

ADDRESS: 242 CHRISTIAN ST

Proposal: Legalize door and basement entrance
Review Requested: Final Approval
Owner: Olymphina Hankinson
Applicant: Jason Ferreira, Superior Consulting Agency
History: 1820
Individual Designation: 5/31/1966
District Designation: None
Staff Contact: Kim Chantry, kim.chantry@phila.gov

OVERVIEW: This application proposes to legalize work performed without a building permit or Historical Commission's review and approval. The work includes the addition of an excavated front basement entrance with railing, steps and a door, and the build-down and installation of a front entry door. In 2022 and 2023, the Department of Licenses and Inspections issued several violations and a stop work order for unpermitted basement excavation and enlarging of openings at the rear. In April 2024, a consultant working for the property owner submitted this application seeking to legalize the unpermitted work. The front façade of 242 Christian Street has been without original or historically appropriate windows and doors since at least 1956, prior to historic designation, based on a photograph from that year.

SCOPE OF WORK:

- Legalize basement entrance and front door replacement.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
 - The construction of the basement entry removed historic material and altered historic features and spaces. The replacement of the front door with a smaller door in a built-down opening altered historic features and spaces. The work does not satisfy Standard 2.
- *Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
 - The replacement of the front door with a smaller door in a built-down opening does not satisfy Standard 6. The new door does not replicate the historically appropriate door.

STAFF RECOMMENDATION: Denial of the legalization of the basement entry and replacement front door, pursuant to Standards 2 and 6. Approval of the basement entry if the basement door is replaced with a door that references the historic basement window and the basement window is replaced with a historically appropriate window, with the staff to review details, pursuant to Standard 6. The staff can approve a historically appropriate front door, if such a door is proposed.



Figure 1. 240 and 242 Christian Street, 1956. Source: Phillyhistory.org.



Figure 2. 238-242 Christian Street, 1963. Source: PHC.

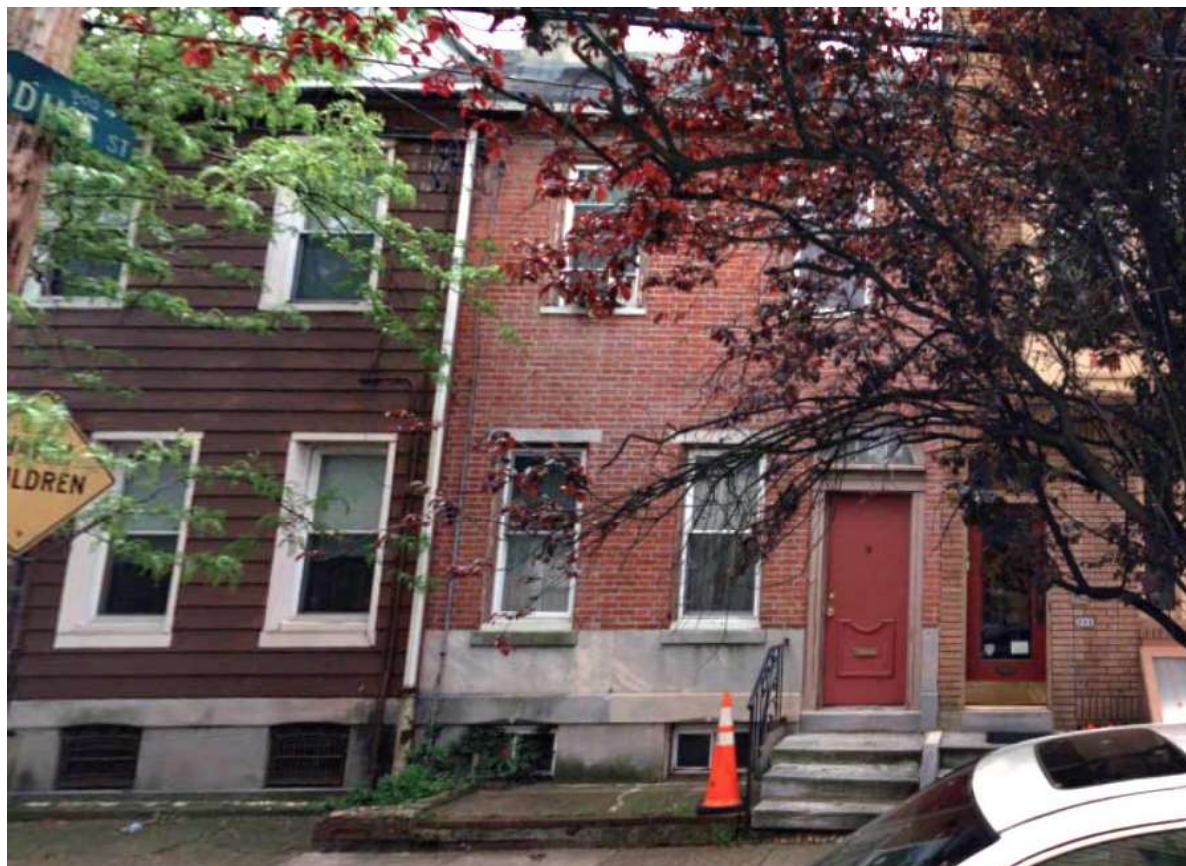


Figure 3. 242 Christian Street, 2020. Source: Cyclomedia.



Figure 4. 242 Christian Street, 2022. Source: Cyclomedia.



Figure 5. 242 Christian Street, showing new entry door. May 2024.



Figure 6. 242 Christian Street, showing new entry door. May 2024.

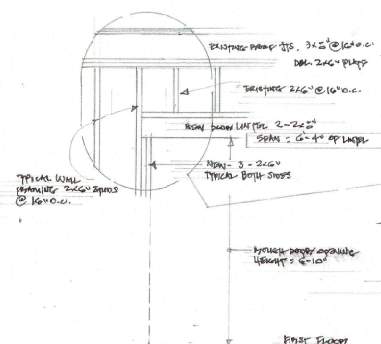


Figure 7. 242 Christian Street, showing basement entrance. May 2024.

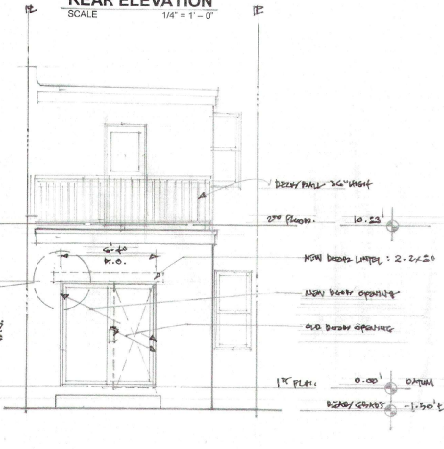


Figure 8. 242 Christian Street, showing basement entrance. May 2024.

NEW DOOR FRAMING ENLARGED
SCALE 1/2" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"



PROJECT DATA

PROJECT ADDRESS:

242 CHRISTIAN STREET
PHILADELPHIA, PA 19147 - 4245

OWNER:

OLYMPIA HANKINSON
242 CHRISTIAN STREET
PHILADELPHIA, PA 19147 - 4245

DESCRIPTION OF PREMISE:

PREMISE IS A THREE-STORY ROW MASONRY BUILDING WITH BASEMENT... A ONE-FAMILY DWELLING. PREMISE HAS BEEN VIOLATED... CASE # CF-2022-105349 FOR UNAUTHORIZED UNDERPINNING AND ENLARGEMENT OF EXTERIOR DOOR. FOR UNAUTHORIZED UNDERPINNING AT THE BASEMENT REAR IN AN AREA USE FOR OPENING SAID UNDERPINNING IS BENEATH A FOUNDATIONAL WALL ACCESSORY STORAGE. THE UNDERPINNING IS BENEATH A FOUNDATIONAL WALL THAT IS NOT SHARED BY AN ADJACENT BUILDING AND NOT AT A PROPERTY LINE. THIS APPLICATION SEEKS TO LEGALIZE THAT UNDERPINNING SAID DOOR OPENING WAS COMPLETED WITH DOOR INSTALL... FRAMING DETAIL IS INCLUDED IN THESE PLANS.

APPLICABLE CODES:

2019 INTERNATIONAL BUILDING CODE

CONSTRUCTION TYPE: III - B
USE GROUP: R - 3

ZONING CLASSIFICATION: RSA-5 RESIDENTIAL SINGLE FAMILY ATTACHED-3

GENERAL OBJECTIVE OF APPLICATION:

ACQUISITION OF BUILDING PERMIT FOR UNAUTHORIZED UNDERPINNING AND WIDENING OF DOOR OPENING AS PER VIOLATION # CF-2022-105349.

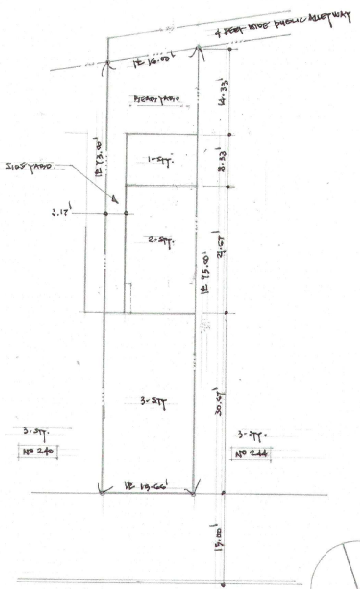
ALL WORK, MATERIALS, AND INSTALLATIONS SHALL BE IN STRICT ACCORDANCE WITH ALL OCCUPANCIES, STATE, AND LOCAL BUILDING CODES, AND THE INTERNATIONAL BUILDING CODE (IBC 2019), AND THE INTERNATIONAL RESIDENTIAL CODE (IRC 2019) AS ADOPTED BY THE STATE OF PENNSYLVANIA.

(BC 2018) (IRC 2018)

ZONING CLASSIFICATION RSA-5
LAND AREA: 1,182 SF

3-STY.
SUBJECT PREMISE
NO. 242

3-STY.
NO. 244



CHRISTIAN STREET 60 FEET WIDE [15-30-15]

SITE PLAN
SCALE 1" = 10'



PHOTO - 1 PREMISE FRONT

GENERAL SCOPE OF WORK

1. PREMISES WAS VIOLATED (CF-2022-105349) FOR UNDERPINNING AT REAR BASEMENT STORAGE AREA. THE OBJECTIVE OF THE UNDERPINNING WAS TO EXPAND THE STORAGE AREA... SEE SHEET A-2 BASEMENT PLAN VIEW. THE DESIGN HEREIN DEPICTED IS FOR THE ENTIRE EXTENT OF UNDERPINNING BOTH EXISTING (UNAUTHORIZED) AND PROPOSED. THE EXISTING PORTION HAS BEEN IN PLACE FOR MORE THAN A YEAR. THE WALL TO WHICH THAT UNDERPINNING WAS APPLIED IS STABLE AND THERE HAS BEEN NO APPARENT MOVEMENT. PHOTOGRAPH RECORDS SHOWING INSTALLED STEEL REINFORCEMENT MATCHING THE DESIGN HEREIN.
2. CONTRACTOR SHALL INSTALL/CONSTRUCT THE PROPOSED REMAINDER OF UNDERPINNING AS PER SHEET A-3 ADHERING TO THE SEQUENCING OF INSTALLMENTS WITHOUT DEPARTURE.
3. CONTRACTOR SHALL INSTALL/CONSTRUCT THE CONCRETE SLAB FLOOR ADHERENT TO SHEET A-3.
4. THE EXTERIOR DOOR OPENING AT THE FIRST LEVEL REAR WAS ENLARGED TO INSTALL A 6-FOOT WIDE SLIDING GLASS DOOR. SEE FRAMING DETAIL AT SHEET WALL FRAMING EXPOSED FROM INTERIOR SIDE ENABLED VERIFICATION OF DOOR OPENING WOOD FRAMED SYSTEM INCLUDING LINTEL AND LINTEL SUPPORT. SEE REAR ELEVATION VIEW AND DOOR FRAMING ENLARGEMENT AT SHEET A-1.

GENERAL NOTES:

REVISIONS:

DATE	DESCRIPTION	MARK

SEAL:

SEAL:



PROJECT NAME AND ADDRESS:
MAKE SURE REAR AND ALTERNATIONS AND UNDERPINNING IS IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC 2019) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC 2019) AS ADOPTED BY THE STATE OF PENNSYLVANIA.
OWNER:
OLYMPIA HANKINSON
242 CHRISTIAN STREET
PHILADELPHIA, PA 19147-4245

Contact: emahd@sez.com

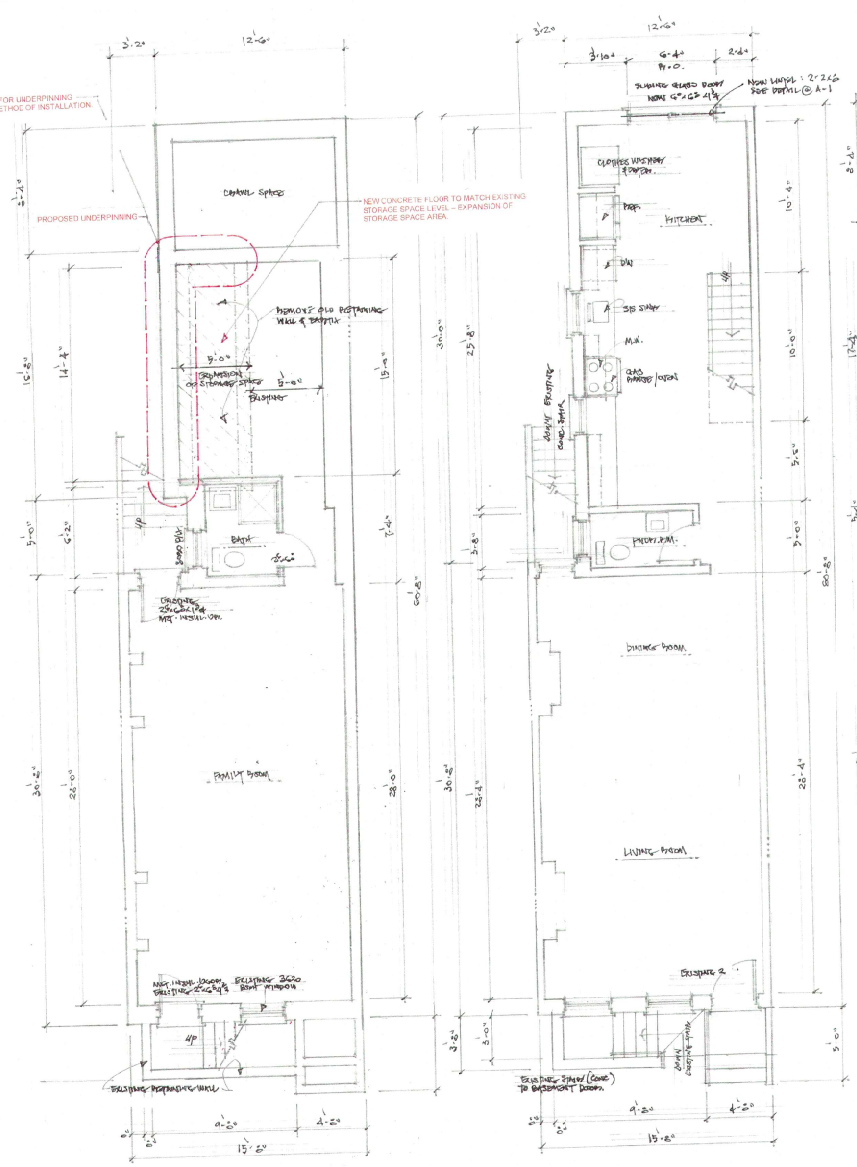
SEZ Engineering, LLC
1705 Belmont Pike
Philadelphia, PA 19128
813-428-1500

Mahdi Drafting and Construction Management
25 Latham Parkway, Moorestown, PA 19067-2707-5493129

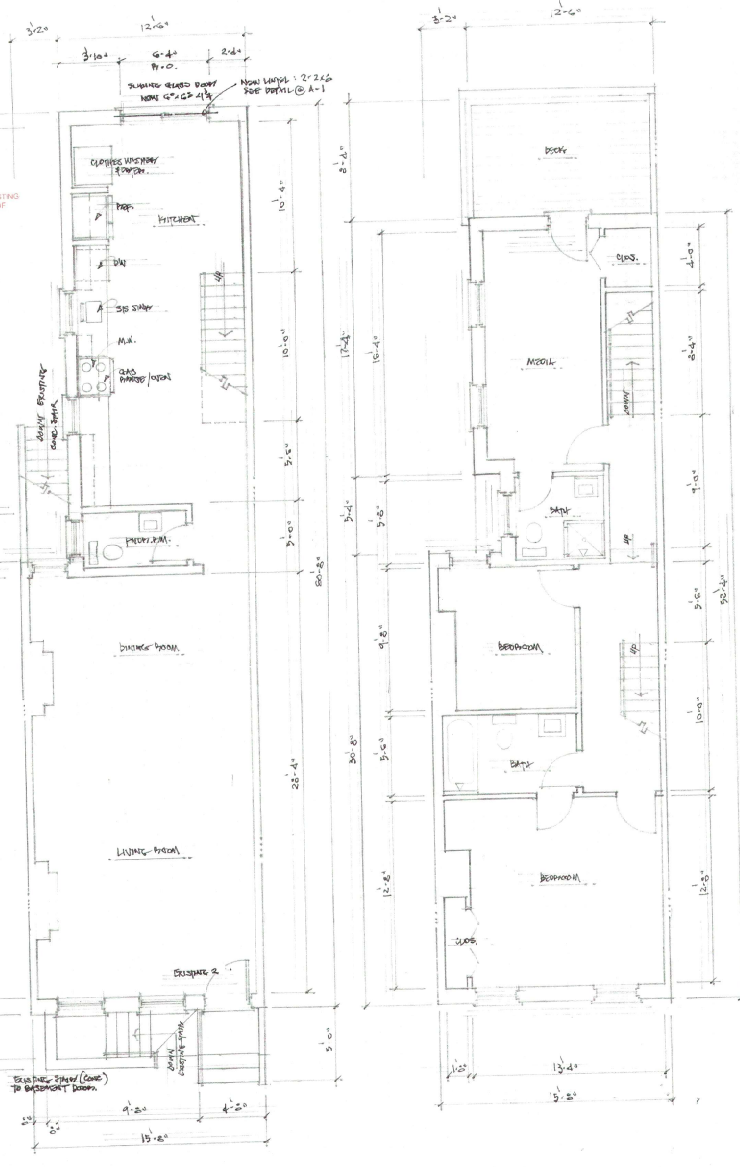
PROJECT NO. 23-04-24
DATE: 24 APRIL 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: AM
CHECKED BY: JBY

DRAWING NO.
A-1
SHT. 1 OF 3

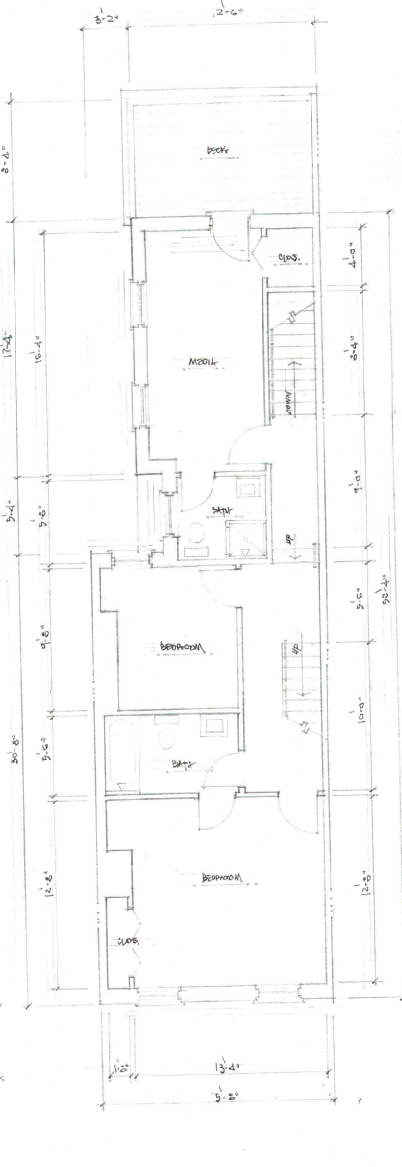
SEE SHEET A-3 FOR UNDERPINNING DETAILS AND METHOD OF INSTALLATION



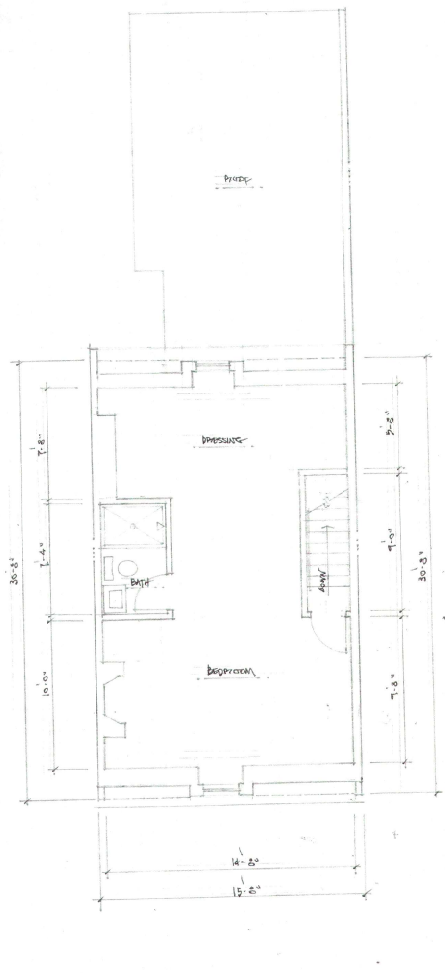
BASEMENT PLAN
SCALE 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



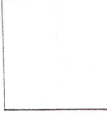
THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"

GENERAL NOTES:

REVISIONS:

DATE	DESCRIPTION	MARK

SEAL:



SEAL:



PROJECT NAME AND ADDRESS:
 1705 Baiter Pike, Conshohocken, PA 19028
OWNER:
 M&H Drilling and Construction Management
 25 Latham Parkway, Ambrose Park, PA 19027-287-5483119

PROJECT NAME AND ADDRESS:
 1705 Baiter Pike, Conshohocken, PA 19028
OWNER:
 M&H Drilling and Construction Management
 25 Latham Parkway, Ambrose Park, PA 19027-287-5483119

PROJECT NO. 52-01204
 DATE: 07/20/2023
 SCALE: A-S (30x31)
 DRAWN BY: JSM
 CHECK BY: JSM

DRAWING NO. **A-2**
 SHT. 2 OF 3

GENERAL NOTES
1.0 GENERAL

- ALL NOTES ARE TYPICAL UNLESS NOTED OTHERWISE.
- ALL WORK SHALL CONFORM TO THE CURRENTLY ENFORCED EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC 2003) AND TO ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- WORK NOT INDICATED ON A DRAWING IS TO BE PERFORMED AS REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES, SIZE BEING NOTED.
- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISIONS SHALL GOVERN.
- THE STRUCTURAL DRAWINGS ARE FOR THE PLACEMENT AND SIZE OF STRUCTURAL COMPONENTS ONLY. REQUIREMENTS MADE BY OWNER AND ALL OTHER APPLICABLE SAFETY CODES ARE TO BE OBSERVED AND PROVIDED BY THE CONTRACTOR.
- CONTRACTOR SHALL CONSIDER DESIGN SHOWN ON THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
- CONTRACTOR SHALL VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE.
- IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL PROVIDE FOR UNDERPINNING AS REQUIRED DURING EXCAVATION AND CONSTRUCTION.
- WHERE ALTERATIONS INVOLVE AN EXISTING SUPPORTING STRUCTURE, THE CONTRACTOR SHALL PROVIDE SHORING AND PROTECTION REQUIRED TO ENSURE THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE.
- BRACING, SHIELDING, SHORING, ETC. REQUIRED TO SUPPORT EXISTING BEAMS, JOISTS, SILLING, UTILITY, ETC., SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE. CONTRACTOR DETAILED SHOP DRAWINGS SHALL BE PREPARED INDICATING ALL WORK TO BE PERFORMED.
- NO ONE SHALL HEAVY EQUIPMENT BE PERMITTED ALONG WITHIN 8'-0" FROM ANY FOUNDATION WALL. IF IT IS NECESSARY TO OPERATE SUCH EQUIPMENT CLOSER THAN 8'-0" TO THE WALL, THE CONTRACTOR SHALL BE THE SOLE RESPONSIBLE PARTY AND, AT HIS OWN EXPENSE, SHALL PROVIDE ADEQUATE SUPPORTS OR BRACE THE WALL TO WITHSTAND THE ADDITIONAL LOADS SUPERIMPOSED FROM SUCH EQUIPMENT.
- USE OF CONSTRUCTION DOCUMENTS AS ERECTION OR SHOP DRAWINGS IF THE CONTRACTOR IS EXPRESSLY PREVENTED.
- NO BLASTING SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL.

10 DESIGN LOADS

FLOOR LIVE LOAD:	40 PSF
ROOF LIVE LOAD:	20 PSF
ROOF SNOW LOAD:	20 PSF
WIND LOAD:	
V	(3 SECOND GUST) 15 MPH
EXPOSURE	B
FMWS	20 PSF
F (10%)	25 PSF
EARTHQUAKE DESIGN DATA:	
SEISMIC USE GROUP	II
SOI	15R
SOI	LOTT
SITE CLASS	GROUP 1
BASE SEISMIC PERFORMANCE CATEGORY	DOES NOT EXCEED
DESIGN BASE SHEAR ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE

3.0 EARTHWORK

- REMOVE UNSUITABLE SOILS ENCOUNTERED DURING EXCAVATION FOR FOUNDATIONS. GRAVEL THESE EXCAVATIONS AND RESS REQUIRED STRUCTURAL FILL WITH CLEAN M.M. OR BETTER BORROW FROM ASTM D 2875 FRACTION # 9 MAXIMUM UTIL. CONTACT FOR MAXIMUM DRY DENSITY AS DETERMINED BY THE MOISTURE PROBABLY TEST (ASTM E 1557). IF APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER, SUITABLE ON-SITE SOIL MAY BE USED IN LIEU OF SELECT BORROW.
- ONLY PREDETERMINED QUANTITIES SHALL BE USED OF GRADING AND OTHER DELIVERABLE MATERIALS, COMPLETELY PASSING A #20 SIEVE AND WITH LESS THAN 3% PASSING A #40, 20% SIEVE MAY BE USED AS RETAINING WALL OR BACKFILL SHALL BE SUFFICIENT.
- EXCAVATION SHALL BE PERFORMED SO AS NOT TO DISTURB EXISTING ADJACENT BUILDINGS, STREETS AND UTILITY LINES. VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. HAND FORWARD AROUND UTILITIES AS REQUIRED. DO NOT SHOULDER UNTIL BACKFILL OR RETAINING WALLS HAVE ATTAINED 75% OF SPECIFIED 28-DAY DESIGN STRENGTH.

4.0 FOUNDATIONS

- FOUNDATIONS HAVE BEEN DESIGNED BASED UPON A PRESUMED MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2300 PSF. PRIOR TO UNDERPINNING AND FOOTING CONCRETE PLACEMENT THE FOOTING SURFACE SHALL BE APPROVED BY A LICENSED GEOTECHNICAL ENGINEER. IF CONDITIONS PROVE TO BE UNACCEPTABLE AT EXCAVATED INDICATED FOOTINGS SHALL BE ENLARGED OR LOADED TO ACCEPTABLE SUBGRADE MATERIAL. ALL OVER-EXCAVATIONS WITH LEAN CONCRETE OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- PRIOR TO FOOTING CONCRETE UNDERPINNING AND PLACEMENT, THE REGISTERED ENGINEER SHALL APPROVE THE FOOTING UNDERPINNING. CONDITIONS PROVE TO BE UNACCEPTABLE AT EXCAVATED INDICATED FOOTINGS SHALL BE ENLARGED OR LOADED TO ACCEPTABLE SUBGRADE MATERIAL. FILL OVER-EXCAVATION WITH LEAN CONCRETE (2500 PSF) OR AS DIRECTED BY GEOTECHNICAL ENGINEER.
- THE BOTTOM OF EXISTING FOOTINGS SHALL BE A MINIMUM OF THREE (3) FEET BELOW FINISHED GRADE.
- SLABS ON GROUND SHALL BEAR ON MECHANICALLY COMPACTED SOIL CAPABLE OF SUPPORTING 300 PSF. DRAINAGE FILL UNDER SLABS SHALL BE COMPACTED SAND AND GRAVEL OR CRUSHED STONE.
- UNLESS OTHERWISE NOTED ON DETAIL, ALL FOUNDATIONS SHALL BE LOCATED SUCH THAT THE CENTERLINE OF FOOTING IS ALSO THE CENTERLINE OF WALL, PIER, OR COLUMN.

BUILDING USE GROUP 1-3 CONSTRUCTION TYPE II-B

5.0 SHEETING AND SHORING

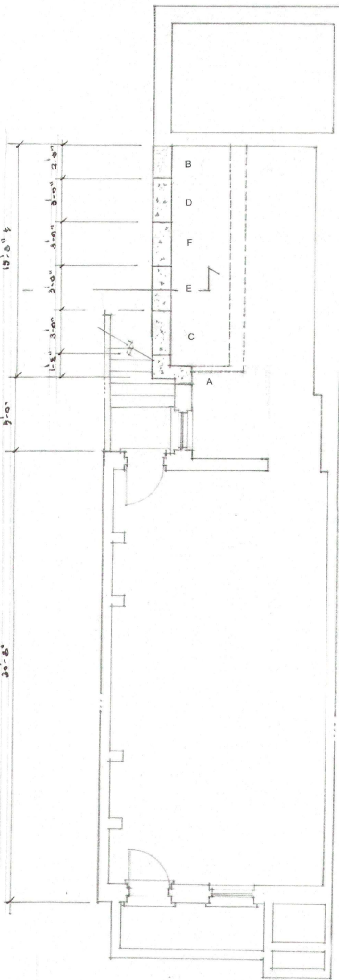
- SHORING AND EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH OSHA REGULATIONS AND SUBMITTED FOR OUR REVIEW DURING CONSTRUCTION.
- STRUCTURAL STEEL SHEET PILES AND RELATED ACCESSORIES SHALL CONFORM TO ASTM A33. WELDING ELECTRODES SHALL BE E70.
- WOOD LAGGING SHALL BE ROUND-CUT UNGRADED CONSTRUCTION GRADE LUMBER WITH A MINIMUM ALLOWABLE F.T.W.P. STRESS OF 1,200 PSI.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.

6.0 CONCRETE

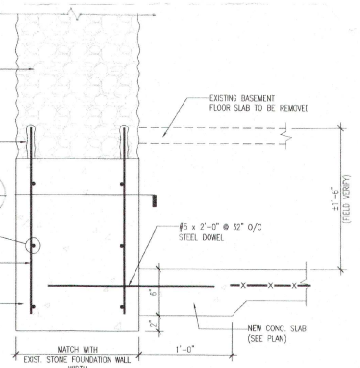
- CONCRETE SHALL BE REINFORCED, DETAILED AND CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR STRUCTURE, CONCRETE, ACI 318, AND THE MANUAL OF STANDARD PRACTICE.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE 28 DAY STRENGTH AS FOLLOWS:

TYPE	F _C (PSI)
FOOTINGS	3,000
PIERS	4,000
SLABS	4,000

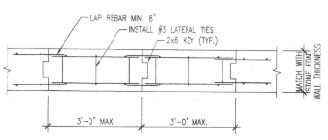
- AN ENTRAINMENT AS TO OR IN ALL EXPOSED CONCRETE.
- ALL CONCRETE SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C150. AGGREGATE SHALL CONFORM TO ASTM C33.
- CONCRETE ADMIXTURES SHALL BE USED TO FACILITATE CONCRETE PLACEMENT, AND OPTIMIZE PLACING CONDITIONS OR ASSIST IN ATTAINING SPECIFIED CONCRETE QUALITY. ADMIXTURES SHALL HAVE LESS THAN 1.0% CHLORIDE IONS. AN ENTRAINMENT PER ASTM C240. WATER REDUCER/ACCELERATOR FOR ASTM C494, TYPE C OR E WATER REDUCER/RETARDER FOR ASTM C494, TYPE B OR D SUPERPLASTICIZER PER ASTM C494, TYPE F OR G.
- CONCRETE MIXES SHALL BE PROPORTIONED PER SECTION 5.07 OF 2011-12 CERTIFIED HISTORICAL TEST DATA SHALL BE AS BASIS FOR EACH MIX DESIGN. DEVIATIONS SHALL BE SUBSTANTIATED WITH ADDITIONAL TESTS THAT MEETING ALL REQUIREMENTS. SUBMIT MIX DESIGN HISTORICAL DATA OR TEST MIX RESULTS FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- REINFORCING STEEL ASTM A 615 GRADE 60.
- PROVIDE DOWELS INTO FOOTINGS TO MATCH SIZE AND SPACING OF VERTICAL WALL REINFORCING.
- WELDED WIRE FABRIC (W.W.F.) ASTM A 95.
- SAB-ON-GRADE: LOCATE REINFORCING 1" FROM TOP OF SLAB. UNLESS NOTED OTHERWISE: PLACE SLAB ON 1/2" W.P. POLYETHYLENE SHEET BARRIER AND 4" AGGREGATE BASE. PROVIDE CONTROL JOINTS AS SHOWN, MAXIMUM 20' ON CENTER, MAXIMUM 2-1' LEAST 1/4" WIDE. MAX. CUT TO 1" BELOW TOP OF SLAB. PROVIDE FULL DEPTH 4" PRE-CAST INSULATION CONT. BETWEEN SLAB AND WALLS, PIERS, AND OTHER VERTICAL FACES. PLACE (2) #4 REINFORCING BARS - BELOW SURFACE 2" AWAY AT ALL 90-Degree CORNERS. PLACE AND FINISH SLAB OR CLASS FT-30 AND FL-25.



1 A3 EXISTING FOUNDATION UNDERPINNING DETAIL
SCALE: 1/2" = 1'-0"



1 A3 UNDERPINNING SEQUENCING DETAIL
SCALE: 1/2" = 1'-0"



GENERAL NOTES:

REVISIONS	DATE	DESCRIPTION	SCALE

SCALE:

SCALE:

PROJECT NAME AND ADDRESS:
1705 Butler Pike, Conowingo, PA 13628
610-628-1550
OWNER:
OCEANVIEW MANOR
2400 OCEANVIEW DRIVE
PARKERSBURG, WEST VIRGINIA 26104-2418

Contact: ambliss@sezeinc.com
SEZ Engineering, LLC
1705 Butler Pike, Conowingo, PA 13628
610-628-1550
Mehdi Dabbaghi and Construction Management
25 Sutterbury, Jackson Park, PA 13627-250-9521D

PROJECT NO. 23-449
DATE: 24 April 2023
DRAWN BY: JM
CHECK BY: TDW

DRAWING NO.
A-3
SHT. 3 OF 3