

**ADDRESS: 7600 GERMANTOWN AVE**

Proposal: Construct new buildings

Review Requested: Final Approval

Owner: Cresheim Green Associates

Applicant: Scott Seibert, Cresheim Green Associates

History: 1916, St. Martin's Coal Company Office; 1966 rear addition

Individual Designation: 8/13/2021

District Designation: None

Staff Contact: Allyson Mehley, allyson.mehley@phila.gov

**BACKGROUND:**

This application seeks final approval for the construction of eight single-family attached houses and a parking structure at 7600 Germantown Avenue. The proposed development will stand behind the former St. Martin's Coal Company Office. Although the full parcel was designated in 2021, the nomination focused on the 1916 Colonial Revival style building directly fronting Germantown Avenue. No part of the historic building will be demolished or moved as part of the new construction.

The eight three-story buildings will have contemporary fenestration and be clad in yellow-brown brick and neutral tone stucco. The gable roofs will be green roofs. Windows and doors will be UPVC. In between the historic building at the front of the property and the new houses, a metal frame parking structure is proposed with rooftop solar panels. The parking structure will be set back approximately 10 feet from the historic building's 1966 addition. As part of the overall redevelopment of the site, the historic building will be repurposed for a new use. The rehabilitation of the historic building is not part of this application.

Historically, the narrow lot behind the office building has served industrial uses. Images and maps from the early twentieth century show coal bins and related company structures along the length of the property. This property is adjacent to a former rail line that allowed coal to be delivered directly to St. Martin's Coal Company.

**SCOPE OF WORK:**

- Construct eight single-family attached houses.

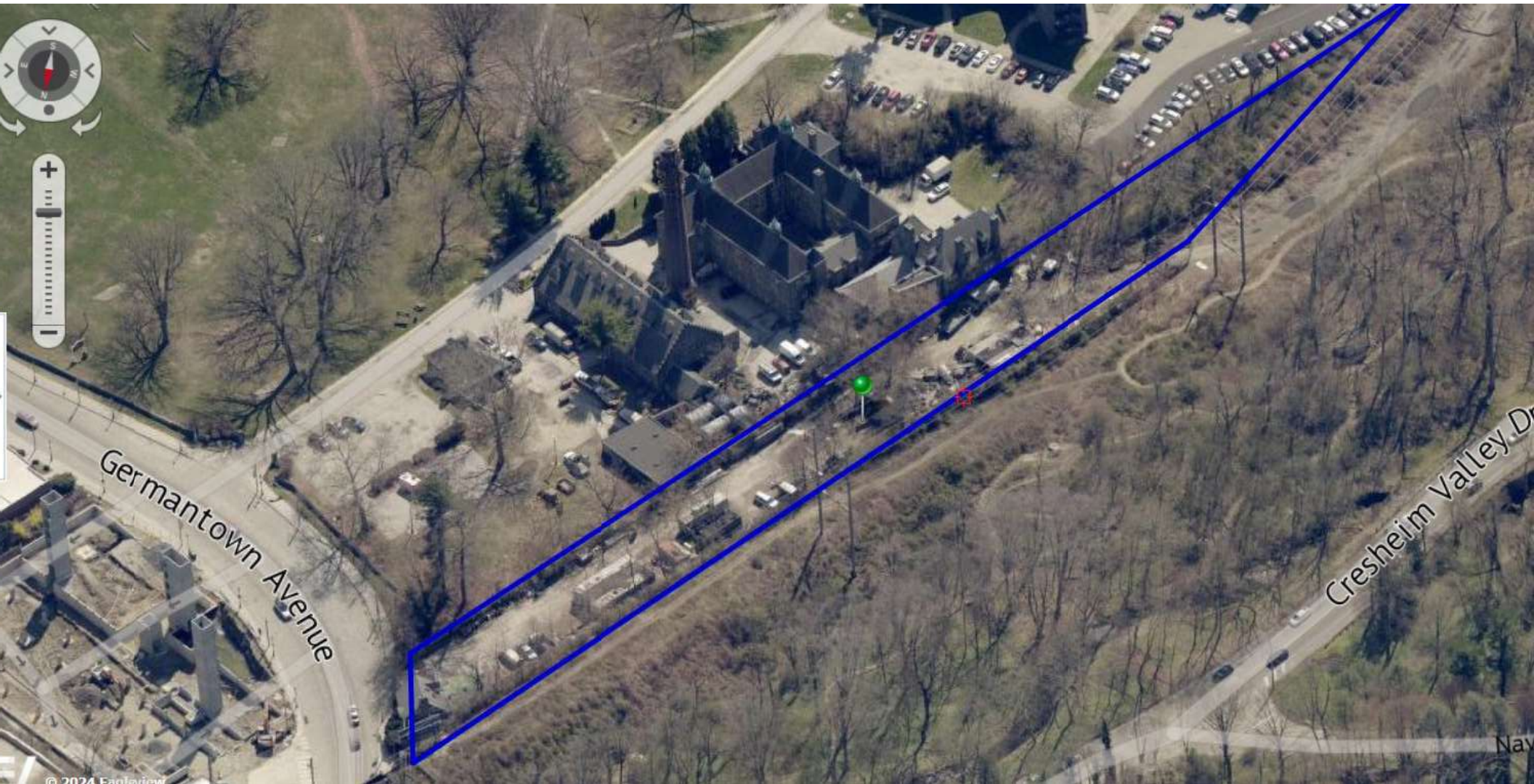
**STANDARDS FOR REVIEW:**

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

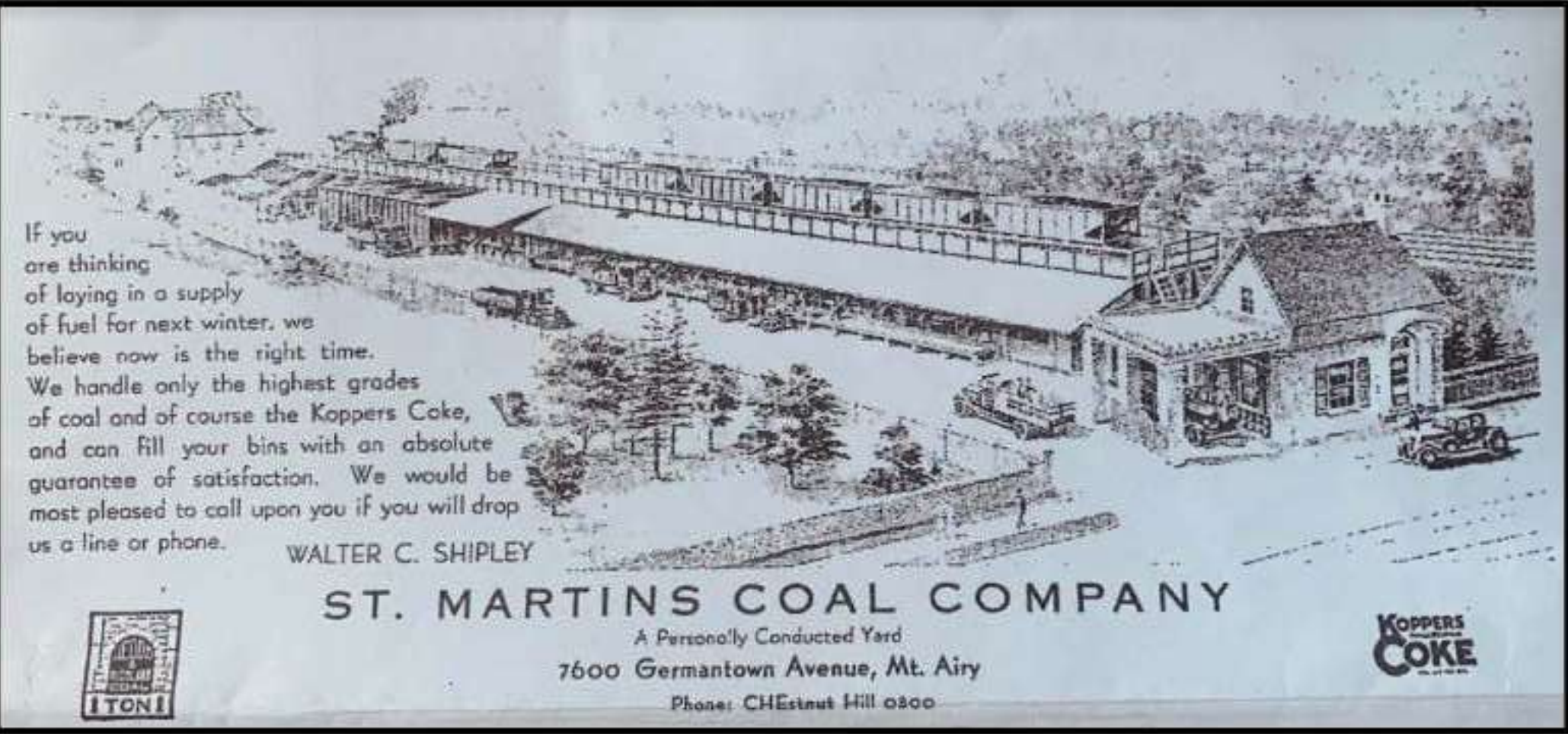
- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
  - The proposed new construction does not alter or connect with the historic building. Historically, the site was populated by various industrial type structures. Therefore, the addition of a parking structure and new residential homes does not have a negative impact on the historic character of the 1916 building. The massing, size, scale, and materials are compatible with the overall site. In general, the proposed application meets Standard 9.
- *Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment will be unimpaired.*

- The proposed new construction could be removed from the historic site in the future, leaving all surrounding contributing structures intact; therefore, the proposal meets Standard 10.

**STAFF RECOMMENDATION:** The staff recommends approval, pursuant to Standards 9 and 10.



Aerial view of 7600 Germantown Avenue looking south. Image provided by Historical Commission staff. *CONNECTExplorer* 2024.



If you are thinking of laying in a supply of fuel for next winter, we believe now is the right time. We handle only the highest grades of coal and of course the Koppers Coke, and can fill your bins with an absolute guarantee of satisfaction. We would be most pleased to call upon you if you will drop us a line or phone.

WALTER C. SHIPLEY

## ST. MARTINS COAL COMPANY

A Personally Conducted Yard

7600 Germantown Avenue, Mt. Airy

Phone: CHEstnut Hill 0300



**KOPPERS  
COKE**

Figure 11. The letterhead of the St. Martins Coal Company, showing the entire site. Source: Samuel Shipley by descent.

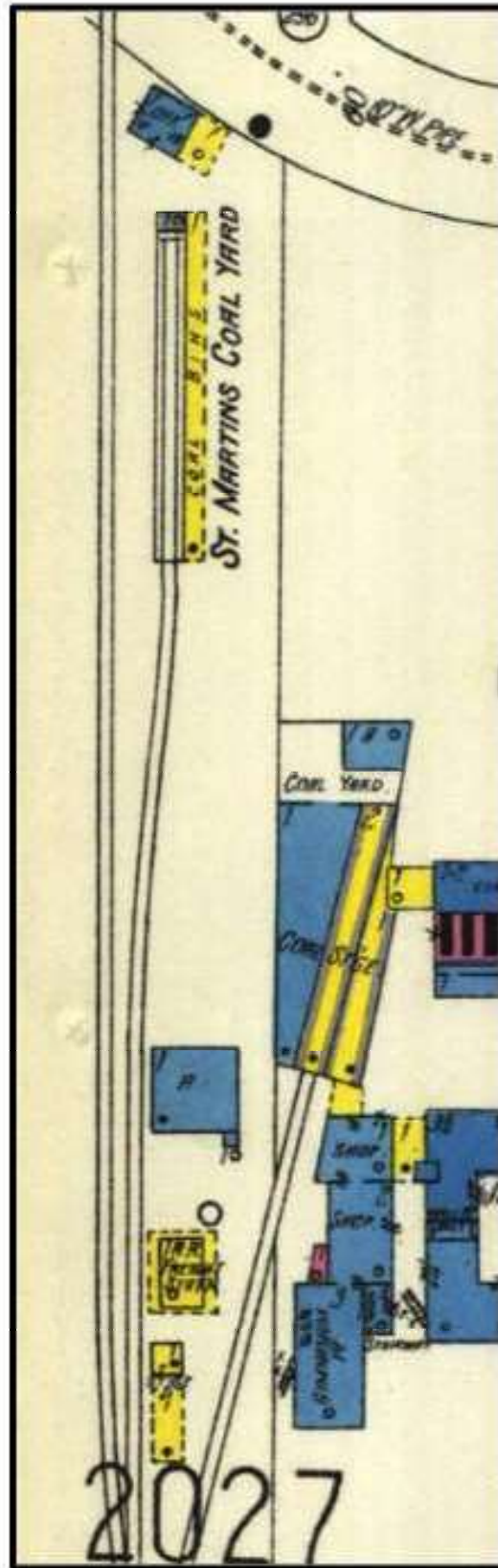


Figure 10. The St. Martins Coal Company site in 1925 on an insurance map by the Sanborn Map Company. Source: Penn State Digital Collections.

Image provided by Historical Commission staff. Illustration included in the Philadelphia Register of Historic Places nomination for the St. Martins Coal Company Office, 2021.



May 13, 2024

Allyson Mehley  
Historic Preservation Planner  
Philadelphia Historical Commission  
1515 Arch Street, 13th Floor  
Philadelphia, Pa 19102

Dear Allyson,

Attached, please find our submission packet for 7600 Germantown Avenue. We are looking forward to discussing our plan to activate what we believe is a very special property in the neighborhood in a way that honors the original architecture of the historic building while providing new housing that is respectful of its surroundings. This is a complicated site due to several factors, chief among them, an easement with PWD that limits development around an existing stormwater interceptor. Despite this, we have worked diligently over the past two years with various City departments to create a plan for eight new single-family attached homes in addition to converting the use of the historic building to a future prepared food shop that benefits the broader northwestern Philadelphia community.

Originally built as the St. Martins Coal Company around 1915, the property originally had multiple structures covering portions of the property. Most structures have been razed many decades ago and we intend to create a sustainable development that is a model of adaptive re-use of urban infill sites in its place. While the site is over an acre, we plan to only create 8 new homes and will do so in such a way as to minimize impact on the site and environment. Over 95% of the property will remain pervious, including green roofs, so that stormwater runoff is mitigated. In addition, our long standing track record of building high-performance structures will ensure low utility usage.

Should you have any questions, please do not hesitate to call me at (215) 313-8892.

Sincerely,

Scott Seibert  
scott@bancroftgreen.com



## Construction Permit Application

Use this application to obtain permits for a residential or commercial construction proposal and/or excavation projects. Mechanical / Fuel Gas, Electrical, Plumbing, and Fire Suppression trade details are found on page 2.

### Property Information

Identify the location of work for the permit(s).

1

Parcel Address: 7600 Germantown Avenue

Specific Location: \_\_\_\_\_

Check box if this application is part of a project and provide the project number: PR-20 - \_\_\_\_\_

### Applicant Information

Identify how you are associated with the property.

2

I am the:  Property Owner  Tenant  Equitable Owner  Licensed Professional or Tradesperson

Name: Scott Seibert (under contract to buy) Company: Cresheim Green Assoc

Address: 520 Carpenter Lane, COMM, Philadelphia, Pa 19119

Email: scott@bancroftgreen.com Phone No.: (215) 313-8892

Licensed professionals include design professionals, attorneys, and expeditors. A tradesperson must have an active Philadelphia license for their trade or hold a PA Home Improvement Contractor Registration.

### Property owner Information

Identify the deeded property owner.

3

The property owner is a/an:  Individual  Company\*

#### Owner (1)

Name: Cresheim Green Associates, LP  Check box if new owner is being listed

Address: 520 Carpenter Lane, COMM, Philadelphia, Pa 19119

#### Owner (2)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

If there was a recent change of ownership, documentation such as a deed or settlement sheet is required.

\*If the property owner is a 'company', identify the contact information for any natural person with more than 49% equity interest in the property. If no individual has such an interest, provide contact information of at least two (2) natural persons with the largest equity interest in the property.

### Design Professional in Responsible Charge

Identify the PA-licensed design professional who is legally responsible.

4

Name: Jim Cassidy Firm: C2-Architecture

PA License No.: \_\_\_\_\_ Phila. Commercial Activity License No.: 55023

Email: jcassidy@c2-architecture.com Phone No.: (267) 872-9360

### Project Scope

Use this section to provide project details; all fields are mandatory.

5

(a) Occupancy  Single-Family  Two-Family  Other, please describe: See below

(b) Scope of Work  New Construction  Excavation  Addition / Alteration  Shell (No Fit Out) - Option for Commercial Permits Only

(c) Earth Disturbance Area of Earth Disturbance: \_\_\_\_\_ (Sq. Ft.)

(d) Building Floor Areas New Floor Area: \_\_\_\_\_ (Sq. Ft.) Existing Altered Area: \_\_\_\_\_ (Sq. Ft.)

(e) Number of Stories \_\_\_\_\_

(f) Description of Work Planned Unit Development including eight (8) single family attached residences with garage parking, shared driveway and outdoor space. Use of existing building to be Prepared Food Shop changes to exterior of existing building.

#### (g) Project Conditions

- New High Rise  Green Roof Included  Initial Fit-out of Newly Constructed Space  
 Modular Construction  Façade Work  Project Impacts Streets/Right-of-Way\*  
 Project Impacts Adjacent Property\*\*

\* Provide the associated Streets Review number for this project, if applicable: SR-2024-022352

\*\* This project includes work described below:  Yes  No

- Excavation work more than 5 feet below adjacent grade and within 10 feet of an adjacent building or structure.
- Excavation or construction work where historic structure is within 90 feet on the same or adjacent parcel.
- Structural alterations of a historic structure (excluding one-or-two family dwelling).
- Modifications to a party wall, including joist replacement, and additions.
- Severing of structural roof or wall covering spanning properties.

(a) Choose the proposed occupancy of the entire building. If not one-or-two-family, provide a description of group(s) per code.

(b) Identify if the project will be new construction, an addition, interior/exterior alterations, excavation or shell.

(c) List the site area that will be disturbed by construction, if any. Enter 'zero' if no disturbance.

(d) Note the new floor area created, including basements, cellars, and occupiable roofs. Where existing areas will be altered, list those areas separately.

(e) State the number of new or affected stories.

(f) Provide a detailed description of the work proposed (use separate sheet if needed).

(g) Select all conditions that apply to this project (if any).

\* Provide the associated Streets Review number if "Project Impacts Streets / Right-of-Way" is selected.

\*\* If 'Yes' is selected, an Owners' Acknowledgement of Receipt form must be provided for each affected property.



Department of Licenses and Inspections CITY OF PHILADELPHIA

Job Number: (for office use only)

Project Details, Other Permits & Contractor Information

Use this section to provide project details, pre-requisite approvals and applicable contractor information.

(a) Choose all disciplines of work for which permits are being requested.

- If 'Building' is not requested, provide the number of the associated permit that was previously issued (where applicable).
If a Zoning Permit was issued for this work, provide the related Zoning Permit number.

(b) Identify the general contractor and estimated cost of building construction.

(c) Identify the licensed excavation contractor and estimated cost of excavation work.

(d) Identify the mechanical contractor, estimated cost of mechanical work, equipment type, and quantity as:

- Number of registers/diffusers (separate new / relocated)
Number of appliances
Number of Type I / Type II kitchen hoods

Where fuel gas work is included, note the estimated cost of fuel gas work.

(e) Identify the licensed electrical contractor, estimated cost of electrical work, and a registered third-party electrical inspection agency.

(f) Identify the registered master plumber, estimated cost of plumbing work, number of fixtures, and check location of work as:

- Interior
Exterior Drainage and/or Water Distribution

(g) Identify the licensed fire suppression contractor, estimated cost of fire suppression work, and number of devices:

- Sprinkler Heads (separate new / relocated quantities)
Standpipes
Fire Pumps
Stand-alone Backflow Prevention Devices
Kitchen Extinguishing Systems
Hydrants

\*ROUGH-IN NOTICE: If you are seeking a rough-in permit, an application for plan review must be submitted already.

(h) Provide the total improvement cost for residential (including multi-family) alterations and additions.

Check the box if your project is excluded from real estate tax exemption and exempt from Development Impact Tax.

(a) Check all that apply:

- Building, Excavation, Mechanical & Fuel Gas, Electrical, Plumbing, Fire Suppression

Provide the associated Construction Permit number, if applicable: RP or CP - 20 -

Provide the associated Zoning Permit number for this construction, if applicable: ZP - 20 -

Note: Trades listed below (d, e, f, and g) are mandatory for all residential new construction jobs.

(b) General Building Construction Contractor Information

Name: Cost of Building Work: \$

License Number: Phone:

(c) Excavation Work & Contractor Information

Name: Cost of Excavation Work: \$

License Number: Phone:

(d) Mechanical / Fuel Gas Work & Contractor Information

Name: Cost of Mechanical Work: \$

License Number: Cost of Fuel Gas Work: \$

Equipment Types: Registers / Diffusers, Appliances, Hoods Phone:

Equipment Details & Quantities:

(e) Electrical Work & Contractor Information New Installation, Alteration, \*Rough-In

Name: Cost of Electrical Work: \$

License Number: Phone:

Third Party Inspection Agency Name:

(f) Plumbing Work & Contractor Information New Installation, Alteration, \*Rough-In

Name: Cost of Plumbing Work: \$

License Number: Phone:

Number of Fixtures:

Check one: Interior Work, Exterior Building Drainage, Exterior Water Distribution: line size: (in.)

(g) Fire Suppression Work & Contractor Information New Installation, Alteration, \*Rough-In

Name: Cost of Fire Supp. Work: \$

License Number: Phone:

Sprinkler Heads: Standpipes: Fire Pumps:

Commercial Kitchen Systems: Backflow Devices: Hydrants:

(h) Total Improvement Cost: \$ (The total improvement cost must also include the cost of all electrical, plumbing, mechanical, fire suppression systems work, and interior finishes)

Check box if your project is excluded from real estate tax exemption and exempt from Development Impact Tax (Review OPA's website for tax abatement information at: https://www.phila.gov/services/property-lots-housing/property-taxes/get-real-estate-tax-relief/get-a-property-tax-abatement/)

Declaration & Signature

All provisions of the Philadelphia Code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statements herein, I am subject to such penalties as may be prescribed by law or ordinance, inclusive of the penalties contained in 18 Pa. C.S. § 4904.

Applicant Signature: Scott Seibert Date: 05 / 13 / 24







① EXISTING ENTRY CARRIAGE HOUSE



② EXISTING ENTRY CARRIAGE HOUSE 2



③ EXISTING DRIVE ISLE



④ REAR CARRIAGE HOUSE



④ PROPERTY BOUNDARY WALL



⑤ REAR NEW COVENANT CHURCH OF PHILADELPHIA



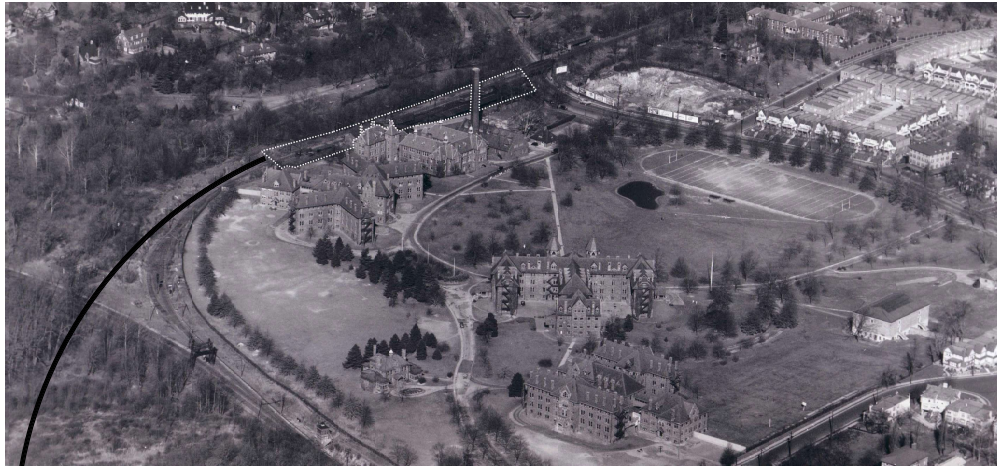
270 W. Walnut Lane  
1st Floor  
Philadelphia, PA 19144

T: 267.297.7688  
www.c2-architecture.com

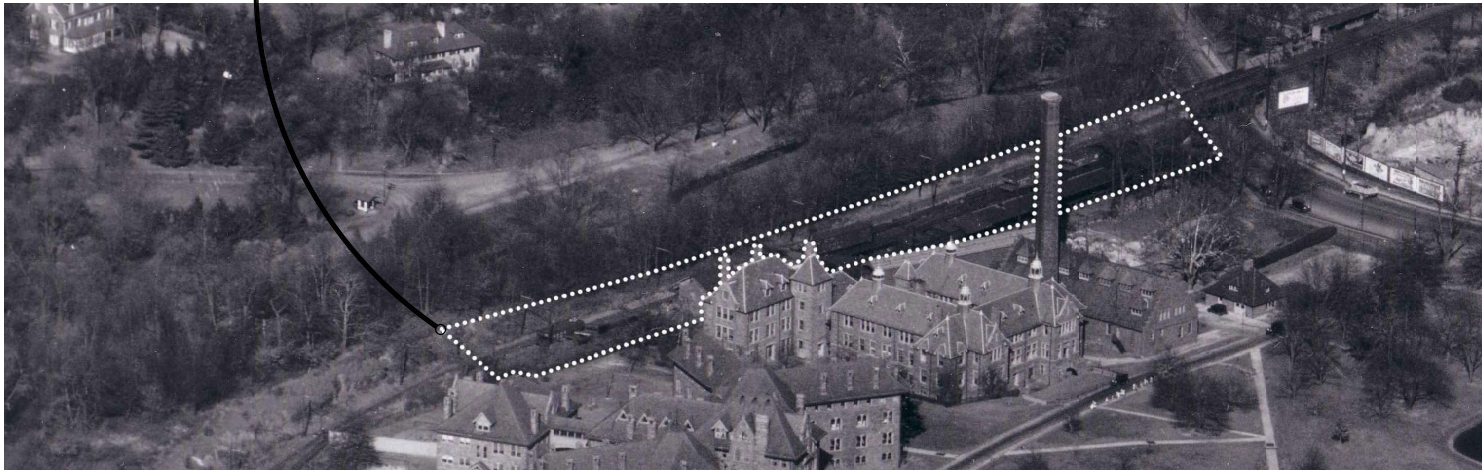
Architecture

PROJECT :  
**7600 GERMANTOWN AVE.**  
PHILADELPHIA, PA

DRAWING :  
CURRENT CONDITIONS



① NEW COVENANT CHURCH OF PHILADELPHIA - AERIAL 1931



② PROPOSED SITE

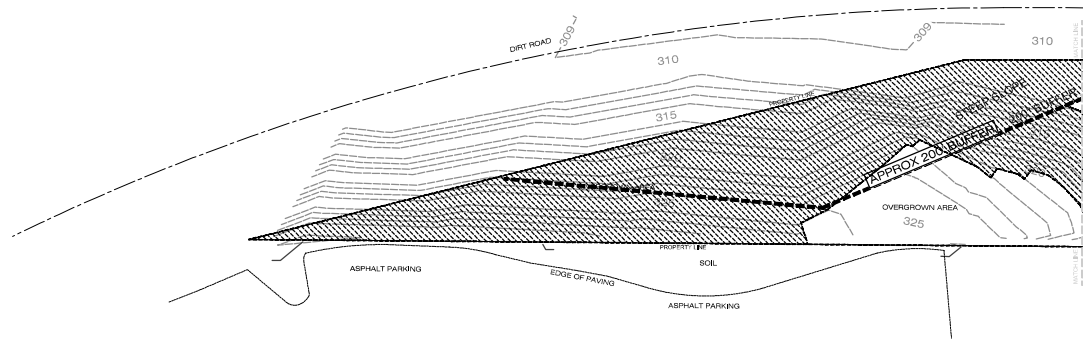


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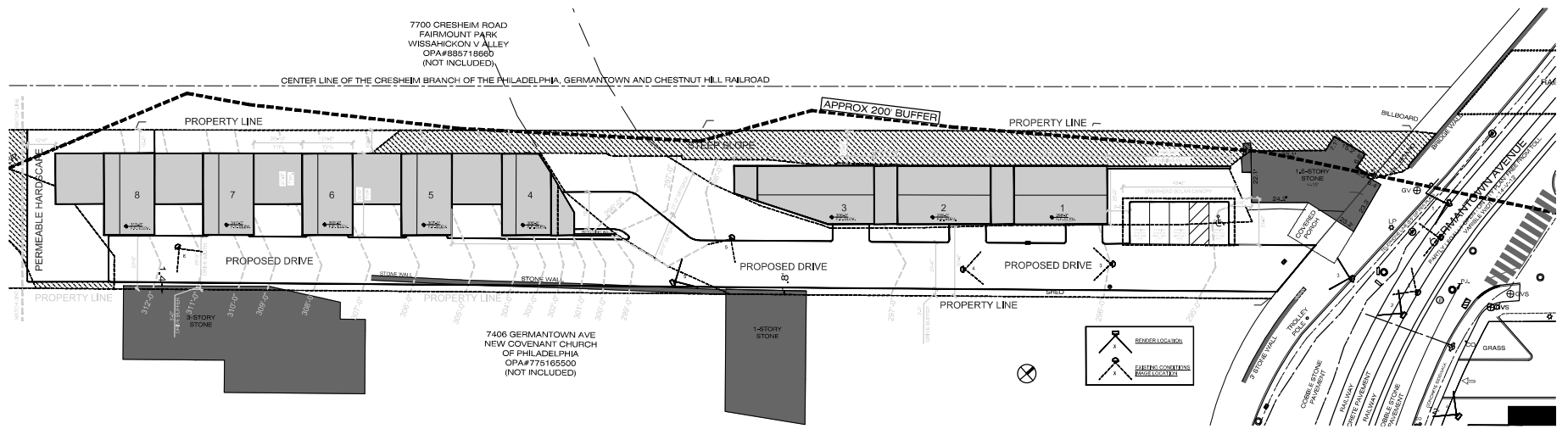
T: 267.297.7688  
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Architecture

PROJECT :  
**7600 GERMANTOWN AVE.**  
PHILADELPHIA, PA  
DRAWING :  
HISTORIC PHOTOS



② SCHEMATIC SITE PLAN  
3/64" = 1'-0"



① SCHEMATIC SITE PLAN  
3/64" = 1'-0"



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PROJECT:  
**7600 GERMANTOWN AVE.**  
PHILADELPHIA, PA

DRAWING:  
SCHEMATIC SITE PLAN



**Architecture**  
 270 W. Walnut Lane, 1st Floor  
 Philadelphia, PA 19144  
 267-297-7688

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7600 GERMANTOWN AVE.

7600 GERMANTOWN AVE.  
 PHILADELPHIA, PA.

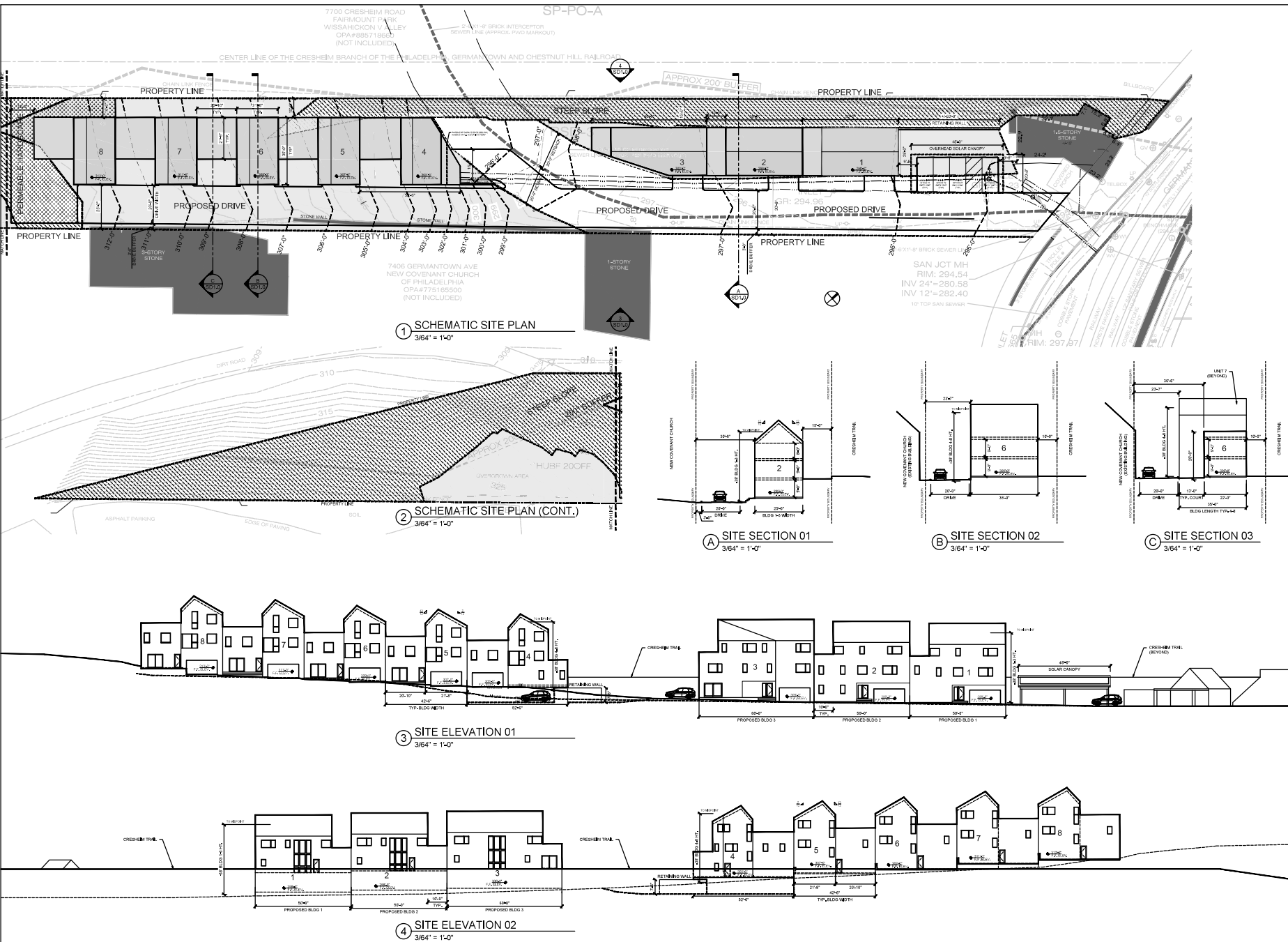
CLIENT:


PROJECT NUMBER:	2201
PROJECT PHASE:	---
PROJECT MANAGER:	---
DRAWN BY:	---
CHECKED BY:	---
SCALE:	AS NOTED
DATE:	04-15-2024

REVISIONS & SUBMISSIONS:		
#	REVISION 1 DESC	DATE
1	REVISION 1 DESC	DATE
2	REVISION 2 DESC	DATE
3	REVISION 3 DESC	DATE
4	REVISION 4 DESC	DATE
5	REVISION 5 DESC	DATE
6	REVISION 6 DESC	DATE

SHEET NAME:  
 SCHEMATIC DESIGN - SITE PLAN

SHEET NUMBER:  
**SD1.0**



① SCHEMATIC SITE PLAN  
 3/8" = 1'-0"

② SCHEMATIC SITE PLAN (CONT.)  
 3/8" = 1'-0"

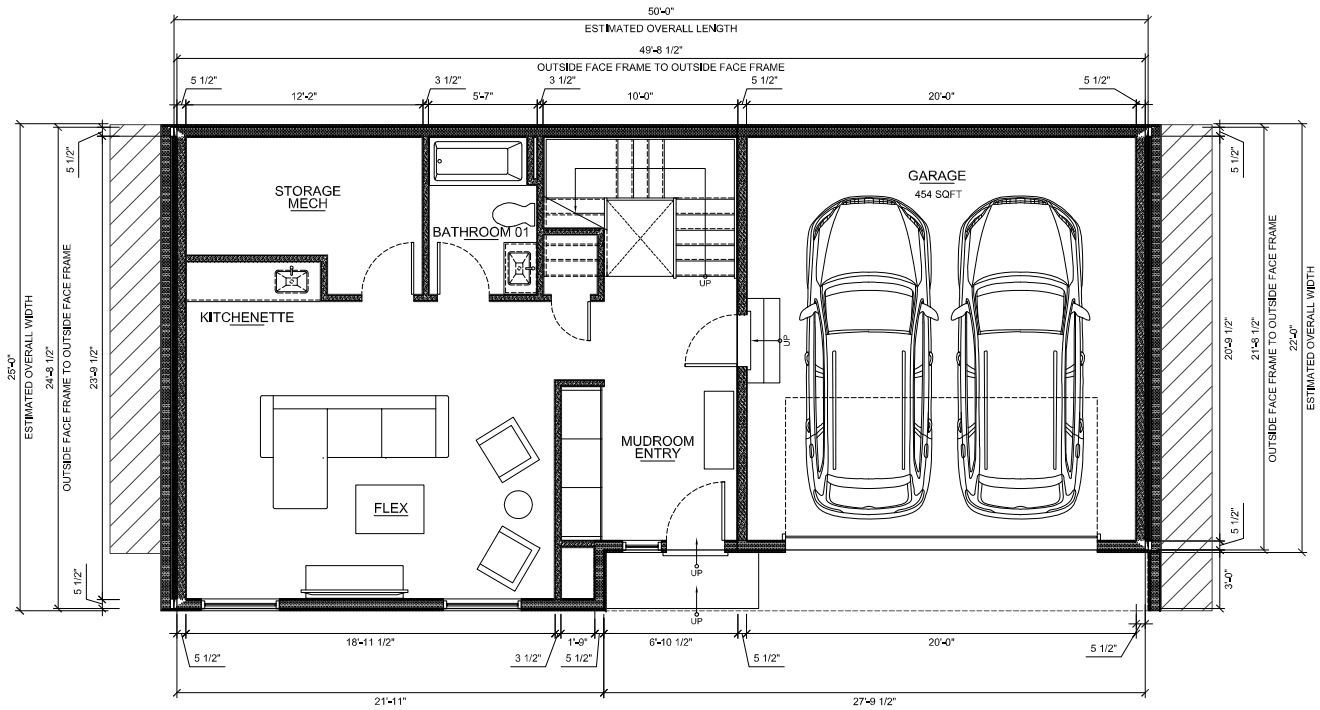
Ⓐ SITE SECTION 01  
 3/8" = 1'-0"

Ⓑ SITE SECTION 02  
 3/8" = 1'-0"

Ⓒ SITE SECTION 03  
 3/8" = 1'-0"

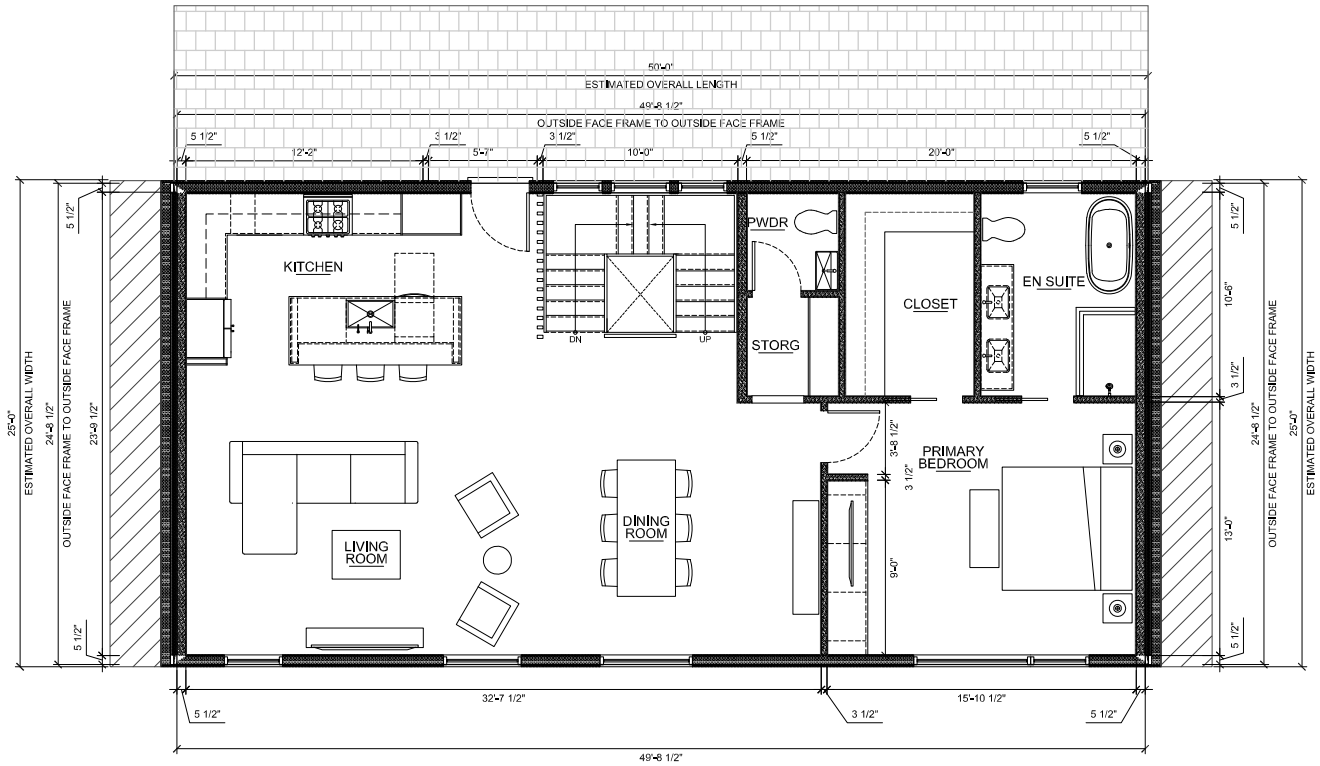
③ SITE ELEVATION 01  
 3/8" = 1'-0"

④ SITE ELEVATION 02  
 3/8" = 1'-0"



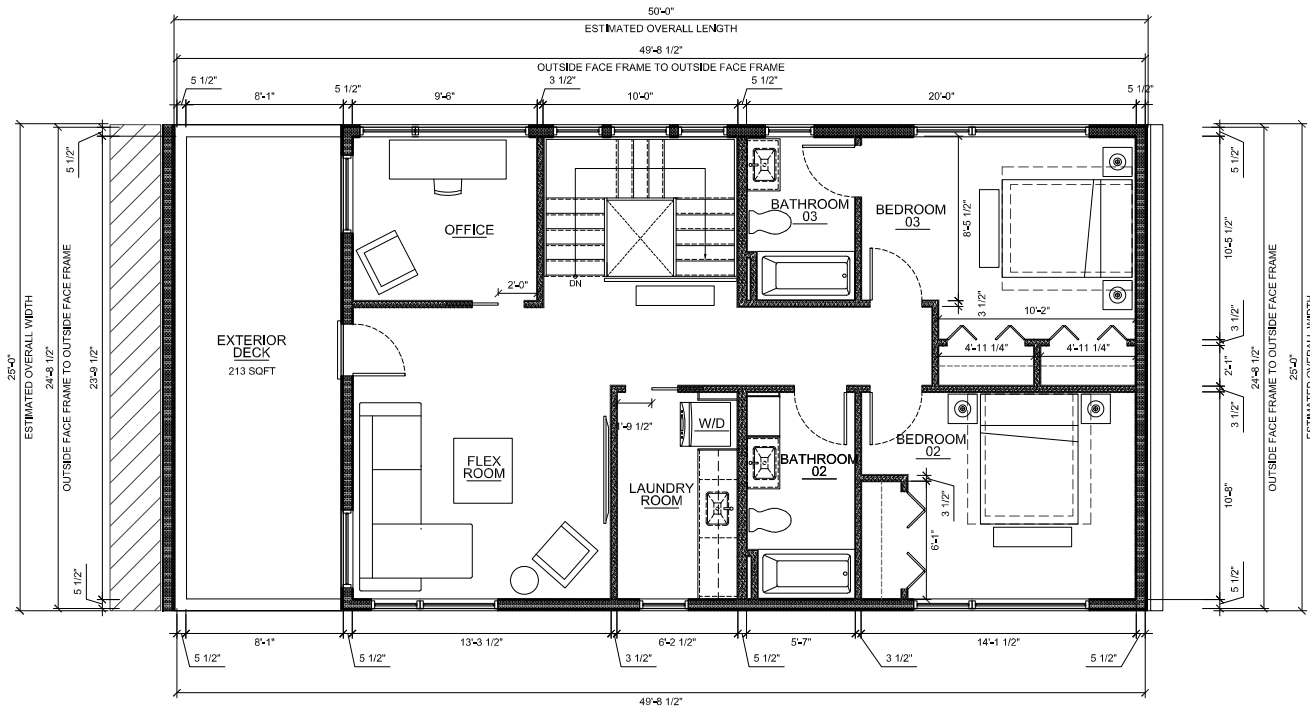
**UNITS 1 & 2 - SCHEMATIC 1ST FLOOR PLAN (690 SQFT)**





**UNITS 1 & 2 - SCHEMATIC 2ND FLOOR PLAN (1,228 SQFT)**

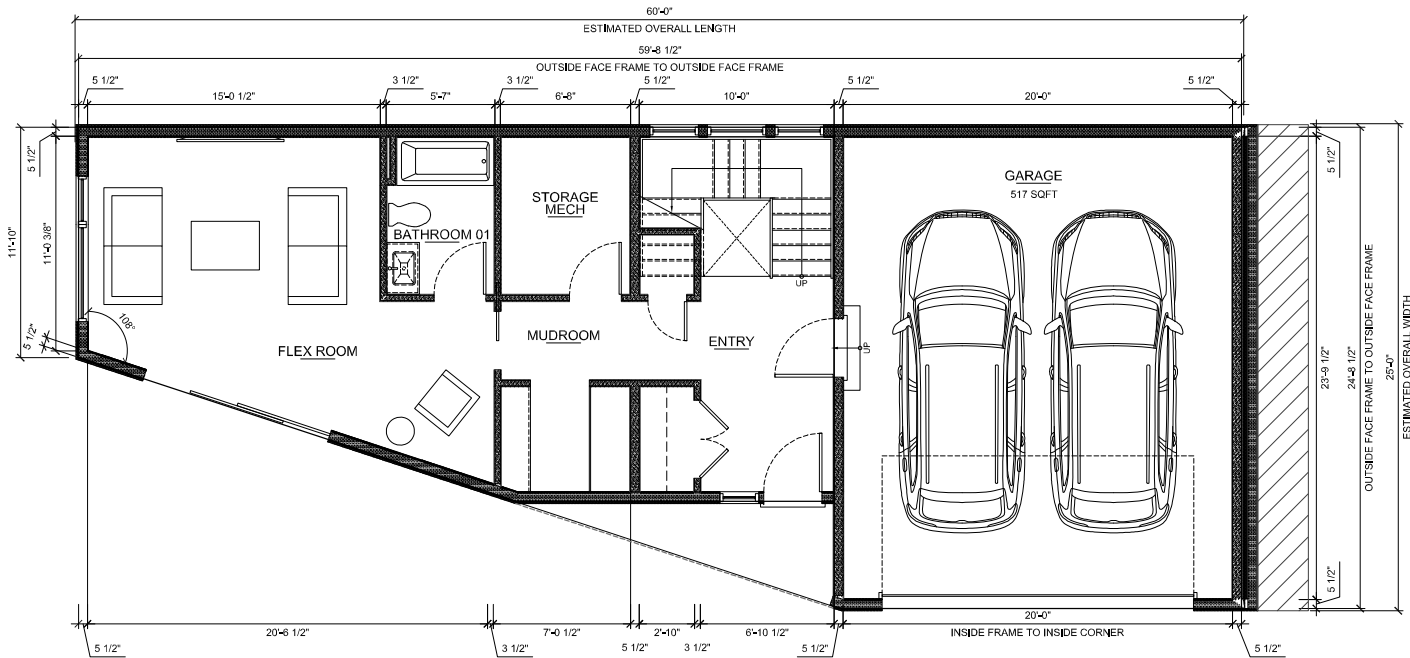




**UNITS 1 & 2 - SCHEMATIC 3RD FLOOR PLAN (1,018 SQFT)**

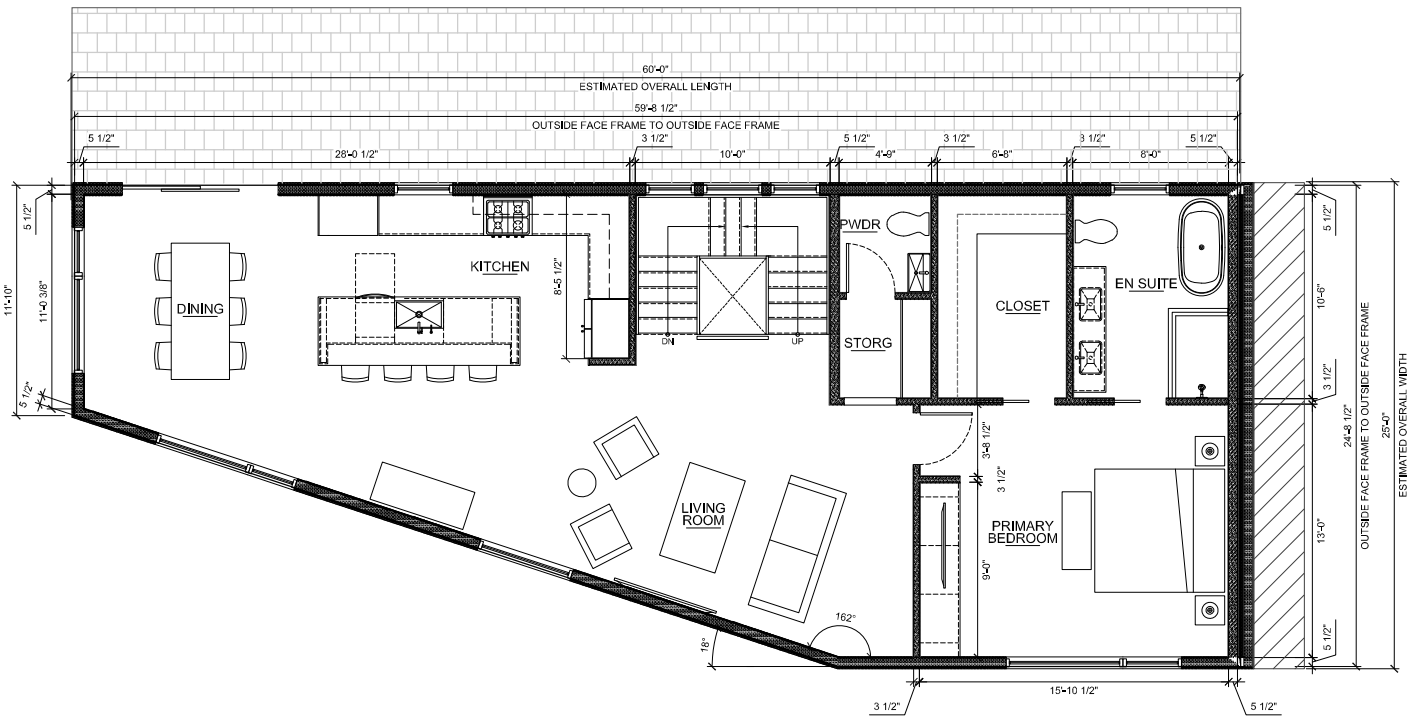






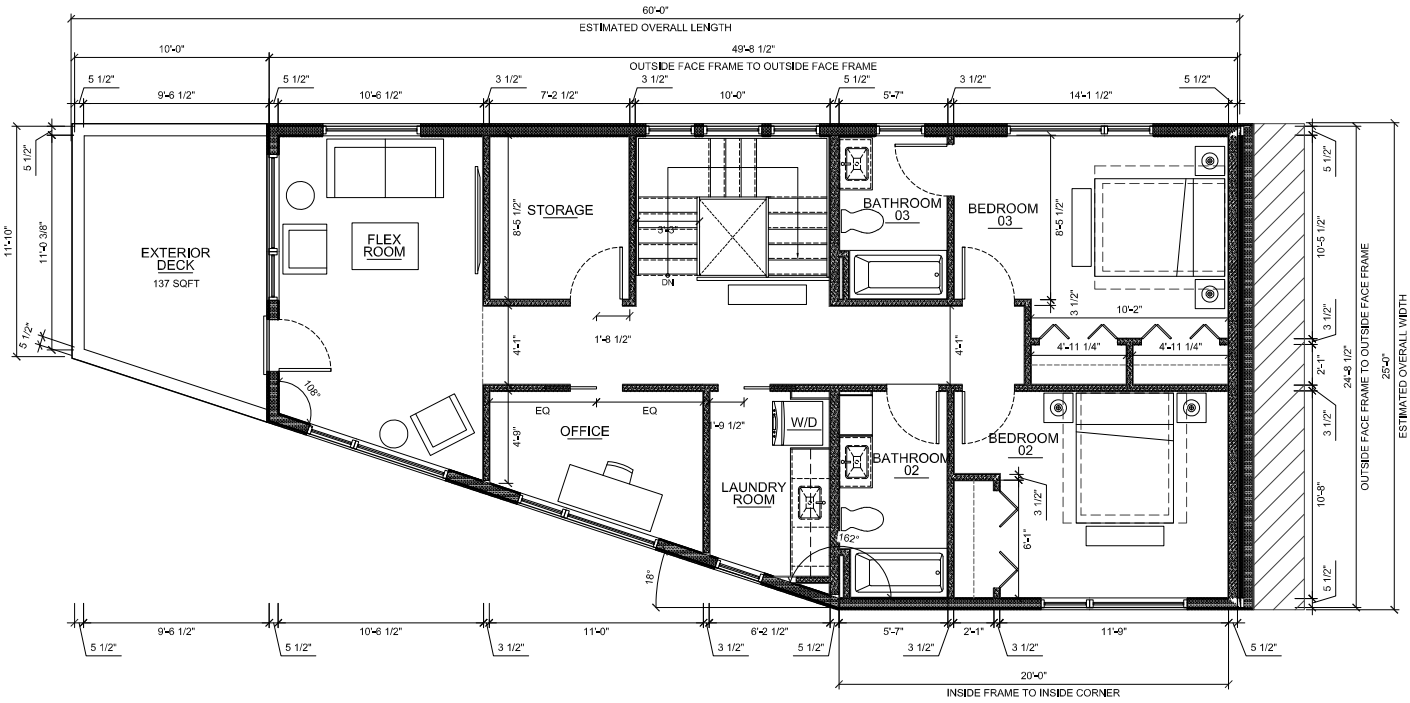
**UNIT 3 - SCHEMATIC 1ST FLOOR PLAN (663 SQFT)**





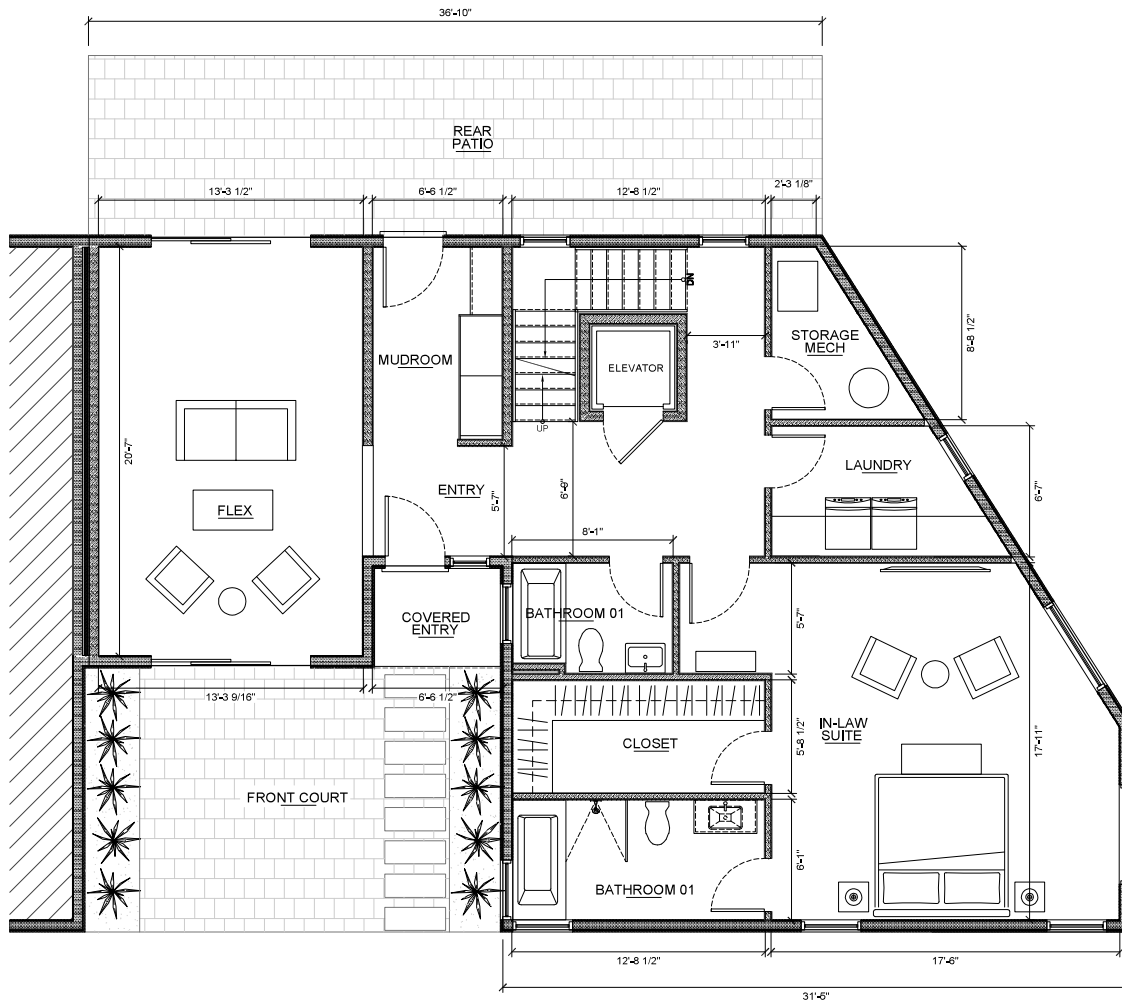
**UNIT 3 - SCHEMATIC 2ND FLOOR PLAN (1,223 SQFT)**



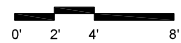


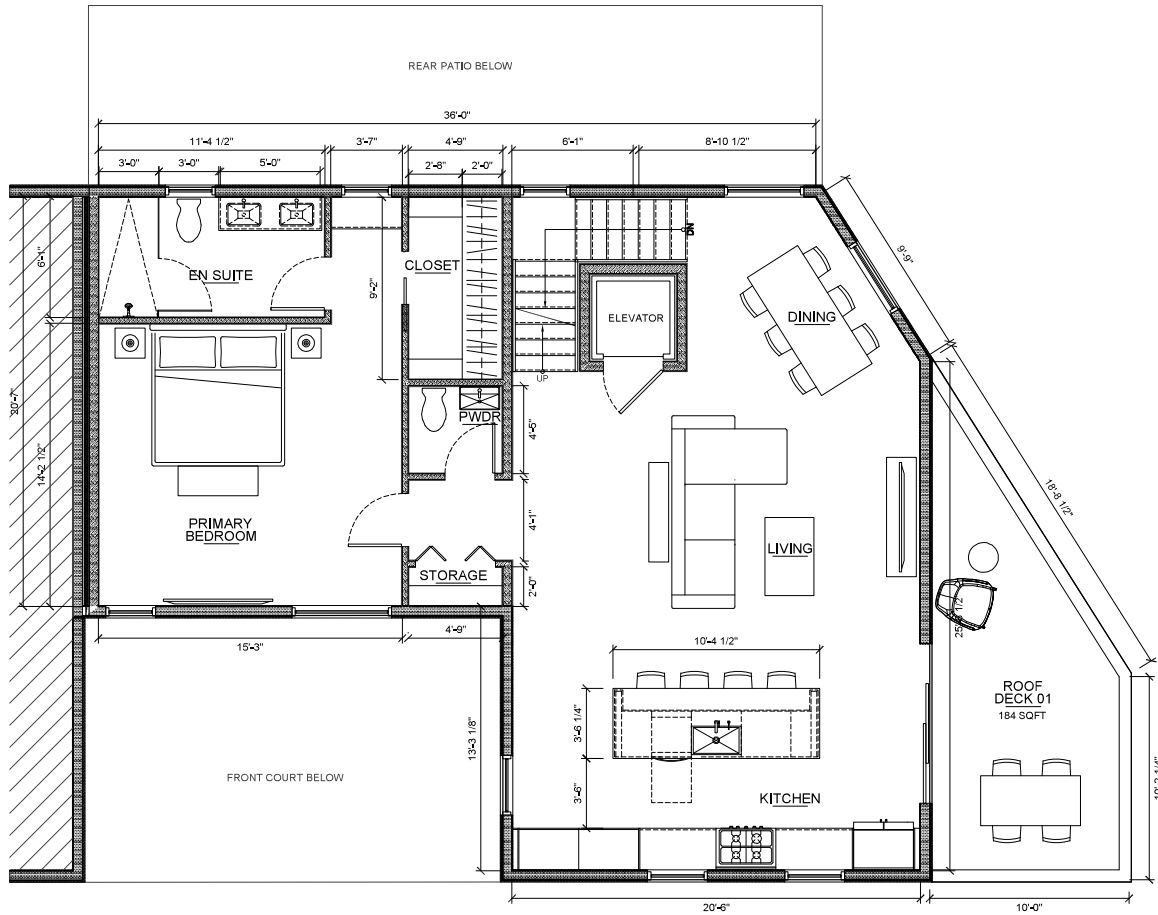
**UNIT 3 - SCHEMATIC 3RD FLOOR PLAN (1,088 SQFT)**



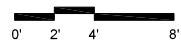


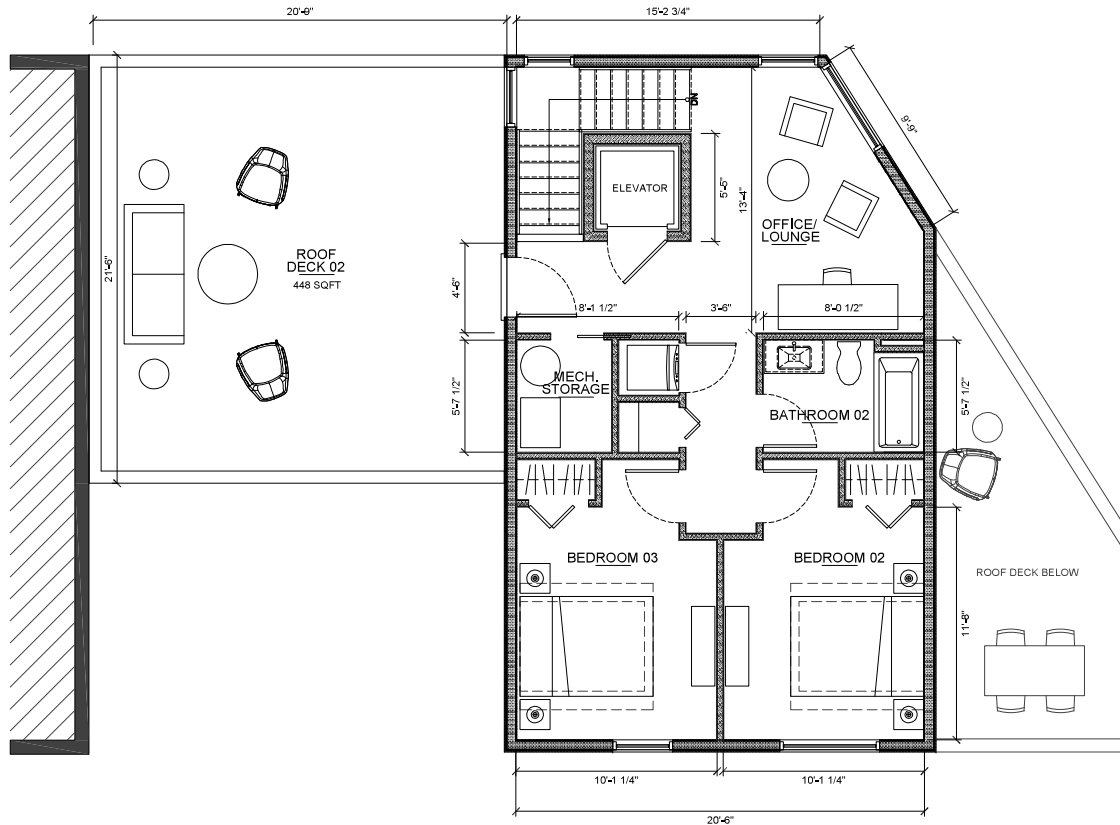
**UNIT 04 - SCHEMATIC 1ST FLOOR PLAN (1,317 SQFT)**



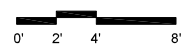


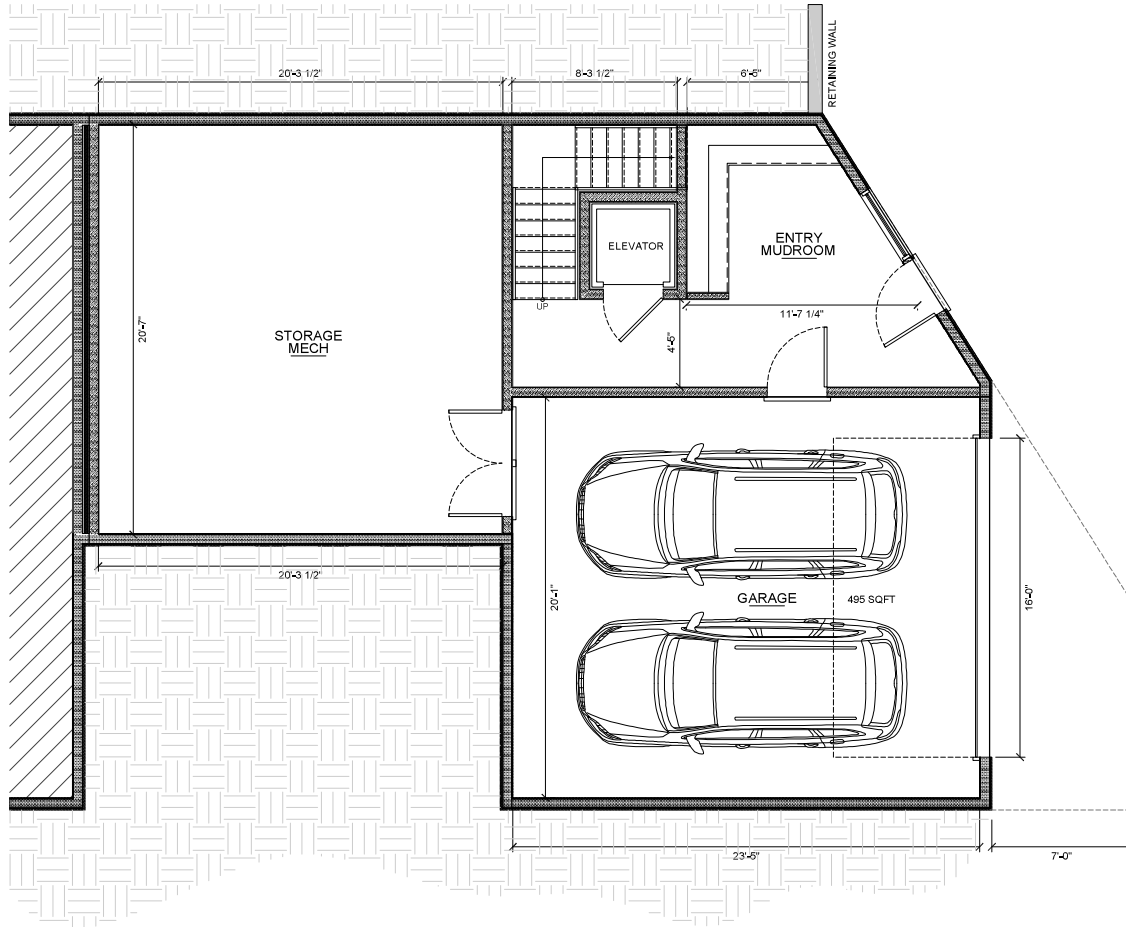
**UNIT 04 - SCHEMATIC 2ND FLOOR PLAN (1,167 SQFT)**



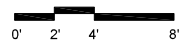


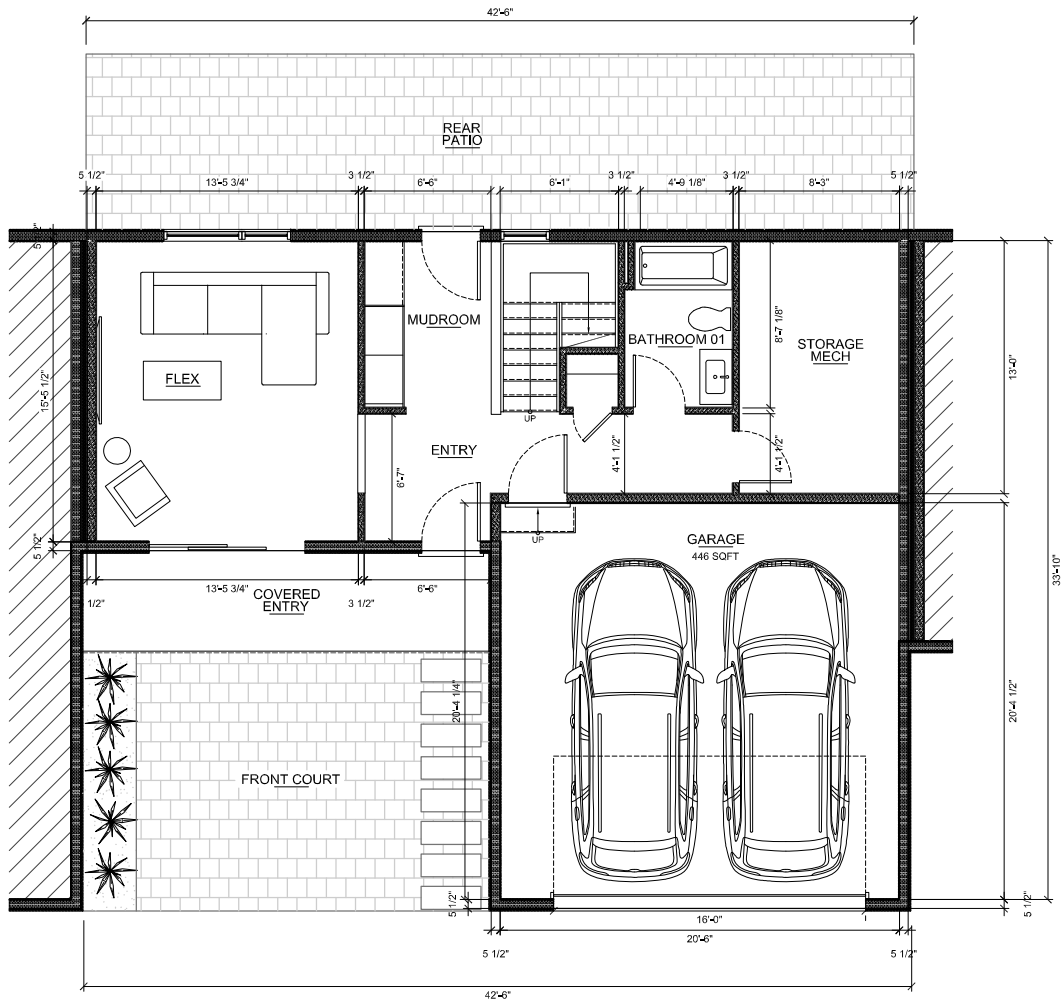
**UNIT 04 - SCHEMATIC 3RD FLOOR PLAN (721 SQFT)**



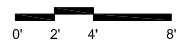


**UNIT 04 - SCHEMATIC BASEMENT FLOOR PLAN (739 SQFT)**

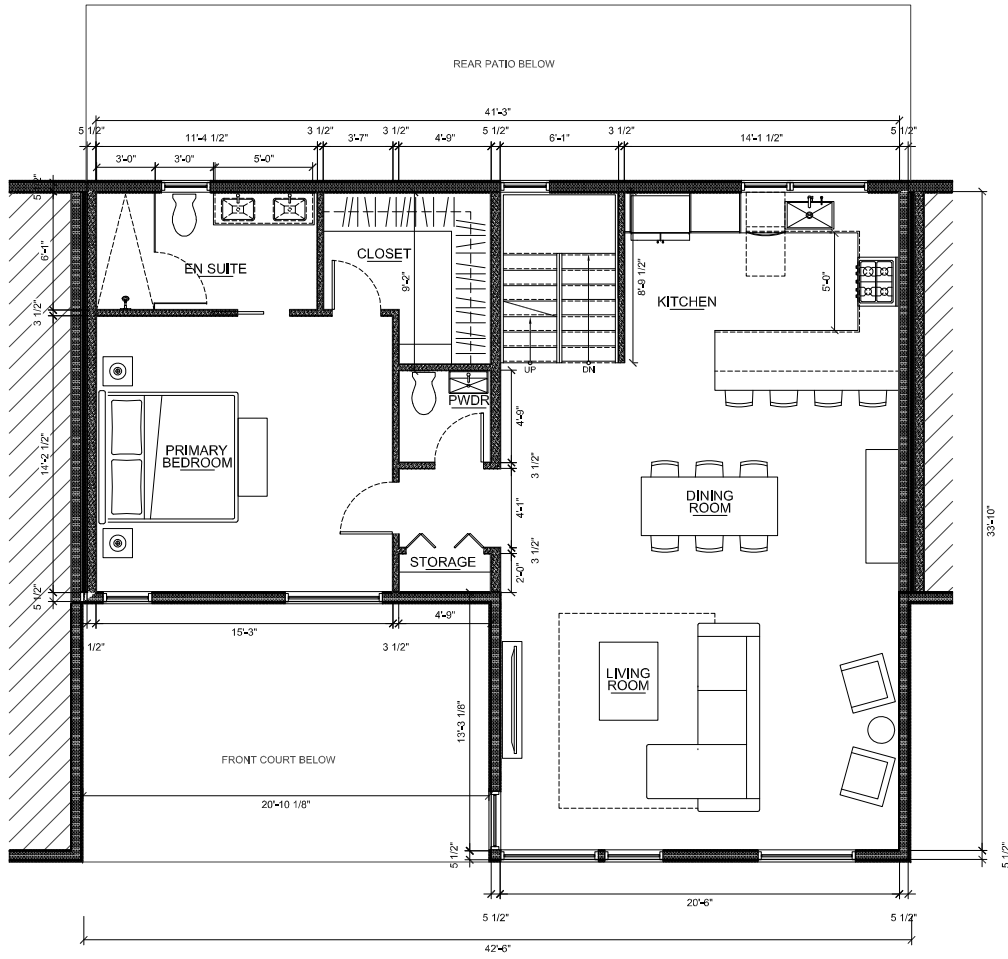




**UNITS 5-8 - SCHEMATIC 1ST FLOOR PLAN (639 SQFT)**

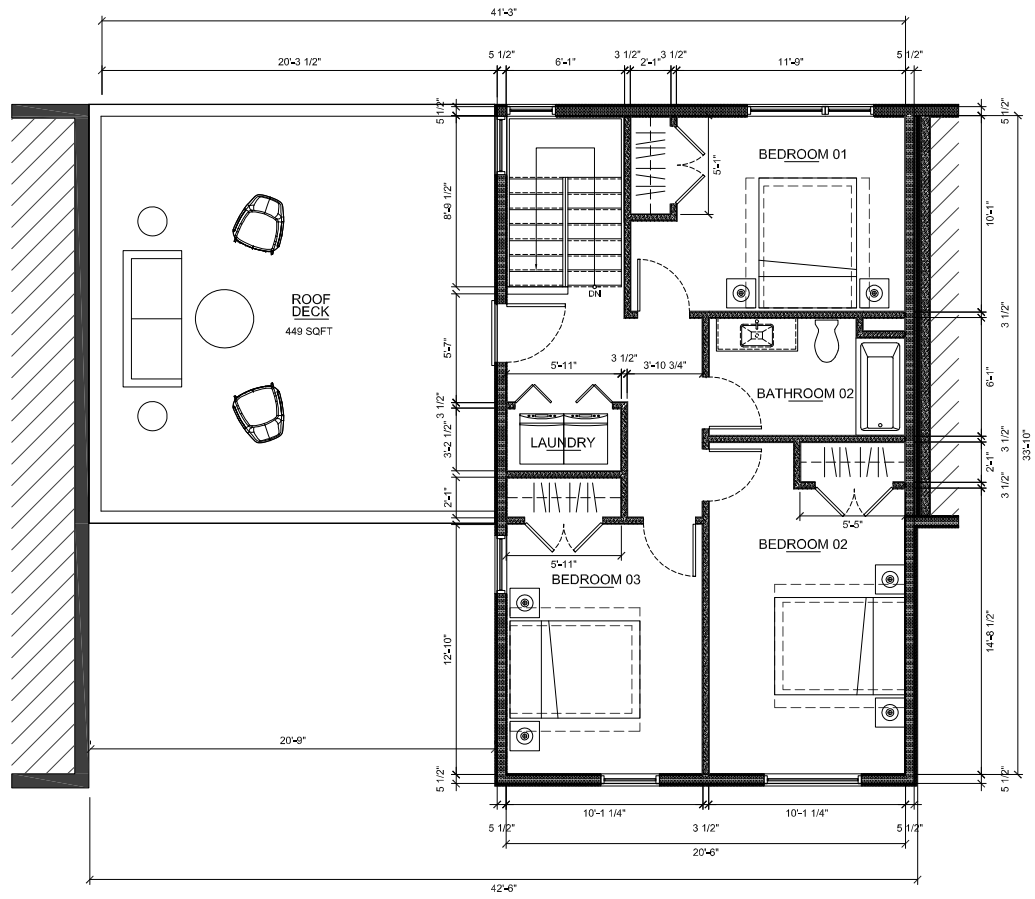




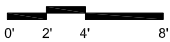


**UNITS 5-8 - SCHEMATIC 2ND FLOOR PLAN (1,190 SQFT)**





**UNITS 5-8 - SCHEMATIC 3RD FLOOR PLAN (745 SQFT)**







  
**CHESTNUT HILL**  
PHILADELPHIA'S URBAN VILLAGE





  
**CHESTNUT HILL**  
PHILADELPHIA'S URBAN VILLAGE







① OKNOPLAST WINDOWS & DOORS  
COLOR: SMOOTH ANTHRACITE GREY



② PRECAST WINDOW SILL



③ HANDMADE BRICK  
COLOR: YELLOW / BROWN



④ SMOOTH STUCCO  
COLOR: TAUPE / BROWN / GRAY



⑤ PAVER ACCENTS AT DESIGNATED  
PATIO / ENTRY AREAS



⑥ PAINTED STEEL ACCENTS



270 W. Walnut Lane  
1st Floor  
Philadelphia, PA 19144

T: 267.297.7688  
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Architecture

PROJECT :  
**7600 GERMANTOWN AVE.**  
PHILADELPHIA, PA  
DRAWING :  
MATERIAL PALETTE