

**ADDRESS: 627 N 16TH ST**

Proposal: Construct addition

Review Requested: Final Approval

Owner: 627 N 16TH LLC

Applicant: Ian Toner, Toner Architects, Sam Katovitch, Anthony Mascieri

History: 1875

Individual Designation: None

District Designation: Spring Garden Historic District, Contributing, 10/11/2000

Staff Contact: Alex Till, [alexander.till@phila.gov](mailto:alexander.till@phila.gov)

**BACKGROUND:**

This application proposes to construct a three-story rear addition on an Italianate twin at a contributing property in the Spring Garden Historic District. It also proposes to cut out a portion of the sidewalk in front of the building and expand an existing window opening for a new basement egress well. The building was constructed in 1875 and is three stories tall with a pitched roof, prominent cornice, and marble water table. The addition will be located at the rear of the building and extend to the north property line while leaving a narrow space on its south side. The application proposes to demolish the three-story rear wall of the building along with a one-story rear shed addition and construct a new addition at the rear of the building that will expand the extend approximately 17 feet beyond the existing rear wall and sit slightly higher than the current rear ell of the historic building. It will be clad in brick on the walls that are visible from nearby Wallace St and fiber cement panels on the walls that face the neighbor to the north and shared alleyway to the west. The rear of the building is visible both obliquely from the front on 16<sup>th</sup> Street looking down the side of the building and prominently from the side and rear along neighboring Wallace Street and the addition will be visible from both streets.

The applicants submitted an earlier application for an addition that was significantly larger, extended to both north and south property lines, and featured a much larger blank wall presented to the Wallace Street point of view, that was denied by the Historical Commission at its 12 April 2024 meeting. Since their first proposal, they have reduced the size of the addition by more than half, pulled it away from the south property line, proposed using brick cladding in place of fiber cement panels for portions of the addition, and added windows to the south wall based on previous comments from the Architectural Committee and Historical Commission.

**SCOPE OF WORK:**

- Construct a three-story rear addition.
- Add a basement egress well.

**STANDARDS FOR REVIEW:**

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
  - With the revisions, the size, scale and proportion, and massing of the proposed addition satisfy Standard 9. Philadelphia has a long tradition of enlarging rowhouses and twins by extending the rear ells. Pushing the addition to the north, away from the south property line, allows for windows in the south façade of the addition, improving its appearance from the public right-of-way.

- The proposed fiber cement panels on the north and east walls of the addition do not meet Standard 9. The material is not compatible with the historic materials or features of the building. The cladding should be replaced with an alternate material like lap siding that is more appropriate for a rear addition on a historic building.
- The proposed basement egress well will satisfy Standard 9 if the window is designed to include a horizontal mullion at the position of the former sill so that the upper piece of glass replicates the size and proportion of historic basement window.

**STAFF RECOMMENDATION:** The staff recommends approval, provided the cladding material is changed to a lap siding instead of panels for the north and east walls of the addition and the front egress window is designed to appear like the historic basement window above grade, with the staff to review details, pursuant to Standard 9.

**IMAGES:**

Figure 1: 1895, G. W. Bromley Atlas. Property outlined in red.



Figure 2: View of front façade of 627 N 16<sup>th</sup> St from N 16<sup>th</sup> St:



Figure 3: View down side of 627 N 16<sup>th</sup> St from N 16<sup>th</sup> St, arrow indicates where addition will go:



Figure 4: Figure 3: View of 627 N 16<sup>th</sup> St from Wallace St, arrow indicates current rear wall of property:



Figure 5: Aerial view of 627 N 16<sup>th</sup> St from the Southeast:



# APPLICATION FOR BUILDING PERMIT



CITY OF PHILADELPHIA  
DEPARTMENT OF LICENSES AND INSPECTIONS  
MUNICIPAL SERVICES BUILDING – CONCOURSE  
1401 JOHN F. KENNEDY BOULEVARD  
PHILADELPHIA, PA 19102

For more information visit us at [www.phila.gov/li](http://www.phila.gov/li)

APPLICATION # \_\_\_\_\_

(Please complete all information below and print clearly)

## ADDRESS OF PROPOSED CONSTRUCTION:

627 N 16th Street

## APPLICANT:

Ian Toner

## COMPANY NAME

Toner Architects

PHONE # (215) 800-1968

FAX #

## PROPERTY OWNER'S NAME:

Fortis Construction & Design - Anthony Mascieri

PHONE # (215) 688-8162

FAX #

## ARCHITECT/ENGINEER IN RESPONSIBLE CHARGE

Ian Toner

## ARCHITECT/ENGINEERING FIRM:

Toner Architects

PHONE #

FAX #

## CONTRACTOR:

Anthony Mascieri

## CONTRACTING COMPANY:

Fortis Construction & Design

PHONE # (215) 688-8162

FAX #

## APPLICANT'S ADDRESS:

1901 S 9th Street, Rm 425

Philadelphia, PA 19148

LICENSE # 490460

E-MAIL: [ian@tonerarch.com](mailto:ian@tonerarch.com)

## PROPERTY OWNER'S ADDRESS:

705 South 5th Street Philadelphia, PA 19147

## ARCHITECT/ENGINEERING FIRM ADDRESS:

1901 S 9th Street, Rm 425

Philadelphia, PA 19148

LICENSE # 490460

E-MAIL: [ian@tonerarch.com](mailto:ian@tonerarch.com)

## CONTRACTING COMPANY ADDRESS:

705 South 5th Street Philadelphia, PA 19147

LICENSE #

E-MAIL: [Anthony@radixpg.com](mailto:Anthony@radixpg.com)

## USE OF BUILDING/SPACE

Multifamily Residential - 6 Units

## ESTIMATED COST OF WORK

\$ TBD

## BRIEF DESCRIPTION OF WORK:

Addition to an existing multifamily building. Interior renovation including egress wells are under a separate permit.

TOTAL AREA UNDERGOING CONSTRUCTION: 813.00 square feet

## COMPLETE THESE ITEMS IF APPLICABLE TO THIS APPLICATION:

# OF NEW SPRINKLER HEADS (suppression system permits only): \_\_\_\_\_ LOCATION OF SPRINKLERS: \_\_\_\_\_

# OF NEW REGISTERS/DIFFUSERS (hvac/ductwork permits only): \_\_\_\_\_ LOCATION OF STANDPIPES: \_\_\_\_\_

IS THIS APPLICATION IN RESPONSE TO A VIOLATION?  NO  YES VIOLATION #: \_\_\_\_\_

All provisions of the building code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statement herein I am subject to such penalties as may be prescribed by law or ordinance.

APPLICANT'S SIGNATURE: Ian M. Toner

DATE: 05 / 13 / 24



**PRE-REQUISITE APPROVALS FOR:**

ADDRESS:

APPLICATION #:

✓ IF REQ'D	AGENCY	INITIALS	DATE	REMARKS
	ART COMMISSION 13 <sup>TH</sup> FLOOR – 1515 ARCH STREET			
	CITY PLANNING COMMISSION 13 <sup>TH</sup> FLOOR – 1515 ARCH STREET			
	FAIRMOUNT PARK COMMISSION <input type="checkbox"/> CITY <input type="checkbox"/> STATE AIR MANAGEMENT / HEALTH DEPT			
	HISTORICAL COMMISSION ROOM 576 – CITY HALL			
	STREETS DEPARTMENT ROOM 940 – M.S.B.			
	WATER DEPARTMENT 2 <sup>ND</sup> FLOOR – 1101 MARKET STREET			
	CONTRACTUAL SERVICES UNIT ROOM 1140 – M.S.B.			
	ZONING			

**EXAMINER'S APPROVAL (OFFICE USE ONLY)**

APPROVED USE OF BUILDING SPACE:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PERMIT TO READ:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

CODE/EDITION USED FOR REVIEW:

WAS VIOLATION FOR WORK WITHOUT A PERMIT?  NO       YES (INSPECTION FEE MUST BE ADDED TO PERMIT FEE)

VIOLATION # \_\_\_\_\_

OTHER BUILDING PERMITS REQUIRED:     FIRE SUPPRESSION       HVAC/DUCT       FUEL GAS

PLAN #	CONSTRUCTED AREA _____ SQ FT	<input type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ALTERATION	FEE ITEM	AMOUNT
			BLDG. PERMIT/C.O./L.O.	
CONSTRUCTION TYPE: _____	CO REQUIRED <input type="checkbox"/> NO <input type="checkbox"/> YES	NEW DWG UNITS:	INSPECTION FEE	
			WATER METERS	
USE: _____	VARIANCES <input type="checkbox"/> NO <input type="checkbox"/> YES	PROJECT TYPE	CONSTRUCTION WATER	
			<b>TOTAL FEES</b>	

This is to certify that I have examined the within detailed statement, together with a copy of the plans relating thereto, and find the same to be in accordance with the provisions of the law relating to buildings in the City of Philadelphia, that the same has been approved and entered into the records of this Department.

EXAMINER: \_\_\_\_\_ DATE APPROVED: \_\_\_\_\_

PERMIT # \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

CHECK # \_\_\_\_\_



Ian M Toner AIA, NCARB, LEED AP BD+C

*Principal*

Sara N Shonk Pochedly AIA, NCARB, NCIDQ, LEED AP BD+C

*Principal*

16 May 2024

Philadelphia Historical Commission  
1515 Arch Street, 13<sup>th</sup> Floor  
Philadelphia PA, 19102

RE: Historical Review – 627 N 16<sup>th</sup> Street

Members of the Committee and Commission

Please find enclosed our application for Final approval of our project at 627 N 16<sup>th</sup> Street. I am submitting on behalf of the property owner, Fortis Construction & Design - Anthony Mascieri.

The project involves:

- The demolition of existing 1-story rear addition to an existing 3-story row home.
- Construction of new 3-story rear addition on slab.
- Rear addition to contain bedrooms and bathrooms.
- Rear addition proposed to utilize composite windows and doors, and proposed cladding to consist of butt-joined fiber cement panels and brick. Colors TBD through coordination with PHC staff.
- New front sidewalk egress well is also proposed in this review scope.
- Interior alterations are proposed under a separate building permit currently in review. (Shown in provided drawings for reference only)

Thank you for taking the time to review our application. Please contact me at 215.800.1968 if you need more information or need to discuss the project further.

Sincerely,

A handwritten signature in black ink that reads "Ian M. Toner". The signature is written in a cursive, slightly slanted style.

Ian Toner, Principal, Toner Architects



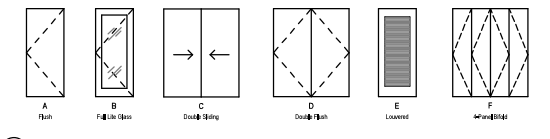


Window Schedule					
Type Mark	Width	Height	Description	Head Height	Material
A	2'-0"	2'-0"	Doublehung	0'-2 1/2"	Aluminum/Clad Glass
B	2'-0"	2'-0"	Doublehung	0'-1 1/2"	Aluminum/Clad Glass
C	2'-0"	2'-0"	Doublehung	0'-3 3/4"	Composite
D	2'-0"	2'-0"	Doublehung	0'-1 1/2"	Composite
E	2'-0"	2'-0"	Doublehung	0'-2"	Composite
F	2'-0"	2'-0"	Doublehung	0'-2"	Composite
G	2'-0"	2'-0"	Doublehung	0'-2"	Composite
H	2'-0"	2'-0"	Doublehung	0'-2 3/4"	Aluminum/Clad Glass
I	2'-0"	2'-0"	Doublehung	0'-1 1/2"	Composite
J	2'-0"	2'-0"	Doublehung	0'-1 1/2"	Composite
K	2'-0"	2'-0"	Doublehung	0'-1 1/2"	Aluminum/Clad Glass
L	2'-0"	2'-0"	Doublehung	0'-1 1/2"	Composite
M	2'-0"	2'-0"	Doublehung	0'-2"	Composite
N	2'-0"	2'-0"	Doublehung	0'-2"	Composite
O	2'-0"	2'-0"	Doublehung	0'-2"	Composite
P	2'-0"	2'-0"	Fixed	0'-2"	Aluminum/Clad Glass
Q	2'-0"	2'-0"	Doublehung	0'-2"	Composite

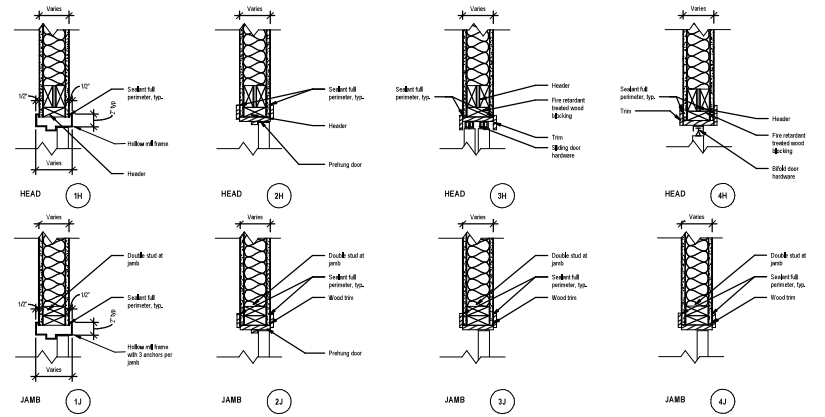
- Window Notes:**
- All new windows to be installed to be UACIB Minimum.
  - All open windows to be UACIB Minimum.
  - All windows are to have a SHGC Maximum of 0.40 for South, East and West Orientation and a SHGC Maximum of 0.40 for North Orientation.
  - All new windows to be installed within existing masonry openings, provide new interior and exterior trim. Buck frames are not allowed at existing locations.
  - Confirm existing opening sizes for replacement windows.
  - Provide temporary bracing for windows located in bathrooms and all other locations required by code.
  - Label all new windows with Type Mark and Series.
  - All new windows to match existing windows in type, color, and other attributes noted.
  - All new windows to be installed to be UACIB Minimum. See Appendix: David Augustine (215) 570-2077 david.augustin@quintus.com
  - All new and rear windows to be Andersen 100 (Composite).

Door Schedule															
Door Number	Size			Door Type	Material	Finish	Frame			Details		Fire Rating	Hardware Set	Class Type	Comments
	Width	Height	Head				Type	Material	Finish	Head	Jamb				
001	2'-0"	2'-0"	0'-2 1/2"	A	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Room
001	2'-0"	2'-0"	0'-2 1/2"	B	Composite	Professional	Painting	Composite	Professional	-	-	-	-	-	Entrance Entry
A	2'-0"	2'-0"	0'-2 1/2"	A	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Office Entry
B	2'-0"	2'-0"	0'-2 1/2"	A	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Office Entry
C	2'-0"	2'-0"	0'-2 1/2"	A	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Restroom & Bath
D	2'-0"	2'-0"	0'-2 1/2"	A	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Bath
E	2'-0"	2'-0"	0'-2 1/2"	A	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Bath
F	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Entry, HVAC & Water Heater
G	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater
H	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater
I	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater
J	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater
K	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater
L	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater
M	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater
N	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater
O	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater
P	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater
Q	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater
R	2'-0"	2'-0"	0'-2 1/2"	E	WU	PT	A	DM	PT	SH	1 1/2"	60 Min.	-	-	Water Heater

- Door Notes:**
- Entrance doors to be UACIB min.
  - Springing Close doors to be UACIB min.
  - All new doors to be installed within existing masonry openings or otherwise noted. Provide new interior and exterior trim.
  - Confirm existing opening sizes for replacement doors to be installed.
  - Doors to be installed to be UACIB Minimum. See Appendix: David Augustine (215) 570-2077 david.augustin@quintus.com
  - All new and rear windows to be Andersen 100 (Composite).

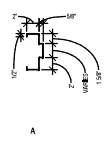


Door Types  
1 1/2" = 1'-0"



1 Frame Types  
1 1/2" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



1901 S. 8th Street  
Room 425  
Philadelphia, PA 19148  
215.300.1968  
www.tonerarch.com

NOTES



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130

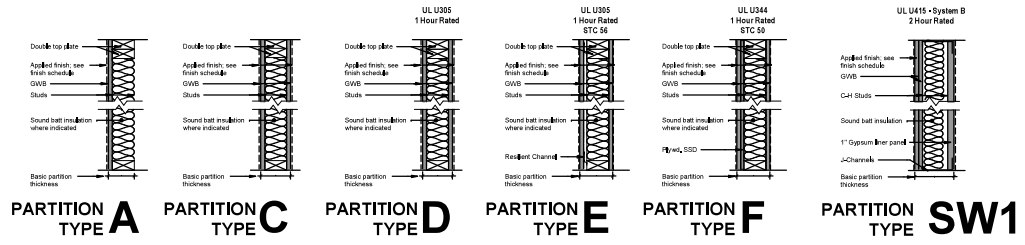
DOOR & WINDOW SCHEDULES, DOOR DETAILS

Project number: 24001  
Date: 13 May 2024  
Drawn by: SHSP  
Checked by: BMT

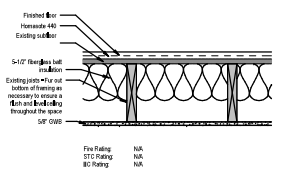
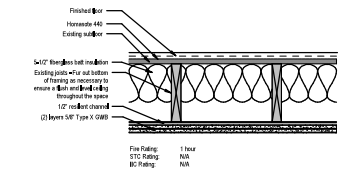
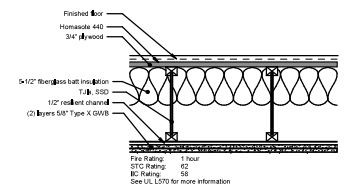
A003



Partition identification plate symbol										
Basic partition thickness	0' - 4 1/8"	0' - 4 3/4"	0' - 5 3/4"	0' - 4 3/4"	0' - 4 3/4"	0' - 5 1/8"	0' - 7 1/8"	0' - 5 1/8"	0' - 7 1/8"	0' - 5 5/8"
Fire rating (hrs)	-	-	-	-	-	1	1	1	1	2
Fire test number (UL)	-	-	-	UL U305	UL U305	UL U305	UL U305	UL U344	UL U344	UL U415
Acoustical rating (STC)	-	-	-	-	-	55	55	55	55	-
Acoustical test number	-	-	-	-	-	-	-	-	-	-
Insulation thickness	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"
GWB thickness	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8" (2 Front)
Acoustical caulking	-	-	-	-	-	Yes	Yes	-	-	-
Fire caulking	-	-	-	-	-	Yes	Yes	-	-	-
Metal thickness	-	-	-	-	-	Yes	Yes	Yes	Yes	Yes
Stud size	2x4	2x4	2x6	2x4	2x6	2x4	2x6	2x4	2x6	2 1/2 Cx4
Stud spacing (OC)	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	-	-	2'
Studs to structure above	-	-	-	-	-	-	-	-	-	-
Studs to structure below	or GWB to structure above	or GWB to structure above	-	-	-	-	-	-	-	-
Remarks:	Double partition at end wall	Double partition around doors & windows	Double partition around doors & windows	Double partition, see UL U305 for additional information	Double partition, see UL U305 for additional information	Resilient channel, see UL U305 for additional information	Resilient channel, see UL U305 for additional information	Double partition, see UL U344 for additional information	Double partition, see UL U344 for additional information	System liner (1" gypsum liner, see UL U415 for additional information)



1 Partition Types  
1 1/2" x 14"



2 Floor/Ceiling Types  
1 1/2" x 14"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130

**PARTITION TYPES & FLOOR/CEILING TYPES**

Project number: 24001  
Date: 13 May 2024  
Drawn by: SWS/SP  
Checked by: BMT

**A004**



Scale: 1 1/2" = 14"

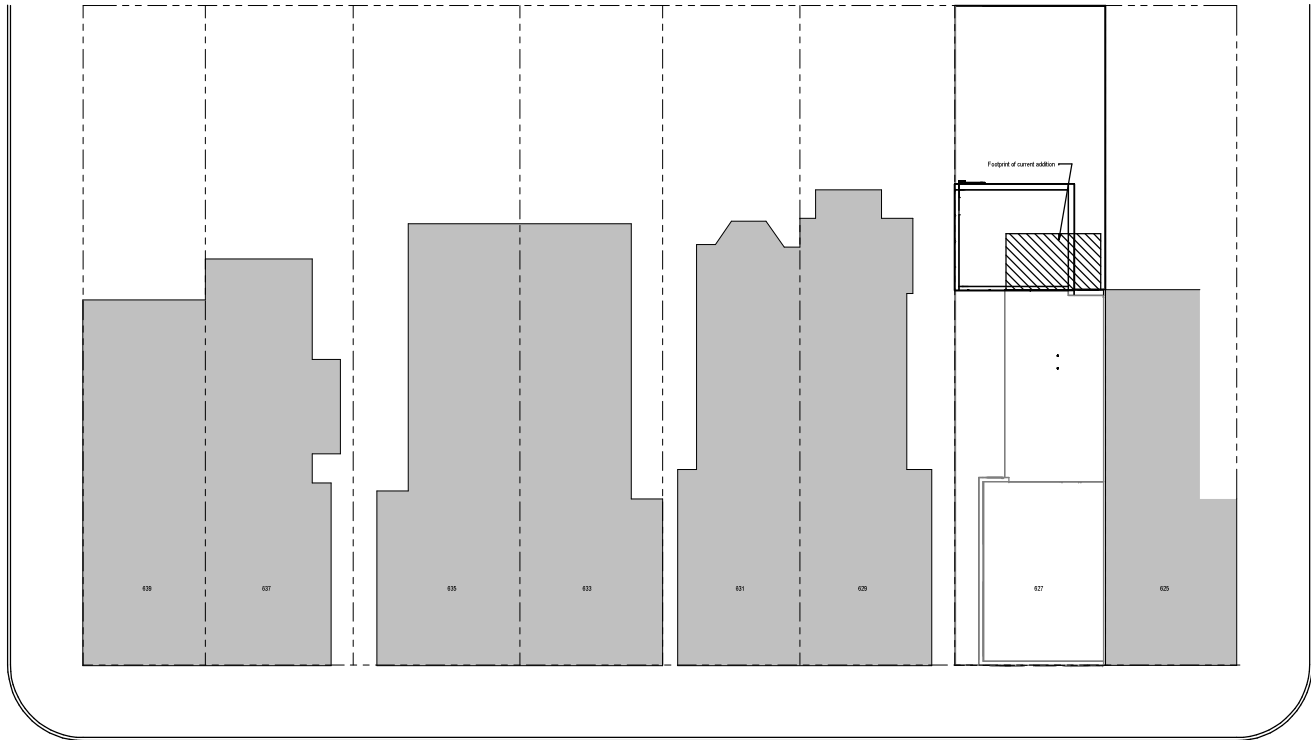
**TONER**  
architects

1901 S. 8th Street  
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215.300.1968  
www.tonerarch.com

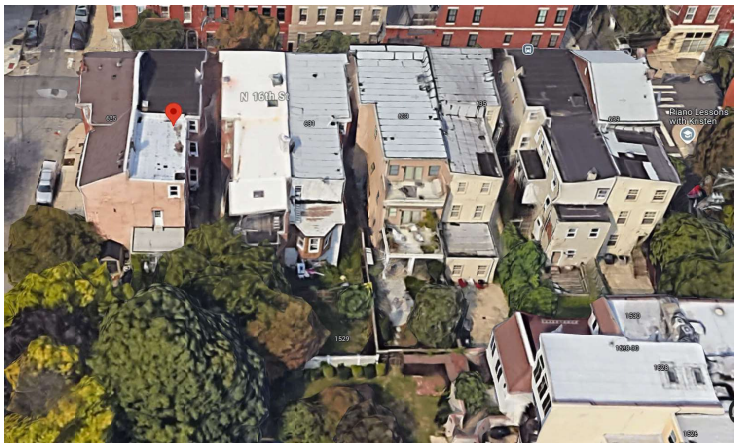
NOTES



NOT FOR  
CONSTRUCTION



Site  
1/8" = 1'-0"



Rear Aerial View of 627-628 N 10th

CITY OF PHILADELPHIA APPROVAL STAMPS

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No.	Description	Date

**Fortis Construction & Design**  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19139  
**SITE PLAN**

Project number: 24001  
Date: 13 May 2024  
Drawn by: SINSF  
Checked by: BMT

**A005**



Scale: 1/8" = 1'-0"

NOTES



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Fortis Construction & Design  
Apartment Conversion and Addition  
427 North 16th Street  
Philadelphia, PA 19130  
**DEMOLITION PLANS**

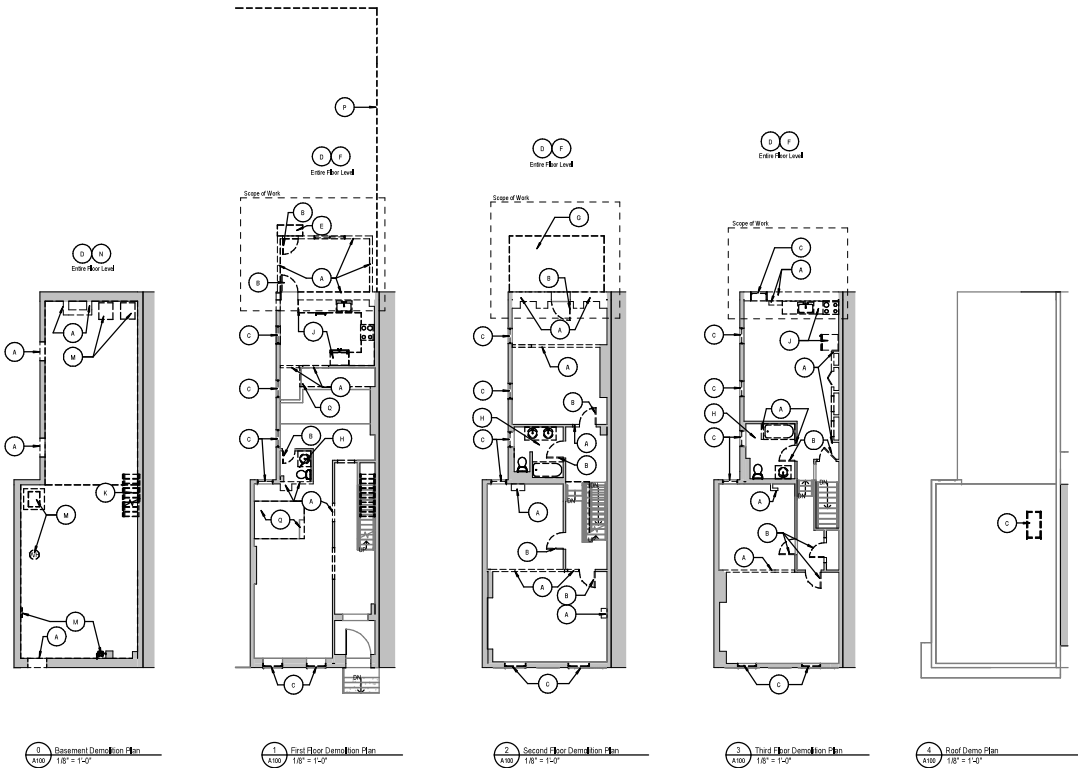
Project number	24001
Date	13 May 2024
Drawn by	SJNSP
Checked by	BMT
<b>A100</b>	
Scale	As indicated



**Demolition Keynotes**  
Note: Keynote letters 1-17 are used for clarity.

<b>A</b> Remove walls or portion of wall as indicated on the dem plan; complete.	<b>H</b> Remove exterior cornice, including all casework, planing fixtures, and wall and floor finishes. Cap and remove pipes as required. Dispose or recycle fixtures in writing order.
<b>B</b> Remove door, complete.	<b>I</b> Remove kitchen, complete, including all casework, appliances, plumbing fixtures, and wall and floor finishes. Cap and/or remove pipes as required. Dispose or recycle appliances and fixtures in writing order.
<b>C</b> Remove window, complete.	<b>J</b> Remove existing stair, complete.
<b>D</b> Remove ceiling finish and nonstructural framing above SFD.	<b>K</b> Remove equipment, complete.
<b>E</b> Remove exterior stoop, complete.	<b>L</b> Remove deck, complete.
<b>F</b> Remove existing framing throughout. Preserve existing load-bearing exterior walls to receive new flooring.	<b>M</b> Remove fence, complete.
<b>G</b> Remove existing roof and roof framing, complete. Prepare to replace and install roof T&E. Coordinate with the architect for restoration.	<b>N</b> Remove existing floor and structure, SFD.

- Demolition Notes**
- The order of the demolition is not intended to indicate the order of the work.
  - The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
  - These documents have been prepared based upon visible conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereon as uncovered at the site. Each contractor shall verify all existing conditions and promptly notify the architect of any discrepancies between these documents and the existing conditions.
  - Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work.
  - The contractor shall coordinate with the owner to develop adequate egress requirements of all construction details and details of construction materials.
  - Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
  - During demolition and removal operations, the safety work areas shall be kept of all dust, dirt and other debris before application of any new material, under finishes.
  - Each contractor is responsible to provide adequate and substantial provisions to protect the building and finished surfaces remaining to be retained. All interior and exterior live storage during delivery of equipment and disposal of materials. All damaged surfaces shall be restored to their original condition. No work shall be permitted to occupy any existing street or walk unless approved by owner and the authority having jurisdiction.
  - Each contractor shall locate, identify and protect all utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
  - If during the course of demolition, unstable conditions are encountered, immediate stop work and notify the architect of such conditions.
  - Remove all items with care and in the possible sequence. The owner retains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be removed for reuse.
  - Unless otherwise stated, patching and repair of areas to remain in service following demolition, including required patching and finishing, shall be the responsibility of the contractor. Patching and finishing shall be the responsibility of the contractor. Patching and finishing shall be the responsibility of the contractor. Patching and finishing shall be the responsibility of the contractor. Patching and finishing shall be the responsibility of the contractor.
  - Patch and repair existing floor systems as required and at all locations of identified walls, partitions, fixtures, equipment, lighting and/or architectural features. Prepare all existing floors to receive new floor finishes. Unless otherwise indicated, patch floors to match adjacent existing surfaces.
  - Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes to remain.
  - Any trade performing core drilling or sawing operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall properly notify the architect of any obstructions affecting layout of new work.
  - Protect existing active smoke detectors and the alarm devices from dust. Protect throughout duration of the project.
  - Pipes, conduits and ductwork encountered in demolished partitions and ceilings which are to remain shall be re-secured and supported. Those which are abandoned shall be capped and concealed in floor walls or ceiling.
  - Salvage materials to be removed shall be removed by the contractor and turned over to the owner shall be identified by the owner and submitted prior to the beginning of work and are to be stored on the site in a location designated by the owner.
  - Any protruding or surface-mounted items to be abandoned shall be removed and concealed.
  - Items remain in the demolition package are existing and provided for clarity only. They do not apply to the new scope of work.
  - Contractor responsible for measure and mark demolition and remediation throughout existing structure. Existing structural, mechanical, electrical and plumbing shall be preserved, and all other existing materials to be removed throughout as required. Items to be removed shall be removed in a demolition proceed scope of work shown on dem plan. Dem plan shall be removed in a demolition proceed scope of work shown on dem plan.



0 Basement Demolition Plan  
A100 1/8" = 1'-0"

1 First Floor Demolition Plan  
A100 1/8" = 1'-0"

2 Second Floor Demolition Plan  
A100 1/8" = 1'-0"

3 Third Floor Demolition Plan  
A100 1/8" = 1'-0"

4 Roof Demo Plan  
A100 1/8" = 1'-0"

**Wall Legend**

	Existing wall/Construction
	Demolish wall/Construction
	New wall/Construction
	1 hour fire rated separation

CITY OF PHILADELPHIA APPROVAL STAMPS



- NOTES**
- Alignment notes supersede dimensions where noted. When conflicting information is noted, direction must be provided by the Architect.
  - All dimensions are to the face of finished wall unless noted otherwise.
  - Reveal and ordered existing systems as required to accommodate new work.



**NOT FOR CONSTRUCTION**

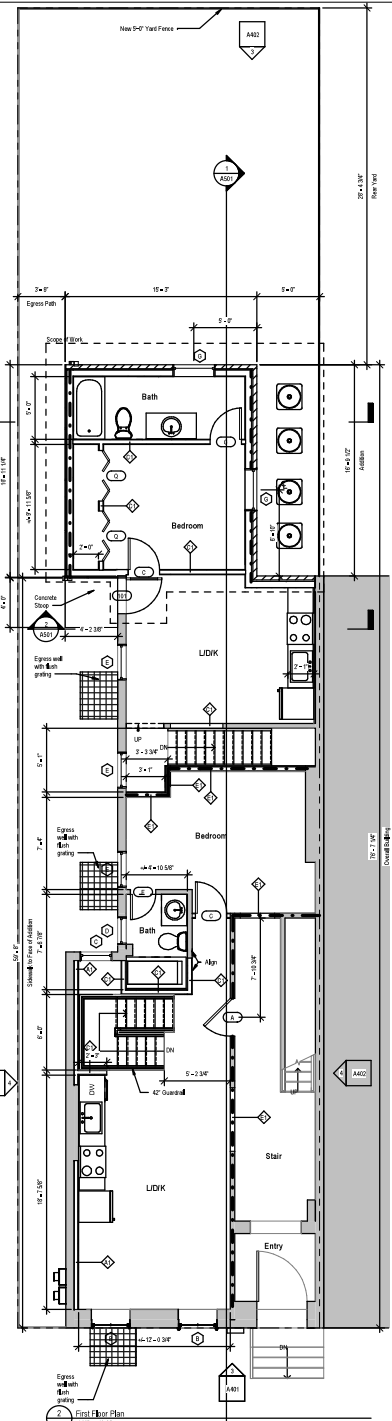
DATE	
DESCRIPTION	
NO.	

**Fortis Construction & Design**  
 Apartment Conversion and Addition  
 627 North 10th Street  
 Philadelphia, PA 19130  
**FLOOR PLANS**

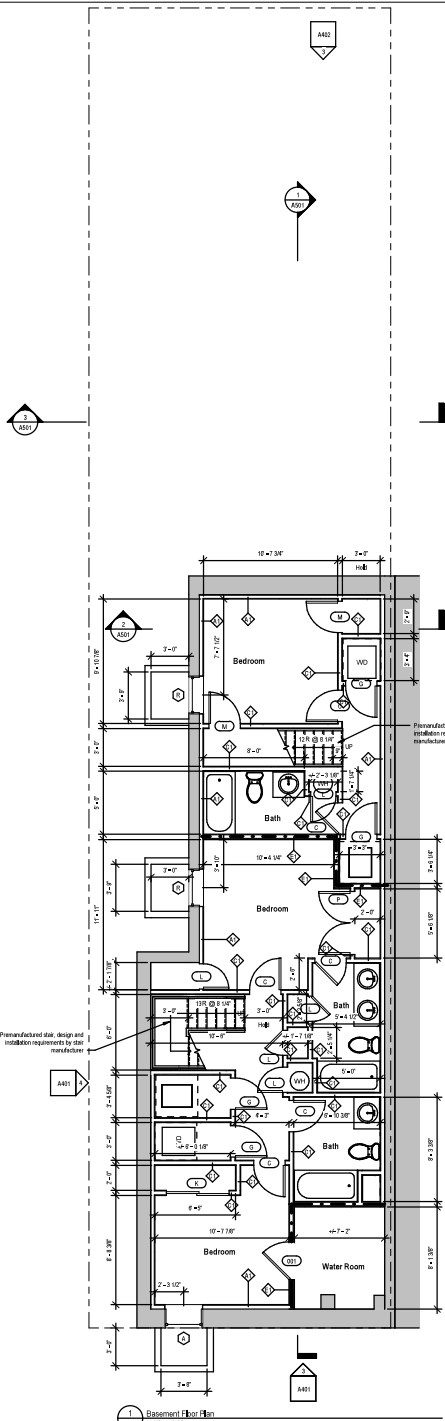
Project number: 24001  
 Date: 13 May 2024  
 Drawn by: SINSF  
 Checked by: BMT

**A101**

Scale: 1/8" = 1'-0"



**1 First Floor Plan**  
 1/8" = 1'-0"



**2 Basement Floor Plan**  
 1/8" = 1'-0"

**Wall Legend**

- Existing wall/construction
- Demolished construction
- New wall/construction
- 1 hour fire-rated separation

CITY OF PHILADELPHIA APPROVAL STAMPS



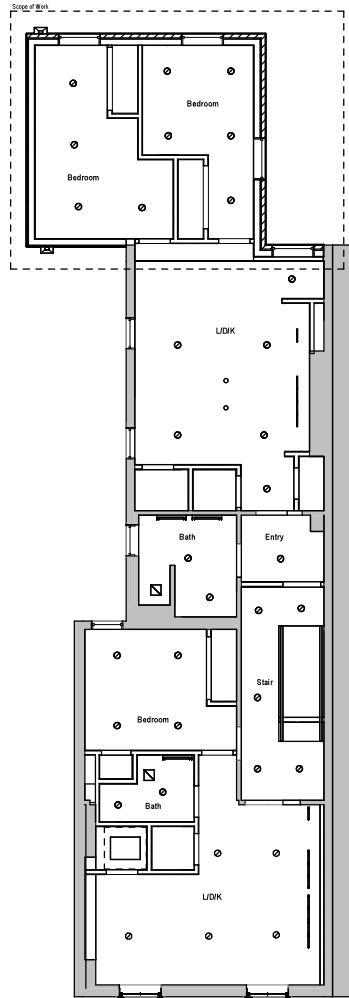




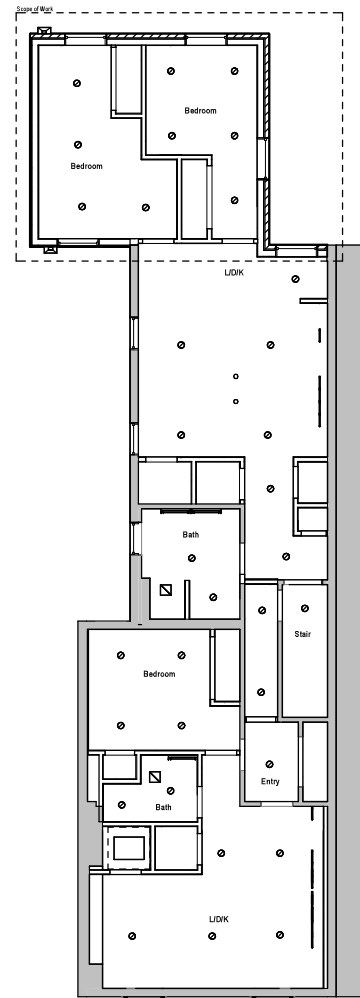


**NOTES**

- Alignment points supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
- All dimensions are to the face of finished wall unless noted otherwise.
- Remove and select existing systems as required to accommodate new work.
- Contractor to confirm compatibility of all system parts.
- VLT, final installation heights and locations for all decorative light fixtures.
- Contractor to confirm and submittal schedule for all light fixtures at construction of work.
- MET systems design by MET Engineer. Contractor to coordinate MET work with architect work and notify Architect and Engineer of conflicts.
- The contractor is responsible for the full coordination of all ceiling components. The contractor is to provide coordination drawings and a memo to the following: Builders of ceiling grid main members and cross members, location and coordination of light fixtures and diffusers. Contractor to verify that the light fixtures, diffusers and their components are compatible with all work within the specified ceiling system prior to purchasing these items. Any conflicts or coordination issues are to be brought to the attention of the architect immediately. Reference above the ceiling to be verified to confirm that the depth of the ceiling components will work with existing construction such as existing firewalls and HVAC equipment or ductwork.
- All diffusers, electrical and fire alarm components are to be coordinated on the ceiling.
- Ceiling grid elements are to be constructed in accordance with manufacturer's recommendations. Contractor to verify requirements with the manufacturer for correct grid main members and cross members as well as requirements for dead end treatment and support requirements to the structural deck or other supporting members.



1 Second Floor Reflected Ceiling Plan  
A302 1/4" = 1'-0"



2 Third Floor Reflected Ceiling Plan  
A302 1/4" = 1'-0"

Item	Symbol
LED Disk	●
Yanki Light	○
Custom Mounted Ceiling Light	○
Scene	□
Pendant Light	•
Exhaust Fan	⊠

**Notes:**

- All fixtures in wall locations shall be set at above noted. All ceiling fixtures must be exterior wall mount.
- Light fixture heights shall be on jamb track unless otherwise noted.
- Recessed fixtures installed in sloped ceiling shall have adjustable lenses and be specified for installation in recessed floor.

**NOT FOR CONSTRUCTION**

DATE	
DESCRIPTION	
NO.	

Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130  
**REFLECTED CEILING PLANS**

Project number 24001  
Date 13 May 2024  
Drawn by SINSF  
Checked by BMT

**A302**



Scale: As indicated

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

1. All elevations unless otherwise noted, shall be shown in black ink on white paper.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Retain and extend existing systems as required to accommodate new work.



NOT FOR CONSTRUCTION

No.	Description	Date

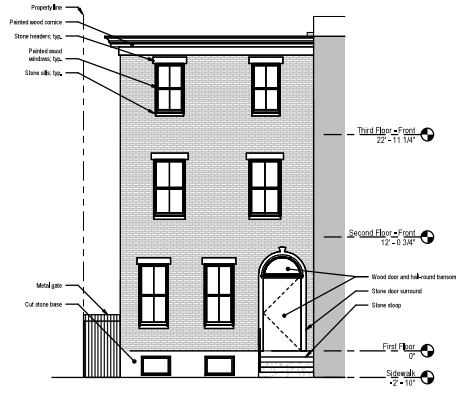
Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19139

EXISTING AND PROPOSED ELEVATIONS

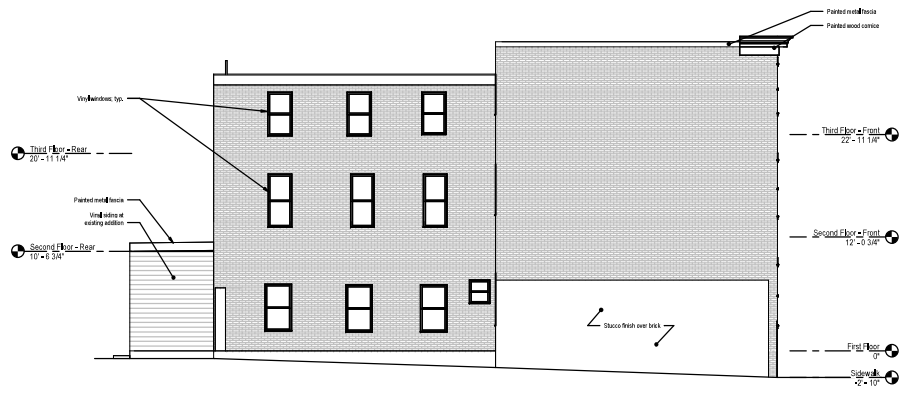
Project number	24001
Date	13 May 2024
Drawn by	SHSP
Checked by	BM

A401

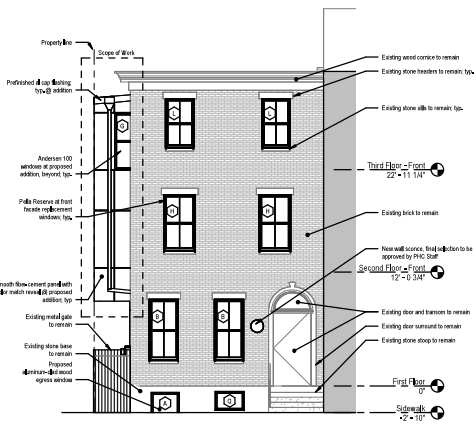
Scale: 3/16" = 1'-0"



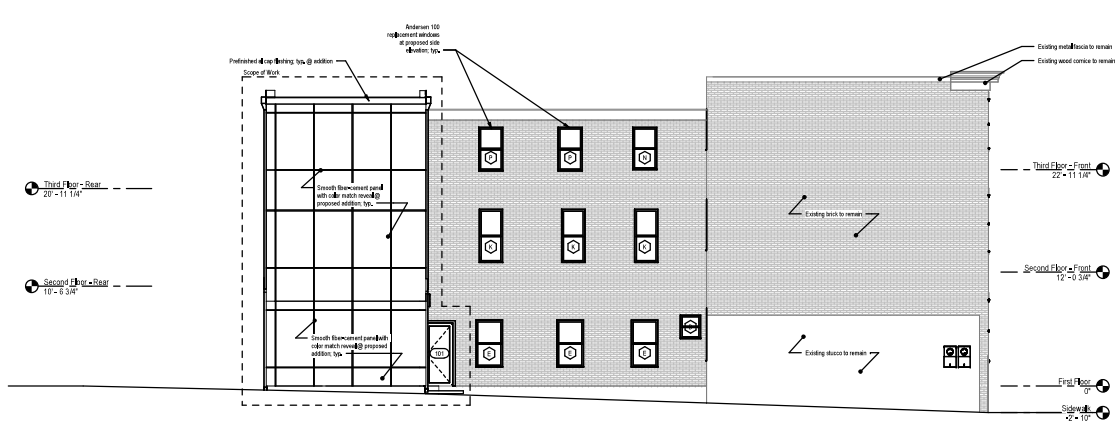
1 Existing Front (West) Elevation  
3/16" = 1'-0"



2 Existing Side (North) Elevation  
3/16" = 1'-0"



3 Proposed Front (West) Elevation  
3/16" = 1'-0"



4 Proposed Side (North) Elevation  
3/16" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES



**NOT FOR CONSTRUCTION**

No.	Date	Description

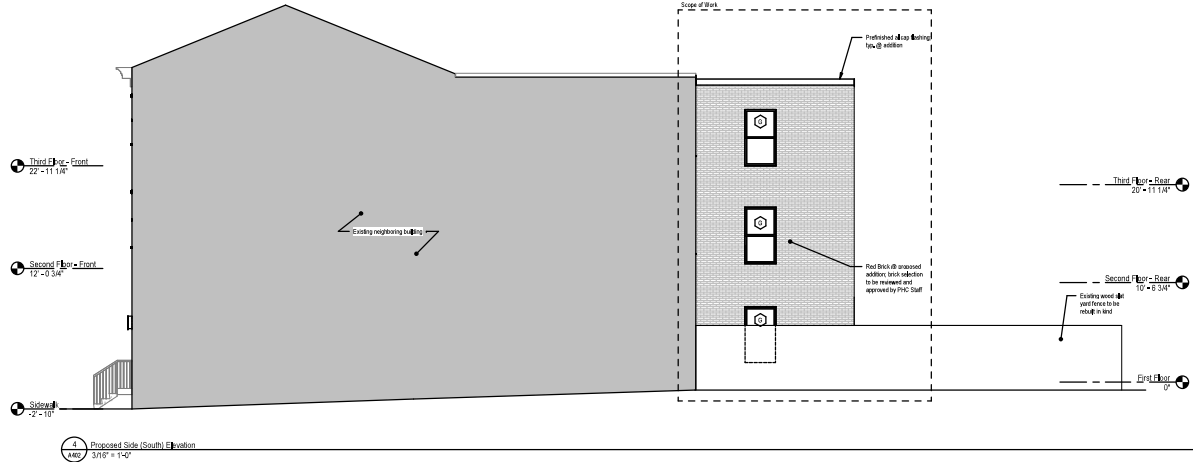
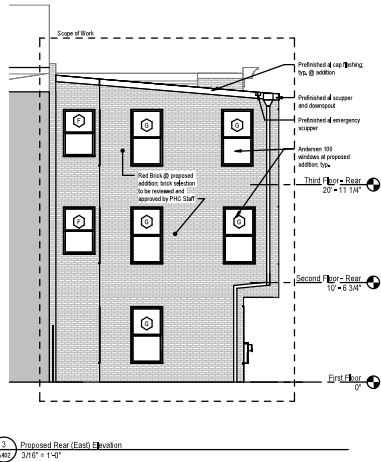
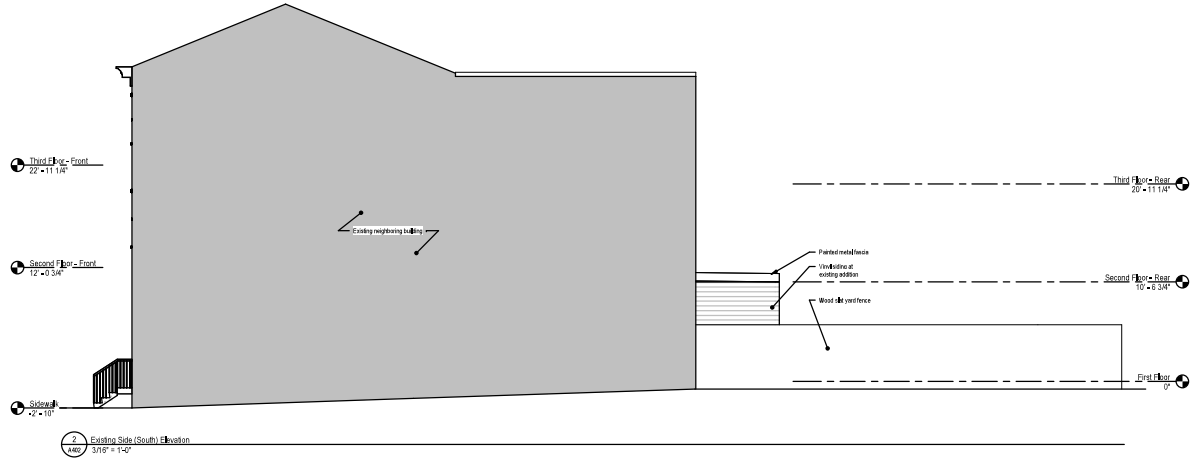
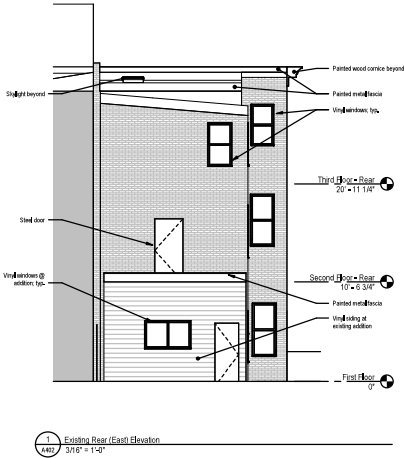
Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130

**EXISTING AND PROPOSED ELEVATIONS**

Project number: 24001  
Date: 13 May 2024  
Drawn by: SHSP  
Checked by: BMT

**A402**

Scale: 3/16" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS

Blank area for City of Philadelphia approval stamps.



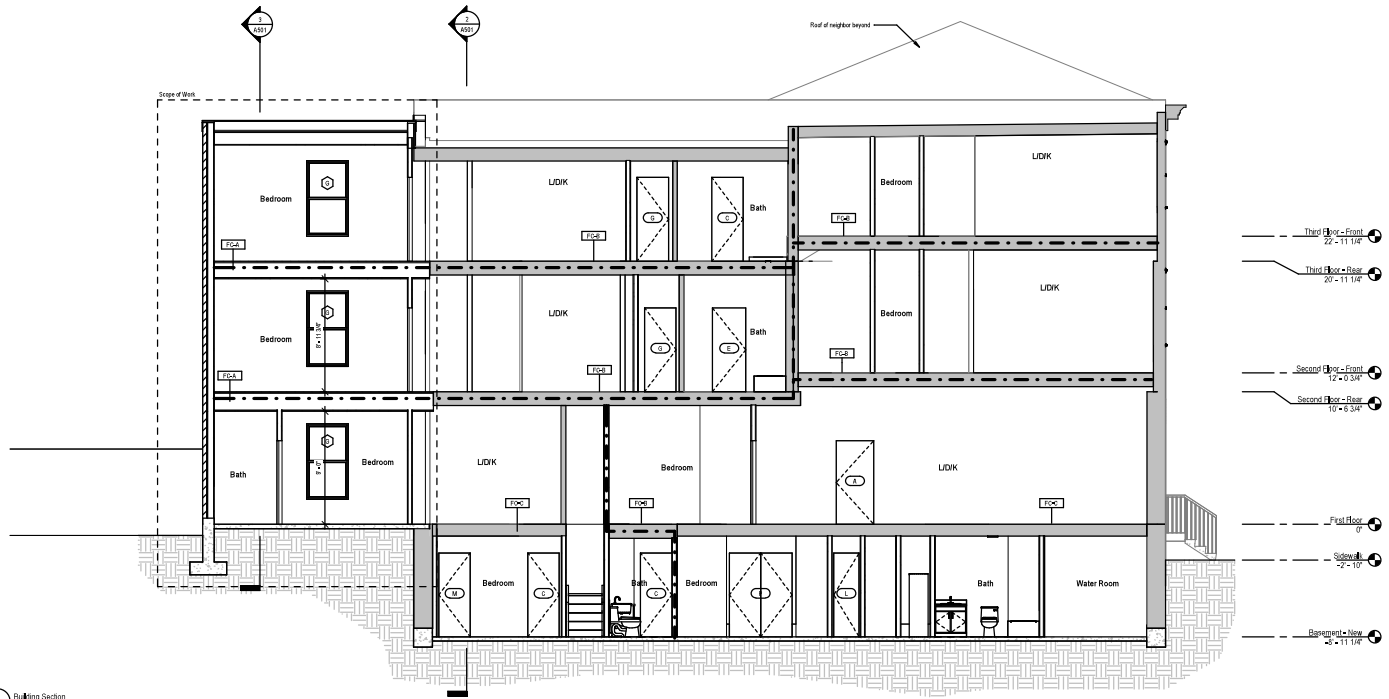


NOTES

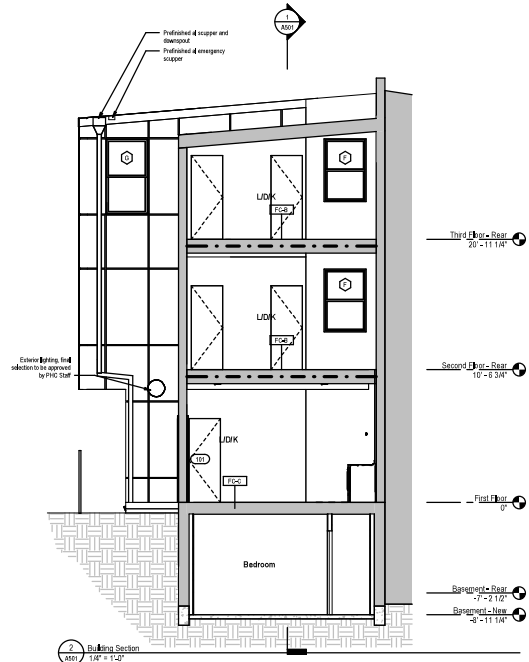
1. All noted notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Provide and extend existing systems as required to accommodate new work.



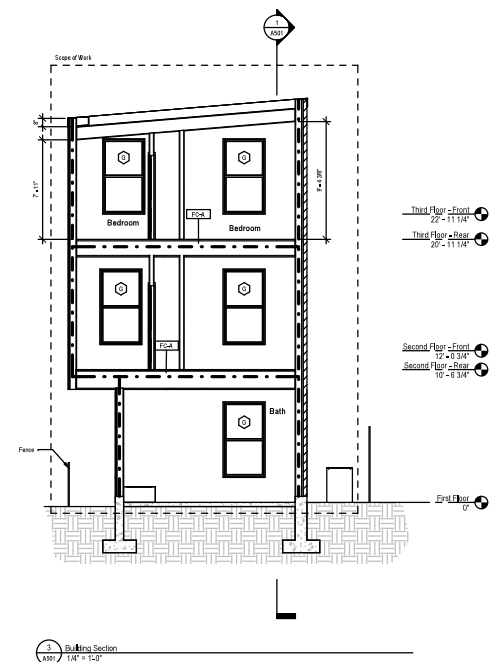
NOT FOR  
CONSTRUCTION



1 Building Section  
1/4" = 1'-0"



2 Building Section  
1/4" = 1'-0"



3 Building Section  
1/4" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



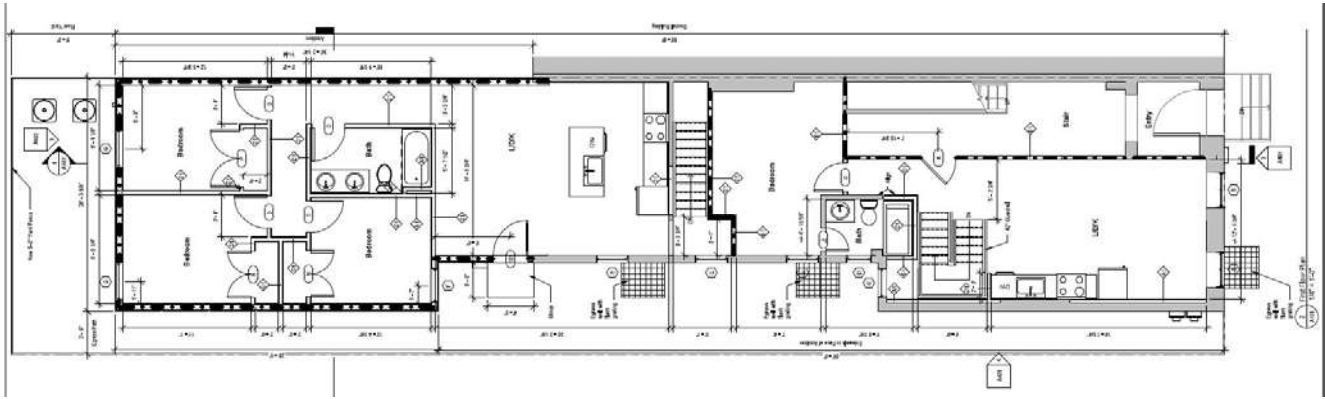
Fortis Construction & Design  
Apartment Conversion and Addition  
427 North 10th Street  
Philadelphia, PA 19130  
**BUILDING SECTIONS**

Project number: 24001  
Date: 13 May 2024  
Drawn by: SHSP  
Checked by: BMT  
**A501**  
Scale: 1/8" = 1'-0"

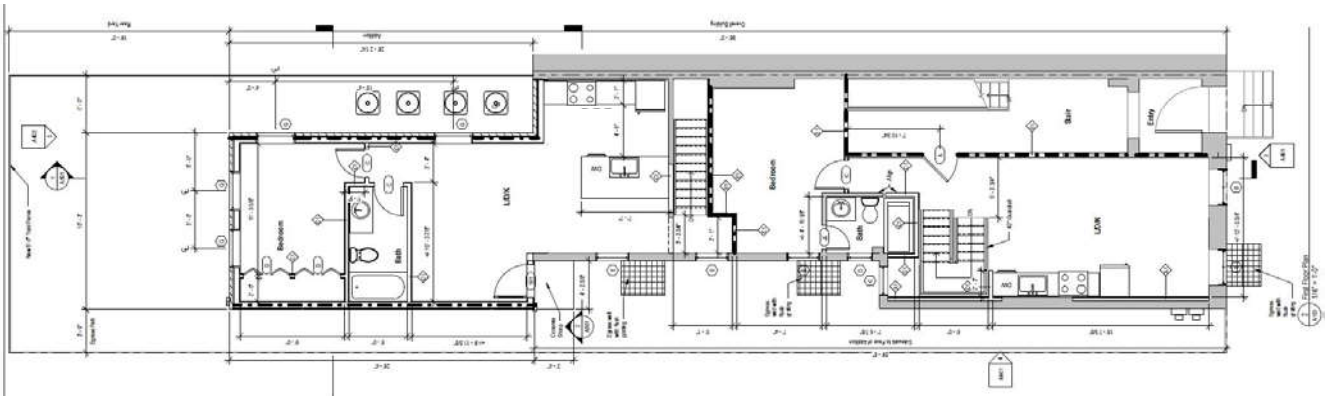


# Comparison floor plans

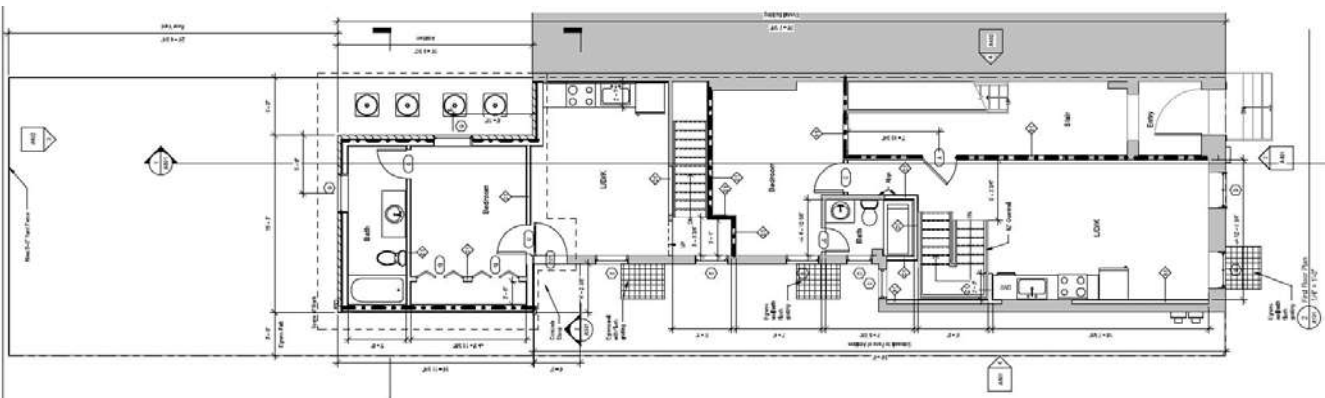
## Original Application March 2024



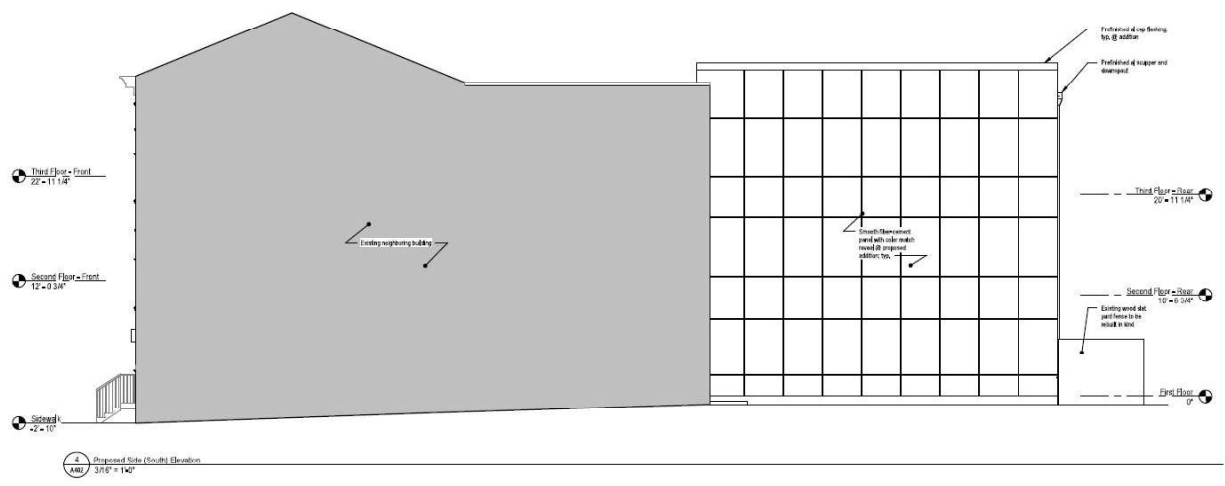
## Revised Application April 2024



## 2<sup>nd</sup> Revised Application May 2024



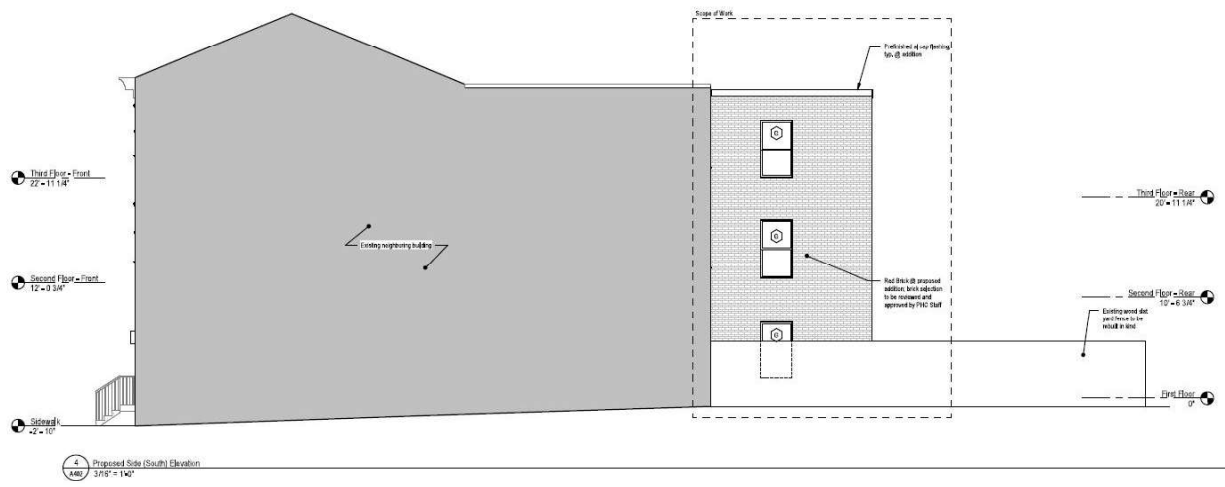
Original Application March 2024



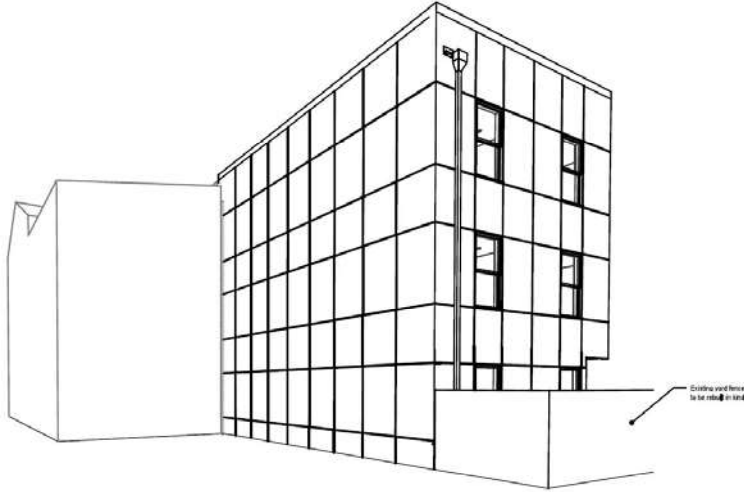
Revised Application April 2024



2nd Revised Application May 2024



Original Application March 2024



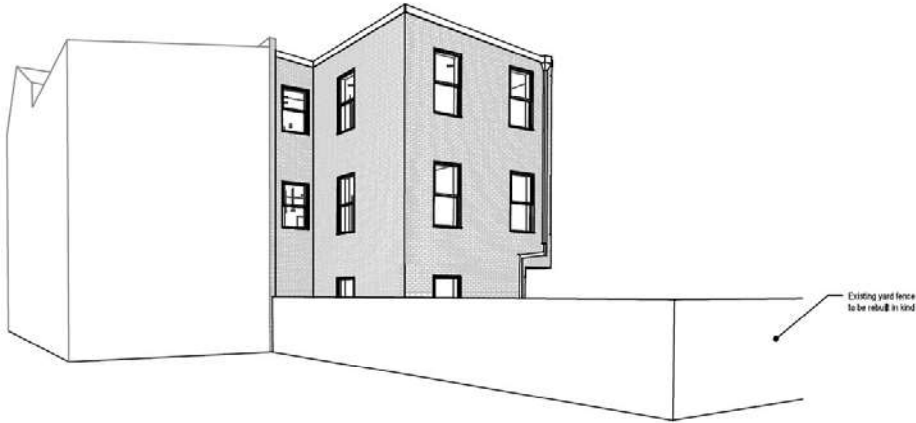
4 Proposed View from Wallace St  
A401

Revised Application April 2024



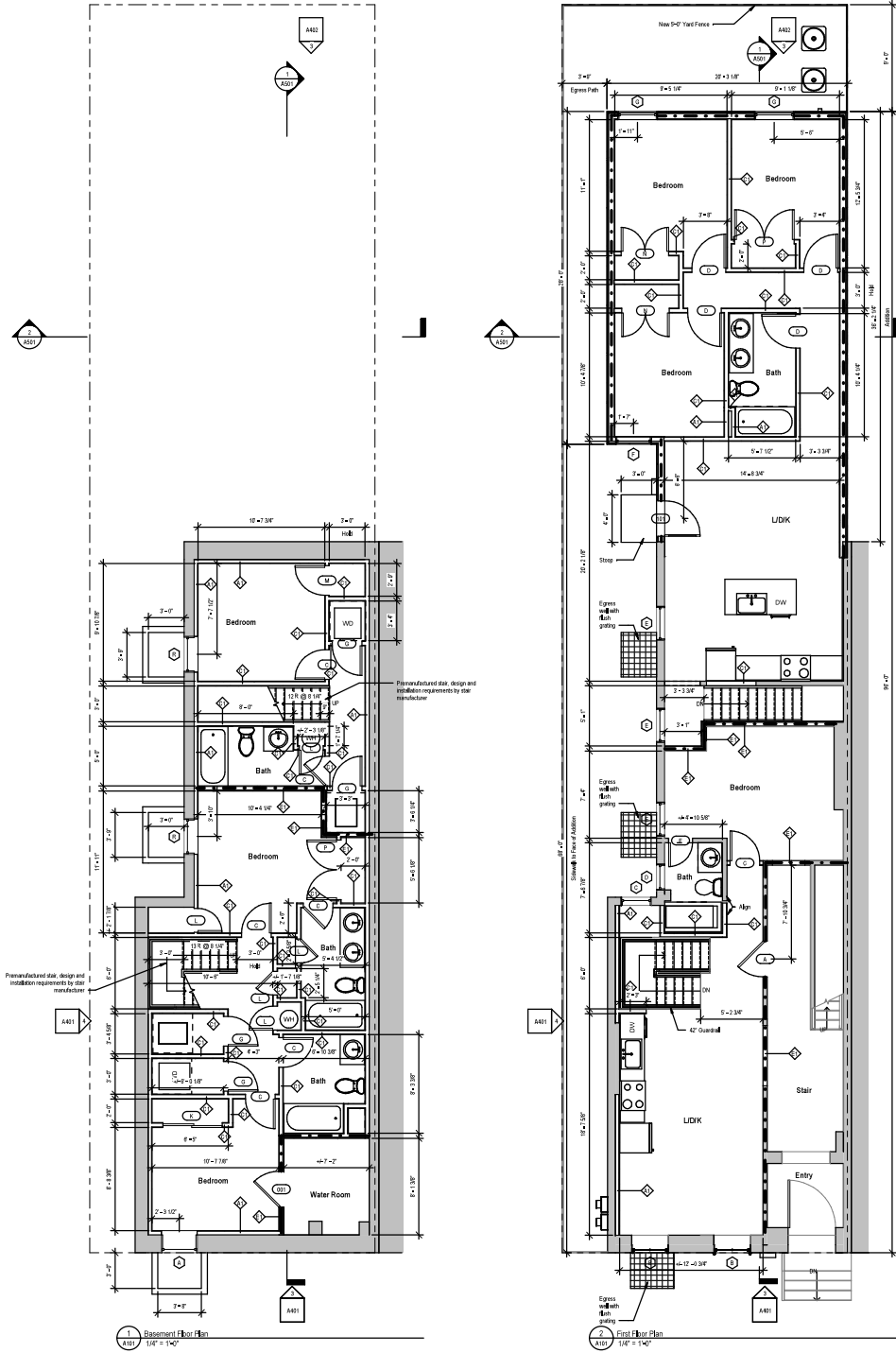
4 Proposed View from Wallace St  
A402

2<sup>nd</sup> Revised Application May 2024



4 Proposed View from Wallace St  
A403

Original Application March 2024



**Wall Legend**

	Existing wall/construction
	Demolished construction
	New wall/construction
	1 hour fire-rated separation

CITY OF PHILADELPHIA APPROVAL STAMPS

**TONER**  
architects

1901 S. 8th Street  
Room 425  
Philadelphia, PA 19148  
215.301.1965  
www.tonerarch.com

- NOTES**
- Alignment notes supersede dimensions where noted. When conflicting information is noted, direction must be provided by the Architect.
  - All dimensions are to the face of finished wall unless noted otherwise.
  - Results and notes existing systems as required to accommodate new work.

NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

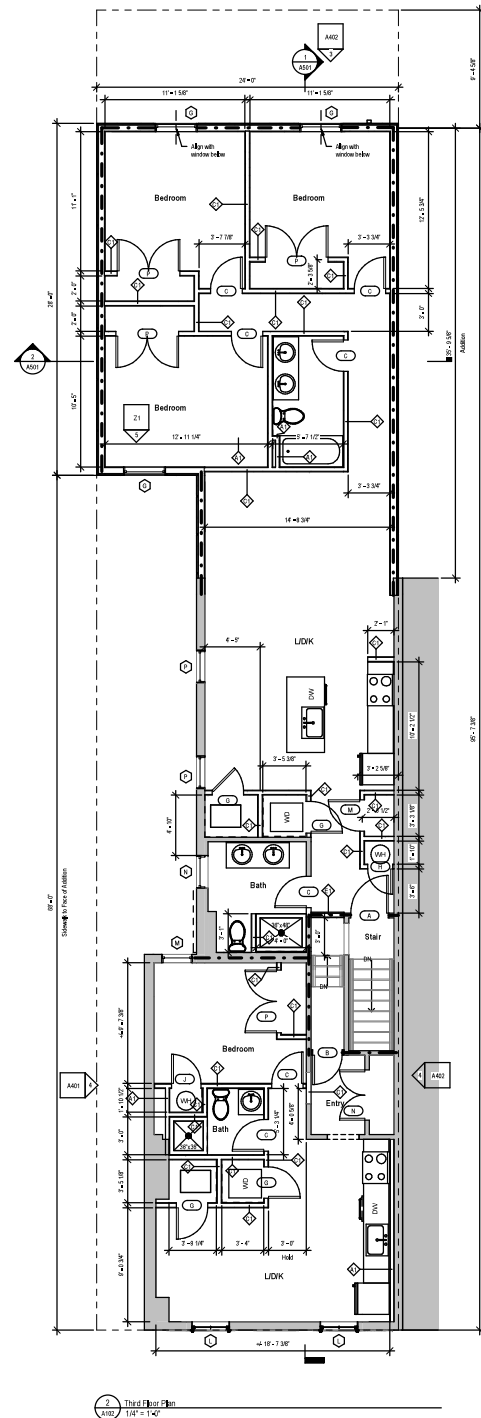
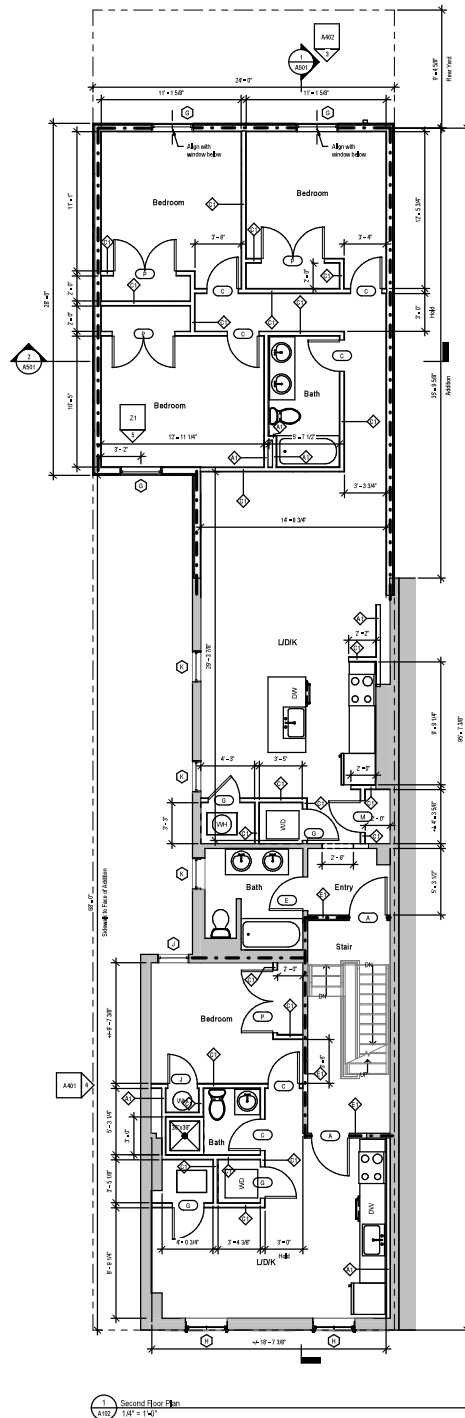
Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130

**FLOOR PLANS**

Project number: 24001  
Date: 12 March 2024  
Drawn by: SNSP  
Checked by: JMT

**A101**





**Wall Legend**

	Existing wall/construction
	Demolish wall/construction
	New wall/construction
	1 hour fire-rated separation

CITY OF PHILADELPHIA APPROVAL STAMPS

**TONER**  
architects

1901 S. 8th Street  
Room 425  
Philadelphia, PA 19148  
215.300.1968  
www.tonerarch.com

- NOTES**
- Alignment notes supersede dimensions where noted. Where conflicting information is noted, dimension trumps provided by the Architect.
  - All dimensions are to the face of finished wall unless noted otherwise.
  - Remove and re-install existing systems as required to accommodate new work.



**NOT FOR CONSTRUCTION**

NO.	DESCRIPTION	DATE

Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130  
**FLOOR PLANS**

Project number: 24001  
Date: 12 March 2024  
Drawn by: SNS/SP  
Checked by: JMT

**A102**







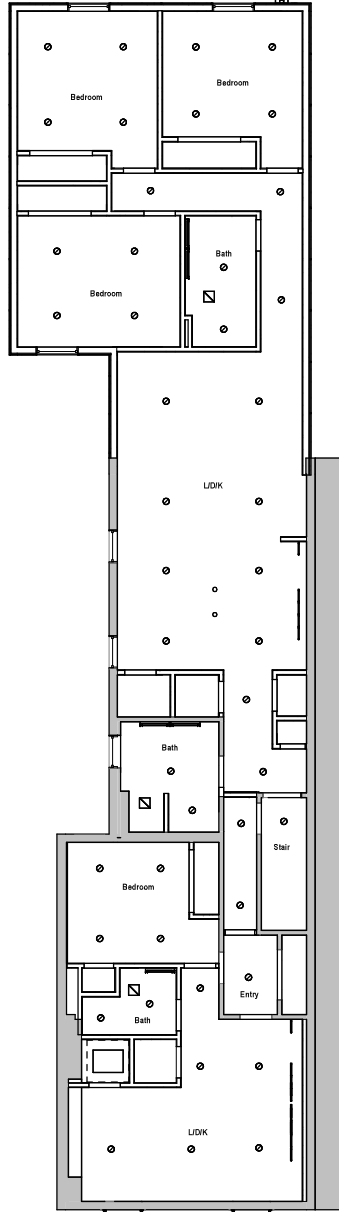
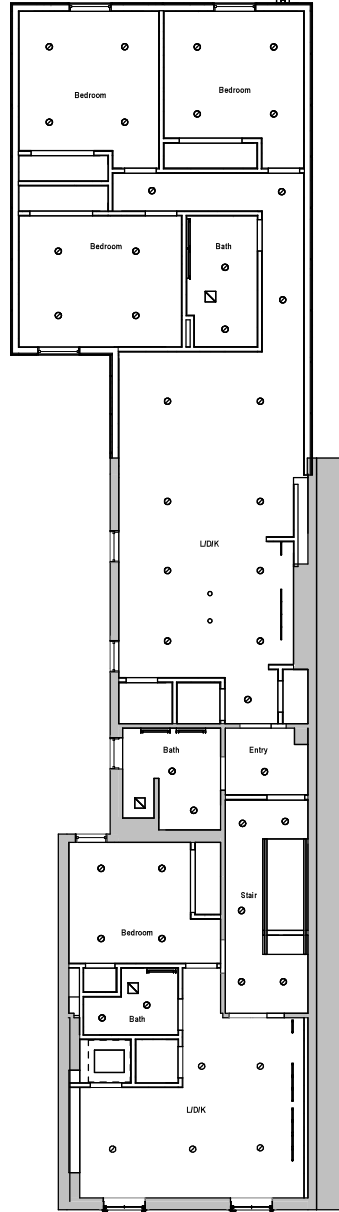




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Room 425  
Philadelphia, PA 19148  
215.501.1968  
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NOTES

- Alignment points supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
- All dimensions are to the face of finished wall unless noted otherwise.
- Remove and select existing systems as required to accommodate new work.
- Contractor to confirm compatibility of all system parts.
- VLT, final installation heights and locations for all ceiling lights.
- Contractor to confirm and submittal schedule for all light fixture submittals.
- MEP systems design by MEP Engineer. Contractor to coordinate MEP work with architectural work and notify Architect and Engineer of conflicts.
- The contractor is responsible for the full coordination of all ceiling components. This contractor is to provide coordination drawings and a memo to the following: Builders of ceiling grid main members and cross members, location and coordination of light fixtures and diffusers. Contractor to verify that the light fixtures, diffusers and their components are compatible with all work within the specified ceiling system prior to purchasing these items. Any conflicts or coordination issues must be brought to the attention of the architect immediately. Reference above the ceiling to be verified to confirm that the depth of the ceiling components will work with existing construction such as existing beams and HVAC equipment or ductwork.
- All diffusers, identified and to be items components are to be coordinated on the ceiling.
- Ceiling grid elements are to be constructed in accordance with manufacturer's recommendations. Contractor to verify requirements with the manufacturer for correct grid main members and cross members as well as requirements for dead end treatment and support requirements to the structural deck or other supporting members.



Item	Symbol
LED Disk	●
Yanki Light	○
Custom Mounted Ceiling Light	○
Score	—
Pendant Light	•
Exhaust Fan	⊠

Notes:  
 1. All fixtures in wall locations shall be set at same level. All ceiling fixtures must be exterior wall mount.  
 2. Lights inside closets shall be on jamb track unless otherwise noted.  
 3. Recessed fixtures installed in sloped ceilings shall have adjustable lenses and be specified for installation in recessed floor.

NOT FOR CONSTRUCTION

CITY OF PHILADELPHIA APPROVAL STAMPS

1 Second Floor Reflected Ceiling Plan  
1/4" = 1'-0"

2 Third Floor Reflected Ceiling Plan  
1/4" = 1'-0"



Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130  
REFLECTED CEILING PLANS

Project number: 24001  
Date: 12 March 2024  
Drawn by: SINSIP  
Checked by: JMT

A302

Scale: As indicated



Original Application March 2024



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Philadelphia, PA 19148  
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NOTES



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

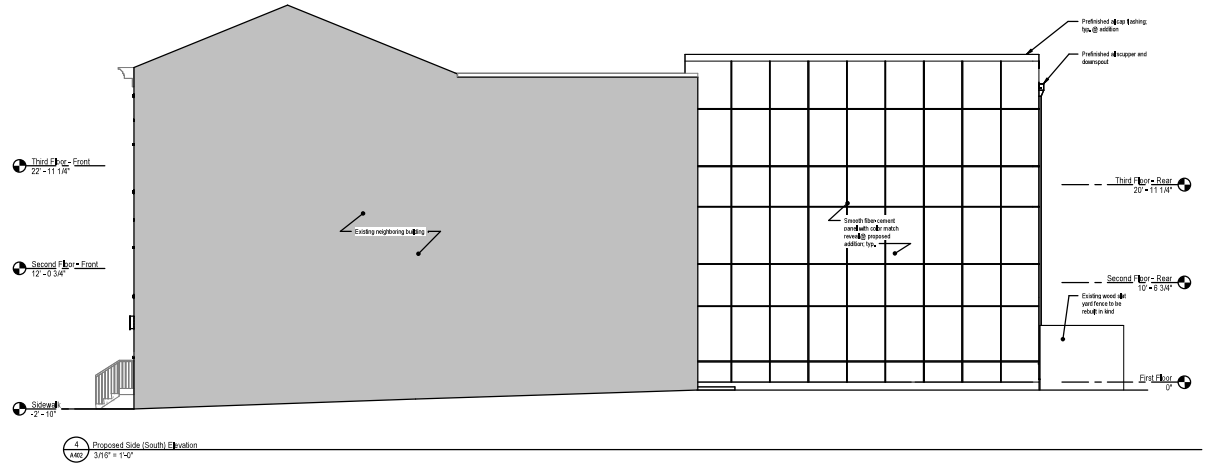
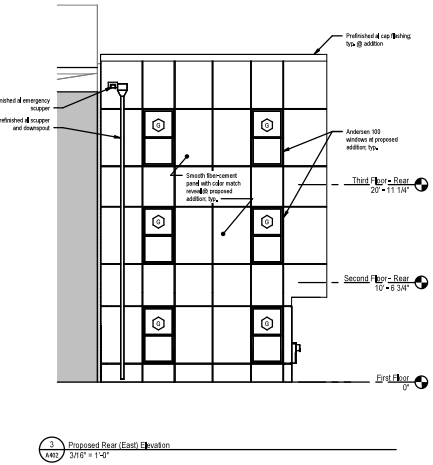
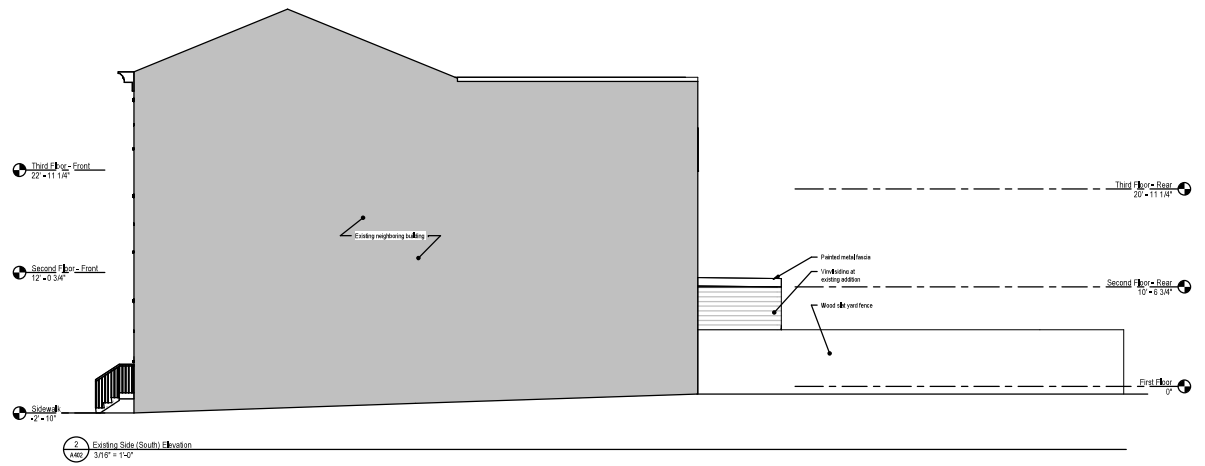
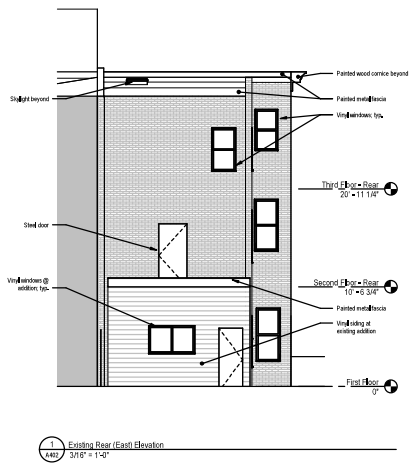
Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130

EXISTING AND PROPOSED ELEVATIONS

Project number: 24001  
Date: 12 March 2024  
Drawn by: SHSP  
Checked by: JMT

A402

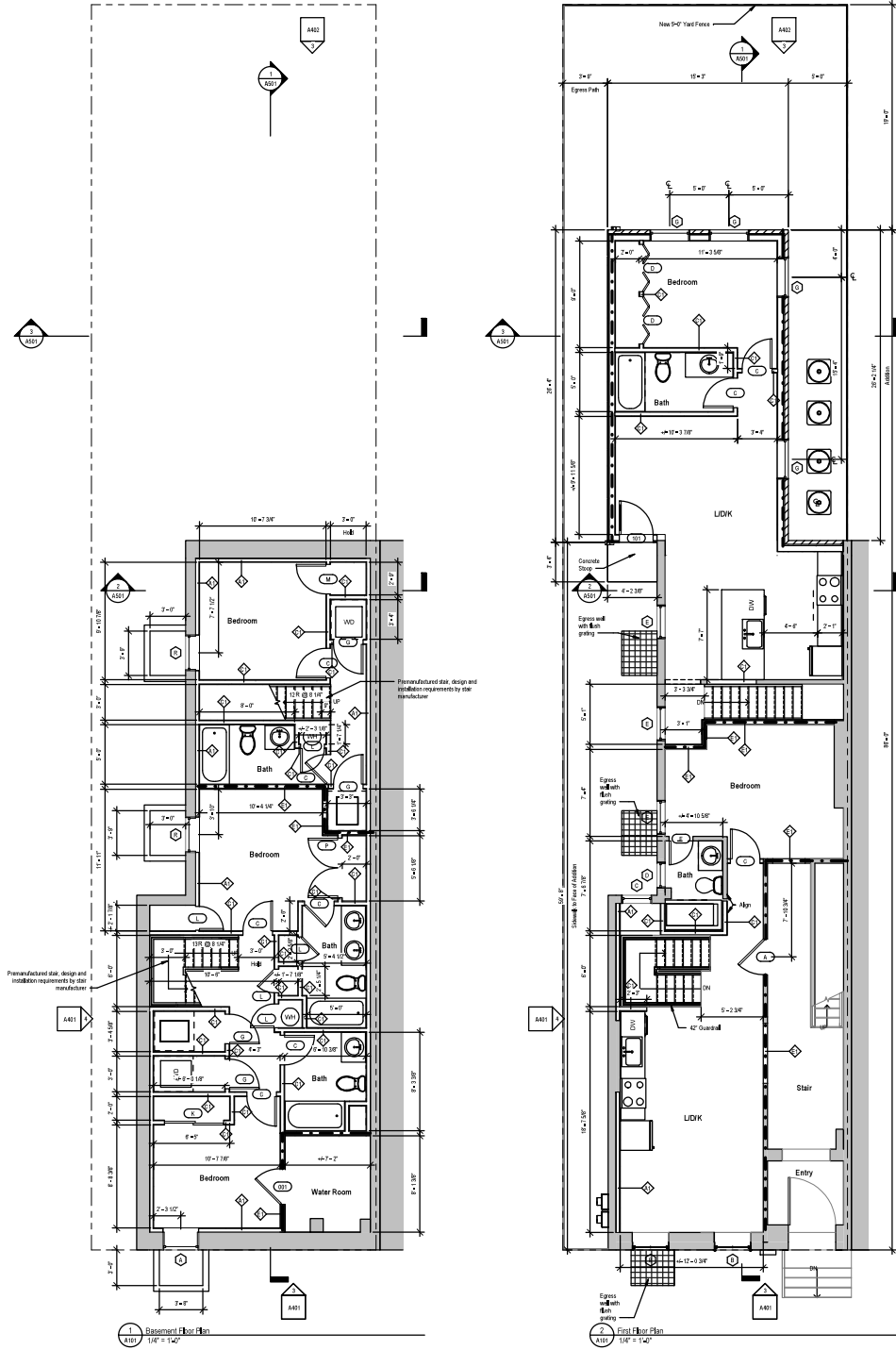
Scale: 3/8" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS







**Wall Legend**

	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation

CITY OF PHILADELPHIA APPROVAL STAMPS

**TONER**  
architects

1901 S. 8th Street  
Room 425  
Philadelphia, PA 19148  
215.301.1968  
www.tonerarch.com

- NOTES**
- Alignment notes supersede dimensions where noted. Views conveying information is noted, direction must be provided by the Architect.
  - All dimensions are to the face of finished wall unless noted otherwise.
  - Results and related ceiling systems as required to accommodate new work.



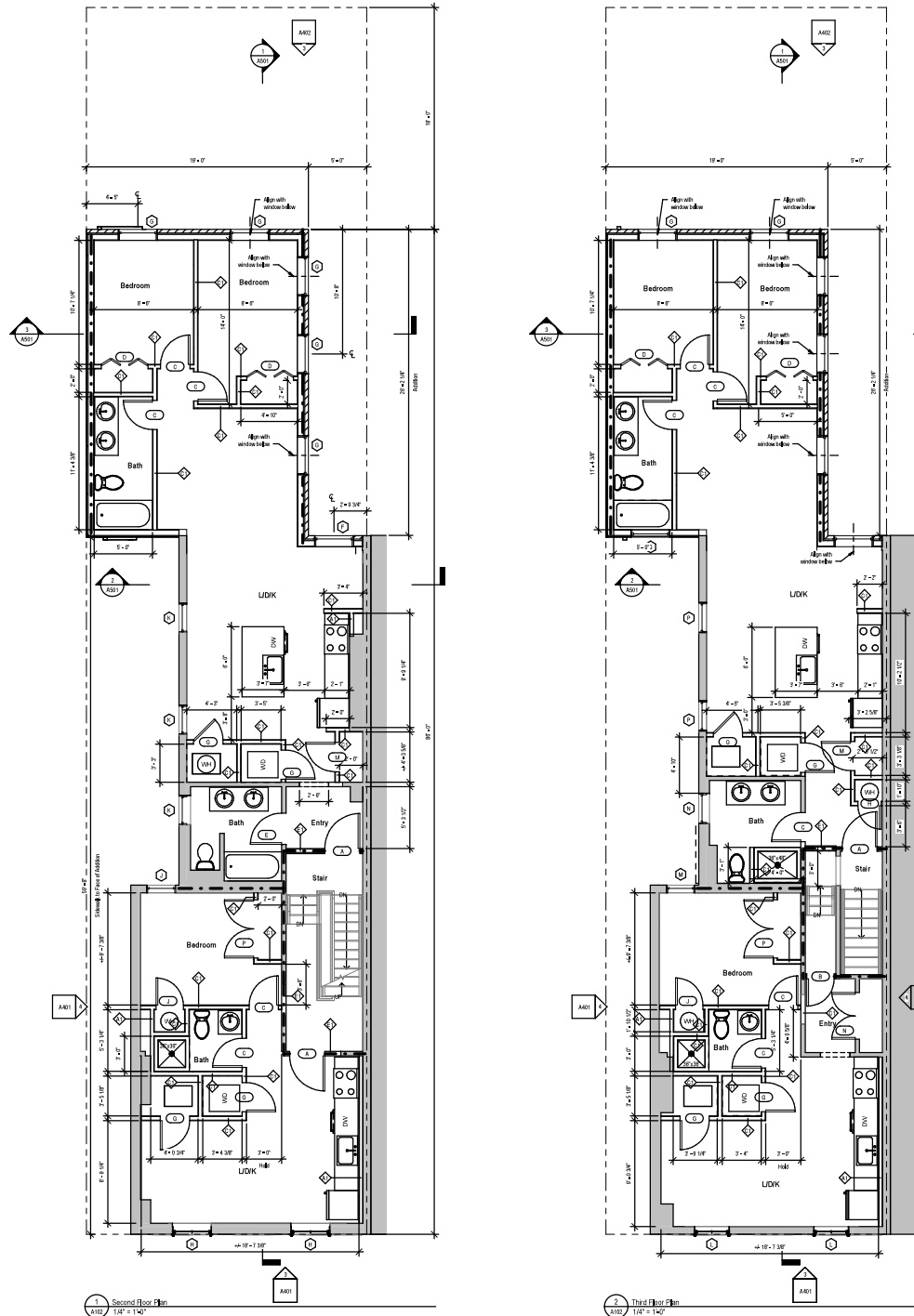
NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130  
**FLOOR PLANS**

Project number: 24001  
Date: 4 April 2024  
Drawn by: SINSF  
Checked by: JMT  
**A101**  
Scale: 1/8" = 1'-0"





**Wall Legend**

	Existing wall/construction
	Demolish wall/construction
	New wall/construction
	1 hour fire-rated separation

CITY OF PHILADELPHIA APPROVAL STAMPS

**TONER**  
architects

1901 S. 8th Street  
Room 425  
Philadelphia, PA 19148  
215.301.1968  
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- NOTES**
- Alignment notes supersede dimensions where noted. Where conflicting information is noted, dimension notes provided by the Architect.
  - All dimensions are to the face of finished wall unless noted otherwise.
  - Remove and install ceiling systems as required to accommodate new work.



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130  
**FLOOR PLANS**

Project number: 24001  
Date: 4 April 2024  
Drawn by: SINSF  
Checked by: JMT

**A102**





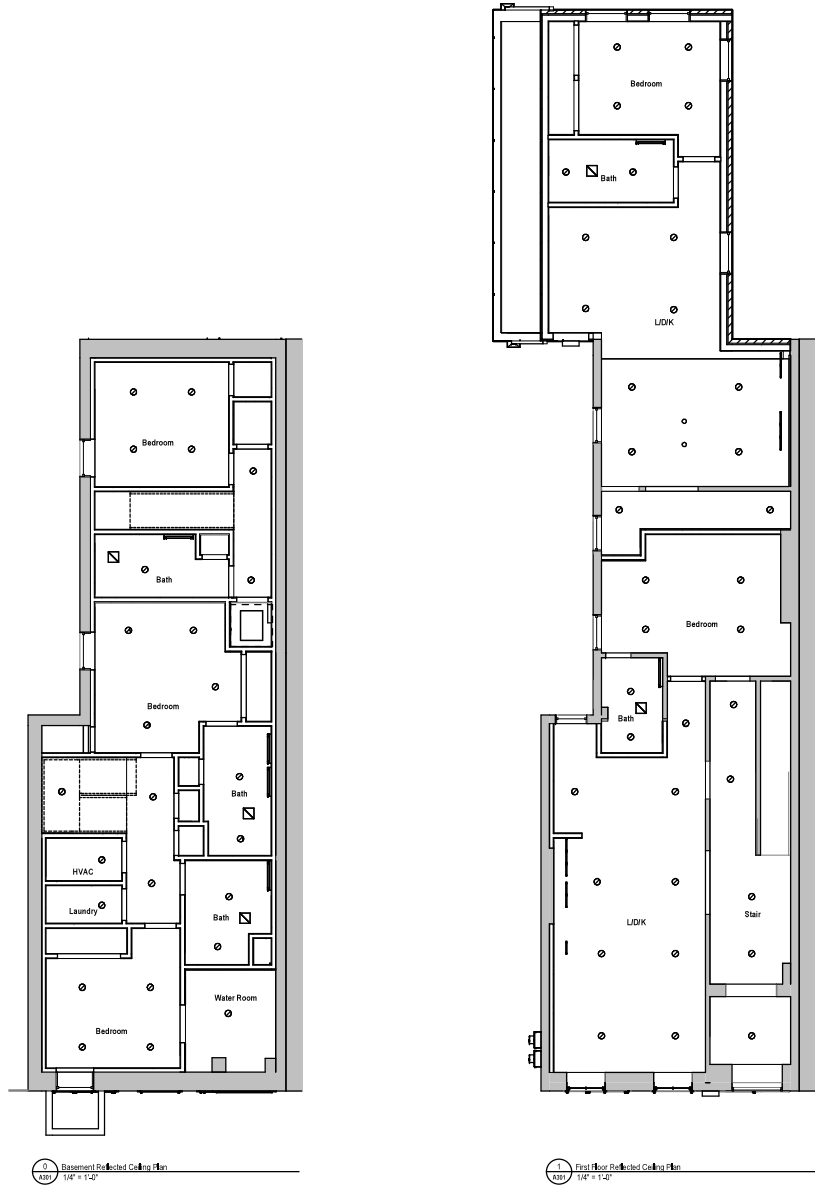


NOTES

1. All dimensions are given unless otherwise noted. Where conflicting information is noted, decision must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Resolve and extend existing systems as required to accommodate new work.
4. Contractor to confirm compatibility of all system parts.
5. V.L.F. and installation heights and locations for all decorative lights.
6. Contractor to ceiling and recessed lighting fixtures at structural grid locations.
7. MEP systems design by MEP Engineer. Contractor to coordinate MEP work with structural work and notify Architect and Engineer of conflicts.
8. The contractor is responsible for the full coordination of all ceiling components. The contractor is to provide coordinate drawings and a system schedule. Details of ceiling grid, main members and cross members, location and coordination of light fixtures, and diffusers. Contractor to verify that light fixtures, diffusers and other components are compatible and all work within the specified ceiling system and to coordinate with other trades. Any conflicts or coordination issues must be resolved by the contractor of the project immediately. Coordinate with the ceiling to be verified to confirm that the depth of the ceiling components will work with surrounding construction such as structural members and HVAC equipment or ductwork.
9. All diffusers, grid and fix-gram components are to be centered on the ceiling grid.
10. Ceiling grid elements are to be constructed in accordance with manufacturer's requirements. Contractor to verify requirements with the manufacturer for location of grid main members and cross members as well as requirements for grid edge treatment and support requirements to the structural deck or other supporting members.



NOT FOR CONSTRUCTION



**Ceiling Symbols**

Item	Symbol
LED Disk	●
Yanki Light	○
Recessed Mounted Ceiling Light	○
Score	—
Pendant Light	•
Exhaust Fan	⊠

**Notes:**

1. All fixtures in wall locations shall be set at same level. All ceiling fixtures must be exterior wall mount.
2. Lights shall be set on jamb track unless otherwise noted.
3. Recessed fixtures installed in sloped ceiling shall have adjustable lenses and be specified for condition in indicated floor.

CITY OF PHILADELPHIA APPROVAL STAMPS

Basement Reflected Ceiling Plan  
1/4" = 1'-0"

First Floor Reflected Ceiling Plan  
1/4" = 1'-0"



Fortis Construction & Design  
Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130  
REFLECTED CEILING PLANS

Project number: 24001  
Date: 4 April 2024  
Drawn by: SINSF  
Checked by: JMT

A301

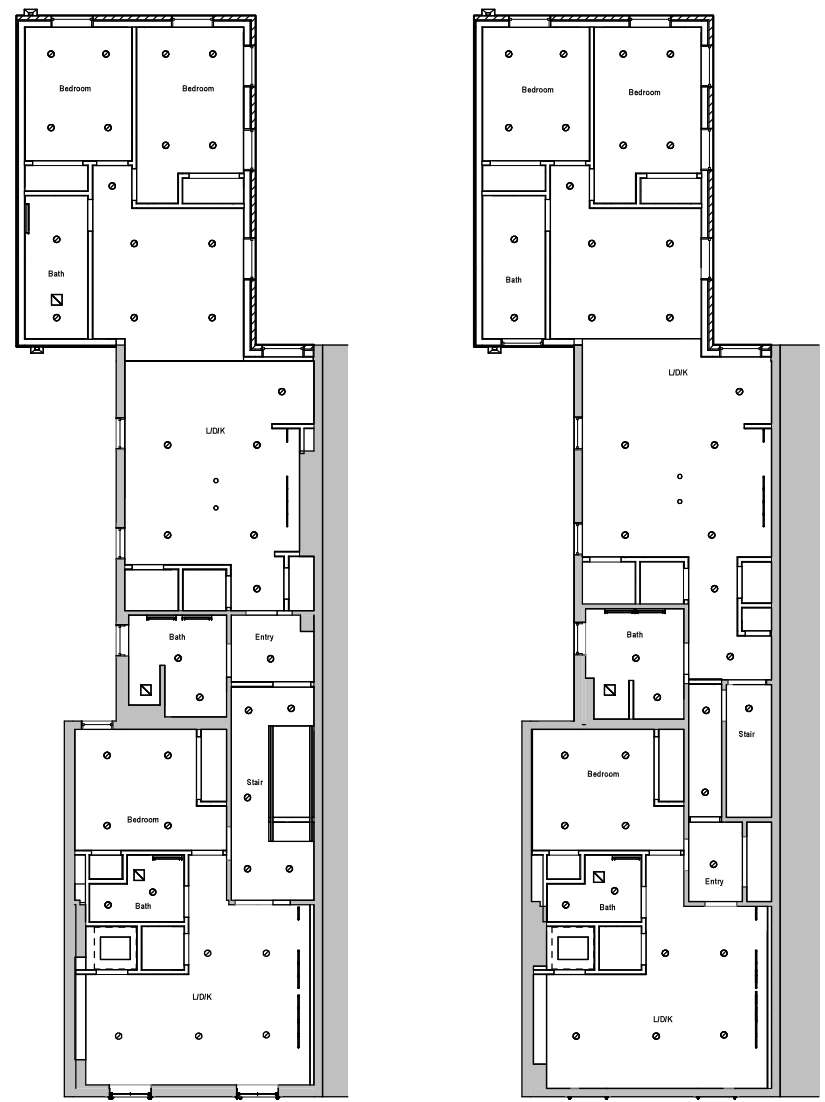
Scale: As indicated



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Room 425  
Philadelphia, PA 19148  
215.301.1968  
www.tonerarch.com

NOTES

- Alignment points supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
- All dimensions are to the face of finished wall unless noted otherwise.
- Remove and select existing systems as required to accommodate new work.
- Contractor to confirm compatibility of all system parts.
- VLT, heat installation heights and locations for all devices to be noted.
- Contractor to confirm and submittal schedule for all fixtures of substantial quantities of work.
- MET systems design by MET Engineer. Contractor to coordinate MET work with architect work and notify Architect and Engineer of work.
- The contractor is responsible for the full coordination of all ceiling components. The contractor is to provide coordination drawings and a memo to the following: Builders of ceiling grid main members and cross members, location and coordination of light fixtures and diffusers. Contractor to verify that the light fixtures, diffusers and their components are compatible with all work within the specified ceiling system prior to purchasing these items. Any conflicts or coordination issues are to be brought to the attention of the architect immediately. Reference above the ceiling to be verified to confirm that the depth of the ceiling components will work with existing construction such as existing firewalls and HVAC equipment or ductwork.
- All diffusers, ductwork and fire alarm components are to be coordinated on the ceiling.
- Ceiling grid elements are to be constructed in accordance with manufacturer's recommendations. Contractor to verify requirements with the manufacturer for correct grid main members and cross members as well as requirements for dead end treatment and support requirements to the structural deck or other supporting members.



Item	Symbol
LED Disk	●
Yanki Light	○
Custom Mounted Ceiling Light	○
Scene	□
Pendant Light	•
Exhaust Fan	⊠

Notes:

- All fixtures in wall locations shall be set at same level. All ceiling fixtures must be exterior wall mount.
- Light fixture details shall be on jamb sheet unless otherwise noted.
- Recessed fixtures installed in sloped ceiling shall have adjustable lenses and be specified for installation in recessed floor.

NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

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Apartment Conversion and Addition  
627 North 10th Street  
Philadelphia, PA 19130  
REFLECTED CEILING PLANS

Project number: 24001  
Date: 4 April 2024  
Drawn by: SINSF  
Checked by: JMT  
**A302**  
Title: As indicated



1 Second Floor Reflected Ceiling Plan  
A302 1/4" = 1'-0"

2 Third Floor Reflected Ceiling Plan  
A302 1/4" = 1'-0"

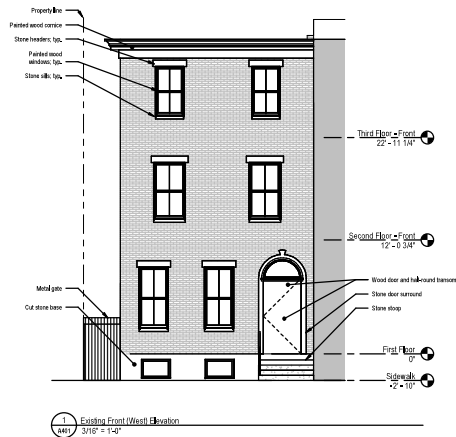
CITY OF PHILADELPHIA APPROVAL STAMPS

# Revised Application April 2024

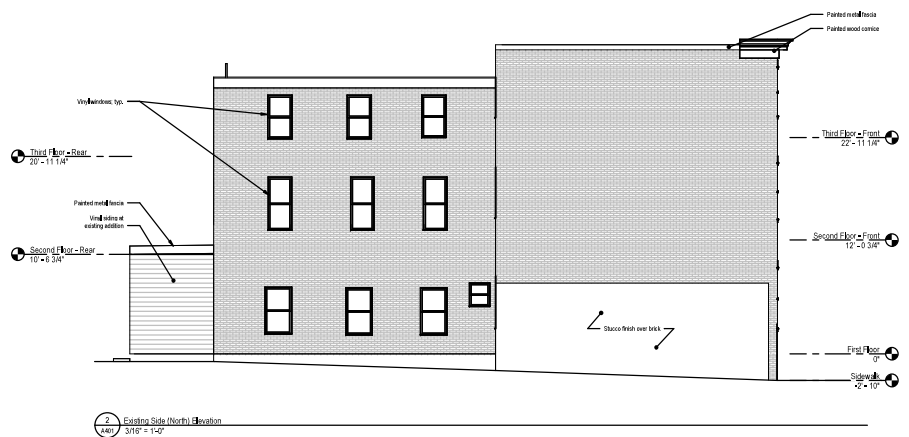


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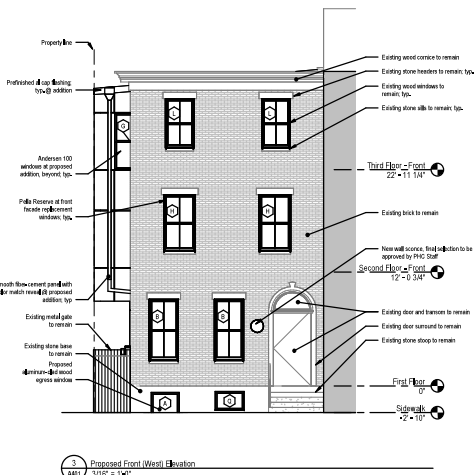
- NOTES**
1. All ground notes supersede dimensions where noted. Where conflicting information is noted, decisions must be provided by the architect.
  2. All dimensions are to the face of finished wall unless noted otherwise.
  3. Retain and extend existing systems as required to accommodate new work.



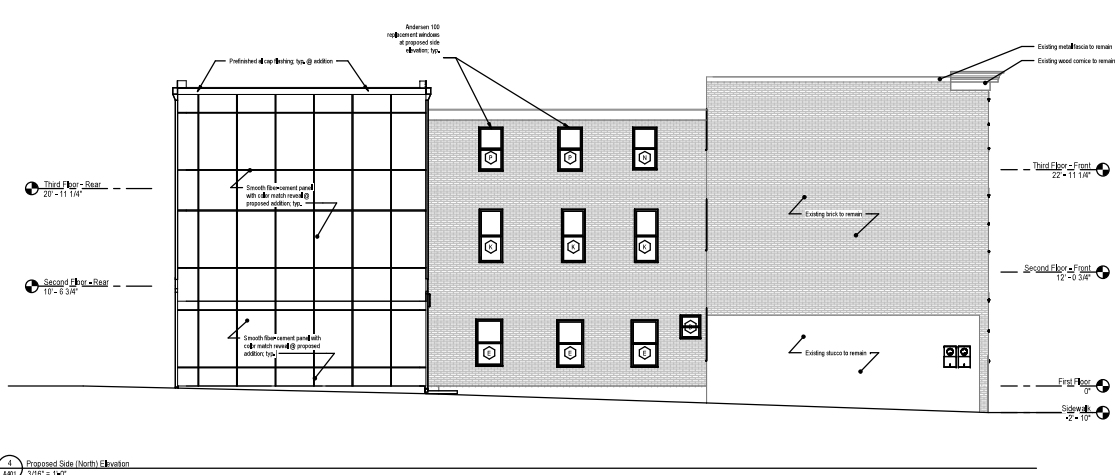
1 Existing Front (West) Elevation  
 3/16" = 1" = 4"



2 Existing Side (North) Elevation  
 3/16" = 1" = 4"



3 Proposed Front (West) Elevation  
 3/16" = 1" = 4"



4 Proposed Side (North) Elevation  
 3/16" = 1" = 4"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

Fortis Construction & Design  
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EXISTING AND PROPOSED ELEVATIONS

Project number: 24001  
 Date: 4 April 2024  
 Drawn by: SHSP  
 Checked by: JMT

A401

Scale: 3/16" = 1" = 4"

Revised Application April 2024



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NOTES



NOT FOR CONSTRUCTION

No.	Date	Description

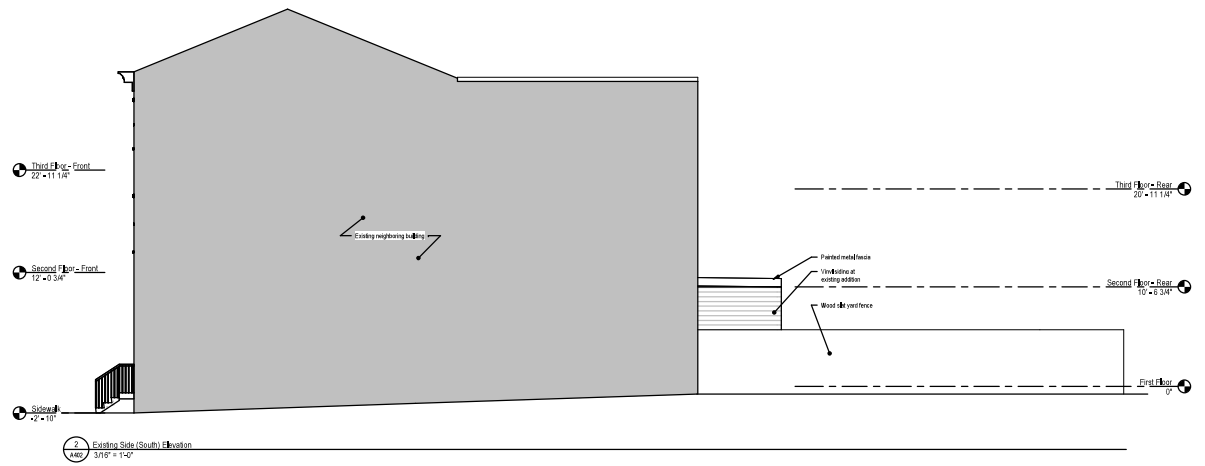
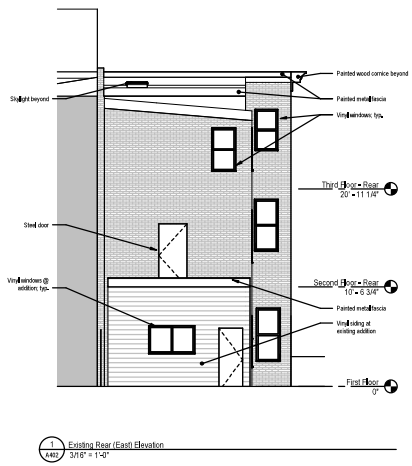
Fortis Construction & Design  
 Apartment Conversion and Addition  
 627 North 10th Street  
 Philadelphia, PA 19139

EXISTING AND PROPOSED ELEVATIONS

Project number: 24001  
 Date: 4 April 2024  
 Drawn by: SINSF  
 Checked by: JMT

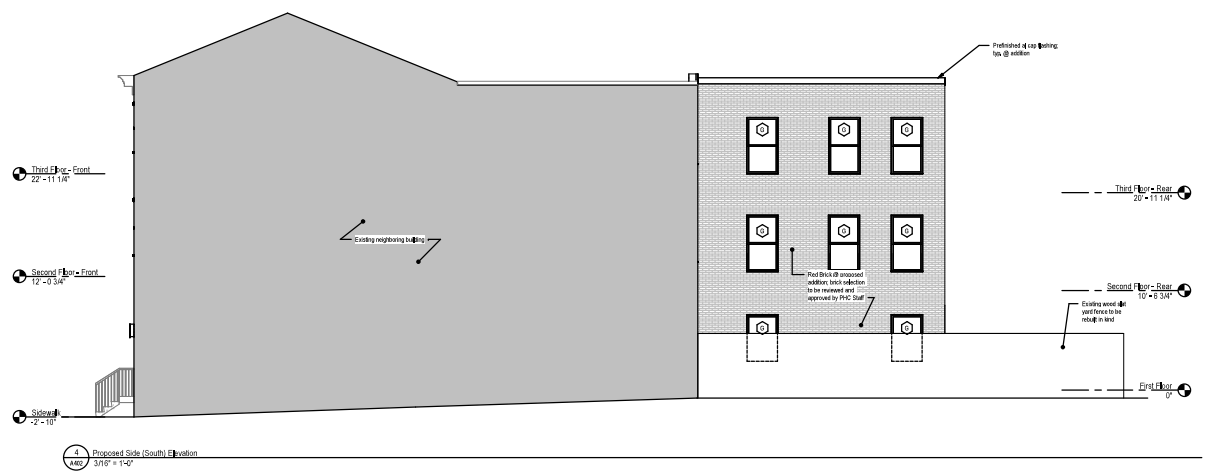
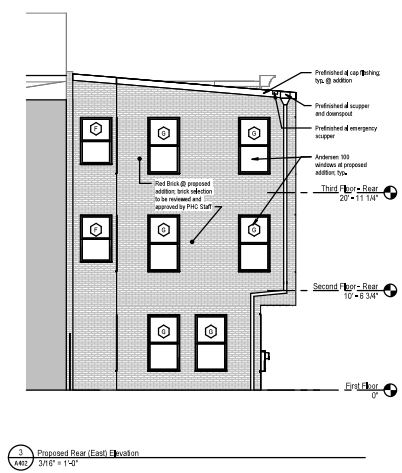
A402

Scale: 3/8" = 1'-0"



1 Existing East (East) Elevation  
 3/8" = 1'-0"

2 Existing Side (South) Elevation  
 3/8" = 1'-0"

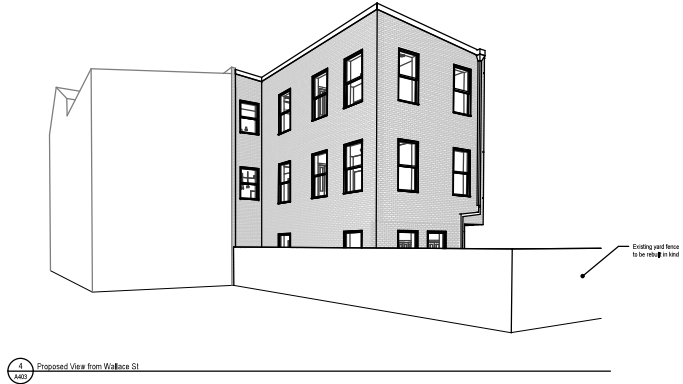
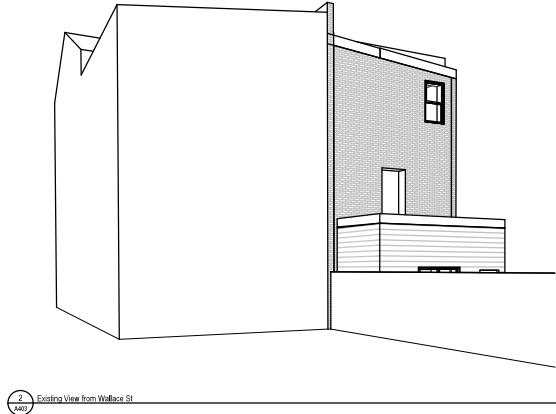


3 Proposed Rear (East) Elevation  
 3/8" = 1'-0"

4 Proposed Side (South) Elevation  
 3/8" = 1'-0"

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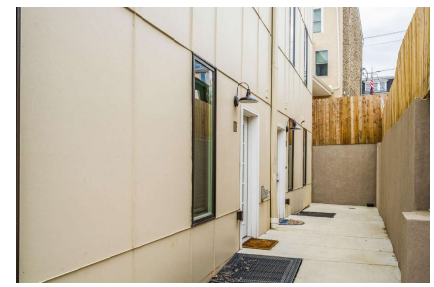
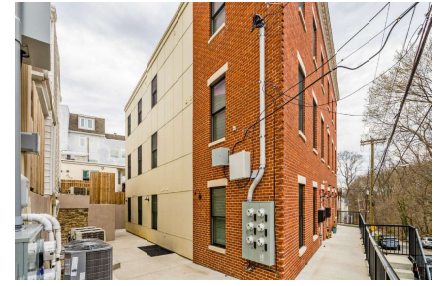
Revised Application April 2024



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Fiber Cement Panel Precedents

6007 Ridge Avenue # 204-611 Garage (See images below) used the same fiber cement board product as we are proposing to use on this project at 627 N 16th. The product was selected to replicate the feeling of the traditional stucco that was common throughout Philadelphia and to avoid the water infiltration problems that occur stucco over wood can have.



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architects

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NOTES

1. General notes on drawings apply to all sheets.

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No.	Date	Description

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EXISTING AND PROPOSED VIEWS

Project number: 24001  
Date: 4 April 2024  
Drawn by: SINSF  
Checked by: JMT

A403

