



5235 Chestnut Street

AKA 30-36 S. 52nd street Parcel A

CIVIC DESIGN REVIEW

Philadelphia Planning Commission

3/25/2024



DESIGN ASSOCIATES
6525 TULIP ST, PHILADELPHIA PA 19135
215-833-9256 kcadesignassociates.com

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CDR Application



CDR PROJECT APPLICATION FORM

Note: For a project application to be considered for a Civic Design Review agenda, complete and accurate submittals must be received no later than 4 P.M. on the submission date. A submission does not guarantee placement on the agenda of the next CDR meeting date.

L&I APPLICATION NUMBER: **ZP-2023-013801**

What is the trigger causing the project to require CDR Review? Explain briefly.

New GFA created by application = 125,454

Proposed 204 residential units

PROJECT LOCATION

Planning District: Ward 60 Division 4 Council District: 3rd Council District

Address: 5235 Chestnut street
AKA 30-36 S 52nd street – Parcel A

Is this parcel within an Opportunity Zone?	Yes	No	Uncertain
If yes, is the project using Opportunity Zone Funding?	Yes	No	

CONTACT INFORMATION

Applicant Name: Logan Dry, KCA Design Primary Phone: 570-259-9546

Email: Logan.dry@kcadesignassociates.com Address: 6525 Tulip Street
Philadelphia PA 19135

Property Owner: Jon Adler "Big Shot 52 LLC" Developer Big Shot 52 LLC
Architect: Logan Dry ,KCA Design Associates

SITE CONDITIONS

Site Area: 28,049 s.f.

Existing Zoning: CMX-2.5 Are Zoning Variances required? Yes ___ No X

Proposed Use:

Proposed (2) mixed use / multi-family buildings.

Building 1 = 6-story building w/ 33 residential units, cellar, pilot houses, green roof, roof deck & partial ground floor commercial space. 11 class 1a bike parking spaces provided.

Building 2 = 6-story building w/ 171 residential units, partial cellar, pilot houses, green roof, roof deck & partial ground floor commercial space. 57 class 1a bike parking spaces provided.

(1) Proposed loading space located @ building 2 first floor to be shared by both buildings. 41 units residential units onsite shall be in compliance with /MIN neighborhood overlay district

COMMUNITY MEETING

Community meeting held: Yes ___ No X

Currently Coordinating date

If yes, please provide written documentation as proof.

If no, indicate the date and time the community meeting will be held:

Date: _____ Time: _____

ZONING BOARD OF ADJUSTMENT HEARING

ZBA hearing scheduled: Yes ___ No ___ NA X

If yes, indicate the date hearing will be held:

Date: n/a

Owner & Design Team Contacts

Owner:

Big Shot 52 LLC
1936 Washington Ave
Philadelphia PA 19146

Applicant:

Logan Dry
KCA Design Associates
6525 Tulip St
Philadelphia PA 19135

Architect:

KCA Design Associates
6525 Tulip Street
Philadelphia PA 19135
logan.dry@kcadesignassociates.com

Civil / Site:

Ruggiero Plante Land Design
5900 Ridge Ave
Philadelphia, PA 19128



Project Introduction

5235 Chestnut Street (AKA 30-36 S 52nd street Parcel A) is a proposed multi-family residential complex comprised of (2) 6-story buildings, totaling 204 residential units, henceforth known as building 1 & building 2. Project contains street frontage on both Chestnut Street & Ludlow Street

Building 1

- 33 residential units on floors 1-6
- Partial Ground floor vacant commercial space totaling 882 s.f. Cellar to include storage, gym amenity space, utility/mechanical space & room for 11 Class 1A Bike parking space inside building.
- Fully accessible shared rooftop deck w/ partial green roof

Building 2

- 171 residential units between cellar and floors 1-6
- Ground floor lobby space totaling 555 s.f., and a portion of the ground floor will be reserved for a 1,000 s.f. commercial amenity space fronting Ludlow St.
- Cellar includes storage & mechanical space, gym amenity space, & rooms to accommodate 57 Class 1A Bike parking space inside building. Additionally portions of bi-level residential units shared with the first floor are located at the cellar level.
- Fully accessible shared rooftop deck w/ partial green roof

Other Site Features

- (1) loading space, located at the first floor of building 2, accessed via Ludlow street shall be shared between the (2) buildings.
- Central landscaped greenspace w/ yard trees & landscape buffers as req'd per PCPC regulations

Zoning

The site is zoned CMX-2.5, and zoning for the project is 100% as of right, requiring no zoning variances. Out of the 204 proposed units onsite, the project features a total of 41 residential units (20%) onsite that fall within the City of Philadelphia's /MIN Mixed Income Neighborhood overlay.

Design

The project has been designed with a green roof, in accordance with PWD standards according to storm water requirements specific to this site.

Building materiality features a mix of materials including cast stone, red brick, vertical & flat panel metal cladding & cast stone design accents throughout the façade. The Art-Deco inspired façades design & detailing also includes black metal balconies for personal outdoor space. The design seeks to blend multi-family housing, of varying size & price points with a plethora of onsite amenities both inside & outside the buildings. The massing of (2) buildings versus a singular building is a respond to break down the massing of the complex, create ample space of light & air, greenspace & amenities. The design seeks use materials from the surrounding area, and provide a program that includes residential & commercial uses similar to the surrounding street makeup. Additional height & density allowed by CMX-2.5 creates an opportunity to provide a mix of market rate & affordable housing in accordance with the underlying /MIN overlay standards.

5235 chestnut Street offers the experiences of city living, with additional benefits of onsite amenities such as commercial, gym & amenity spaces, landscaped outdoor areas, green roof / roof deck views, & bike parking.

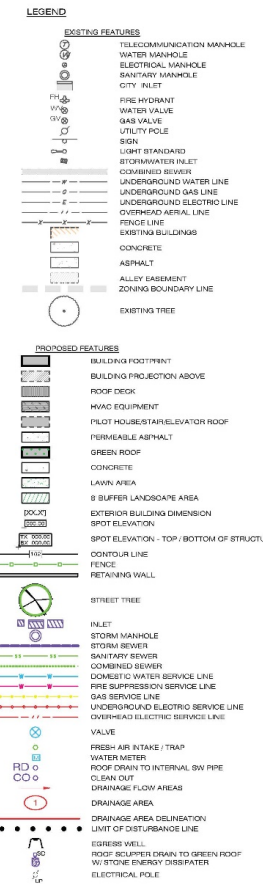
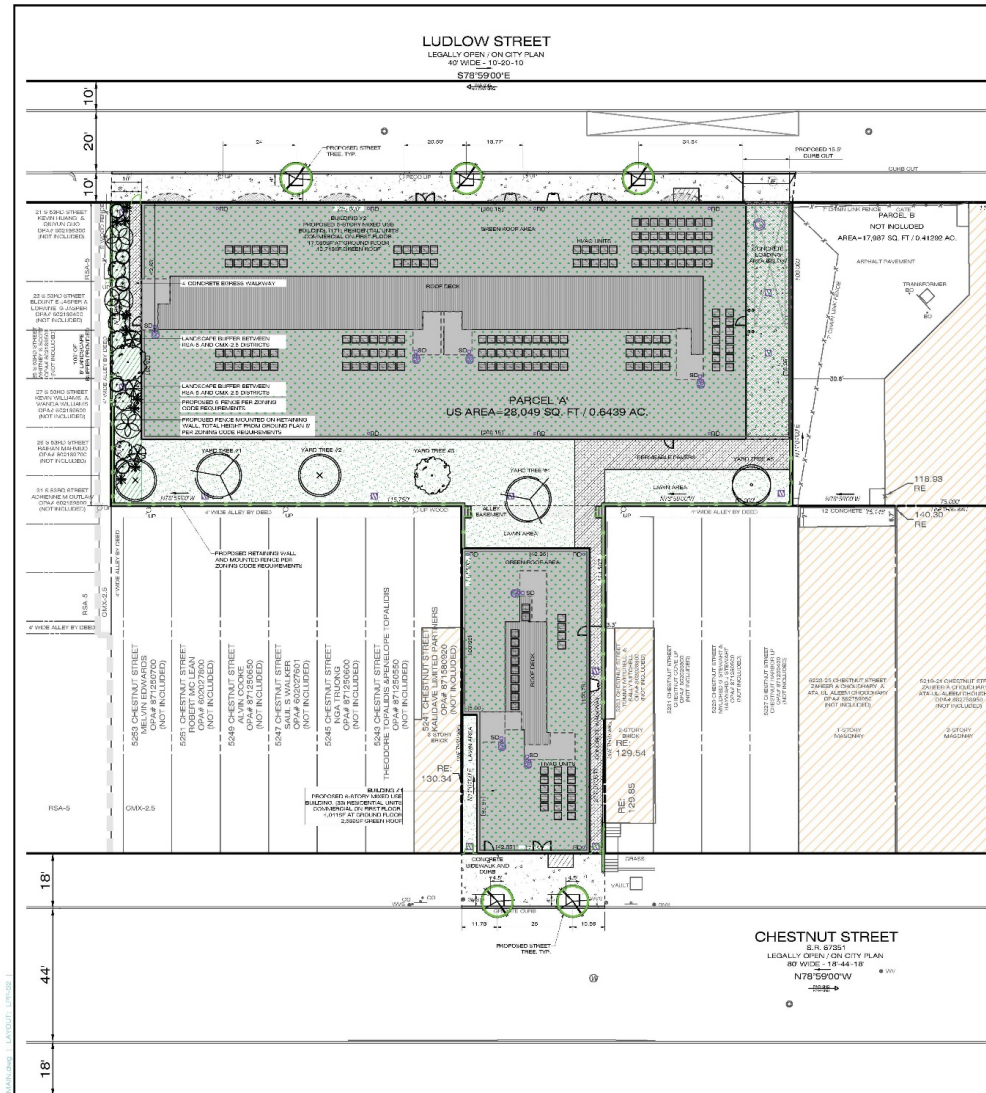


Notes



Zoning Drawings

Landscape plan



UTILITY OWNERS

DATE CONTACTED: December 22, 2023

UTILITY NUMBER: 200355108-200

COMPANY: COMCAST CABLE FOR BUCK

ADDRESS: 4400 WAYNE AVE

PHILADELPHIA, PA 19143

CONTACT: BOB HARVEY

EMAIL: bob.harvey@comcast.com

COMPANY: USBC

ADDRESS: 450 S HENDERSON RD, SUITE B

1000 OF PRUSSIA, PA 19066

CONTACT: GAVIN HEWITT

EMAIL: gavin@usbc.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT

ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER

PHILADELPHIA, PA 19107

CONTACT: BRID FORBET

EMAIL: BRID.FORBET@PHILA.GOV

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS

ADDRESS: 1401 JFK BLVD, ROOM 840 MSB

PHILADELPHIA, PA 19103

CONTACT: PAT O'DONELL

EMAIL: patodonnell@phila.gov

COMPANY: PHILADELPHIA GAS WORKS

ADDRESS: 800 W MONTGOMERY AVE

PHILADELPHIA, PA 19122

CONTACT: JAMES BOCHANSKI

COMPANY: BULLHEADS (PHILA) TRANSPORTATION AUTHORITY

ADDRESS: 124 MARKET ST, 12TH FL

PHILADELPHIA, PA 19107

CONTACT: DAVID MONTYDAS

EMAIL: davidm@bullheads.org

COMPANY: VERIZON WIRELESS

ADDRESS: 180 SHREE BLVD, STE 2100 ROOM N/A

IRTON, PA 19381

CONTACT: KELLY BLOUNT

EMAIL: kelly.b@verizon.com

PLANT SCHEDULE

QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	NOTE
DECIDUOUS TREES				
1	Bn	Betula nigra	River Birch	2 1/2'-3' Cal. Multi stem BAB
2	Qp	Quercus phellos	Willow Oak	2 1/2'-3' Cal. BAB
2	Qc	Quercus coccinea	Red Oak	2 1/2'-3' Cal. Multi stem BAB
3	Ac	Amelanchier canadensis	Service Berry	2 1/2'-3' Cal. Multi stem BAB
EVERGREEN TREES				
2	Mv	Magnolia virginiana	Sweet Bay Magnolia	2 1/2'-3' Cal.
STREET TREES - SPECIES TO BE DETERMINED DURING PERMIT TREE SUBMISSION				
5	TBD	TBD	TBD	TBD
DECIDUOUS SHRUBS				
5	Cs	Cornus sericea	Red Osier Dogwood	#3 cont.
5	Iv	Ilex virginica	Virginia Sweetgum	#3 cont.
3	Ca	Celastrus scandens	Sweet Pepperbush	#3 cont.
PERENNIAL GRASSES				
9	Pv	Panicum virgatum	Red Switch Grass	#1 con

OWNER OF RECORD

30-36 S. 52ND STREET & 525-37-39 CHESTNUT STREET

CHESTNUT (SMALL) D PARTNERS LLC

1000 PENNSYLVANIA AVENUE

BROOKLYN, NY 11207

NOTE: PENNSYLVANIA ACT 387 OF 1974 AS AMENDED BY ACT 21 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.

REVISIONS

NO.	DATE	DESCRIPTION
1	09/09/24	RESPONSE TO PCPC COMMENTS
2	09/09/24	RESPONSE TO PCPC COMMENTS

5235-37-39 CHESTNUT STREET

Philadelphia, PA 19139

60th Ward - OPA#85691640;882072880

prepared for: M&V Management Corp.

ATTN: Jerald Godfine

1000 Pennsylvania Avenue

Brooklyn, NY 11207

tel: 212-778-1387

DAVID J. PLANTE, Professional Engineer, PA, No. PE-043920-E

Ruggerio Plante Land Design

5900 Ridge Avenue Philadelphia, PA 19128

phone 215.938.2040 fax 215.938.8502 www.ruggerio.com

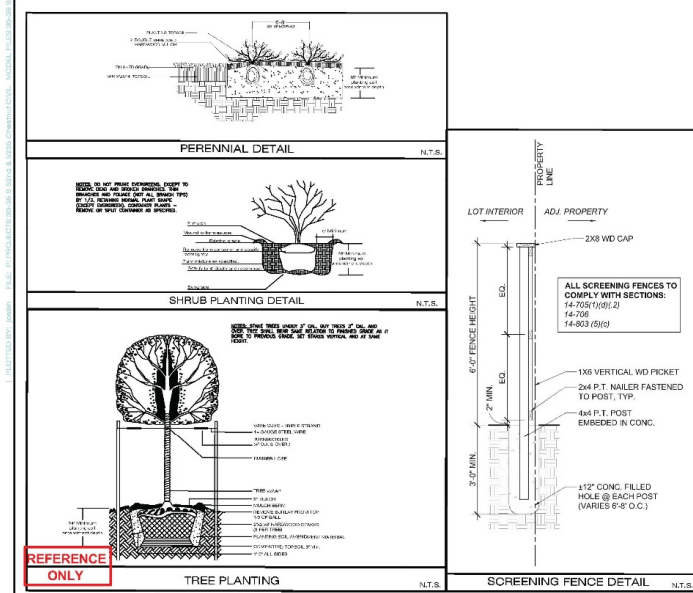
Plan Date: January 09, 2024

Scale: 1" = 20'-0"

PCPC LANDSCAPE PRESERVATION REVIEW SET

Sheet Title: LANDSCAPE PRESERVATION PLAN

Sheet 2 of 2



LANDSCAPE AND TREES REQUIREMENT CALCULATIONS PER PHILA. CODE 14-705(1)

YARD TREE REQUIREMENT 14-705(1)(a): 1 TREE PER 1,600SF OPEN AREA

TOTAL OPEN AREA ON SITE = 7,130SF

8 BUFFER AREA = 300SF

17,130 - 300 = 16,830SF

16,830 / 1,600 = 10.52 (ROUNDED UP)

YARD TREES REQUIRED = 11

YARD TREES PROVIDED = 8

LANDSCAPE BUFFERING BETWEEN DIFFERENT ZONING DISTRICTS 14-705(1)(b)

14-705(1)(b)(1) - WHEN BUFFERING IS REQUIRED -

1.24' - 1.50' AND TRAILER LINES OF A LOT IN A COMMERCIAL MIXED-USE (CMX) ADJUTS A LOT IN A RESIDENTIAL SINGLE-FAMILY ATTACHED (RSA) DISTRICT.

CMX-2.5 ADJUTS RSA-5 AT SIDE YARD = 100% OF 8' LANDSCAPE BUFFER PROVIDED

1 TREE AND THREE SHRUBS PER 20 LINEAR FEET REQUIRED

100% OF 8' BUFFER (100' F) = 8

8 / 2 = 4 TREES REQUIRED = 4

8 / 2 = 4 SHRUBS REQUIRED = 4

100% OF 8' BUFFER (100' F) = 8

8 / 2 = 4 TREES REQUIRED = 4

8 / 2 = 4 SHRUBS REQUIRED = 4

STREET TREE REQUIREMENTS 14-705(1)(c)

14-705(1)(c) - NEW STREET TREE PLANTING SHALL COMPLY WITH THE FOLLOWING STANDARDS -

"A" - AT LEAST ONE STREET TREE PER 35FT.

LUDLOW STREET FRONTAGE - 250' F

LUDLOW FRONTAGE HAS OVERHEAD POWER LINES, STREET TREES NOT REQUIRED.

CHESTNUT STREET FRONTAGE - 47' 300' F

147' 300' - 1.00 (PROVIDED 0)

STREET TREES REQUIRED = 2

STREET TREES PROVIDED = 2

TREE REPLACEMENT REQUIREMENTS 14-705(1)(d)

TOTAL CALIPER INCHES REPLACEMENT REQUIREMENT = 20"

TOTAL 2" CALIPER TREES PROPOSED = 10

(10 * 2.0) = 20"

TOTAL CALIPER INCHES PROPOSED = 20"

LANDSCAPE AND TREES

ON-SITE & PARKING LOT

APPROVED DISAPPROVED

REVISED DISAPPROVED

WIRELESS TOWERS DISAPPROVED

Author: EMB/MLP

Checked: JAR/MLP

DATE: January 28, 2024

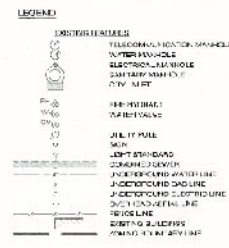
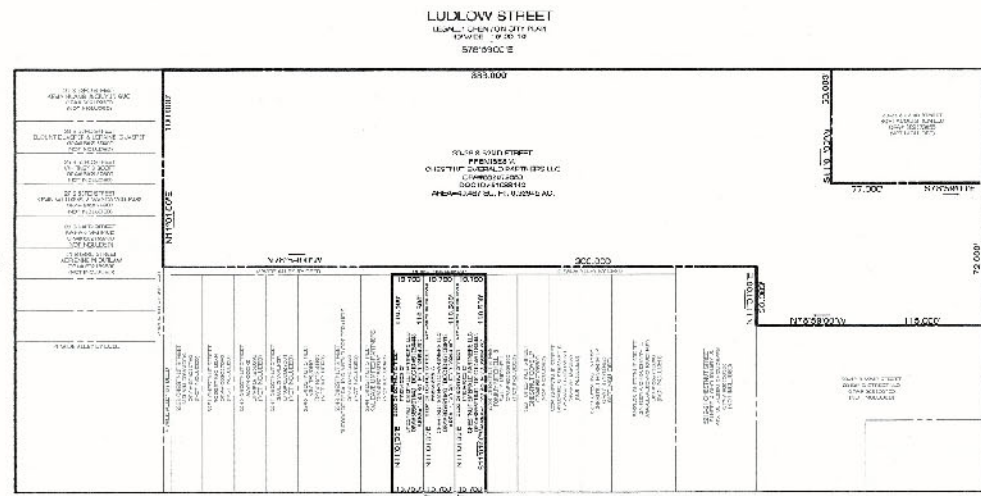
Project No. E-5241

Philadelphia City Planning Commission

- NOTES**
- Boundary and topographic information is based on a field survey performed by Ruggerio Plante Land Design on June 7, 2023.
 - Boundary dimensions are identified in Philadelphia District Standard feet and other stated dimensions are in U.S. standard feet.
 - The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
 - The buildings shown herein are referenced from City Plan #138
 - Some of the improvements such as parking, lighting, and parking have been taken from aerial photographs, other plans and from public GIS sources.
 - FEMA FIRMS map #25075701780, effective January 17, 2007, designates the site as Zone X, areas outside the 500' floodplain.
 - City above ground utility improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
 - Attention is called to the zoning requirements in the City of Philadelphia Code as amended. The property is identified as within Commercial (CMX-4) Zoning District.
 - A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
 - Elevations shown on plan are based on City Plan #138. Benchmark is a manhole in Chestnut Street with an elevation of 100.41.
 - Plan made per instructions of Mr. Jerald Godfine.
 - The purpose of this plan is to consolidate parcel known as 30-36 S. 52nd Street with address known as 5235-37-39 Chestnut Street and then subdivide into two proposed parcels A1 and A2.
 - Lines shown as proposed do not become actual and declared until deeds are recorded with the City of Philadelphia Department of Records, Registry Division.
 - Address of proposed parcels to be determined by Office of Property Assessment.

Site Survey

Ref. subdivision plan



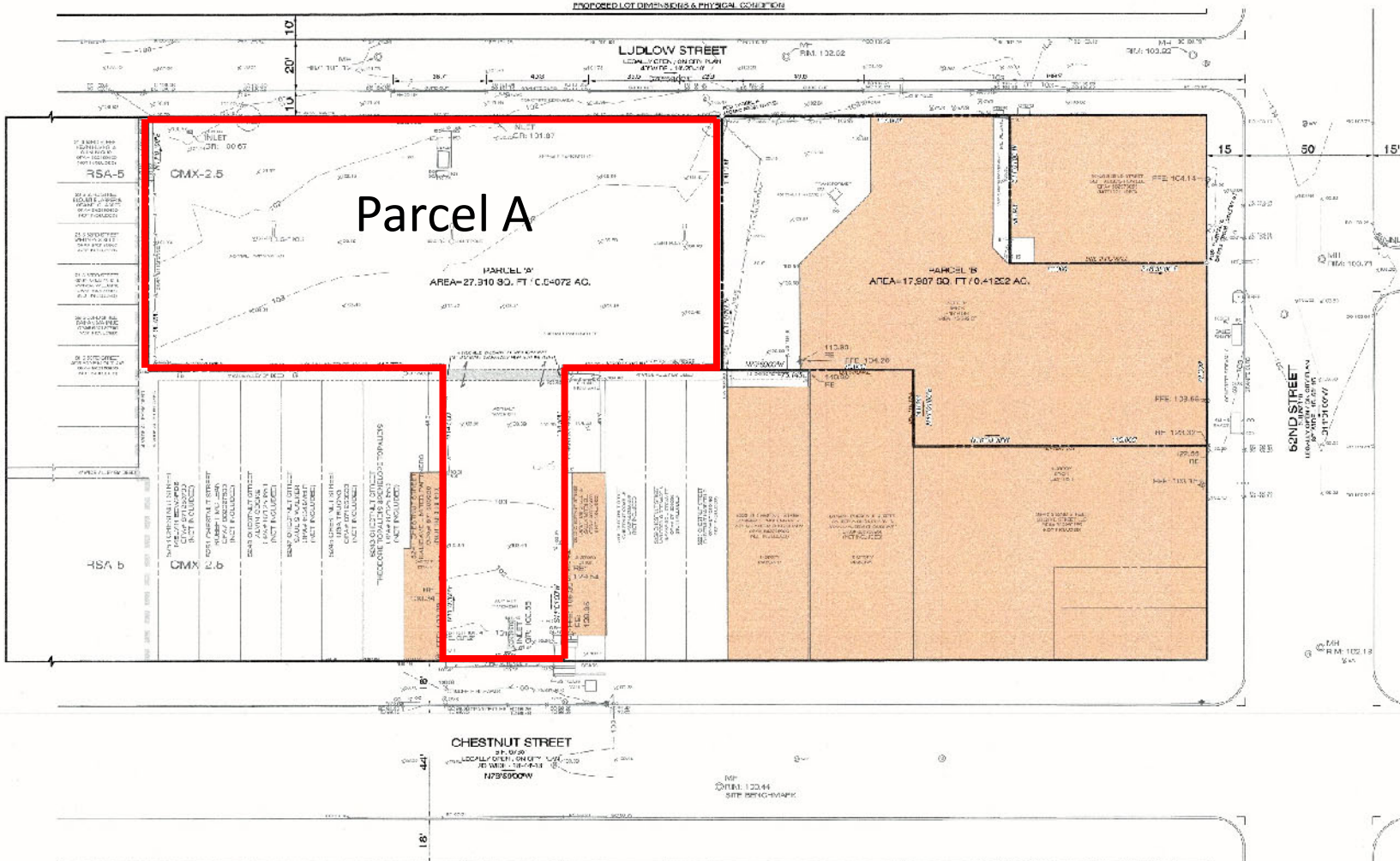
UTILITY OWNERS

DATE: 11/15/2019

COMPANY: ...

ADDRESS: ...

... (Additional utility owner information)



- NOTE**
1. Survey and layout were performed in accordance with the Pennsylvania Surveying Act of 1988.
 2. Survey dimensions are based on the Pennsylvania State Plane North American Datum of 1983.
 3. The purpose of this plan is to show the proposed lot divisions and physical conditions for Parcel A.
 4. The proposed lot divisions and physical conditions are based on the survey data provided.
 5. The proposed lot divisions and physical conditions are based on the survey data provided.
 6. The proposed lot divisions and physical conditions are based on the survey data provided.
 7. The proposed lot divisions and physical conditions are based on the survey data provided.
 8. The proposed lot divisions and physical conditions are based on the survey data provided.
 9. The proposed lot divisions and physical conditions are based on the survey data provided.
 10. The proposed lot divisions and physical conditions are based on the survey data provided.

Reviewed and Approved as per Sub-Ordinary Plan Regulations Applied by the Board of Supervisors

[Signature]
Surveyor & Registrar, District

OWNER OF RECORD

30-06 S. 52ND STREET & 5235-37-39 CHESTNUT STREET
Philadelphia, PA 19139
60th Ward - OPA#687691040;082072000

REFERENCE PLANS & DOCUMENTS

1. OPA PLAN 1130
2. Deed of Record

SOURCE OF TITLE

30-06 S. 52ND STREET & 5235-37-39 CHESTNUT STREET
Philadelphia, PA 19139

Ruggieri Pante Land Design
3603 Ridge Avenue Philadelphia, PA 19128
Tel: 215-261-8800 Fax: 215-261-8801 www.ruggieripante.com

Plan Date: March 23, 2020

Scale: 5/8" = 1'-0"

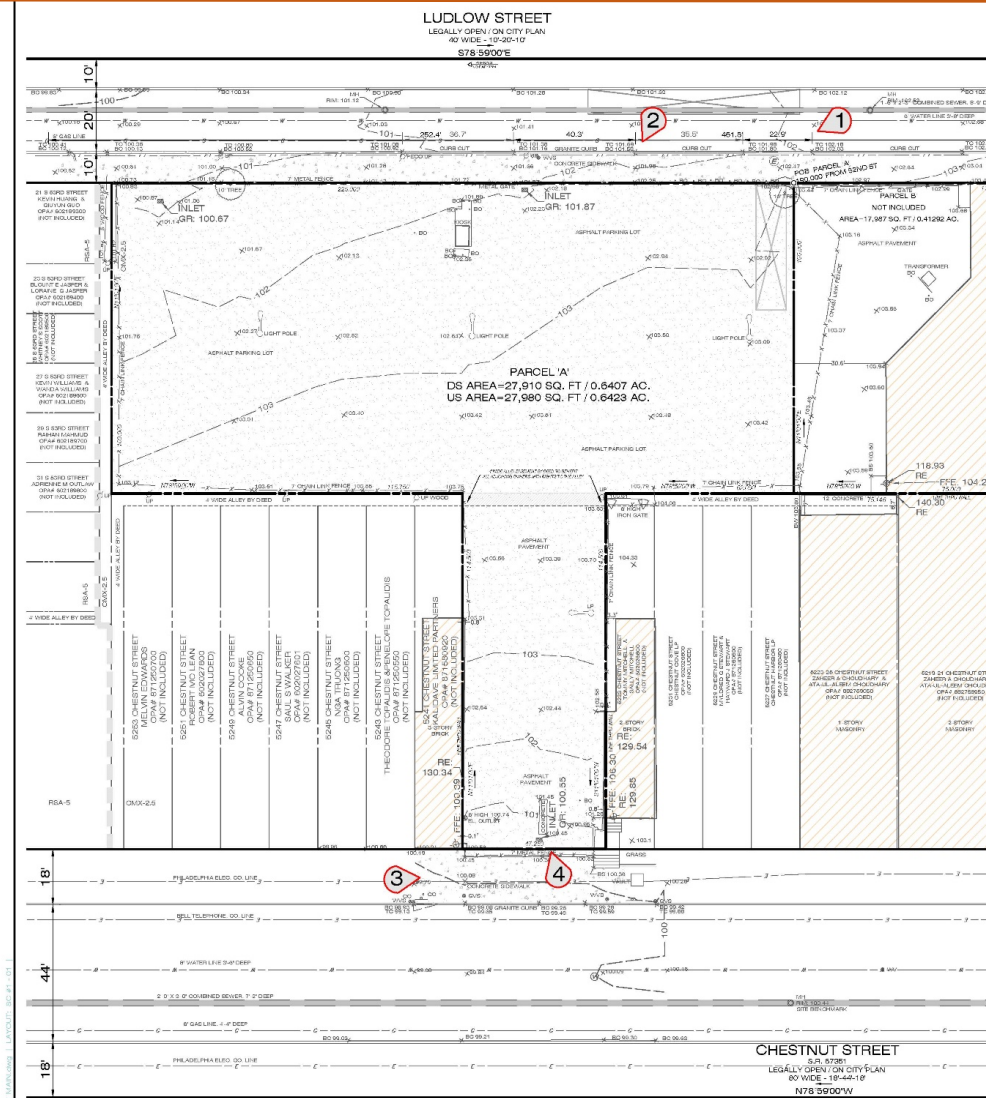
Sheet Title: LOT SUBDIVISION PLAN

LAURENCE SPERRY, P.E., C.P.E.
PA Registered Professional Land Surveyor

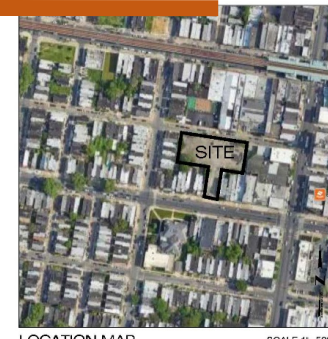
4747873

Site Survey

Exist. Conditions



- EXISTING FEATURES**
- TELECOMMUNICATION MANHOLE
 - WATER MANHOLE
 - ELECTRICAL MANHOLE
 - SANITARY MANHOLE
 - CITY FLEET
 - FIRE HYDRANT
 - WATER VALVE
 - GAS VALVE
 - UTILITY POLE
 - SIGN
 - LIGHT STANDARD
 - STORMWATER INLET
 - COMBINED SEWER
 - UNDERGROUND WATER LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND ELECTRIC LINE
 - OVERHEAD AERIAL LINE
 - FENCE LINE
 - EXISTING BUILDINGS
 - CONCRETE
 - ASPHALT
 - ZONING BOUNDARY LINE
 - EXISTING TREE
 - EXISTING TREE TO BE REMOVED
 - EXISTING PHOTO LOCATION



- CMX-2.5 NEIGHBORHOOD COMMERCIAL MIXED-USE ZONING CRITERIA**
- DISTRICT AND LOT DIMENSIONS**
- | | |
|-------------------------------|------------------|
| Max. Occupied Area (k of lot) | Intermediate: 75 |
| Corner: 80 | |
- YARDS**
- | | |
|-----------------------------|---------------------------------------|
| Min. Front Yard Depth | Must be built to front lot line |
| Min. Side Yard Width (each) | 5' if used |
| Min. Rear Yard Depth | The greater of 5' or 10% of lot depth |
- HEIGHT**
- | | |
|--------------------|-----|
| Max. Height | 35' |
| Min. Corner Height | 25' |
- REFERENCE PLAN & DOCUMENTS**
- CITY PLAN #130
 - Deeds of record

- UTILITY OWNERS**
- DATE CONTACTED: December 22, 2023
- SEWER**
- SERIAL NUMBER: 1022556109-000
- COMPANY: COMCAST CABLEVISION
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: BOB HARVEY
EMAIL: bob.harvey@comcast.com
- COMPANY: USCC
ADDRESS: 450 S HENDERSON RD, SUITE B
PHILADELPHIA, PA 19108
CONTACT: GAVIN HEWITT
EMAIL: ghe@uscc.com
- COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, 4TH TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC POWERS
EMAIL: eric.powers@pcwp.gov
- COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 640 MSB
PHILADELPHIA, PA 19102
CONTACT: PAT COONELL
EMAIL: pat.coonell@pcwp.gov
- COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W BACON/DUMERY AVE
PHILADELPHIA, PA 19122
CONTACT: JAMES BOCHANSKI
- COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1228 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MICHYDAS
EMAIL: dmichydas@septa.org
- COMPANY: VERUEN PENNSYLVANIA, LLC
ADDRESS: 100 CHESTER BLVD, STE 2100 ROOM 104
EXTON, PA 19341
CONTACT: KELLY BLOUM
EMAIL: kelley.bloum@vernon.com

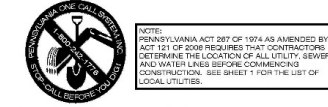
SOURCE OF TITLE

30-36 S. 52ND STREET & 5235-37-39 CHESTNUT STREET

Deed from Miller Family Limited Partnership L.L.P. to Chestnut Emerald Partners LLC, dated December 5, 2004 and being recorded in the City of Philadelphia on December 30, 2004 as document #1058843.

OWNER OF RECORD

30-36 S. 52ND STREET & 5235-37-39 CHESTNUT STREET
CHESTNUT EMERALD PARTNERS LLC
1000 Pennsylvania Avenue
Brooklyn, NY 11207



REVISIONS

NO.	DATE	DESCRIPTION

5235-37-39 CHESTNUT STREET
Philadelphia, PA 19139
60th Ward - OPA#885691640;882072880

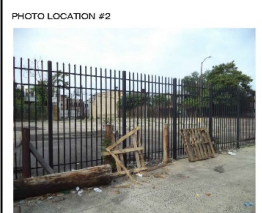
Prepared for:
Maverick Management Corp.
Attn: Jerald Goldfine
1000 Pennsylvania Avenue
Brooklyn, NY 11207
tel: 215-778-1387

DAVID J. PLANTE, Professional Engineer PA No. PE-043820-E

Ruggiero Plante Land Design
3500 Ridge Avenue Philadelphia, PA 19128
Phone: 215.546.3800 Fax: 215.546.3803 www.rpldesign.com

Plan Date: January 10, 2024
Scale: 1" = 20'-0"
20' 10' 0' 20'

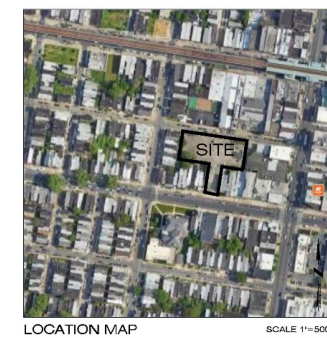
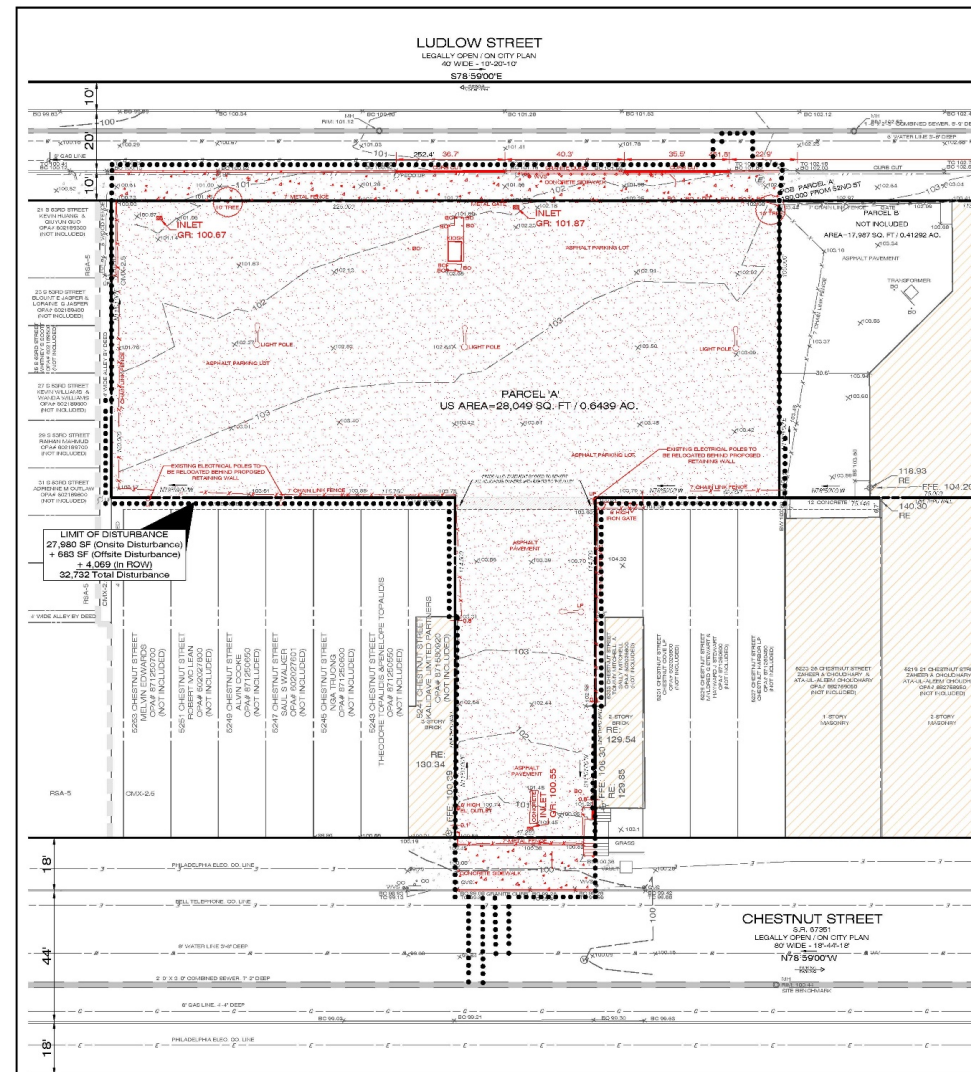
STREETS CHECKLIST #1 DWG SET
Sheet Title:
EXISTING CONDITIONS PLAN
Sheet 1 of 2



- NOTES**
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 - Boundary dimensions are identified in inches/feet/decimal feet and other stated dimensions are in U.S. standard feet.
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 - The bearings shown hereon are referenced from City Plan #130.
 - Some of the site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
 - FEMA FRM map #1820701700 effective January 17, 2007, designates the site as Zone X, areas outside the 500 yr. floodplain.
 - Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
 - Attention is called to the zoning requirements in the City of Philadelphia, Code as amended. The property is identified as within Commercial (CMX-2) Zoning District.
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 - Boundaries shown on plan are based on City Plan #130. Benchmark is a manhole in Chestnut Street with an elevation of 100.44'.
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 - Address of proposed parcels to be determined by Office of Property Assessment.

Civil Drawings

ERSA Plan/conceptual approval



UTILITY OWNERS

DATE CONTACTED: December 22, 2023

SERIAL NUMBER: 2023061089-000

COMPANY: COMCAST CABLEVISION
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: BOB HARVEY
EMAIL: bob_harvey@comcast.com

COMPANY: USDC
ADDRESS: 450 S HENDERSON RD, SUITE B
9822 OF PRINCETON, PA 19128
CONTACT: GAVIN HEWITT
EMAIL: gahewitt@usdc.com

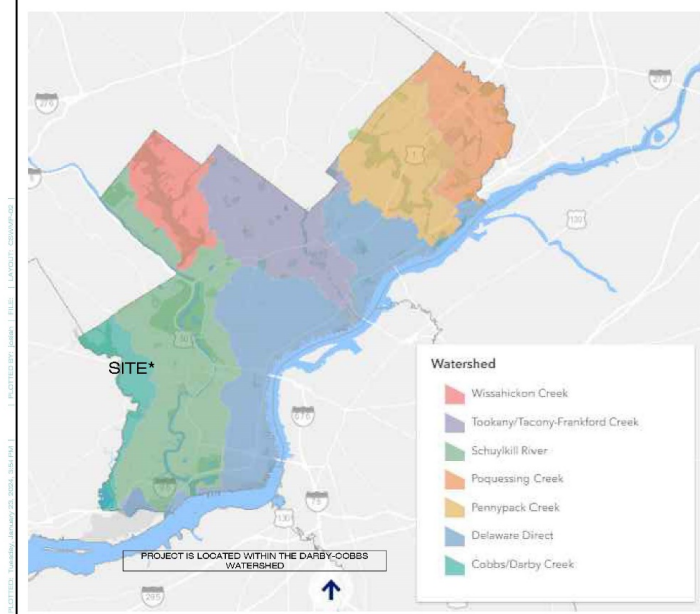
COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC POWERS
EMAIL: eric.powers@cityofphila.gov

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 040 MMB
PHILADELPHIA, PA 19102
CONTACT: PAT COONELL
EMAIL: pat.coonell@cityofphila.gov

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 802 W MONTGOMERY AVE
PHILADELPHIA, PA 19122
CONTACT: JAMES BOCHANSKI

COMPANY: SOUTHWESTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1234 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTYVOS
EMAIL: david.montyvos@septa.org

COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 150 SHEPHERD BLVD, STE 2100 ROOM N/A
EFTON, PA 15241
CONTACT: KELLY BLOUNT
EMAIL: kelly.blount@verizon.com



NOTE: THIS MAY BE USED FOR AGGREGATE IN FOR OF 2007 AS ADVISED.

NOTE: CIRCUMSCRIBE ALL UTILITY ACCOUNTS.

NOTE: CHAIN LINK FENCE SURROUNDING THE SITE.

SHEET INDEX

SHEET 01 - EXISTING CONDITIONS PLAN
SHEET 02 - DEMOLITION PLAN
SHEET 03 - CONCEPTUAL STORMWATER MANAGEMENT PLAN

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 - The bearings shown herein are referenced from City Plan #139.
 - Some of the improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
 - FEMA FIRM map #4207501700 effective January 17, 2007, designates the site as Zone X, areas outside the 100 yr. floodplain.
 - Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
 - Attention is called to the zoning requirements in the City of Philadelphia Code as amended. The property is identified as within Commercial (CM-4) Zoning District.
 - A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
 - Divisions shown on plan are based on City Plan #139. Benchmark is a manhole in Chestnut Street with an elevation of 105.44.
 - Plan made per instructions of Mr. Jerad Goldfine.
 - The purpose of this plan is to consolidate parcels shown as 30-36 S. 52nd Street with parcels shown as 5205-57-50 Chestnut Street and then subdivide into two proposed parcels 'A' and 'B'.
 - Lines shown as proposed do not become actual and declared until deeds are recorded with the City of Philadelphia's Department of Records, Registry, Division.
 - Address of proposed parcels to be determined by Office of Property Assessment.

OWNER OF RECORD

30-36 S. 52ND STREET & 5205-57 50 CHESTNUT STREET
CHESTNUT STREET APARTMENTS LLC
1300 Pennsylvania Avenue
Brooklyn, NY 11207

NOTE: PENNSYLVANIA ACT 267 OF 1974 AS AMENDED BY ACT 331 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY SERVICES AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.

REV. NO.	DATE	DESCRIPTION

5235-37-39 CHESTNUT STREET
Philadelphia, PA 19139
60th Ward - OPA#885691640;882072880

Prepared for:
Maxivick Management Corp.
Attn: Jerad Goldfine
1000 Pennsylvania Avenue
Brooklyn, NY 11207
Tel: 212-778-1987

DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

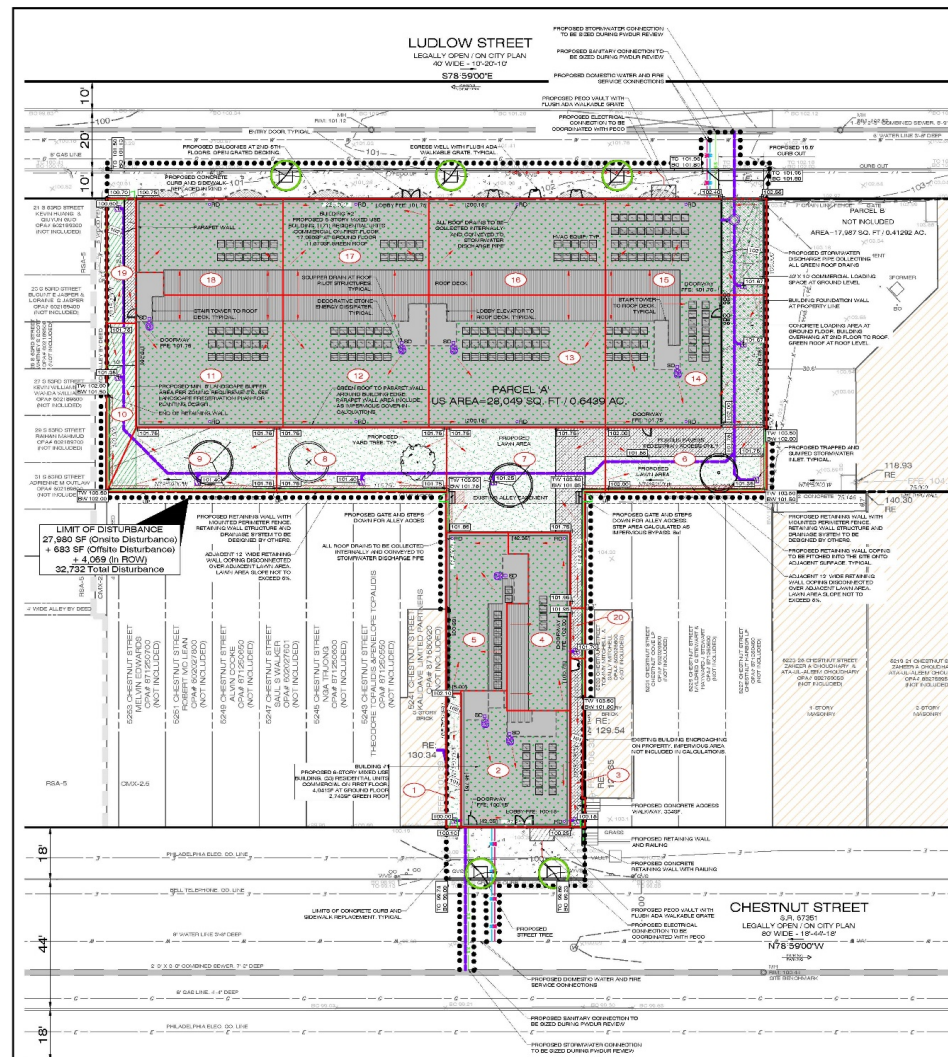
Ruggiero Plante Land Design
3900 Ridge Avenue Philadelphia, PA 19128
(phone) 215.268.2800 fax 215.268.2800 www.ruggieroplanteland.com

Plan Date: January 08, 2024 Scale: 1" = 20'-0"

CONCEPTUAL STORMWATER MANAGEMENT SET
FY24-CHE-7630-01
Sheet Title: DEMOLITION PLAN
Sheet 2 of 3

Civil Drawings

ERSA Plan/conceptual approval



GREEN ROOF & DRAINAGE AREA LOADING RATIO TABLE

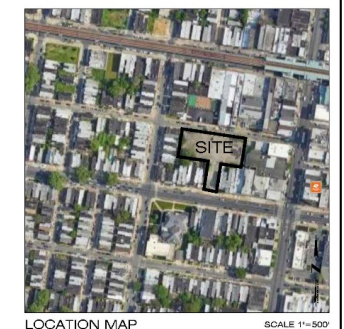
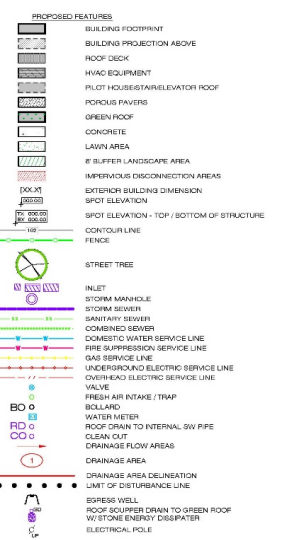
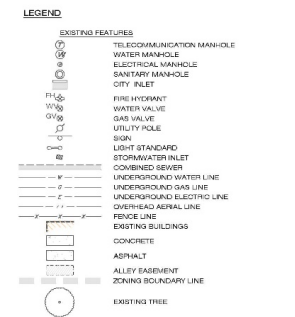
DA #	IMP. AREA	GREEN ROOF	PETV. AREA	TOTAL AREA	LOADING RATIO
1	0.00sf	0.00sf	20.00sf	20.00sf	N/A
2	60.00sf	1,009.00sf	0.00sf	1,069.00sf	0.48:1
3	15.00sf	0.00sf	24.00sf	39.00sf	N/A
4	36.00sf	81.00sf	0.00sf	1,157.00sf	0.38:1
5	41.00sf	80.00sf	0.00sf	1,205.00sf	N/A
6	75.00sf	0.00sf	1,108.00sf	1,183.00sf	N/A
7	87.00sf	0.00sf	1,025.00sf	1,112.00sf	N/A
8	97.00sf	0.00sf	1,222.00sf	1,319.00sf	N/A
9	87.00sf	0.00sf	1,108.00sf	1,195.00sf	N/A
10	31.00sf	0.00sf	43.00sf	74.00sf	N/A
11	7.00sf	1,008.00sf	0.00sf	1,015.00sf	0.48:1
12	0.00sf	1,008.00sf	0.00sf	2,295.00sf	0.48:1
13	30.00sf	1,007.00sf	0.00sf	2,237.00sf	0.48:1
14	66.00sf	1,003.00sf	0.00sf	2,469.00sf	0.48:1
15	80.00sf	1,002.00sf	0.00sf	1,811.00sf	0.48:1
16	0.00sf	1,002.00sf	0.00sf	1,802.00sf	0.48:1
17	0.00sf	1,002.00sf	0.00sf	1,802.00sf	0.48:1
18	0.00sf	1,002.00sf	0.00sf	1,802.00sf	0.48:1
19	0.00sf	0.00sf	45.00sf	45.00sf	N/A
20	1.00sf	0.00sf	55.00sf	56.00sf	N/A
TOTAL	6,815sf	14,419sf	6,821sf	28,049sf	N/A

GREEN ROOF AREA CALCULATION FOR BLDG #1
GREEN ROOF AREA = 2,743 sq. ft.
TOTAL ROOF AREA = 4,041 sq. ft.
(2,743 / 4,041) * 100 = 67.88% GREEN ROOF COVERAGE

GREEN ROOF AREA CALCULATION FOR BLDG #2
GREEN ROOF AREA = 11,670 sq. ft.
TOTAL ROOF AREA = 17,080 sq. ft.
(11,670 / 17,080) * 100 = 68.32% GREEN ROOF COVERAGE

Stormwater Regulations Applicability and Review Path Calculations

Disconnection Green Review Calculation:
Site Area = 28,049 SF
Paved Pavement = 1,504 SF
Green Roof Area = 14,419 SF
Impervious Roof Area = 6,821 SF
Impervious Parking/Driveway = 280 SF
Total Imp. Disconnected Treatment Area (1,504 + 280) = 1,784 SF
Total Imp. Pavement Area = 8,815 SF
(1,784 / 8,815) * 100 = 0.11% IMPASS
THIS PROJECT MEETS THE REQUIREMENTS OF 95% DISCONNECTION



UTILITY OWNERS

DATE CONTACTED: December 22, 2023
SERIAL NUMBER: 2023061089-000

COMPANY: COMCAST CABLEVISION
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: BOB HARVEY
EMAIL: bob_harvey@comcast.com

COMPANY: USBC
ADDRESS: 802 S HENDERSON RD, SUITE B
PHILADELPHIA, PA 19106
CONTACT: GAVIN HENNETT
EMAIL: gavinhennett@usbc.com

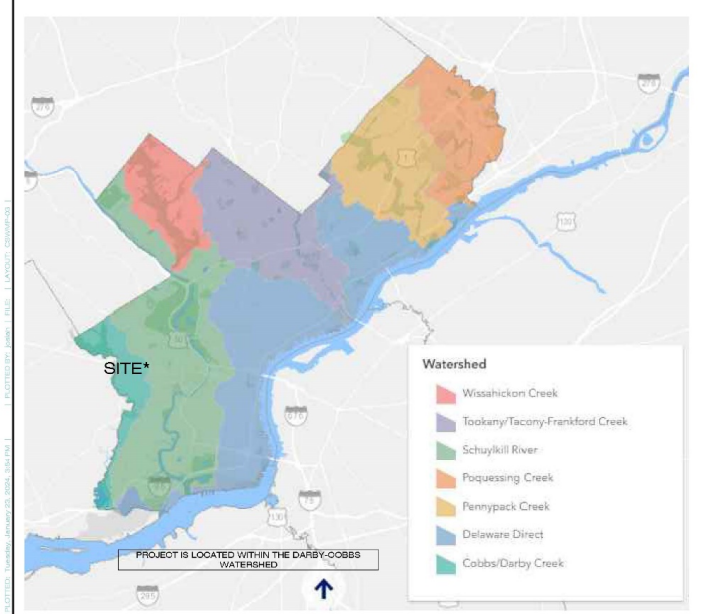
COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, AKA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC POMER
EMAIL: eric.pomer@phila.gov

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 610 MBB
PHILADELPHIA, PA 19102
CONTACT: PAT COONILL
EMAIL: pacoonill@phila.gov

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19102
CONTACT: JAMES BOONHAGEN

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1024 MARKET ST, 15TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTYDAS
EMAIL: dmontydas@septa.org

COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 150 SHIPLEY BLVD, STE 2100 ROOM N/A
SECTOR, PA 15241
CONTACT: KELLY BLOUNT
EMAIL: kblount@verizon.com



- NOTES**
- Boundary and topographic information is based on a field survey performed by Ruggiero Plante Land Design on June 7, 2023.
 - Boundary dimensions are identified in Philadelphia District Ordinance text and other stated dimensions are in U.S. standard feet.
 - The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
 - The bearings shown hereon are referenced from City Plan #139.
 - Some of the improvements such as gutters, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources.
 - FEMA FIRM map #4207501700 effective January 17, 2007, designates the site as Zone X areas outside the 500 yr. floodplain.
 - On-site ground surface elevation points have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
 - A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
 - Boundaries shown on plan are based on City Plan #139. Benchmark is a manhole in Chestnut Street with an elevation of 100.44.
 - Plan made per instructions of Mr. Jerard Goldfine.
 - The purpose of this plan is to consolidate parcel known as 30-36 S. 52nd Street with parcels known as 5235-37-39 Chestnut Street and their subdivide into two proposed parcels W and E.
 - Lines shown as proposed do not become actual and declared until deeds are recorded with the City of Philadelphia Department of Records, Registry Division.
 - Address of proposed parcels to be determined by Office of Property Assessment.

OWNER OF RECORD
30-36 S. 52ND STREET &
5235-37-39 CHESTNUT STREET
CHESTNUT EMERALD PARTNERS LLC
1000 Pennsylvania Avenue
Brooklyn, NY 11207

NOTE:
PENNSYLVANIA ACT 267 OF 1974 AS AMENDED BY ACT 517 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.

REVISIONS

NO.	DATE	DESCRIPTION
1	08/01/23	RESPONSE TO COMMENTS

5235-37-39 CHESTNUT STREET
Philadelphia, PA 19139
60th Ward - OPA#885691640;882072880

prepared for:
Maverick Management Corp.
1000 Pennsylvania Avenue
Brooklyn, NY 11207
tel: 215-778-1387

DAVID J. PLANTE, Professional Engineer PA No. PE-043820-E

Ruggiero Plante Land Design
3900 Ridge Avenue Philadelphia, PA 19128
Phone: 713.243.3831 Fax: 713.243.3830 www.ruggieroplanteland.com

Plan Date: Scale: 1" = 20'-0"
20 10 0 20

January 08, 2024

CONCEPTUAL STORMWATER MANAGEMENT SET
FY24-CHES-7630-01
Sheet Title:
CONCEPTUAL STORMWATER MANAGEMENT PLAN
Sheet 3 of 3

Civil Drawings

ERSA Plan/conceptual approval



March 15, 2024

Conceptual Approval

Jon Adler
Chestnut Emerald Partners LLC
2033 Catharine Street
Philadelphia, Pennsylvania 19146

RE: **5235 Chestnut Street (FY24-CHES-7630-01)**

Project Address:	30-36 S 52ND ST	Earth Disturbance:	32,732 SF
Development Type:	Redevelopment	Flood Management District:	B-2
Watershed:	Darby & Cobbs Creeks	Sewer Type:	Combined

Dear Jon,

The Philadelphia Water Department (PWD) has completed its review of the Conceptual Review Submission Package for this project. PWD has determined that the project meets the requirements for Conceptual Approval. A table of documents approved as part of this submittal follows:

Item	Description	Dated
3 of 3	Conceptual Stormwater Management Plan	1-23-2024

Conceptual Approval is a preliminary approval only and does not constitute final PWD approval of the project, nor does it relieve the applicant from meeting the requirements of other City agencies. The applicant may use this letter when filing for a Zoning Permit; however, PWD does not stamp Zoning Permit applications. The applicant is responsible to obtain any required federal, state, and local permits outside of this review.

Below and on Page 2 of this letter are the PWD reviews applicable to this project which must be completed prior to construction activity proceeding. Please see [Section 2.5](#) of the Manual for more information about these reviews:

1. Submit a [Utility Plan](#) to PWDur@phila.gov. Utility Plan Review is required for all projects that require a building permit or are proposing connections to PWD infrastructure.
2. If water service or sewer connections/disconnections are proposed, then approvals must be obtained through PWD Water Transport Records.
3. If the project includes installation of facilities that will generate sewage, then submit to PWD Projects Control for [Act 537](#) review.
4. Backflow prevention and cross connection control measures are required as a condition of water service. Please contact PWD [Industrial Waste](#) & [Backflow Compliance](#) for more information.

Page 1 of 2

VALID TWO YEARS FROM DATE OF ISSUANCE

Philadelphia Water Department | 1101 Market Street | Philadelphia, PA 19107-2994
An Equal Opportunity Employer

Conceptual Approval Letter (FY24-CHES-7630-01)

March 15, 2024

5. Post-Construction Stormwater Management Plan (PCSMP) Review

Development Compliance Review Path

The project is subject to the Post-Construction Stormwater Management Requirements identified below. Please refer to the Development Compliance Review Path in [Section 2.3.1](#) of the Manual for more information.

Post-Construction Stormwater Management Requirements

Water Quality Channel Protection* Flood Control* PHS Release Rate ___cfs/acre
*Some Redevelopment projects may be exempt from Flood Control and Channel Protection. See [Section 1.2.1](#) of the Philadelphia Stormwater Management Guidance Manual for more information. If eligible, these exemptions will be applied at the Post Construction Stormwater Management Plan Review Phase.

Expedited PCSMP Review Eligibility

Disconnection Green Review Surface Green Review Not eligible for Expedited Review

Sincerely,

Dominique Long
Conceptual Plan Review
Phone: (215) 685-6387
Email: Dominique.Long@phila.gov

Jo-Marie McNulty
Supervisor, Conceptual Stormwater Plan Review
Phone: (215) 685-6387
Email: Jo-Marie.McNulty@phila.gov

Katelyn Csatari
Manager, Stormwater Plan Review
Phone: (215) 685-6387
Email: Katelyn.Csatari@phila.gov

Cc: *E. Smith*
S. Chiu
A. Fody
J. Digges (Ruggiero Plante)

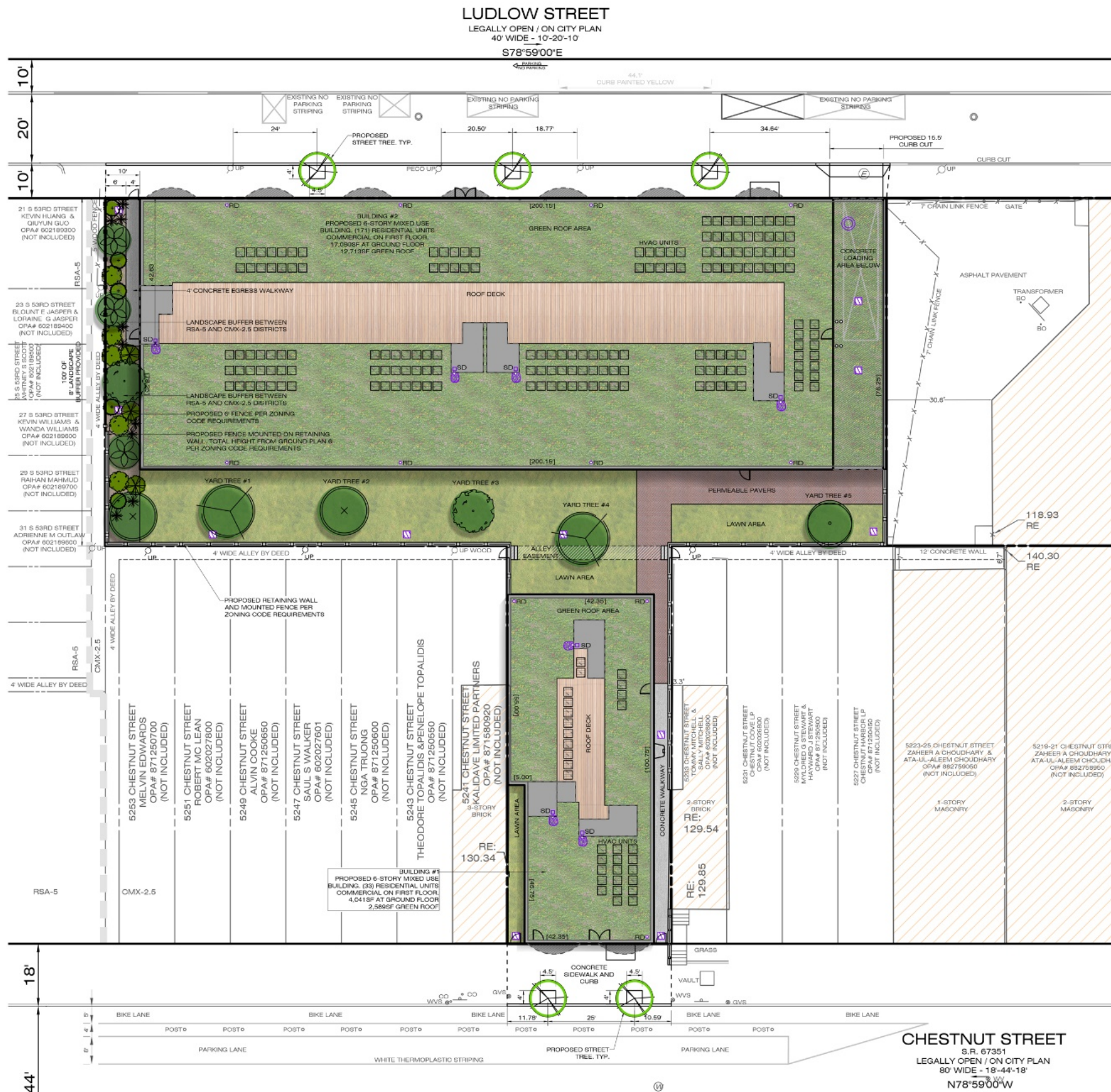
Page 2 of 2

VALID TWO YEARS FROM DATE OF ISSUANCE

Philadelphia Water Department | 1101 Market Street | Philadelphia, PA 19107-2994
An Equal Opportunity Employer

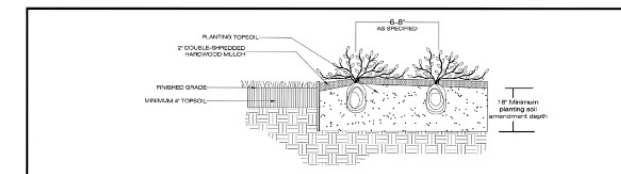
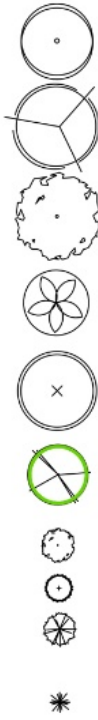
Civil Drawings

Landscape plan/renders

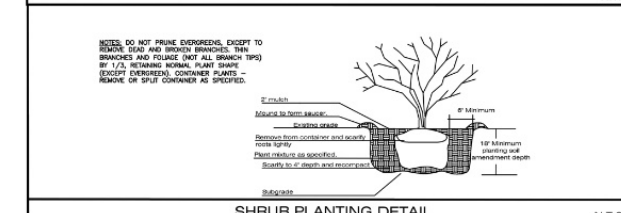


PLANT SCHEDULE

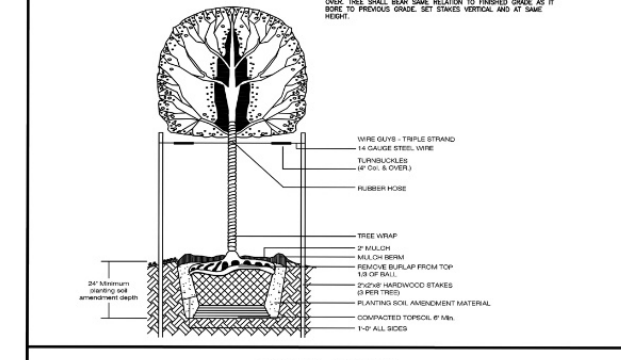
QUANTITY	CODE	BOTANICAL NAME	COMMON NAME	NOTES
DECIDUOUS TREES				
1	Bn	Betula nigra	River Birch	2 1/2'-3' Cal. Multi stem B&B
2	Qp	Quercus phellos	Willow Oak	2 1/2'-3' Cal. B&B
2	Cc	Cercis canadensis	Red Bud	2 1/2'-3' Cal. Multi stem B&B
3	Ac	Amelanchier canadensis	Service Berry	2 1/2'-3' Cal. Multi stem B&B
EVERGREEN TREES				
2	Mg	Magnolia grandiflora	Southern Magnolia	2 1/2'-3' Cal.
STREET TREES - SPECIES TO BE DETERMINED DURING PPI STREET TREE SUBMISSION				
5	TBD	TBD	TBD	TBD
DECIDUOUS SHRUBS				
5	Cs	Cornus sericea	Red Osier Dogwood	#3 cont.
5	Iv	Itea virginica	Virginia Sweetpire	#3 cont.
3	Ca	Clethra alnifolia	Sweet Pepperbush	#3 cont.
PERENNIAL GRASS				
9	Pv	Panicum virgatum	Red Switch Grass	#1 con



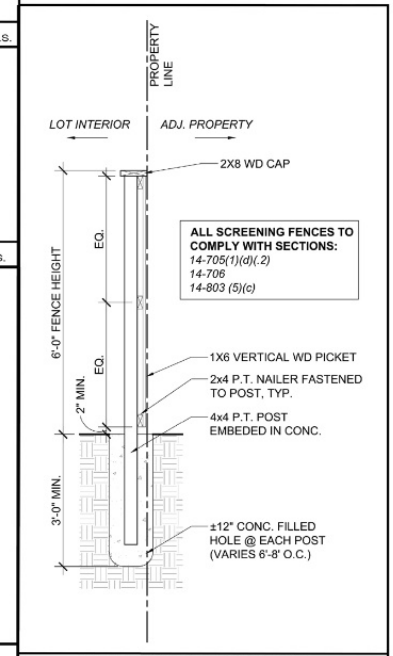
PERENNIAL DETAIL N.T.S.



SHRUB PLANTING DETAIL N.T.S.



TREE PLANTING N.T.S.



SCREENING FENCE DETAIL N.T.S.

Civil Drawings

Landscape plan/renders



River Birch



Eastern Red Bud



Eastern Red Bud



Service Berry



Southern Magnolia



Red Osier Dogwood



Virginia Sweetspire



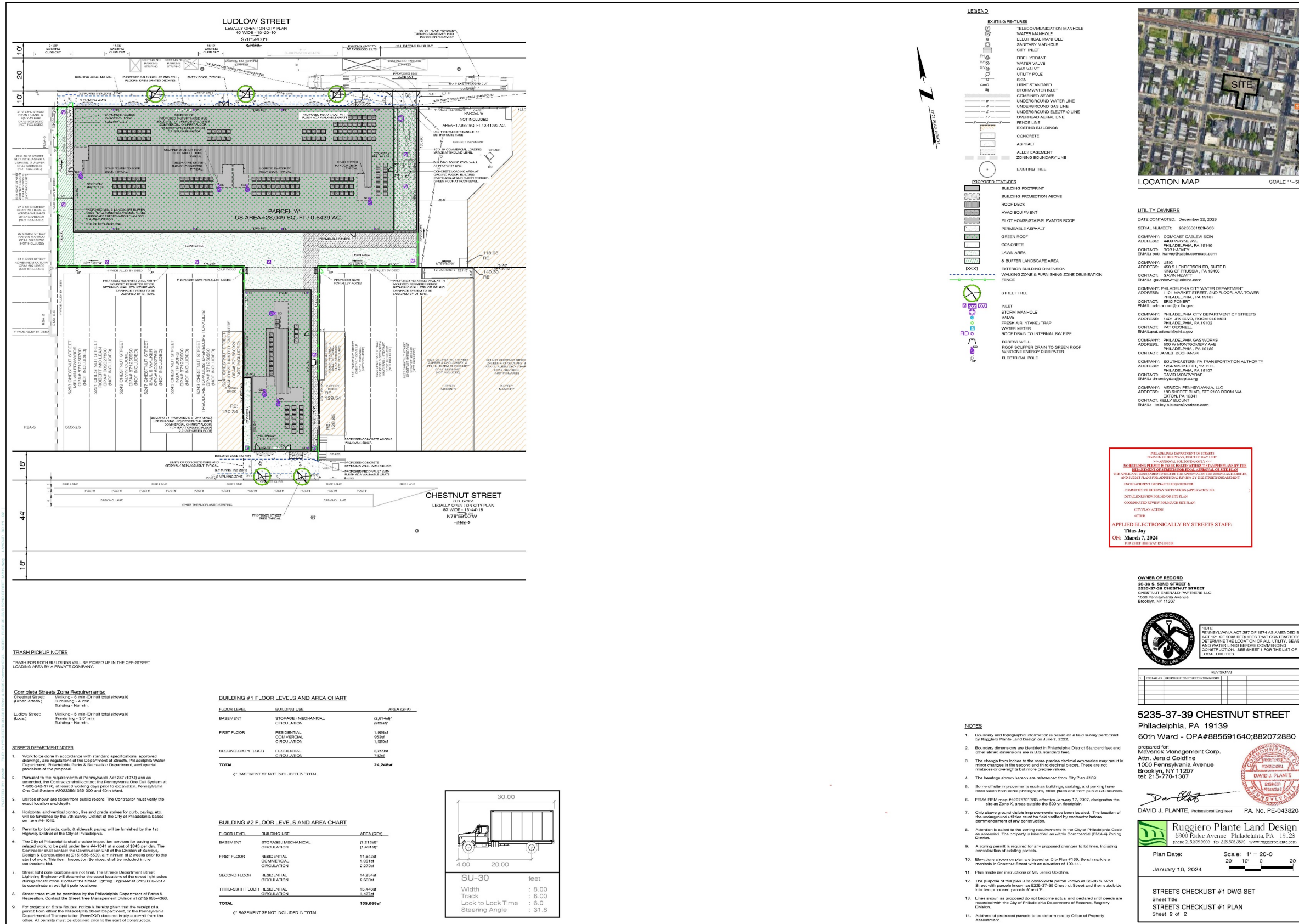
Sweet Pepperbush



Red Switch Grass

Civil Drawings

Streets Department Zoning Approval



Civil Drawings

Streets Department Zoning Approval

Page 1 of 2



Streets Approval Number SR-2023-022141
Zoning Plan (L&I Permit Pre-Requisite)

PROJECT KNOWN AS	DATE APPROVED
	3/8/2024

LOCATION(S) OF WORK

5235-39 CHESTNUT ST, Philadelphia, PA 19139-3415
 30-36 S 52ND ST T-A-485132, Philadelphia, PA 19139
 0 Block of S 52ND ST - RANSTEAD ST to CHESTNUT ST
 RANSTEAD ST to CHESTNUT ST
 5200 Block of CHESTNUT ST - S 52ND ST to S 53RD ST
 S 52ND ST to S 53RD ST
 5200 Block of LUDLOW ST - S 52ND ST to S 53RD ST
 S 52ND ST to S 53RD ST

OWNER INFORMATION	DEVELOPER INFORMATION
Jon Adler 2033 Catharine street Philadelphia PA 19146 jonadler@gmail.com (609) 706-6033	Jon Adler Big Shot 52 LLC 2033 Catharine street Philadelphia PA 19146 jonadler@gmail.com (609) 706-6033
APPLICANT INFORMATION	DESIGNER INFORMATION
Logan Dry KCA Design Associates 6525 Tulip Street Philadelphia, PA USA 19135 logan.dry@kcadesignassociates.com (570) 259-9546	Nicholas Coulter KCA Design Associates 6525 Tulip Street Philadelphia, PA USA 19135 logan.dry@kcadesignassociates.com (570) 259-9546

FINAL SUMMARY


A review of the application and plans for the subject submission has been performed. The Philadelphia Streets Department (PSD) now takes no further exception to the most recently submitted current version of the Proposed Site Civil Plans for Zoning purposes, which are approved, as noted by any conditions.

APPROVAL CONDITIONS (THE FOLLOWING CLAUSES MUST BE ABIDED ACCORDINGLY)

- No Conditions

APPROVED BY	DATE APPROVED	CHECKED BY	DATE CHECKED
Titus Joy	3/7/2024	Jeanien Wilson	3/8/2024

Page 2 of 2



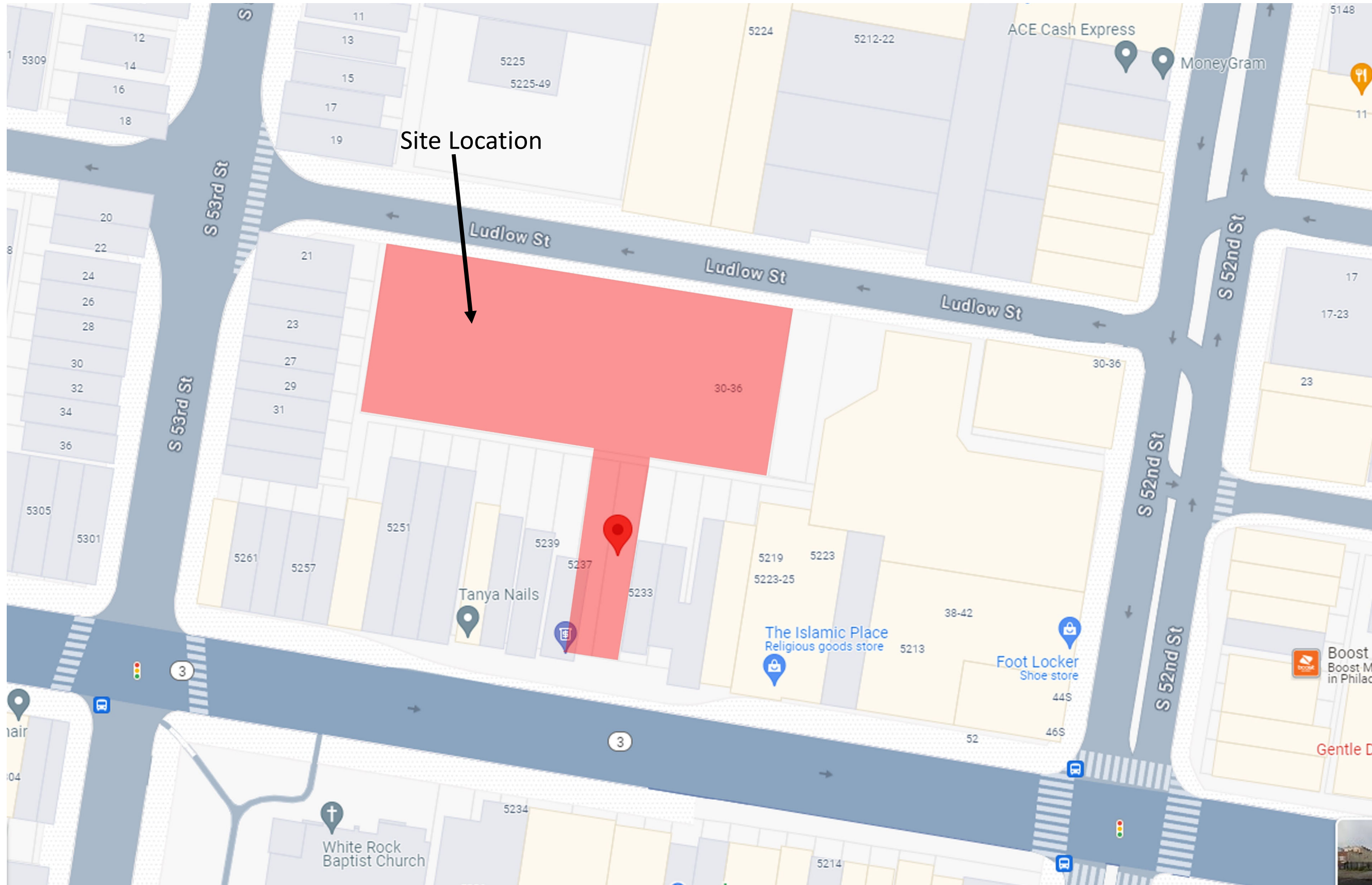
Streets Approval Number SR-2023-022141
Zoning Plan (L&I Permit Pre-Requisite)

GIS MAP DATA & IMPORTANT INFORMATION	
Highway District: 1	City Planning District:
Survey District: 7	GPIS Project Number:
Traffic District: 2	PWD Project Number:
State Routes: 0003, 3017	Other Reference Number:
SEPTA Routes: 21, 52	PennDOT Reference Number:

POST A TRUE COPY OF THIS NOTICE IN A CONSPICUOUS LOCATION AT THE WORK SITE.

TO ANONYMOUSLY REPORT UNSAFE CONDITIONS AT THIS WORK SITE, CALL 311 or 911.

Site Location



Site Location



Site Location



Aerial view from Chestnut Street

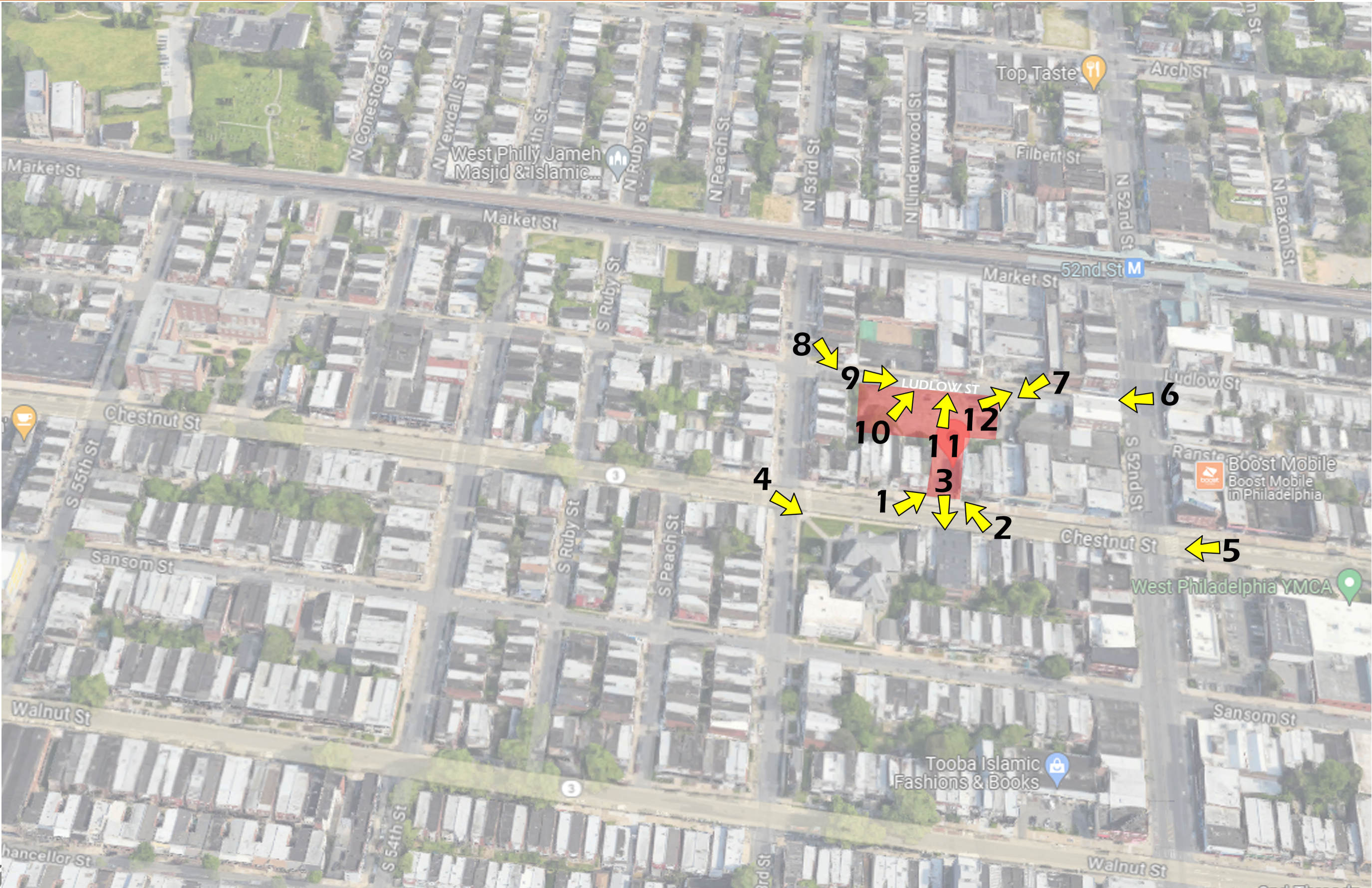


Site Location



Aerial view from Ludlow Street

Site Location



Site Location



Photo 1 – Looking at Chestnut St property frontage



Photo 2 – Looking at Chestnut street property frontage



Photo 3 – View across Chestnut Street



Photo 4 – View further down / across chestnut street

Site Location



Photo 5 – Context – street view from Chestnut & 52nd st intersection



Photo 6 – Context – street view from 52nd st & Ludlow street intersection



Photo 7 – Ludlow Street property frontage



Photo 8 – Ludlow Street property frontage

Site Location



Photo 9 – Context – Across the street view @ Ludlow Street frontage



Photo 10 – Context – Across the street view @ Ludlow street frontage



Photo 11 – Context – Across the street view @ Ludlow street frontage



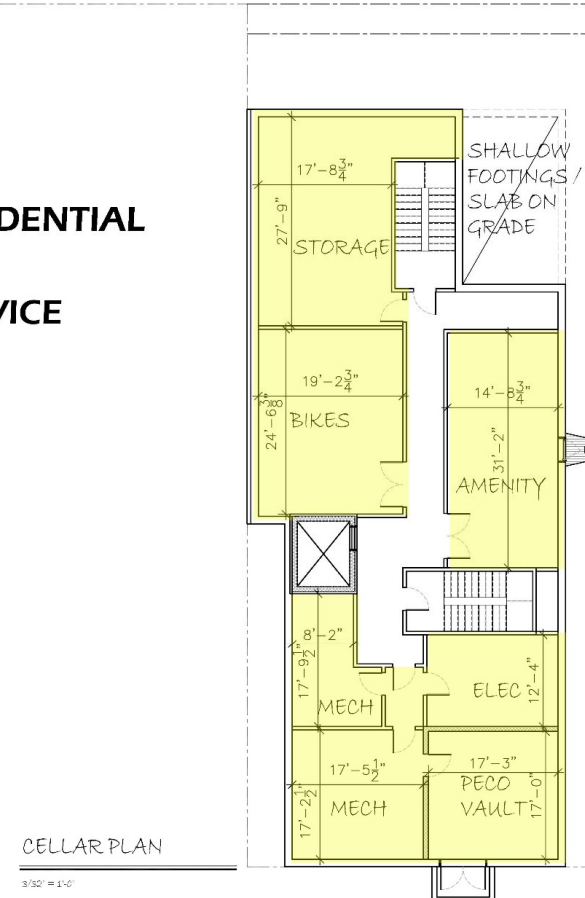
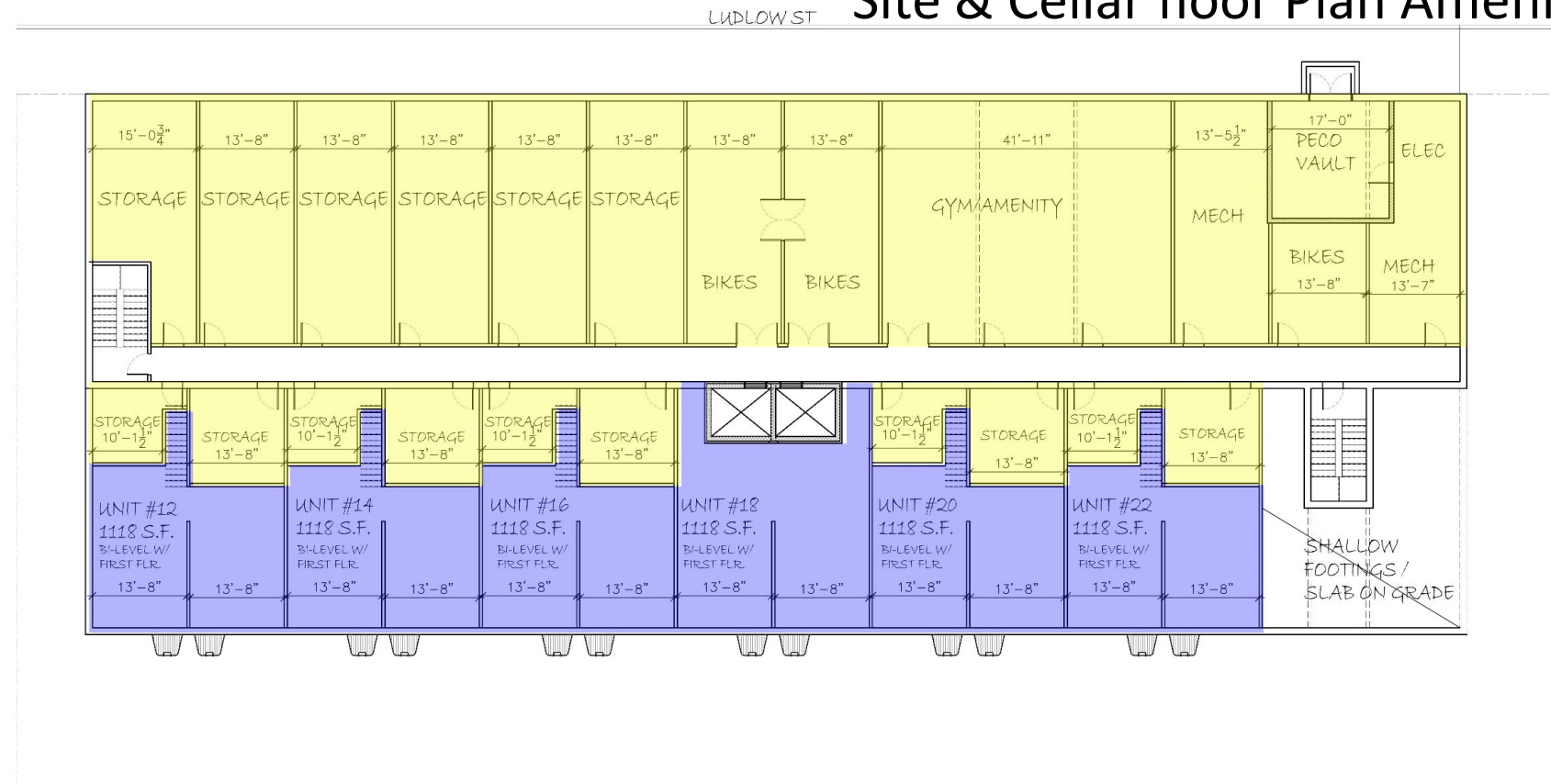
Photo 11 – Context – Across the street view @ Ludlow street frontage

Floor Plans- Complex

Cellar floor level

- Bike Parking
- Mechanical spaces
- Storage spaces
- Gym/Amenity spaces
- Peco Vaults
- Residential (bi-level) space

Site & Cellar floor Plan Amenity context

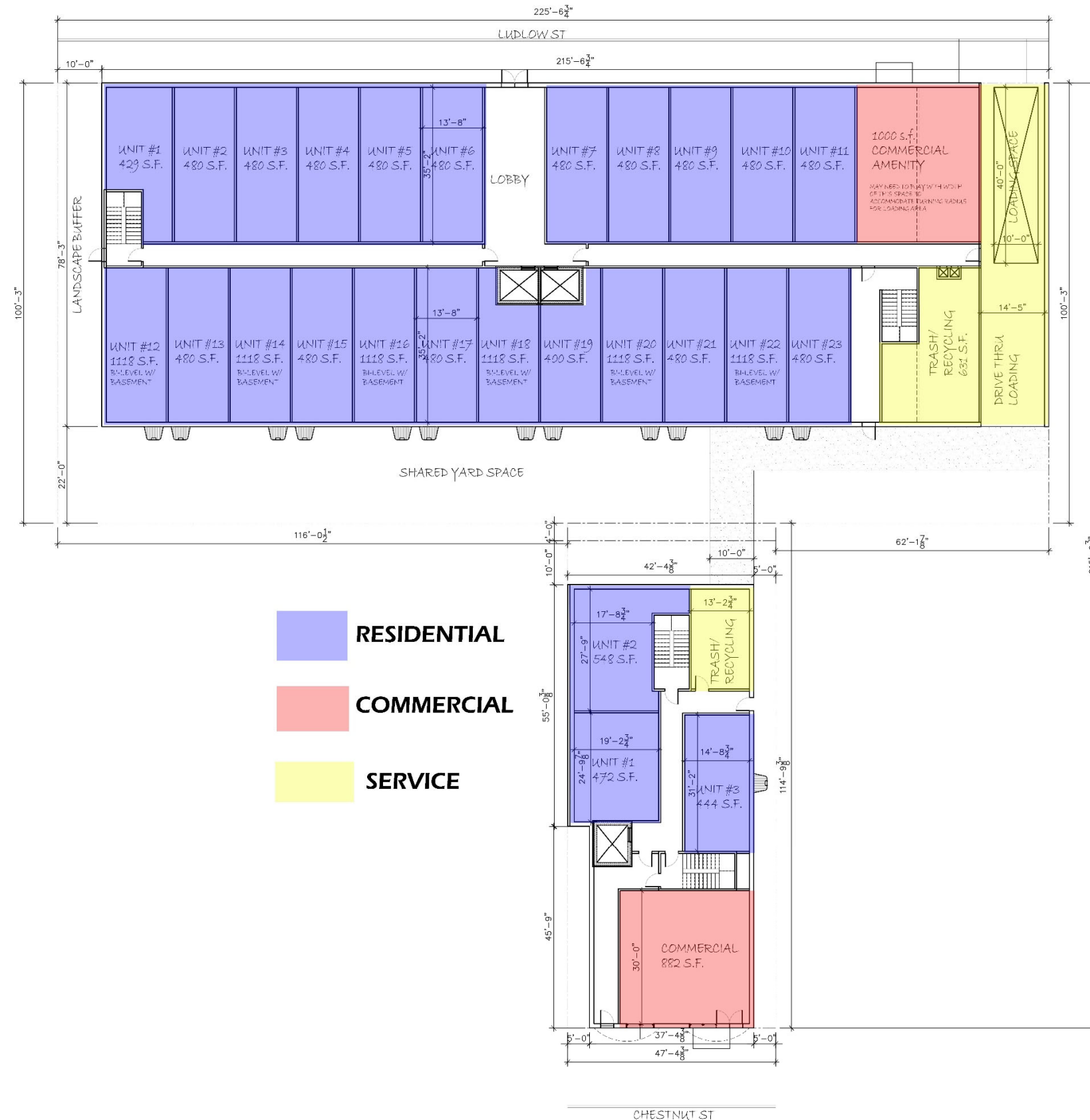


Floor Plans- Complex

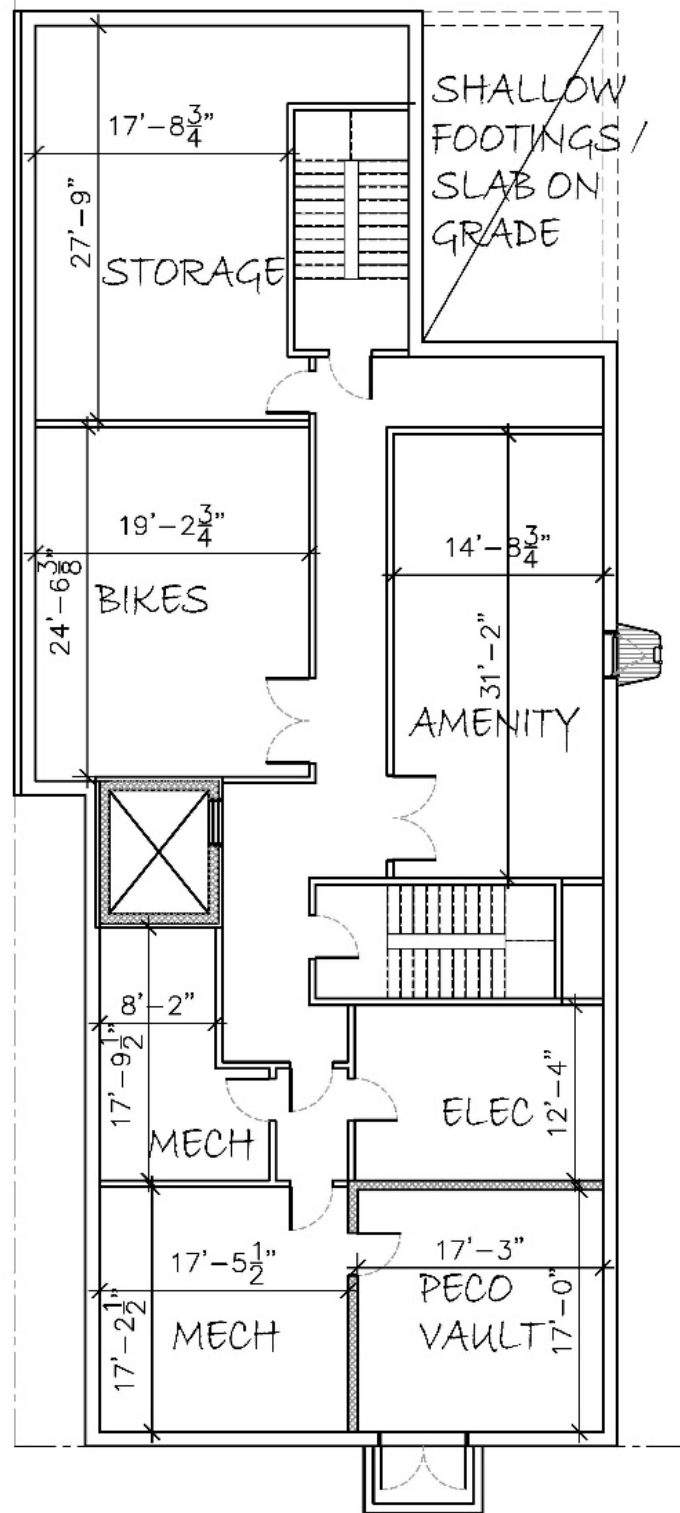
Ground floor level

- (2) Commercial spaces:
- (1) Shared Truck loading space
- (2) Trash Rooms w/ direct access to loading space
- Residential lobby
- Residential units (some bi-level w/ cellar)

Site & Ground floor Plan Amenity context

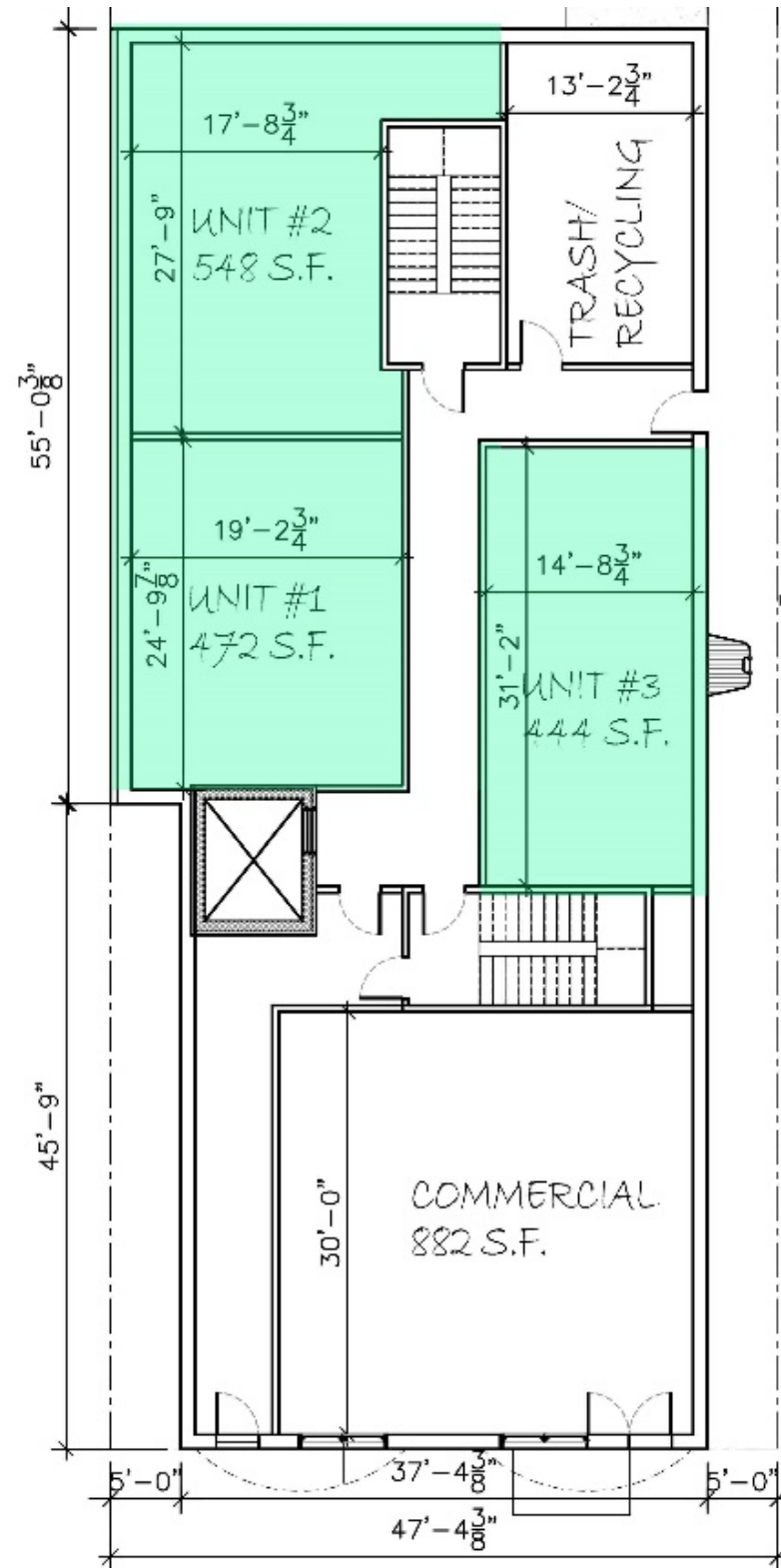


Floor Plans- Building 1



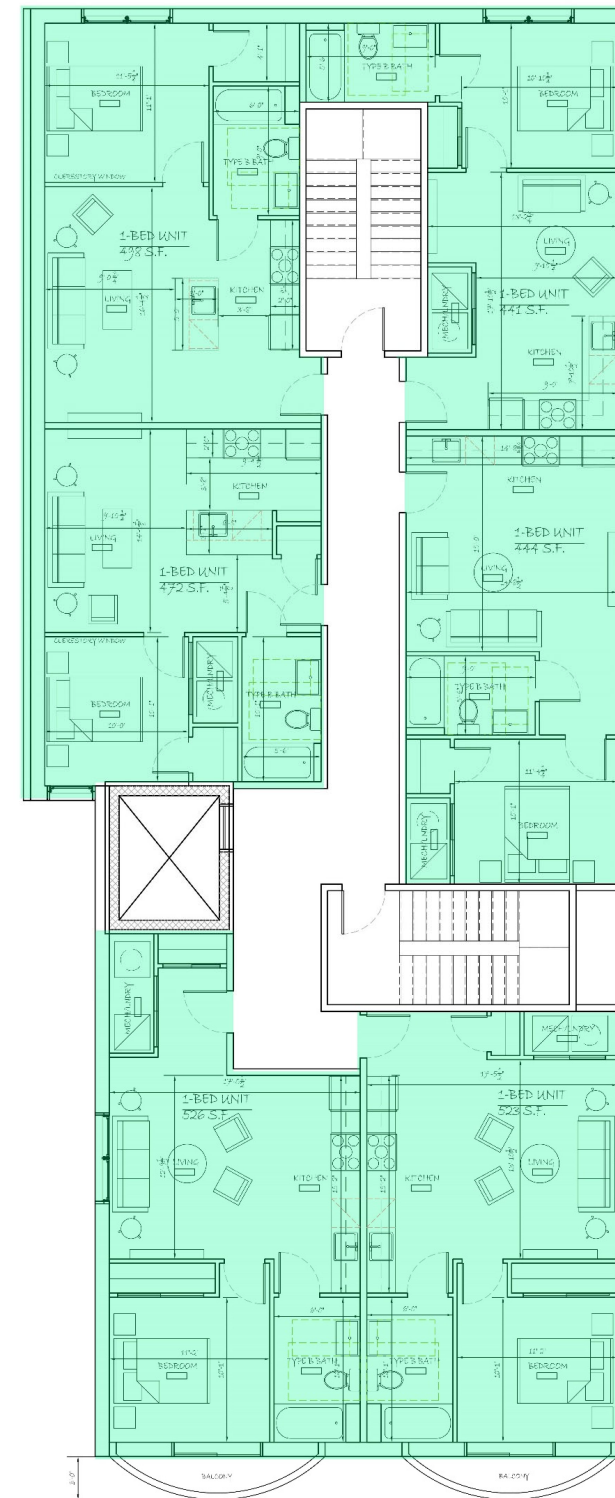
Cellar

- 1 Bedroom
- Studio



First Floor

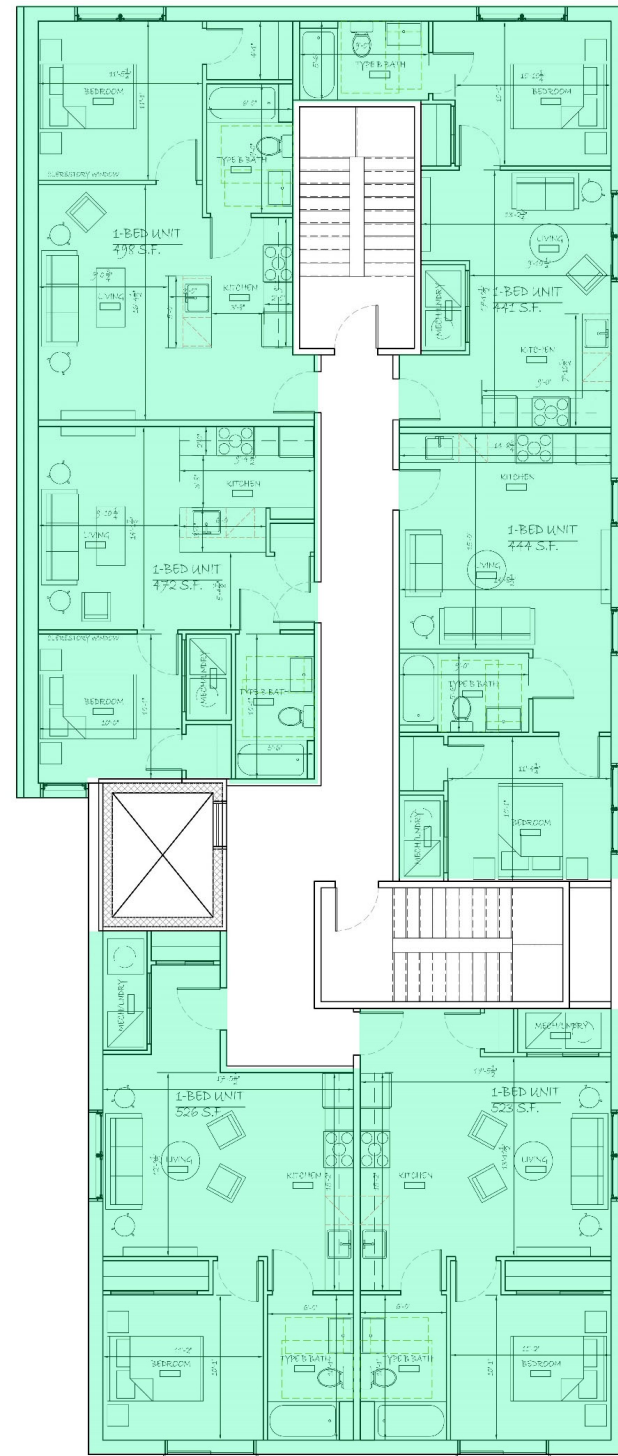
CHESTNUT ST



Typ. flrs 2-4

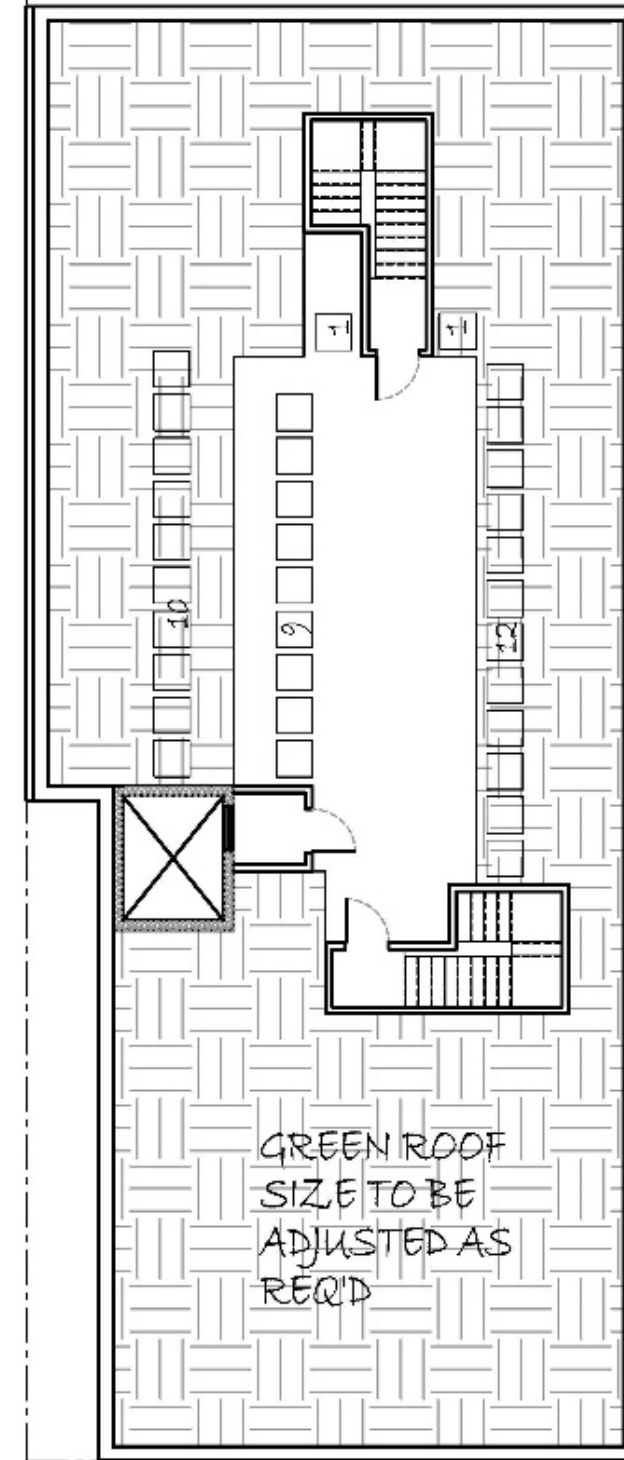
- Cellar**
 - Amenity, Storage & mechanical spaces. 11 class 1a bike parking spaces
- First floor**
 - Commercial & 3 residential units + trash room
- Second floor**
 - (6) residential units
- Third floor**
 - (6) residential units
- Fourth floor**
 - (6) residential units
- Fifth floor**
 - (6) residential units
- Sixth floor**
 - (6) residential units
- Building 1 total**
 - (33) residential units (all 1 beds), ranging in size from 444 s.f. to 526 s.f.

Floor Plans- Building 1



Typ. flrs 5-6

- 1 Bedroom
- Studio

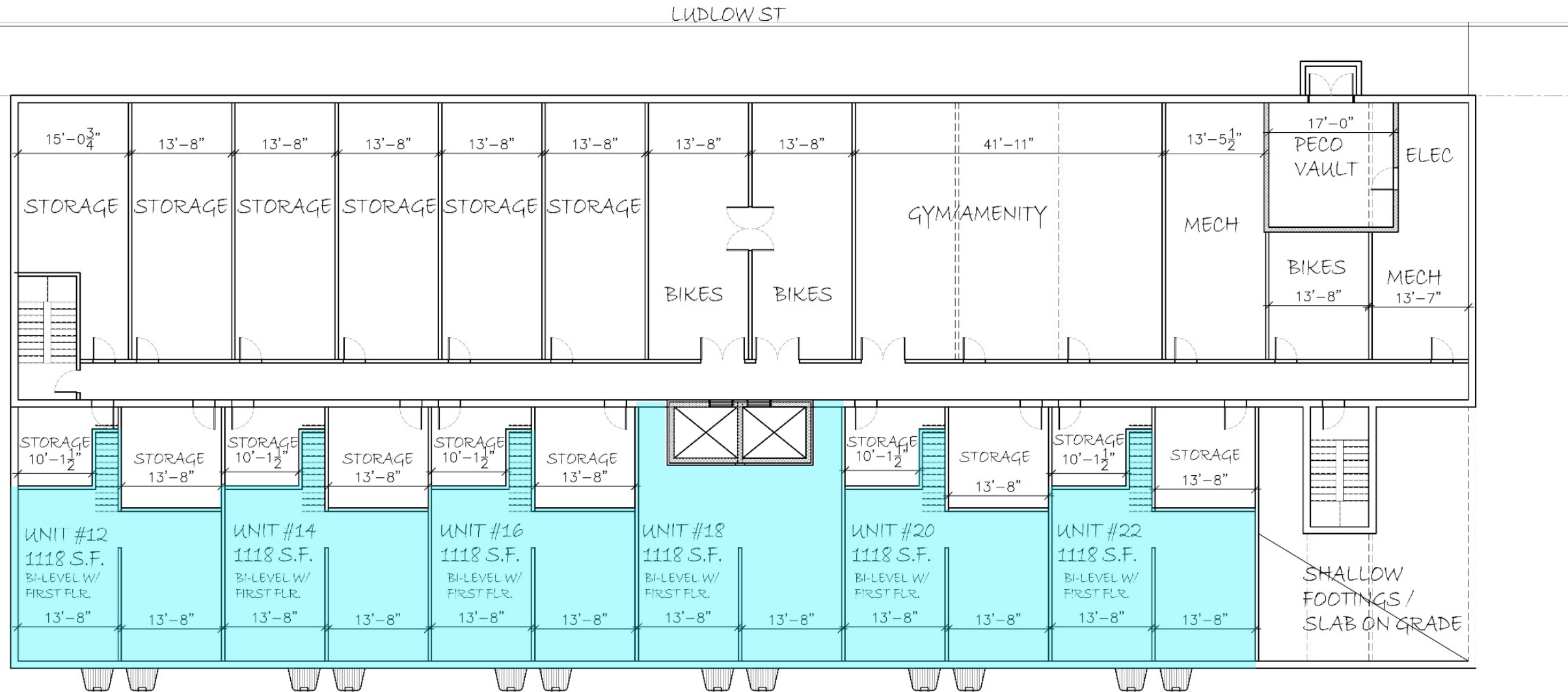


Roof Deck/Green roof

- Cellar
 - Amenity & mechanical spaces
- First floor
 - Commercial & 3 residential units
- Second floor
 - (6) residential units
- Third floor
 - (6) residential units
- Fourth floor
 - (6) residential units
- Fifth floor
 - (6) residential units
- Sixth floor
 - (6) residential units
- Building 1 total
 - (33) residential units (all 1 beds), ranging in size from 444 s.f. to 526 s.f.

Floor Plans-Building 2

Cellar



2 Bedroom

Cellar

-Amenity, Storage & mechanical spaces. 57 class 1a bike parking spaces

- Residential units (bi-level portions of 2 bed units on first floor)

First floor

- Commercial & (23) residential units + trash room & truck loading space

Second floor

- (28) residential units

Third floor

- (30) residential units

Fourth floor

- (30) residential units

Fifth floor

- (30) residential units

Sixth floor

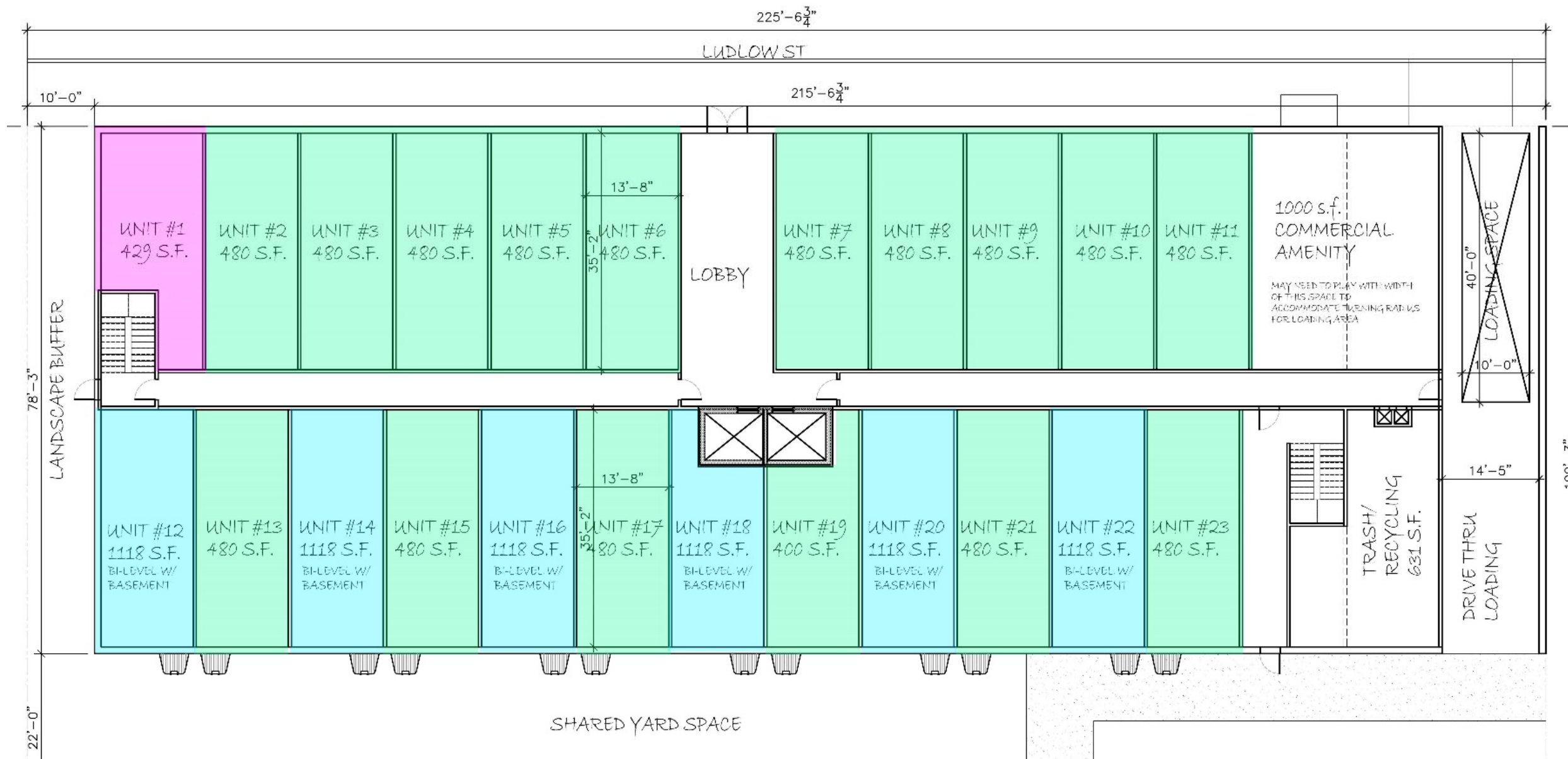
- (30) residential units

Building 2 total

- (171) residential units of which:
 - (6) 2 bed units 1118 s.f. in size
 - (16) studios ranging in size from 429-445 s.f.
 - (149) 1 bed units ranging in size from 400-506 s.f.

Floor Plans-Building 2

First Floor

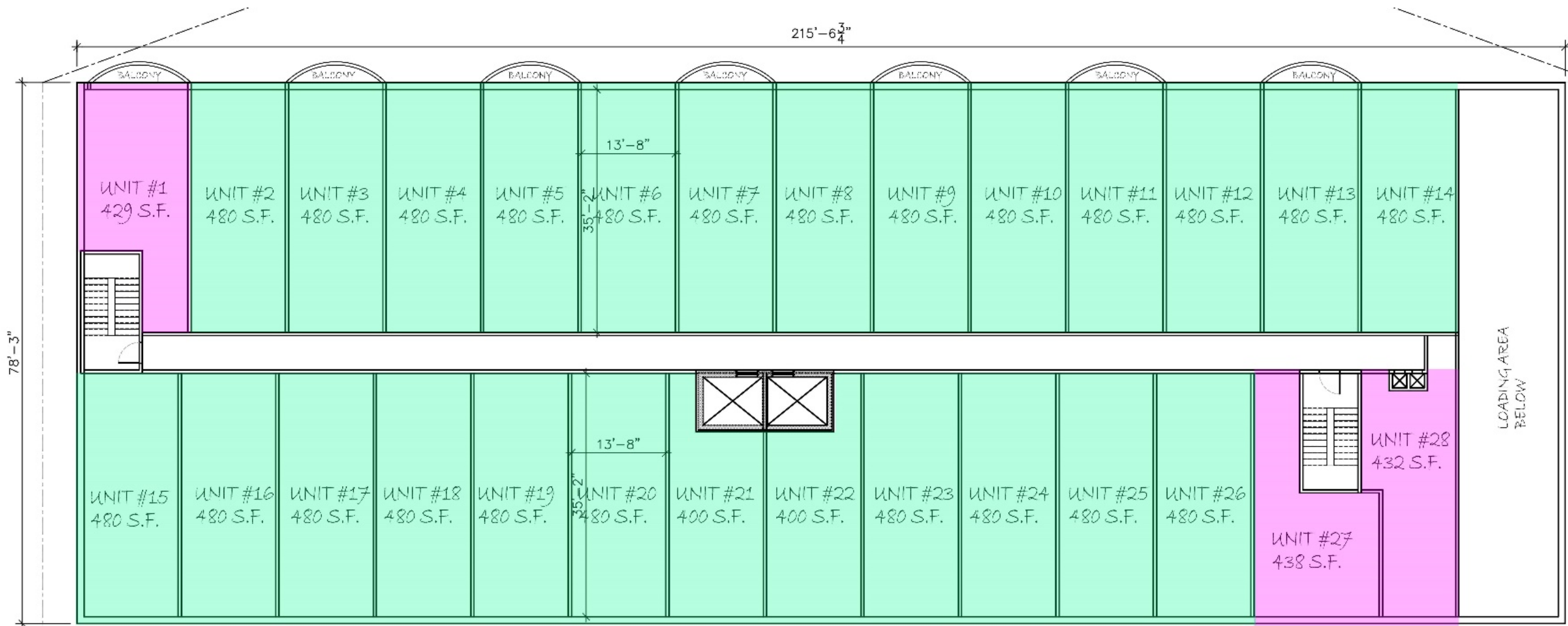


- 1 Bedroom
- Studio
- 2 Bedroom

- Cellar**
 - Amenity, Storage & mechanical spaces. 57 class 1a bike parking spaces
 - Residential units (bi-level portions of 2 bed units on first floor)
- First floor**
 - Commercial & (23) residential units + trash room & truck loading space
- Second floor**
 - (28) residential units
- Third floor**
 - (30) residential units
- Fourth floor**
 - (30) residential units
- Fifth floor**
 - (30) residential units
- Sixth floor**
 - (30) residential units
- Building 2 total**
 - (171) residential units of which:
 - (6) 2 bed units 1118 s.f. in size
 - (16) studios ranging in size from 429-445 s.f.
 - (149) 1 bed units ranging in size from 400-506 s.f.

Floor Plans-Building 2

Second Floor



Cellar

- Amenity, Storage & mechanical spaces. 57 class 1a bike parking spaces
- Residential units (bi-level portions of 2 bed units on first floor)

First floor

- Commercial & (23) residential units + trash room & truck loading space

Second floor

- (28) residential units

Third floor

- (30) residential units

Fourth floor

- (30) residential units

Fifth floor

- (30) residential units

Sixth floor

- (30) residential units

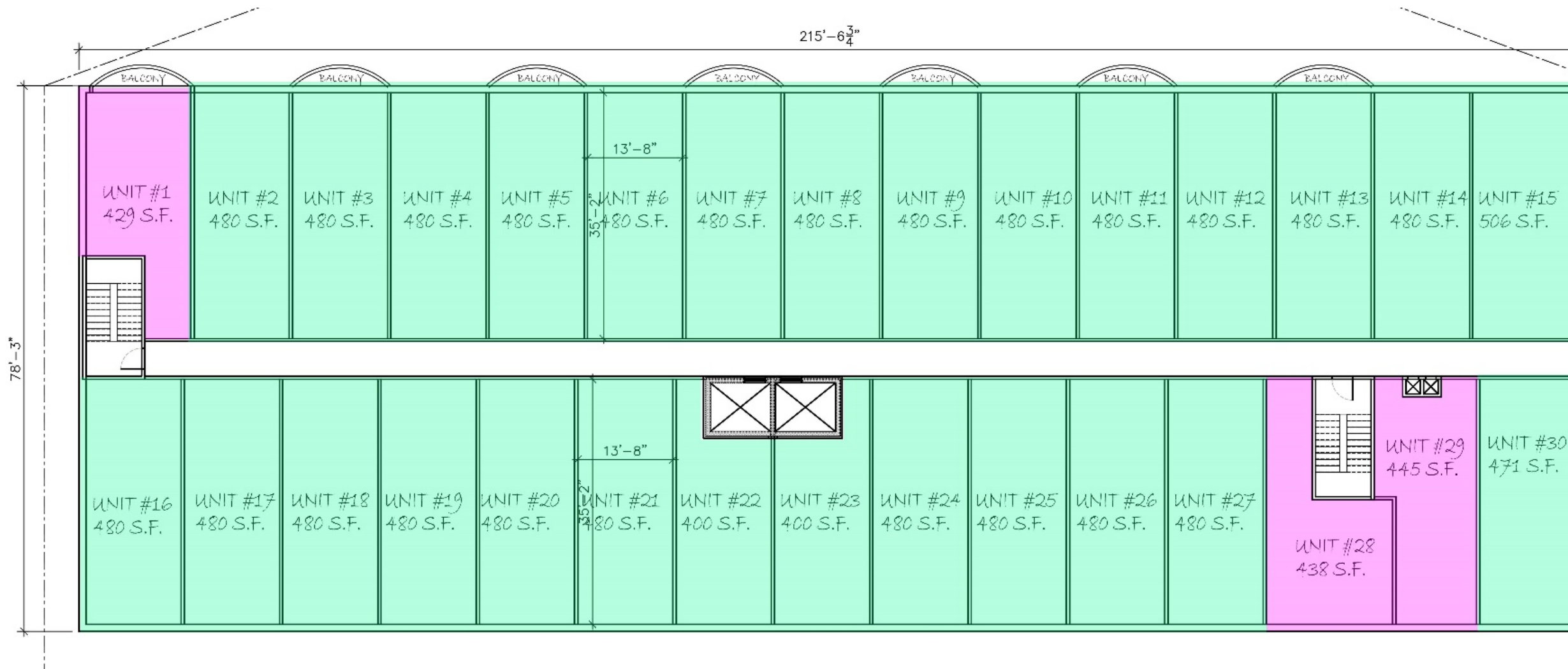
Building 2 total

- (171) residential units of which:
 - (6) 2 bed units 1118 s.f. in size
 - (16) studios ranging in size from 429-445 s.f.
 - (149) 1 bed units ranging in size from 400-506 s.f.

- 1 Bedroom
- Studio

Floor Plans-Building 2

Typ. 3rd thru 4th Floor



- 1 Bedroom
- Studio

Cellar

-Amenity, Storage & mechanical spaces. 57 class 1a bike parking spaces

- Residential units (bi-level portions of 2 bed units on first floor)

First floor

- Commercial & (23) residential units + trash room & truck loading space

Second floor

- (28) residential units

Third floor

- (30) residential units

Fourth floor

- (30) residential units

Fifth floor

- (30) residential units

Sixth floor

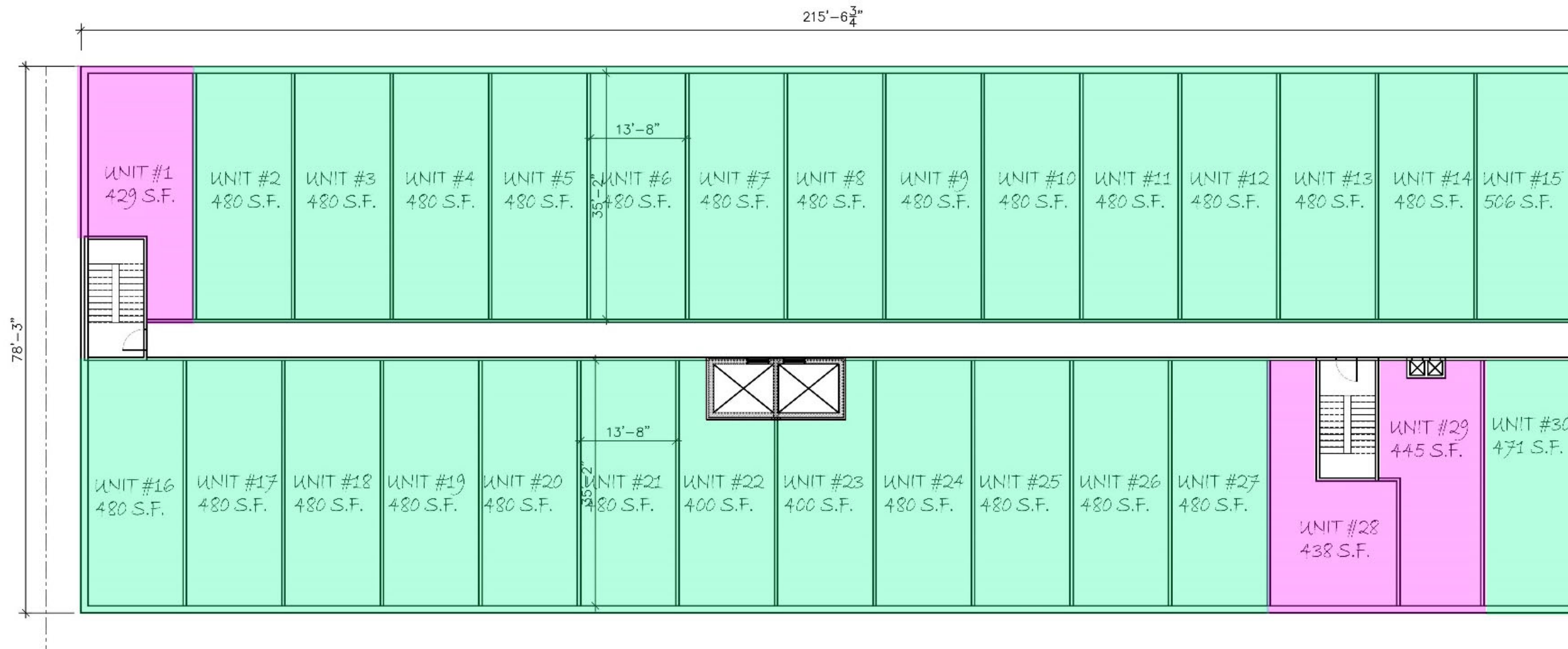
- (30) residential units

Building 2 total

- (171) residential units of which:
 - (6) 2 bed units 1118 s.f. in size
 - (16) studios ranging in size from 429-445 s.f.
 - (149) 1 bed units ranging in size from 400-506 s.f.

Floor Plans-Building 2

Typ. 5th thru 6th Floor



Cellar

- Amenity, Storage & mechanical spaces. 57 class 1a bike parking spaces
- Residential units (bi-level portions of 2 bed units on first floor)

First floor

- Commercial & (23) residential units + trash room & truck loading space

Second floor

- (28) residential units

Third floor

- (30) residential units

Fourth floor

- (30) residential units

Fifth floor

- (30) residential units

Sixth floor

- (30) residential units

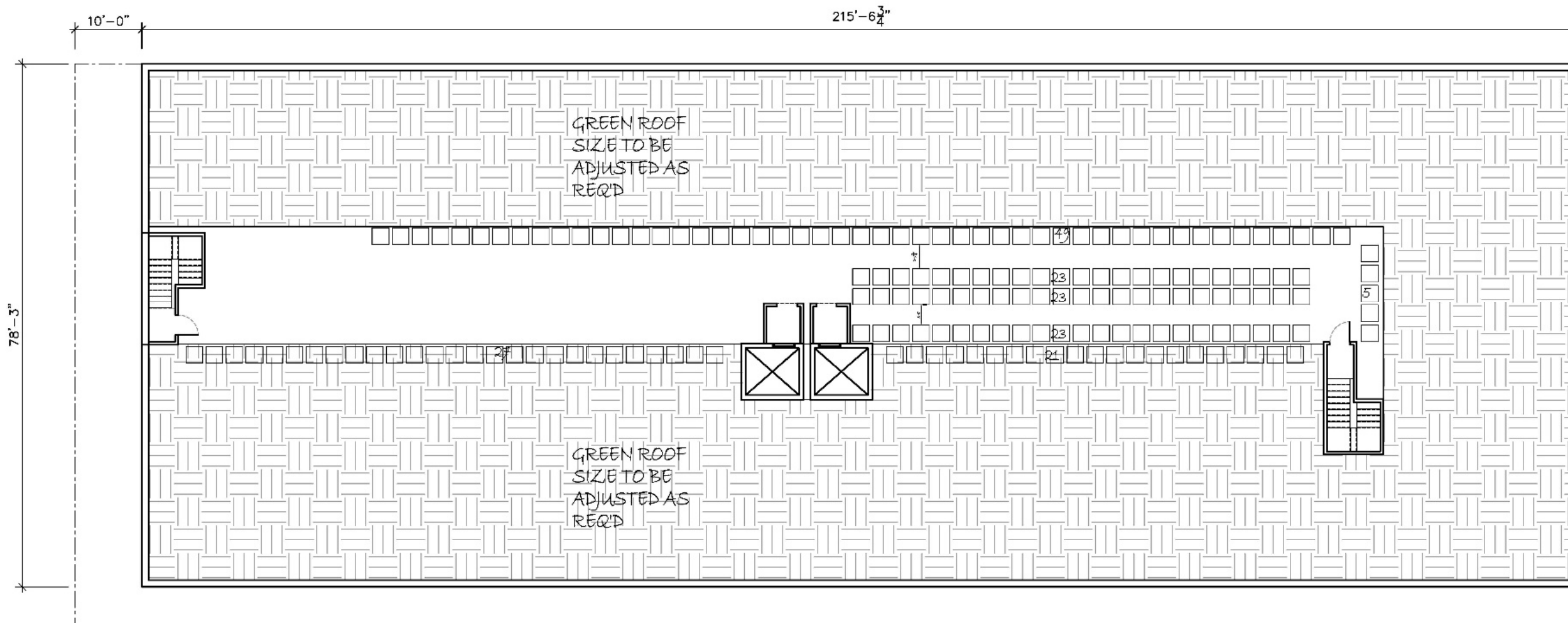
Building 2 total

- (171) residential units of which:
 - (6) 2 bed units 1118 s.f. in size
 - (16) studios ranging in size from 429-445 s.f.
 - (149) 1 bed units ranging in size from 400-506 s.f.

- 1 Bedroom
- Studio

Floor Plans-Building 2

Roof deck / green roof



Cellar

- Amenity, Storage & mechanical spaces. 57 class 1a bike parking spaces
- Residential units (bi-level portions of 2 bed units on first floor)

First floor

- Commercial & (23) residential units + trash room & truck loading space

Second floor

- (28) residential units

Third floor

- (30) residential units

Fourth floor

- (30) residential units

Fifth floor

- (30) residential units

Sixth floor

- (30) residential units

Building 2 total

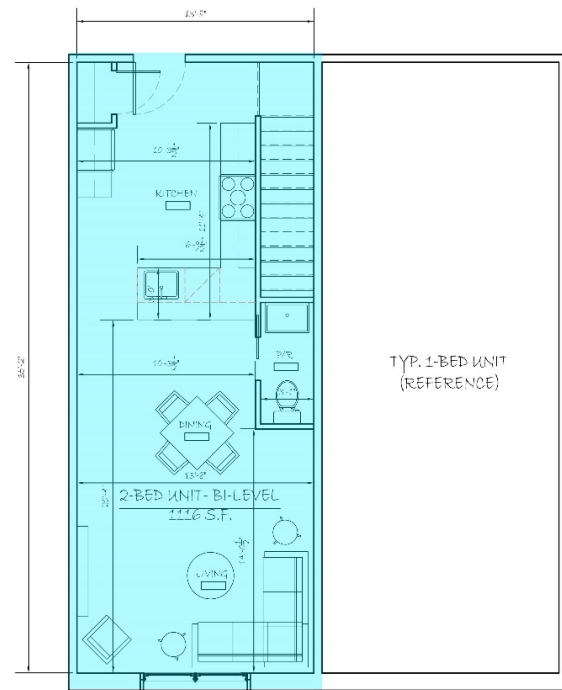
- (171) residential units of which:
 - (6) 2 bed units 1118 s.f. in size
 - (16) studios ranging in size from 429-445 s.f.
 - (149) 1 bed units ranging in size from 400-506 s.f.

Studio flrs 5-6

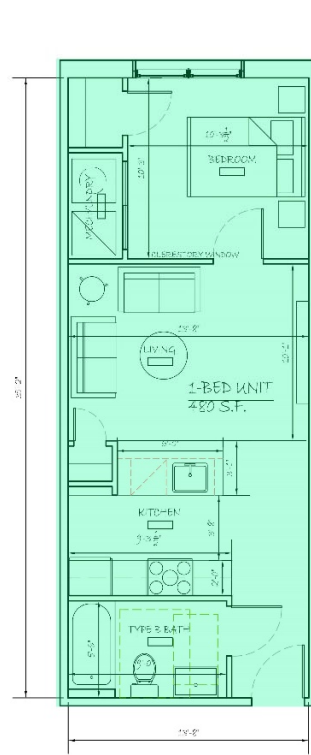
Studio flrs 2-4

Floor Plans-Building 2

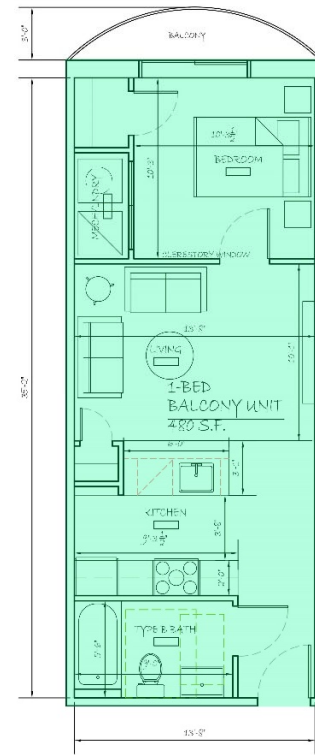
Unit type plans



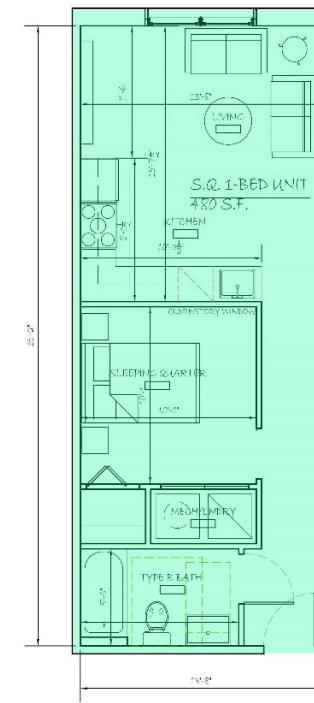
1ST FLOOR



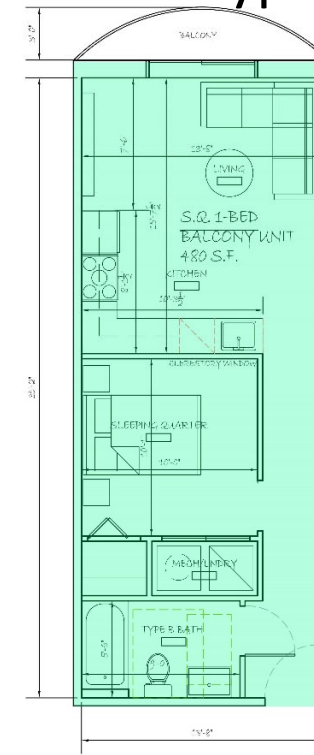
1 bed flrs 1, 5-6



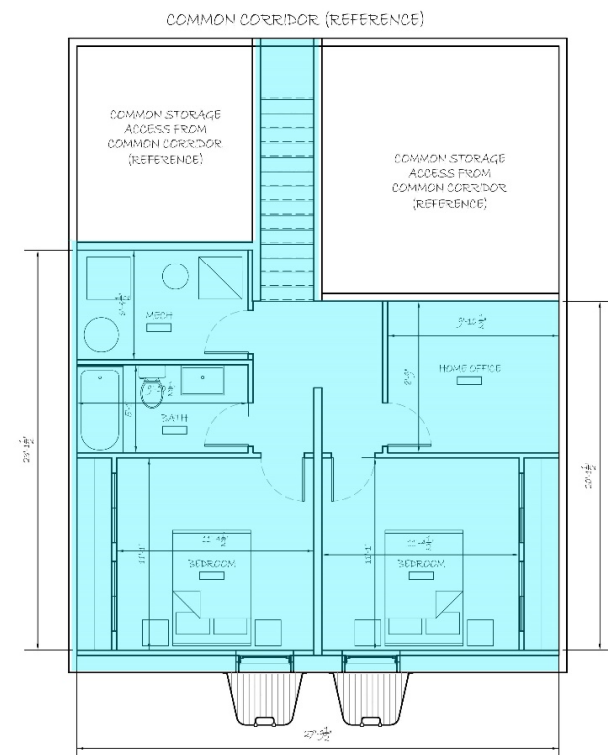
1 bed flrs 2-4



Sleeping quarter option flrs 1,5-6

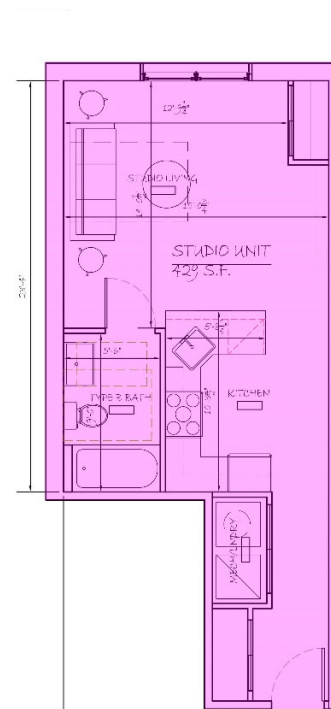


Sleeping quarter option flrs 2-4

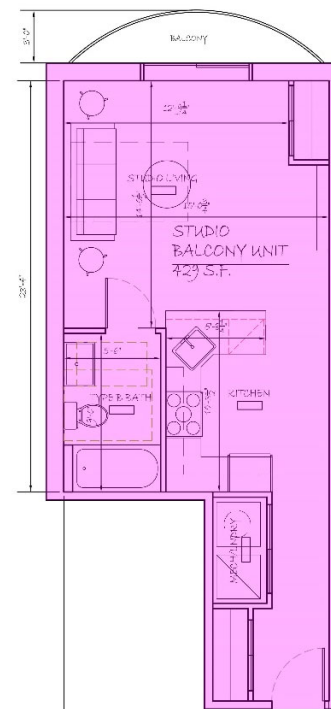


CELLAR

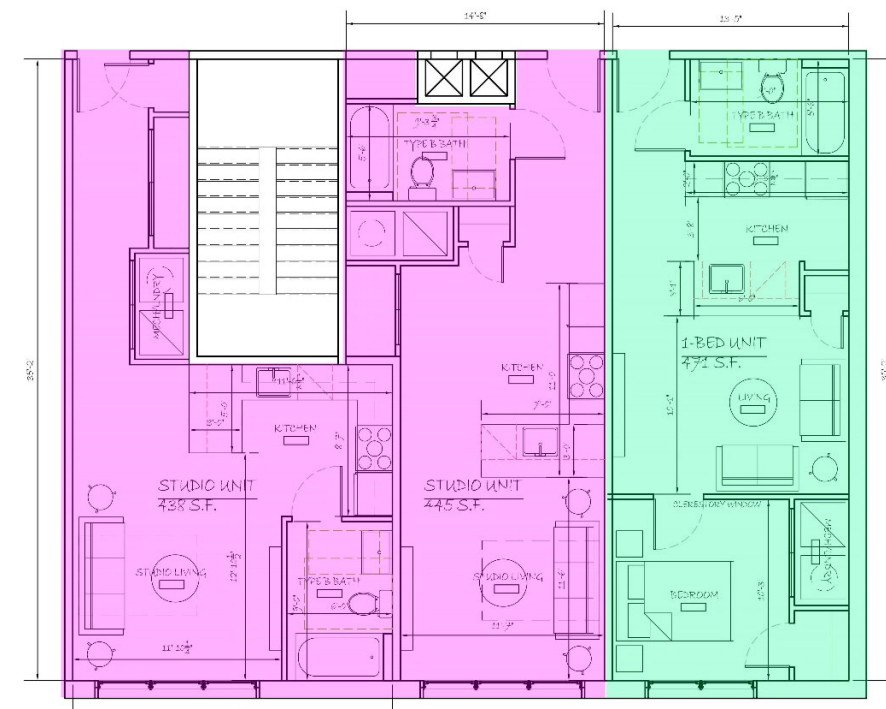
2 bed Bi-level between cellar & 1st flrs.



Studio flrs 1,5-6



Studio flrs 2-4



Rear studio & 1 bedroom block

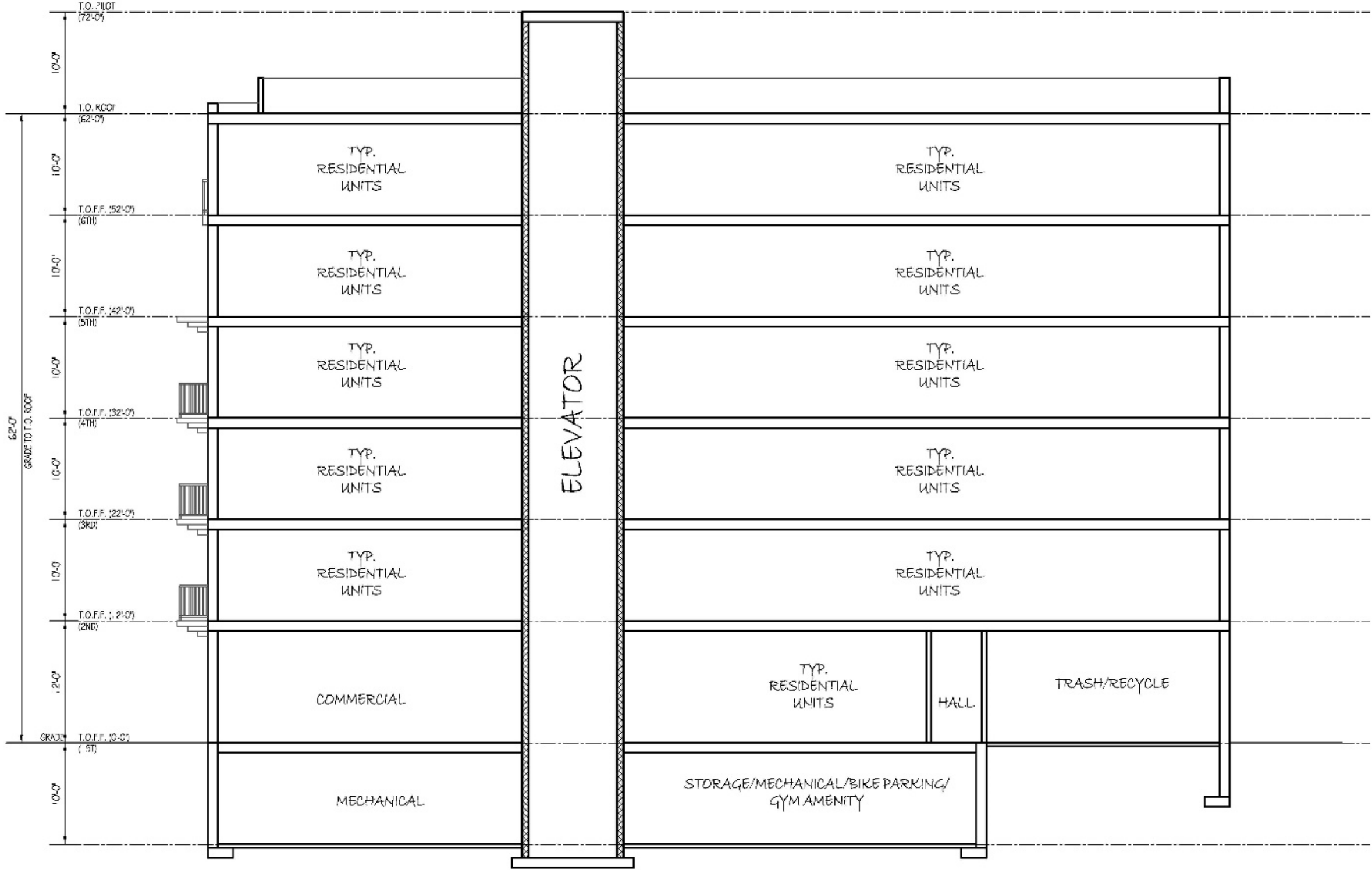
- Cellar**
 - Amenity, Storage & mechanical spaces. 57 class 1a bike parking spaces
 - Residential units (bi-level portions of 2 bed units on first floor)
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- 1 Bedroom
- Studio
- 2 Bedroom



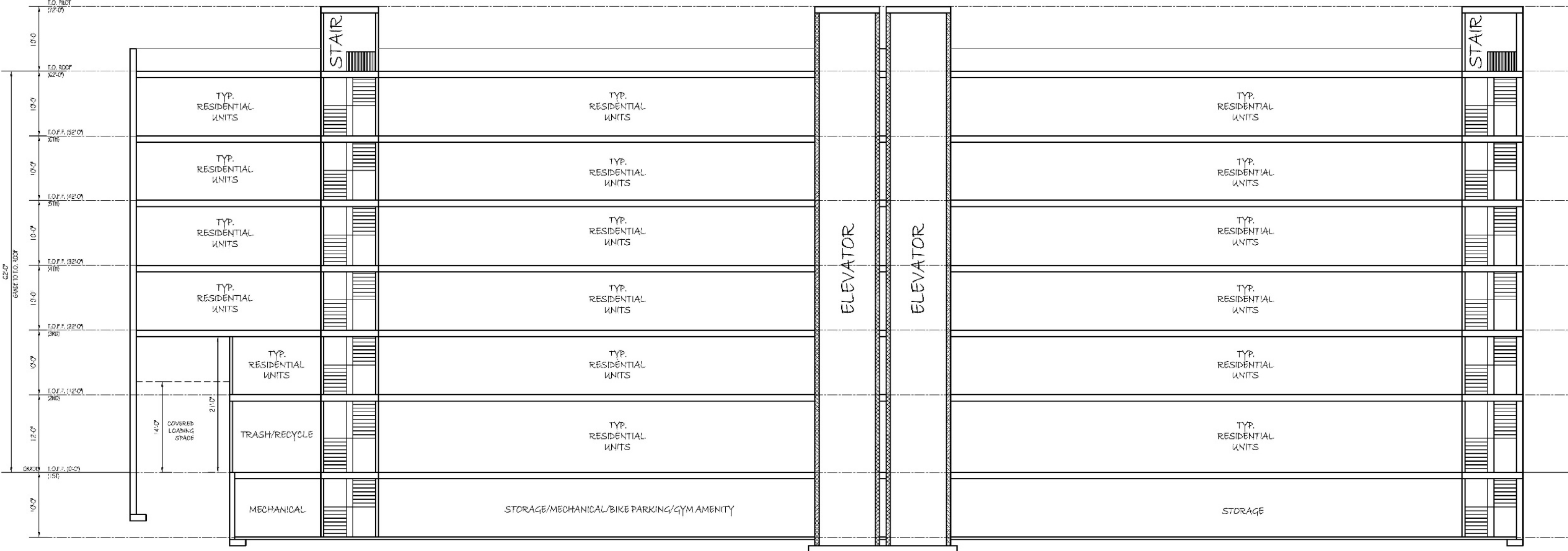
Section-Building 1

Longitudinal Section



Section-Building 2

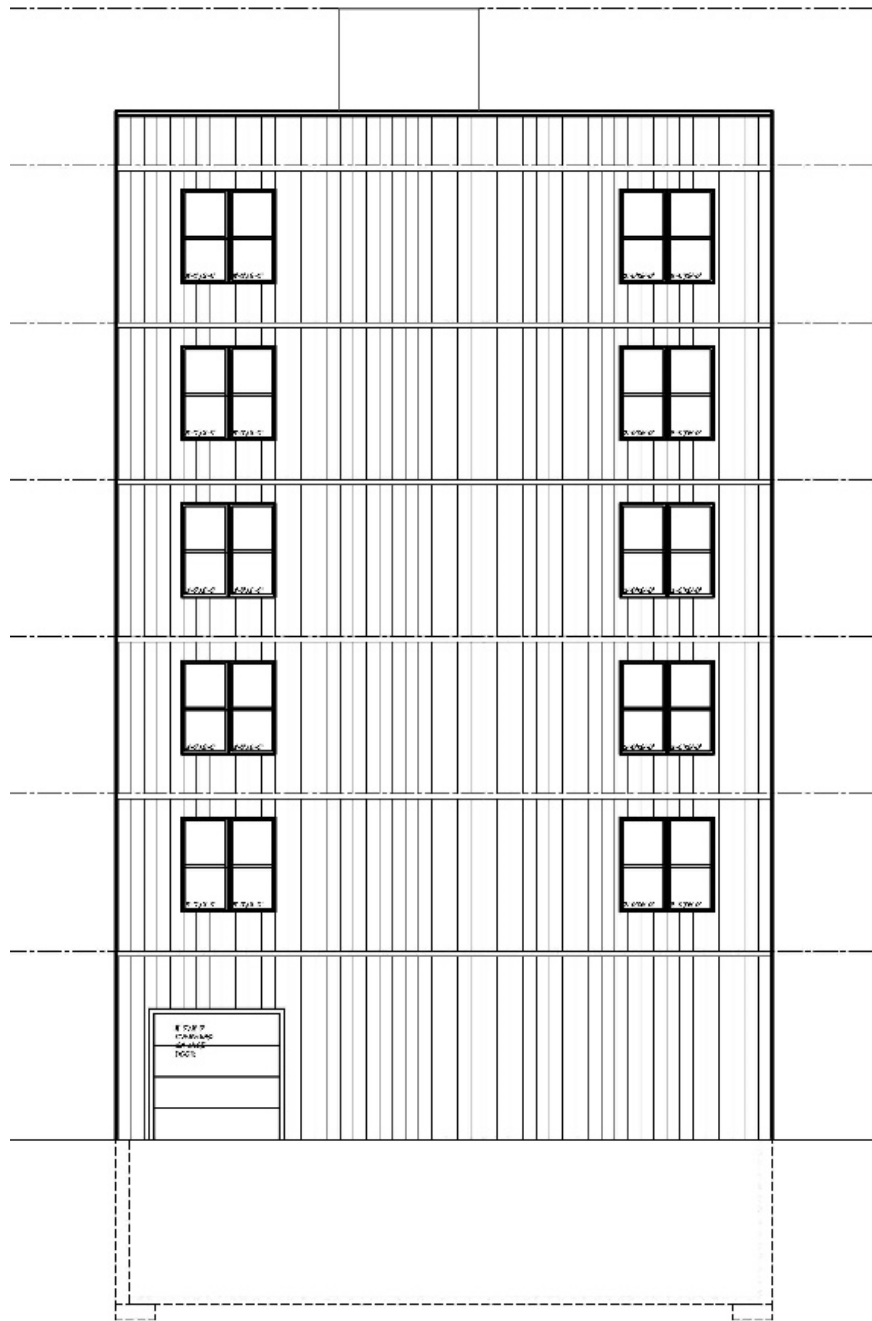
Cross Section



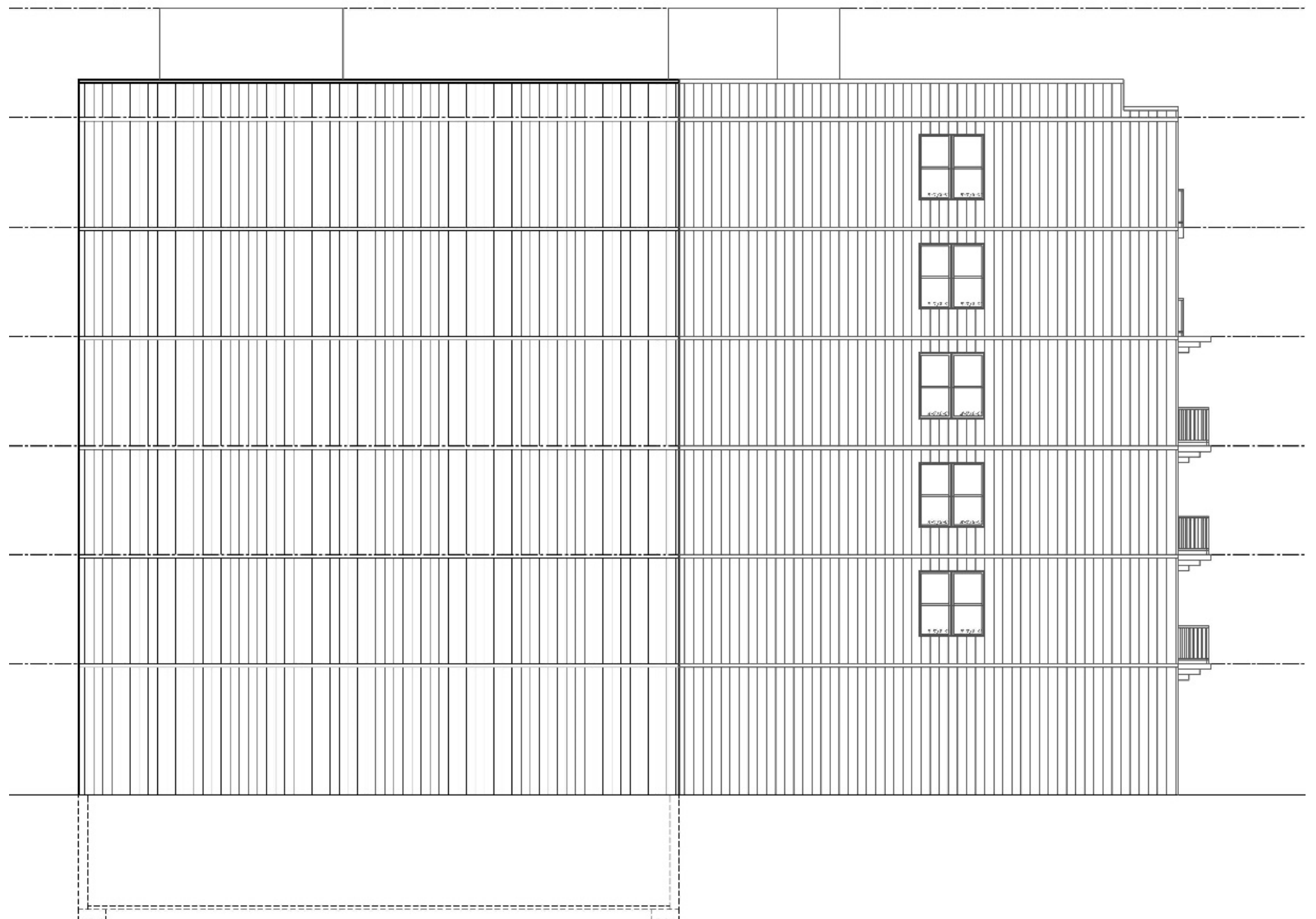
Elevations-Building 1



Elevations-Building 1



REAR ELEVATION



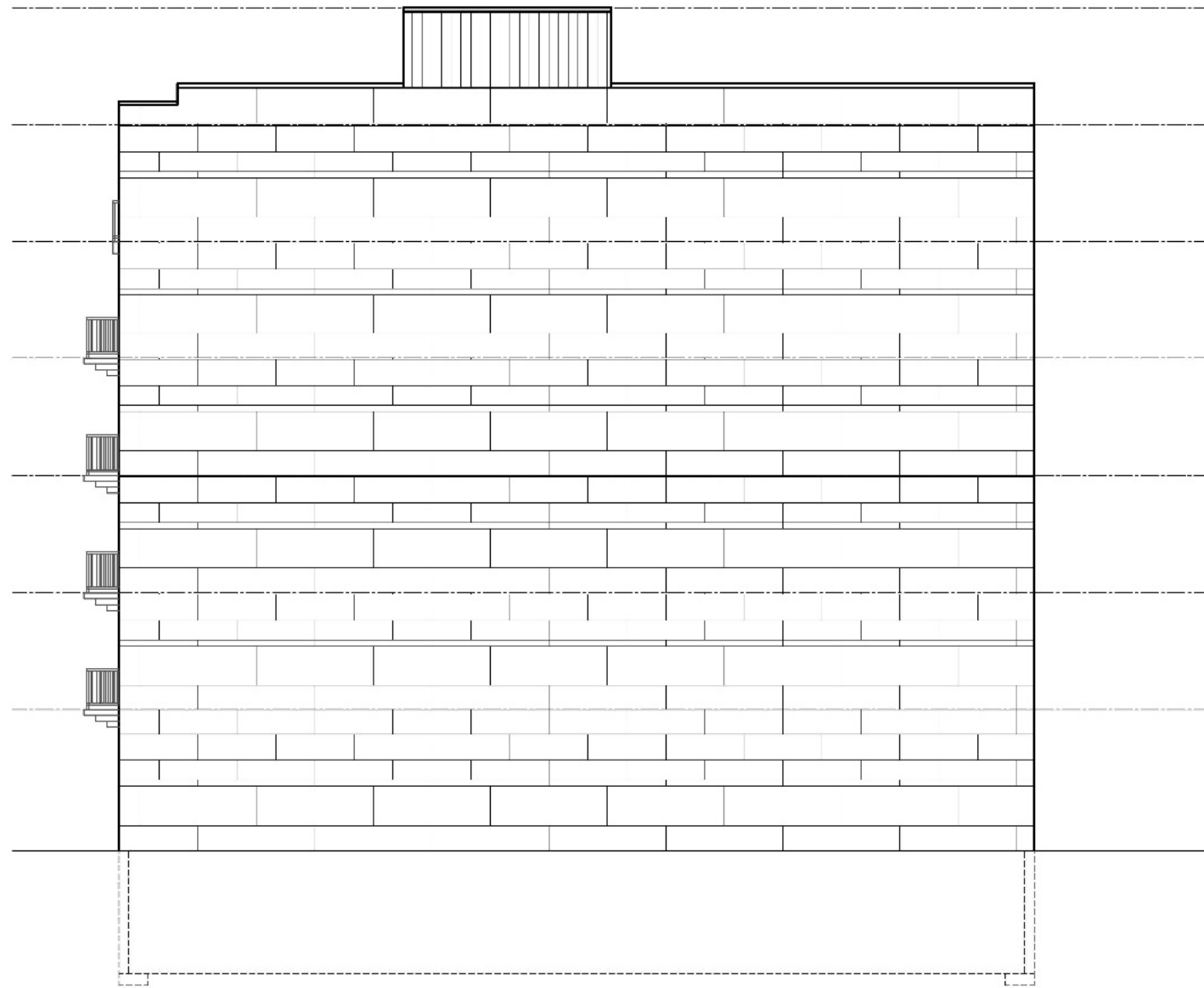
LEFT SIDE ELEVATION

Elevations-Building 2

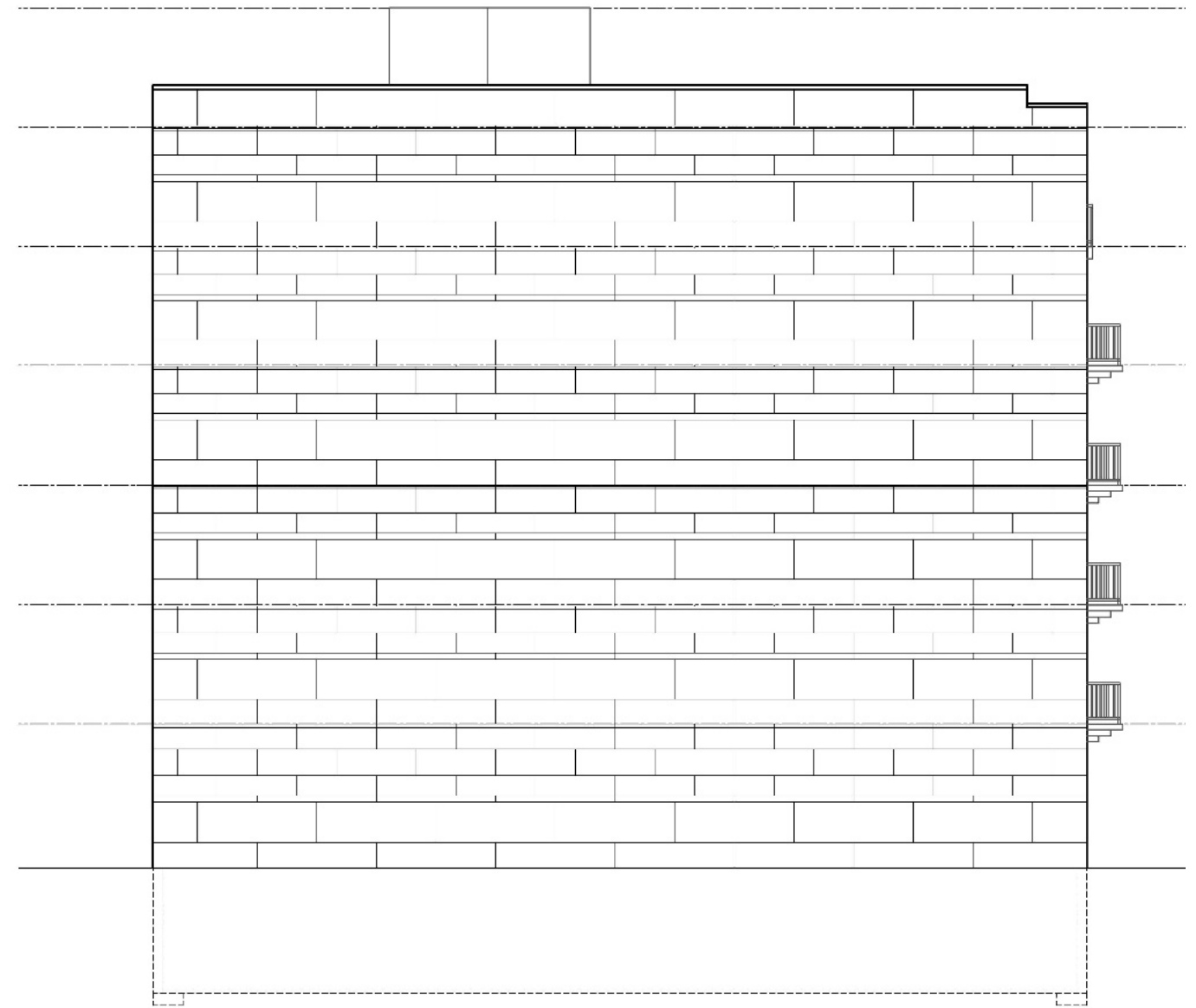


LUDLOW ST ELEVATION

Elevations-Building 2

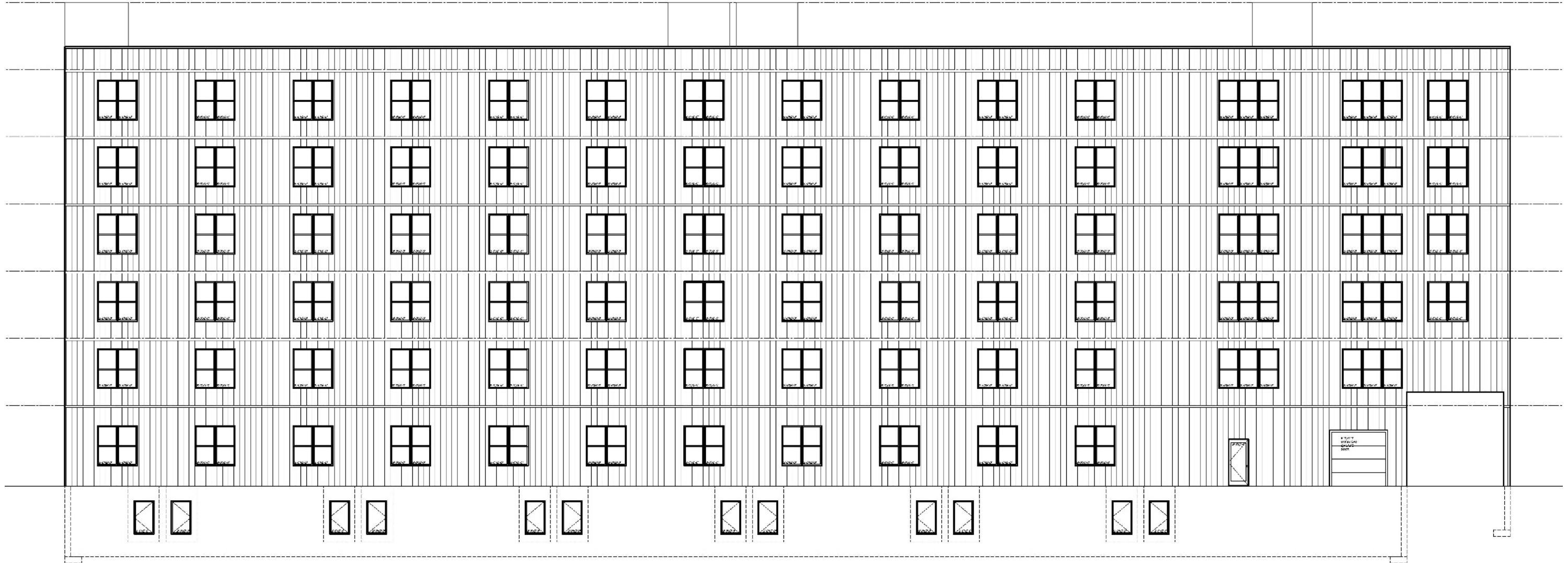


RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

Elevations-Building 2



REAR ELEVATION

Materials



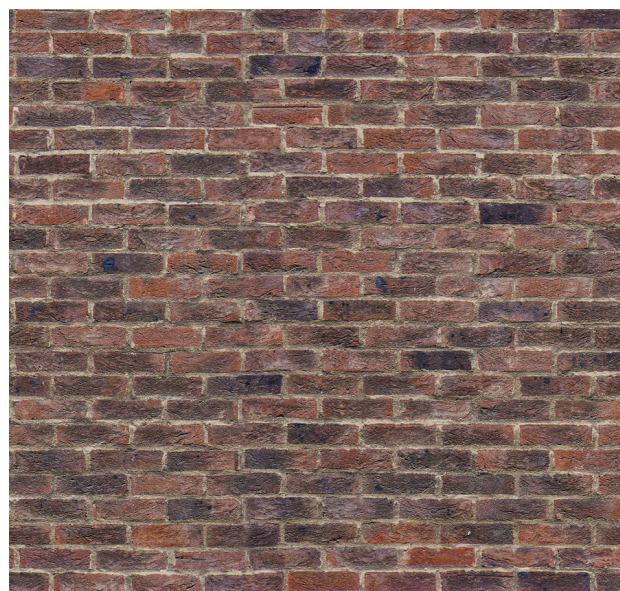
(3) VERTICAL STANDING SEAM METAL

Building materiality includes a pallet of red brick veneer, limestone cast stone & flat metal paneling as the primary façade elements. Standing seam metal is used on the sides & rear of the buildings. Accents of cast stone & black metal are used on the primary facades to reflect the Art-deco inspired motif. Black metal accents can be found throughout the façade as used for fascia, balcony railing, and all window units.

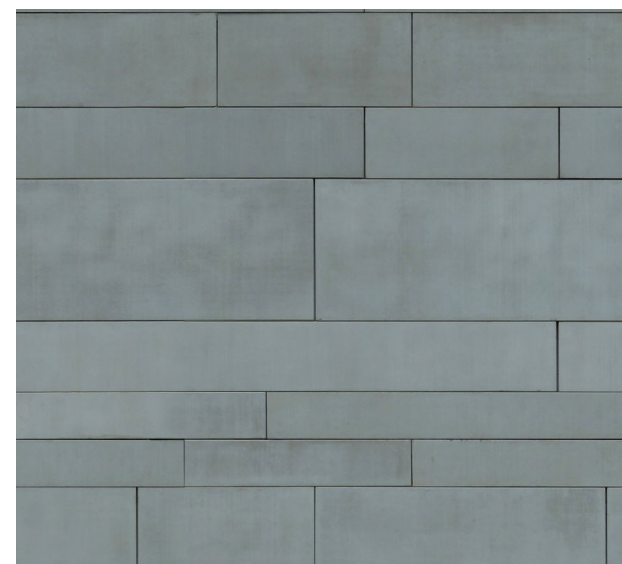
The street level transparency allows for pedestrian interaction with commercial spaces, lounges, and other amenity spaces that are part of the proposal.



(7) ARCHITECTURAL SCONE LIGHTING (UP/DOWN ILLUMINATION TO REDUCE LIGHT NOISE)



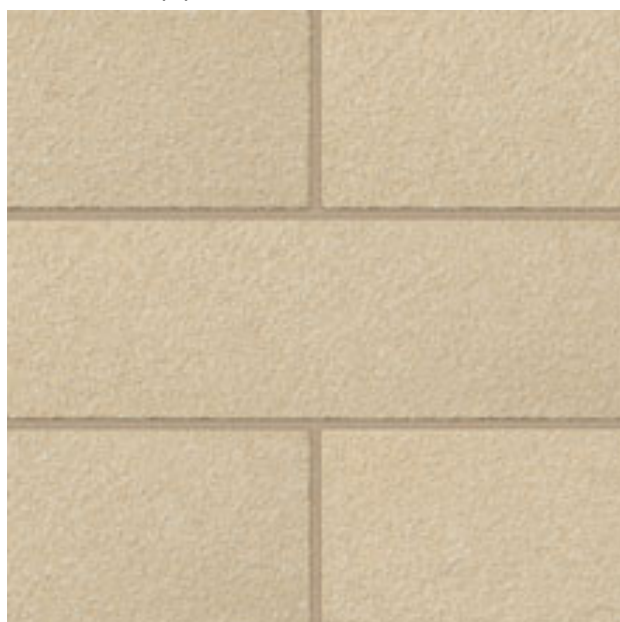
(1) RED BRICK VENEER



(6) FLAT METAL PANELS @ UPPER FLOORS



(4) BLACK CURTAIN WALL GLAZING ELEMENTS @ GROUND FLOOR AMENITY SPACES



(2) CAST STONE VENEER



(5) BLACK METAL RAILING @ BALCONIES & ACCENT TRIMS THROUGHOUT



BLACK WINDOWS @ RESIDENTIAL UNITS ABOVE

Materials-Building 1

Chestnut Street & Right side Elevations



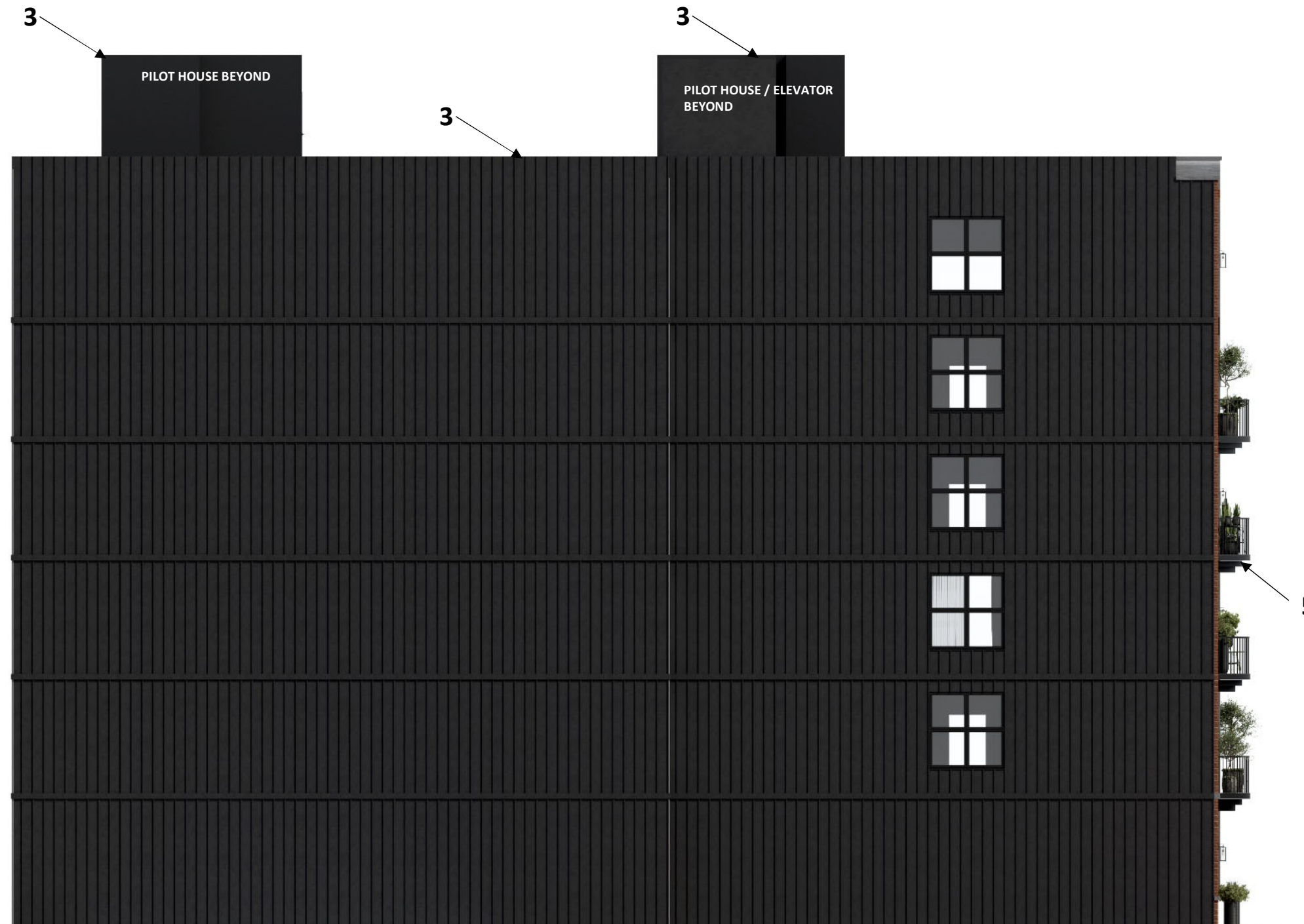
- 1. Brick veneer
- 2. Cast stone Veneer/Accent

- 3. Vertical metal (gray)
- 4. Storefront glazing

- 5. Metal accent trims (black)
- 6. Metal Panel (assorted, flat)
- 7. Architectural accent lighting

Materials-Building 1

Left side Elevation



- 1. Brick veneer
- 2. Cast stone Veneer/Accent

- 3. Vertical metal (gray)
- 4. Storefront glazing

- 5. Metal accent trims (black)
- 6. Metal Panel (assorted, flat)
- 7. Architectural accent lighting

Materials-Building 2

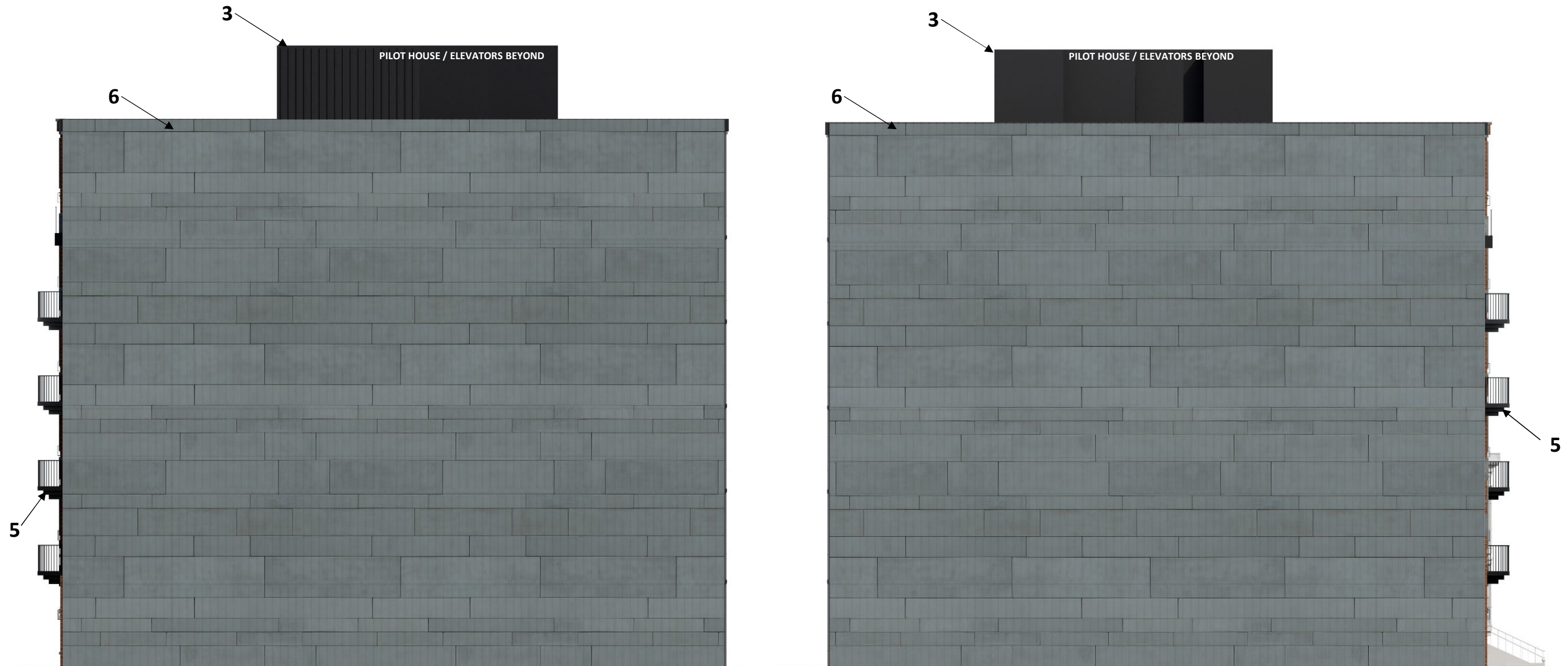
Ludlow Street Elevation



- 1. Brick veneer
- 2. Cast stone Veneer/Accent
- 3. Vertical metal (gray)
- 4. Storefront glazing
- 5. Metal accent trims (black)
- 6. Metal Panel (assorted, flat)
- 7. Architectural accent lighting

Materials-Building 2

Left & Right side Elevations



- 1. Brick veneer
- 2. Cast stone Veneer/Accent

- 3. Vertical metal (gray)
- 4. Storefront glazing

- 5. Metal accent trims (black)
- 6. Metal Panel (assorted, flat)
- 7. Architectural accent lighting

Renderings



View of complex from Chestnut Street

Renderings



View of complex from Ludlow Street



Complete Streets Handbook

COMPLETE STREETS HANDBOOK CHECKLIST

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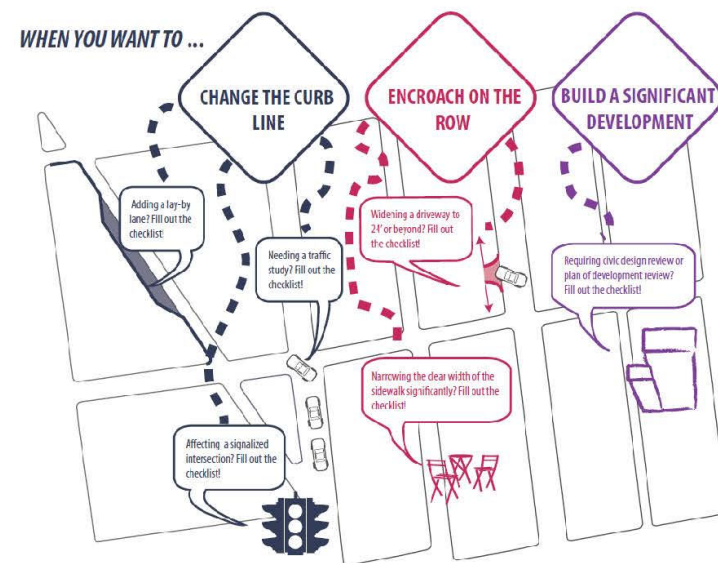
INSTRUCTIONS

This Checklist is an implementation tool of the *Philadelphia Complete Streets Handbook* (the "Handbook") and enables City engineers and planners to review projects for their compliance with the Handbook's policies. The handbook provides design guidance and does not supersede or replace language, standards or policies established in the City Code, City Plan, or Manual on Uniform Traffic Control Devices (MUTCD).

The Philadelphia City Planning Commission receives this Checklist as a function of its Civic Design Review (CDR) process. This checklist is used to document how project applicants considered and accommodated the needs of all users of city streets and sidewalks during the planning and/or design of projects affecting public rights-of-way. Departmental reviewers will use this checklist to confirm that submitted designs incorporate complete streets considerations (see §11-901 of The Philadelphia Code). Applicants for projects that require Civic Design Review shall complete this checklist and attach it to plans submitted to the Philadelphia City Planning Commission for review, along with an electronic version.

The Handbook and the checklist can be accessed at <http://www.phila.gov/CityPlanning/projectreviews/Pages/CivicDesignReview.aspx>

WHEN DO I NEED TO FILL OUT THE COMPLETE STREETS CHECKLIST?



PRELIMINARY PCPC REVIEW AND COMMENT:

DATE

FINAL STREETS DEPT REVIEW AND COMMENT:

DATE

COMPLETE STREETS HANDBOOK CHECKLIST

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INSTRUCTIONS (continued)

APPLICANTS SHOULD MAKE SURE TO COMPLY WITH THE FOLLOWING REQUIREMENTS:

- This checklist is designed to be filled out electronically in Microsoft Word format. Please submit the Word version of the checklist. Text fields will expand automatically as you type.
- All plans submitted for review must clearly dimension the widths of the Furnishing, Walking, and Building Zones (as defined in Section 1 of the Handbook). "High Priority" Complete Streets treatments (identified in Table 1 and subsequent sections of the Handbook) should be identified and dimensioned on plans.
- All plans submitted for review must clearly identify and site all street furniture, including but not limited to bus shelters, street signs and hydrants.
- Any project that calls for the development and installation of medians, bio-swales and other such features in the right-of-way may require a maintenance agreement with the Streets Department.
- ADA curb-ramp designs must be submitted to Streets Department for review
- Any project that significantly changes the curb line may require a City Plan Action. The City Plan Action Application is available at <http://www.philadelphiastreet.com/survey-and-design-bureau/city-plans-unit>. An application to the Streets Department for a City Plan Action is required when a project plan proposes the:
 - Placing of a new street;
 - Removal of an existing street;
 - Changes to roadway grades, curb lines, or widths; or
 - Placing or striking a city utility right-of-way.

Complete Streets Review Submission Requirement*:

- EXISTING CONDITIONS SITE PLAN, should be at an identified standard engineering scale
 - FULLY DIMENSIONED
 - CURB CUTS/DRIVEWAYS/LAYBY LANES
 - TREE PITS/LANDSCAPING
 - BICYCLE RACKS/STATIONS/STORAGE AREAS
 - TRANSIT SHELTERS/STAIRWAYS
- PROPOSED CONDITIONS SITE PLAN, should be at an identified standard engineering scale
 - FULLY DIMENSIONED, INCLUDING DELINEATION OF WALKING, FURNISHING, AND BUILDING ZONES AND PINCH POINTS
 - PROPOSED CURB CUTS/DRIVEWAYS/LAYBY LANES
 - PROPOSED TREE PITS/LANDSCAPING
 - BICYCLE RACKS/STATIONS/STORAGE AREAS
 - TRANSIT SHELTERS/STAIRWAYS

*APPLICANTS PLEASE NOTE: ONLY FULL-SIZE, READABLE SITE PLANS WILL BE ACCEPTED. ADDITIONAL PLANS MAY BE REQUIRED AND WILL BE REQUESTED IF NECESSARY

Complete Streets Handbook

COMPLETE STREETS HANDBOOK CHECKLIST

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GENERAL PROJECT INFORMATION

1. PROJECT NAME 04/09/2024
5235 Chestnut Street
2. APPLICANT NAME 4. PROJECT AREA: list precise street limits and scope
Jon Adler
3. APPLICANT CONTACT INFORMATION 28,049sf. The site is bound at the north by Ludlow Street, and bound at the south by Chestnut Street.
jonadler@gmail.com
5. OWNER NAME
Chestnut Emerald Partners
6. OWNER CONTACT INFORMATION
jonadler@gmail.com
7. ENGINEER / ARCHITECT NAME
KCA Design Associates LLC / Ruggiero Plante Land Design
8. ENGINEER / ARCHITECT CONTACT INFORMATION
Loagn.dry@kcadesignassociates.com / josiah@ruggieroplante.com
9. STREETS: List the streets associated with the project. Complete Streets Types can be found at www.phila.gov/map under the "Complete Street Types" field. Complete Streets Types are also identified in Section 3 of the Handbook.
Also available here: <http://metadata.phila.gov/#home/datasetdetails/5543867320583086178c4f34/>

STREET	FROM	TO	COMPLETE STREET TYPE
Chestnut Street	53rd	52nd	Urban Arterial
Ludlow Street	53rd	52nd	Local
_____	_____	_____	_____

11. Does the **Existing Conditions** site survey clearly identify the following existing conditions with dimensions?
 - a. Parking and loading regulations in curb lanes adjacent to the site YES NO
 - b. Street Furniture such as bus shelters, honor boxes, etc. YES NO N/A
 - c. Street Direction YES NO
 - d. Curb Cuts YES NO N/A
 - e. Utilities, including tree grates, vault covers, manholes, junction boxes, signs, lights, poles, etc. YES NO N/A
 - f. Building Extensions into the sidewalk, such as stairs and stoops YES NO N/A

APPLICANT: General Project Information

Additional Explanation / Comments: _____

DEPARTMENTAL REVIEW: General Project Information

COMPLETE STREETS HANDBOOK CHECKLIST

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PEDESTRIAN COMPONENT (Handbook Section 4.3)

12. SIDEWALK: list Sidewalk widths for each street frontage. Required Sidewalk widths are listed in Section 4.3 of the Handbook.

STREET FRONTAGE	TYPICAL SIDEWALK WIDTH (BUILDING LINE TO CURB)			CITY PLAN SIDEWALK WIDTH
	Required	Existing	Proposed	
Chestnut Street	18	18	18	18 / 18
Ludlow Street	10	10	10	10 / 10
_____	___	___	___	___ / ___
_____	___	___	___	___ / ___

13. WALKING ZONE: list Walking Zone widths for each street frontage. The Walking Zone is defined in Section 4.3 of the Handbook, including required widths.

STREET FRONTAGE	WALKING ZONE		
	Required	Existing	Proposed
Chestnut Street	9	9	9
Ludlow Street	5	5	5
_____	___	___	___
_____	___	___	___

14. VEHICULAR INTRUSIONS: list Vehicular Intrusions into the sidewalk. Examples include but are not limited to; driveways, lay-by lanes, etc. Driveways and lay-by lanes are addressed in sections 4.8.1 and 4.6.3, respectively, of the Handbook.

EXISTING VEHICULAR INTRUSIONS

INTRUSION TYPE	INTRUSION WIDTH	PLACEMENT
Curb Cut 1	35.5	Ludlow Street
Curb Cut 2	36.7	Ludlow Street
_____	___	___
_____	___	___

PROPOSED VEHICULAR INTRUSIONS

INTRUSION TYPE	INTRUSION WIDTH	PLACEMENT
Proposed Curb Cut	15.5	Ludlow Street
_____	___	___
_____	___	___

COMPLETE STREETS HANDBOOK CHECKLIST

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PEDESTRIAN COMPONENT (continued)

15. When considering the overall design, does it create or enhance a pedestrian environment that provides safe and comfortable access for all pedestrians at all times of the day? YES NO

DEPARTMENTAL
APPROVAL

YES NO

APPLICANT: Pedestrian Component

Additional Explanation / Comments: _____

DEPARTMENTAL REVIEW: Pedestrian Component

Reviewer Comments: _____

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COMPLETE STREETS HANDBOOK CHECKLIST

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BUILDING & FURNISHING COMPONENT (Handbook Section 4.4)

16. BUILDING ZONE: list the MAXIMUM, **existing and proposed** Building Zone width on each street frontage. The Building Zone is defined as the area of the sidewalk immediately adjacent to the building face, wall, or fence marking the property line, or a lawn in lower density residential neighborhoods. The Building Zone is further defined in section 4.4.1 of the Handbook.

STREET FRONTAGE	MAXIMUM BUILDING ZONE WIDTH Existing / Proposed
Chestnut Street	No Minimum / 5
Ludlow Street	No Minimum / 1.75
_____	____ / ____
_____	____ / ____

17. FURNISHING ZONE: list the MINIMUM, **recommended, existing, and proposed** Furnishing Zone widths on each street frontage. The Furnishing Zone is further defined in section 4.4.2 of the Handbook.

STREET FRONTAGE	MINIMUM FURNISHING ZONE WIDTH Recommended / Existing / Proposed
Chestnut Street	3.5 / 3.5 / 3.5
Ludlow Street	3.5 / 3.5 / 3.5
_____	____ / ____ / ____
_____	____ / ____ / ____

18. Identify proposed "high priority" building and furnishing zone design treatments that are incorporated into the design plan, where width permits (see Handbook Table 1). Are the following treatments identified and dimensioned on the plan?

- Bicycle Parking YES NO N/A
- Lighting YES NO N/A
- Benches YES NO N/A
- Street Trees YES NO N/A
- Street Furniture YES NO N/A

19. Does the design avoid tripping hazards? YES NO N/A

20. Does the design avoid pinch points? Pinch points are locations where the Walking Zone width is less than the required width identified in item 13, or requires an exception YES NO N/A

DEPARTMENTAL APPROVAL

- YES NO
- YES NO
- YES NO
- YES NO
- YES NO

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BUILDING & FURNISHING COMPONENT (continued)

21. Do street trees and/or plants comply with street installation requirements (see sections 4.4.7 & 4.4.8) YES NO N/A YES NO
22. Does the design maintain adequate visibility for all roadway users at intersections? YES NO N/A YES NO

APPLICANT: **Building & Furnishing Component**
Additional Explanation / Comments:

DEPARTMENTAL REVIEW: **Building & Furnishing Component**
Reviewer Comments:

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COMPLETE STREETS HANDBOOK CHECKLIST

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BICYCLE COMPONENT (Handbook Section 4.5)

23. List elements of the project that incorporate recommendations of the Pedestrian and Bicycle Plan, located online at <http://phila2035.org/wp-content/uploads/2012/06/bikePedfinal2.pdf> (68) total class 1A bike parking spaces are located in the buildings. (11) in Building #1. (57) in Building #2.
24. List the existing and proposed number of bicycle parking spaces, on- and off-street. Bicycle parking requirements are provided in The Philadelphia Code, Section 14-804.

BUILDING / ADDRESS	REQUIRED SPACES	ON-STREET		ON SIDEWALK		OFF-STREET	
		Existing	Proposed	Existing	Proposed	Existing	Proposed
Building #1	11	0	0	0	0	11	11
Building #2	57	0	0	0	0	57	57
_____	_____	____/____	____/____	____/____	____/____	____/____	____/____
_____	_____	____/____	____/____	____/____	____/____	____/____	____/____

25. Identify proposed "high priority" bicycle design treatments (see Handbook Table 1) that are incorporated into the design plan, where width permits. Are the following "High Priority" elements identified and dimensioned on the plan?

- Conventional Bike Lane
- Buffered Bike Lane
- Bicycle-Friendly Street
- Indego Bicycle Share Station

- YES NO N/A
- YES NO N/A
- YES NO N/A
- YES NO N/A

DEPARTMENTAL APPROVAL	
YES	NO
<input type="checkbox"/>	<input type="checkbox"/>
YES	NO
<input type="checkbox"/>	<input type="checkbox"/>
YES	NO
<input type="checkbox"/>	<input type="checkbox"/>
YES	NO
<input type="checkbox"/>	<input type="checkbox"/>

26. Does the design provide bicycle connections to local bicycle, trail, and transit networks? YES NO N/A DEPARTMENTAL APPROVAL YES NO
27. Does the design provide convenient bicycle connections to residences, work places, and other destinations? YES NO N/A DEPARTMENTAL APPROVAL YES NO

APPLICANT: Bicycle Component

Additional Explanation / Comments: _____

DEPARTMENTAL REVIEW: Bicycle Component

Reviewer Comments:

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



CURBSIDE MANAGEMENT COMPONENT (Handbook Section 4.6)

28. Does the design limit conflict among transportation modes along the curb? YES NO DEPARTMENTAL APPROVAL YES NO
29. Does the design connect transit stops to the surrounding pedestrian network and destinations? YES NO N/A DEPARTMENTAL APPROVAL YES NO
30. Does the design provide a buffer between the roadway and pedestrian traffic? YES NO N/A DEPARTMENTAL APPROVAL YES NO
31. How does the proposed plan affect the accessibility, visibility, connectivity, and/or attractiveness of public transit? DEPARTMENTAL APPROVAL YES NO

APPLICANT: Curbside Management Component

Additional Explanation / Comments: _____

DEPARTMENTAL REVIEW: Curbside Management Component

Reviewer Comments:

Complete Streets Handbook

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



VEHICLE / CARTWAY COMPONENT (Handbook Section 4.7)

32. If lane changes are proposed, identify existing and proposed lane widths and the design speed for each street frontage;

STREET	FROM	TO	LANE WIDTHS Existing / Proposed	DESIGN SPEED
_____	_____	_____	____/____	_____
_____	_____	_____	____/____	_____
_____	_____	_____	____/____	_____
_____	_____	_____	____/____	_____

- | | | | | | | |
|---|-------|---|--|---|------------------------------|-----------------------------|
| 33. What is the maximum AASHTO design vehicle being accommodated by the design? | SU-30 | YES <input type="checkbox"/> | NO <input type="checkbox"/> | DEPARTMENTAL APPROVAL
YES <input type="checkbox"/> | NO <input type="checkbox"/> | |
| 34. Will the project affect a historically certified street? An inventory of historic streets ⁽¹⁾ is maintained by the Philadelphia Historical Commission. | | YES <input type="checkbox"/> | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> | |
| 35. Will the public right-of-way be used for loading and unloading activities? | | YES <input type="checkbox"/> | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> | |
| 36. Does the design maintain emergency vehicle access? | | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> | |
| 37. Where new streets are being developed, does the design connect and extend the street grid? | | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| 38. Does the design support multiple alternative routes to and from destinations as well as within the site? | | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| 39. Overall, does the design balance vehicle mobility with the mobility and access of all other roadway users? | | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> | |

APPLICANT: Vehicle / Cartway Component
Additional Explanation / Comments: _____

DEPARTMENTAL REVIEW: Vehicle / Cartway Component
Reviewer Comments: _____

(1) http://www.philadelphiastreet.com/images/uploads/documents/Historical_Street_Paving.pdf

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



URBAN DESIGN COMPONENT (Handbook Section 4.8)

- | | | | | | |
|--|---|-----------------------------|---|---|-----------------------------|
| 40. Does the design incorporate windows, storefronts, and other active uses facing the street? | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | DEPARTMENTAL APPROVAL
YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| 41. Does the design provide driveway access that safely manages pedestrian / bicycle conflicts with vehicles (see Section 4.8.1)? | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |
| 42. Does the design provide direct, safe, and accessible connections between transit stops/stations and building access points and destinations within the site? | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | NO <input type="checkbox"/> |

APPLICANT: Urban Design Component
Additional Explanation / Comments: _____

DEPARTMENTAL REVIEW: Urban Design Component
Reviewer Comments: _____

Complete Streets Handbook

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



INTERSECTIONS & CROSSINGS COMPONENT (Handbook Section 4.9)

43. If signal cycle changes are proposed, please identify Existing and Proposed Signal Cycle lengths; **if not, go to question No. 48.**

SIGNAL LOCATION	EXISTING CYCLE LENGTH	PROPOSED CYCLE LENGTH
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

- | | YES | NO | N/A | DEPARTMENTAL APPROVAL |
|---|--------------------------|--------------------------|-------------------------------------|--|
| 44. Does the design minimize the signal cycle length to reduce pedestrian wait time? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 45. Does the design provide adequate clearance time for pedestrians to cross streets? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 46. Does the design minimize pedestrian crossing distances by narrowing streets or travel lanes, extending curbs, reducing curb radii, or using medians or refuge islands to break up long crossings?
<i>If yes, City Plan Action may be required.</i> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 47. Identify "High Priority" intersection and crossing design treatments (see Handbook Table 1) that will be incorporated into the design, where width permits. Are the following "High Priority" design treatments identified and dimensioned on the plan? | | | | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| ▪ Marked Crosswalks | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| ▪ Pedestrian Refuge Islands | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| ▪ Signal Timing and Operation | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| ▪ Bike Boxes | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 48. Does the design reduce vehicle speeds and increase visibility for all modes at intersections? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 49. Overall, do intersection designs limit conflicts between all modes and promote pedestrian and bicycle safety? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |

APPLICANT: Intersections & Crossings Component

Additional Explanation / Comments: _____

DEPARTMENTAL REVIEW: Intersections & Crossings Component

Reviewer Comments: _____

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



ADDITIONAL COMMENTS

APPLICANT

Additional Explanation / Comments: _____

DEPARTMENTAL REVIEW

Additional Reviewer Comments: _____

Sustainability Checklist

Civic Sustainable Design Checklist – Updated September 3, 2019

Civic Design Review Sustainable Design Checklist

Sustainable design represents important city-wide concerns about environmental conservation and energy use. Development teams should try to integrate elements that meet many goals, including:

- Reuse of existing building stock
- Incorporation of existing on-site natural habitats and landscape elements
- Inclusion of high-performing stormwater control
- Site and building massing to maximize daylight and reduce shading on adjacent sites
- Reduction of energy use and the production of greenhouse gases
- Promotion of reasonable access to transportation alternatives

The Sustainable Design Checklist asks for responses to specific benchmarks. These metrics go above and beyond the minimum requirements in the Zoning and Building codes. All benchmarks are based on adaptations from Leadership in Energy and Environmental Design (LEED) v4 unless otherwise noted.

Categories	Benchmark	Does project meet benchmark? If yes, please explain how. If no, please explain why not.
Location and Transportation		
(1) Access to Quality Transit	Locate a functional entry of the project within a ¼-mile (400-meter) walking distance of existing or planned bus, streetcar, or rideshare stops, bus rapid transit stops, light or heavy rail stations.	Half Block walking distance to Septa Bus #21 & #52 stops. Located 1 block from Market Street subway station MFL. Located within /TOD overlay
(2) Reduced Parking Footprint	All new parking areas will be in the rear yard of the property or under the building, and unenclosed or uncovered parking areas are 40% or less of the site area.	No Parking onsite is proposed, paving onsite is minimized to walking paths & shared truck loading zone
(3) Green Vehicles	Designate 5% of all parking spaces used by the project as preferred parking for green vehicles or car share vehicles. Clearly identify and enforce for sole use by car share or green vehicles, which include plug-in electric vehicles and alternative fuel vehicles.	N/A-no parking onsite proposed
(4) Railway Setbacks (Excluding frontages facing trolleys/light rail or enclosed subsurface rail lines or subways)	To foster safety and maintain a quality of life protected from excessive noise and vibration, residential development with railway frontages should be setback from rail lines and the building's exterior envelope, including windows, should reduce exterior sound transmission to 60dBA. (If setback used, specify distance) ⁱ	N/A- project is not located adjacent to any railway ROW or buffer zones
(5) Bike Share Station	Incorporate a bike share station in coordination with and conformance to the standards of Philadelphia Bike Share.	No, but open to suggestions/ incorporation

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Civic Sustainable Design Checklist – Updated September 3, 2019

Water Efficiency		
(6) Outdoor Water Use	Maintain on-site vegetation without irrigation. OR, Reduce of watering requirements at least 50% from the calculated baseline for the site's peak watering month.	Partially, Green roof provided for stormwater management purposes & recollection of water to be used for green roof & site irrigation
Sustainable Sites		
(7) Pervious Site Surfaces	Provides vegetated and/or pervious open space that is 30% or greater of the site's Open Area, as defined by the zoning code. Vegetated and/or green roofs can be included in this calculation.	Yes green roof, landscape buffer & impervious areas onsite comprise more than 30% of the total open area space onsite.
(8) Rainwater Management	Conform to the stormwater requirements of the Philadelphia Water Department(PWD) and either: A) Develop a green street and donate it to PWD, designed and constructed in accordance with the PWD Green Streets Design Manual, OR B) Manage additional runoff from adjacent streets on the development site, designed and constructed in accordance with specifications of the PWD Stormwater Management Regulations	Yes, B - Green roof / stormwater conceptual approval provided to show PWD approved means & methods for onsite water runoff & management regulations.
(9) Heat Island Reduction (excluding roofs)	Reduce the heat island effect through either of the following strategies for 50% or more of all on-site hardscapes: A) Hardscapes that have a high reflectance, an SRI>29. B) Shading by trees, structures, or solar panels.	Yes, A - Hardscapes w/ high reflectance
Energy and Atmosphere		
(10) Energy Commissioning and Energy Performance - Adherence to the New Building Code	PCPC notes that as of April 1, 2019 new energy conservation standards are required in the Philadelphia Building Code, based on recent updates of the International Energy Conservation Code (IECC) and the option to use ASHRAE 90.01-2016. PCPC staff asks the applicant to state which path they are taking for compliance, including their choice of code and any options being pursued under the 2018 IECC. ⁱⁱ	Yes, Building shall meet required 2018 IECC energy codes as it relates to Comcheck building envelope & MEP design in accordance w/ 2018 IBC code mandated minimum energy insulative values.
(11) Energy Commissioning and Energy Performance - Going beyond the code	Will the project pursue energy performance measures beyond what is required in the Philadelphia code by meeting any of these benchmarks? ⁱⁱⁱ •Reduce energy consumption by achieving 10% energy savings or more from an established baseline using	Yes, design team shall evaluate the use of LED lighting, sensor based lighting both interior & exterior locations.

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Sustainability Checklist

Civic Sustainable Design Checklist – Updated September 3, 2019

	ASHRAE standard 90.1-2016 (LEED v4.1 metric). <ul style="list-style-type: none"> •Achieve certification in Energy Star for Multifamily New Construction (MFNC). •Achieve Passive House Certification 	
(12) Indoor Air Quality and Transportation	Any sites within 1000 feet of an interstate highway, state highway, or freeway will provide air filters for all regularly occupied spaces that have a Minimum Efficiency Reporting Value (MERV) of 13. Filters shall be installed prior to occupancy. ^{iv}	Yes
(13) On-Site Renewable Energy	Produce renewable energy on-site that will provide at least 3% of the project's anticipated energy usage.	No
Innovation		
(14) Innovation	Any other sustainable measures that could positively impact the public realm.	Proposal includes green roof & various areas of grass & landscape buffering, in addition to yard trees. The addition of landscaping is a net positive as the existing site is currently all paved

ⁱ Railway Association of Canada (RAC)'s "Guidelines for New Development in Proximity to Railway Operations. Exterior Sound transmission standard from LEED v4, BD+C, Acoustic Performance Credit.

ⁱⁱ Title 4 The Philadelphia Building Construction and Occupancy Code
 See also, "The Commercial Energy Code Compliance" information sheet:
<https://www.phila.gov/li/Documents/Commercial%20Energy%20Code%20Compliance%20Fact%20Sheet--Final.pdf>

and the "What Code Do I Use" information sheet:
<https://www.phila.gov/li/Documents/What%20Code%20Do%20I%20Use.pdf>

ⁱⁱⁱ LEED 4.1, Optimize Energy Performance in LEED v4.1
 For Energy Star: www.energystar.gov
 For Passive House, see www.phius.org

^{iv} Section 99.04.504.6 "Filters" of the City of Los Angeles Municipal Code, from a 2016 Los Angeles Ordinance requiring enhanced air filters in homes near freeways