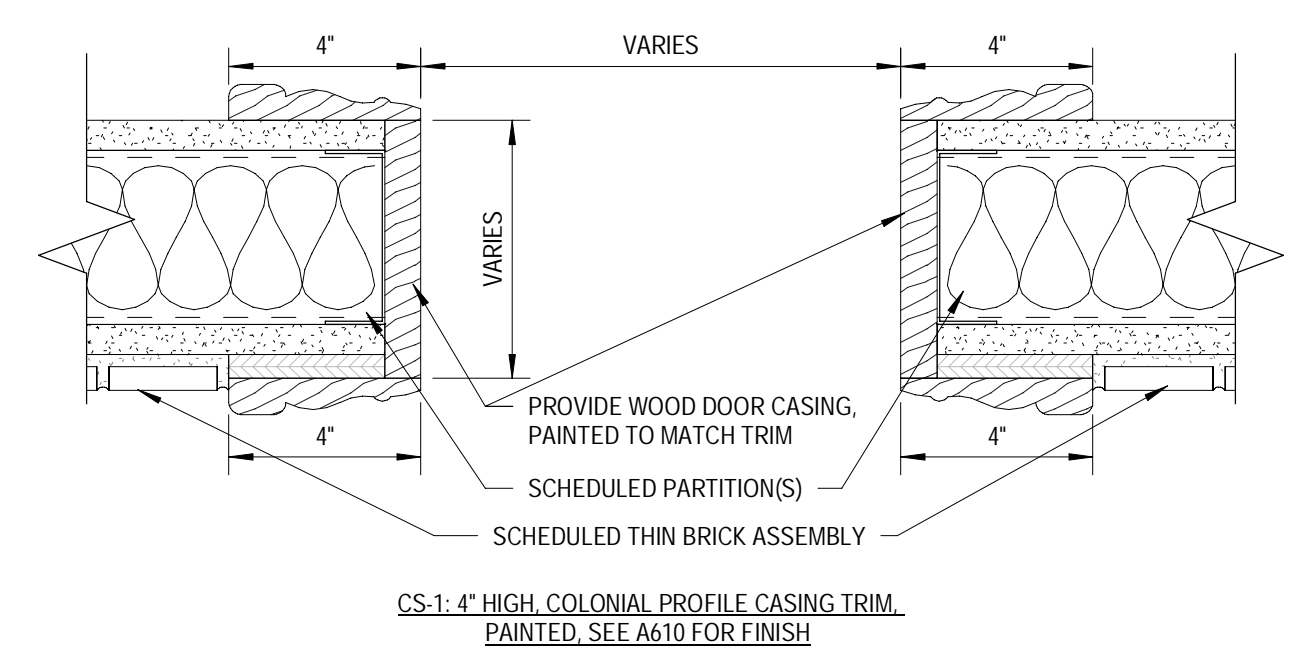
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TRIM @ CASED OPENING - PEG MULLAN'S WEST ENTRANCE



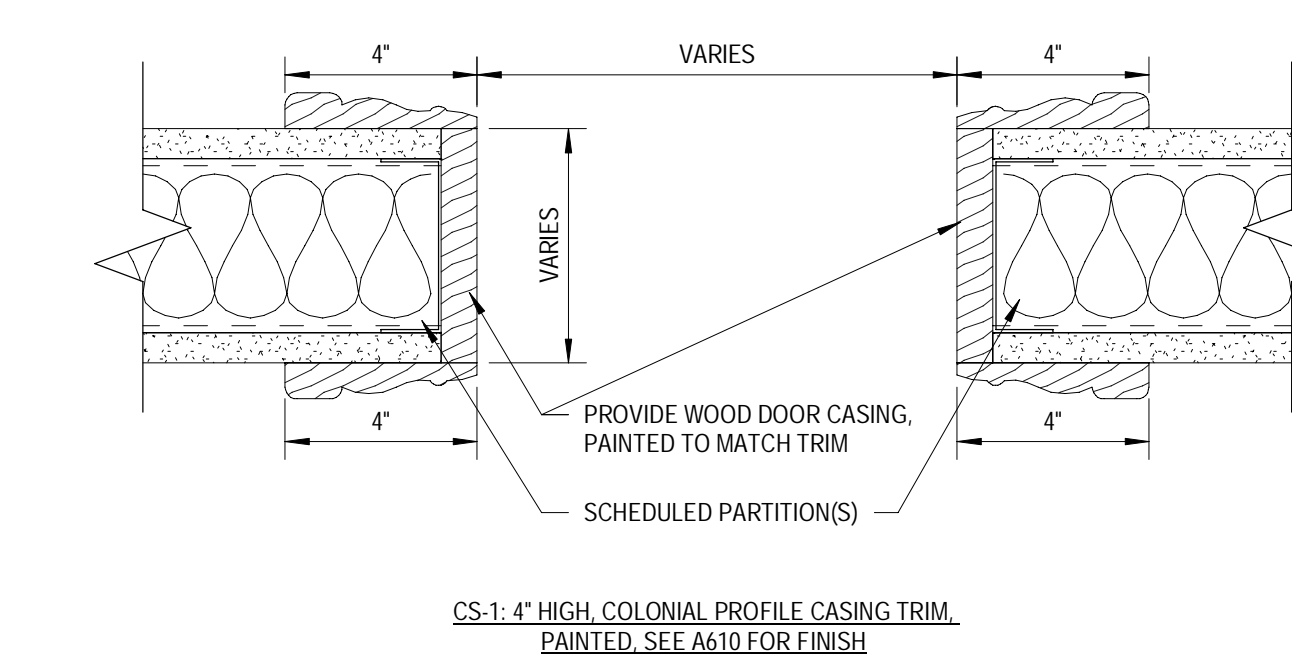
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TRIM @ CASED OPENING - PEG MULLAN'S EAST ENTRANCE



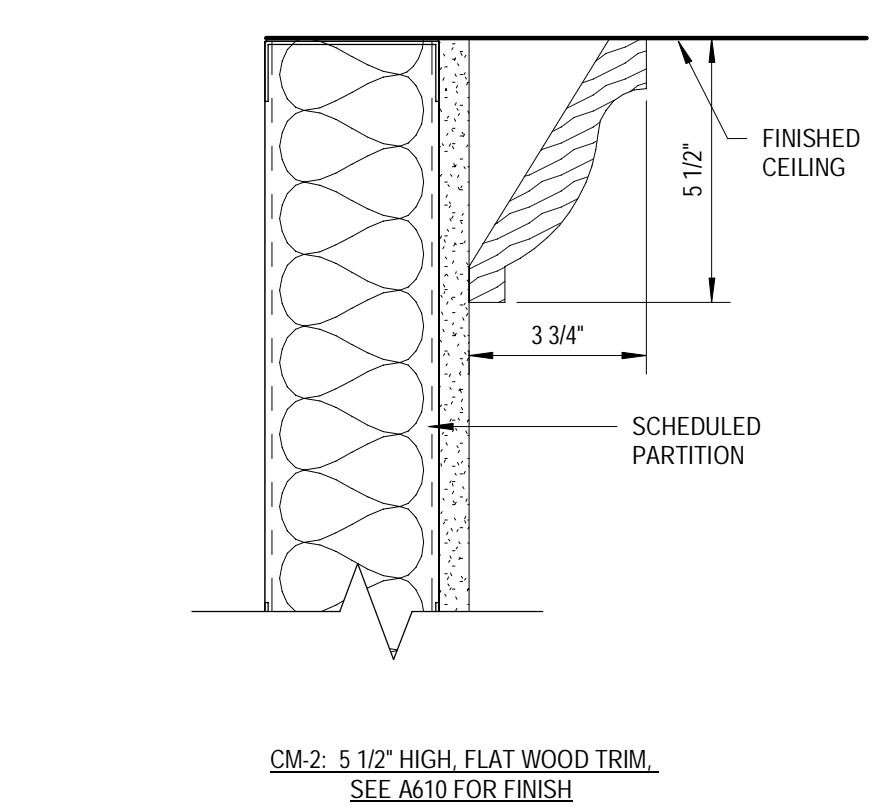
8 SECTION DETAIL
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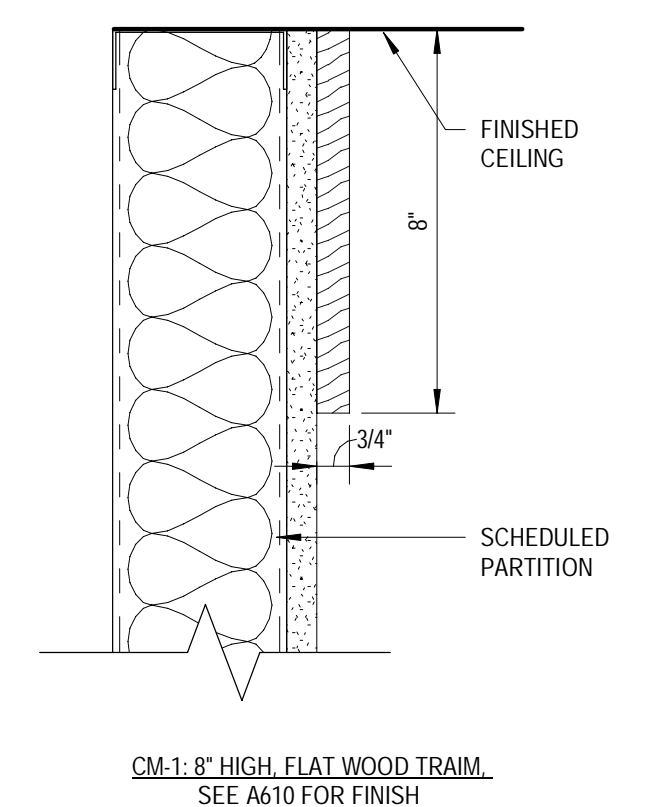
7 SECTION DETAIL
TRIM @ CASED OPENINGS WITH BRICK VENEER



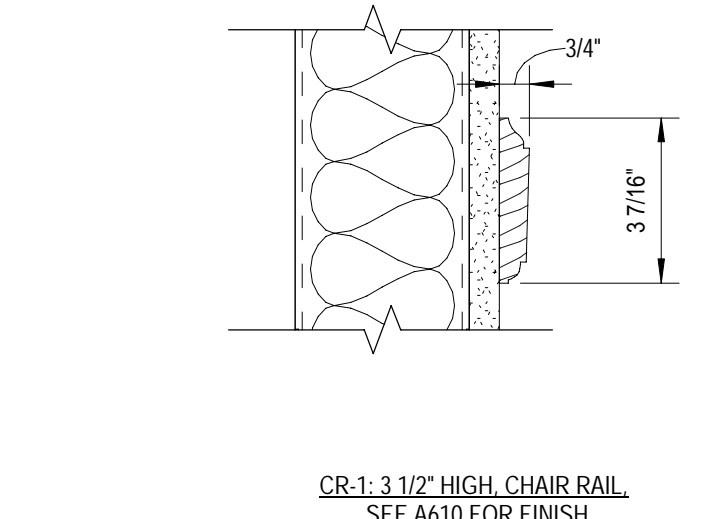
6 SECTION DETAIL
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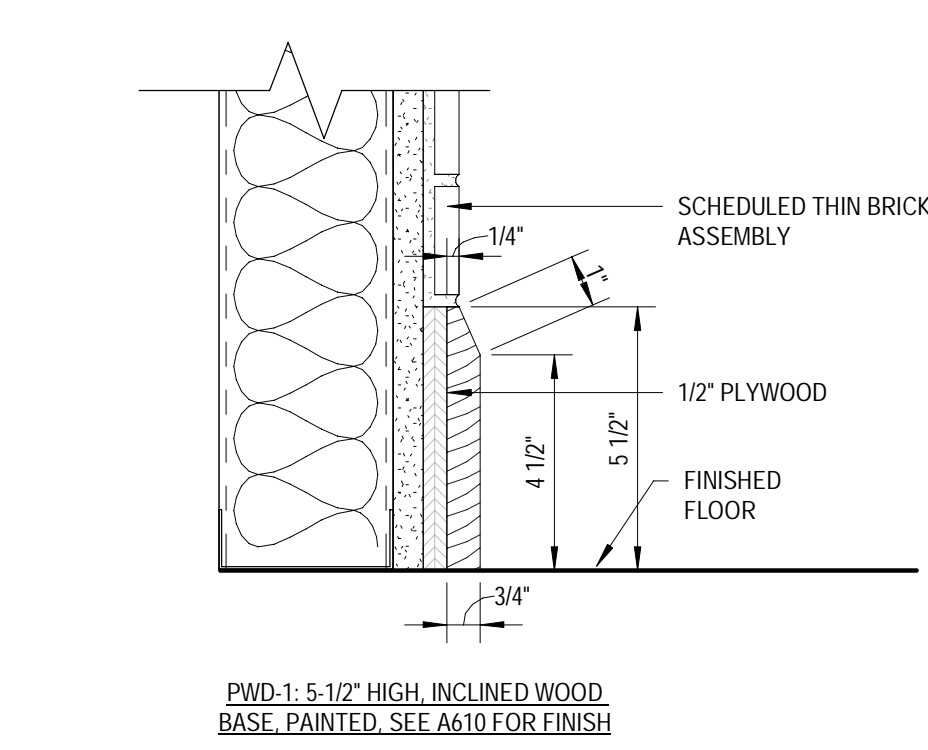
5 SECTION DETAIL
CROWN MOULDING TRIM DETAIL



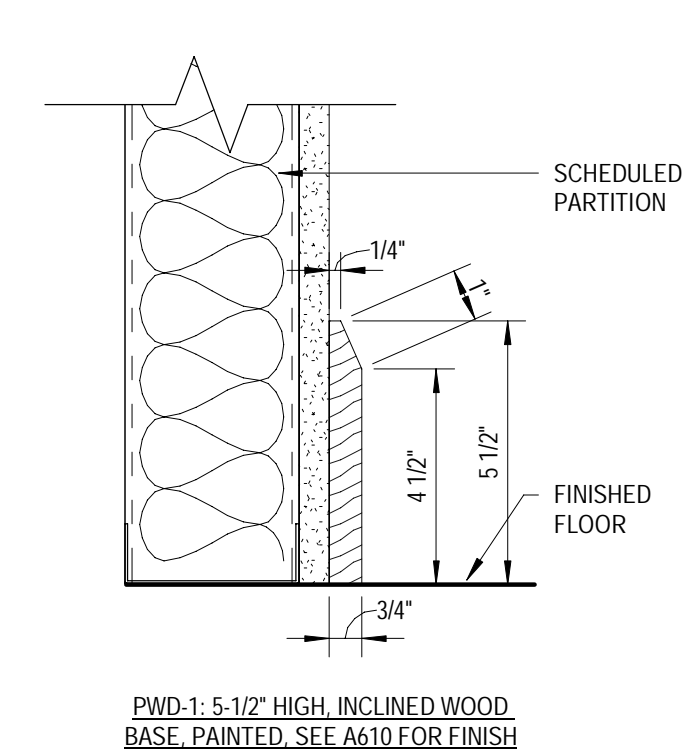
4 SECTION DETAIL
FLAT WOOD TRIM @ CEILING



3 SECTION DETAIL
CHAIR RAIL TRIM DETAIL



2 SECTION DETAIL
BASEBOARD TRIM DETAIL @ BRICK VENEER



1 SECTION DETAIL
BASEBOARD TRIM DETAIL

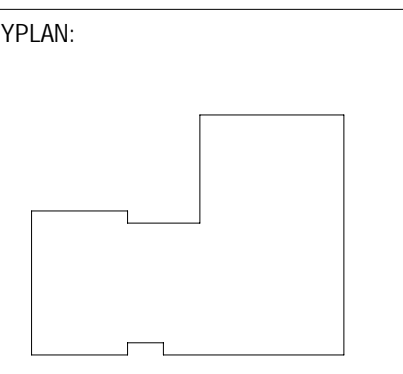


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02/28/2025 PERMIT SET
01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: As indicated
ARCHITECTURE
TITLE:

INTERIOR DETAILS -
FINISH & TRIM
DETAILS

NUMBER:
A810



THE TUN

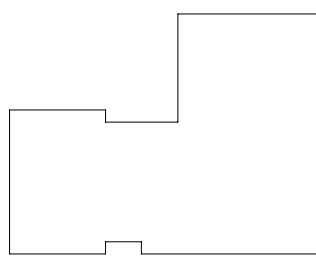
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02/28/2025 PERMIT SET
01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00

SCALE: 1 1/2" = 1'-0"

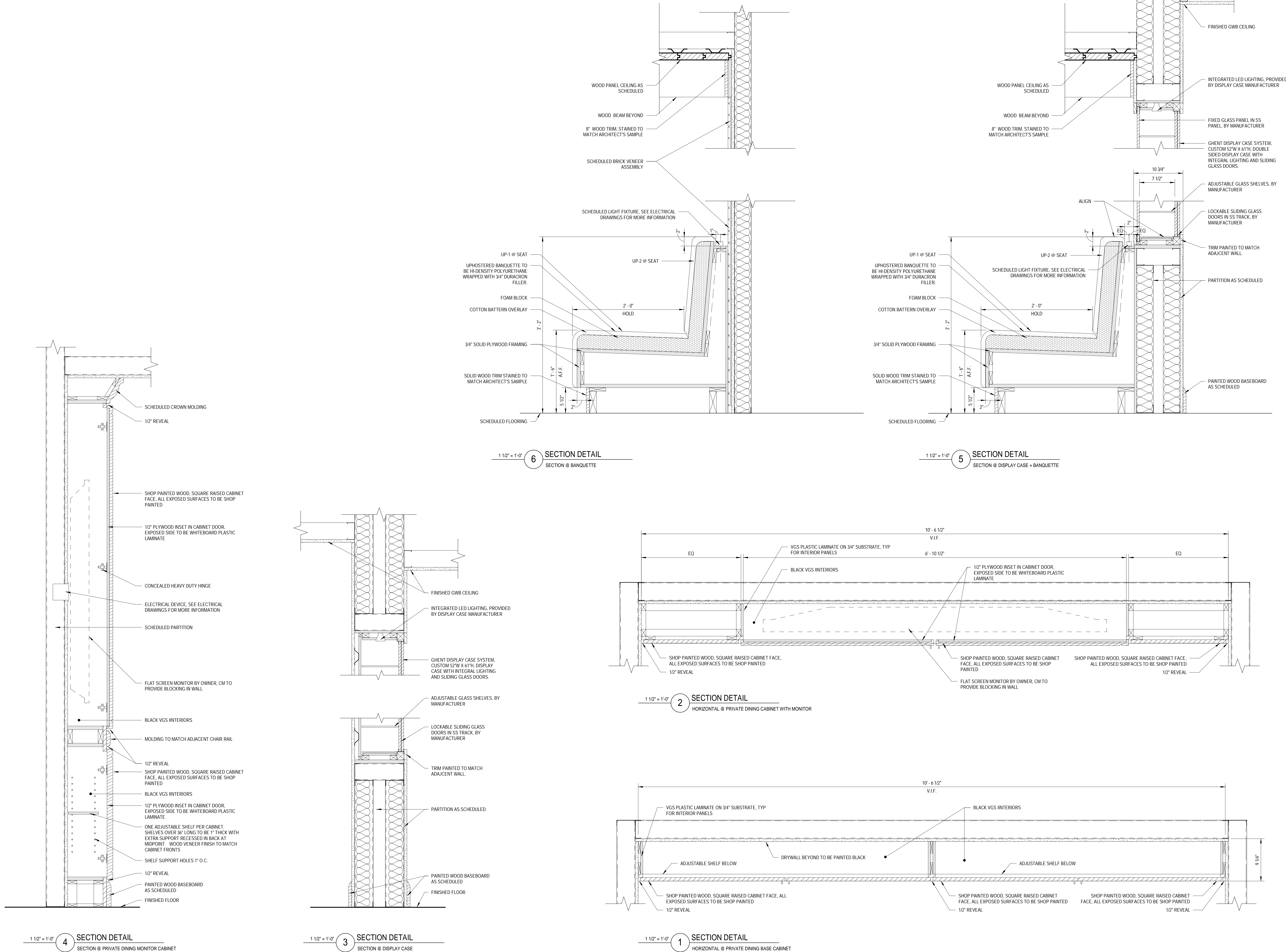
Author

TITLE:

INTERIOR DETAILS -
MILLWORK

NUMBER:

A811





THE TUN

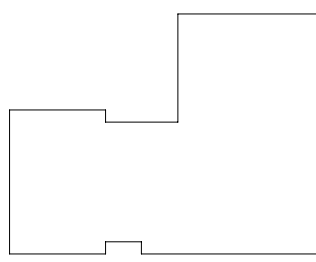
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02/28/2025 PERMIT SET
01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00

SCALE: 1 1/2" = 1'-0"

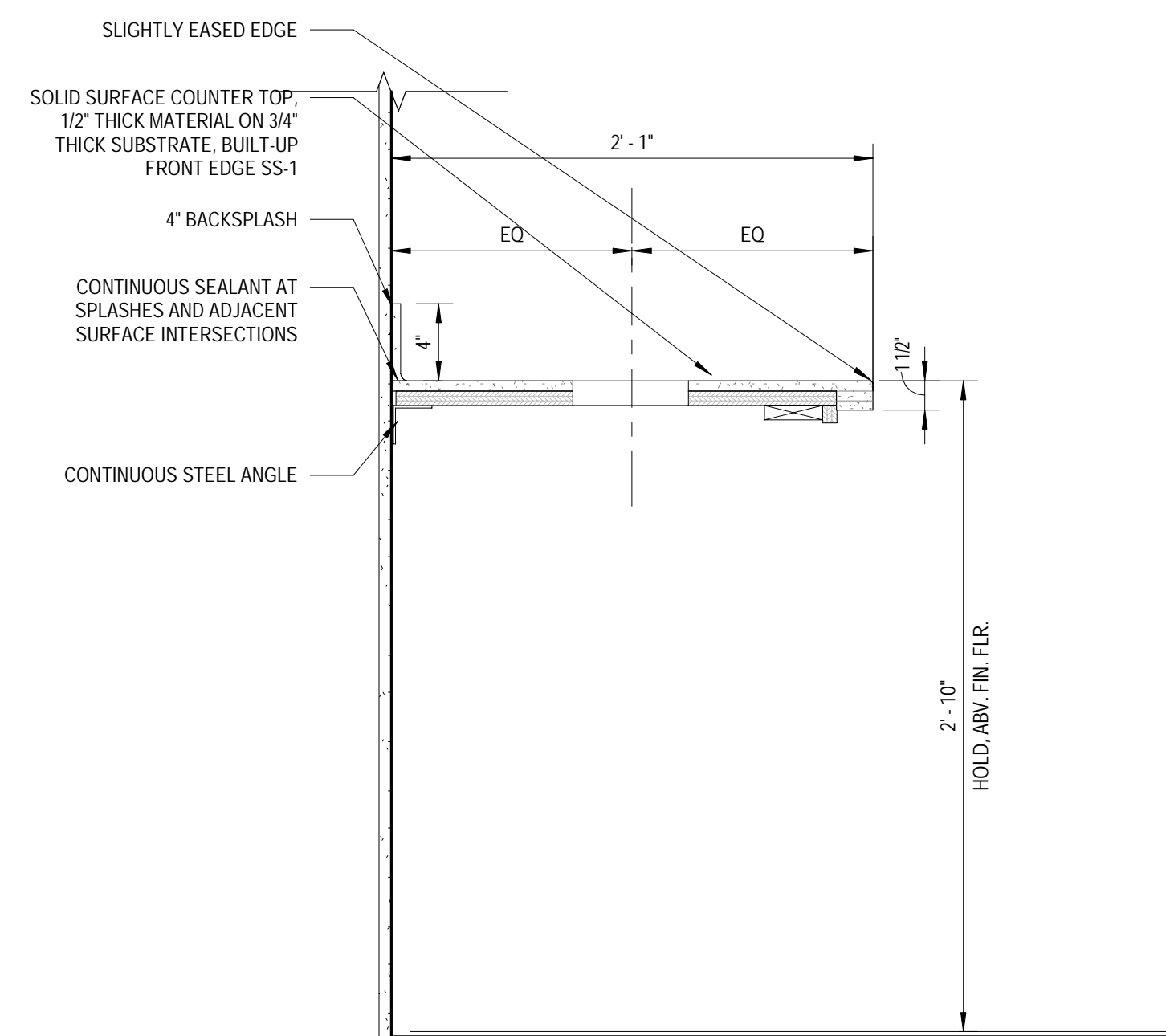
Author

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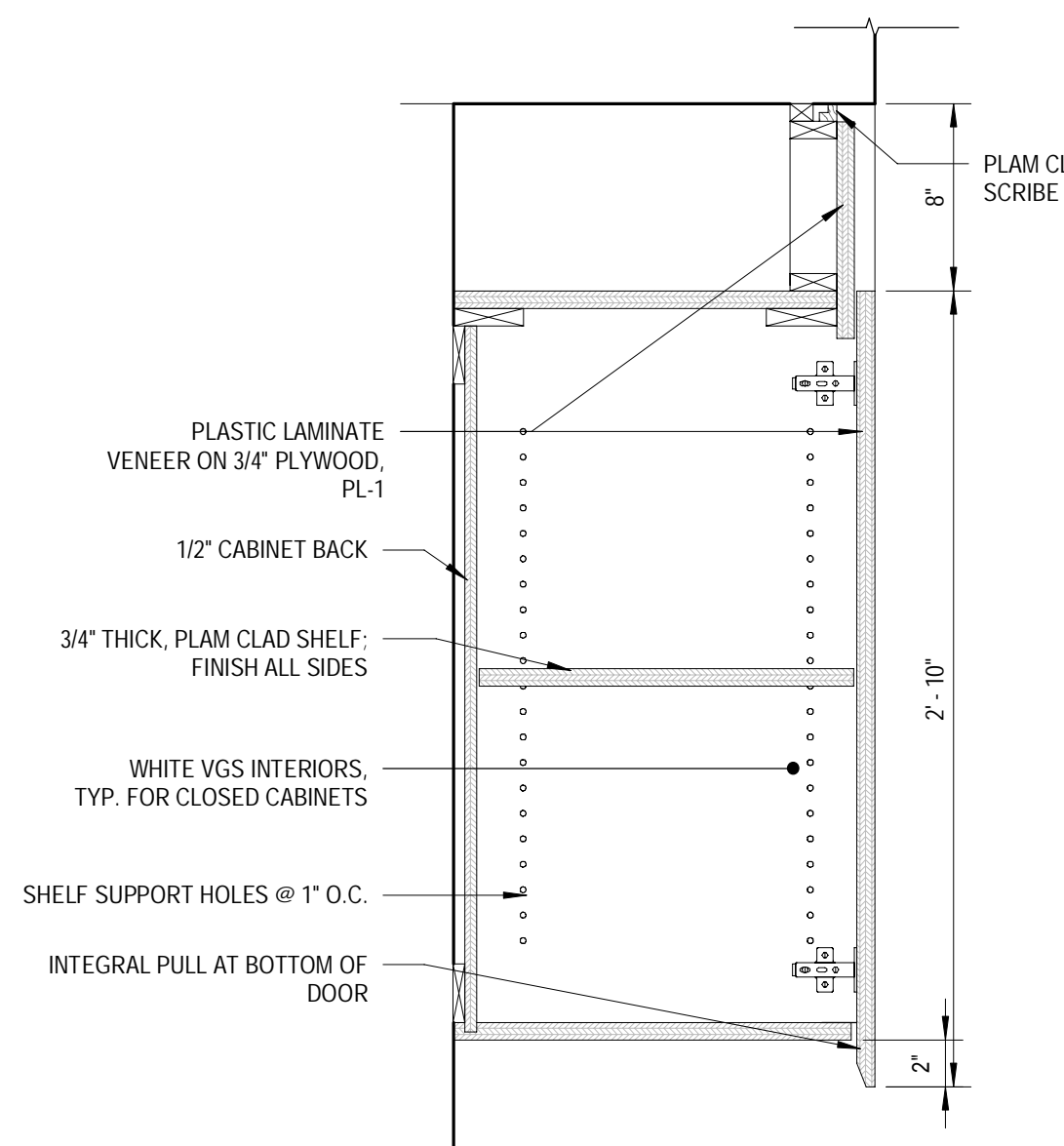
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MILLWORK DETAILS

NUMBER:

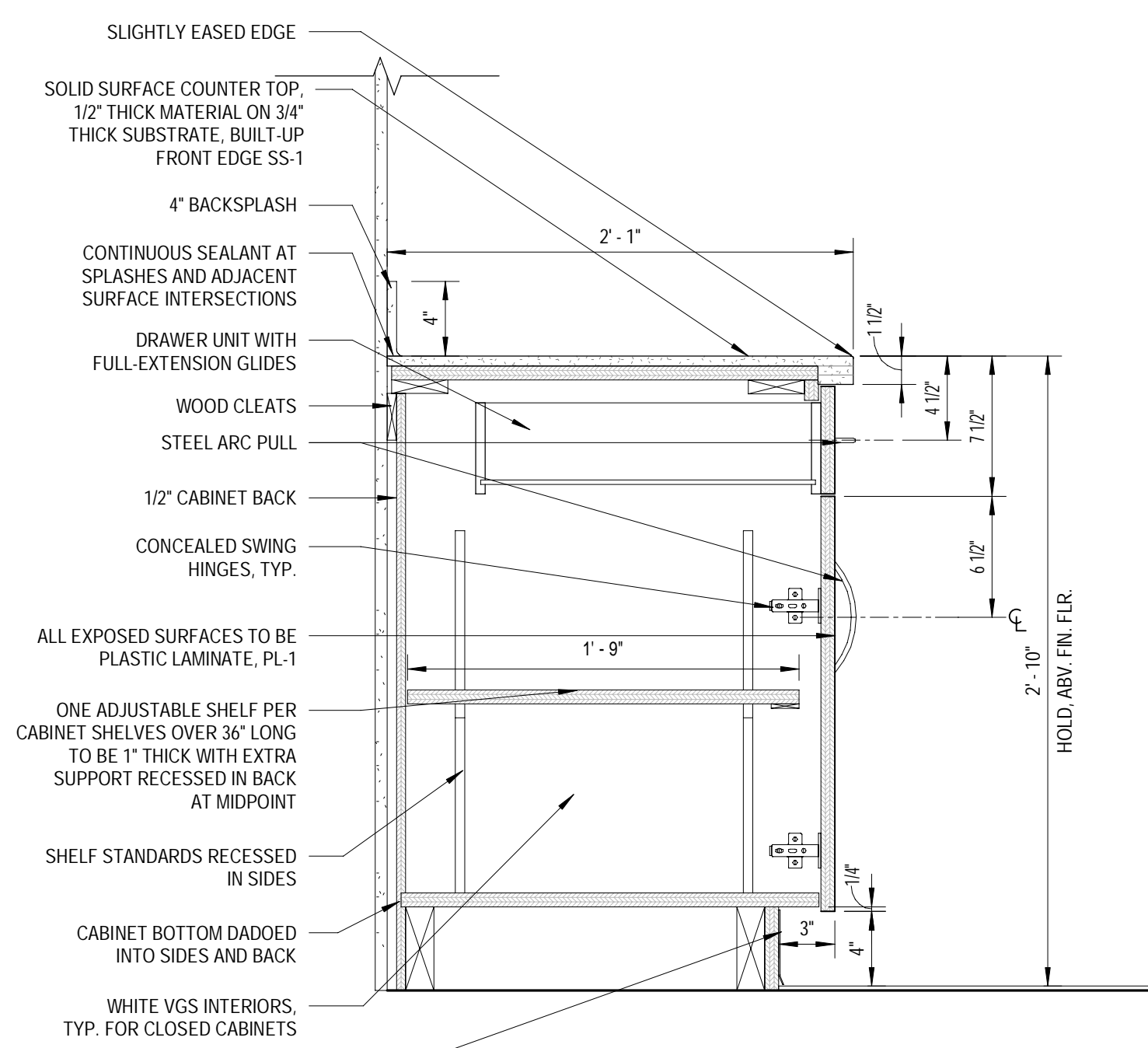
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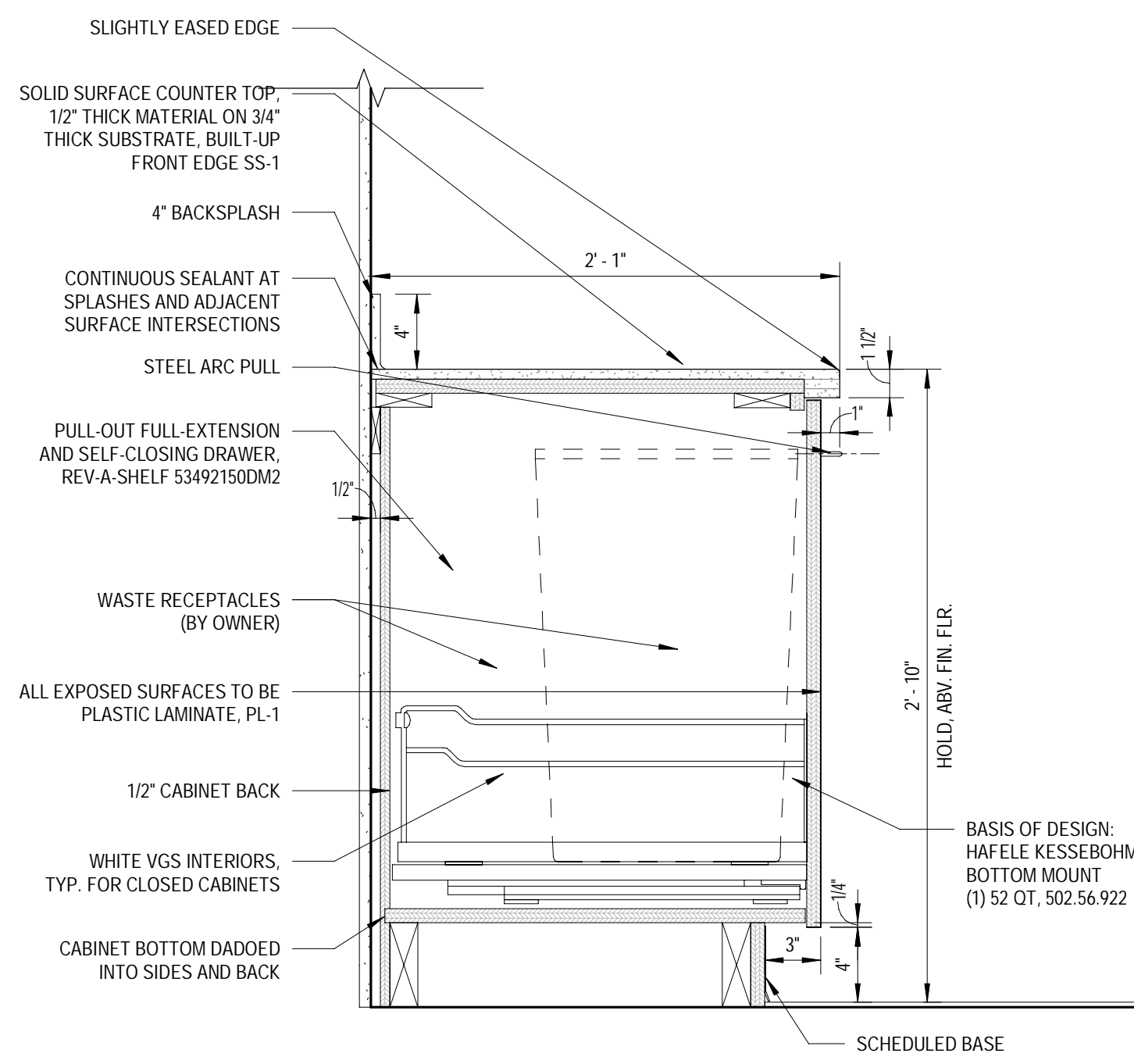
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BASE CABINET TRASH DRAWER



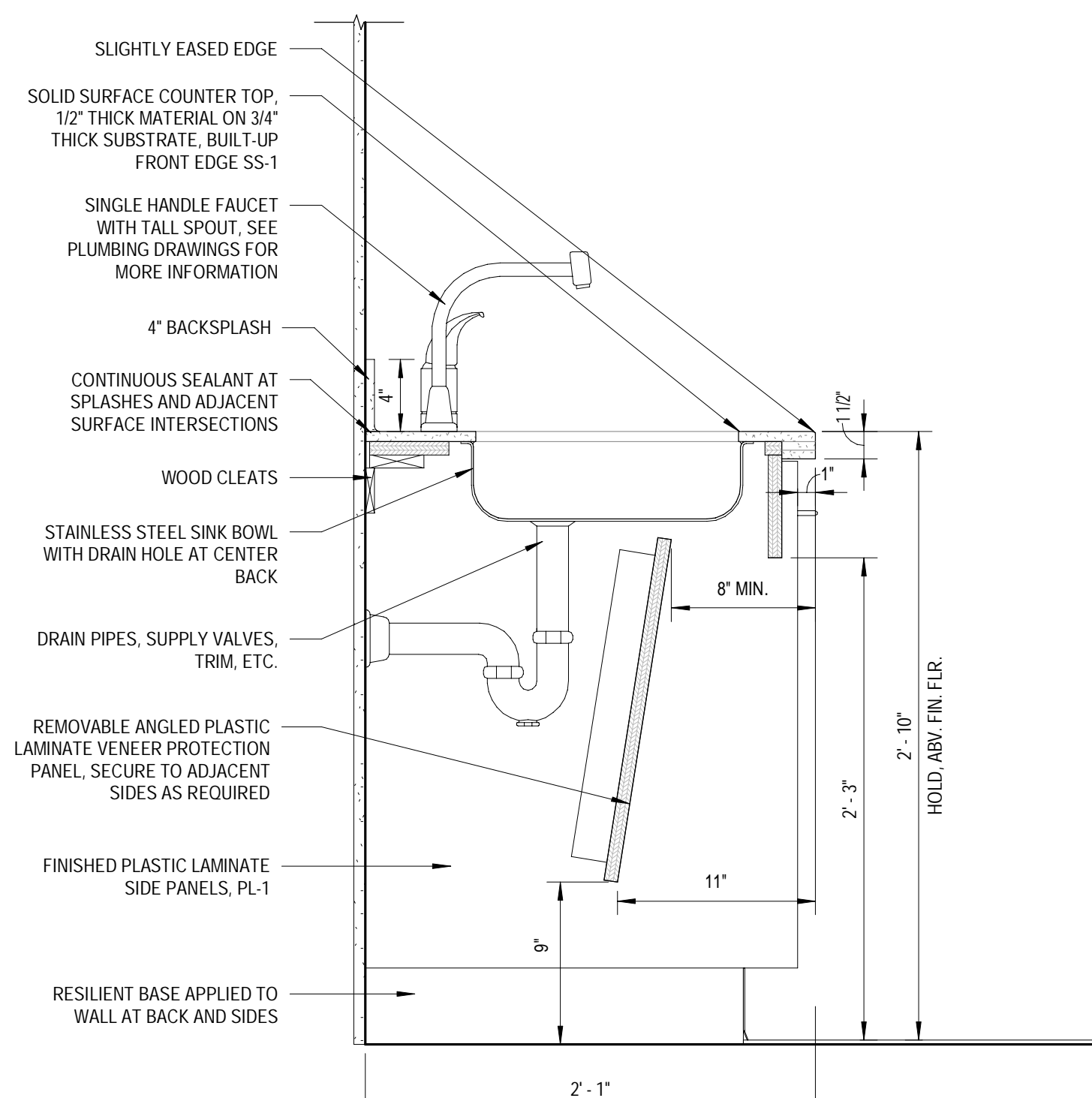
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TYPICAL UPPER CABINET



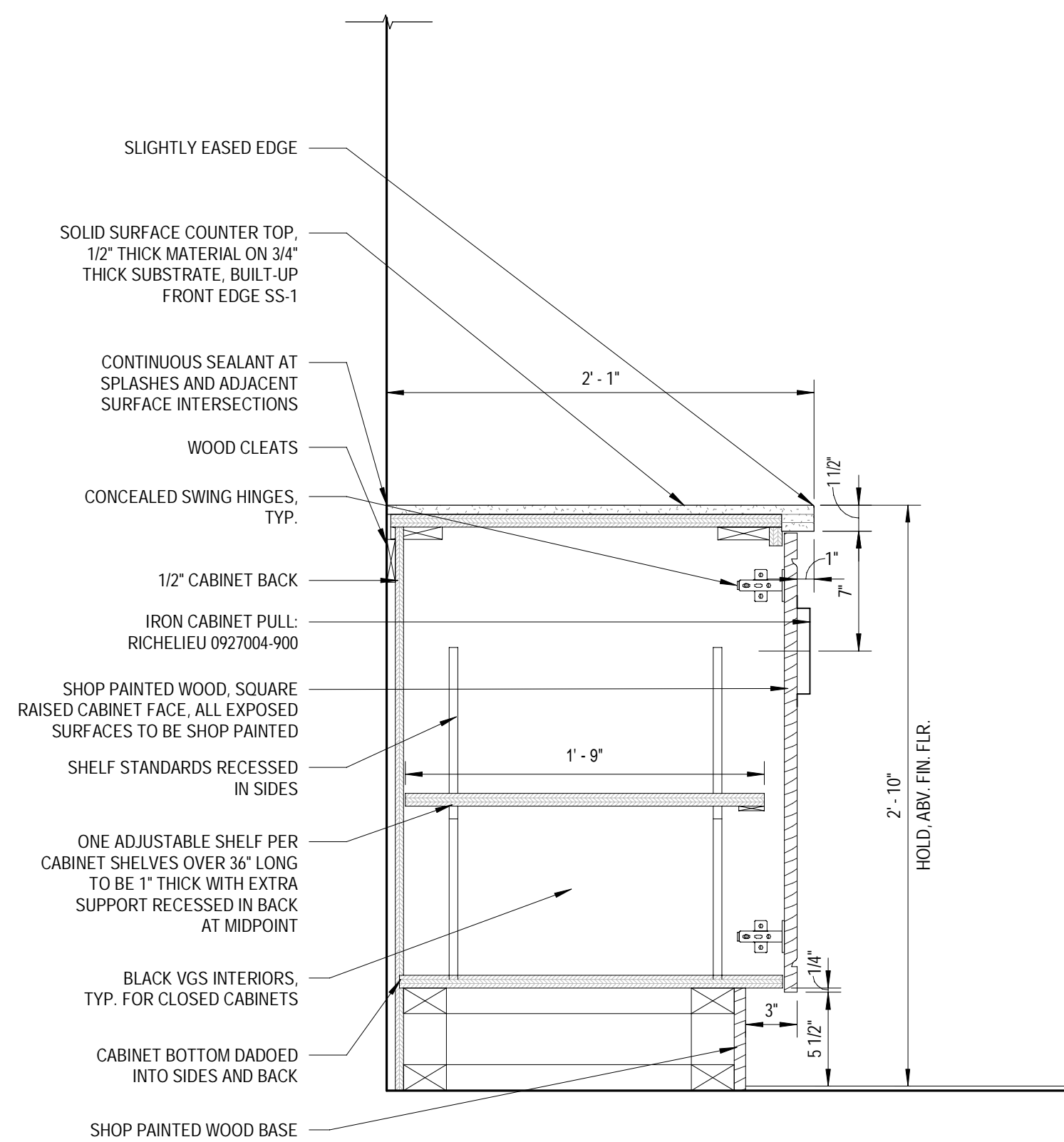
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BASE CABINET WITH DRAWER



1 1/2" = 1'-0" **3** SECTION DETAIL
BASE CABINET TRASH DRAWER

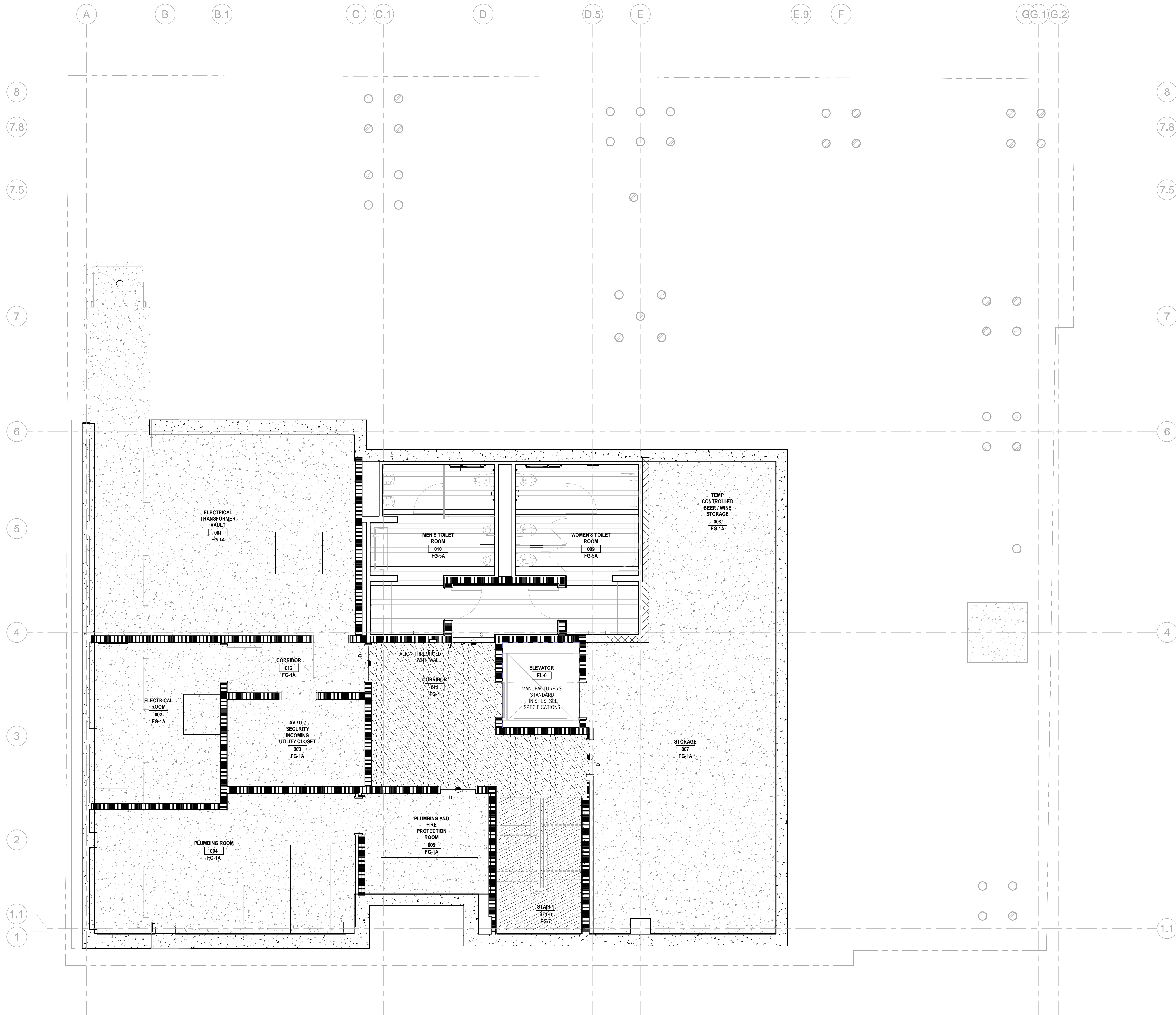


1 1/2" = 1'-0" **2** SECTION DETAIL
BASE CABINET WITH SINK



1 1/2" = 1'-0" **1** SECTION DETAIL
BASE CABINET @ PEG MULLANS

FINISH LEGEND	
	CFT-1 PORCELAIN FLOOR TILE
	CFT-2 QUARRY FLOOR TILE
	CPT-1 CARPET TILE
	RES-1 RESINOUS FLOORING
	RES-2 RESINOUS FLOORING
	RST-1 RUBBER FLOORING
	SC-1 SEALED CONCRETE
	WDF-1 RECLAIMED WOOD FLOORING
	WT-1 WOOD STAIR TREAD
	BR-1 BRICK
	BR-2 DONOR BRICK
	WKF-1 WALK OFF MAT
	LUXURY VINYL TILE FLOORING



1/4" = 1'-0" 1 FINISH PLAN
CELLAR FINISH PLAN



THE TUN

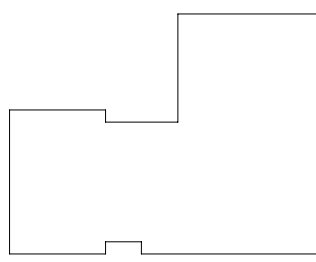
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02/28/2025 PERMIT SET

01/31/2025 ISSUE 3

11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: As indicated

ARCHITECTURE

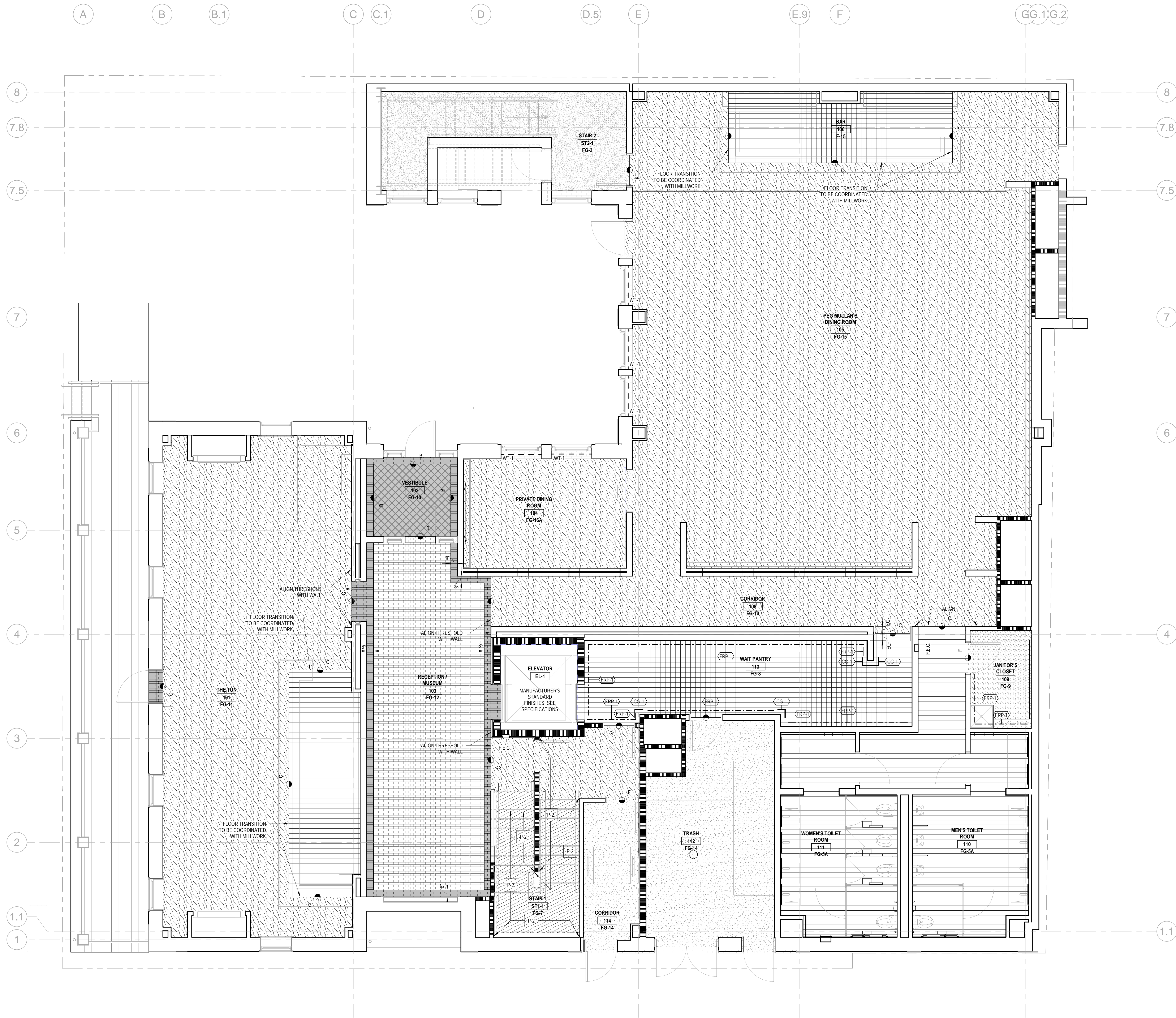
TITLE:

CELLAR FINISH
PLAN

NUMBER:

A900

FINISH LEGEND	
	CFT-1 PORCELAIN FLOOR TILE
	CFT-2 QUARRY FLOOR TILE
	CPT-1 CARPET TILE
	RES-1 RESINOUS FLOORING
	RES-2 RESINOUS FLOORING
	RST-1 RUBBER FLOORING
	SC-1 SEALED CONCRETE
	WDF-1 RECLAIMED WOOD FLOORING
	WT-1 WOOD STAIR TREAD
	BR-1 BRICK
	BR-2 DONOR BRICK
	WKF-1 WALK OFF MAT
	LUXURY VINYL TILE FLOORING



THE TUN

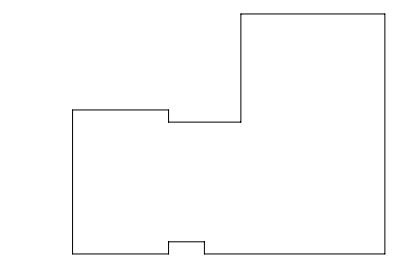
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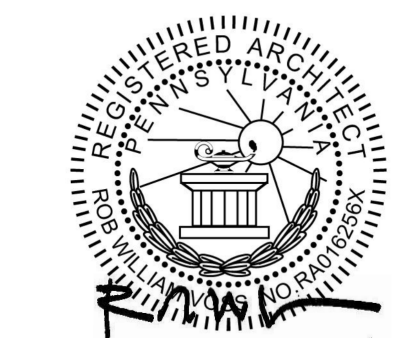
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02/28/2025 PERMIT SET
01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: As indicated
ARCHITECTURE
TITLE:

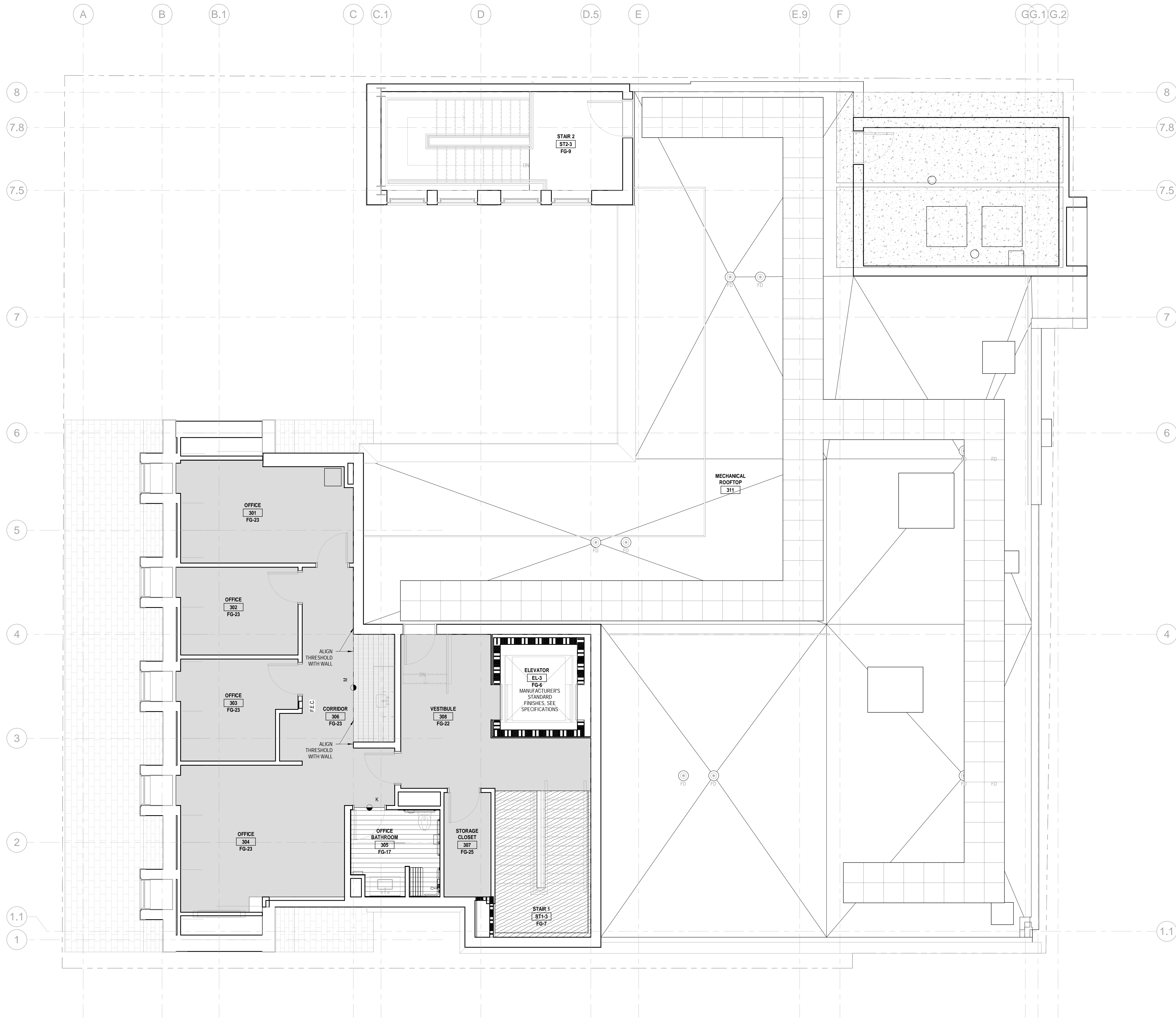
FIRST FLOOR FINISH
PLAN

NUMBER:

A901

1/4" = 1'-0" 1 FINISH PLAN
FIRST FLOOR FINISH PLAN

FINISH LEGEND	
	CFT-1 PORCELAIN FLOOR TILE
	CFT-2 QUARRY FLOOR TILE
	CPT-1 CARPET TILE
	RES-1 RESINOUS FLOORING
	RES-2 RESINOUS FLOORING
	RST-1 RUBBER FLOORING
	SC-1 SEALED CONCRETE
	WDF-1 RECLAIMED WOOD FLOORING
	WT-1 WOOD STAIR TREAD
	BR-1 BRICK
	BR-2 DONOR BRICK
	WKF-1 WALK OFF MAT
	LUXURY VINYL TILE FLOORING



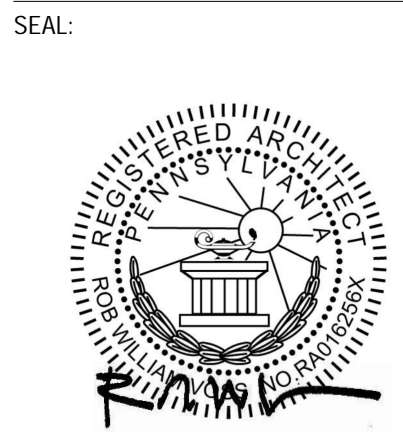
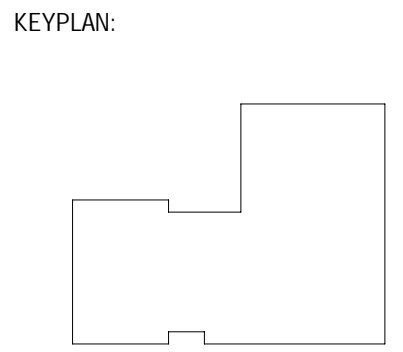
1/4" = 1'-0" 1 FINISH PLAN
THIRD FLOOR FINISH PLAN



THE TUN
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01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: As indicated
ARCHITECTURE
TITLE:

THIRD FLOOR
FINISH PLAN

NUMBER:
A903



1/4" = 1'-0" 1 FURNITURE PLAN
CELLAR FURNITURE PLAN



THE TUN

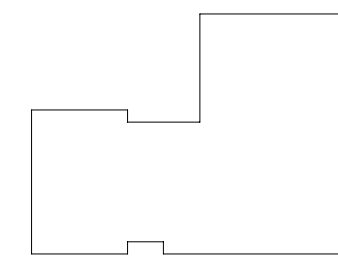
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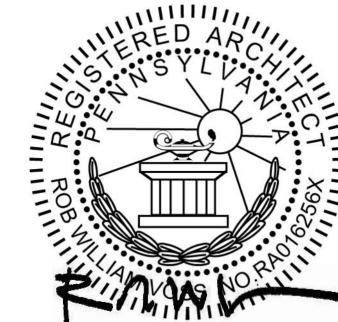
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02/28/2025 PERMIT SET
01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: 1/4" = 1'-0"

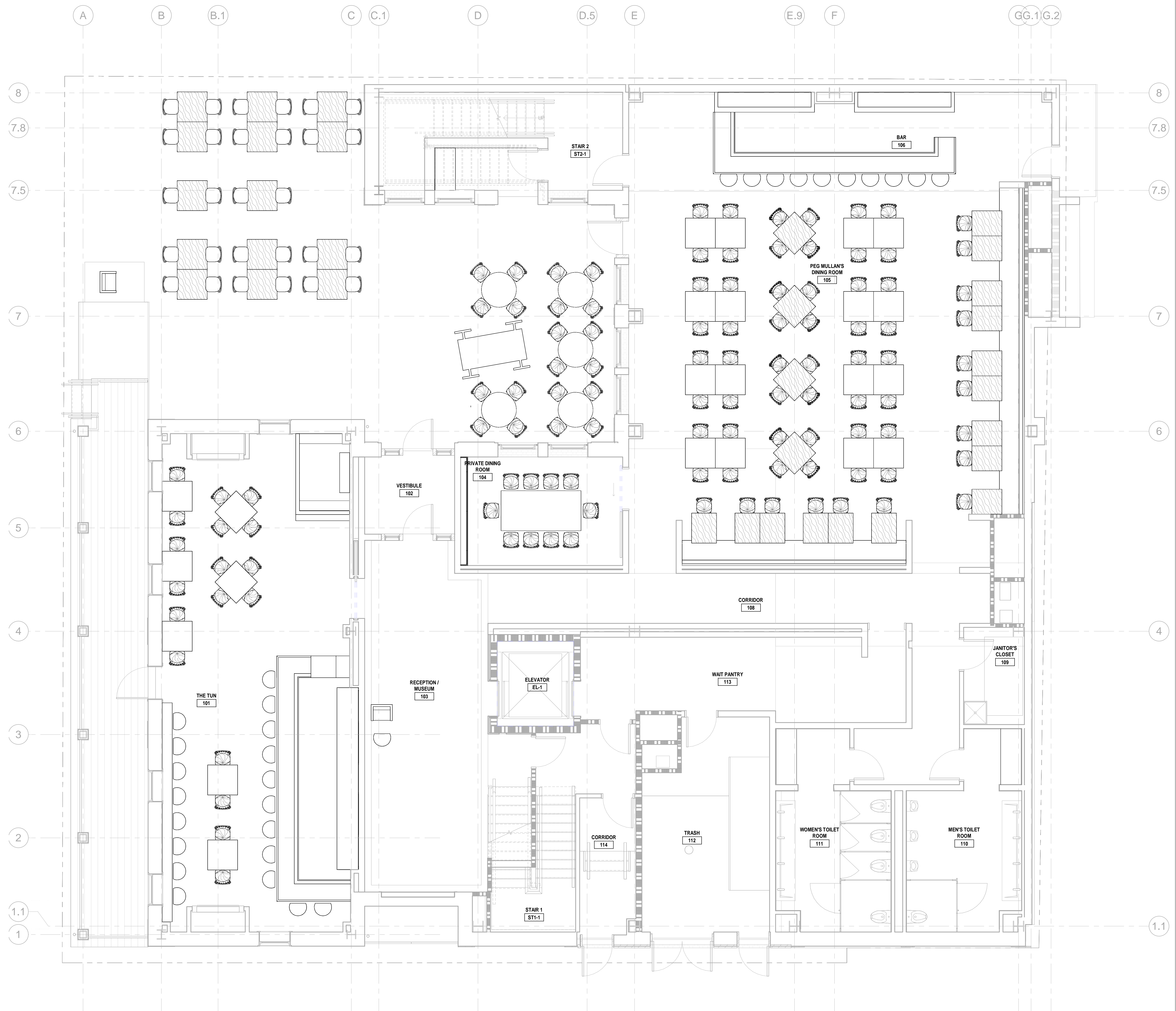
ARCHITECTURE

TITLE:

CELLAR FURNITURE
PLAN

NUMBER:

A950



THE TUN

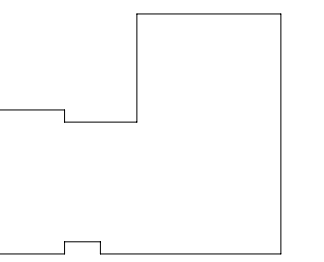
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01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

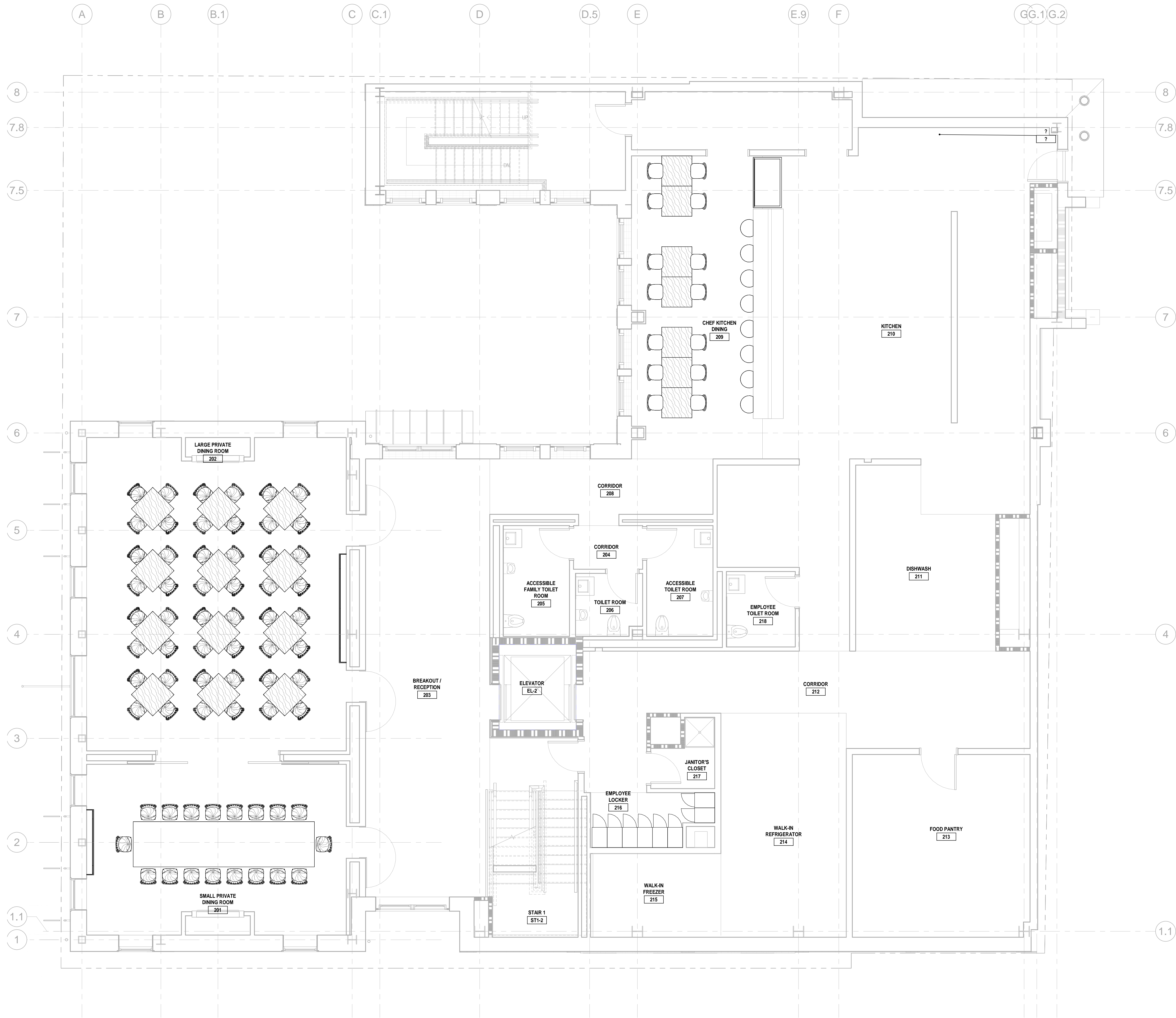
PROJECT: 23053.00
SCALE: 1/4" = 1'-0"
ARCHITECTURE
TITLE:

FIRST FLOOR
FURNITURE PLAN

NUMBER:

A951

1/4" = 1'-0" 1 FURNITURE PLAN
FIRST FLOOR FURNITURE PLAN



1/4" = 1'-0" 1 FURNITURE PLAN
SECOND FLOOR FURNITURE PLAN



THE TUN

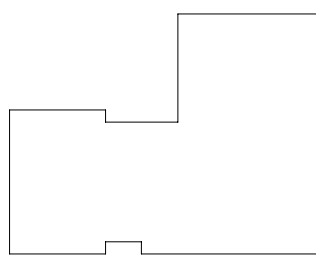
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02/28/2025 PERMIT SET

01/31/2025 ISSUE 3

11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: 1/4" = 1'-0"

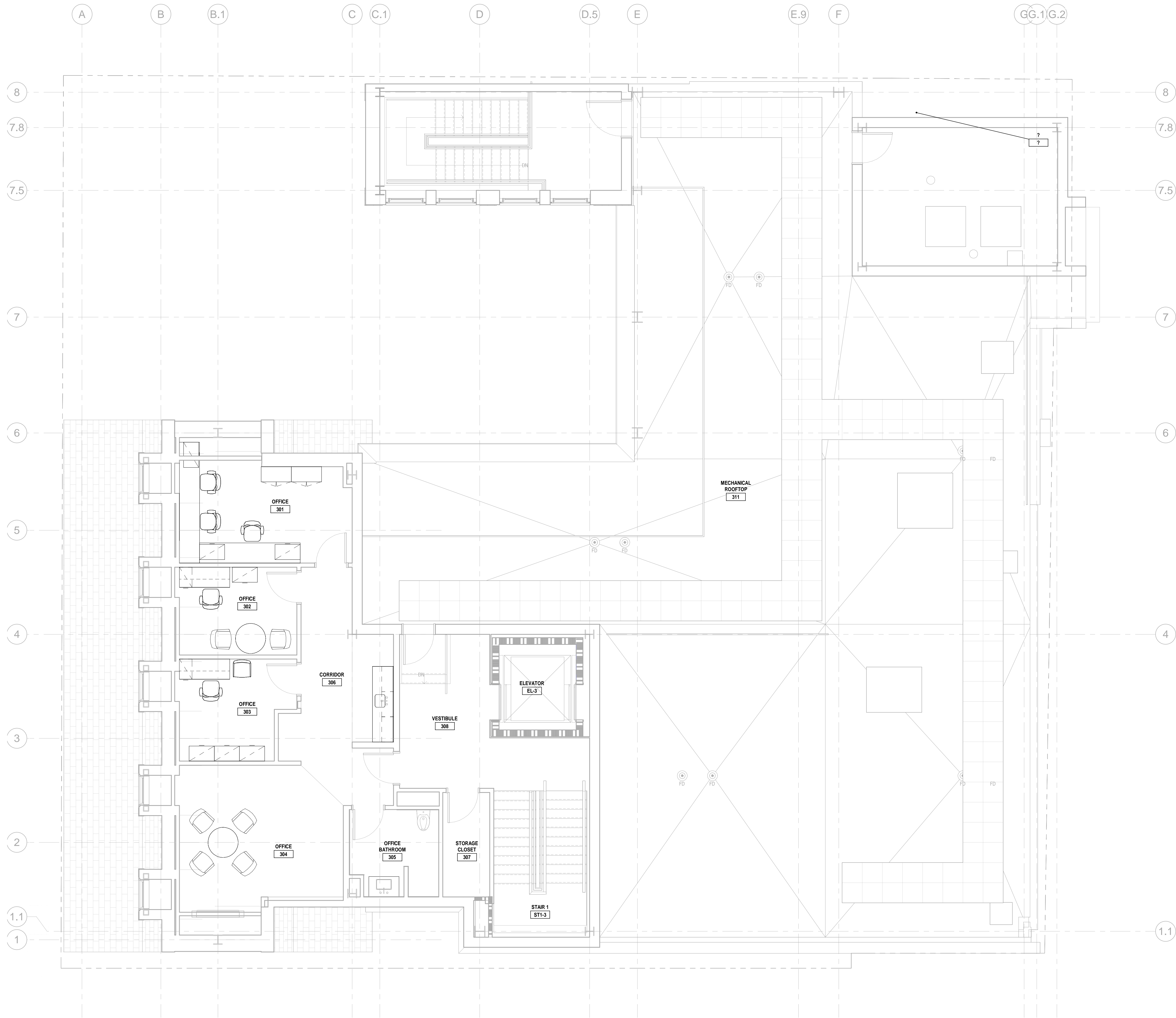
ARCHITECTURE

TITLE:

SECOND FLOOR
FURNITURE PLAN

NUMBER:

A952



1/4" = 1'-0" 1 FURNITURE PLAN
THIRD FLOOR FURNITURE PLAN



THE TUN

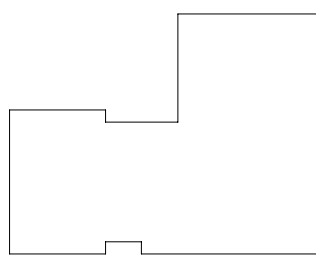
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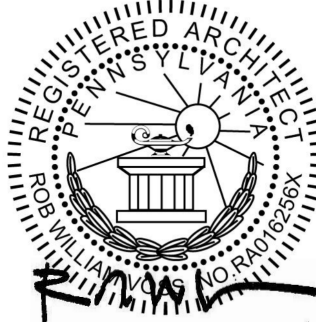
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11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: 1/4" = 1'-0"

ARCHITECTURE

TITLE:

THIRD FLOOR
FURNITURE PLAN

NUMBER:

A953

THE TUN

PERMIT SET

PHILADELPHIA, PENNSYLVANIA

FEBRUARY 28, 2025

PREPARED FOR:

OWNER/DEVELOPER

TUN TAVERN LEGACY FOUNDATION, INC.

27 N. HILL TOP DRIVE

CHURCHVILLE, PENNSYLVANIA 18966

UTILITY USERS LIST

REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, ASSIGNED SERIAL NUMBER 2023262223, IN ACCORDANCE WITH PA ACT 287 AS OF 1974 AS AMENDED BY ACT 50 OF 2017, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA, VIA THE PENNSYLVANIA ONE CALL SYSTEM, A MINIMUM OF 3 WORKING DAYS BEFORE THE START OF EXCAVATION. (800) 242-1776

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ADDRESS: 1100 3RD AVE
ALTOONA, PA 16602
CONTACT: PAT SUTTON
EMAIL: PS4364@ATT.COM
PHONE: 814-321-6470

COMPANY: ZAYO BANDWIDTH FORMERLY PPL TELECOM LLC
ADDRESS: 170 ROBBINS RD
DOWNTOWN, PA 19335
CONTACT: JOHN HOWELLS
EMAIL: JOHN.HOWELLS@ZAYO.COM
PHONE: 610-476-1534

COMPANY: COMCAST
ADDRESS: 1290 HADDONFIELD, BERLIN RD
CHERRY HILL, NJ 08034
CONTACT: WYATT PARRISH
EMAIL: WYATT_PARRISH@CABLE.COMCAST.COM
PHONE: 484-368-4391

COMPANY: INDEPENDENCE NATIONAL HISTORIC PARK
ADDRESS: 143 S 3RD ST
PHILADELPHIA, PA 19106
CONTACT: RICARDO NIEVES
EMAIL: RICARDO_NIEVES@NPS.GOV
PHONE: 267-250-1457

COMPANY: PECO AN EXELON COMPANY C/O USIC
ADDRESS: 450 S HENDERSON RD, SUITE B
KING OF PRUSSIA, PA 19106
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMPKINS@USICLLC.COM
PHONE: 484-681-5720

COMPANY: LUMEN FORMERLY LEVEL 3
ADDRESS: 1025 ELDORADO BLVD
BROOKFIELD, CO 80021
CONTACT: LUMEN OPERATOR PERSONNEL
EMAIL: RELOCATIONS@LUMEN.COM
PHONE: 877-366-6344 EXT. 3

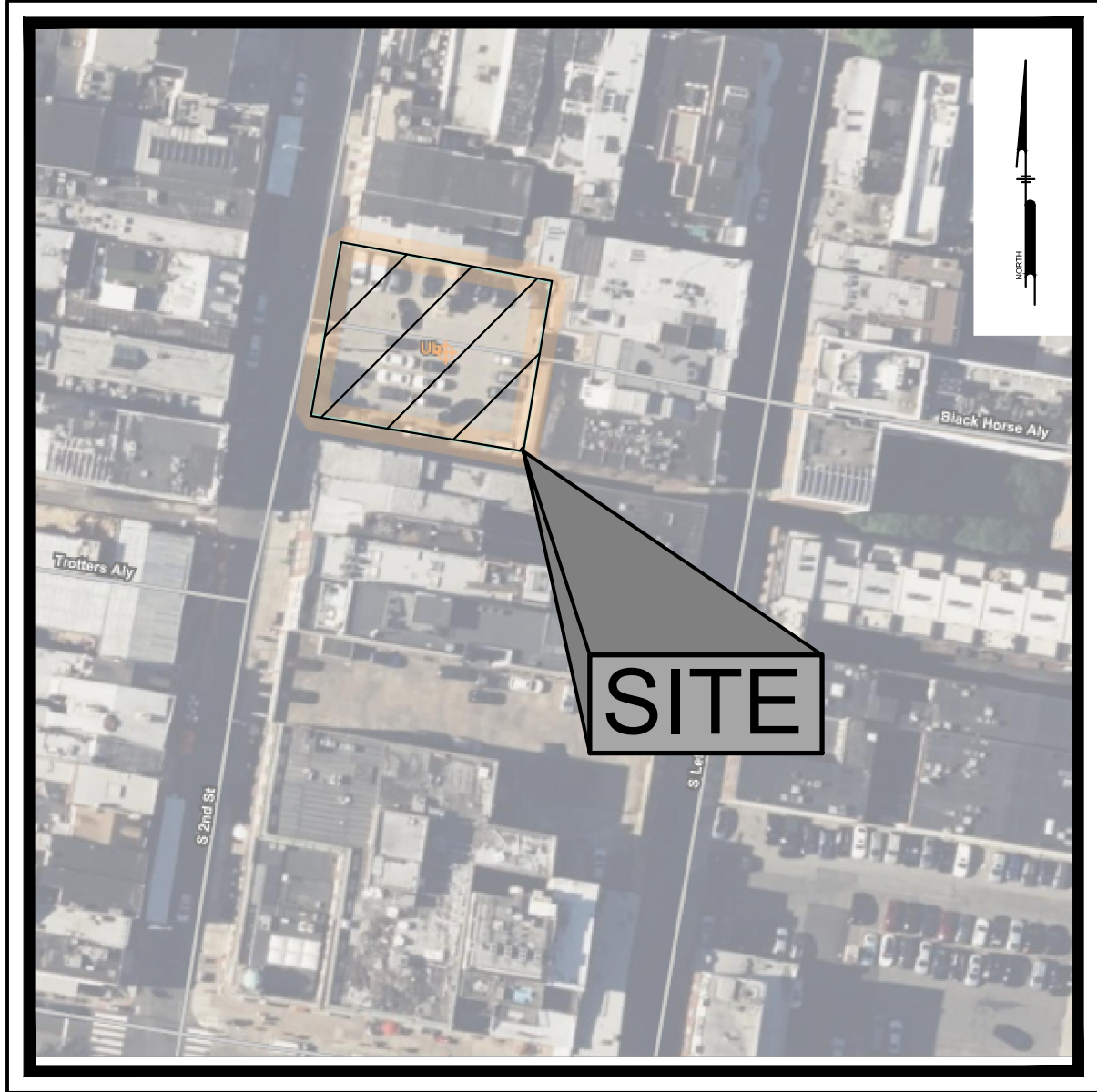
COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET ST
JEFFERSON TOWER, 2ND FLOOR
PHILADELPHIA, PA 19111
CONTACT: ERIC PONENT
EMAIL: ERIC.PONENT@PHILA.GOV
PHONE: 215-685-6353

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 4001 G ST
PHILADELPHIA, PA 19124
CONTACT: JAMES CUMMINGS
EMAIL: JAMES.CUMMINGS@PGWORKS.COM
PHONE: 215-684-6415

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1234 MARKET ST, 12TH FLOOR
PHILADELPHIA, PA 19107
CONTACT: TYLER LADD
EMAIL: TLADD@SEPTA.ORG
PHONE: 215-580-8015

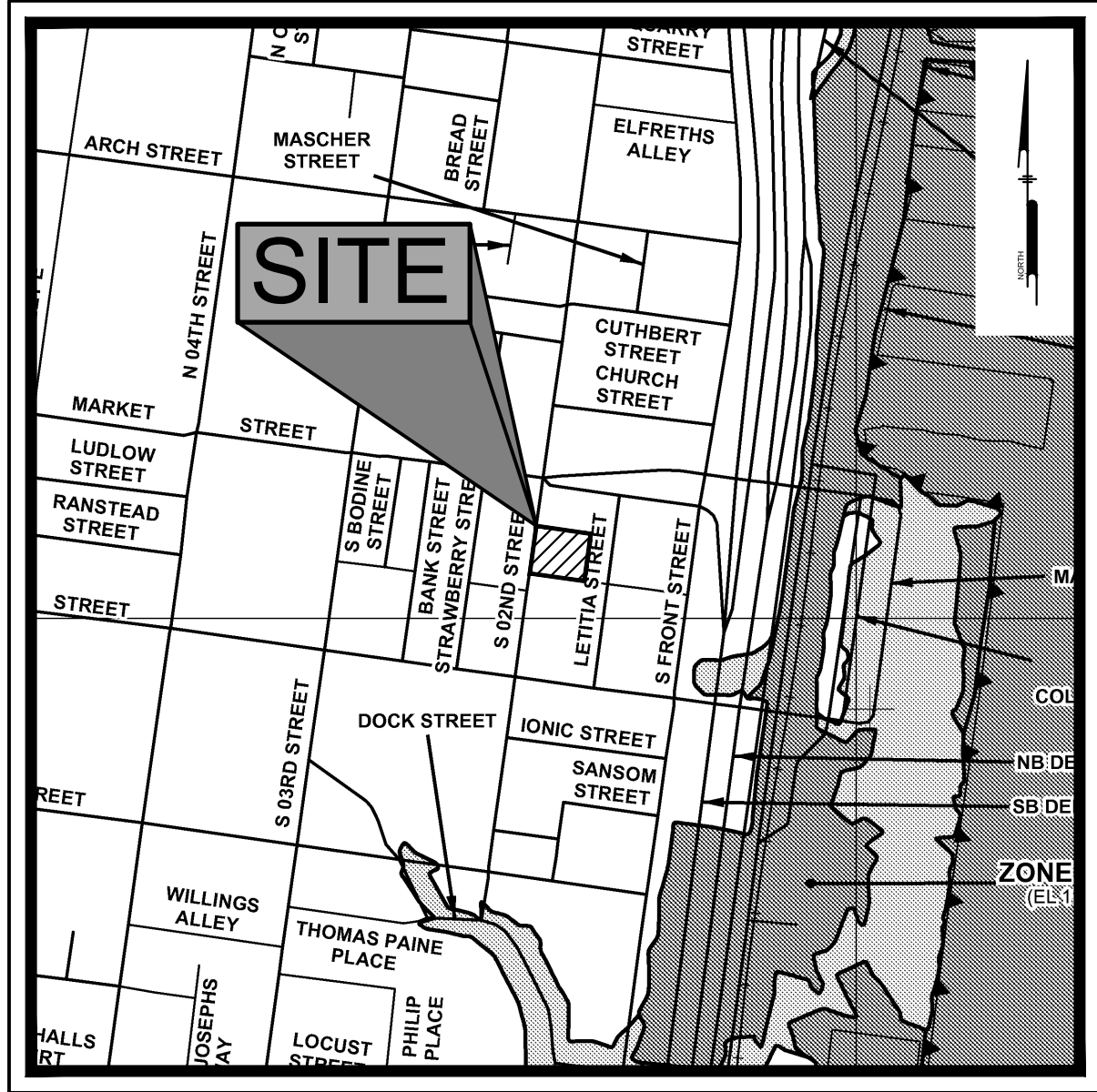
COMPANY: VICINITY ENERGY
ADDRESS: 2600 CHRISTIAN ST
PHILADELPHIA, PA 19146
CONTACT: ERIC ELZEY
EMAIL: ERIC.ELZEY@VICINITYENERGY.US
PHONE: 267-350-5846

COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 7000 WESTON PKWY
GARY, IN 47753
CONTACT: VICTOR WOOD
EMAIL: VICTOR.S.WOOD@VERIZON.COM
PHONE: 919-414-2782



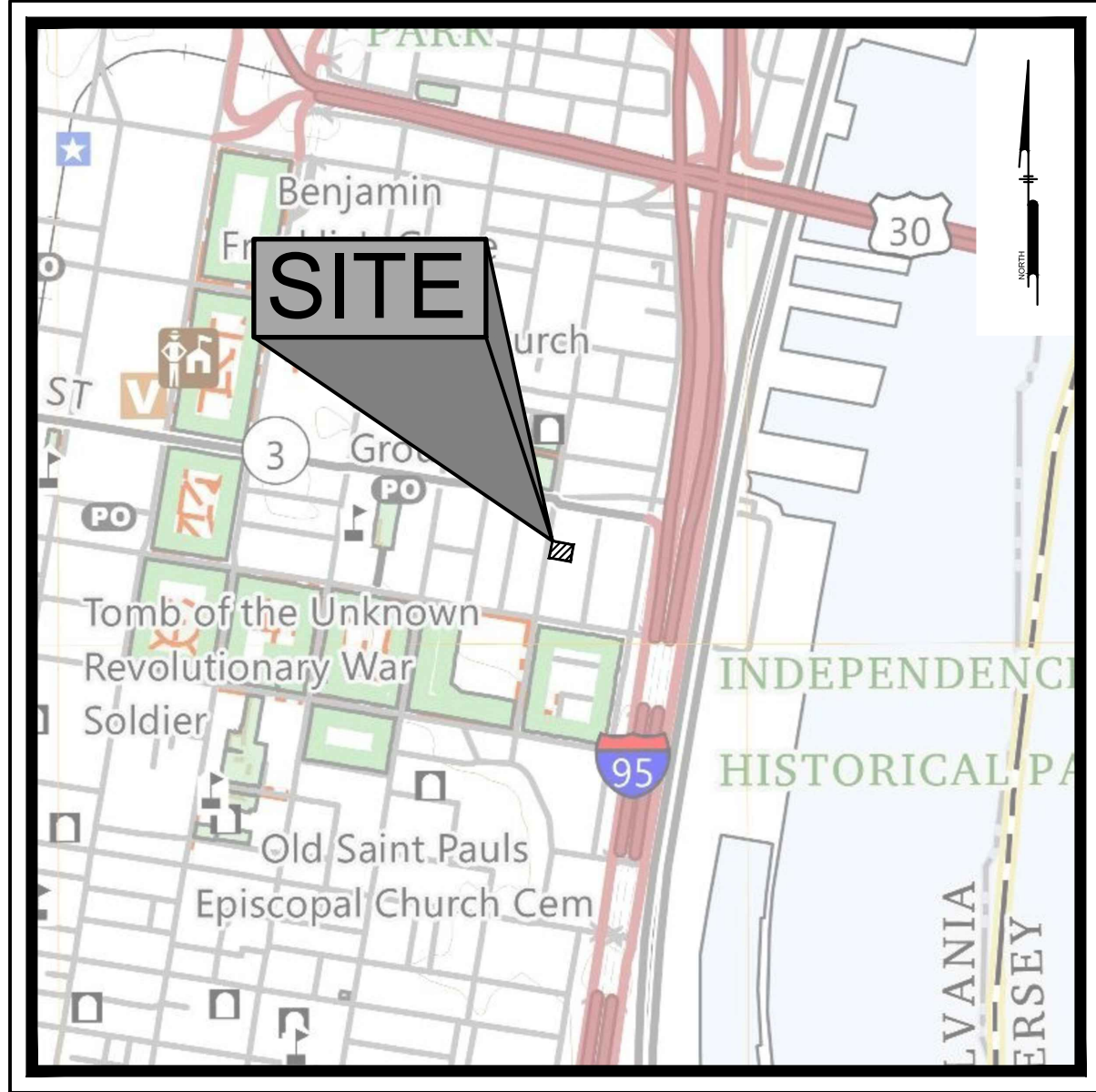
SOILS MAP

Scale: 1" = 30'



FEMA MAP

Scale: 1" = 500'

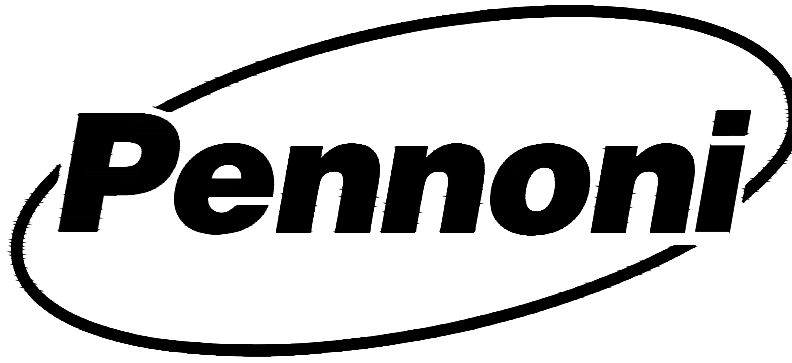


USGS MAP

Scale: 1" = 500'

PREPARED BY:

PENNONI ASSOCIATES INC.



1900 Market Street, Suite 300
Philadelphia, PA 19103
T 215.222.3000
F 215.222.3588

SHEET LIST TABLE				
SHEET	PAGE	SHEET TITLE	ISSUED DATE	REVISED DATE
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CS1001	4	SITE PLAN	5/24/2024	1/31/2025
CS1501	5	GRADING PLAN	5/24/2024	1/31/2025
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CS6001	7	SITE DETAILS	5/24/2024	1/31/2025
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CS6003	9	SITE DETAILS	7/10/2024	1/31/2025
CS8001	10	EROSION & SEDIMENT CONTROL PLAN	5/24/2024	1/31/2025
CS8501	11	EROSION & SEDIMENT CONTROL DETAILS	5/24/2024	1/31/2025
CS8502	12	EROSION & SEDIMENT CONTROL NOTES	5/25/2024	1/31/2025



THE TUN

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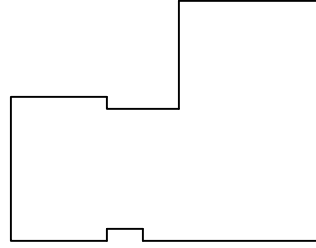
833 Chestnut Street / Suite 1400
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CONSULTANTS:



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KEYPLAN:



SEAL:



CONDITION OF USE
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02/28/2025 PERMIT SET

01/31/2025 ISSUE 1

11/10/2024 ISSUE 2

D R A W I N G I S S U E

PROJECT: 23053.00

SCALE: AS SHOWN

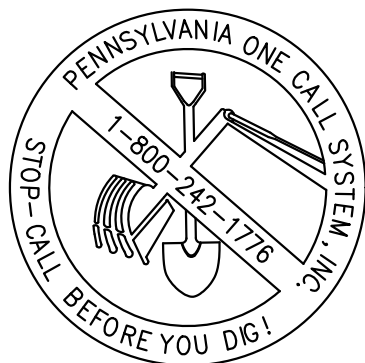
CIVIL

TITLE:

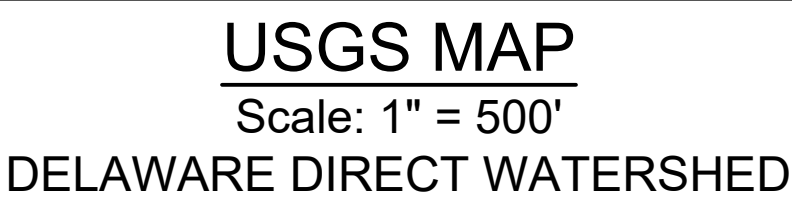
COVER SHEET

NUMBER:

CS0001



J:\Accounting\TUNTA\TUNTA23001 - Tun Tunmy Design SHEETS\CS20201.dwg PLOTTED: 2/27/2025 9:28 AM BY: Danielle Andrews PLOTSTYLE: Pntrn1 NCS.ctb



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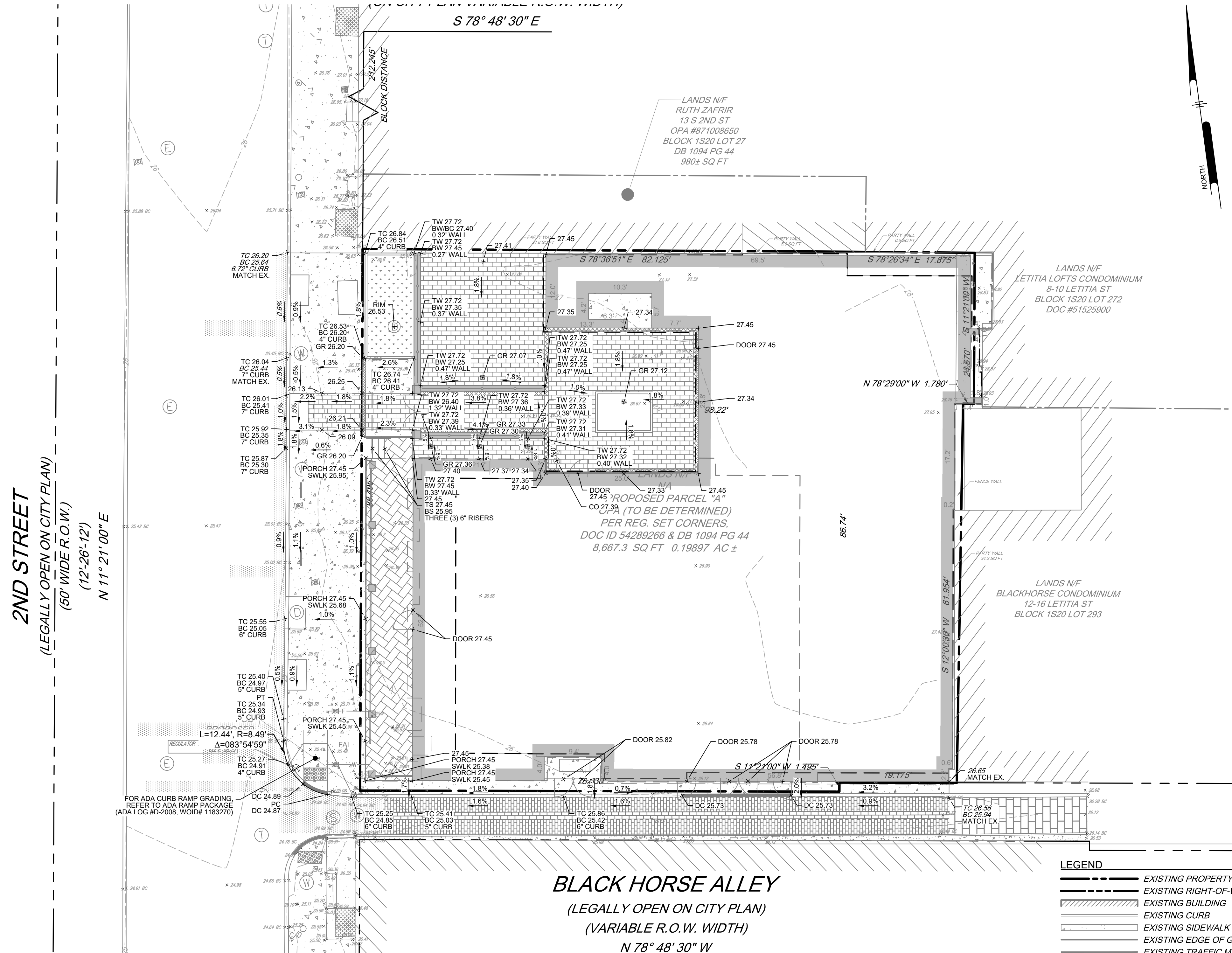
1. BY GRAPHIC PLATTING ONLY, BASED UPON THE FLOOD INSURANCE RATE MAP, PANEL NO. 184 OF 230 COMMUNITY MAP NO. 420757104H, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 18, 2015, THE SITE IS LOCATED IN ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
2. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

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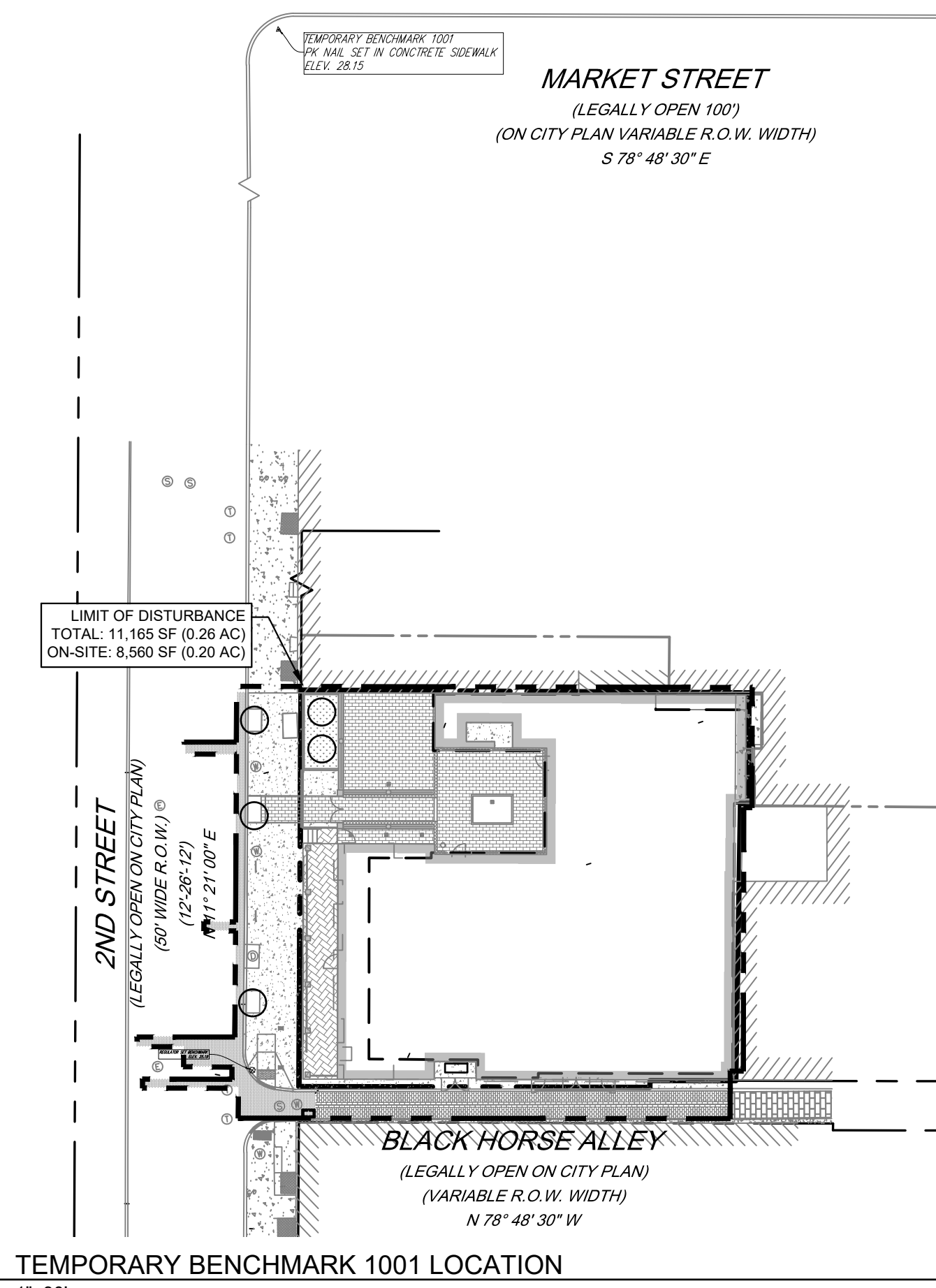
CS0201



CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.
SERIAL NUMBER(S): 2023262223



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	EXISTING BUILDING
	EXISTING CURB
	EXISTING SIDEWALK
	EXISTING EDGE OF GRAVEL
	EXISTING TRAFFIC MARKING
	EXISTING FENCE
	EXISTING TREE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING PEDESTRIAN/STREET LIGHT
	EXISTING FIRE HYDRANT
	EXISTING CITY INLET
	EXISTING UNDERGROUND SEWER LINE
	EXISTING UNDERGROUND WATER LINE
	EXISTING UNDERGROUND COMMUNICATION LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND GAS LINE
	EXISTING UNDERGROUND STORM LINE
	EXISTING UTILITY STRUCTURES
	PROPOSED BUILDING AT GRADE
	PROPOSED BUILDING OVERHEAD
	PROPOSED DOOR
	PROPOSED OUTDOOR PORCH
	PROPOSED PAVERS
	PROPOSED STONE BANDING
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED DETECTABLE WARNING SURFACE
	PROPOSED CURB
	PROPOSED BICYCLE RACK
	PROPOSED TREE
	PROPOSED LANDSCAPING
	PROPOSED WALL
	PROPOSED FENCING



GENERAL NOTES:

- SITE ADDRESS:**
15-25 S 2ND STREET
PHILADELPHIA, PA 19106
- OWNER/APPLICANT:**
TUN TAVERN LEGACY FOUNDATION, INC.
P.O. BOX 52849
PHILADELPHIA, PA 19115
- ENGINEER:**
PENNONI ASSOCIATES INC.
1900 MARKET STREET, SUITE 300
PHILADELPHIA, PA 19103
- NOTES:**
LOCATION: THE PROJECT IS BOUND BY BLACK HORSE ALLEY TO THE SOUTH, 8-10 S 2ND STREET AND 12-16 S 2ND STREET TO THE EAST, 13 S 2ND STREET TO THE NORTH, AND S 2ND STREET TO THE WEST.
PREVIOUS OPA ACCOUNT FOR 15-25 S 2ND ST: 88576500
PREVIOUS OPA ACCOUNT FOR 15-25 S 2ND ST: 88576500
LOT CONSOLIDATION FOR 15-17 S 2ND ST AND 15-25 S 2ND ST, PROPOSED PARCEL "A", WAS APPROVED AND STAMPED BY CITY REGULATOR ON 06/07/2024. OPA TO BE DETERMINED.
- SITE BENCHMARK NOTE:**
TEMPORARY SET BENCHMARK 1001
ELEVATION = 28.15'
LOCATION: WITHIN THE SIDEWALK AT THE INTERSECTION OF THE SOUTH SIDE OF MARKET STREET AND THE EAST SIDE OF S 2ND STREET.
- THE INTENT OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF A RESTAURANT WITH ASSOCIATED PROPOSED UTILITIES AND OTHER PROPOSED IMPROVEMENTS SUCH AS AN OUTDOOR PLAZA, A PORCH, AND ASSOCIATED LANDSCAPING.
 - THE PROJECT IS LOCATED ENTIRELY WITHIN THE COMMUNITY COMMERCIAL MIXED USE (CMX-3) ZONING DISTRICT ACCORDING TO THE URS NICES CUSTOM SOIL RESOURCE REPORT FOR PHILADELPHIA COUNTY, PENNSYLVANIA. LANDS LOCATED WITHIN THE PROJECT BOUNDARY ARE CLASSIFIED AS URBAN LAND (UB).
 - THE SITE WILL BE SERVICED BY A PUBLIC WATER SUPPLY AND PUBLIC SEWER THROUGH THE PHILADELPHIA WATER DEPARTMENT.
 - THE PID TRACKING NUMBER FOR THIS PROJECT IS F743-TUNT-7702-01.
 - THE PID TRACKING NUMBERS FOR THIS PROJECT ARE SR-2024-020305 AND SR-2024-024711.
 - THE L&I ZONING TRACKING NUMBER FOR THIS PROJECT IS ZP-2024-002872.
 - UTILITY NOTES:**
 - THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE OBSERVATION OF THE SITE.
 - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 - IN ACCORDANCE WITH PA ACT 287 AS OF 1974 AS AMENDED BY ACT 50 OF 2017, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776).
 - THE CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
 - IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
 - ELEVATIONS ARE BASED ON PHILADELPHIA CITY DATUM.
 - ALL BOUNDARY LINES ARE DRAWN IN UNITED STATES MEASURE (US) AND DIMENSIONED IN DISTRICT MEASURE (DS). ALL PROPOSED SITE AND BUILDING DIMENSIONS ARE SHOWN IN UNITED STATES (US) MEASURE UNLESS NOTED PHILADELPHIA DISTRICT STANDARD MEASURE (DS).
 - REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, ASSIGNED SERIAL NUMBER 2023262223 IN ACCORDANCE WITH PA ACT 287 AS OF 1974, AS AMENDED, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". (800-242-1776).

REFERENCE:

- A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES INC. IN JULY OF 2023. BOUNDARY INFORMATION WAS TAKEN THROUGH AN EXISTING CONDITIONS SURVEY OF THE SITE, PERFORMED BY PENNONI ASSOCIATES INC. DATED DECEMBER 5, 2023, ENTITLED "ALTANPS LAND TITLE SURVEY PLAN (V.0301)".
- LOT CONSOLIDATION FOR 15-25 S 2ND ST, 17 S 2ND ST, AND 15-25 S 2ND ST INTO ONE LOT, PROPOSED PREMISES 15-25 S 2ND ST, WAS STAMPED AND APPROVED ON JUNE 7, 2024. PLAN ENTITLED "LOT CONSOLIDATION PLAN (V.0802)" BY PENNONI ASSOCIATES INC.

FLOOD ZONE INFORMATION:

- BY GRAPHIC PLOTTING ONLY, BASED UPON THE FLOOD INSURANCE RATE MAP, PANEL NO. 184 OF 230 COMMUNITY MAP NO. 4207570184, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 18, 2015, THE SITE IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

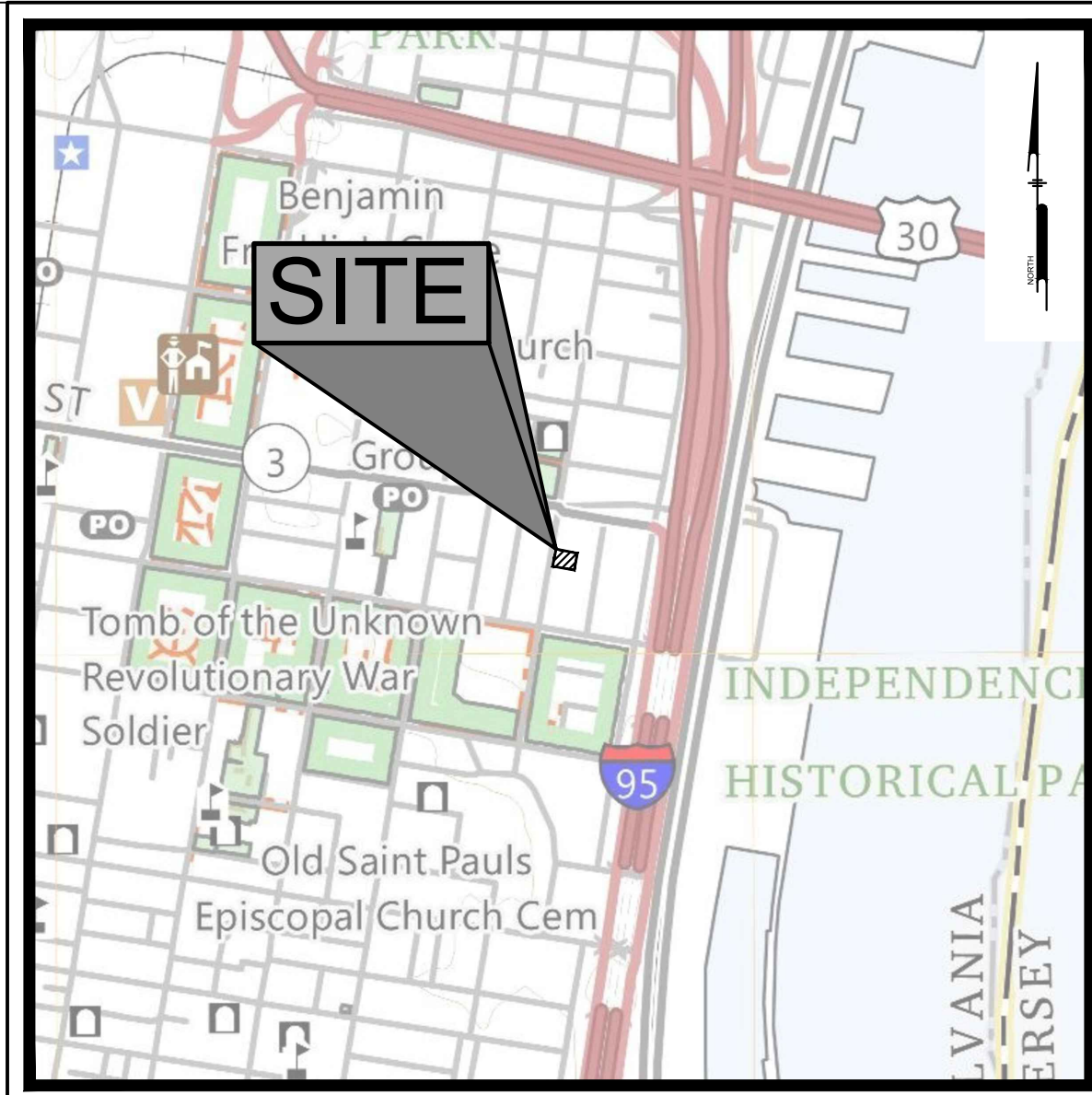
- PROPOSED STORM INLET
PROPOSED AREA DRAIN
PROPOSED SLOT DRAIN
PROPOSED STORM MANHOLE
PROPOSED FIRE DEPT. CONNECTION (FDC)
PROPOSED SPOT ELEV.
PROPOSED TOP OF CURB ELEV.
PROPOSED BOTTOM OF CURB ELEV.
GOOD VISUAL CONDITION
PROPOSED DOOR ELEV.
PROPOSED SIDEWALK ELEV.
PROPOSED BOTTOM OF WALL ELEV.
PROPOSED TOP OF STAIR ELEV.
PROPOSED BOTTOM OF STAIR ELEV.
PROPOSED SLOPE LABEL

GENERAL CONSTRUCTION AND GRADING NOTES:

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS, AS APPLICABLE:
 - PENNDOT SPECIFICATION, PUB 406/2007 OR LATEST REVISION.
 - PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72, LAST REVISED 9/19/08 OR LATEST REVISION.
 - PENNDOT HANDBOOK OF APPROVED SIGNS, PUB 236/2008 OR LATEST REVISION.
 - AMERICANS WITH DISABILITIES ACT OF JULY 1991 AS AMENDED.
 - THE PENNSYLVANIA CLEAN STREAM LAW (SP.S. SECTION 69.1 ET. SEQ.).
 - REGULATIONS OF PA CODE TITLE 25, CHAPTER 102.
 - CITY OF PHILADELPHIA STANDARDS AND SPECIFICATIONS (LATEST EDITION).
 - IN EVENT OF A CONFLICT AMONG THESE REQUIREMENTS AND/OR PLANS, THE MORE RESTRICTIVE REGULATION SHALL APPLY OR A CLARIFICATION SHALL BE OBTAINED FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING BUT NOT LIMITED TO:
 - EROSION AND SEDIMENTATION CONTROL PLAN.
 - POST CONSTRUCTION STORMWATER MANAGEMENT PLAN.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERROR THEY DISCOVER IN THE PLANS.
- EXISTING GRADES AND ELEVATIONS TO BE TIED INTO AROUND THE SITE SHALL BE VERIFIED BY THE CONTRACTOR. DEVIATIONS OF EXISTING GRADES AND ELEVATIONS FOUND IN THE FIELD BY THE CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE DESIGN ENGINEER.
- THE CONTRACTOR SHALL COORDINATE DETAIL WITH RESPECTIVE UTILITY COMPANIES.
- CONTRACTOR SHALL RESET EXISTING MANHOLE RIMS AND UTILITY STRUCTURES TO FINISHED GRADE.
- CONTRACTOR SHALL COORDINATE DETAIL WITH RESPECTIVE UTILITY COMPANIES.
- MAXIMUM SIDEWALK CROSS SLOPE IS 2% AND MINIMUM SIDEWALK CROSS SLOPE IS 0.5%.
- MINIMUM PAVEMENT GRADE SHALL BE 1.0% UNLESS NOTED OTHERWISE.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLOIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND TENANT.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION.
- HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC., WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFA 1141 S-1)
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONALLY BEDDINGS SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- BACKFILL OF TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTORS RESPONSIBILITY.
- SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTON OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER, AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH THE MUNICIPAL STANDARDS AND SPECIFICATIONS.
- PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- PAVEMENT MARKINGS ON PRIVATE PROPERTY SHALL CONFORM TO CURRENT MUTCD STANDARDS.
- INSTALLATION SOILS TO BE UNDERCUT, REMOVED, AND REPLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STAIR, RAMP, AND WALL DESIGNS AND DETAILS.
- PAVEMENT MARKINGS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPAIRED.
- MATERIALS TO BE INSTALLED/CONSTRUCTED SHALL BE DONE SO IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF MATERIALS TO BE INSTALLED/CONSTRUCTED FOR REVIEW AND APPROVAL BY THE OWNER AND ENGINEER.

PHILADELPHIA STREETS DEPARTMENT BICYCLE NOTES:

- THE PROPERTY OWNER ACCEPTS RESPONSIBILITY FOR THE REMOVING OF ANY ABANDONED BICYCLES, BICYCLE LOCKS OR CHAINS ON REGULAR BASIS, AND KEEPING SAID AREA IN A NEAT AND CLEAN CONDITION. THEY FURTHER ACCEPT THEY WILL PERFORM ROUTINE INSPECTION OF BICYCLE RACKS AND KEEP THEM IN GOOD VISUAL CONDITION.
- CORPORATE LOGOS CONTAINED WITHIN THE DESIGN OF THE BICYCLE RACK ARE PROHIBITED FROM INSTALLATION WITHOUT CITY COUNCIL ORDINANCE.
- BICYCLE RACKS FABRICATED IN A ONE-OFF FASHION REQUIRE APPROVAL OF THE PHILADELPHIA ART COMMISSION PRIOR TO OBTAINING STREETS DEPARTMENT APPROVAL.
- BICYCLE RACKS MUST ENABLE THE BICYCLE FRAME AND ONE WHEEL TO BE LOCKED TO THE BICYCLE RACK WITH STANDARD "U" LOCK.
- BICYCLE RACK FRAMES MUST BE COATED WITH A NON-RUSTING COATING MATERIAL.
- BICYCLE RACKS MUST BE SURFACE BOLTED TO A CONCRETE SUBSTRATE USING AT LEAST 4 ANCHOR BOLTS PER 42" OF LINEAR SPACE IF NOT FREE-STANDING.
- BICYCLE RACK PLACEMENTS SHOULD NEVER REDUCE THE WALKING ZONE TO LESS THAN 6 FEET.
- APPROVAL FOR ALL OTHER ENCROACHMENTS, STREET FURNITURE, DRIVEWAYS, AND PARKING LOT LAYOUTS MUST BE OBTAINED BY THE STREETS DEPARTMENT RIGHT OF WAY UNIT BY A SEPARATE APPLICATION.



USGS MAP
Scale: 1" = 500'
DELAWARE DIRECT WATERSHED



THE TUN

15-25 S SECOND ST
PHILADELPHIA, PA 19106

ballinger

833 Chestnut Street / Suite 1400
Philadelphia, PA 19107

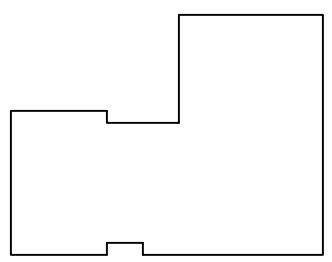
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CONSULTANTS:



PENNONI ASSOCIATES INC.
1900 Market Street, Suite 300
Philadelphia, PA 19103
T 215.222.3000 F 215.222.3588

KEYPLAN:



SEAL:



CONDITION OF USE

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02/28/2025 PERMIT SET
01/01/2025 ISSUE 1
11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: 1"=10'

CIVIL

TITLE:

GRADING PLAN

NUMBER:

CS1501



USGS MAP
Scale: 1" = 500'
DELAWARE DIRECT WATERSHED

GENERAL NOTES:

SITE ADDRESS:
15-25 S 2ND STREET
PHILADELPHIA, PA 19106

OWNER/APPLICANT:
TUN TAVERN LEGACY FOUNDATION, INC.
P.O. BOX 52649
PHILADELPHIA, PA 19115

ENGINEER:
PENNONI ASSOCIATES INC.
1900 MARKET STREET, SUITE 300
PHILADELPHIA, PA 19103

NOTES:

LOCATION: THE PROJECT IS LOCATED BY BLACK HORSE ALLEY TO THE SOUTH, 8-10 S 2ND STREET AND 12-16 S 2ND STREET TO THE EAST, 13 S 2ND STREET TO THE NORTH, AND S 2ND STREET TO THE WEST.

PREVIOUS OPA ACCOUNT FOR 15-17 S 2ND ST: 885765020

PREVIOUS OPA ACCOUNT FOR 19-25 S 2ND ST: 885765080

LOT CONSOLIDATION FOR 15-17 S 2ND ST AND 19-25 S 2ND ST, PROPOSED PARCEL "A", WAS APPROVED AND STAMPED BY CITY REGULATOR ON 06/07/2024. OPA TO BE DETERMINED.

SITE BENCHMARK NOTE:

LOCATION: WITHIN THE SIDEWALK AT THE INTERSECTION OF THE SOUTH SIDE OF MARKET STREET AND THE EAST SIDE OF S 2ND STREET.

1. THE INTENT OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF A RESTAURANT WITH ASSOCIATED PARKING AND OTHER PROPOSED IMPROVEMENTS SUCH AS AN OUTDOOR PLAZA, A PORCH, AND ASSOCIATED LANDSCAPING.
2. THE PROJECT IS LOCATED ENTIRELY WITHIN THE COMMUNITY COMMERCIAL MIXED-USE (CMX3) ZONING DISTRICT. LANDS LOCATED WITHIN THE PROJECT BOUNDARY ARE CLASSIFIED AS URBAN LAND USE.
3. THE PROJECT IS SERVICED BY A PUBLIC WATER SUPPLY AND PUBLIC SEWER THROUGH THE PHILADELPHIA WATER DEPARTMENT.
4. THE 206 TRACKING NUMBER FOR THIS PROJECT IS F2Y4-TUN-7702-01.
5. THE TRACKING NUMBERS FOR THIS PROJECT ARE SERIALIZED AND SR-0204-024711.
6. THE EA ZONING TRACKING NUMBER FOR THIS PROJECT IS ZP-2020-002872.
7. UTILITIES NOTES:
 1. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE OBSERVATION OF THE SURVEY OF THE PROPERTY.
 2. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 3. IN ACCORDANCE WITH PA ACT 287 AS OF 1974 AS AMENDED BY ACT 501 OF 2017, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA STATE CALL SYSTEM, (800-242-1776), PRIOR TO ANY EXCAVATION OR CONSTRUCTION OF THE PROJECT.
 4. STRUCTURES BEFORE THE START OF WORK.
 5. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
 6. ELEVATIONS ARE BASED ON PHILADELPHIA CITY DATUM.
 7. ALL BOUNDARY LINES ARE DRAWN IN FEET AND INCHES (F') AND DIMENSIONS IN DISTRICT MEASURE (DS). ALL PROPOSED SITE AND BUILDING DIMENSIONS ARE SHOWN IN UNITED STATES (US) MEASURE UNLESS NOTED OTHERWISE.
 8. THE PROJECT IS MADE TO PENNSYLVANIA STATE CALL SYSTEM, ENTITLED SERIAL NUMBER 2023320223 IN ACCORDANCE WITH PA ACT 287 AS OF 1974, AS AMENDED, ASSIGNED "UNDERGROUND UTILITY LINE PROTECTION LABEL" (800-242-1776).

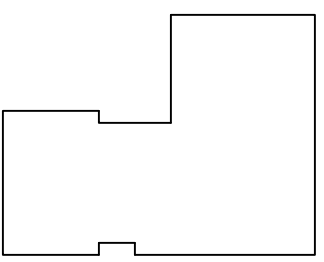
REFERENCE:-

1. A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES INC. IN JULY OF 2023. BOUNDARY INFORMATION WAS TAKEN THROUGH AN EXISTING CONDITIONS SURVEY OF THE SITE, PERFORMED BY PENNONI ASSOCIATES INC. DATED DECEMBER 5, 2023, ENTITLED "ALTA/NSPS LAND TITLE SURVEY PLAN (V-0301)".
2. LOT CONSOLIDATION FOR 15 S 2ND ST, 17 S 2ND ST, AND 19-25 S 2ND ST INTO ONE LOT, PROPOSED PREMISES 15-25 S 2ND ST, WAS STAMPED AND APPROVED ON JUNE 7, 2024. PLAN ENTITLED "LOT CONSOLIDATION PLAN (V 0802)" BY PENNONI ASSOCIATES INC.

FLOOD ZONE INFORMATION:

1. BY GRAPHIC PLATTING ONLY, BASED UPON THE FLOOD INSURANCE RATE MAP, PANEL NO. 184 OF 230 COMMUNITY MAP NO. 4207501084, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 18, 2015, THE SITE IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
2. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

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02/28/2025 PERMIT SET

01/31/2025 ISSUE 3

11/10/2024 ISSUE 2

DRAWING ISSUE

PROJECT: 23053.00

SCALE: 1"=10'

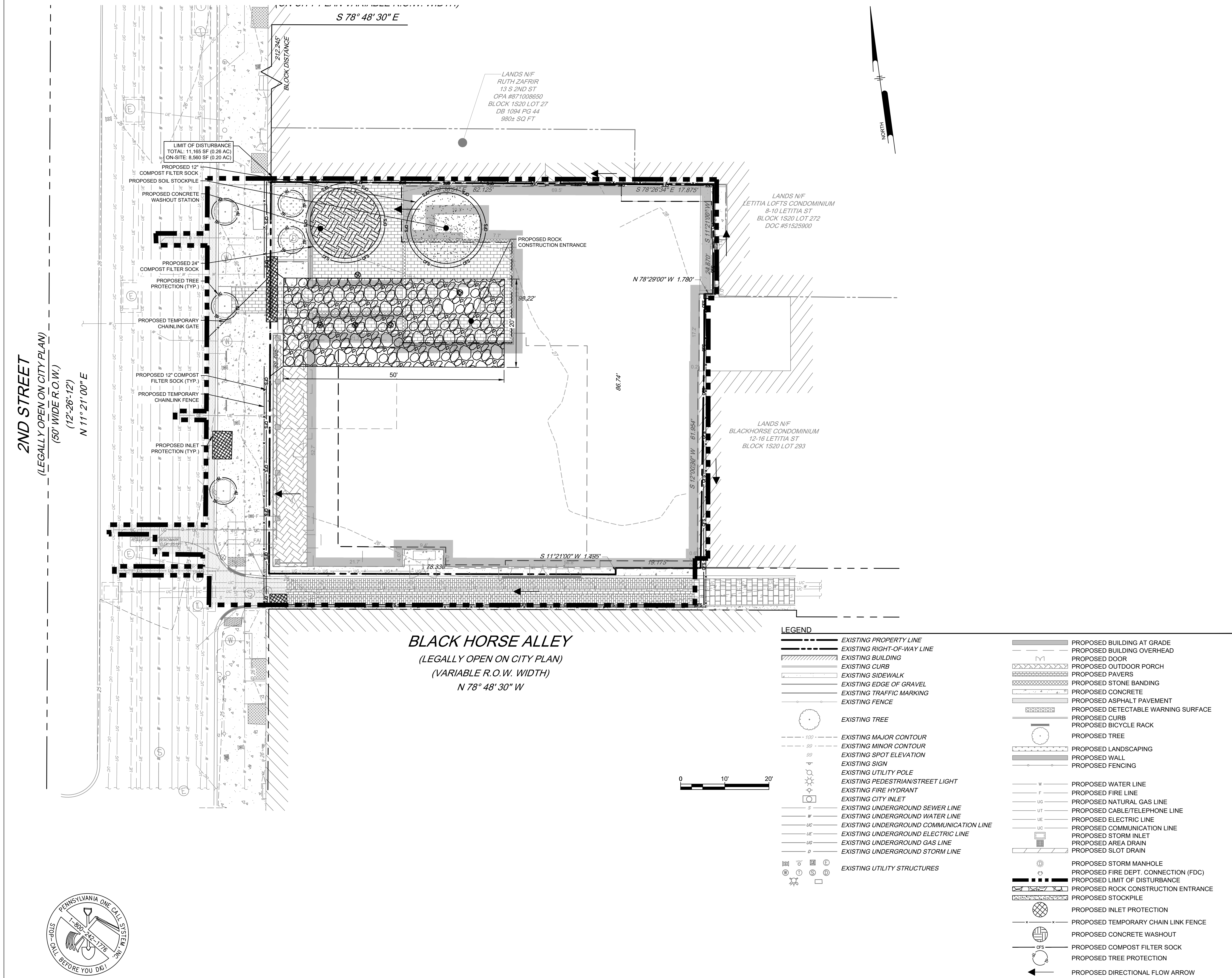
CIVIL

TITLE:

EROSION & SEDIMENT CONTROL PLAN

NUMBER:

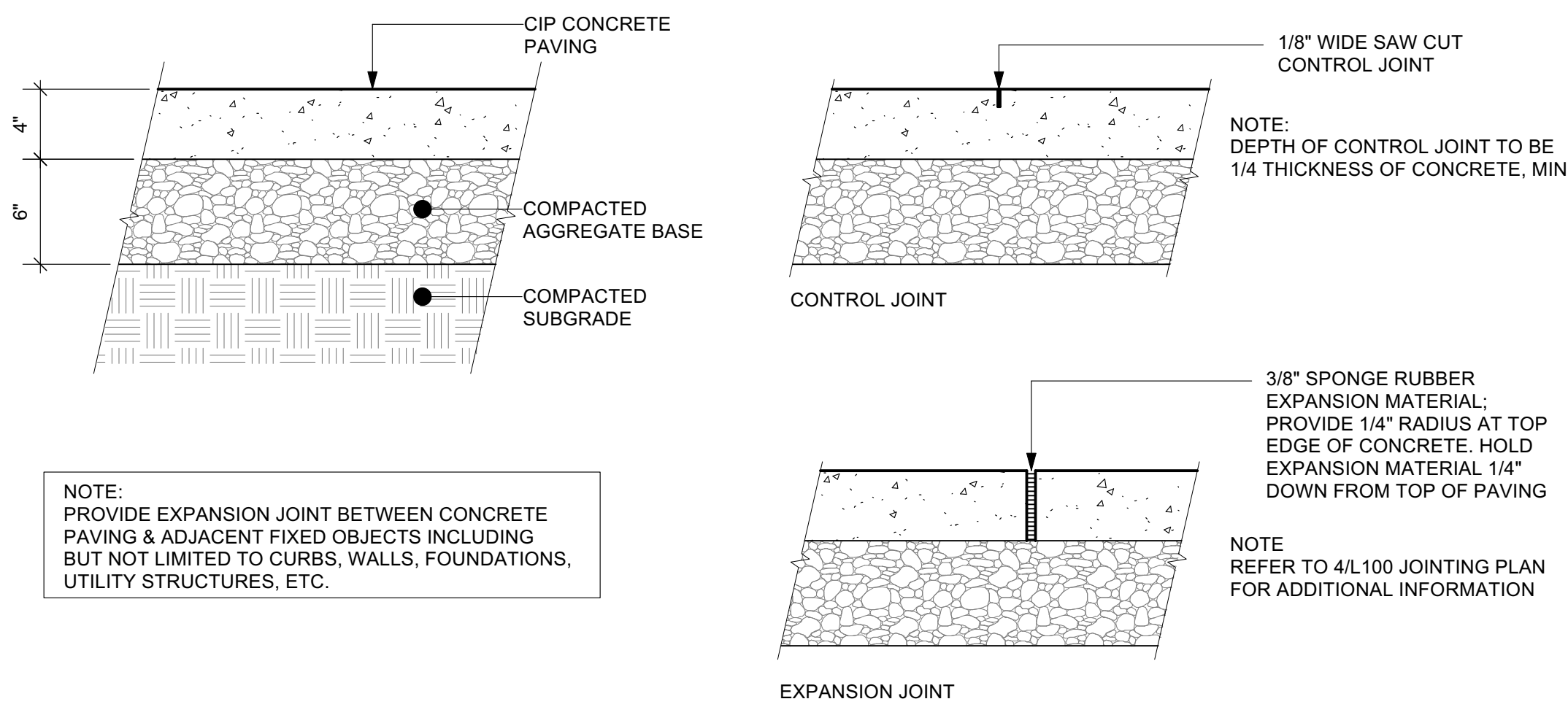
CS8001



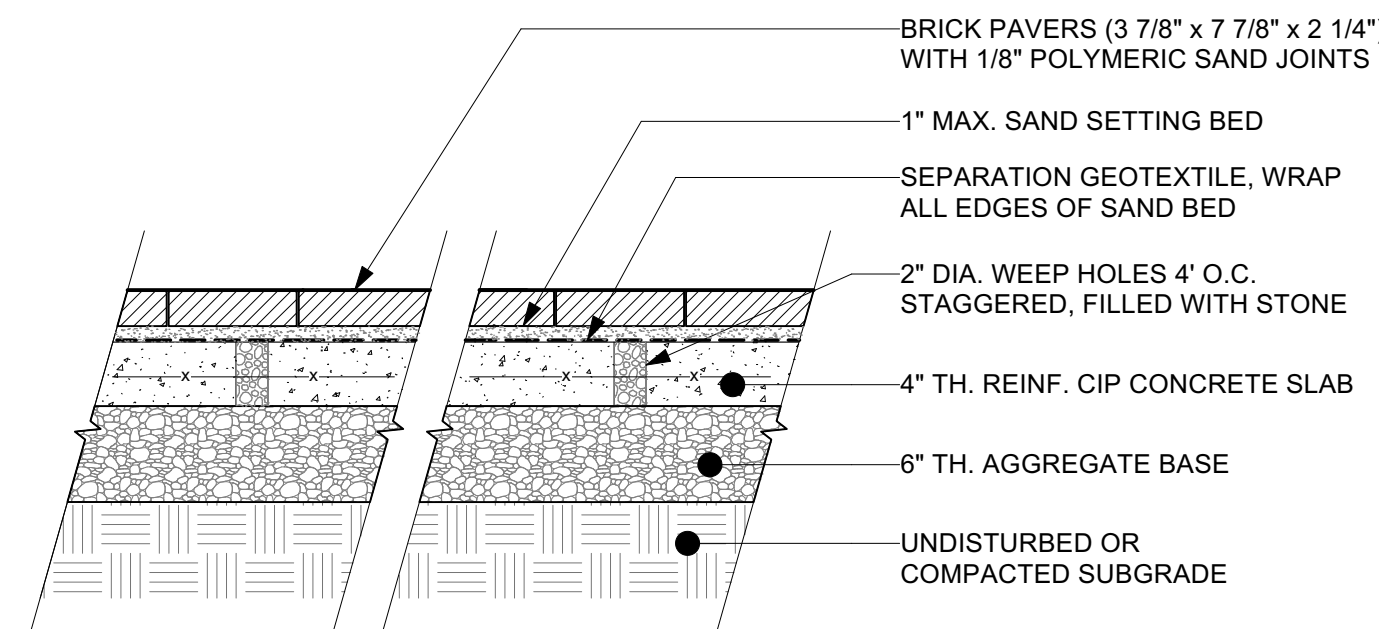
CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE. DRILL
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.
SERIAL NUMBER(S): 20233262223

PWD TRACKING NUMBER FY24-TUNT-7702-01

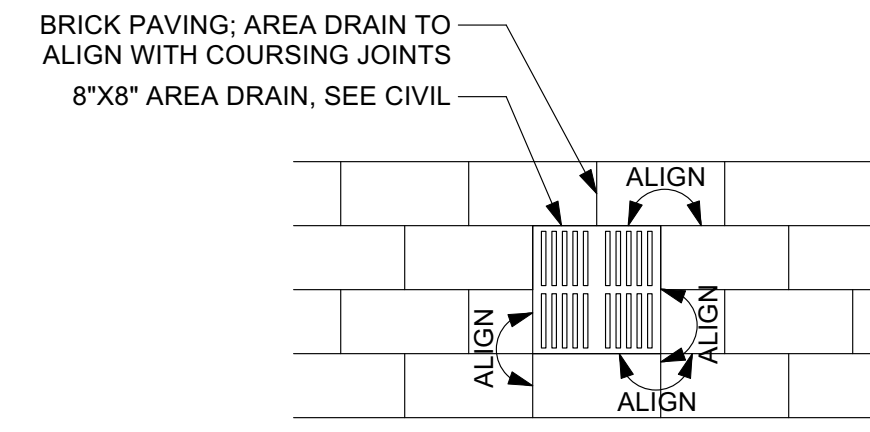
8 LAYOUT PLAN
1 100 Scale: 1" = 10'-0"



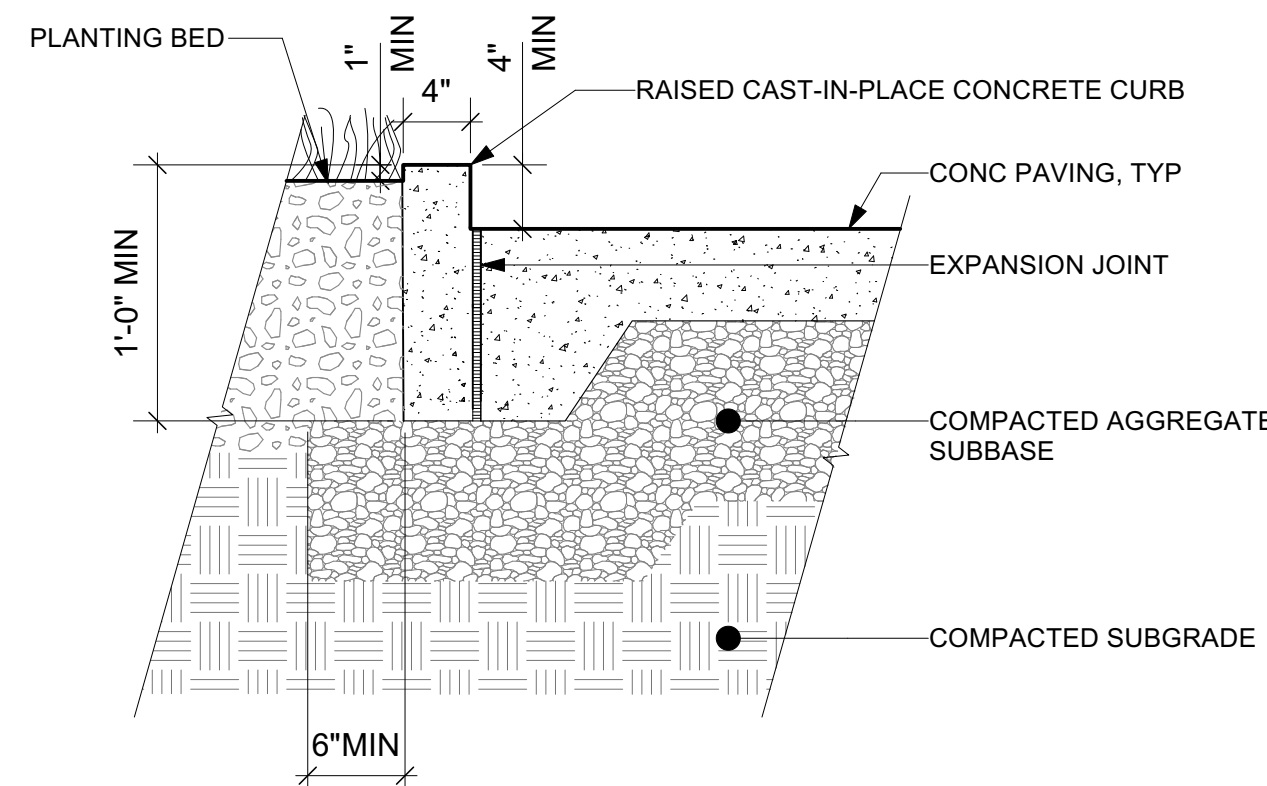
1
L400 **CAST IN PLACE CONCRETE PEDESTRIAN PAVEMENT**
Scale: 1 1/2" = 1'-0"



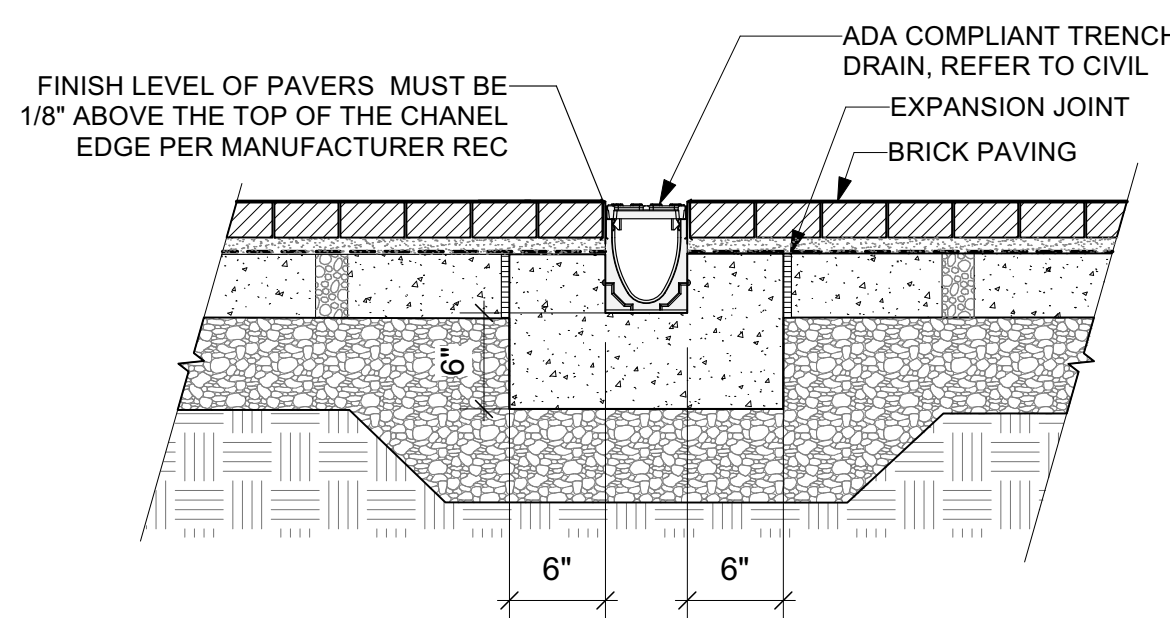
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L400 **BRICK UNIT PAVER TYP.**
Scale: 1" = 1'-0"



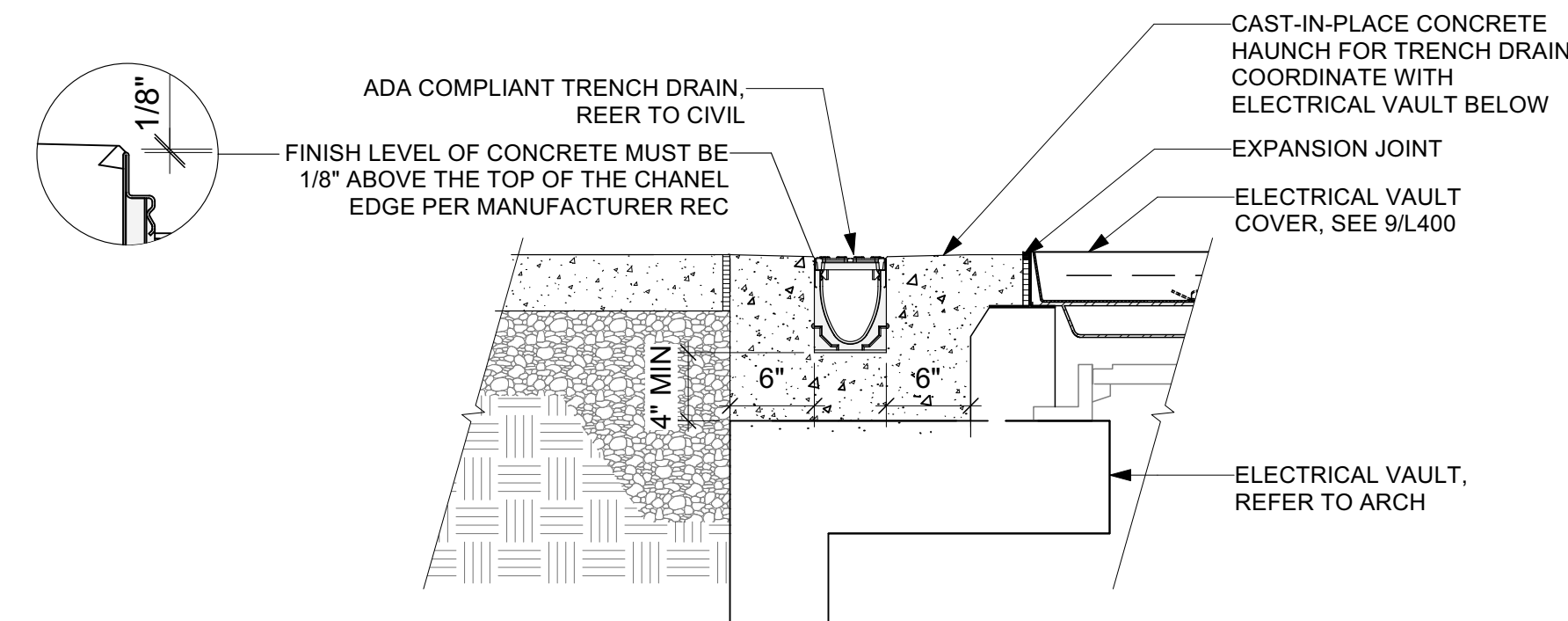
3
L400 **PLAN DETAIL- AREA DRAIN IN BRICK PAVING**
Scale: 1" = 1'-0"



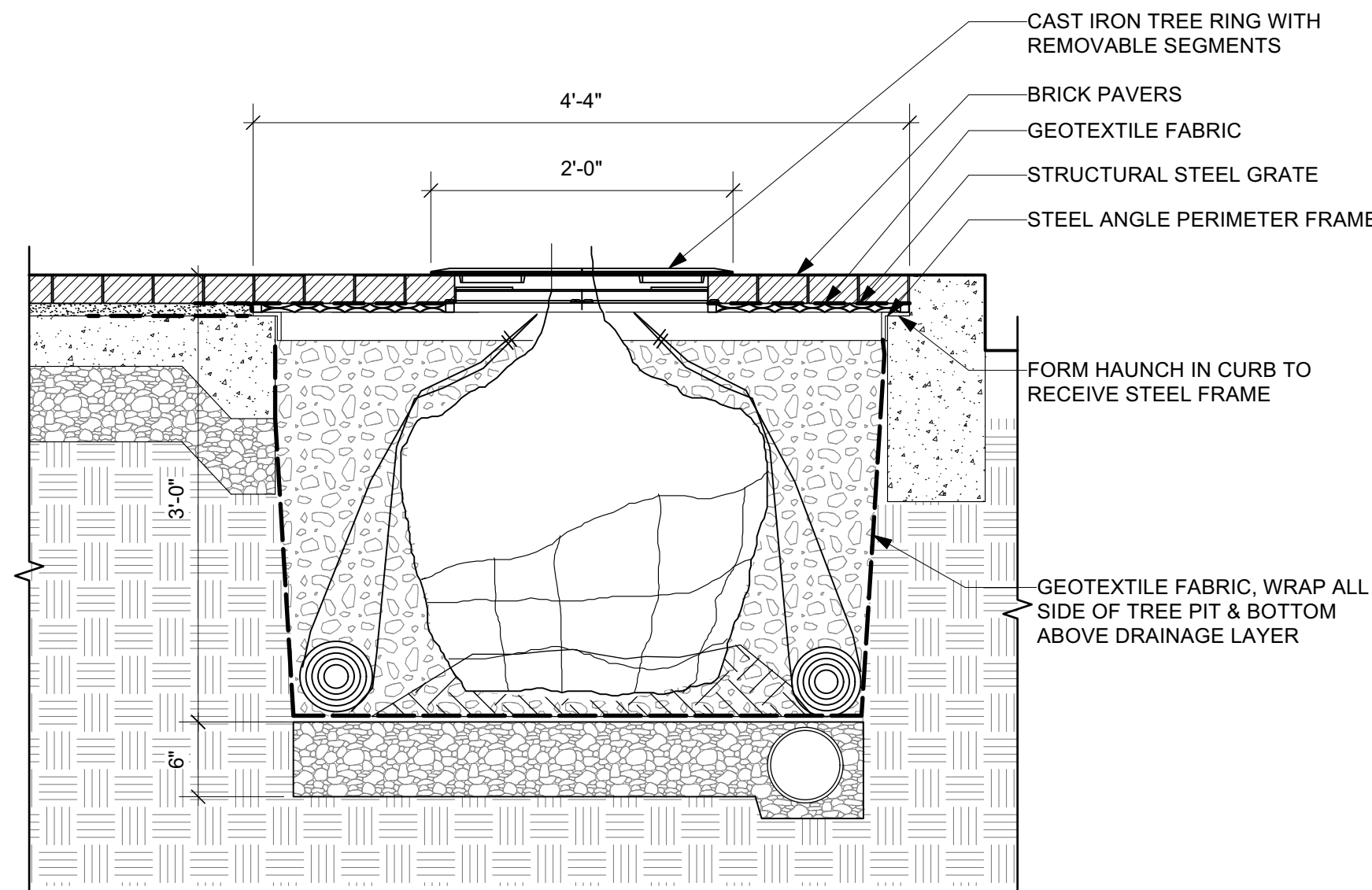
4
L400 **RAISED CONCRETE CURB AT PLANT BED**
Scale: 1" = 1'-0"



5
L400 **TRENCH DRAIN AT BRICK PAVING**
Scale: 1" = 1'-0"

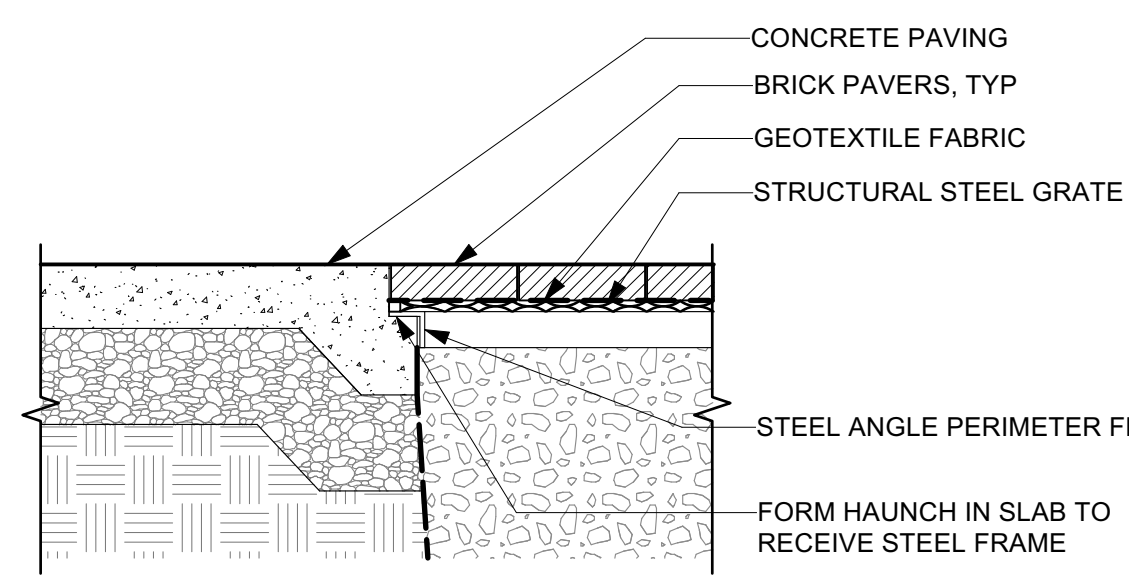


6
L400 **TRENCH DRAIN AT CAST-IN-PLACE CONCRETE**
Scale: 1" = 1'-0"



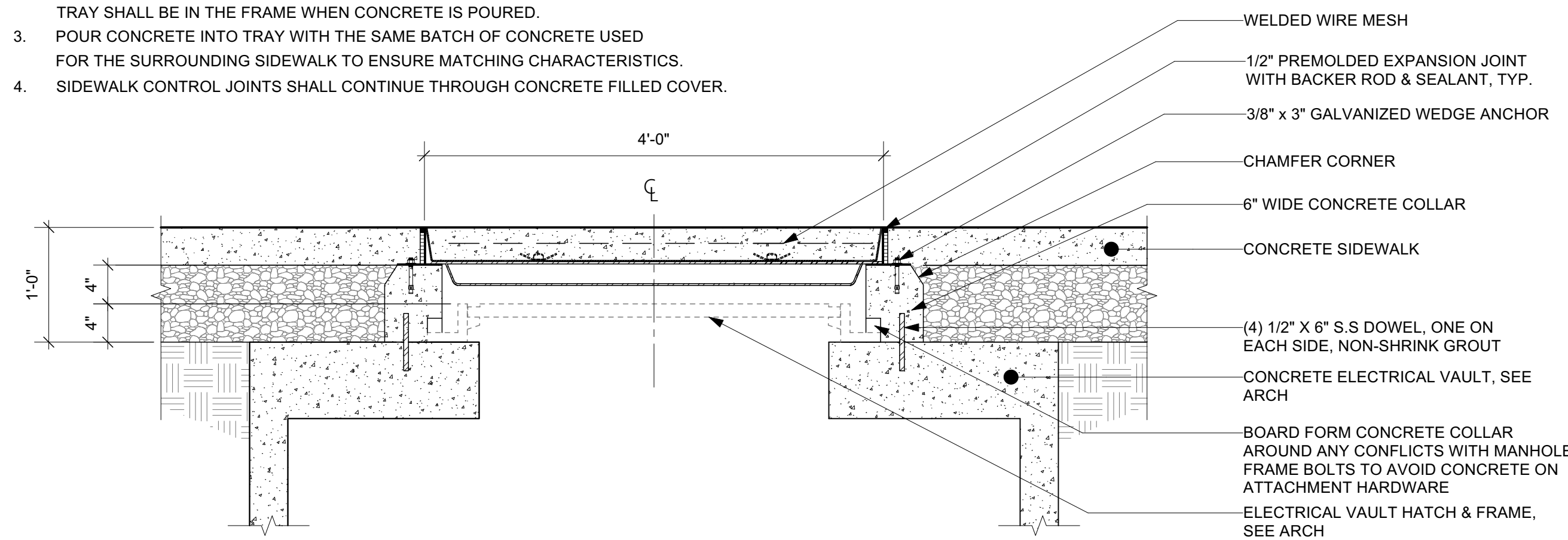
BASIS OF DESIGN: PAVER-GRATE & TREE RING GRATE BY IRONSMITH INC.
REFER TO 5/L500 FOR ADDITIONAL INFORMATION ON TREE PIT

7
L400 **STREET TREE BRICK PAVER COVER AT BRICK PAVING AND CURB**
Scale: 1" = 1'-0"



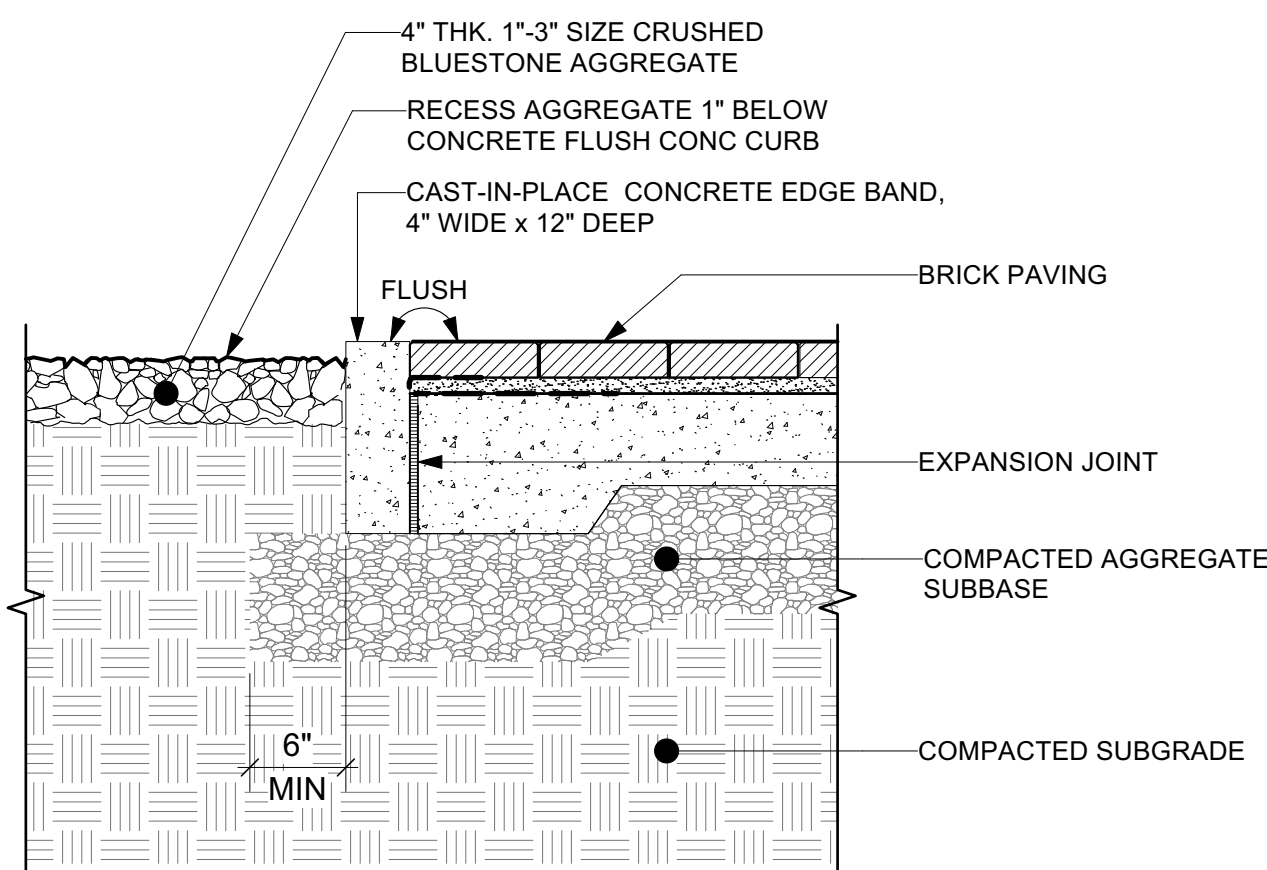
8
L400 **STREET TREE BRICK PAVER COVER AT CONC PAVING**
Scale: 1" = 1'-0"

- NOTES:
1. INSTALL PER MANUFACTURER RECOMMENDATIONS.
 2. FRAME SHALL BE FULLY INSTALLED PRIOR TO POURING CONCRETE. TRAY SHALL BE IN THE FRAME WHEN CONCRETE IS POURED.
 3. POUR CONCRETE INTO TRAY WITH THE SAME BATCH OF CONCRETE USED FOR THE SURROUNDING SIDEWALK TO ENSURE MATCHING CHARACTERISTICS.
 4. SIDEWALK CONTROL JOINTS SHALL CONTINUE THROUGH CONCRETE FILLED COVER.

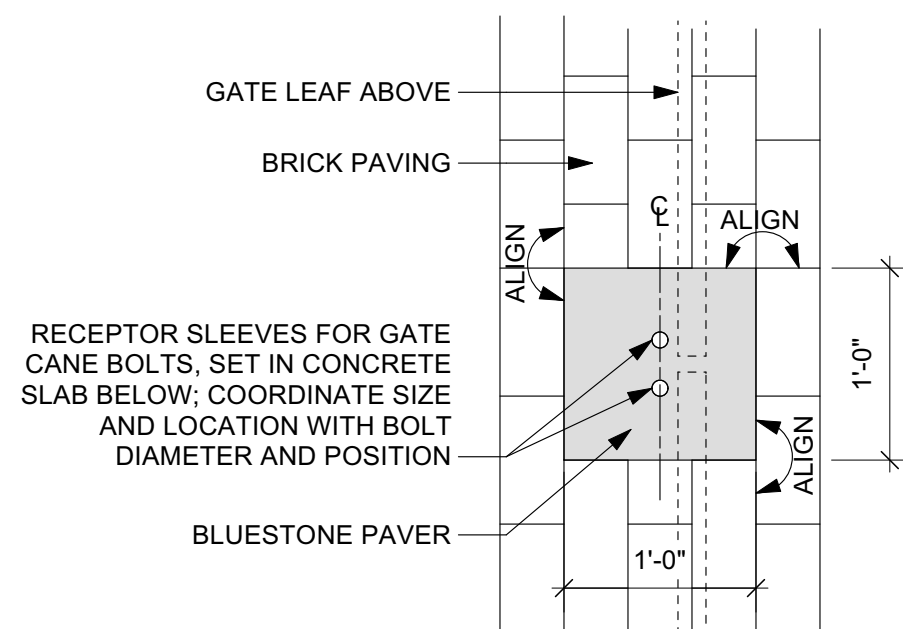


BASIS OF DESIGN: CONCRETE PAVEMENT TRAY BY WUNDERCOVER.

9
L400 **CONCRETE-FILLED PAVING COVER OVER ELECTRICAL VAULT**
Scale: 1" = 1'-0"



10
L400 **FLUSH CONCRETE EDGE BAND AT CRUSHED AGGREGATE**
Scale: 1" = 1'-0"



11
L400 **PLAN DETAIL - CANE BOLT RECEPTOR PAVER**
Scale: 1" = 1'-0"



THE TUN

1535 S SECOND ST
PHILADELPHIA, PA 19108

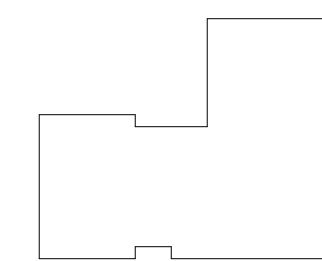
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01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

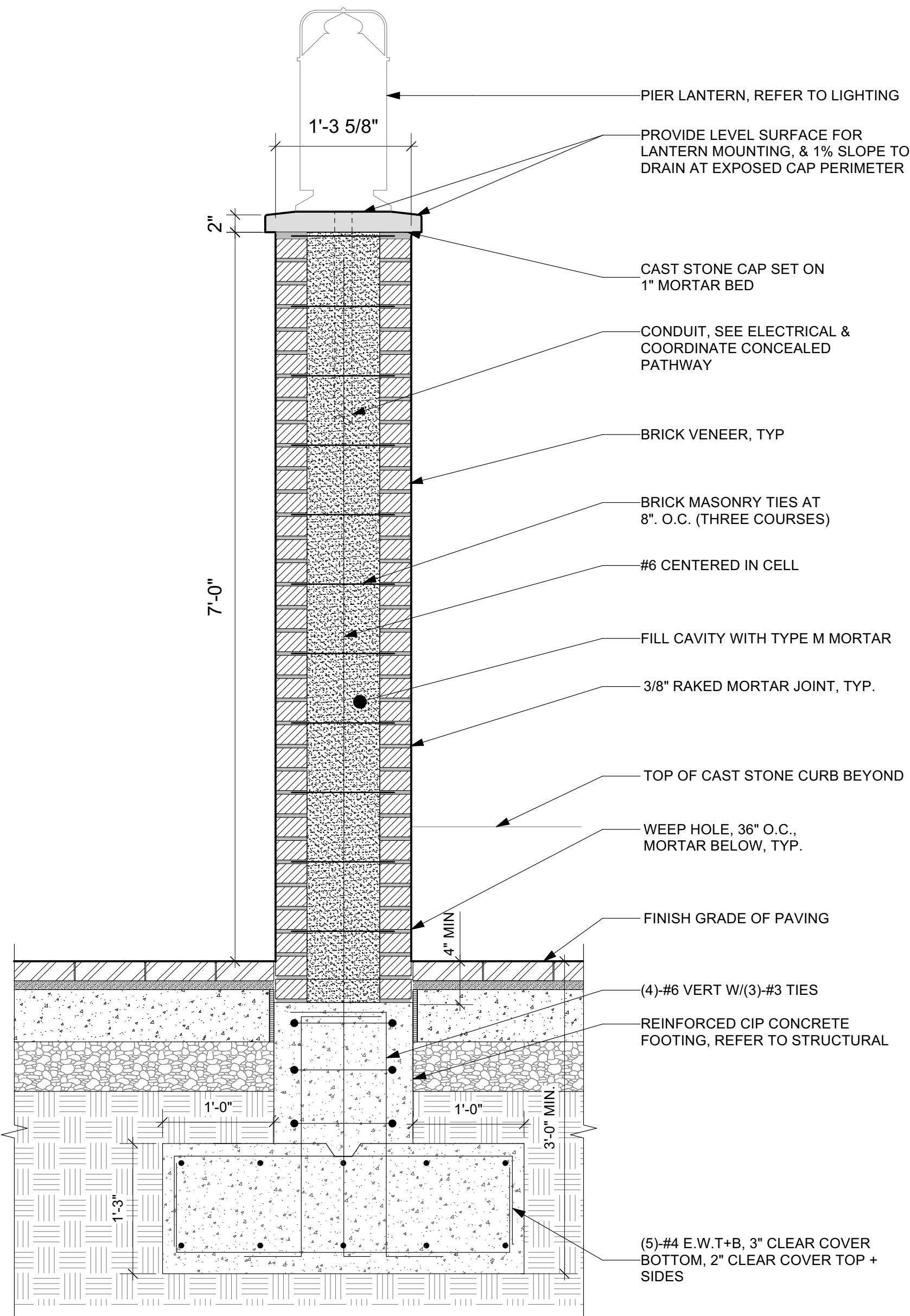
PROJECT: 23053.00
SCALE: AS NOTED

TITLE:

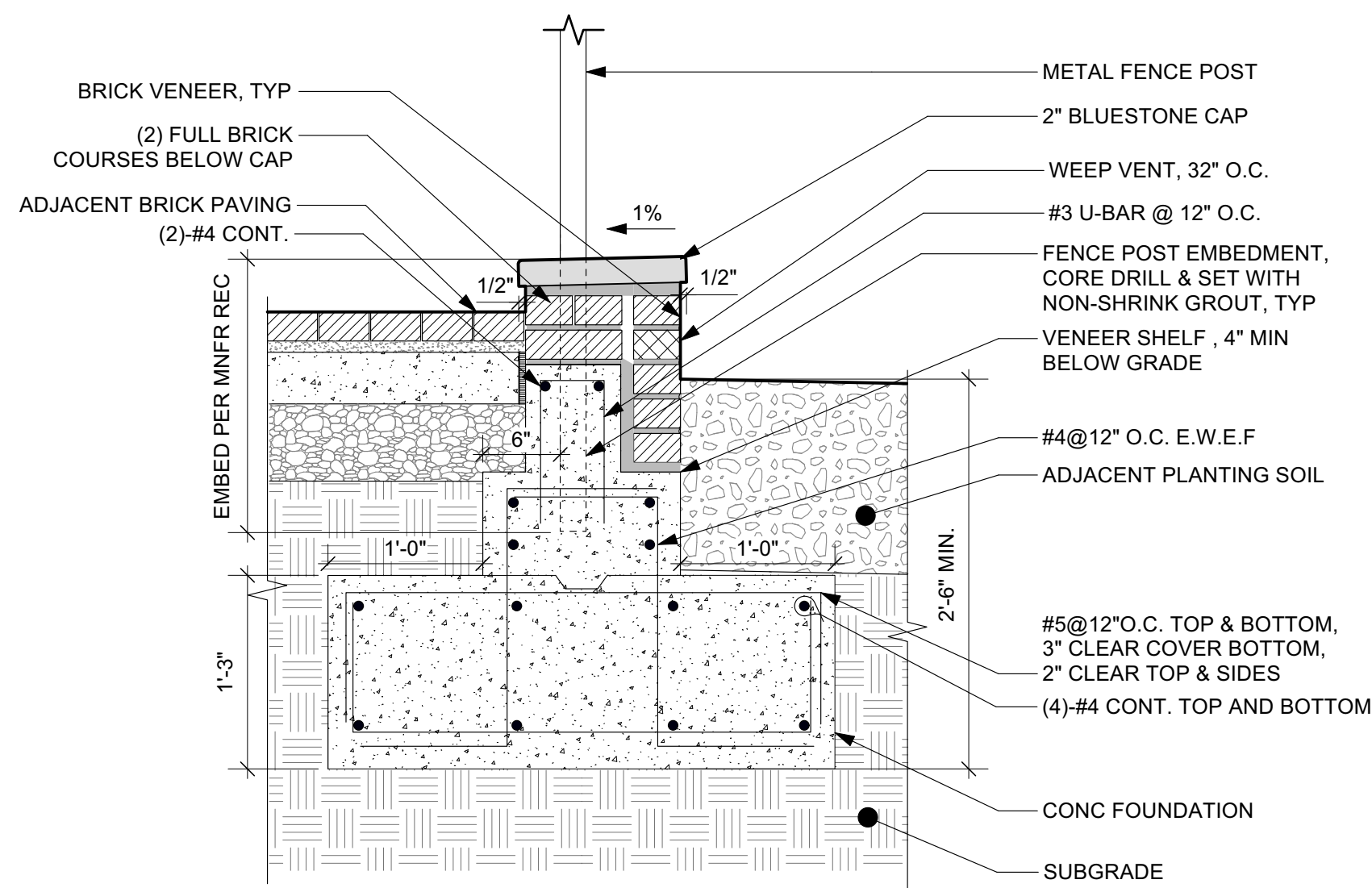
**SITE DETAILS -
PAVING, CURBS,
DRAINS, ETC**

NUMBER:

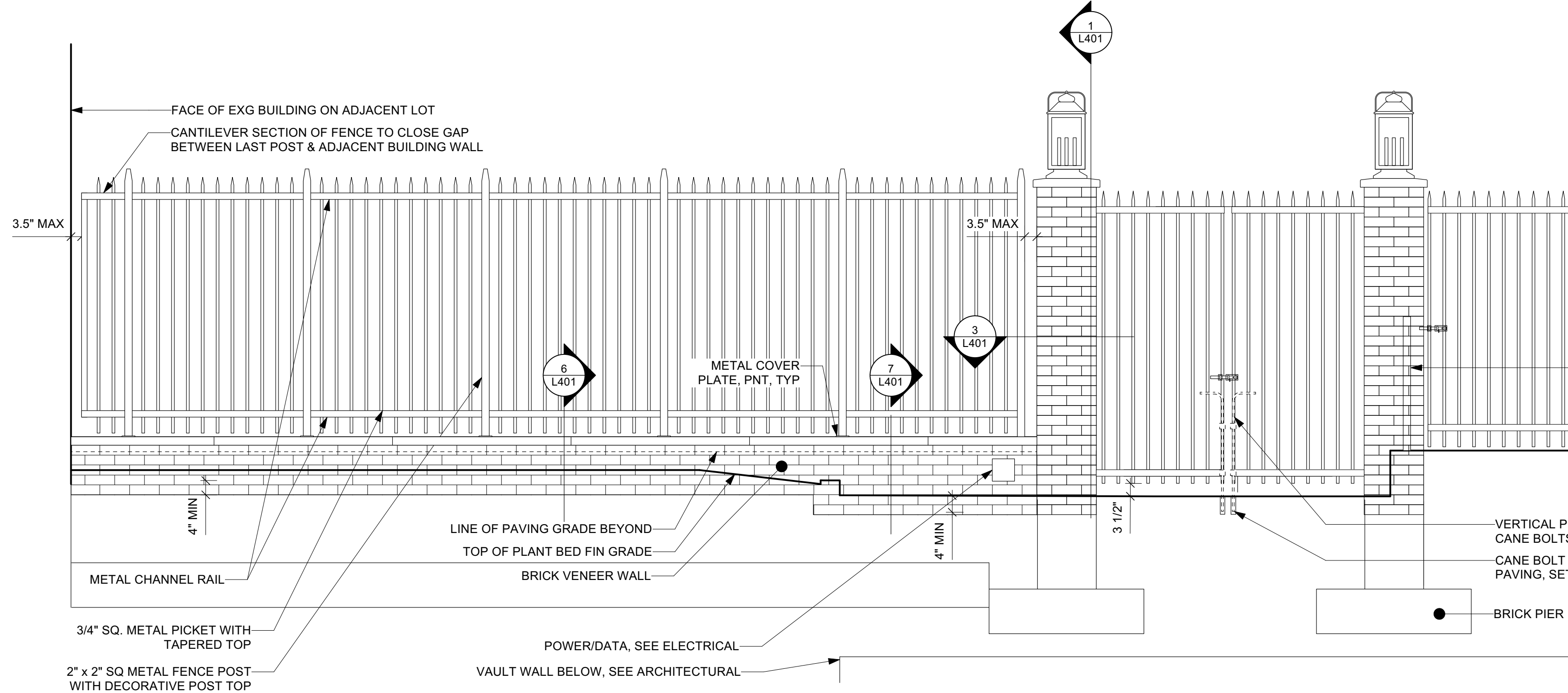
L400



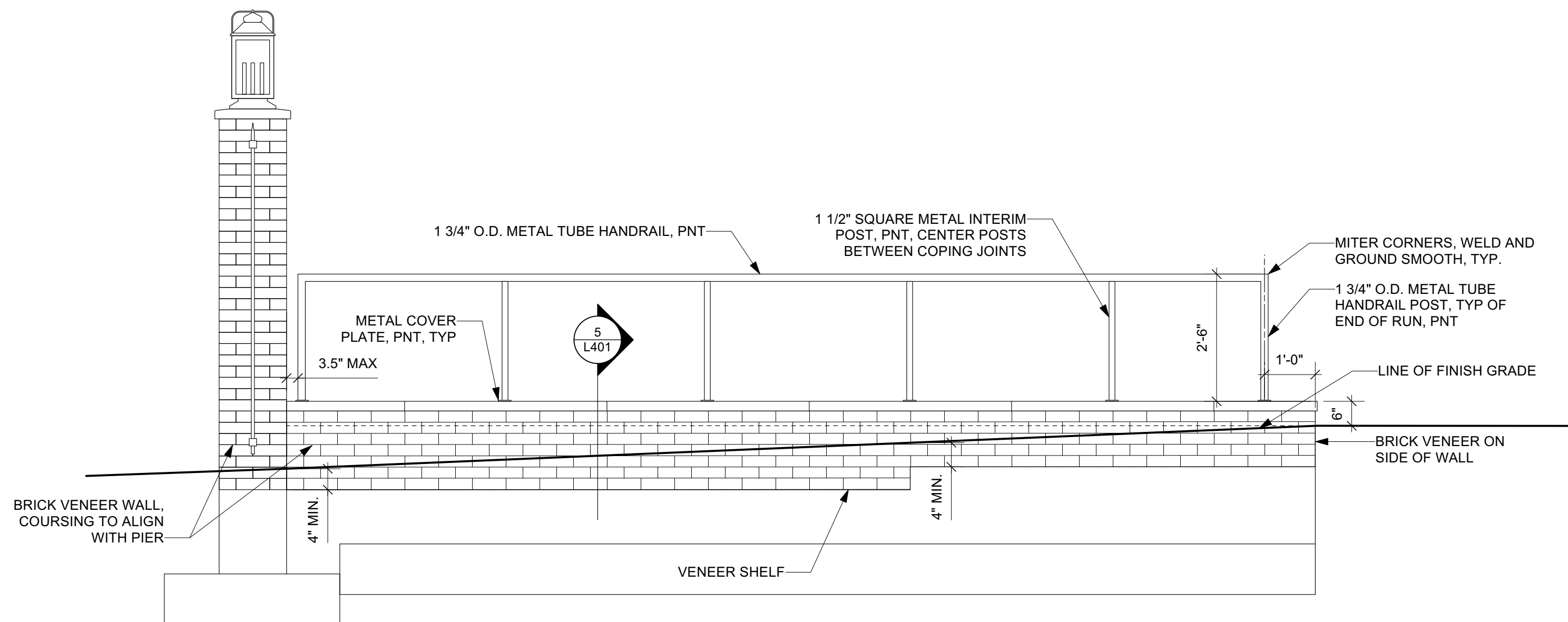
1
L401 **BRICK VENEER PIER**
Scale: 1" = 1'-0"



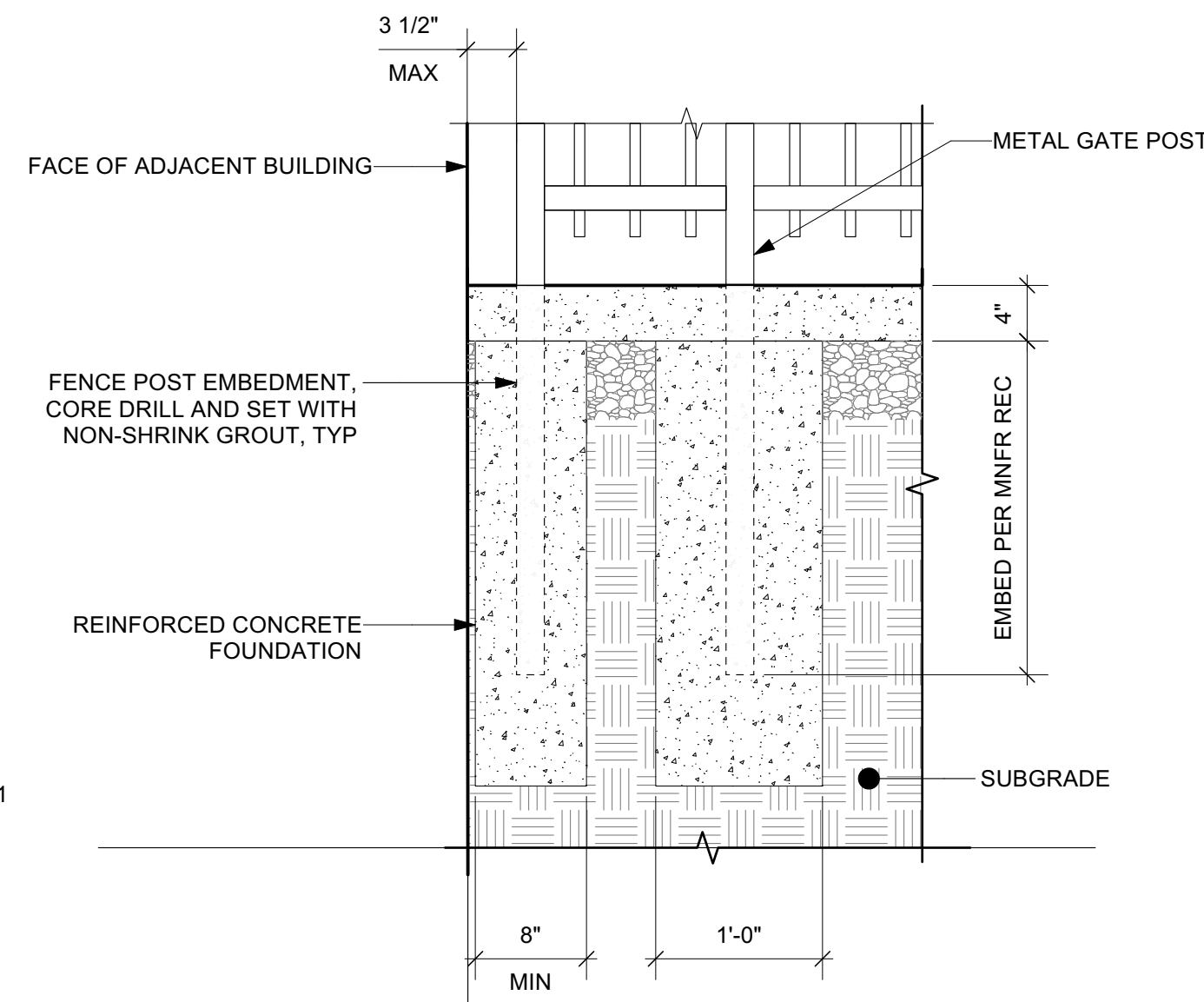
6
L401 **BRICK VENEER WALL - AT PLANT BED**
Scale: 1" = 1'-0"



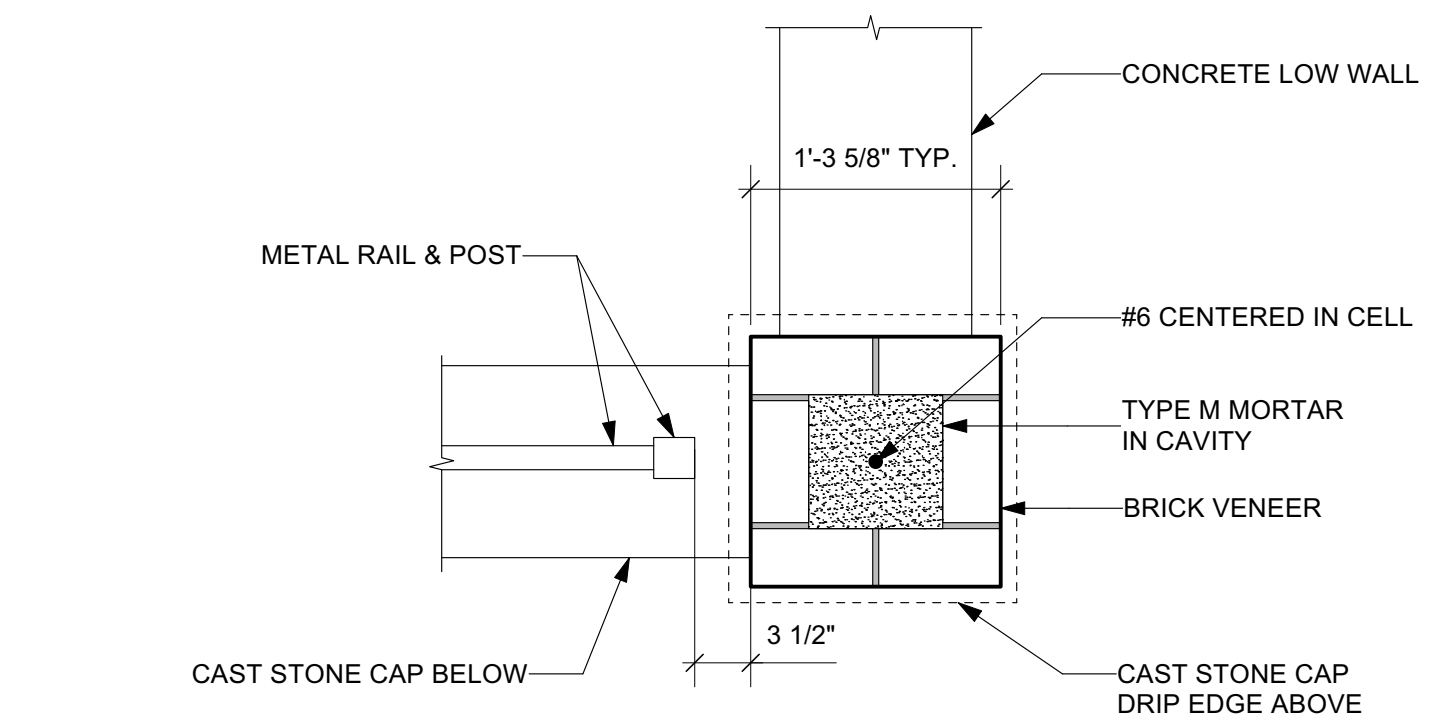
2
L401 **ELEVATION - LOW BRICK WALL AND PICKET FENCE LOOKING EAST**
Scale: 1/2" = 1'-0"



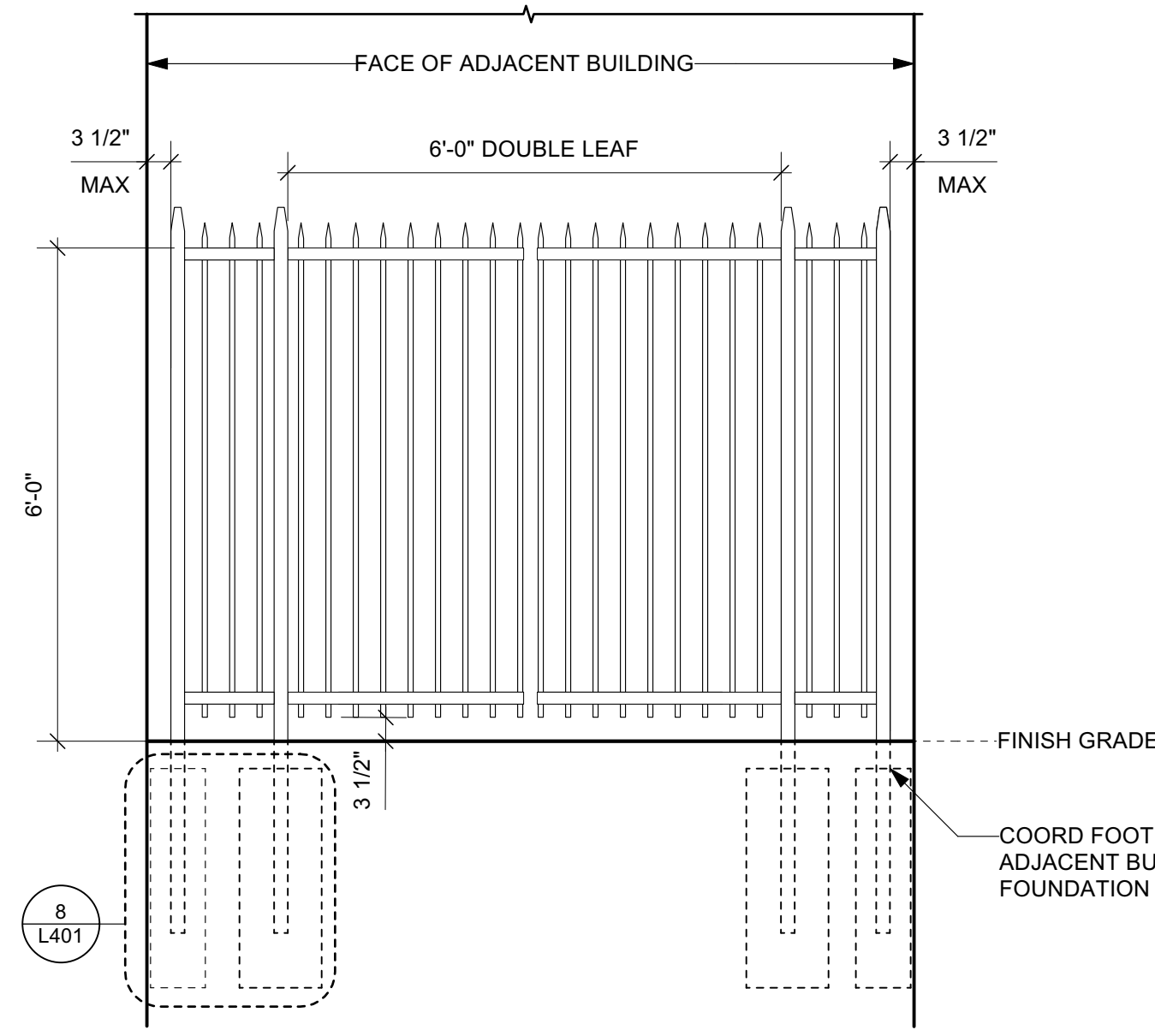
4
L401 **ELEVATION - TUN ALLEY LOW BRICK WALL LOOKING NORTH**
Scale: 1/2" = 1'-0"



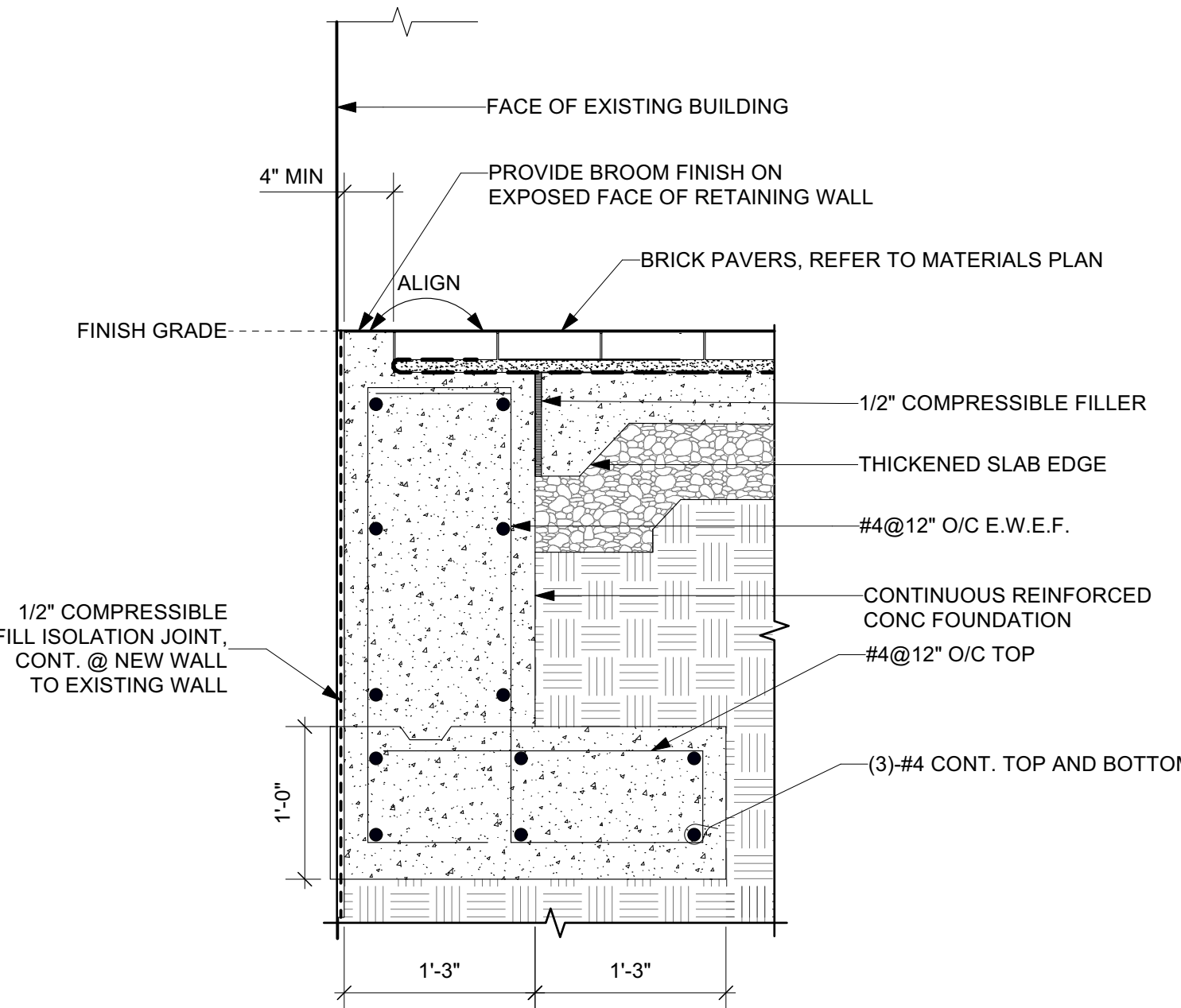
8
L401 **METAL FENCE EMBEDMENT**
Scale: 1" = 1'-0"



3
L401 **PLAN DETAIL - BRICK VENEER PIER**
Scale: 1" = 1'-0"



5
L401 **ELEVATION - METAL FENCE AT BLACK HORSE ALLEY**
Scale: 1/2" = 1'-0"



9
L401 **SITE RETAINING WALL AT NORTH PROPERTY LINE**
Scale: 1" = 1'-0"



THE TUN

1535 S SECOND ST
PHILADELPHIA, PA 19106

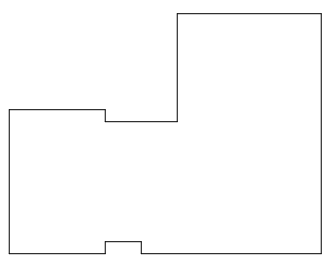
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01/31/2025 ISSUE 3
11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: AS NOTED

TITLE:

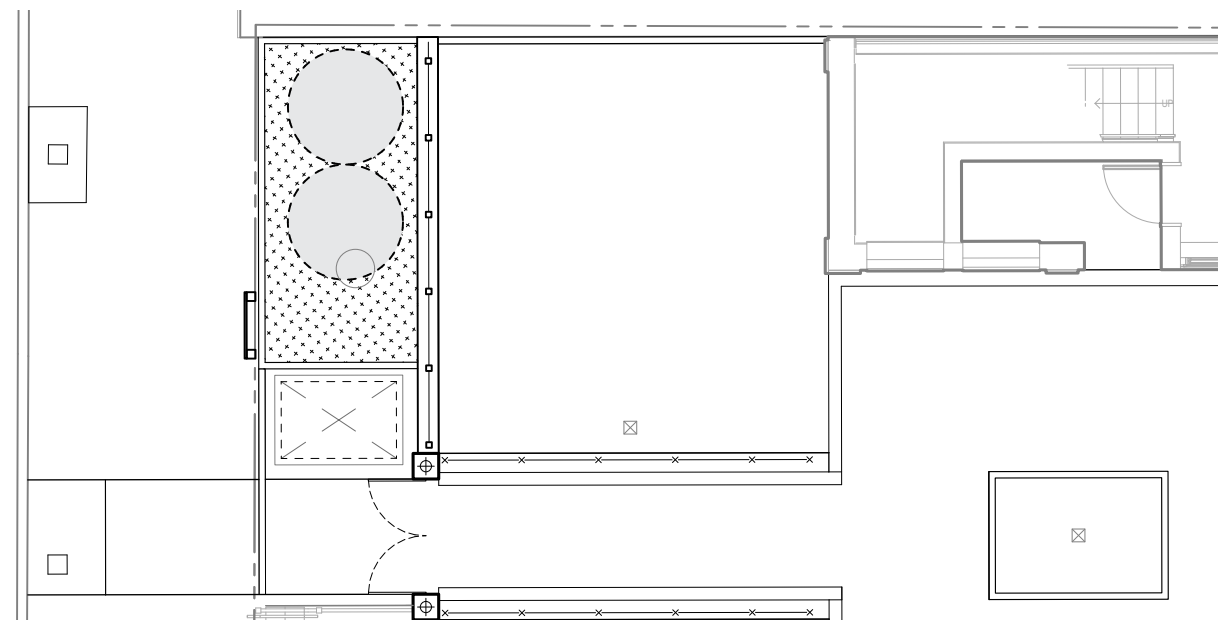
SITE DETAILS - WALLS, FENCES, AND PIERS

NUMBER:

L401

1
L500

SOIL PLAN
Scale: 1" = 10'-0"



SOIL LEGEND

TYPICAL PLANT BED SOIL, REFER TO 4/L500

SOIL PROFILE AT TREE LOCATIONS, REFER TO 5/L500

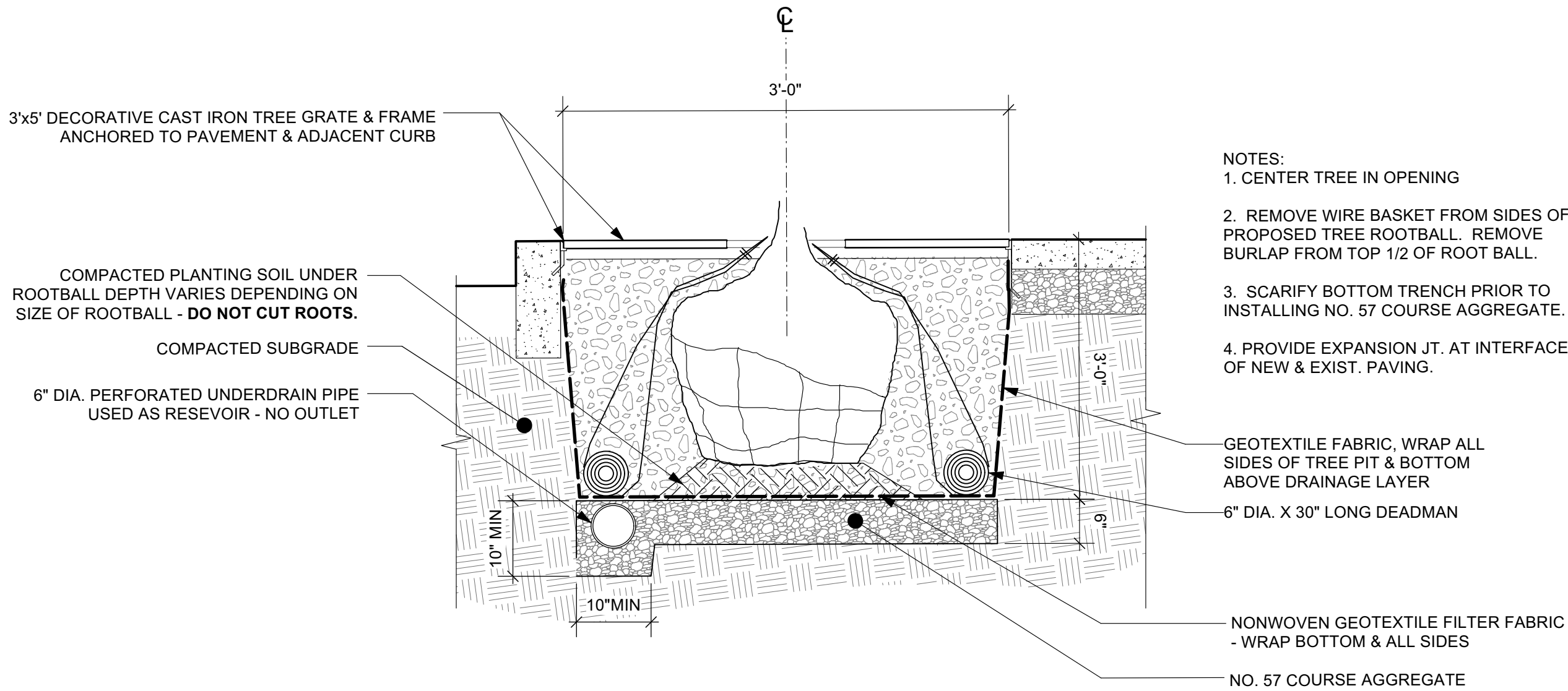
PLANTING LEGEND

UNDERSTORY PLANTINGS

TREES

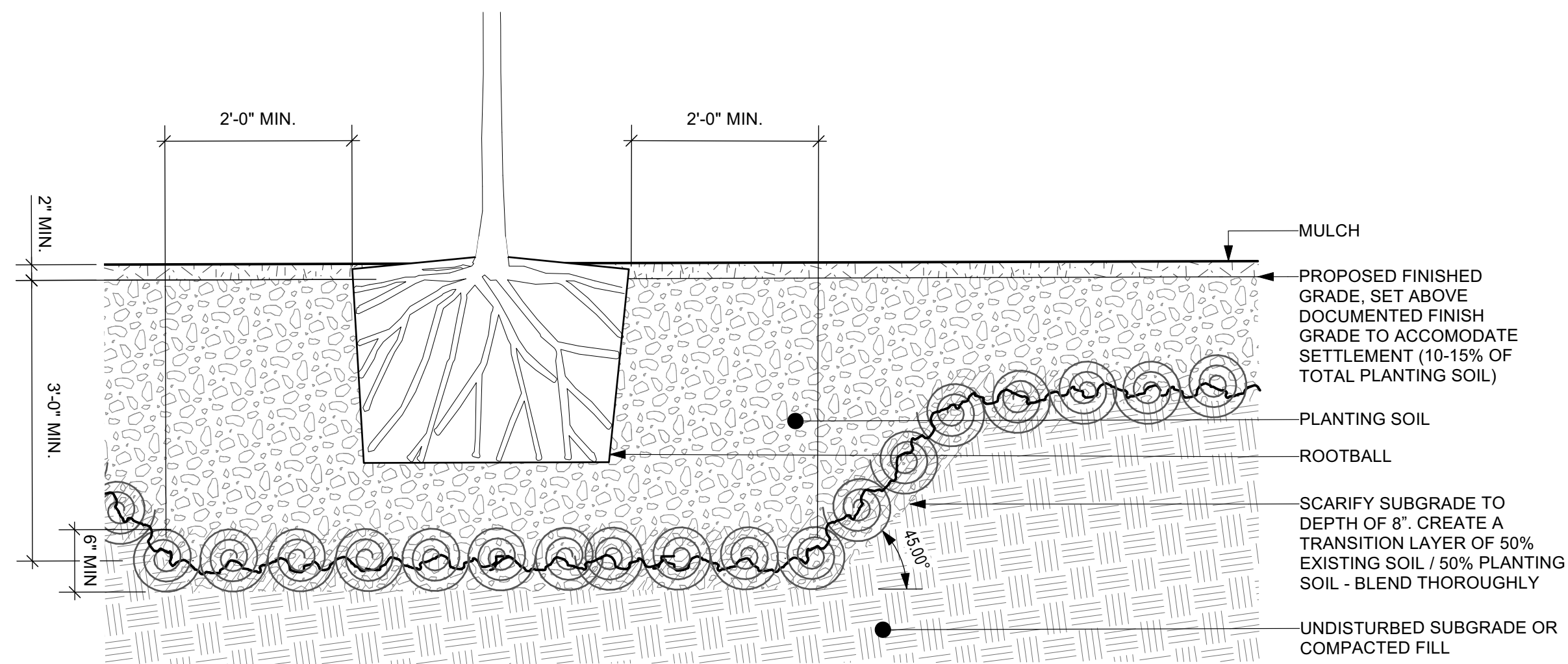
PLANTING SCHEDULE

Qty	Id	Botanical Name	Common Name	Size	Spacing	Notes
Canopy Trees						
2	MSt	<i>Magnolia stellata</i>	Star Magnolia	8' - 10' ht.	As Shown	Specimen Quality, B&B, Multistem
3	QPH	<i>Quercus phellos</i> 'Hightower'	Hightower Willow Oak	2 - 2 1/2" cal.	As Shown	Specimen Quality, B&B
Shrubs						
13	IleGlaC	<i>Ilex glabra</i> 'Strongbox'	Inkberry Holly	#3	As Shown	
Perennials						
A18	ech pur	<i>Echinacea purpurea</i>	Purple Coneflower	#1	12" o.c.	
A18	heu am	<i>Heuchera americana</i> 'Dale's Strain'	Coral Bells	#1	18" o.c.	
A18	rud ful	<i>Rudbeckia fulgida</i> var. <i>fulgida</i>	Orange Coneflower	#1	12" o.c.	



3
L500

DECORATIVE STREET TREE GRATE AT CONCRETE PAVING
Scale: 3/4" = 1'-0"



4
L500

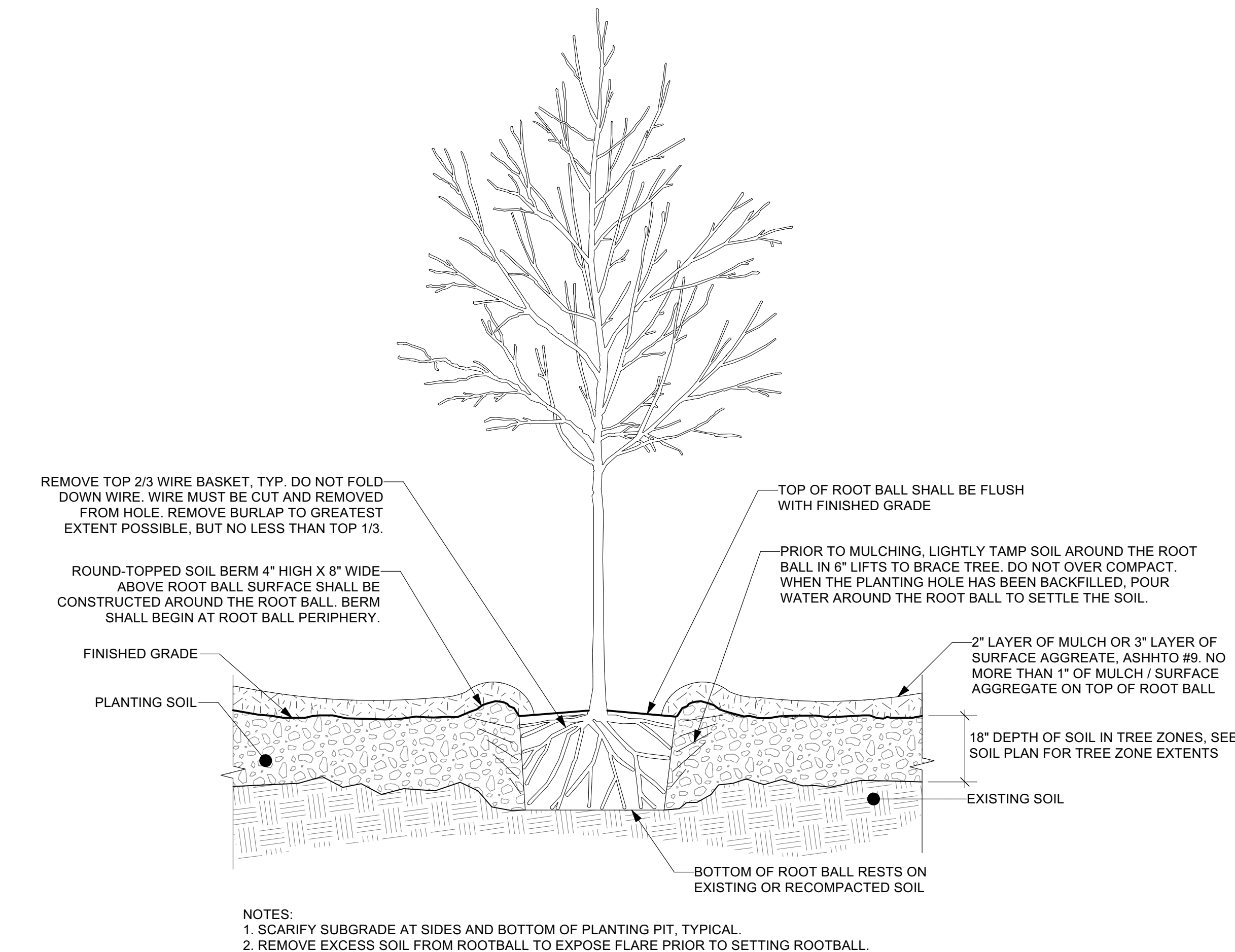
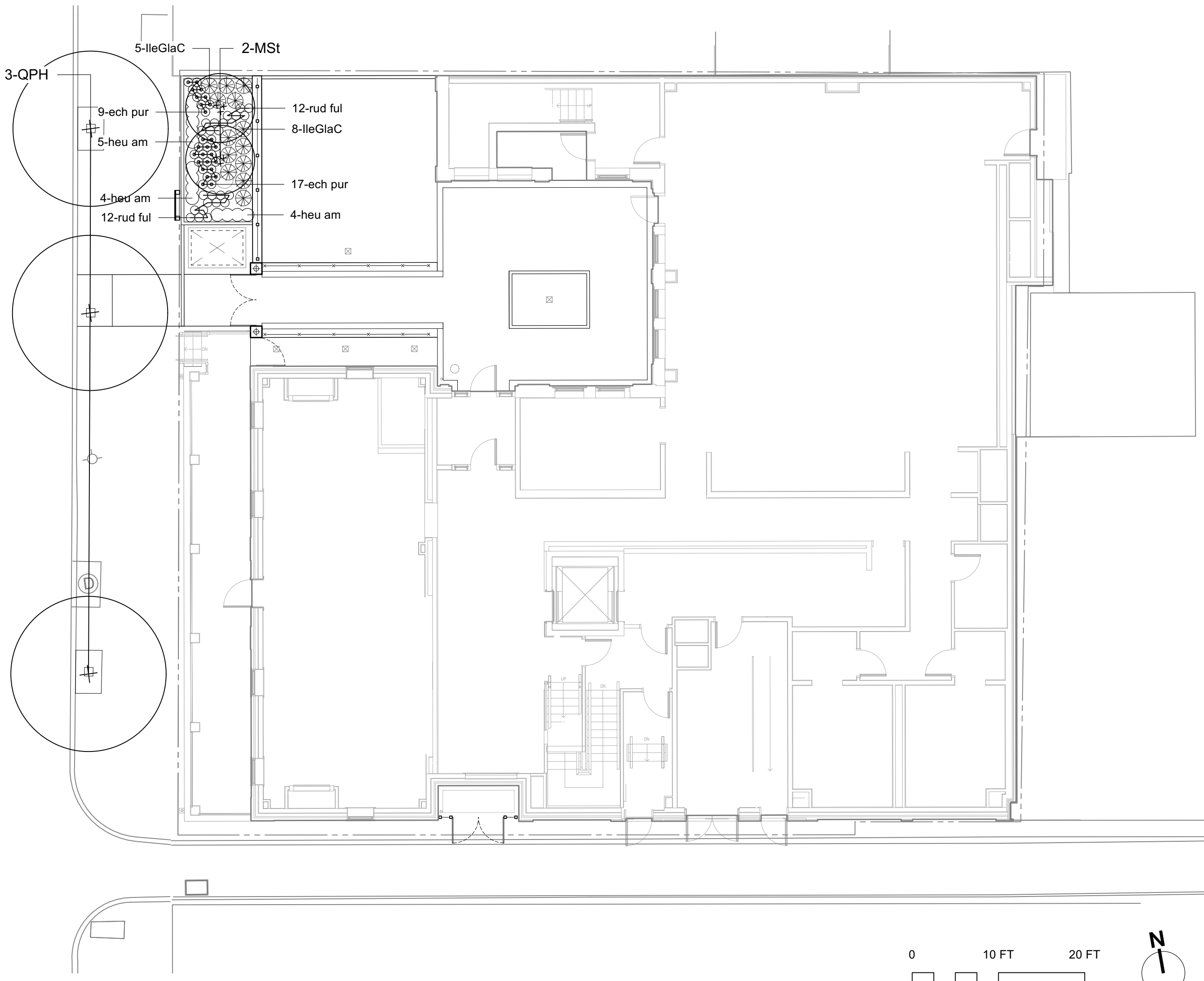
DETAIL - TYPICAL PLANT BED SOIL PROFILE
Scale: 3/4" = 1'-0"

5
L500

DETAIL - SOIL PROFILE AT TREE LOCATION
Scale: 3/4" = 1'-0"

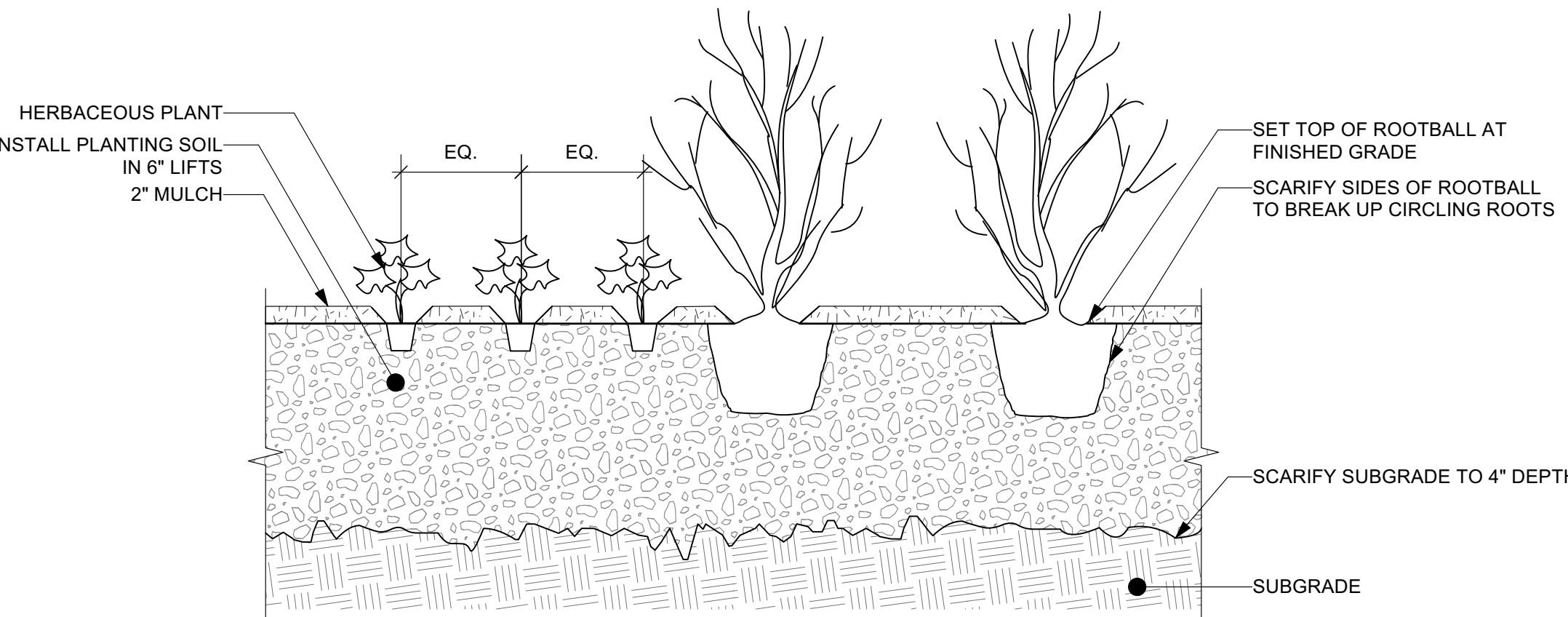
2
L500

PLANTING PLAN
Scale: 1" = 10'-0"



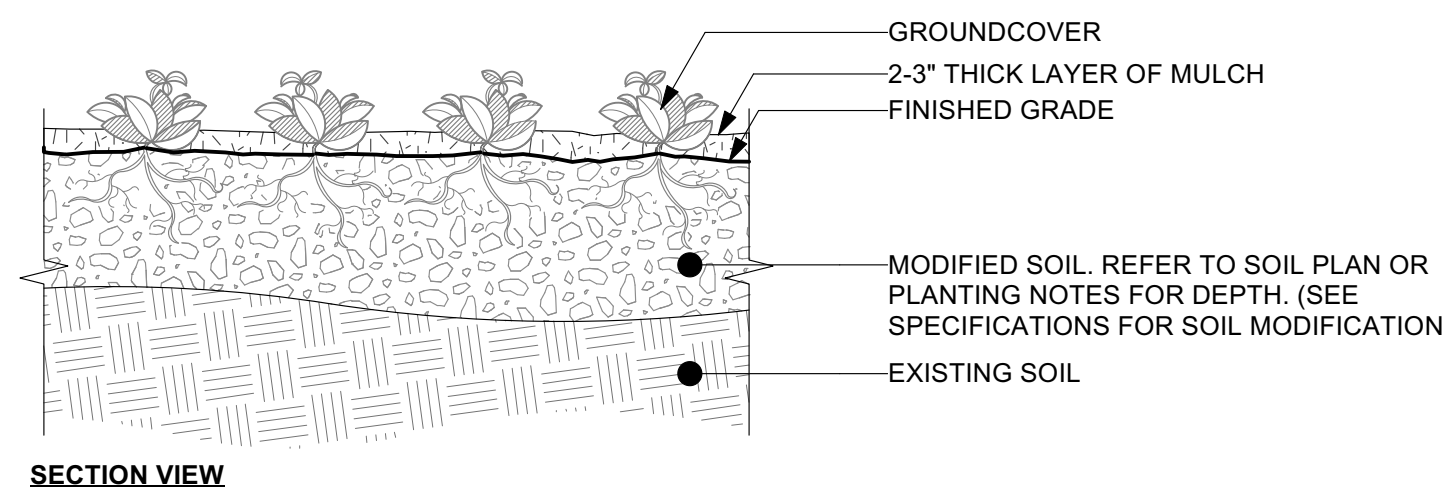
6
L500

TREE PLANTING DETAIL
Scale: 3/4" = 1'-0"



7
L500

SHRUB/HERBACEOUS PLANTING DETAIL
Scale: 3/4" = 1'-0"



8
L500

GROUNDCOVER PLANTING DETAIL
Scale: 3/4" = 1'-0"



THE TUN

1535 S SECOND ST
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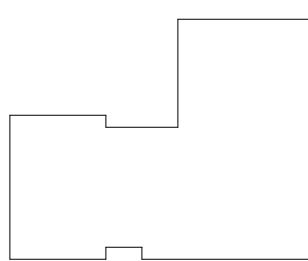
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11/10/2024 ISSUE 2
DRAWING ISSUE

PROJECT: 23053.00
SCALE: AS NOTED

TITLE:

PLANTING PLANS,
LEGENDS, AND
DETAILS

NUMBER:

L500