

Wm. Mulherin's Sons

Streeter Design

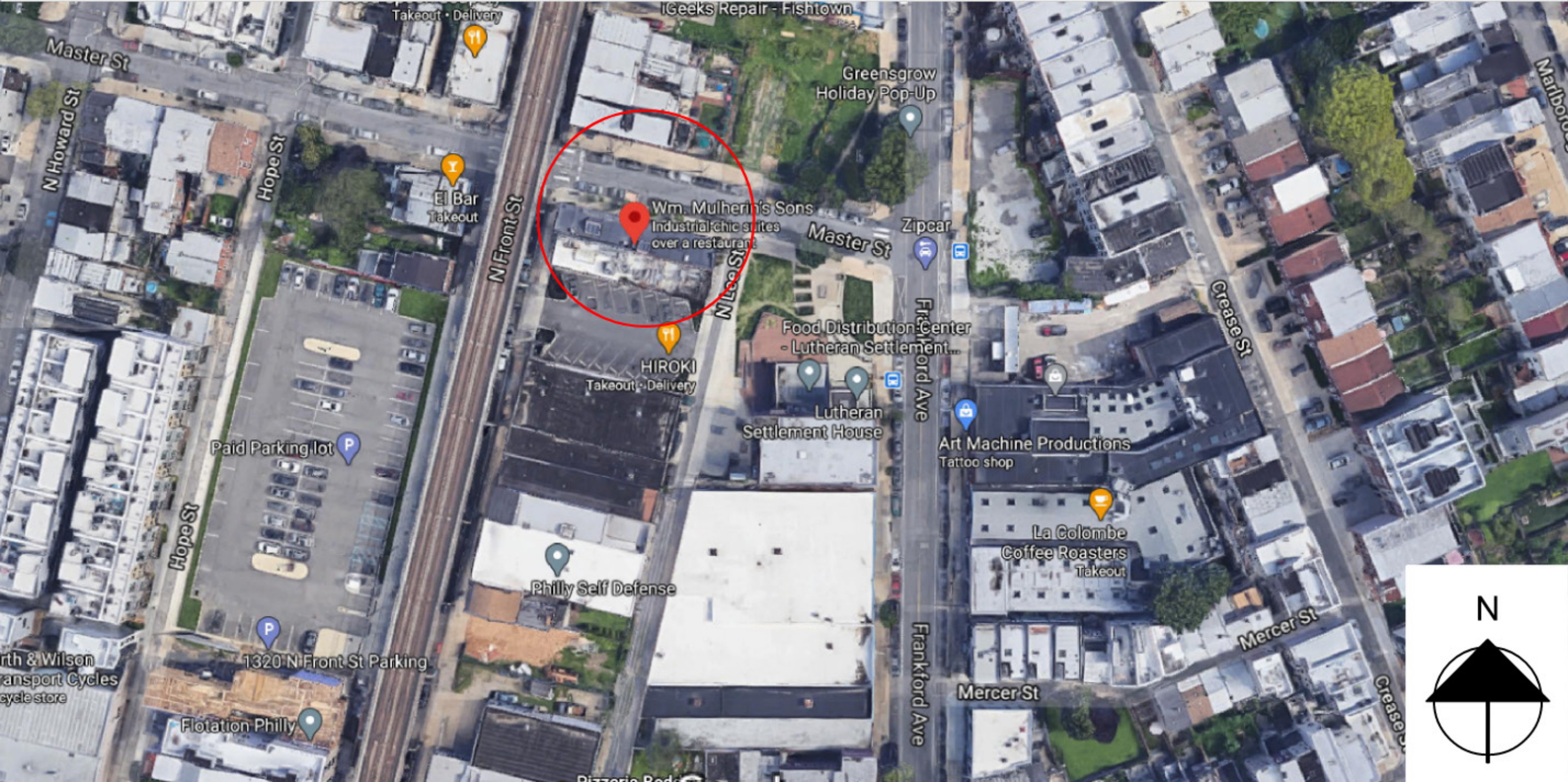
1335 N Front St, Philadelphia, PA 19122

May 2024

Version 1

LOCATION MAP

1355 N FRONT ST



STREET VIEW

1355 N FRONT ST



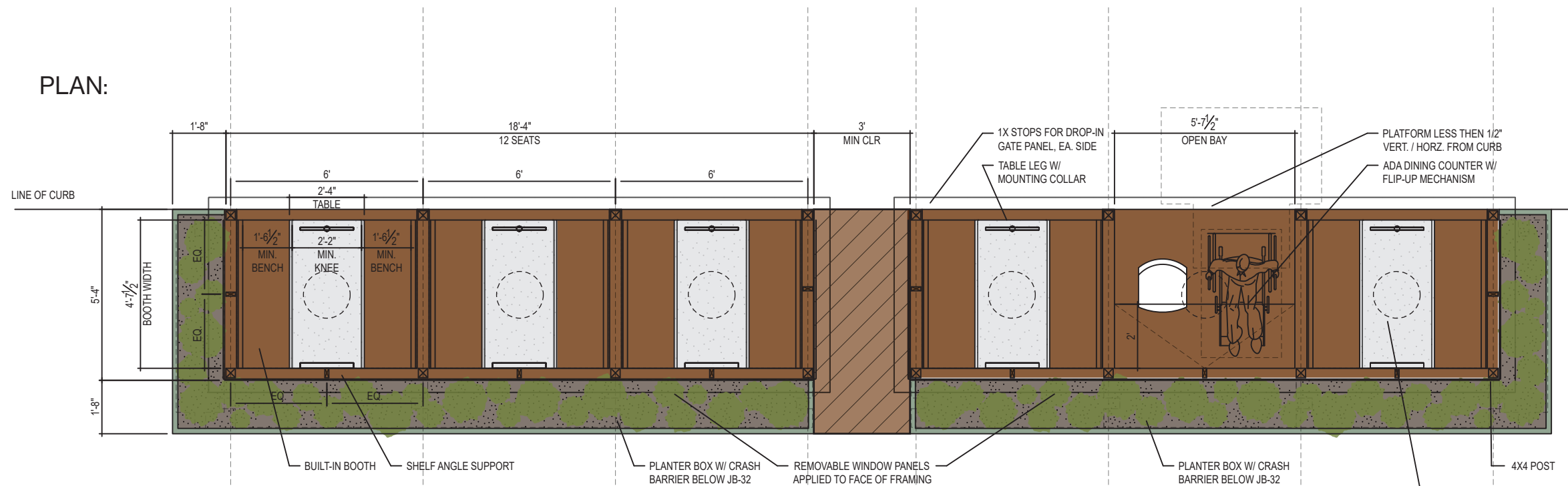
WM. MULHERIN'S SONS STREETERY DESIGN
MAY 2024





ILLUSTRATIVE PLANS + ELEVATIONS

1/4" = 1'-0"

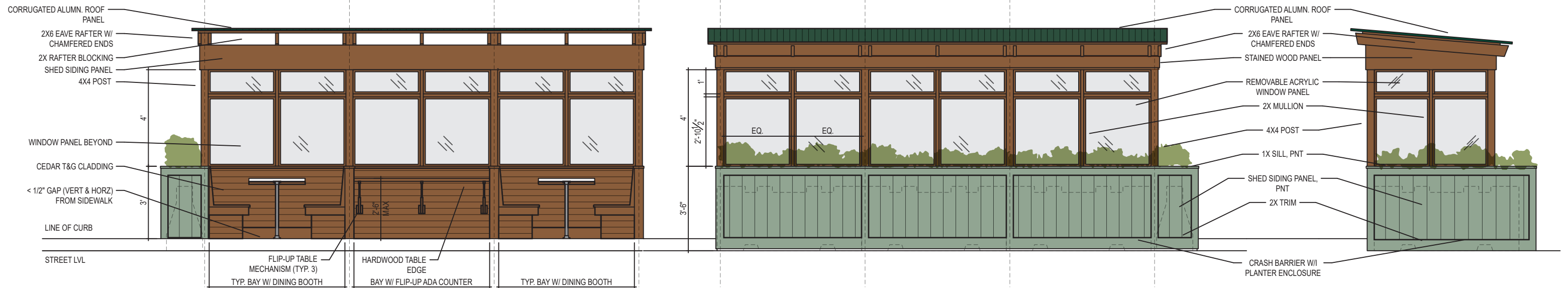
PLAN:



MATERIAL PALETTE

- 
Painted Surfaces
Soft sage green
Farrow & Ball Chappell Green or equivalent
- 
Stained Surfaces
Medium walnut color
Minwax English Chestnut or equivalent
- 
Roof Panels
Corrugated aluminum
Color: forest green

ELEVATIONS:



VIEW FROM MASTER STREET



VIEW FROM MASTER/FRONT STREET



VIEW FROM FRONT STREET



VIEW FROM SIDEWALK



VIEW FROM SIDEWALK



LIGHTING

1355 N FRONT ST

The sidewalk along Master Street is currently illuminated by two primary sources: City of Philadelphia street lights, which are located at Master Street's intersections with N Front Street and N Lee Street, and ambient facade lighting on 1355 N Front Street, which includes sconces and wall wash lighting. It is our understanding that electricity may not be run from the the building to the streetery, so any supplemental lighting for the streetery would be in the form of rechargeable lanterns and tabletop lamps.



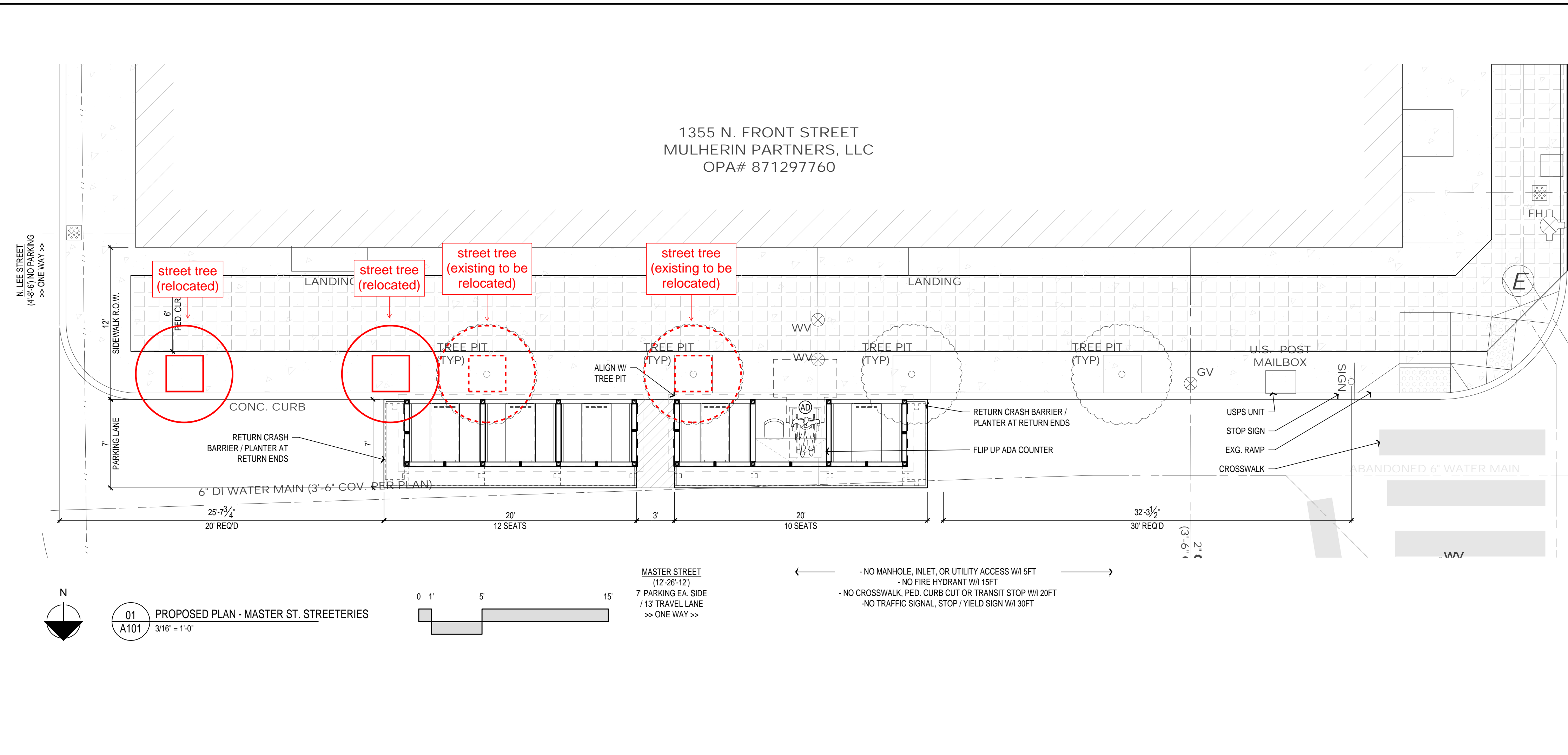
Rechargeable Hanging Lanterns

AM.PM Spingolo portable outdoor lamp
Suspended from ceiling, 1 per bay
Total QTY: 6

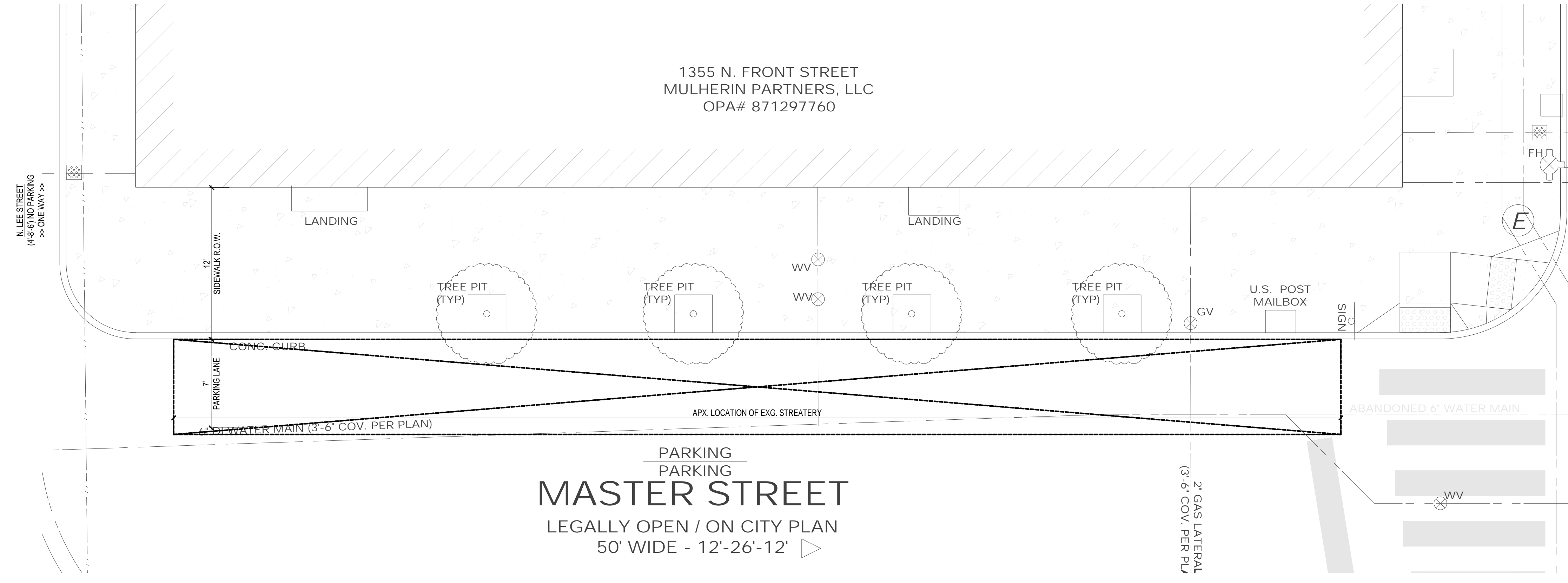


Rechargeable Tabletop Lamps

Specfication TBD, pending samples
1 per table
Total QTY: 6



01 PROPOSED PLAN - MASTER ST. STREETERIES
A101 3/16" = 1'-0"



02 EXISTING PLAN - MASTER ST.
A101 3/16" = 1'-0"

BUILDING INFORMATION & CODE REVIEW

PROJECT TITLE: WM. MULHERIN'S SONS - STREETERY
PROJECT ADDRESS: 1355 N. FRONT ST. PHILADELPHIA, PA 19122

APPLICABLE CODES:	INTERNATIONAL BUILDING CODE: 2018 THE PHILADELPHIA CODE SECTION 9-215			
PROJECT DESCRIPTION:	WOODEN STREET DINING PAVILION IN ACCORDANCE WITH THE PHILADELPHIA CODE SECTION 9-215 STREETERIES & THE PHILADELPHIA STREETERY LICENSE GUIDE - OUTDOOR DINING PROGRAM V1.0			
USE / OCCUPANCY CLASSIFICATION	ASSEMBLY: A-2			
USE / FLOOR AREAS / OCCUPANT LOADS (TABLE 1004.1.2):				
FLOOR / LEVEL	CLASSIFICATION / FUNCTION	OCCUPANCY LOAD FACTORS	SQUARE FOOTAGE	OCCUPANCY:
1ST FLOOR:	ASSEMBLY - DINING (OUTDOOR)	N/A OUTDOOR	175 SF (CUMULATIVE)	N/A
TOTAL:				22 1 ACCESSIBLE SEATS REQD @ 5%

CONSTRUCTION INFORMATION

CONSTRUCTION TYPE:	SB (EXISTING NO CHANGE)
REQD SEPARATION OF OCCUPANCY	N/A (EXISTING NO CHANGE) (PER SECTION 508.4)
SPRINKLER	N/A
FIRE / SMOKE ALARM	N/A

BUILDING STATISTICS

	ALLOWABLE / PERMITTED	SPRINKLER ADJUSTMENT	ACTUAL / PROPOSED
HEIGHT (FEET) TABLE 504.3	B / M: 55'	N/A	8'-4"
HEIGHT (STORIES) TABLE 504.4	B / M: 3	N/A	1
AREA (SQ. FT. / STORY) TABLE 506.2	B / M: 19,000 / 12,500	N/A	COMBINED SQ. FT. OF PLATFORM(S) 175 SF
STREETS RIGHT-OF-WAY			MASTER STREET (12'-27'-12") 7' PARKING EA. SIDE 13' TRAVEL LANE



Information - JB-32 Low Water-filled Barriers

Height:	32in
Width:	18in
Length:	72in
Weights:	
Empty:	85lbs
Filled:	970lbs

Available in all Colors:
Orange • White • Yellow • Red • Military Green • Desert Tan • Gray
Custom Colors Available

STANDARD COLORS

Specifications JB-32

Approx Weight: Empty=85 lbs.
Approx Weight: w/Water=970 lbs.

The Tamsill Corporation | 10700 Frankstown Road, Suite 105 | Pittsburgh, PA 15235
Toll: 1-800-448-2647 | Local: 412-241-7161 | Fax: 800-722-5281

- GENERAL NOTES:**
- STREET DINING OPERATIONS & CONDITIONS SHALL ABIDE BY ALL CURRENT / APPLICABLE REQUIREMENTS AS OUTLINED IN SECTION 9-215 STREETERIES OF THE PHILADELPHIA CODE.
 - GC SHALL CONDUCT ON-SITE UTILITY SURVEY PER PA ACT 287 & PROVIDE PA ONCE CALL SERIAL NUMBER AS REQUIRED PER PA UNDERGROUND UTILITY LINE PROTECTION ACT AND CONFIRM STREETERY STRUCTURE WILL NOT IMPACT ANY SURFACE UTILITY ACCESS POINTS OR UNDERGROUND UTILITY LINES.
 - A STREETERY MAY ONLY BE INSTALLED IN A PARKING LANE THAT IS AT LEAST (7) FEET WIDE AND DIRECTLY ADJACENT TO THE CURB.
 - IN A 7 FOOT PARKING LANE THE STREETERY CANNOT BE WIDER THEN 5.5 FT + 1.5 FT CRASH BARRIER.
 - ALL STREETERIES SHALL BE PROTECTED BY A CRASH PROOF PHYSICAL BARRIER LOCATED ALONG ALL SIDES OF VEHICULAR TRAFFIC. BARRIERS SHALL INCLUDE REFLECTIVE DECALS & ADDRESS PLACARD AT EACH STRUCTURE.
 - NO PORTION OF ANY STREETERY / PROTECTIVE BARRIER SHALL BE LOCATED WITHIN:
-15FT OF ANY FIRE DEPARTMENT
-20FT OF A CROSSWALK, PEDESTRIAN RAMP, BUS STOP, STOP SIGN / SIGNAL
-5FT OF ANY MANHOLES, WATER INLETS, OR OTHER UTILITY / VENTILATION ACCESS POINTS.
 - STRUCTURES ARE LIMITED TO THE PROPERTY LINE WIDTH OF THE ASSOCIATED STOREFRONT, LESS ANY APPLICABLE SAFETY ZONE REQUIREMENTS.
 - STREET AND SIDEWALK DINING OPERATIONS MUST NOT LIMIT THE PEDESTRIAN SIDEWALK PATHWAY TO LESS THEN 8FT.
 - NO PORTION OF ANY STREETERY, INCLUDING PROTECTIVE BARRIERS, SHALL REDUCE VEHICLE TRAVEL LANE TO LESS THEN 12FT.
 - MAINTAIN MIN. STRUCTURES ARE LIMITED TO 20FT CONTINUOUS LENGTH THERE IN WHICH A 3FT MIN. EMERGENCY PATHWAY MUST BE PROVIDED (OPEN TO THE SKY) BEFORE THE START OF THE NEXT LENGTH OF STRUCTURE.
 - THE PLATFORM DECK OR THE ACCESS TO THE SEATING AREA SHALL BE FLUSH WITH THE ADJACENT SIDEWALK WITHOUT A HORIZONTAL OR VERTICAL SEPARATION OF GREATER THAN 1/2".
 - STORM WATER MUST FLOW FREELY BELOW PLATFORMS AND ALONG CURB TOWARDS INLETS.
 - PROVIDE 18X18 CLEAN-OUT ACCESS HATCH AT THE CENTER EACH STRUCTURAL BAY.
 - GC SHALL INSTALL ALL MATERIALS PER MFR'S RECOMMENDATION / INSTRUCTION.
 - GC SHALL INSTALL SIMPSON HURRICANE TIE H2.5A CONNECTING ROOF & PLATFORM FRAMING TO STRUCTURAL POSTS.
 - OPERATOR IS RESPONSIBLE TO PROVIDE ADA COMPLIANT DINING AREAS AT 5% THE TOTAL SEAT COUNT, SEE ALLOWABLE OCCUPANCY.
 - ADA COMPLIANT DINING AREAS SHALL BE SERVICE BY AN ACCESSIBLE ROUTE.

WM. MULHERIN'S SONS
STREETERY
1355 N. FRONT ST.
PHILADELPHIA, PA 19122

OWNER / OPERATOR
1355 FRONT STREET
VENTURES, LLC
1523 N. FRONT STREET STE 300
PHILADELPHIA, PA 19122

ARCHITECT
STOKES ARCHITECTURE
2103 SANSOM STREET
PHILADELPHIA, PA 19103
PH: 215.523.9190
FX: 215.523.9398

STOKES.
ARCHITECTURE + DESIGN
STOKESARCH.COM



MARK	REVISIONS	DATE

SCALE: mulherin_streetery+2023.dwg
DRAWN: JTD
CHECKED: RAS
DATE: 2024-01-20

PERMIT SUBMISSION

STREETERY PAVILION

DRAWING TITLE
A101



Richard Stokes Pennsylvania License PA RA011987X

MARK	REVISIONS	DATE

ALL DIMENSIONS AND RELATIONSHIPS MUST BE VERIFIED BY CONTRACTOR. THE ARCHITECT IS TO BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE CONSTRUCTION. DO NOT SCALE FROM DRAWINGS.

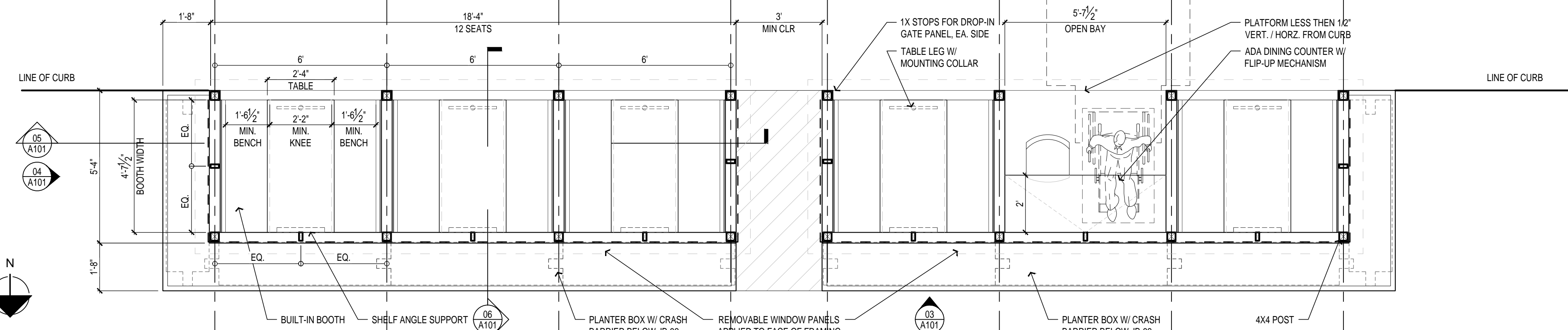
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CHECKED:	2024-01-20
DATE:	

PERMIT SUBMISSION

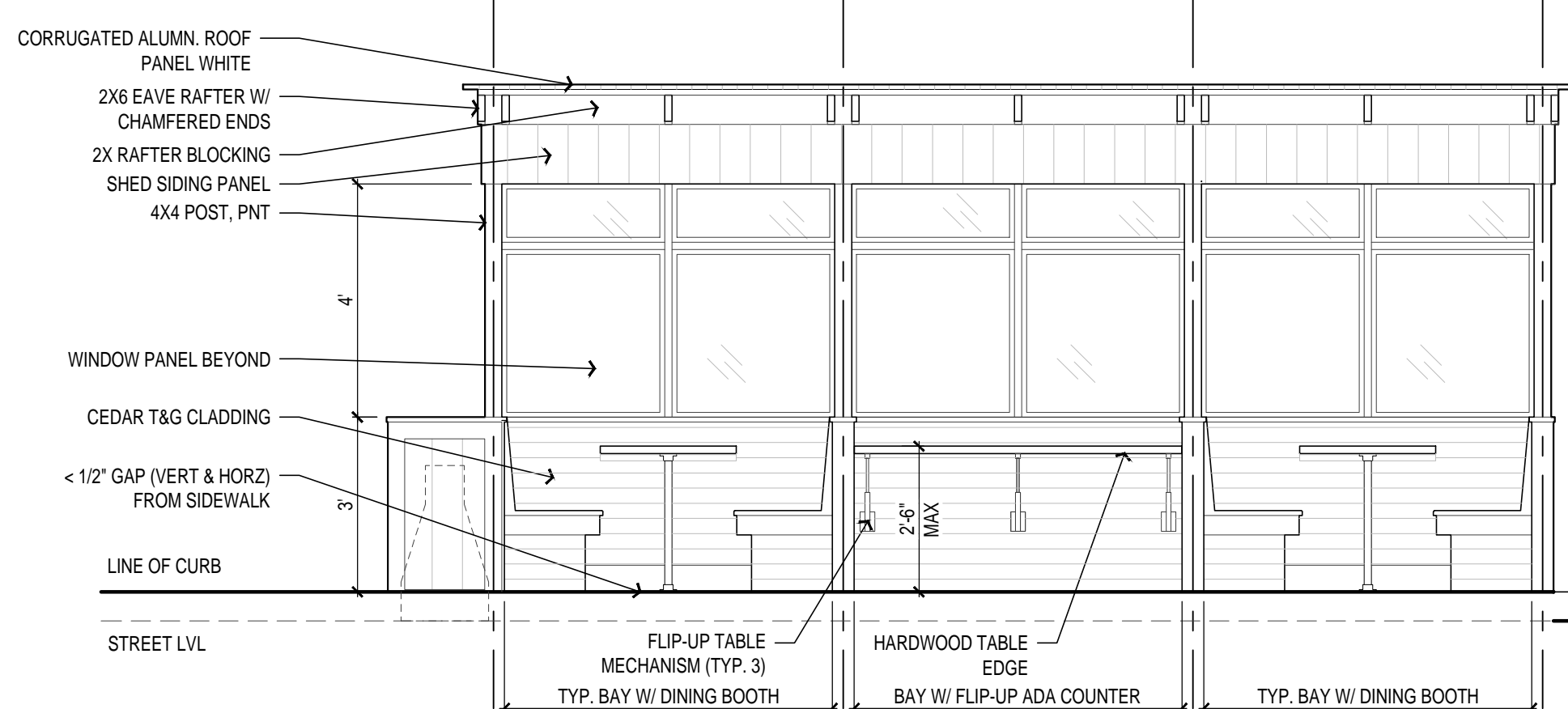
EXISTING CONDITIONS
PLAN

DRAWING TITLE

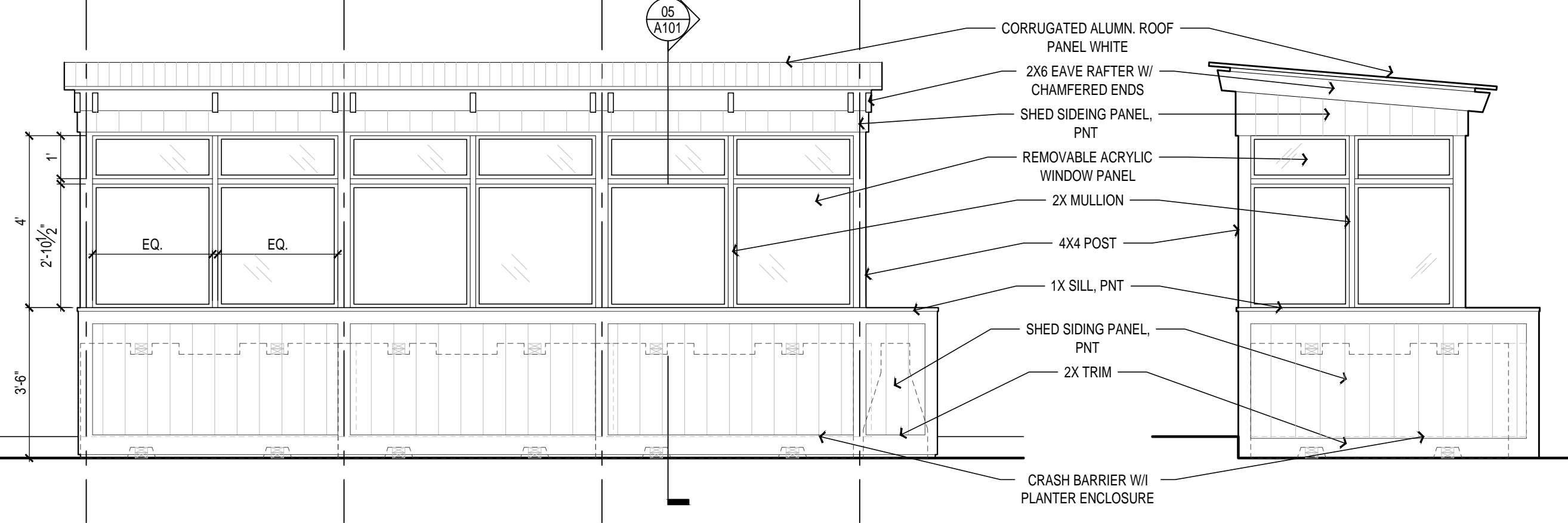
A102



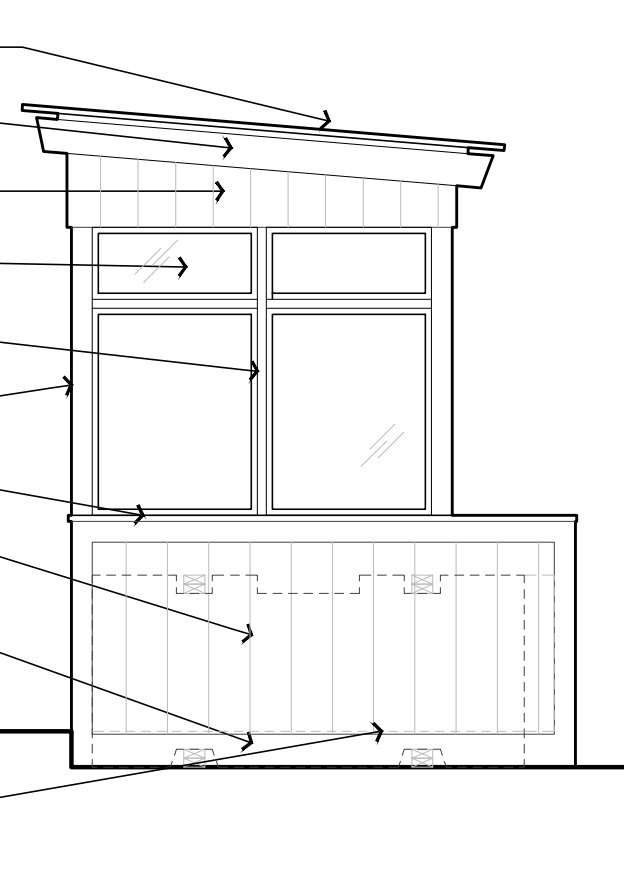
01 ENLARGED PLAN
A102 3/8" = 1'-0"



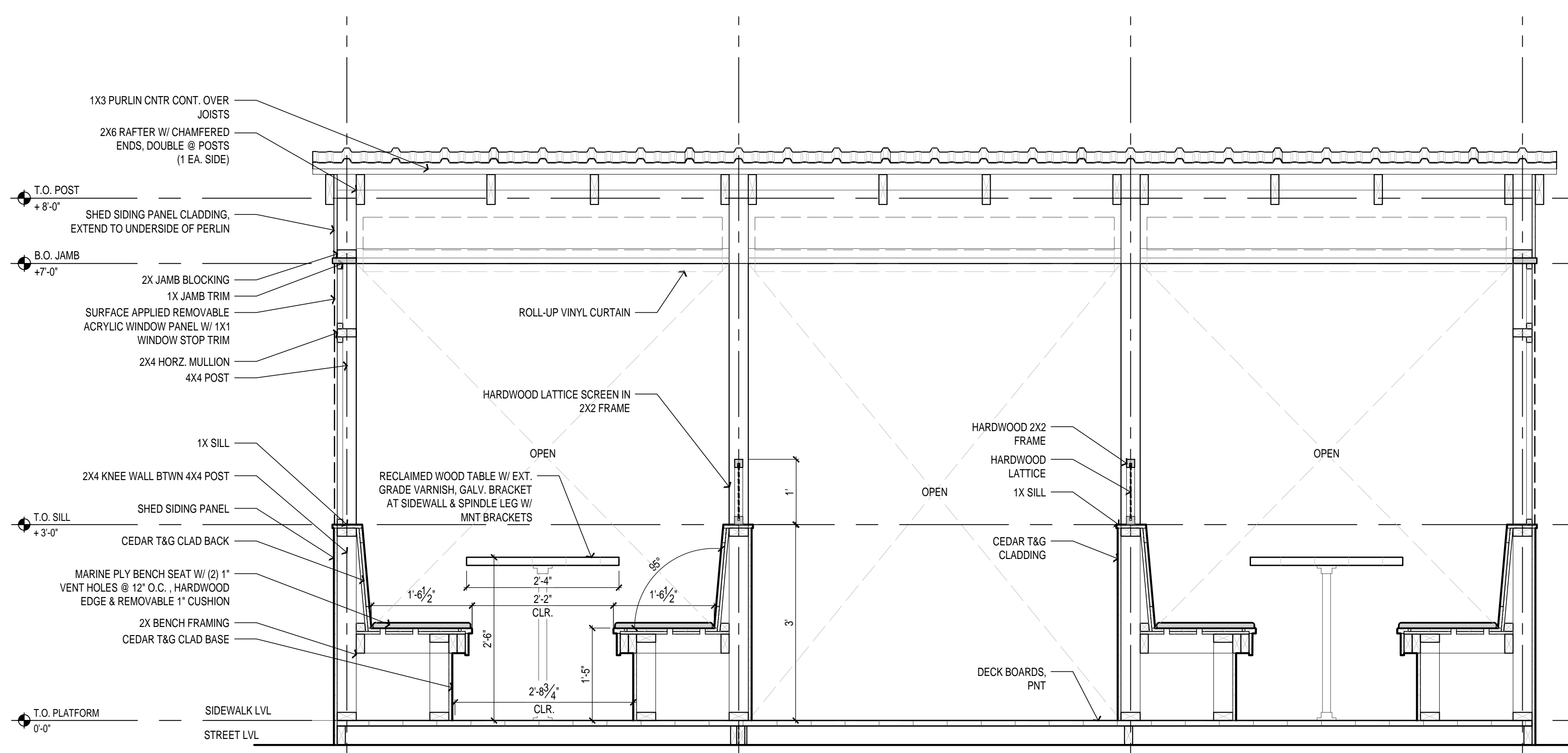
02 ELEVATION - SIDEWALK SIDE
A102 3/8" = 1'-0"



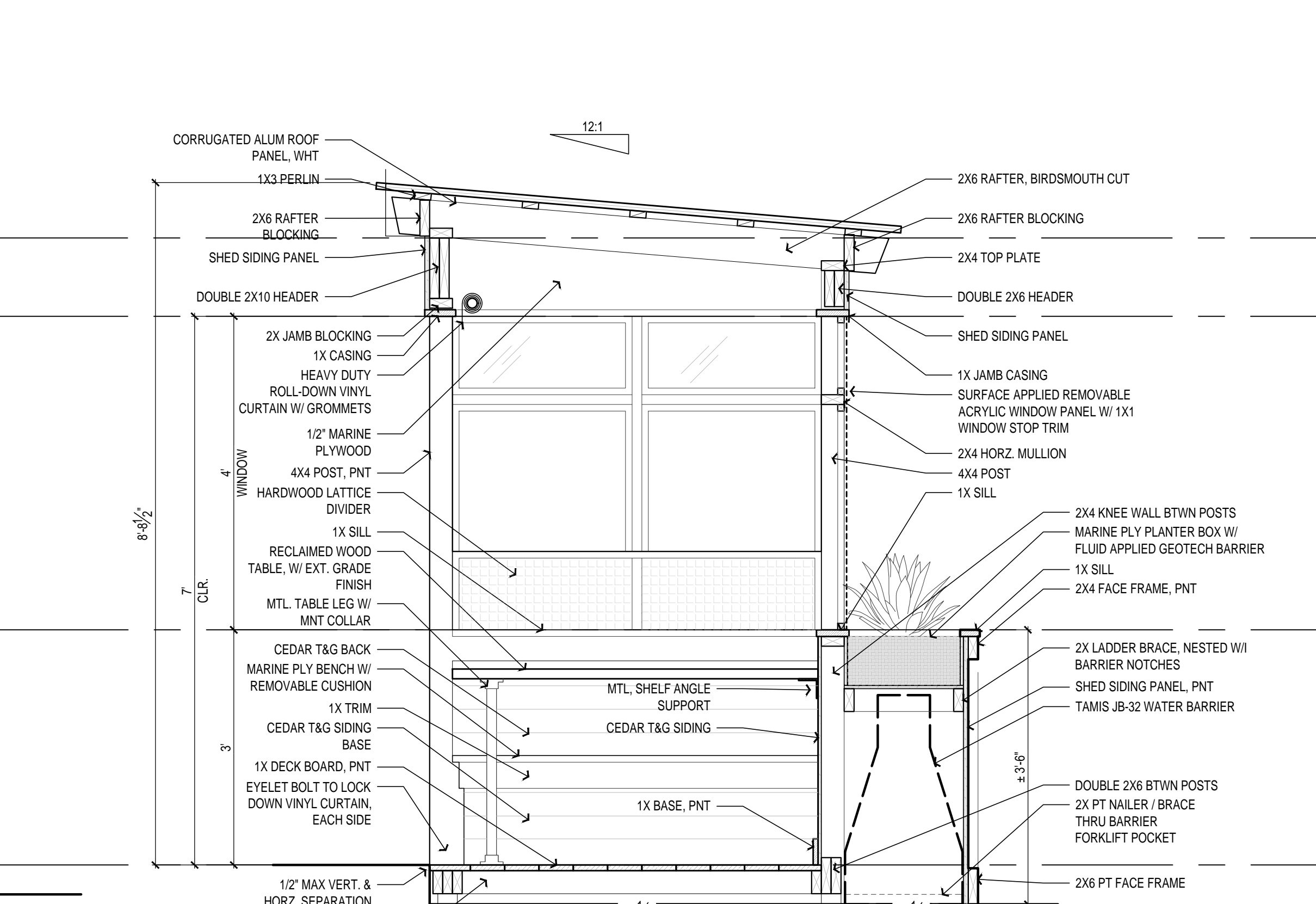
03 ELEVATION - STREET SIDE (TYP.)
A102 3/8" = 1'-0"



04 ELEVATION - RETURN END (TYP.)
A102 3/8" = 1'-0"



05 LONGITUDINAL SECTION
A102 3/4" = 1'-0"



06 CROSS SECTION
A102 3/4" = 1'-0"

Wm. Mulherin's Sons

Streeter Design

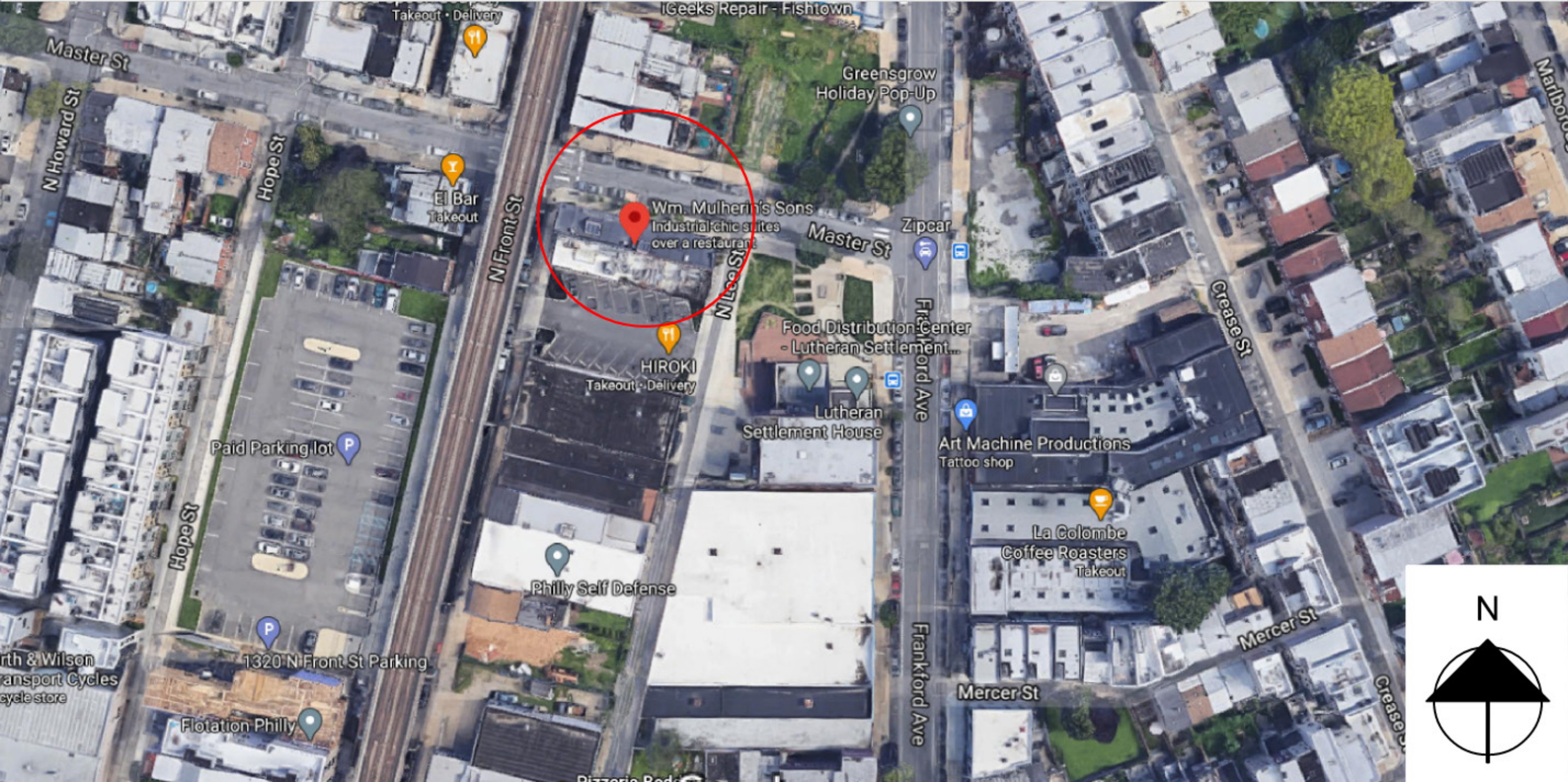
1335 N Front St, Philadelphia, PA 19122

May 2024

Version 2

LOCATION MAP

1355 N FRONT ST



STREET VIEW

1355 N FRONT ST



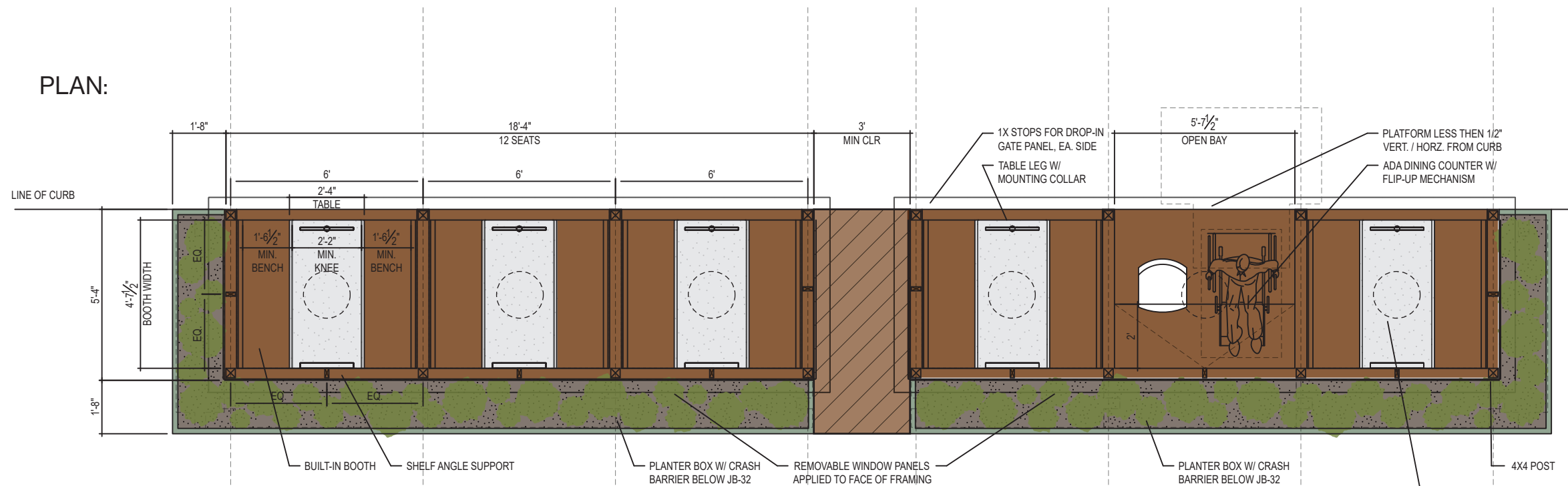
WM. MULHERIN'S SONS STREETERY DESIGN
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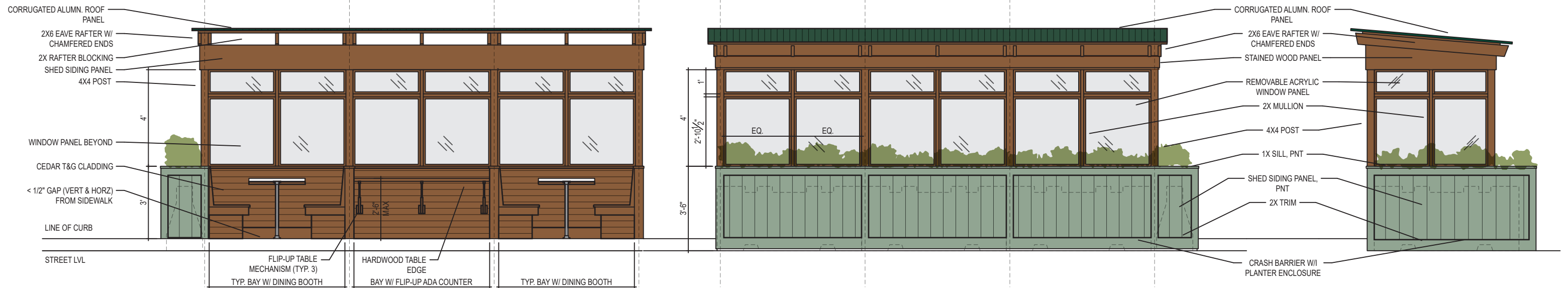
PLAN:



MATERIAL PALETTE

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Painted Surfaces
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Color: forest green

ELEVATIONS:



VIEW FROM MASTER STREET



VIEW FROM MASTER/FRONT STREET



VIEW FROM FRONT STREET



VIEW FROM SIDEWALK



VIEW FROM SIDEWALK



LIGHTING

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Rechargeable Hanging Lanterns

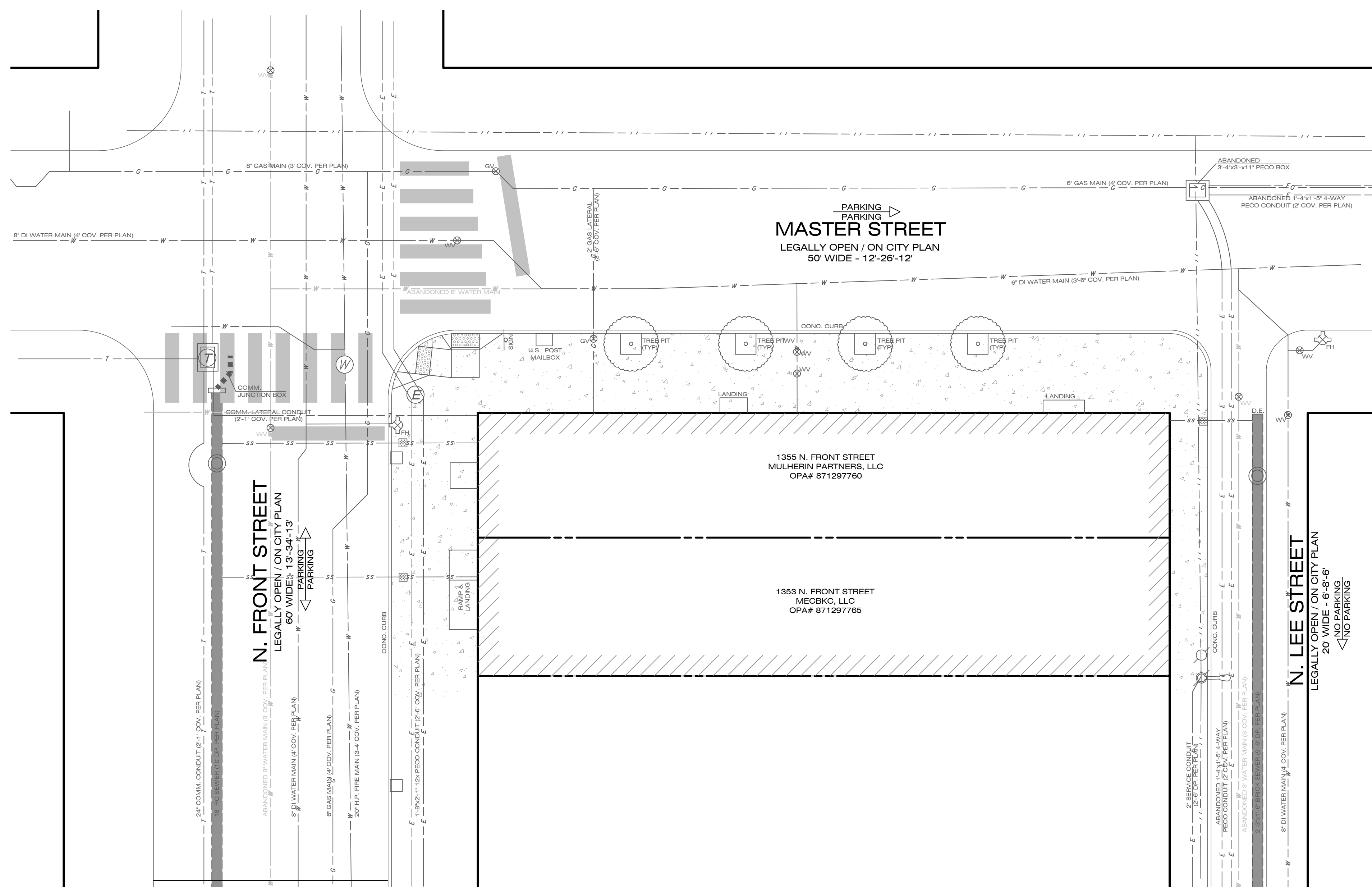
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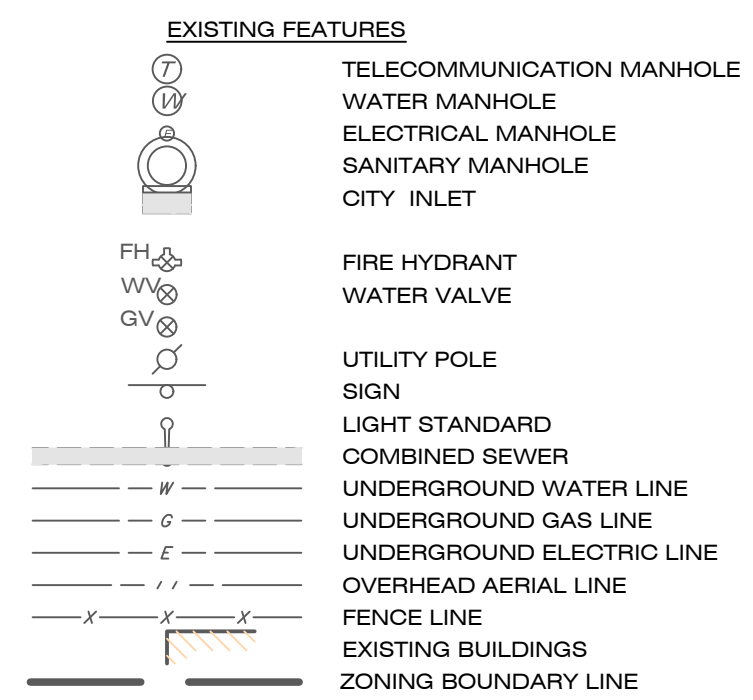
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Specfication TBD, pending samples
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PLOTTED: Wednesday, January 3, 2024, 12:28 PM | FILE: P:\PROJECTS\1355 N. FRONT ST.DWG\1355 N. FRONT ST.DWG | LAYOUT: 001-EXISTING

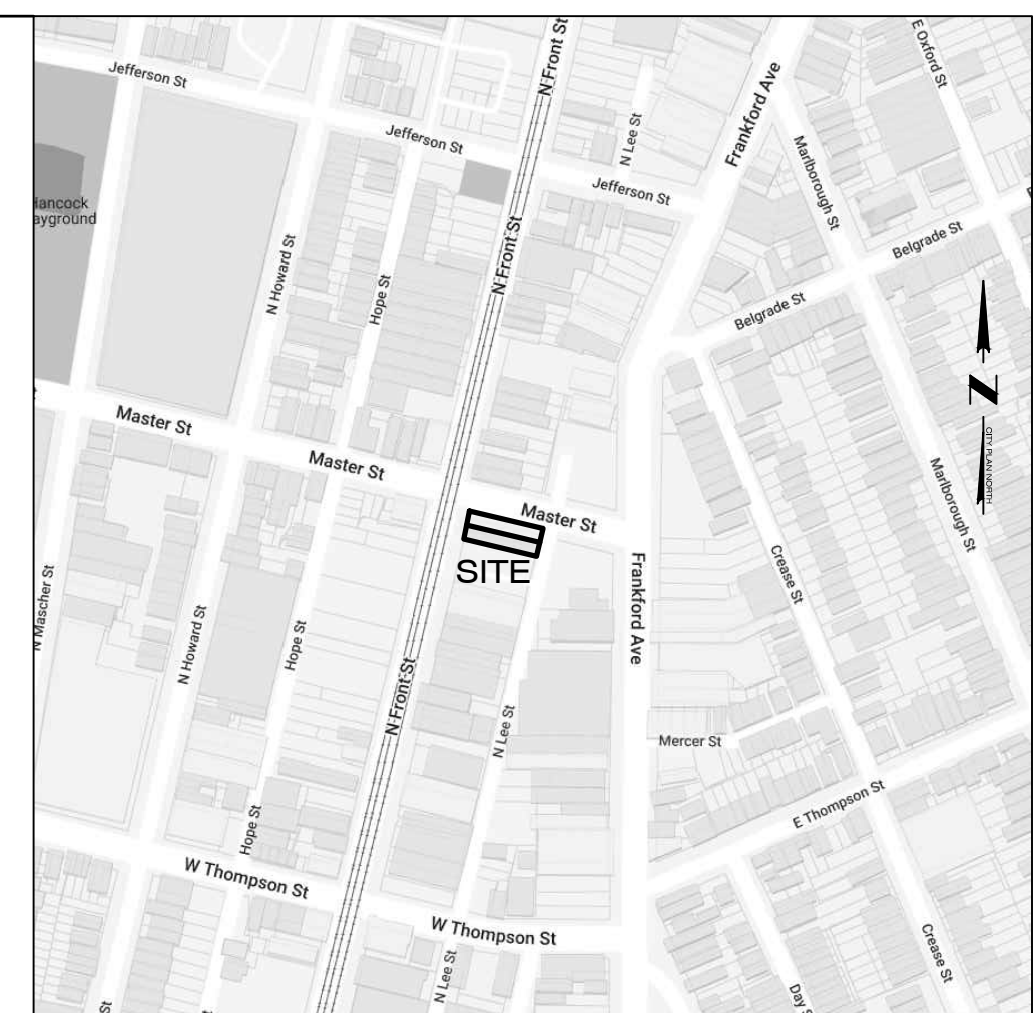


LEGEND



UTILITY OWNERS

- DATE CONTACTED: October 31, 2023
 SERIAL NUMBER: 20233042555
- COMPANY: COMCAST CABLEVISION
 ADDRESS: 4400 WAYNE AVE
 PHILADELPHIA, PA 19140
 CONTACT: BOB HARVEY
 EMAIL: bob.harvey@cable.comcast.com
- COMPANY: USIC
 ADDRESS: 450 S HENDERSON RD, SUITE B
 KING OF PRUSSIA, PA 19406
 CONTACT: GAVIN HEWITT
 EMAIL: gavinhe Witt@usicinc.com
- COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
 ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
 PHILADELPHIA, PA 19107
 CONTACT: ERIC PONERT
 EMAIL: eric.ponert@phila.gov
- COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
 ADDRESS: 1401 JFK BLVD, ROOM 940 MSB
 PHILADELPHIA, PA 19102
 CONTACT: JOSEPH KISIEL
 EMAIL: joseph.kisiel@phila.gov
- COMPANY: PHILADELPHIA GAS WORKS
 ADDRESS: 800 W MONTGOMERY AVE
 PHILADELPHIA, PA 19122
 CONTACT: JAMES BOCHANSKI
- COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
 ADDRESS: 1234 MARKET ST, 12TH FL
 PHILADELPHIA, PA 19107
 CONTACT: DAVID MONTVYDAS
 EMAIL: dmontvydas@septa.org
- COMPANY: VERIZON PENNSYLVANIA, LLC
 ADDRESS: 180 SHEREE BLVD, STE 2100 ROOM N/A
 EXTON, PA 19341
 CONTACT: KELLY BLOUNT
 EMAIL: kelley.b.blount@verizon.com



LOCATION MAP SCALE 1"=500'

NOTES

- Surface and subsurface location information shown hereon is based on available surveys, aerial imagery, and one call documents.
- The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
- FEMA FIRIM map #4207570182H effective November 18, 2015 designates the site as Zone X, areas outside the 500 yr. floodplain, not printed.
- This survey does not address the presence or absence of freshwater wetlands.
- Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
- Attention is called to the zoning requirements in the City of Philadelphia Code as amended. The property is identified as within the Community Commercial Mixed Use (CMX-3) Zoning District and is within the Fifth District Overlay District.

PLAN REFERENCE

- C.P. #271.



NOTE: PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 121 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.

REVISIONS	
1	01/03/2024 Correct Title Block Information

1355 N. FRONT STREET
 Philadelphia, PA 19122
 18th Ward - OPA# 871297760

prepared for owner:
 Mulherin Partners, LLC
 2111 E. York Street,
 Philadelphia, PA 19125
 (770) 630-1203
 tmorris@methodco.com

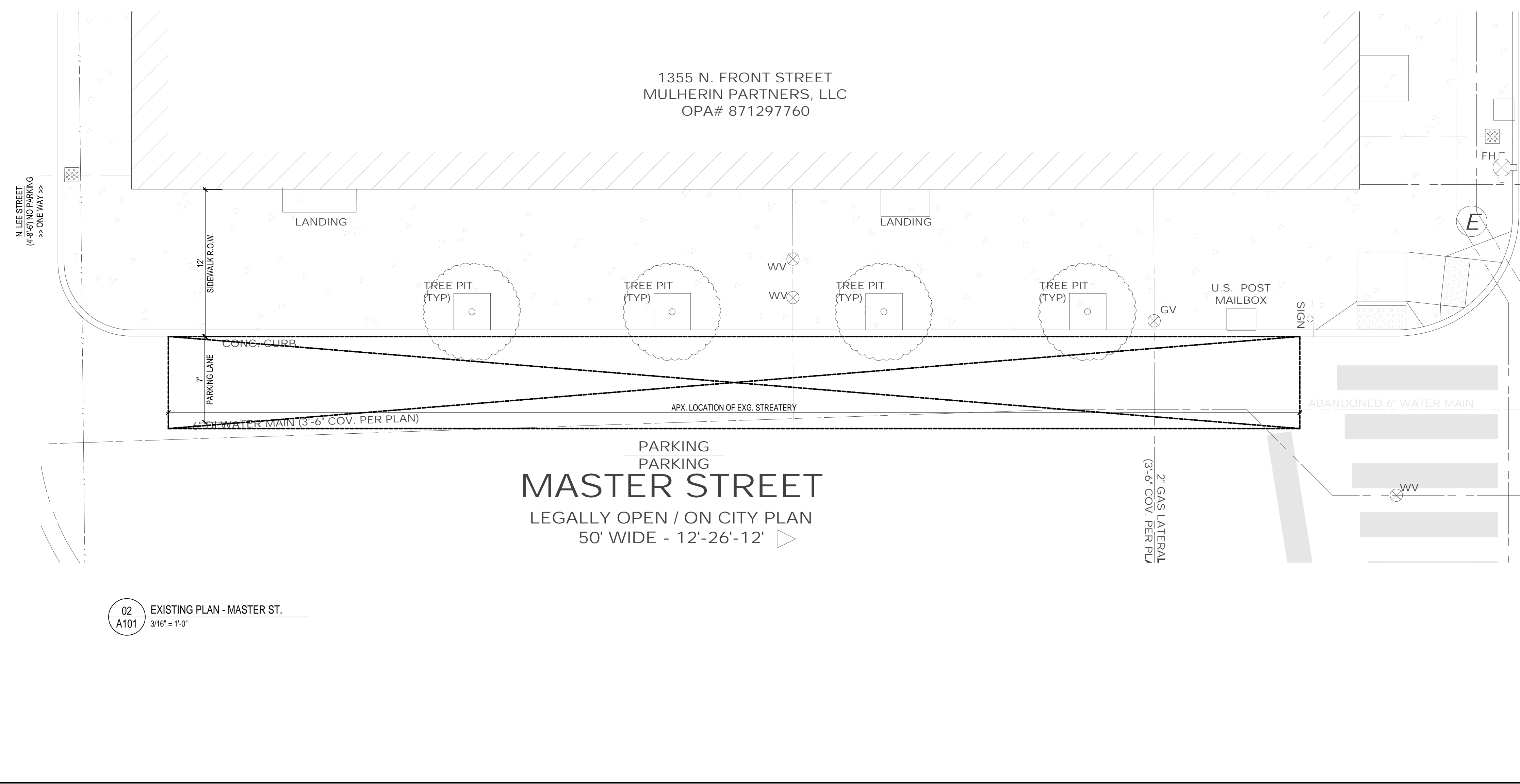
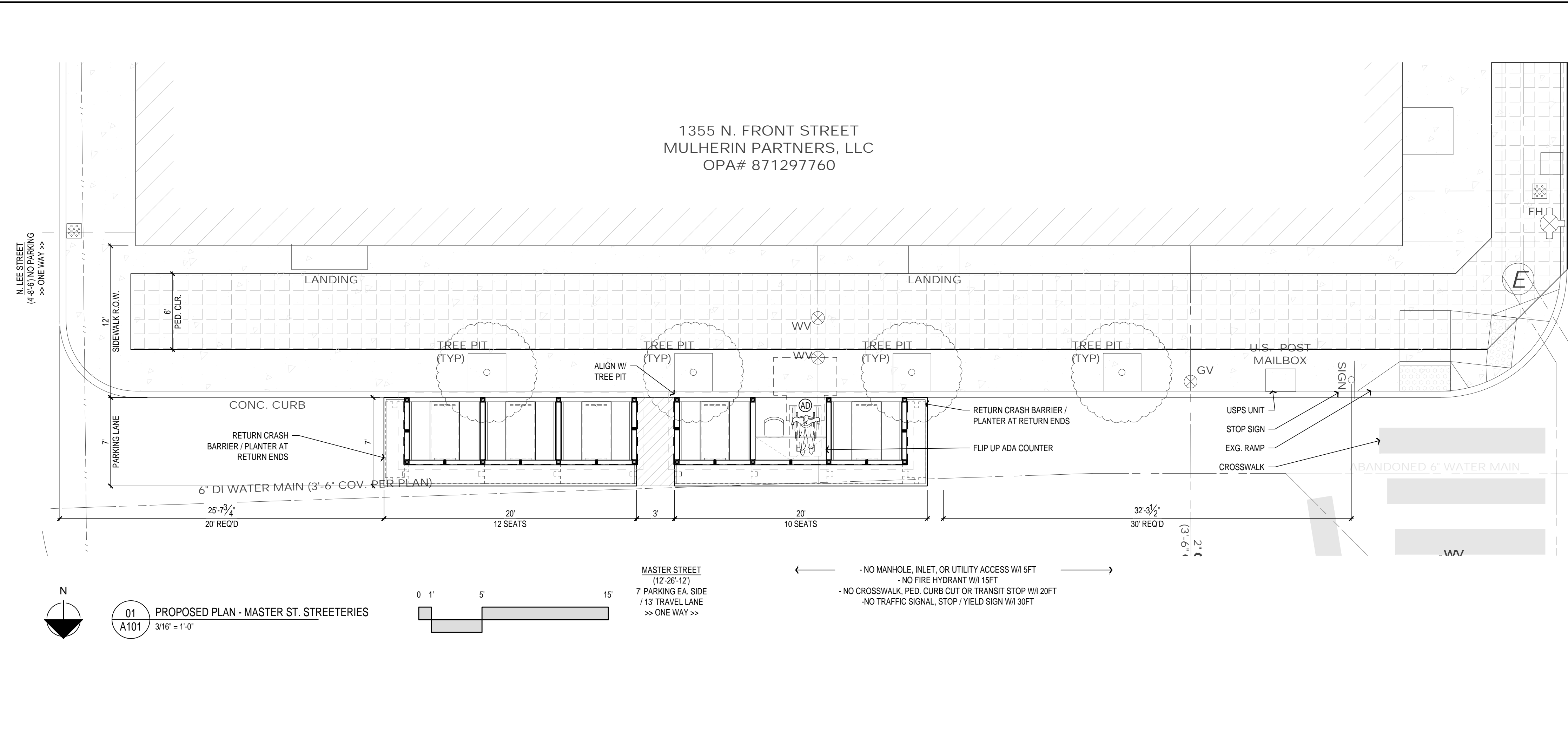
prepared by engineer:

RONALD B. GLENN, Professional Engineer PA. No. PE-093927-E

Ruggiero Plante Land Design
 5900 Ridge Avenue Philadelphia, PA 19128
 phone 215.508.3900 fax 215.508.3900 www.ruggieroplante.com

Plan Date: November 27, 2023
 Scale: 1" = 10'-0"

Sheet Title:
EXISTING SITE / ROW UTILITY PLAN
 Sheet 1 of 1



BUILDING INFORMATION & CODE REVIEW

PROJECT TITLE: WM. MULHERIN'S SONS - STREETERY
PROJECT ADDRESS: 1355 N. FRONT ST. PHILADELPHIA, PA 19122

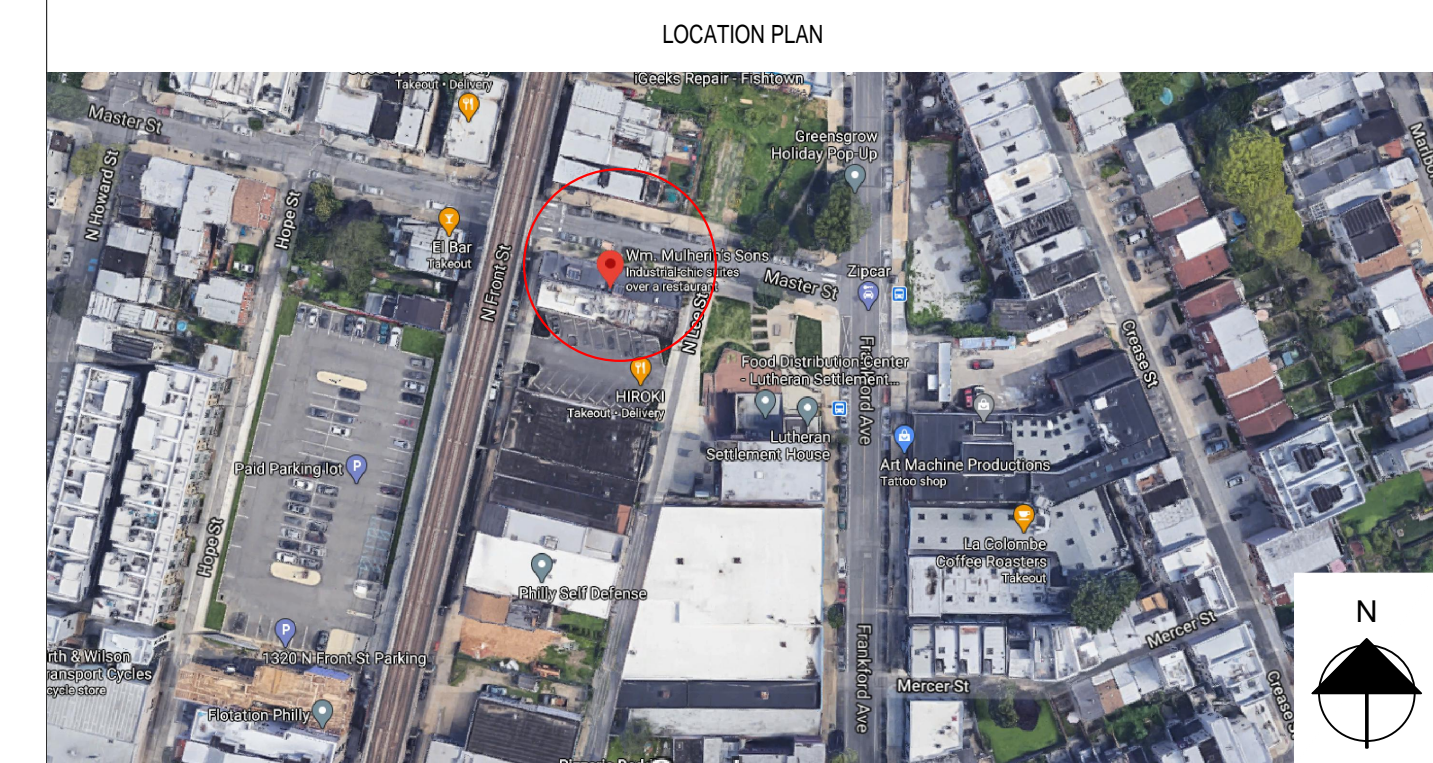
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USE / FLOOR AREAS / OCCUPANT LOADS (TABLE 1004.1.2):				
FLOOR / LEVEL	CLASSIFICATION / FUNCTION	OCCUPANCY LOAD FACTORS	SQUARE FOOTAGE	OCCUPANCY:
1ST FLOOR:	ASSEMBLY - DINING (OUTDOOR)	N/A OUTDOOR	175 SF (CUMULATIVE)	N/A
TOTAL:				22 1 ACCESSIBLE SEATS REQD @ 5%

CONSTRUCTION INFORMATION

CONSTRUCTION TYPE: 5B (EXISTING NO CHANGE)
REQD SEPARATION OF OCCUPANCY: N/A (EXISTING NO CHANGE) (PER SECTION 508.4)
SPRINKLER: N/A
FIRE / SMOKE ALARM: N/A

BUILDING STATISTICS

	ALLOWABLE / PERMITTED	SPRINKLER ADJUSTMENT	ACTUAL / PROPOSED
HEIGHT (FEET) TABLE 504.3	B / M: 55'	N/A	8'-4"
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Information - JB-32 Low Water-filled Barriers

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Width: 18in
Length: 72in
Weights:
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Filled: 970lbs

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Orange • White • Yellow • Red • Military Green • Desert Tan • Gray
Custom Colors Available

STANDARD COLORS: [Color swatches]

Specifications JB-32: [Technical drawings]

Approx Weight: Empty=85 lbs, Filled=970 lbs

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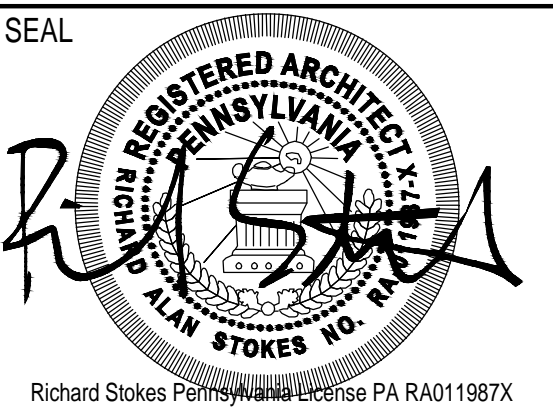
WM. MULHERIN'S SONS
STREETERY

1355 N. FRONT ST.
PHILADELPHIA, PA 19122

OWNER / OPERATOR
1355 FRONT STREET
VENTURES, LLC
1523 N. FRONT STREET STE 300
PHILADELPHIA, PA 19122

ARCHITECT
STOKES ARCHITECTURE
2103 SANSOM STREET
PHILADELPHIA, PA 19103
PH: 215.523.9190
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STOKES.
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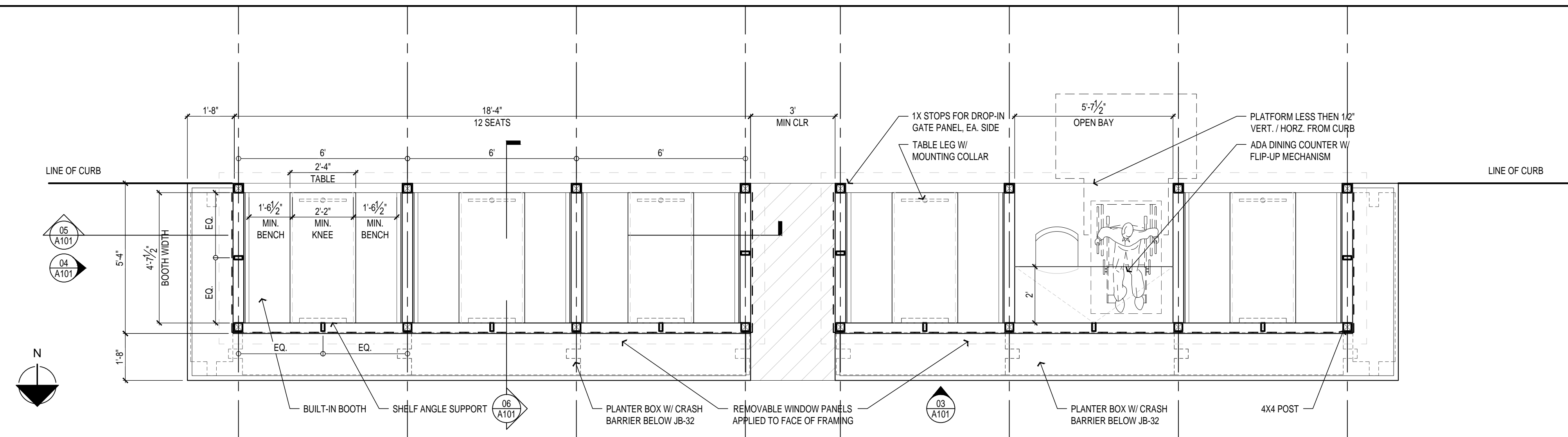
MARK	REVISIONS	DATE

SCALE: mulherin_streeteries+2023.dwg
DRAWN: JTD
CHECKED: RAS
DATE: 2024-01-20

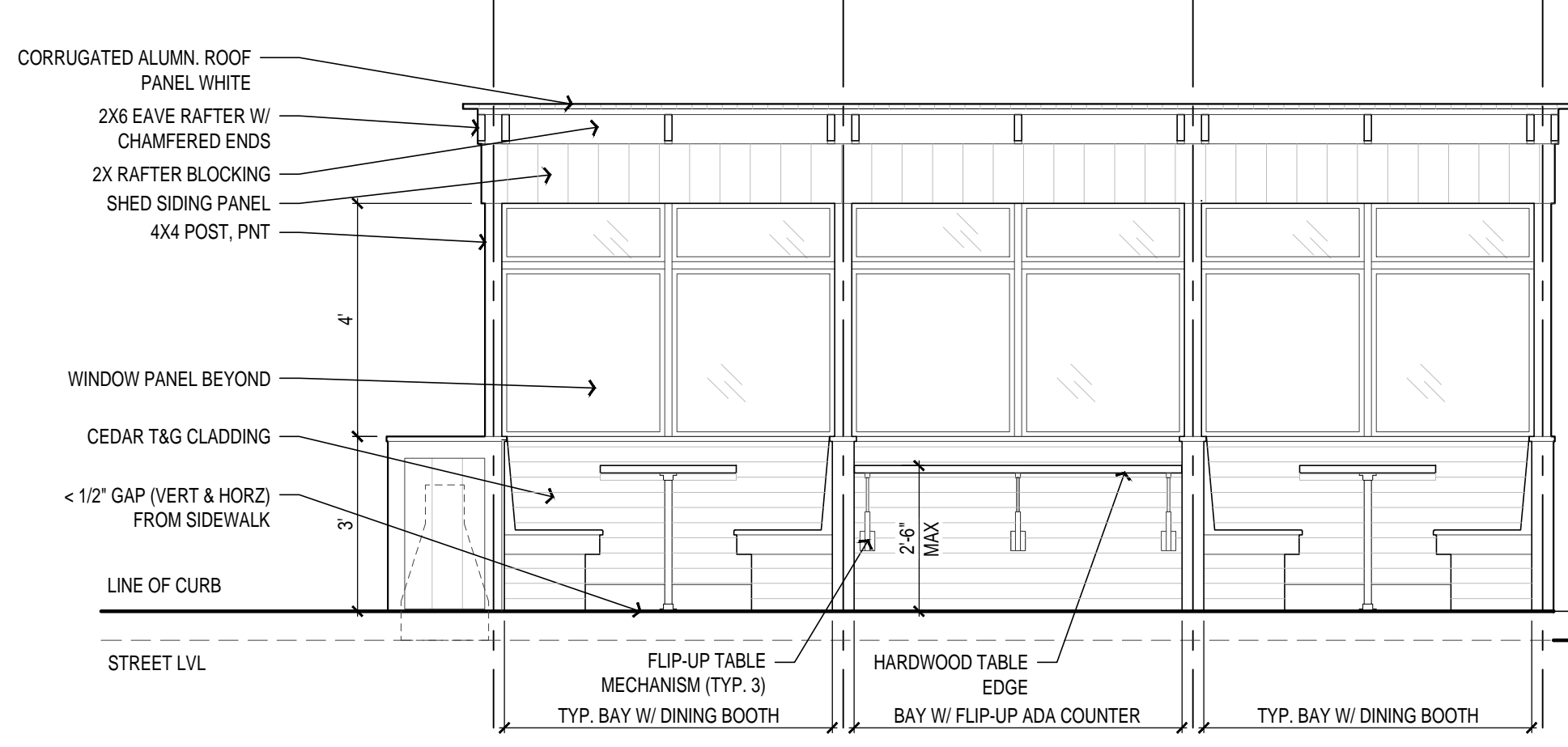
PERMIT SUBMISSION

STREETERY PAVILION

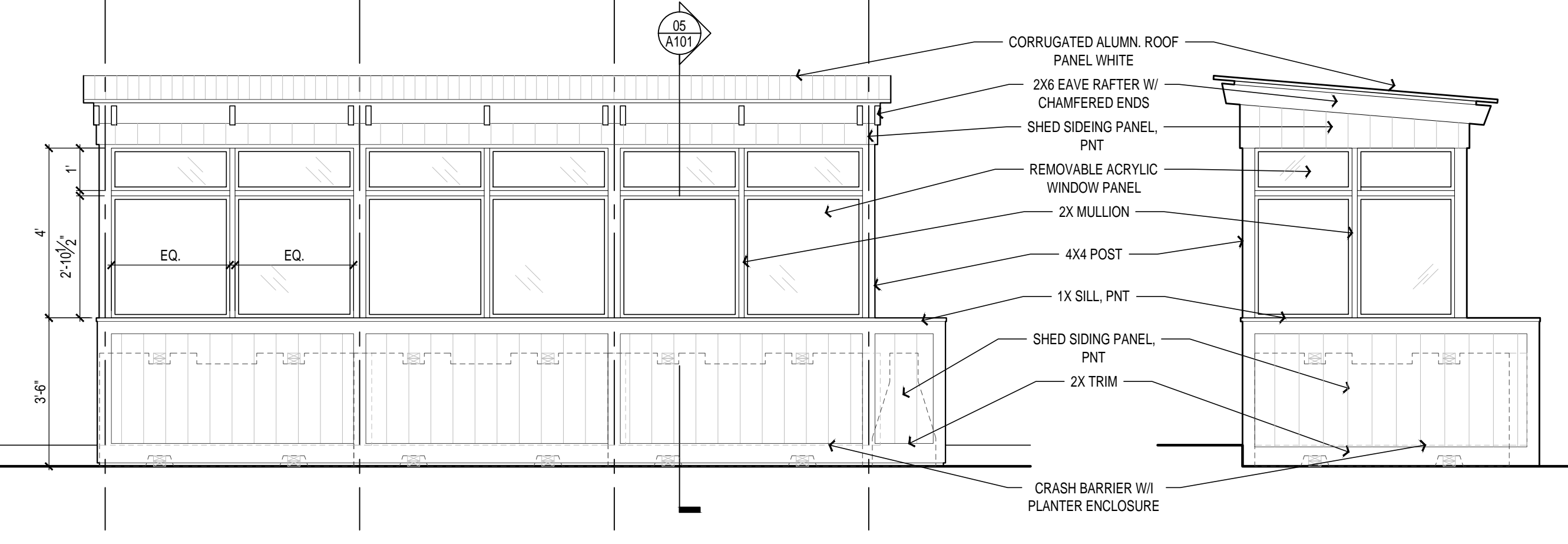
DRAWING TITLE
A101



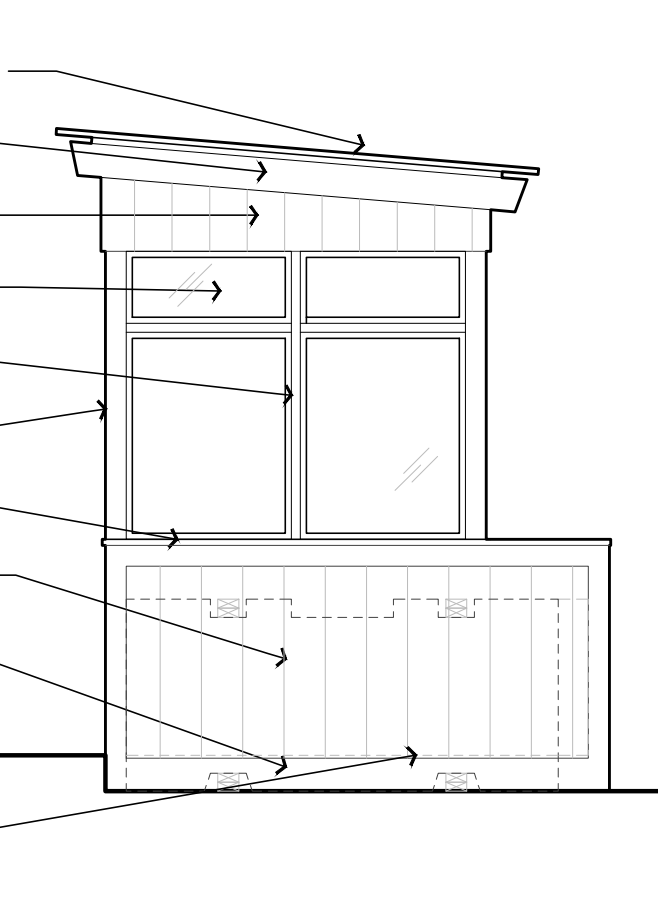
01 ENLARGED PLAN
A102 3/8" = 1'-0"



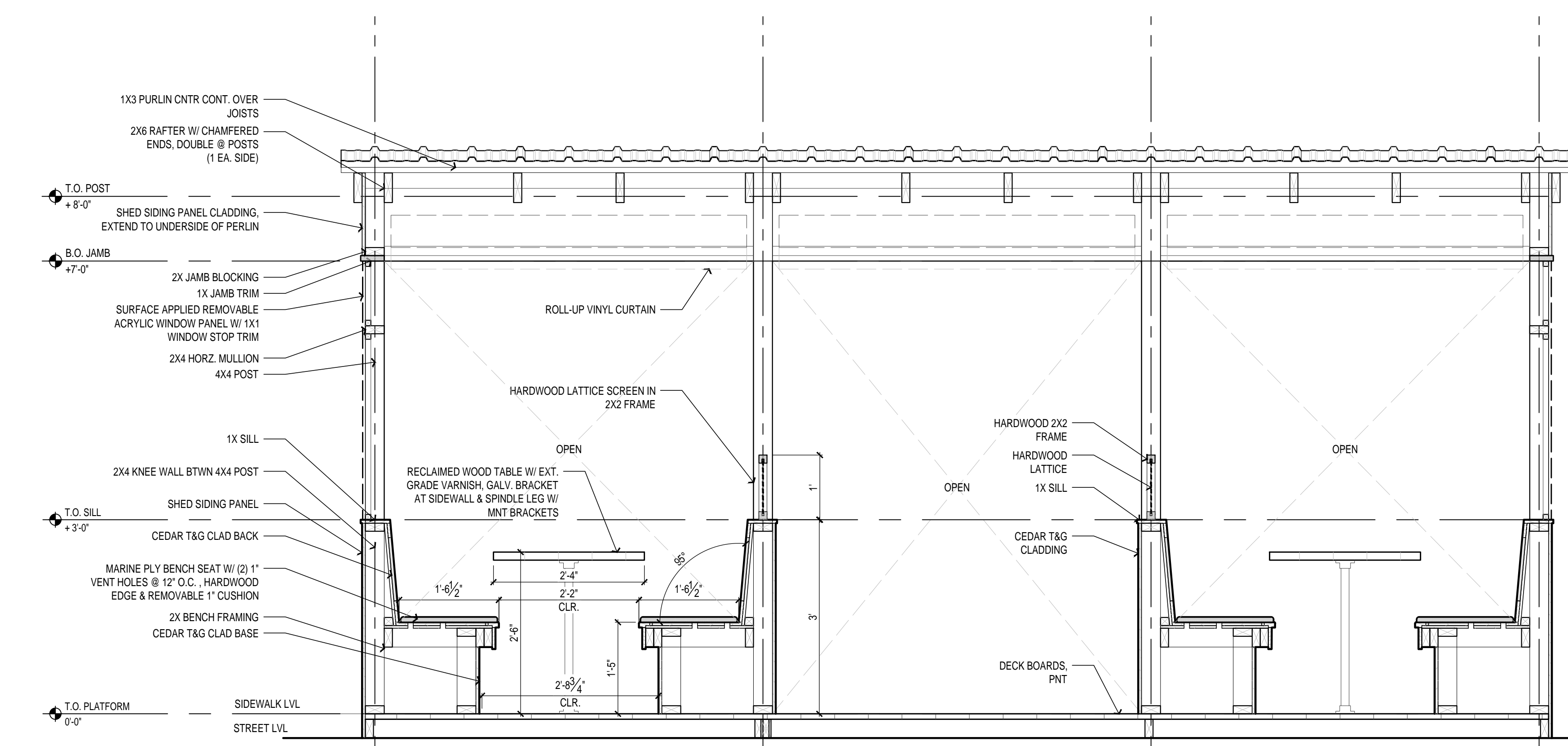
02 ELEVATION - SIDEWALK SIDE
A102 3/8" = 1'-0"



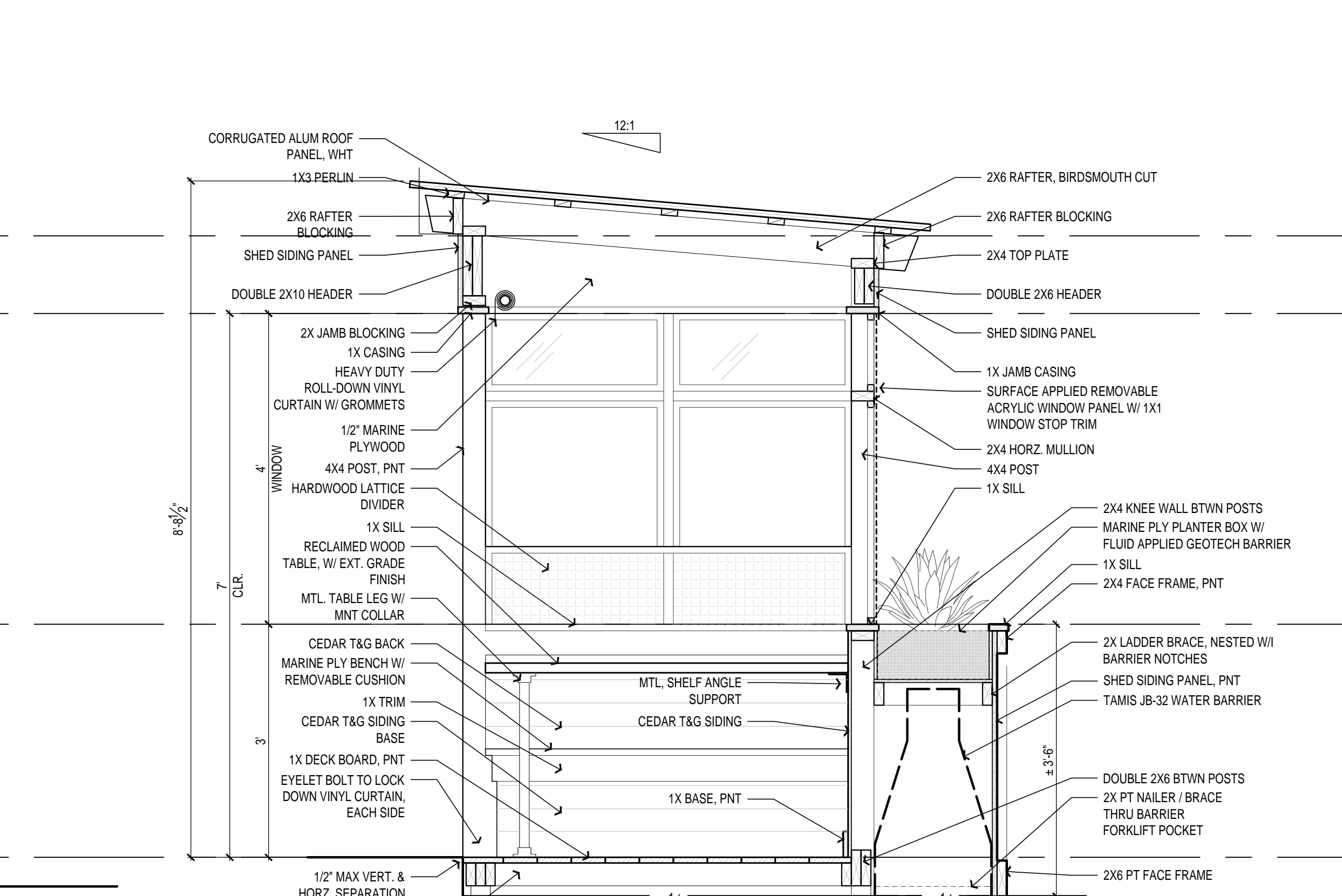
03 ELEVATION - STREET SIDE (TYP.)
A102 3/8" = 1'-0"



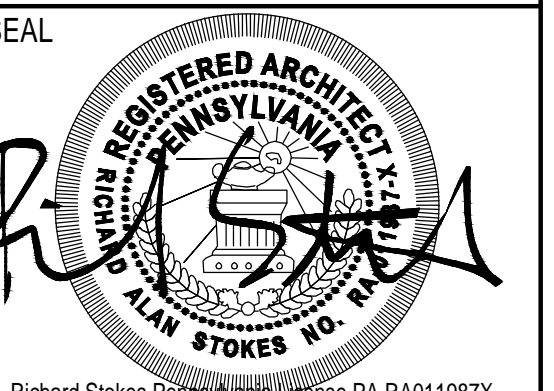
04 ELEVATION - RETURN END (TYP.)
A102 3/8" = 1'-0"



05 LONGITUDINAL SECTION
A102 3/4" = 1'-0"



06 CROSS SECTION
A102 3/4" = 1'-0"



Richard Stokes Pennsylvania License PA RA011987X

MARK	REVISIONS	DATE

ALL DIMENSIONS AND RELATIONSHIPS MUST BE VERIFIED BY CONTRACTOR. THE ARCHITECT IS TO BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE CONSTRUCTION. DO NOT SCALE FROM DRAWINGS.

SCALE:	mulherin_streetery-2023.dwg
FILENAME:	JTD
DRAWN:	RAS
CHECKED:	2024-01-20
DATE:	

PERMIT SUBMISSION

EXISTING CONDITIONS PLAN

DRAWING TITLE

A102





MULLERIN'S SONS

ONE

FOR HOW
11/4
CASTROVILLE



Ronald Glenn

From: Jillian Pham
Sent: Tuesday, October 31, 2023 2:13 PM
To: Peter Straus
Subject: FW: POCS 10/31/23 14:10:40 20233042555-000 WR# 296320231031 New Excavation Preliminary Design

Work Site--[1355 N FRONT ST]

Jillian C. Pham
Office Assistant
Ruggiero Plante Land Design
5900 Ridge Ave
Philadelphia, PA 19128
P: 215.508.3900 | F: 215.508.3800
E: jillian@ruggieroplante.com

WBE . Landscape Architecture . Civil Engineering . Land Surveying . Site Planning

-----Original Message-----

From: POCS Web Ticket Confirmation <Delivery@pa1call.net>
Sent: Tuesday, October 31, 2023 2:11 PM
To: Jillian Pham <jillian@ruggieroplante.com>
Subject: POCS 10/31/23 14:10:40 20233042555-000 WR# 296320231031 New Excavation Preliminary Design

WEBCFM 00000 POCS 10/31/23 14:10:40 20233042555-000 WR# 296320231031 NEW XCAV DSGN

=====PENNSYLVANIA UNDERGROUND UTILITY LINE PROTECTION REQUEST===== Serial Number--
[20233042555]-[000] Channel#--[1407AWEB][0157][2019-08]
Message Type--[NEW][EXCAVATION][PRELIMINARY DESIGN]

County--[PHILADELPHIA] Municipality--[PHILADELPHIA CITY] Ward--[18]

Work Site--[1355 N FRONT ST]

Nearest Intersection--[MASTER]

Second Intersection--[LEE]

At Intersection--[N] Between Intersections--[N]

Subdivision--[]

Location Information--

[SITE FRONTS ON LEE MASTER AND N FRONT - WILL NEED UTILITIES SHOWING ALL 3
STREETS]

Caller Lat/Lon--[]

Mapped Type--[C] Mapped Lat/Lon--

[]

Attachments--

[<https://link.edgepilot.com/s/20ec777b/gjeLBsJjUa5V7HXEcSvaA?u=http://www.pa811.org/attachments/20233042555>]

Type of Work--[SURVEY] Depth--[]

Extent of Excavation--[] Method of Excavation--[]

Equip Type--[]

Street--[X] Sidewalk--[X] Pub Prop--[X] Pvt Prop--[X] Other--[] Private Front--[X] Rear--[X] Left--[X] Right--[X]

Project Dates--[] thru [] Response Due Date--[15-Nov-23]
Scheduled Excavation Date--[DESIGN]

Caller--[JILLIAN PHAM]
Caller Phone--[215-508-3900]
Excavator--[RUGGIERO PLANTE LAND DESIGN]
Address--[5900 RIDGE AVE]
City--[PHILADELPHIA] State--[PA] Zip--[19128]
FAX--[] Caller Type--[B]
Email--[JILLIAN@RUGGIEROPLANTE.COM]
Work For--[RUGGIERO PLANTE LAND DESIGN]
Project Contact--[JILLIAN PHAM]
Project Contact Phone--[843-333-4370]
Best Time to Call--[8:30-4:00]
Project Contact Email--[JILLIAN@RUGGIEROPLANTE.COM]
CPA Project ID--[5338031]

Prepared--[31-Oct-23] at [1410] by [JILLRPLD]

Remarks--

[SITE FRONTS ON LEE MASTER AND N FRONT - WILL NEED UTILITIES SHOWING ALL 3
STREETS]

ATMO ATM=AT&T CQ 0 CQ=COMCAST CABLE KA 0 KA=PECO EXELON CO
PD 0 PD=PHILA C WTR DPT PSD 0 PSD=PHILADELPHIA ST PZ 0 PZ=PGW PHLA
SEPO SEP=SEPTA YA 0 YA=VERIZON PA PHIL

Serial Number--[20233042555]-[000]

=====
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BINGHAM

GAS

USA

TAYLOR



