ADDRESS: 2040 CHRISTIAN ST

Proposal: Convert church to residential building

Review Requested: Final Approval

Owner: 2040 Christian Street LLC/Tierview Development, Inc.

Applicant: Ian Toner, Toner Architects

History: 1870; Church of the Holy Apostles, Shiloh Baptist Church;

2030-38 Christian Street: 1903; Richard Newton Memorial Building; Duhring, Okie & Ziegler 2040 Christian Street: 1870; Church of the Holy Apostles, Shiloh Baptist Church; Frazer,

Furness & Hewitt; tower added, 1901, G.W. & W.D. Hewitt

Individual Designation: 11/6/1980

District Designation: None

Staff Contact: Kim Chantry, kim.chantry@phila.gov

OVERVIEW: This application proposes to convert the former Church of the Holy Apostles, later Shiloh Baptist Church, and associated buildings to multi-unit residential use. Of the five buildings on the site, four are designated as historic, having been constructed and altered between 1868 and 1903. Fronting onto Montrose Street at the rear, the Phillips Brooks Memorial Building, to be known as the Boy Scout Building, is not designated as historic.

The proposed exterior scope includes masonry repair and replacement, construction of an ADA ramp, insertion of skylights and dormers, and replacement of windows. New clear glazed aluminum windows are proposed in all locations where apartment units are located, including the church and Richard Newton Memorial Building. The main entryway of the complex adjacent to the Richard Newton Memorial Building is proposed to retain its existing leaded glass, as is the existing rose window at the narthex of the church.

At its 10 November 2023 meeting, the Historical Commission reviewed an in-concept application for a nearly identical scope of work and voted to approve the application in-concept, pursuant to Standards 2 and 9, and the Accessibility Guideline Recommendation. The only design change to this application for final approval is the addition of a door in the non-historic one-story addition on the Richard Newton Memorial Building. This application has also been supplemented with window color samples.

SCOPE OF WORK:

- Convert church complex buildings to residential use.
- Replace windows.
- Insert skylights and dormers.
- Replace asphalt shingles with Slateline asphalt shingles.
- Repair and replace masonry.
- Construct ADA ramp.
- Demolish non-historic one-story addition at rear of church.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
 - The proposed scope retains and preserves the overall historic character of the church complex.
- Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be

differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- The exterior scope proposed to convert the buildings to residential use is minimal. The stained glass is being retained where possible. The stained glass which is to be removed shall be framed and backlit in display installations within the corridors of the building.
- Accessibility Guideline | Recommended: Complying with barrier-free access requirements in such a manner that the historic building's character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting are preserved or impacted as little as possible.
 - The proposed ADA ramp allows for retention of and access through historic entrance doors.

STAFF RECOMMENDATION: Approval, pursuant to Standards 2, 9, and the Accessibility Guideline recommendation.

APPLICATION FOR BUILDING PERMIT



CITY OF PHILADELPHIA DEPARTMENT OF LICENSES AND INSPECTIONS MUNICIPAL SERVICES BUILDING - CONCOURSE

1401 JOHN F. KENNEDY BOULEVARD PHILADELPHIA, PA 19102
For more information visit us at www.phila.gov

DATE:____ / 10

2024

ADDRESS OF PROPOSED CONSTRUCTION

2030-50 Christian St

2030-50 Uninstian St				
APPLICANT: Ian Toner AC #3839394	APPLICANT'S ADDRESS: 1901 South 9th Street, Room 425			
COMPANY NAME: Toner Architects	Philadelphia, PA 19148			
PHONE # 215 800 1968 FAX #	LICENSE #490460	ian@tonerarch.com		
PROPERTY OWNER'S NAME:	PROPERTY OWNER'S ADDRI	ESS:		
Tierview Development, Inc.	1357 Ridge Avenue			
PHONE # 267 551 1215 FAX #	Philadelphia PA, 19123			
ARCHITECT / ENGINEER IN RESPONSIBLE CHARGE:	ARCHITECT / ENGINEERING FIRM ADDRESS:			
Ian Toner	1901 S 9th St, Room 4	25		
ARCHITECT / ENGINEERING FIRM:	Philadelphia, PA 19148	3		
Toner Architects	400460	ian@tonerarch.com		
PHONE # 215 800 1968 FAX #	LICENSE # 490460 CONTRACTING COMPANY AI	E-MAIL:		
TBD	N/A	DDRESS:		
CONTRACTING COMPANY:	<u>IN/A</u>			
TBD				
	LIOTNOT "	E		
PHONE # FAX # USE OF BUILDING / SPACE:	LICENSE #	E-MAIL: ESTIMATED COST OF WORK		
Multi-unit residential		\$TBD		
BRIEF DESCRIPTION OF WORK:				
Conversion of former church and rectory comp	lex into a total of 87 resi	dential units, with all		
supporting functions. Exterior work shall consi	st of replacing all windov	vs per elevations,		
adding dormers at new 3rd floor level inserted	within the former church	n and sunday school,		
repair and replacement of damaged masonry,	new exterior structural w	all at sunday school		
building, and insertion of new floors within volu	umes of existing building	S.		
All materials and selections to be approved by				
7 iii matemate and colections to be approved by	1110 010111			
TOTAL AREA UNDERGOING CONSTRU	ction: 80,577	square feet		
COMPLETE THESE ITEMS IF APPLICABLE TO THIS APPLICATION				
# OF NEW SPRINKLER HEADS (suppression system permits only):	LOCATION OF SPRINKLERS	S:		
# OF NEW REGISTERS / DIFFUSERS (have / ductwork permits only): LOCATION OF STANDPIPES:				
IS THIS APPLICATION IN RESPONSE TO A VIOLATION? V	O YES VIOLATION	#:		
All provisions of the building code and other City ordinances will be complied with, whe application. I hereby certify that the statements contained herein are true and correct to make the foregoing application, and that, before I accept my permit for which this application if I knowingly make any false statement herein I am subject to such penalties as m	the best of my knowledge and belief. I furtheation is made, the owner shall be made aware	er certify that I am authorized by the owner to		



Ian M Toner AIA, NCARB, LEED AP BD+C

Principal

Sara N Shonk Pochedly AIA, NCARB, NCIDQ, LEED AP BD+C
Principal

10 May 2024

Philadelphia Historical Commission 1515 Arch Street, 13th Floor Philadelphia PA, 19102

RE: Historical Review – 2030-50 Christian St, Church of the Holy Apostles and Associated Buildings

Members of the Committee and Commission

Please find enclosed our application for Final approval of our project at 2030-50 Christian St. I am submitting on behalf of the property owners, TierView Development, Inc.

The project involves:

- The interior renovation of the existing church, Sunday school building, classroom building, guild hall and associated buildings for use as an 87 unit apartment building.
- The insertion of a second and third floor within the existing church building.
- The insertion of a third floor within the existing Sunday school building.
- The insertion of a third floor within the existing guild house.
- The insertion of a third and fourth floor within the existing classroom building.
- The addition of new low-profile aluminum framed skylights to the roof of the existing church building to provide natural light into the 3rd floor units. The design and details of these skylights shall be in coordination with PHC staff.
- The addition of new low-profile aluminum framed skylights to the roof of the existing classroom building to
 provide natural light into the 4th floor units. The design and details of these skylights shall be in coordination
 with PHC staff,
- The addition of a new shed-roof dormer and low-profile aluminum skylights to the roof of the existing Sunday school building to provide windows and natural light into the 3rd floor units. We are proposing to clad the walls of this dormer with fiber cement panel siding to match the stucco of the building below. The design and details of the skylights and dormer shall be in coordination with PHC staff.
- Removal of the existing Montrose Street-facing wall of the Sunday school building is proposed. This wall is significantly deteriorated and in danger of collapse. Wall shall be replaced in kind with concrete masonry clad with stucco to match existing. Existing window pattern and shapes shall be retained.
- The replacement of all windows noted on elevations. Existing leaded or stained glass shall remain where noted. The stone framed stained glass rose window at the narthex of the church shall remain but be protected with new storm windows. All new windows shall be aluminum and shall be fixed, awning, or single hung operation. Basis of design: Quaker H-450 and H-650 Series from Architectural Window Corp. Details provided, PHC staff to approve.

- That stained glass which is to be removed shall be framed and backlit in display installations within the corridors of the building.
- Refurbishment of existing wood entry doors, with some doors to receive new glazed lites for natural light to associated units.
- Replace existing asphalt shingle roofing with new GAF Slateline asphalt shingle roofing, color to be coordinated with PHC staff. Existing asphalt shingle on sanctuary cheek walls to be replaced with GAF Slateline asphalt shingle.
- Addition of new concrete access ramp with new ADA-compliant metal handrails of similar structure to existing wrought iron fences.
- Removal and reinstallation of existing wrought iron fences to allow for construction activities. Storage of removed fencing material to take place onsite.
- Repointing and repair of brick and any decorative ornamentation located at the entirety of the exterior.
- Repair and refinishing of existing architectural metalwork located at the entirety of the exterior. That
 metalwork which cannot be repaired shall be replaced in kind with new metalwork to closely match existing.
- Masonry repairs to the top of the existing bell tower spire, and replacement of damaged elements with cast stone or glass fiber reinforced concrete (GFRC) replicas. PHC to coordinate details of masonry repair with Ascent Masonry Restoration.
- Installation of new PECO transformer vault with sidewalk areaway in Montrose St sidewalk. Access door shall be completely below grade and a new flush bar grating shall be provided over the areaway.

Thank you for taking the time to review our application. Please contact me at 215.800.1968 if you need more information or need to discuss the project further.

Sincerely,

Ian Toner Principal

Toner Architects

RE: 2030-50 Christian St - Final Approval Submission

Sam Katovitch <sam@tonerarch.com>

Thu 5/16/2024 2:06 PM

To:preservation opened

Cc:lan Toner <lan@tonerarch.com>;Sara Shonk Pochedly <Sara@tonerarch.com>;Tim Lux <tim@tierviewdevelopment.com>; Jenn Patrino <jenn@tierviewdevelopment.com>;Bill Strehse <bill@tierviewconstruction.com>;Alina Herzberg <alina@tierviewdevelopment.com>

1 attachments (2 MB)

240513_2040 Christian - window color swatches.jpg;

External Email Notice. This email comes from outside of City government. Do not click on links or open attachments unless you recognize the sender.

Hi Kim,

The only design changes since the last time are listed below. Otherwise, we have mainly just been adding information to get to a construction documentation level of detail. Thanks!

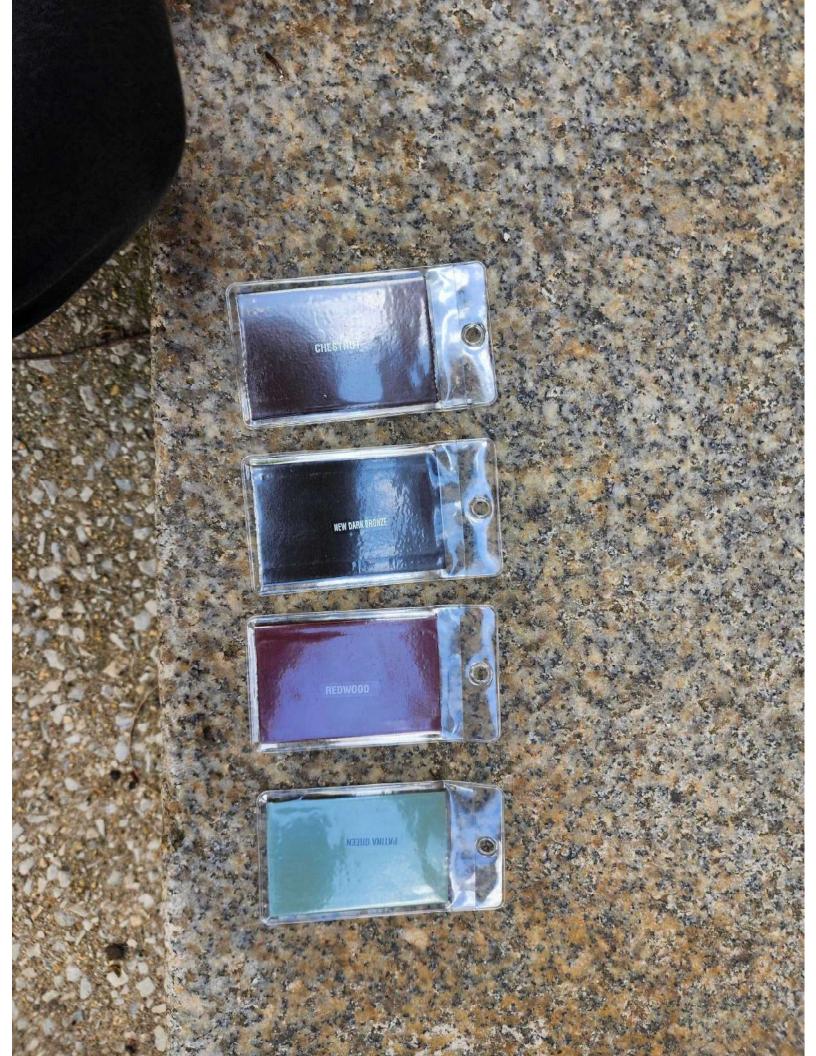
- 1. Working window color samples are attached to this email. We are proposing Redwood for the windows of the Sanctuary, and New Dark Bronze for the Richard Newton, Sunday School, and Boy Scout buildings. The Patina Green color will be used for the new windows within the copper dormers of the Richard Newton Building. The exterior doors will also be painted to match the Redwood color of the Sanctuary windows, and all existing-to-remain wood windows will be painted to match the dark bronze. We will of course present all colors to the PHC staff for final approval prior to order.
- 2. An additional door was added for ease of access to the trash room for pickup crews, as the interior passage to the trash room is too narrow to get bins out to the curb. The door will be painted to match the other exterior doors on the building and can be seen in view 1/A205, tagged X10.

Best,

Sam Katovitch RA, NCARB, LEED Green Associate

Project Manager

Toner Architects 1901 South 9th Street Room 425 Philadelphia, PA 19148 p. 215.800.1968 c. 315.406.1069 tonerarch.com Pronouns: he/they



THE MINUTES OF THE 735TH STATED MEETING OF THE PHILADELPHIA HISTORICAL COMMISSION

FRIDAY, 10 NOVEMBER 2023, 9:00 A.M. REMOTE MEETING ON ZOOM ROBERT THOMAS, CHAIR

CALL TO ORDER

START TIME IN ZOOM RECORDING: 00:00:00

Mr. Thomas, the Chair, called the meeting to order at 9:03 a.m. and announced the presence of a quorum. The following Commissioners joined him:

Commissioner	Present	Absent	Comment
Robert Thomas, AIA, Chair (Architectural Historian)	Х		
Kimberly Washington, Esq., Vice Chair (Community Development Corporation)	Χ		
Donna Carney (Philadelphia City Planning Commission)	X		
Emily Cooperman, Ph.D., Committee on Historic Designation Chair (Historian)	Х		
Erin Kindt (Department of Public Property)	Χ		
Sara Lepori (Commerce Department)	X		
John P. Lech (Department of Licenses & Inspections)		X	
John Mattioni, Esq.	Х		
Dan McCoubrey, AIA, LEED AP BD+C, Architectural Committee Chair (Architect)	X		
Stephanie Michel (Community Organization)	Х		
Jessica Sánchez, Esq. (City Council President)	Х		
Matthew Treat (Department of Planning and Development)	Χ		

The meeting was held remotely via Zoom video and audio-conferencing software.

The following staff members were present:

Jonathan Farnham, Executive Director

Kim Chantry, Historic Preservation Planner III

Laura DiPasquale, Historic Preservation Planner III

Shannon Garrison, Historic Preservation Planner II

Heather Hendrickson, Historic Preservation Planner I

Ted Maust, Historic Preservation Planner II

Allyson Mehley, Historic Preservation Planner II

Leonard Reuter, Esq., Law Department

Dan Shachar-Krasnoff, Historic Preservation Planner II

Alex Till, Historic Preservation Planner II

The following persons attended the online meeting:

Adrian Trevisan, Powers & Co.

Alina Herzberg

Allison Weiss, SoLo/Germantown Civic Association

Brett Feldman, Esq., Klehr Harrison

REPORT OF THE ARCHITECTURAL COMMITTEE, 24 OCTOBER 2023

ADDRESS: 2030-38 AND 2040 CHRISTIAN ST

Proposal: Add dormers, skylights, and ADA ramp; replace windows

Review Requested: Review In Concept

Owner: 2040 Christian St LLC

Applicant: Ian Toner, Toner Architects

History: 2030-38 Christian Street: 1903; Richard Newton Memorial Building; Duhring, Okie & Ziegler; 2040 Christian Street: 1870; Church of the Holy Apostles, Shiloh Baptist Church;

Frazer, Furness & Hewitt; tower added, 1901, G.W. & W.D. Hewitt

Individual Designation: 11/6/1980

District Designation: None

Staff Contact: Kim Chantry, kim.chantry@phila.gov

Overview: This in-concept application proposes to convert the former Church of the Holy Apostles, later Shiloh Baptist Church, and associated buildings to multi-unit residential use. Of the five buildings on the site, four are designated as historic, having been constructed and altered between 1868 and 1903. Fronting onto Montrose Street at the rear, the Phillips Brooks Memorial Building, to be known as the Boy Scout Building, is not part of the 1980 historic designation.

The proposed exterior scope includes masonry repair and replacement, construction of an ADA ramp, insertion of skylights and dormers, and replacement of windows. New clear glazed aluminum windows are proposed in all locations where apartment units are located, including the church and Richard Newton Memorial Building. The main entryway of the complex adjacent to the Richard Newton Memorial Building is proposed to retain its existing leaded glass, as is the existing rose window at the narthex of the church.

SCOPE OF WORK:

- Convert church complex buildings to residential use.
- Replace windows.
- · Insert skylights and dormers.
- Replace asphalt shingles with Slateline asphalt shingles.
- · Repair and replace masonry.
- Construct ADA ramp.
- Demolish non-historic one-story addition at rear of church.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
 - The proposed scope retains and preserves the overall historic character of the church complex.
- Standard 9: New additions, exterior alterations, or related new construction shall not
 destroy historic materials that characterize the property. The new work shall be
 differentiated from the old and shall be compatible with the massing, size, scale, and
 architectural features to protect the historic integrity of the property and its environment.

- The exterior scope proposed to convert the buildings to residential use is minimal. Every effort should be made to retain stained glass windows where feasible. Stained glass windows which must be removed should be salvaged and stored in a safe location, preferably within the building complex.
- Accessibility Guideline | Recommended: Complying with barrier-free access requirements in such a manner that the historic building's character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting are preserved or impacted as little as possible.
 - The proposed ADA ramp allows for retention of and access through historic entrance doors.

STAFF RECOMMENDATION: Approval in-concept, provided a plan is developed for stained glass window salvage and storage, pursuant to Standards 2, 9, and the Accessibility Guideline recommendation.

ARCHITECTURAL COMMITTEE RECOMMENDATION: The Architectural Committee voted to recommend approval in-concept, provided a plan is developed for the stained-glass window salvage and storage, and the applicant considers the Committee's suggestions for minor design changes, pursuant to Standards 2 and 9, and the Accessibility Guideline Recommendation.

START TIME OF DISCUSSION IN ZOOM RECORDING: 00:27:25

PRESENTERS:

- Ms. Chantry presented the in-concept application to the Historical Commission.
- Architect Sam Katovitch represented the application.

PUBLIC COMMENT:

Oscar Beisert, representing the Keeping Society, supported the application.

HISTORICAL COMMISSION FINDINGS AND CONCLUSIONS:

The Historical Commission found that:

- The application was submitted in-concept. An application for final review will need to be submitted and approved prior to the issuance of a building permit.
- The application was revised and supplemented to address comments from the Architectural Committee.

The Historical Commission concluded that:

- The proposed scope retains and preserves the overall historic character of the church complex, satisfying Standard 2.
- The exterior scope proposed to convert the buildings to residential use is minimal. Every effort should be made to retain stained and leaded glass windows where feasible. Stained glass windows which must be removed are proposed to be salvaged and returned to the original property owner per an agreement at the time of sale to the current owner. The in-concept application satisfies Standard 9.
- The proposed ADA ramp allows for retention of and access through historic entrance doors, satisfying the Accessibility Guideline Recommendation.

ACTION: Mr. Thomas moved to approve the application in-concept, pursuant to Standards 2 and 9, and the Accessibility Guideline Recommendation. Mr. McCoubrey seconded the motion, which was adopted by unanimous consent.

ITEM: 2030-38 and 2040 CHRISTIAN ST

MOTION: Approval in-concept

MOVED BY: Thomas

SECONDED BY: McCoubrey

VOTE					
Commissioner	Yes	No	Abstain	Recuse	Absent
Thomas, Chair	Х				
Washington, Vice Chair	Х				
Carney (PCPC)	Х				
Cooperman	Х				
Kindt (DPD)	Х				
Lepori (Commerce)	Х				
Lech (L&I)					X
Mattioni	Χ				
McCoubrey	Χ				
Michel	Χ				
Sánchez (Council)	Χ				
Treat (DPD)	Χ				
Total	11		·		1

REPORT OF THE COMMITTEE ON HISTORIC DESIGNATION, 18 OCTOBER 2022

ADDRESS: 5128 AND 5114 WAYNE AVE

Name of Resource: Sallie Watson House and Barn

Proposed Action: Designate

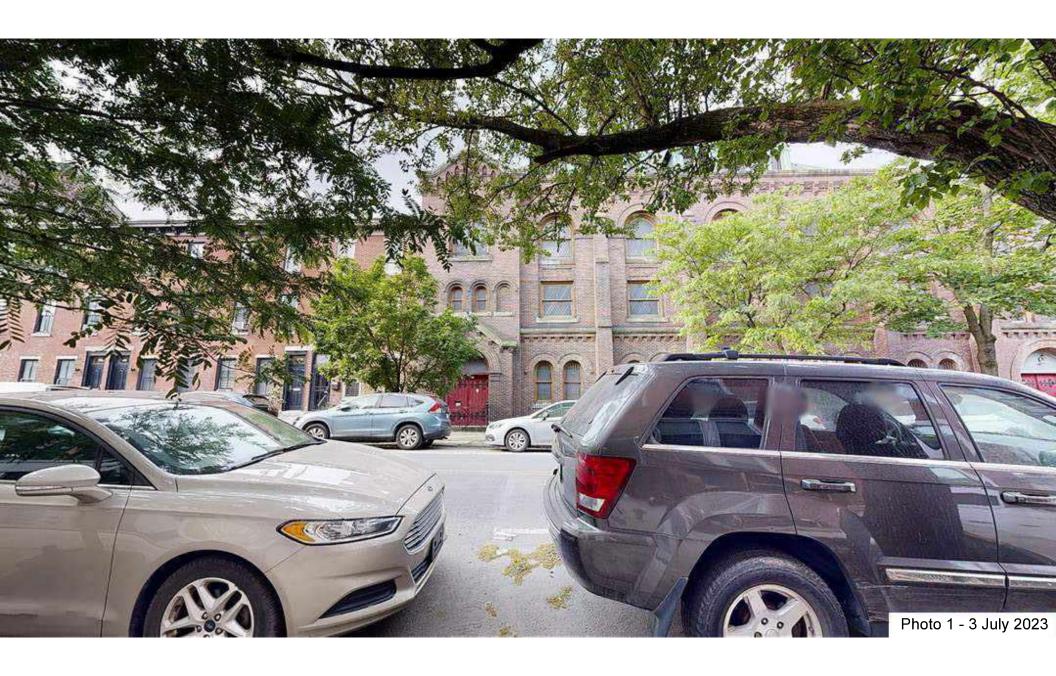
Property Owner: House - Oscar Beisert; Barn - Little Angels Daycare Center

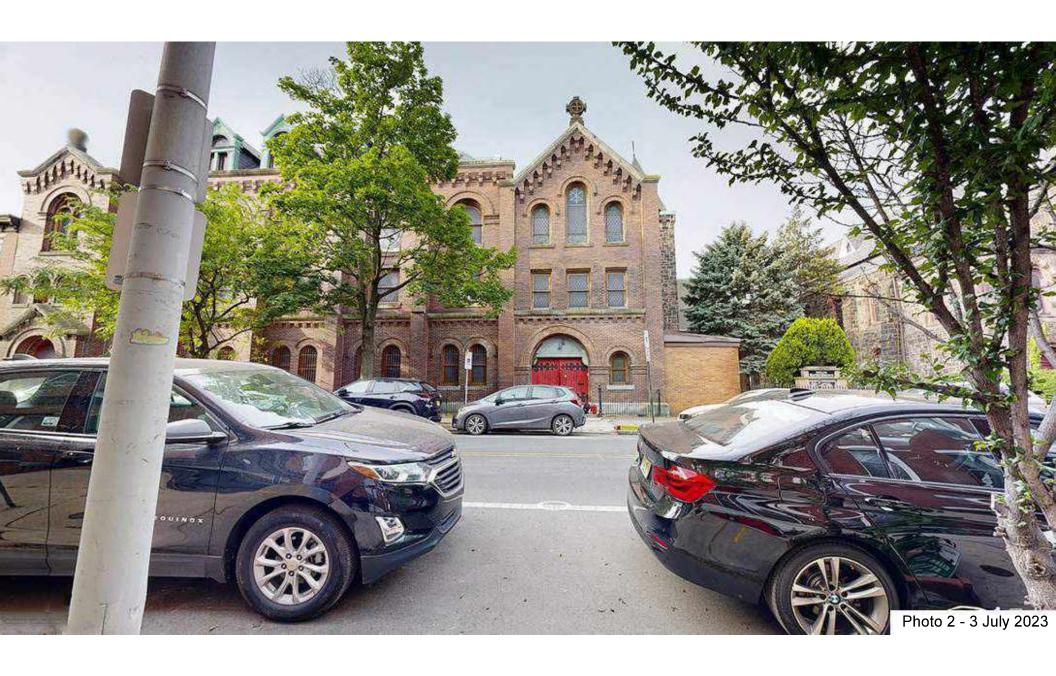
Nominator: SoLo/Germantown Civic Association

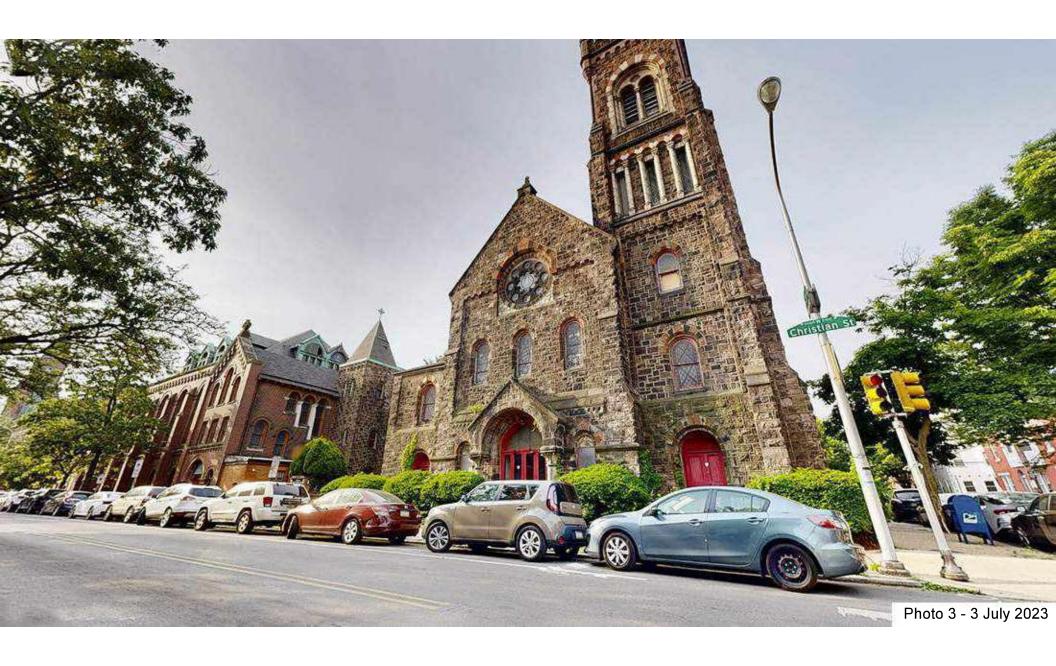
Staff Contact: Heather Hendrickson, heather.hendrickson@phila.gov

Overview: This nomination proposes to designate 5128 and 5114 Wayne Avenue, the Sallie Watson House and Barn, and list them on the Philadelphia Register of Historic Places. The nomination contends that the Sallie Watson House and Barn satisfy Criteria for Designation D, E, and J. Under Criteria D and E, the nomination illustrates that the Sallie Watson House is a unique specimen and example of a suburban residence designed by Wilson Eyre, Jr., architect, in the English Arts and Crafts and American Shingle styles. The nomination further demonstrates that the Sallie Watson House and Barn, along with other contributing features, represents an idyllic and highly unique suburban dwelling site and place associated with the old estates of Manheim Street and more generally in the Germantown section of Philadelphia, satisfying Criterion for Designation J. Additionally, the nomination articulates that of the twenty-two Manheim Street estates built between 1871 and 1889, only three outbuildings survive, one of which is the Sallie Watson Barn.

The nomination illustrates the second life of the Barn and House repurposed in 1907 as the Church and Parish House of the First United Presbyterian Church of Germantown, representing



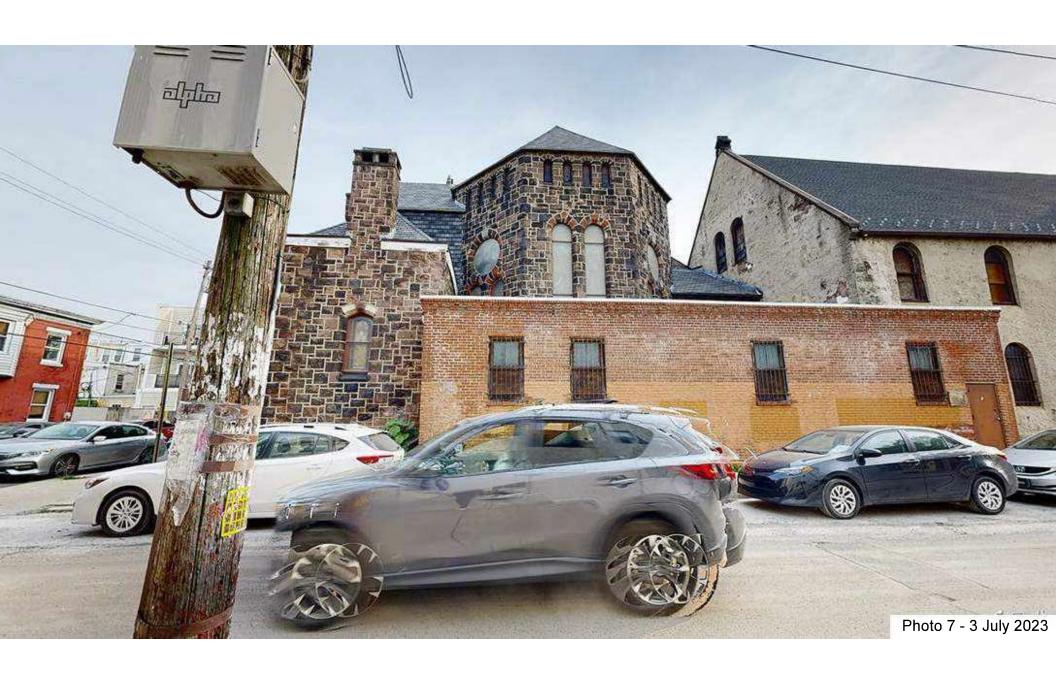




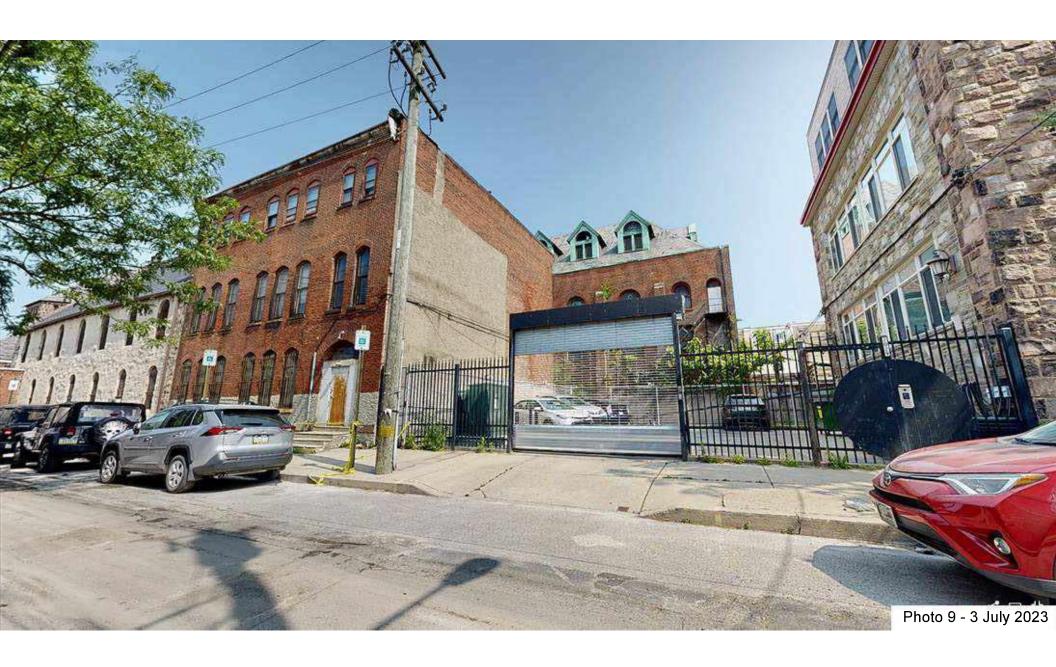


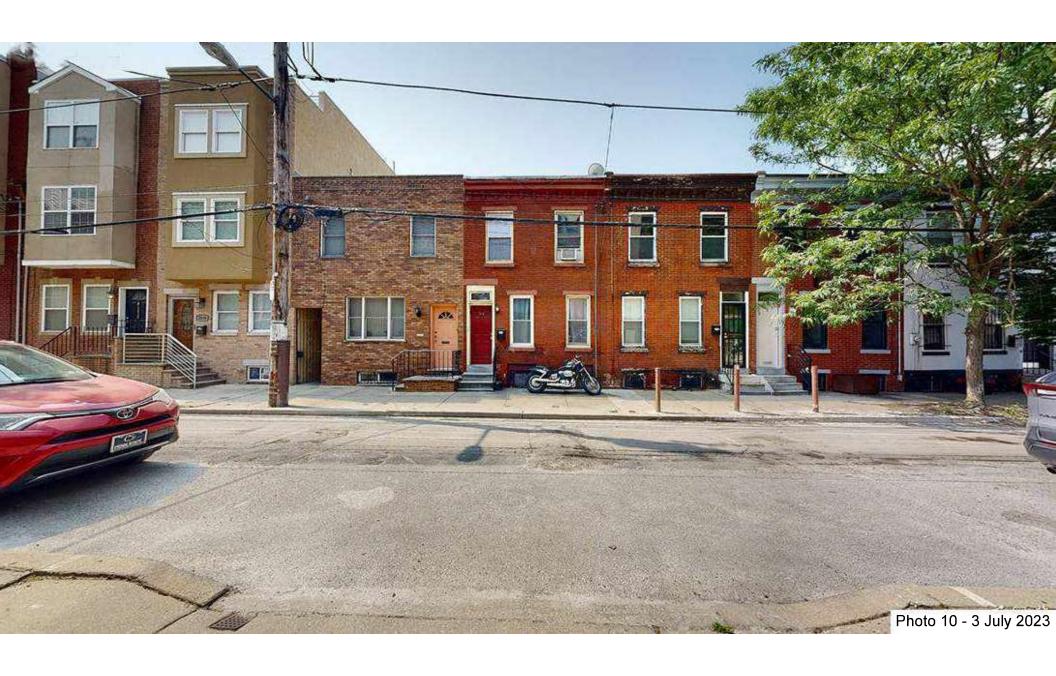


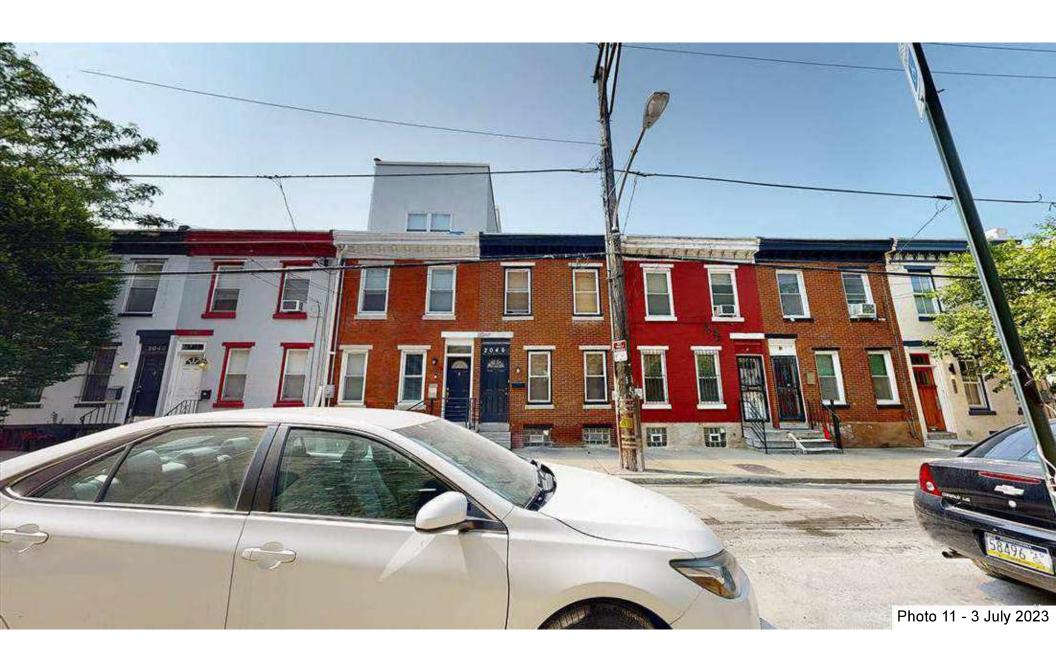


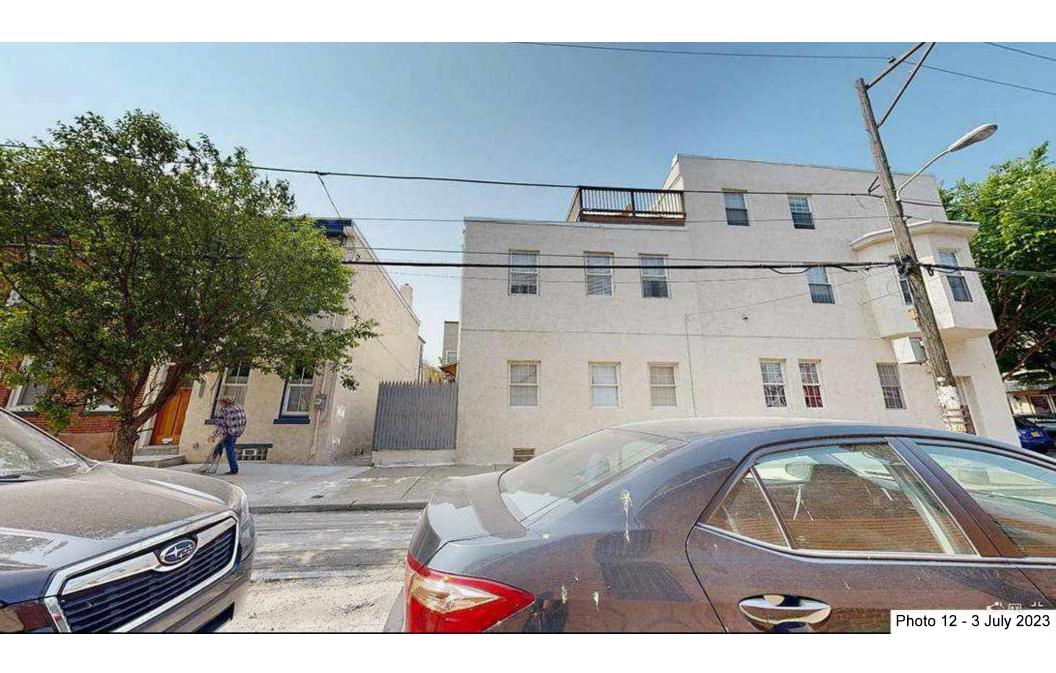


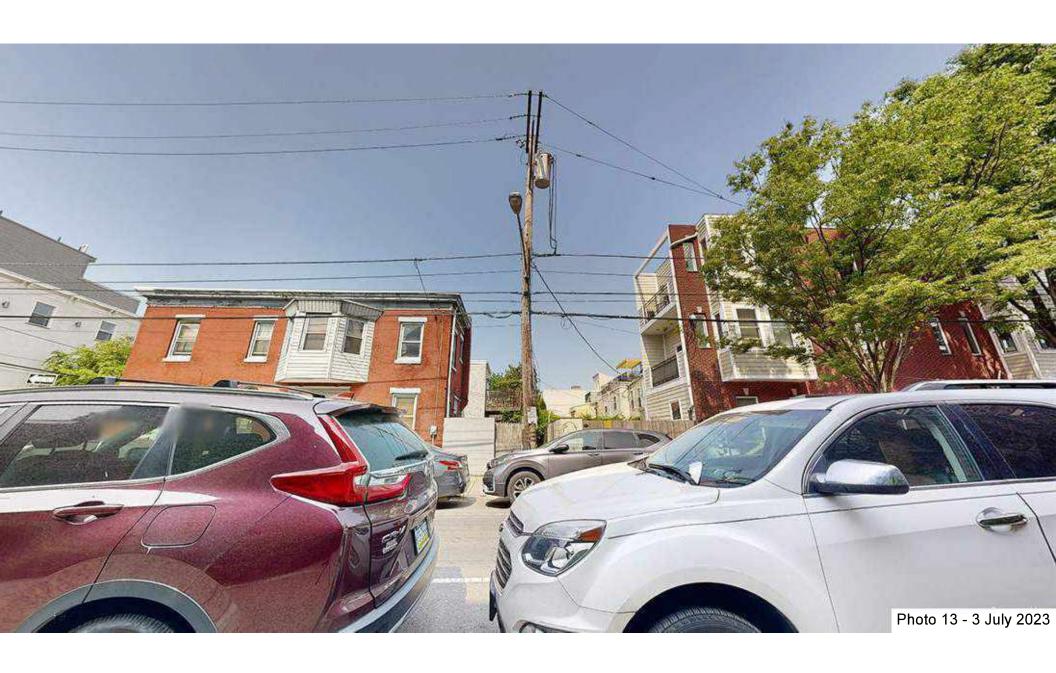














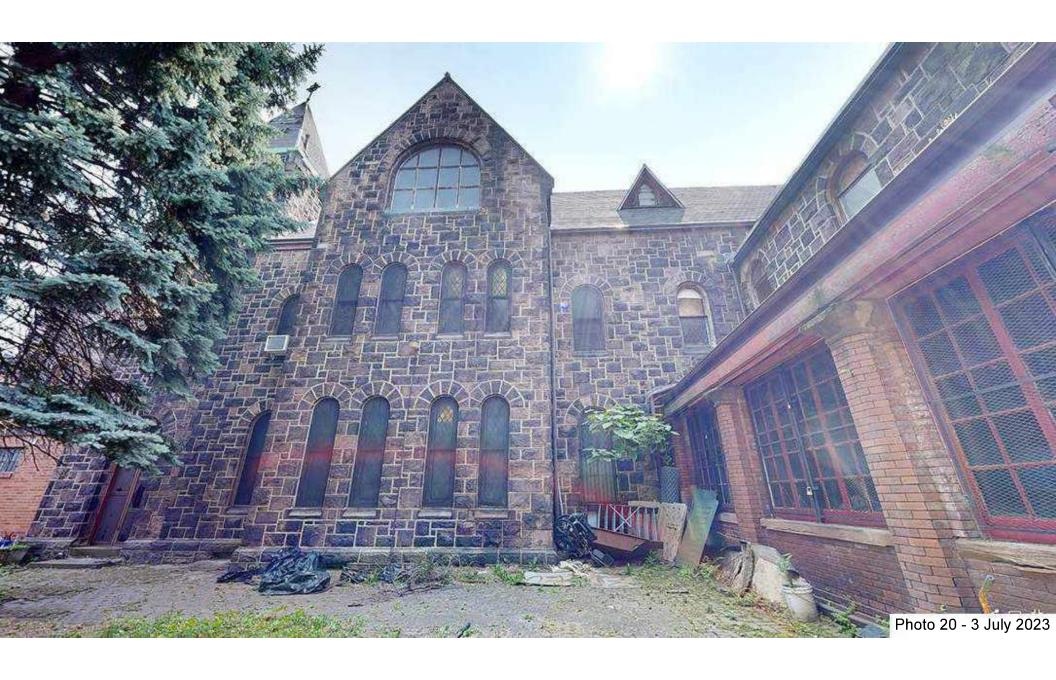


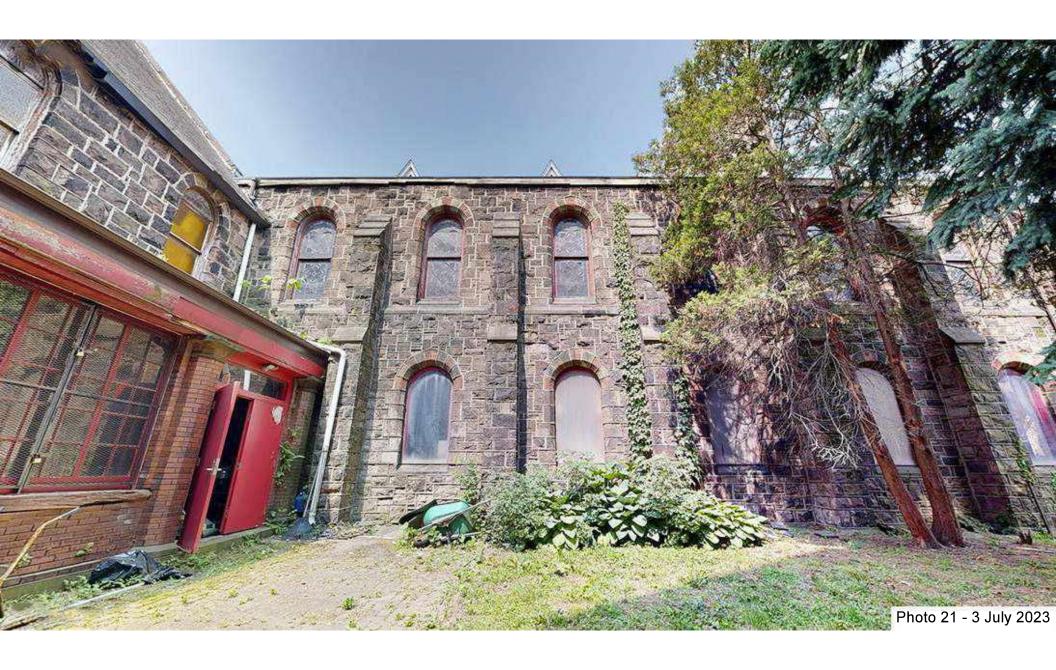


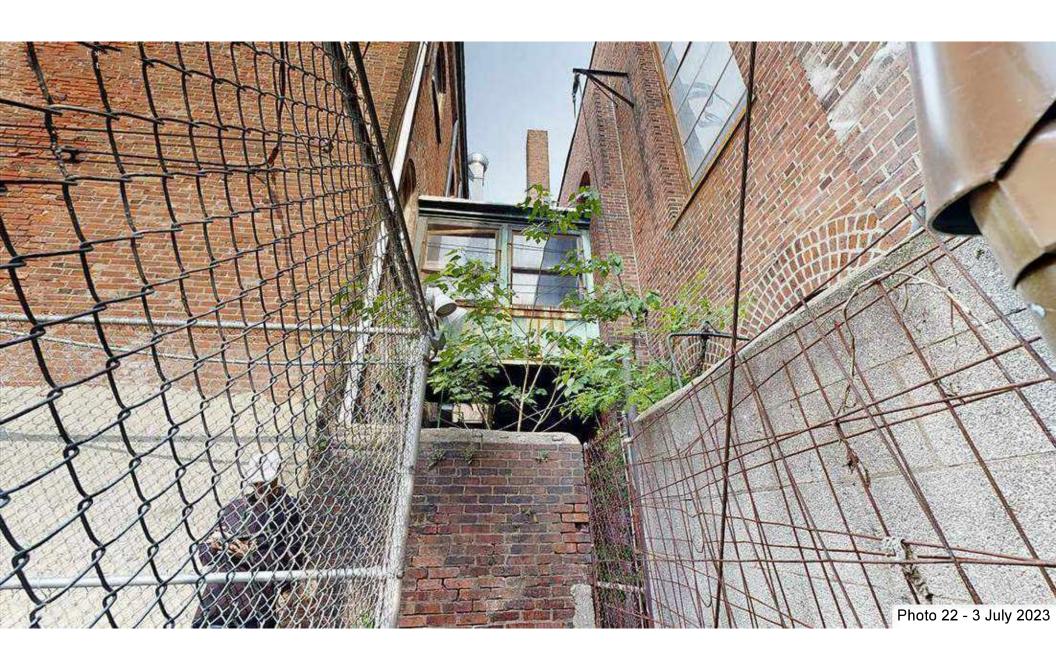












Church Complex Adaptive Reuse

2030-50 Christian St Philadelphia, PA 19146

PHC Final Approval

10 May 2024

H - HIGH (DIM) HM - HOLLOW METAL

MAX - MAXIMUM
MECH - MECHANICAL
MIG - MANUFACTURED; IA
MIN - MINIMUM
MISC - MISCELLANEOUS
MO - MASONRY OPENING
MTL - METAL MIG - NOT IN CONTRACT NO - NUMBER NTS - NOT TO SCALE

OC - ON CENTER OD - OUTSIDE DIAMETER; OVERFLOW DRAI

- Work not indicated on a part of the drawings but reasonably implied to be similar to that shown at corresponding places, shall be repeated.
- Contractor shall coordinate openings shown on the drawings.
- Contractor shall verify and/or establish all existing conditions and di
- If the existing field conditions do not permit the installation of the work in accordance with the details shown, the Contractor shall notify the Architect immediately and provide a sektion of the condition with Contractor's proposed modification of the details given on the contract documents.
- It shall be the responsibility of the General Contractor and all Sub-Contractors to coordinate the Work and werfy all dimensions and inspect conditions of prior Work by all tables before proceeding with any Work. Junicoophable or incorrect prior Work shall be repaired or replaced before starting Work. Proceeding with the Work shall be repaired or replaced before starting Work. Proceeding with the Work shall controllable acceptance of prior Work.

- All products and materials to be installed following manufacturer
- Signage by others

NOT FOR ANNOTATION LEGEND CONSTRUCTION $\times\!\!\times\!\!\times\!\!\times$ Drainage Fil \sim Wood blocking or shim - discontinuous XXXXXXX Wood - finish Insulation - rigid

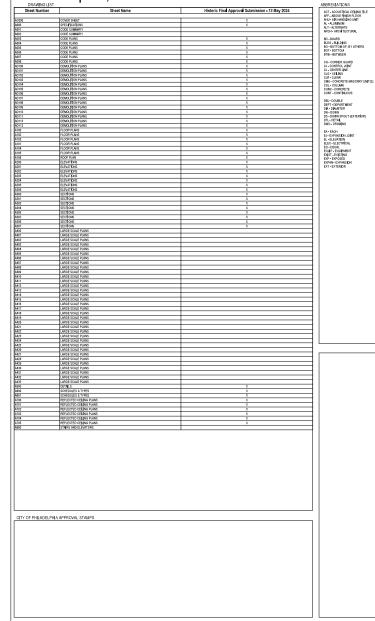
TierView Development ⊗ Church Complex Adaptive 101 Reuse 0

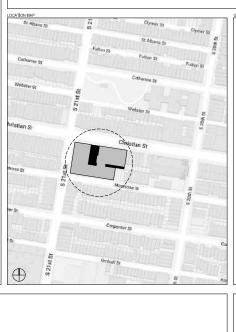
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Revision Numi COVER SHEET

10 May 202

AC000

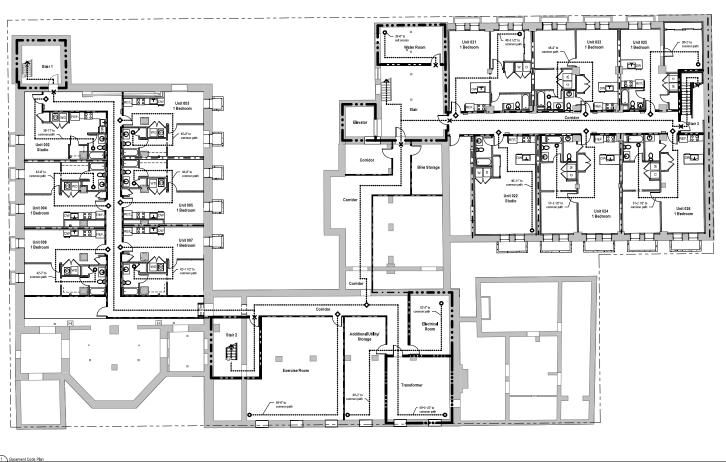




CMI Engineers Colliers Engineering and Consulting 2 Penn Center, Suite 222 Philadelphia PA, 19102 215.861.9021

Owner TierView Development 2030-50 Christian St Philadelphia, PA 19146

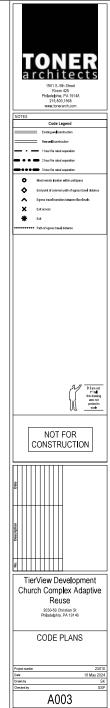
ACCESS TO SITE Contractor shall have full use of Project site for construction operations during contraction and of Contractor are of Project.	17. INSTALLATION Consolination conducts with consolination and accommodation for installing products.	IB. PROGRESS CLEANING Chan Delete da and seek areas data including common treas. Enforce analysis progress.	PREPARATION Site Access and Tensourary Controls: Conduct selective demolition and debris	Basis of Design Meterials	
 ACCESS TO SITE: Contractor shall have full use of Project site for construction operations during construction parisal. Contractor's use of Project site is finished only by Owner's right to perform work or to extent either contractors on portions of Project. DELIFERES: 	 Comple with manufacturer's written instructions and recommendations for installing products in applications indicated. Locate the Work and components of the Work accurately, in correct alignment and 	 Executive Section Project site and work areas daily, including continon areas. Enforce requirements strictly. Dispose of materials landuity. Exempty with requirements in PRA 241 for removal of combustible wester materials and 	 Soc Rocess and I religiously Charges: Consuct dependence conjugate or deservations are consumed and consumers of the confirmation inference with codes, sheets, wells, well-known, and other adjuscent occupied and used finables. Temporary Finabless: Provide integerary temporary temporary confirmation required to prevent righty to people and dismage in adjuscent buildings and facilities to 	Motorial Borns/Product Information	
 Schedule deliveries to minimize use of thiswways, entrances and road blockages by construction operations and to minimize space and time requirements for storage of 	elevation, as indicated	debris.	 Temporary Facilities: Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to 	Coundation Drainage System From-4-Drain by Certainteed Corporation	
materials and equipment or site. Coordinate delivery with installation time to crisure minimum hydring time for items that are flammable, hazardous, easily damaged, or sensitive	 Where space is limited, install components to maximize space available for maintenance and ease of removal for replacement. 	the temperature is expected to rise above 80 deg F (27 deg C). Contained:e hazardous and unsanitary waste materials separately from other waste. Mark	Terrain,	Domage Comparite Board DEGO by Herry Company Undersida Uspor Barrier Septime Object Outport states by Stops Industries Stopphilms Class C super related by Stops Industries Comparity Management Management Amount Decoration of Comparity Company Amount Decoration of Company Comparity Company Comp	
to determination, theft, and other tesses. b. Deliver products to project site in an undermaged condition in manufacturer's original seeled condition in manufacturer's original seeled	 Conceal pipes, sucts, and wring in tristned areas unless otherwise indicated. I ratial products at the time and under conditions that will ensure the best possible results. Make in condition would be made for an analysis of the condition. 	 De los mais lavair in meastra in rice unas seven logo costig cortes a measure of a rice suppra the temperature in opportune to the active of logo (27 desp.C). Certainente hearnitou and summiting wealth an infenda separately from other months. Mesh continuous appropriational peridopsic of legals, venerating to engalization. Use containents intended to reliability and an institution of the latent. Controlled progress de mainting to profession assess after Contractor and other contractors and other contractors. 	consider year-death or mode in the granding or proops are seen consciously demails on area and the anal from consider performed or building. 2. Provide temporary seather protestion, during internal between selective demaildand or destings constraint on extensive surfaces and near construction, to prevent maker leakuge and dismage to structure and clinicion season.	Foundation Change System France-Occurs to Centerate Organisms Change Concupit Nove State Control Cont	
Schrade deleters to exercise and of thesesses reviewers set and to belappe by a state of a very great or included and to exercise and the state of the state o	bits ordered any factor to enter to committee out based. If the committee of the committee out to the committee of the committee out to committee out to the committee out to th	 Coordinate progress deaming for junk-use meas where Contrastor and other contractors are mering concurrently. Site: Maintain Project site five of waste materials and debris. Work Areas: Clean areas where work is in progress to the level of cleanliness necessary for progress execution of the Work. 	ner curve were about or extreming communication on extension surfaces and new construction, to prevent mater leakage and damage to structure and interior seaso.	Under An Contracted Englation Clouded Physione bear on Price Contracted Physione bear on Price Contracted For Contracted Physione Security Contracted Physione S	
	 Sequence the Work and allow adequate clearances to accommodate movement of construction items on site and placement in permanent locations 	 Work Areas: Clean areas where work is in progress to the level of cleanliness necessary for proper execution of the Work. 	and inferiors areas. Protect walls, cellings, floors, and other existing finish work that are to remain or that are exposed during selective demolston operations. Cover and protect familiare, familiarings, and equipment that have not		TONER
 Store products to allow for inspection and measurement of quantity or counting of units. Stare materials in a manner that will not endanger project structure. 	Tools and Equipment: Do not use tools or equipment that graduce harmful noise levels. Templates: Obtain and distribute to the parties involved templates for work specified to be factors preceived and field installed. Check Shoo Downless of other mark to continuite.	1. Renoval ball sight prioriptly. 2. Where dust would imper proper execution of the Work; broom-Jean or vocuum the critire work area, as appropriet. [, lentalled Work: Karp intelled work (bein: Quan installed surfaces according to written.)	Cover and protect familiare, familiatings, and equipment that have not been nemoved. Temporary Sharing: Provide and maintain shoring, bracing, and structural.	Brother States	
Store products that are subject to demage by the elements, under cover in a weather tight exclosure above ground, with verificition adequate to prevent constraination. 4. Protect from relating to substitute second to extern recovary for serior of	adequate provisions are made for locating and installing products to comply with indicated	i, Installed Work. Keep installed work class. Class installed surfaces according to written installed work class of manufacturer or fatricator of product installed, using only classific materials.	emports as required to previous ability and province receiver, and constant in supports as required to previous sality and province receivers, self-ment, or colleges of constituction and finishes to remain, and to prevent unexpected or uncontrolled investment or colleges of constituction being denielated.		architects
installation and concealment. e. Comply with product monufacturer's written instructions for temperature, humidity,	ix disconnect. Provide blocking and attachment plates and anchors and fasteness of adequate size and number to securely anchor each component in place, accurately located and aligned with other portions of the Work. Where size and type of distortments are not	instructions of manufacture or fishinates of preduct installed, using only cleaning materials specifically recommended. If specific dearing materials are not recommended, use changing materials that are not hexacotous to beath or specify and that will not demage	uncontrolled insvernent or collapse of construction being demolished. 1. Strengthen or add new supports when required during progress of	Appart Bowlery Speec GAST Strepholms Not Dec Productions by GAST Comments	1901 S. 9th Street
werbleten, and weather-protection requirements for storage. Frotest stored products from diamage and figuide from freezing. PROCULT REQUIREMENTS. PROCULT REQUIREMENTS.	and aligned with other portions of the Work. Where size and type of attachments are not indicated, verify size and type required for load conditions.	enposed surfaces: Concealed Spaces: Remove debris from concealed spaces before enclosing the space.	sejective demodition 22. Removed and Reinstalled Items:	Gypsum Board Fire-rated walls and floors: See UL descriptions for acceptable products.	Room 425 Philadelphia, PA 19148
A PROCEST FIRST ORGANISATION TO ANY	and algored with their periodics of the Work, "When six and type of distribution are not believed." In the control of the con	repared sublexes. Concrete Science: Postures debits from concepted papers before enclosing the space. Disposed Substants in Frising Resear. Clean exposed substant and provide an occuracy to a Disposed substant in Frising Resear. Clean exposed substant in Frising Research Clean exposed substant in Research Clean exposed substant in Research Clean exposed substant in Research Clean exposed in Research Cle	22. Removed and Revariable Direct. A clinical and your bases of the control expends or between the instead or reads. A clinical and you base to present profession, leaved protected or consens. C protect leaves from density during temperature of stratege. B see to be two in a second and effortables. B see the two is a second and effortables. The control of t	Telle Backing Panelps Dursck Next Cenn by USD Corporation Developada Round, 3-4-pacya painted alparinum, product selection to be approved by PHC	215.800.1968 www.bonerarch.com
 Provide products complete with accessories, frim, finish, fasteners, and other items needed for a complete installation and indicated use and effect. 	 Coordinate installation of anchorages. Furnish setting drawings, templates, and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with 	down sowers or into waterways. Construction waste shall be deposited in the dumpster. In During handing and installation, clean and protect construction in progress and adjoining	 Store items in a secure area until installation. Reinstall items in locations indicated. Comply with installation requirements for new 	Guilbers Box profile, 74-gauge painted duminum product selection to be approved by PHC Fiber-Cennet Solling James Hardle Panel, calor to be approved by PHC	NOTES
 Standard Products: If wwwlete, and unless outless products or nonstread aphons are specified, provide standard products of types that have been produced and used successful in size for sharlow on other projects. 	integral anothers, that are to be embedded in concrete or masonry. Deliver such thems to Project side in time for installation. o. Joints: Make joints of uniform width. Where joint locations in exposed work are not	materials already in place. Apply protective covering where required to ensure protection from damage or deterioration at Substantial Completion. Description and provide materials or completed commitmation are framework	misterate and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated. 23. Salvaged items for Demon's Use: Salvage terms for Owner's use and handle as follows:	Gyguan Concrete flor Underlayment Gyg-crete by Moson Corporation Accounts Mail (News) Account-Mail HP ill by Massen Corporation	
 PROCUOT SELECTION PROCEDURES: Where construction documents name a product and include a manufacturer, the contractor must provide the specified or indicated product or submit a 	indicated, arrange joints for the best visual effect. Fit exposed connections together to form twistine joints.	through the remainder of the construction period. Adjust and labricate operable components to ensure operability without damaging effects. PROTECTION OF INSTALLED CONSTRUCTION.	a. Clean solvaged items.	Regards Singles GRF Stateline, Color to be approved by PHC	
substitution request for a comparable product. Drawings indicate sizes, profiles, dimensions, and other characteristics that are based on the product named. Contractor is responsible for any and all	considered hazardous.	 PROTECTION OF INSTALLED CONSTRUCTION: Provide final protection and maintain conditions that ensure installed Work is without 	elements, date of removal, quantity, and location where removed. c. Store items in a secure area until delivery to Owner.		
additional costs for any part of the work therein incurred. G. PRODUCT INSTALLATION: Coresiv with manufacturer's written instructions.	damaged during installation or sutting and patching operations, by methods and with materials so as not to vaid existing warrantes.	 PROTECTION OF PRETALED CONSTRUCTION. Provide finely protection and maximum conditions that ensure installed Work is without cleanage or determination of their of Substantial Conspiction. Conspictive years installated without installation for representative and relative hoursidity. PROJECT PECORD DOCUMENTS: If the completion of construction the contractor is to submit one head copy and of the construction demonstrated in the surface of the surface of the construction demonstrated in the surface of the surface o	Principal limins from clamage during transport and storage. Cisposal of Denodished Materials		
 WARRHANTINS: The contractor will warrant the completed correlaction for one year other substantial completion of the peoplet as codynation the AIA Command Conditions. Contractor is to document all special warranties and provide to the owner documentation at final completion. 	Colombia services, relatives registers, learn descriptor instances and transicolo di colombia	hard copy set of the construction documents with all changes/design deviations annotated in either peccil or ink.	heats on the bear the desires, ben't prices of outcomers will held indicating the contract of		
completion of the project as codined in the AIA General Conditions. b. Contractor is to document all special warranties and provide to the owner documentation at	construction; completed or in progress; is subject to harmful, dangerous, damaging, or otherwise detectious exposure during the construction period.	 SELECTIVE DEMOLITION: Demelah and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of 	from Project also and legally dispose of them in an EPA approved landfill. b. Do not allow demolshed materials to accumulate on-site.		
Inside completion. 2. CONSTRUCTION PROCESS DOCUMENTATION: Digital Photographic Documentation: Submit unaptered, original, A&-size image fige once a week throughout the fig. duration of construction. The photos are to forcement the file deletion of the project. Plantes are to be readed to Sara Protecting.	Protection. In Protection and Company of the Comp	15. SELECTIC GENUTION. Description and remove easing contraction rely to the outer required by execution of the contraction	 Remove debris from elevated portions of building by chate, hoist, or other device that will 		
photon are to document the full extents of the project. Photos are to be enabled to Sara Pochedily at Sara Stronger Charles and project address in error subject line. 9. CONSTRUCTION SCHEDULE	might be exposed during outling and petching operations. 2. Protect completed construction to maintain in a file new condition.	 Needs not reactive and below shorts arrange and to a to describe received. The notion. 	convey debris to grade level in a controlled descent. Burriery. Do not been dernelabled materials. Dispasal, Transport demeliated materials off Owner's property and legally dispase of them.		
 CONSTRUCTION SCHEDULE: Prior to the start of construction, provide a construction solvedule in a digital format which includes the full time frame of construction and region releatine dates. Provide schedule 	 Existing URBy Services and Mechanical Electrical Systems: Where existing services/systems are required to be removed, relacated, or abendoned, bypass to be provided in the contract of the contr	methods lead flag to damage construction to remain or adjoining construction. Use hand tody or send power test designed for swelling or grinding, not have mening and shapping, to minimize delutions or displaced surface. Temporarly over peringing for enemy. Cut or drift from the exposed or finished side into consoled surfaces to avoid marring.	r. Disposal: Transport dam dished materials off Owner's property and legally dispose of them.		
updates as required. 10 CLIDMITTAL DOCCON DOCCON and cubult mismittals as required by the construction.	Cutting Cut in-place construction by sealing diffing, breaking, chipping grinding, and similar construction by sealing, diffing, breaking, chipping grinding, and similar constition, including extanglier, using methods least field to demane.	c. Cut or diff from the exposed or finished side into conceived surfaces to avoid marring existing finished surfaces.			
documents and for all product substitutions. a. Submit electronic submittals to Architect via ensal as POF electronic files.	services/points are required to the element principle in sociated an assumed space such conversablement before collecting to present intemplate to sociated sense. 4. Culting Cult in-place construction by using a fighting traveling chipping grinding, and solive operations, including construction, traiggrantion light place to legal and elements retained or splicing construction. If possible review proposed procedure with original finalities, construction.	 Do not use cutting torches until work area is deared of filammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space 			II I
documents worth of product substitutions. State stelements maintain for a factorist use and so FDF electronic files. Architect will enhance manufactific file. Architect use and so FDF electronic files. Architect will enhance manufactifile. Architect and relation one copy of file as an electronic Project access of consumed file. A distinct of farmation required for product substitution requests. The access for the substitution.	incrementalizing. (5. In general, use hand or small power bods designed for sowing and grinding, not homerening and dispating. Out hales and slot needly to minimum size required, and with minimum distributions of adjuscent surfaces. Temporary layous quantings	before starting flame-outling operations. Maintain fire watch and portable fire-suppression devices during flame-outling operations. • Maintain advances verification when upper out-time terchan			II I
Additional information required for product substitution requests. Reason for this substitution; Time difference. Cod difference. Cod difference.		entiting feather statement. De not one conting protein will wave a me in deemed of flammade materials. At concoded the conting protein conting protein wave flammade materials. At concoded before stating flammading productors. Marindrin is waith and protein file re-ungeression doses carring flammading productors. (Appl. profess.) Description of the continue of th			II I
	6. Finished Surfaces: Out or drill from the exposed or finished side into concealed	 Remove shustural framing members and lower to ground by method suitable to avoid free fall and to prevent ground impact or dust generation. 			II I
ompromets needs to be submitted for review. 11. CONSTITION OF EXITY BUILDING. What also particle of existing building affected by construction operations in a weather tight condition throughout construction period. Report demage caused by	Construction: Out using a cutting reachine, such as an abresive saw or a diamond core still. Excepting and Backfilling: Comply with requirements in applicable Sections	promptly dispose of dividus. P. Remay should not improve the process of the method suitable to avoid free that and is prevent ground improve or dust penestron. I. Local prefere described requirest and supposed of the method suitable to an not to improve destination and method extrapolation requirest standard remove deletia and method in a not too improve creations processor or apportung validit. I plans, or financing. I. Dispose of distributed desire and instruction purpose.			II I
construction operations.	where required by outling and petching operations an approxime decisions Wechanical and Electrical Services: Cut off pipe or conduit in walls or partitions to	j Materials Ownership: 1. Unless otherwise indicated, densettion waste becomes properly of Contractor.			
construction indicated as existing are not guaranteed. Before beginning stework, investigate and verify the existence and location of underground utilities, mechanical and electrical systems, and other	Executing that is a remain configuration of the configuration of configuration o	 Historic items, relocs, antiques, and similar objects including, but not limited to, connectories and their contents, commenscrative plaques and tablets, and other 			
 STRING COMPTION: The entire care planter of undergoard and then delite and of the other and the other planter and then delite and of the other and other planters and income care planter and then of the other planters, and then other planters and o	The content of the public parties and the controlled content of the public parties and the	Unique of desimbled learn variables process. I will be a considered learn variables because the comes properly of Code mich. Considered learn variables and because the considered learn of the code			
tolerances and other conditions affecting performance. Record observations. 14. FELD MEASUREMENTS: Take field measurements as required to fit the Work property. Recheck	use materials that visually match implace adjacent surfaces to the fullest extent possible. If identical materials are unavallable or cannot be used, use materials that, when installed, will	 Notify Architect of discrepancies between existing conditions and Drawings before proceeding with selective demolition. 			
measurements before installing each product. Where portions of the Work are indicated to fit to other construction, wellly dimensions of other construction by field measurements before fabrication.	provide a match acceptable to Architect for the visual and functional performance of in-place materials. Patch construction by filling, repairing, refinishing, closing up, and similar	 Hazardous Materials: It is not expected that hazardous materials will be encountered in the Work. If suspected hazardous materials are encountered, do not disturb, immediately notify 			
55 PENERS OF CONTRACT DOCUMENTS AND CITIES CONTRIBUTE Inspectable or decrease of the	invisible as practicable. Provide metable and comply with installation requirements specified in other Sections, where applicable.	I INIty Service: Maintain existing utilies indicated to remain in service and protect them			
need for childration of the Content Documents caused by offlering field conditions suitable the central of Contractor, submit a request for information to Architect.	 Inspection: Where feasible, test and inspect patched areas after completion to demonstrate physical integrity of installation. 	against classage during selective demolition operations. In Maintain fire-protection tack lies in sention studies a leadure demolition operations. In Varify that utilizes have been disconnected and capped before stating selective demolition.			
 Structural Elements: When outling and petiting structural elements, notify Architect of locations and details of outling and sweat directions from Architect before proceeding. Stress have a proper direction advanced from outling and patients. Do not out and 	 Exposed Finisher: Restore exposed finishes of patched areas and extend finish restoration into retained adjaining construction in a manner that will minimize address of patching and reflectation. 	 Verify that utilities have been disconnected and capped before starting sejective demolston operations. Business record documents of anistics construction remained by Charge. Charge does not 			
6. EXECUTION Shouture! Elements: When cutting and paticing shoutural elements, notify shothed of bottoms and details of cutting and sweet devictions from shothed to those proceeding. Show those, who upon the observable and any cutting and princing. On set cut and pation the observable elements in a marrier that could change their less-carrying capacity or increase defliction.	opodete in the Salahm, and examples, it is not explained, in least of the Salahm, and examples in the Salahm, and the Salahm,	operations. Review-reced documents of existing sombiguishin provided by Danner. Owner down not guarantee that existing sombiguishin provided by Danner. Owner down not guarantee that existing conditions are same as those indicated in merced documents. Somey outring conditions in complete with requirements indicated in demonstrate existed or selective center of selective demonstrate existed as developed in the condition of the			
increase defection b. Operational Elements: Disnot cut and patch operating elements and related components in a manner that made is medicing their capacity to perform an intended or that medic in increased maintended or disnot maintended or elements or decreased operational file or safety. c. Other Control on Elements: On our cut and patch their construction elements or	 Floors and Walls: Where walls or partitions that are removed extend one finished area into another, patch and repair floor and wall surfaces in the new space. 	selective demolition required. q. When unerticipated mechanical, electrical or structural elements that conflict with intended			
immassed maintenance or derivased operational life or selfely. of the Construction Elements: Do not and patch other construction elements or construction in a respect that the life of the party shall be the party and the life of the	Provide an even surface of uniform finish, color, testure, and appearance. Remove in-stace door and wall coverings and replace with new materials, if proposes to achieve uniform color and separance.	6. When unesticipated in incidenced, electrical is of studied elements but confide with incident and incident collection of incident and incident collection of the collect			
components in a manner that could change their load-corrying capacity, that results in reducing their capacity to perform as intended, or that results in increased resintenance or decreased coasticinal file or safety.	 Where peliching occurs in a pointed surface, prepare substrate and apply primer and intermediate paint coats appropriate for substrate over the point, and apply 	element in requireming solvey or consource unabang to occurrence whereast entering any element might result in structural deficiency or unplanned colleges or day portion of structure or adjacent structures during selective building demolition cognitions.			
decreased operational life in safety. d. Visual Elements: Do not cut and patch construction in a manner that results in visual evidence of culting and poticing. Do not cut and patch exposed construction in a manner.	additional costs until patch blends with adjacent surfaces.	 Petition surveys as the Work progresses to detect hazards resulting from selective densition activities. Survey of Existing Conditions: Record existing conditions by use of preconstruction 			
endence of culting and patching. Do not cut and patch exposed construction in a reserved that would, in Jurgehilds opening, abused the foldings and earthful qualifies. Reserve and explane construction that has been out and patched in a visually unaffilled active presence.	Cellings: Patch, repair, or rehang in-place cellings as necessary to provide an even-plane surface of uniform appearance. Enterior Studing Envisorus: Patch components in a manner that nectures endisore to a	 Survey of Existing Conditions: Record existing conditions by use of preconstruction photographs or preconstruction videotapes. If the Consider and Machinerical Existing Sustainer. 			
	C. Cedegar, Patal, repeat, or inhang pedators enlarge an exessivery brooks an inverse-plane statistics of uniform generated and exercises that a construct that a construct that exceller and excellent in a classification of the construction of	South of calling containing relationship in the processing space in presentations to the presentation of the calling forces and the calling filtered polyptimes. 1. Earling Severally-planes to Feneral Membra selectarity-planes indicated to immain and printed them again diseases. Presentation of the present calling the calling of the c			If an oot
	paint, motor, ols, putly, and similar materials from adjacent finished surfaces.	 Existing Services/Systems to Be Removed, Rejucated, or Albandaned: Locate, identify, disconnect, and seel or cap off indicated wildly services and machining like third produces are in a report to be calculated developed. 			If I am not if the downing that comming water not printed to society
		 Disconnect, domolah, and remove fire suppression systems, plumbing, and HVAC systems, equipment, and components indicated to be removed. 			printed to scale
		 Piping to Be Removed: Remove portion of piping indicated to be removed and cap or plug remaining piping with same or compatible piping material. 			
					NOT FOR
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					TierView Development
					Church Complex Adaptive
					Reuse
CITY OF PHILADELPHIA APPROVAL STAMPS					2030-50 Christian St
OTT OF FRIENDELPRIN APPROVAL STAMPS					Philadelphia, PA 19146
					SPECIFICATIONS
					II I
					Project number 23010
					Date 10 May 2024
					Drawn by SK Checked by SSP
				Project North True North	
				\oplus	A000
					Scale 12" = 1"-0"
·			·		Copyright 2024, Toner Architects, Inc

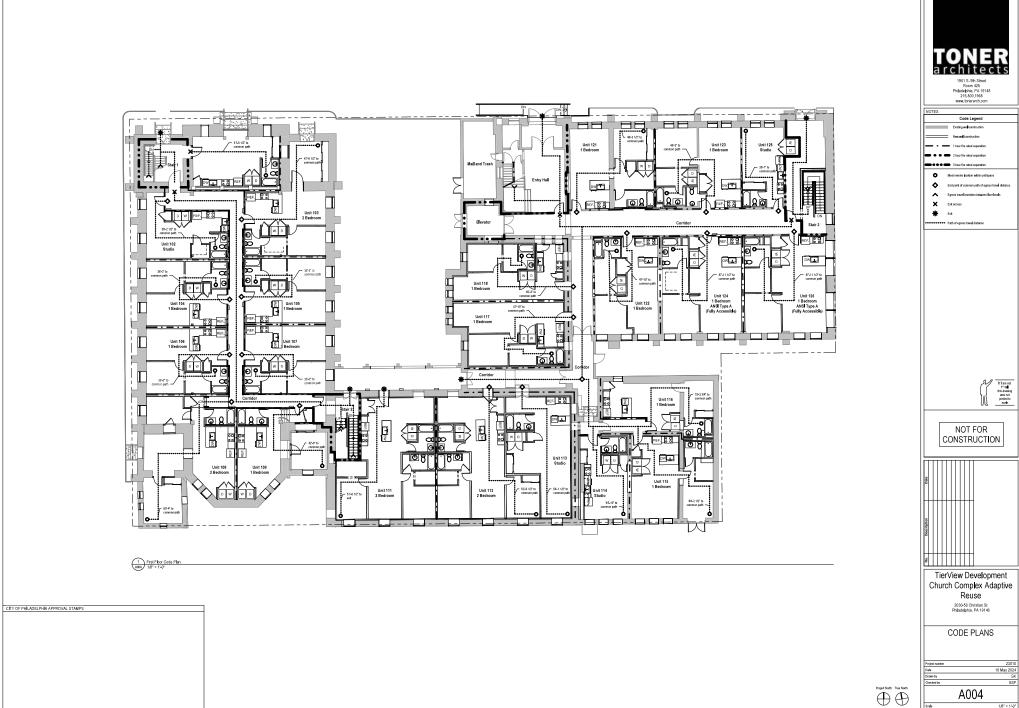


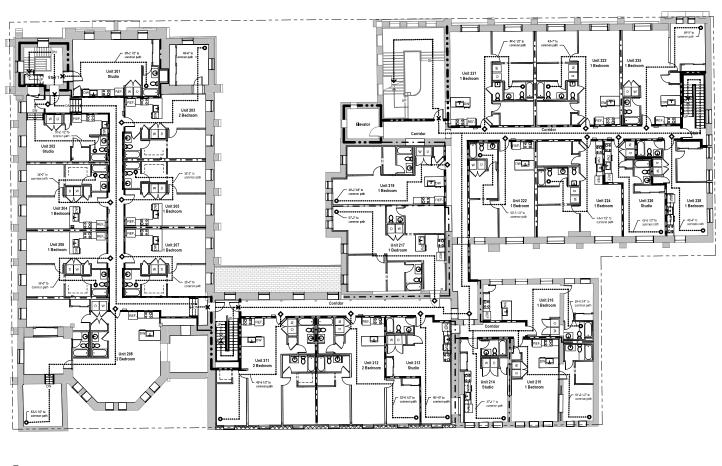
Basement Code Plan 1/8" = 11-0"

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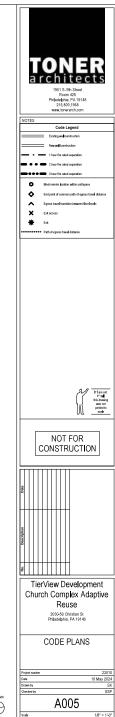


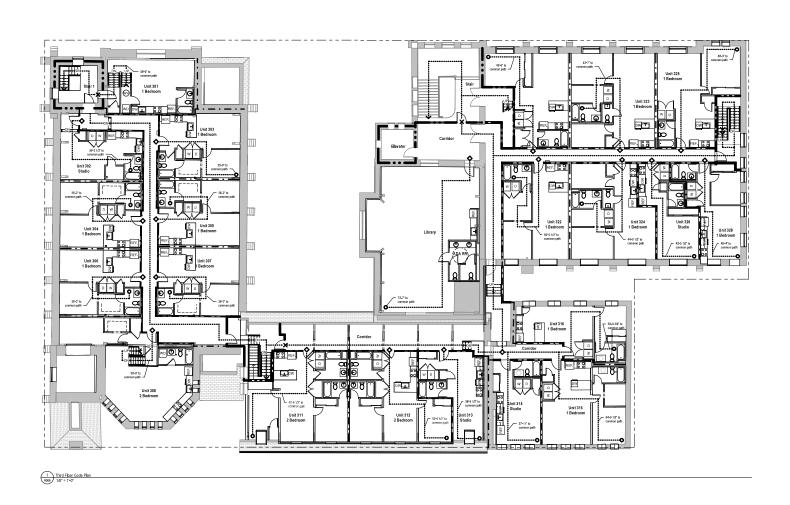




Second Floor Code Plan 1/8" = 1'-0"

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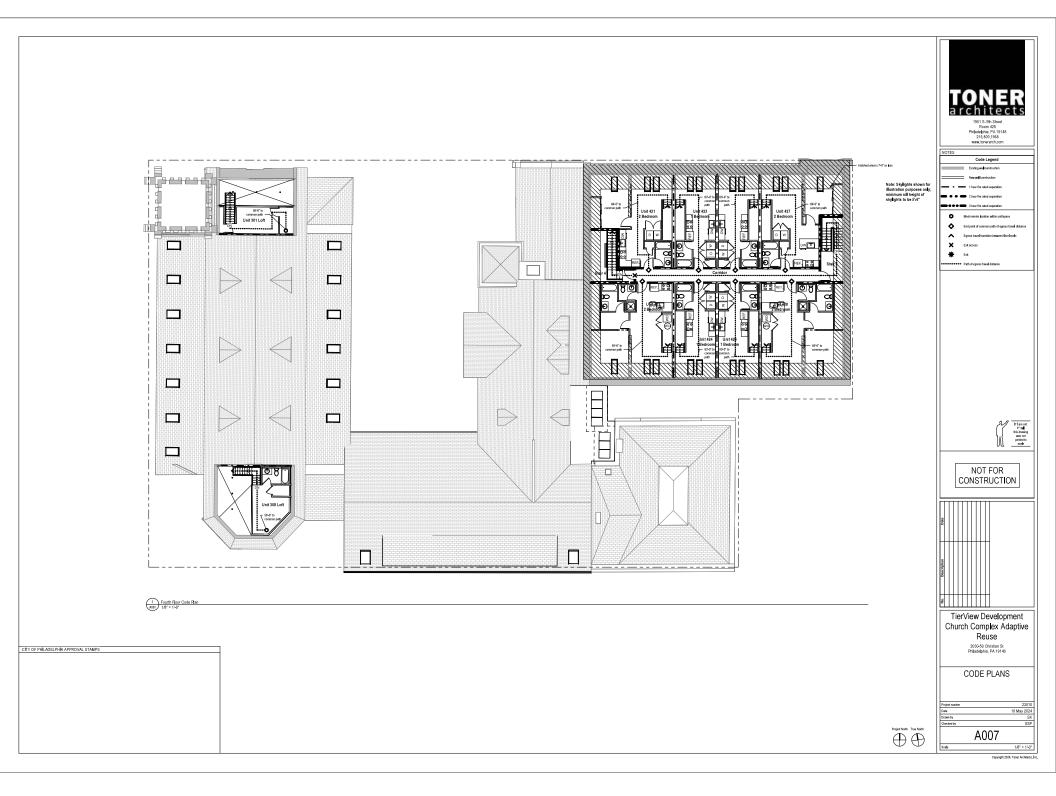


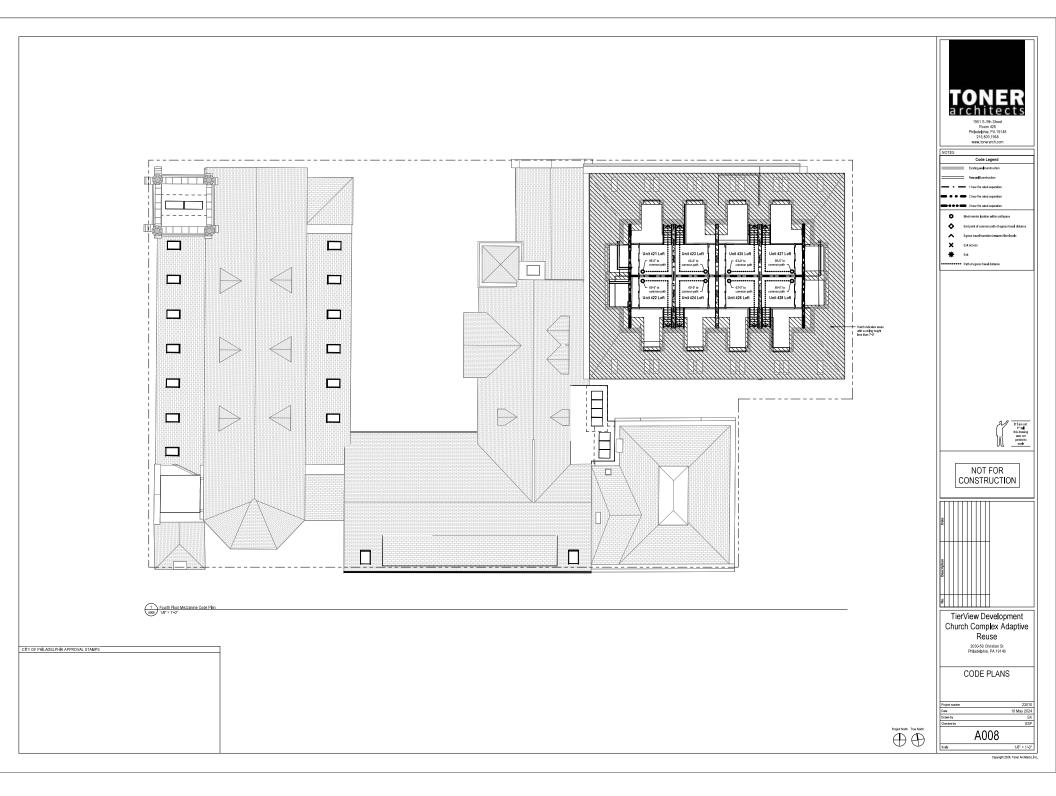


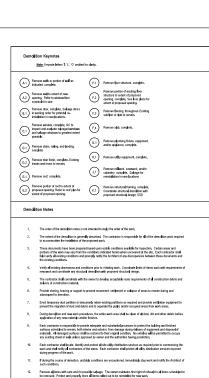
Code Legend Fristing well-torretruction If I am not 1" tall this drawing was not printed to scale NOT FOR CONSTRUCTION TierView Development Church Complex Adaptive Reuse 2030-50 Christian St Philadelphia, PA 19146 CODE PLANS 23010 10 May 2024 A006

Project North True North

110 - 1 0







14. Patch and repair all existing floor systems as required and at all locations of densished walls, partitions, futures, equipment, flooring analox anaboxopalisatenings. Prepare all existing floors to receive new floor frishes. Unless

Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (to remain).

16. Any toole performing core drilling or reworking operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Auchitect of any obstruction affecting layest of new war.

17. Protect existing active smoke detectors and fire alarm devices from dust. Protect throughout duration of the project

 Pipes, conduit and ductwork encountered in denrefshed partitions and cellings which are to remain shall be re-routed and conceeled. Those which are abandoned shall be copped and conceeled in floor, sails or celling.

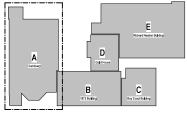
12. Salvage materials to be removed the demotion contractor and turned over to the owner shall be identified by the own

and/or architect prior to the beginning of work and are to be stored on site at a location designated by the owner.

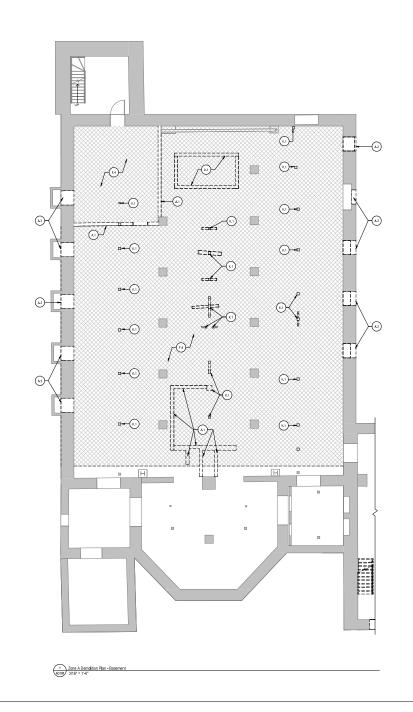
Any projecting or surface mounted items to be abendoned shall be removed and concealed.

Room names in the demolition package are existing and provided for clarity only. They do not apply to the new scape work.

2. Contractor responsible for resisture and redd detection and remodation throughout existing pages and electronic another redder, another redderform and covering materials to be removed throughout as nequired, inform architect immediately if additional demolstion beyond scope of work shown in demolstion plans in nequired.

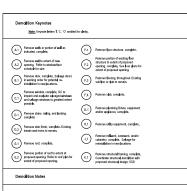


CITY OF PHILADELPHIA APPROVAL STAMPS





Project North True North



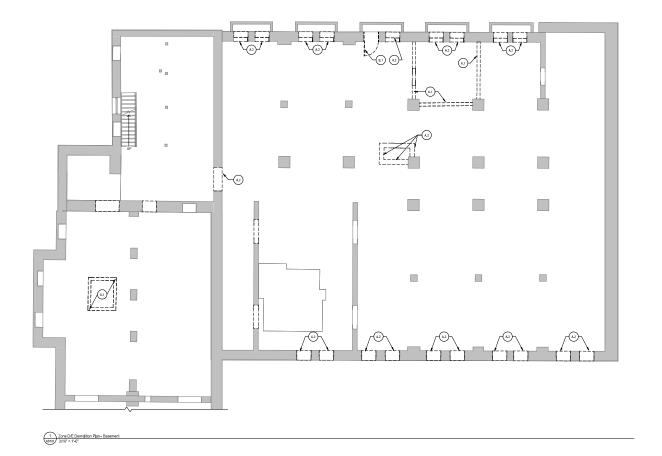
- 1. The order of the describing value is not intended to leads the order of the order
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon visible conditions available for inspection. Certain areas and
 postors of the such may vary from the conditions indicated beein when uncovered at the size. Each contract of
 field verify all entities conditions and convent in mid-the infelior of any discrepanties between these documents as
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements.
- The contractor shall coordinate with the owner to develop acceptable route requirements of all construction debris and delivery of construction material.
- anythin communities.
- Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to separate the public and/or occupied areas from work areas.
- During demostion and nearwork procedures, the entire work area shall be clean of all dust, dirt and other debris before application of any new readerlats and/or finishes.
- Each contractor is responsible to provide adequate and substantial provisions to protect the building and finished surfaces schedulette remain, both interior and outside, from damage during debury of expanser and disposal distances. All demanded unders with the referred in their critical contribution, which suffer an extraction that control makes in the committee and the exemption to contribute to our committee and the exemption to contribute the contribution of the co
- any earthing there or while unless approved by conner and the authorities having jurisdation.

 10. Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the user land shall not have all nontractors of the same. Each contractor shall not shall have all all land shall be delivered in some case.
- If during the course of demotion, unstable conditions are encountered, immediately step work and notify the Architect of such conditions
- 12. Remove all items with care and for possible salvage. The owner maintains first right of refusal for all items schedule
- 13. Unless otherwise stated, pelching and repair of areas to remain in service following densation, including required patching and touch-up following the intelligition of new work, shall be the respectability of the general hasks contracted. Packs all operating resulting from the removed of existing the protection, planning, mechanistical, and electrical work.
- 14 Patch and repair all existing floor systems as required and at all locations of densished walls, partitions, fidures,
- onsenance indicated, pascin ripora so match aspected entang summers.

 S. Patch all salls and floors necessary to accept new finishes or to match existing adjacent finishes (to remain).
- Any trade performing core drilling or sewouting operations shall verify location of existing floor staudare prior to commencing drilling or cutling work and shall promptly notify Architect of any obstruction affecting layest of mea work.
- 17. Protect existing active smoke detectors and fire alarm devices from dust. Protect throughout duration of the project
- Pipes, conduit and ductionis encountered in densignined partitions and cellings which are to remain shall be no routed and conceeled. Those which are abandaned shall be copped and conceeled in floor, undo so celling.
- 18. Salvage materials to be removed the demotion contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and are to be stored on site at a location designated by the owner.
- and/or architect prior to the beginning of work and are to be stored on site at a location designated by the owner.

 20. Any projecting or surface mounted items to be abandoned shall be removed and conceeled.
- Any projecting or surface insurfact derivs to be aboracted whetlibe removed and conceeped.
 Room names in the demolition package are existing and provided for clarity only. They do not apply to the new scope of work.
- 22. Contractor responsible for moisture and molel detection and remediation throughout existing preparty. Existing dampoint
- 22. Ostrocks responsible for resistare and redd detection and remodation throughout existing property. Existing damage detectoristic, modern and existence and board celebrary, and all other celebrary materials to be removed throughout as nequired, finform architect immediately if additional deemal fism buyond scope of work shown in densation plans in nequired.



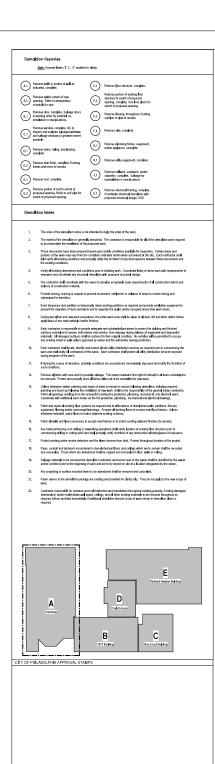


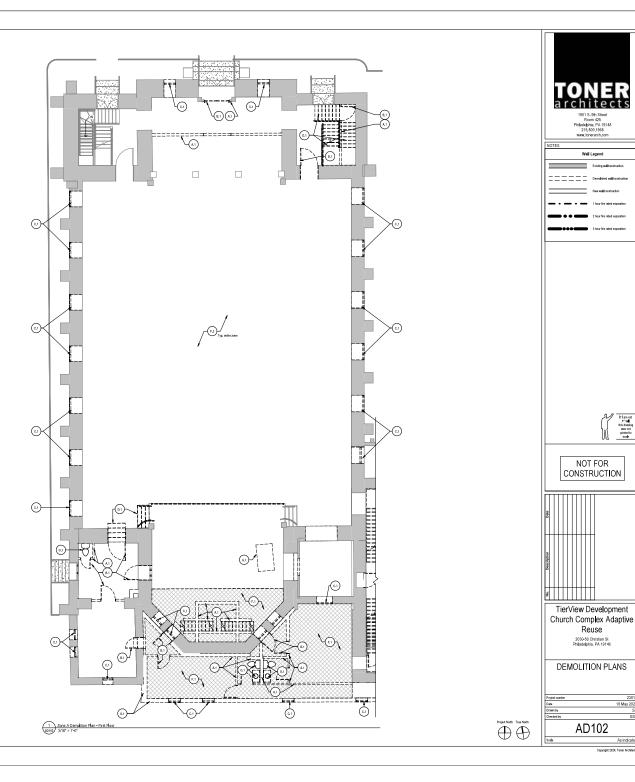


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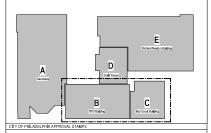
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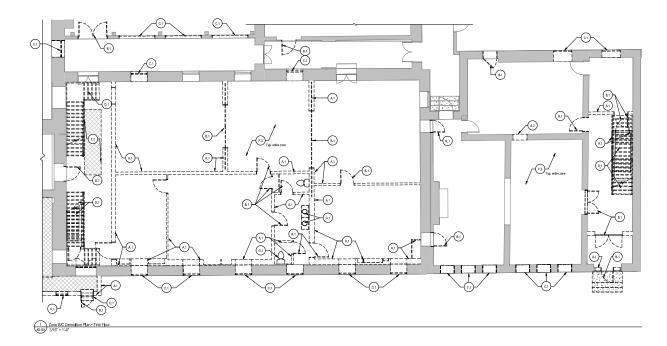


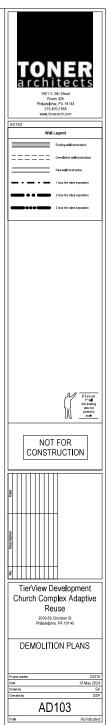
Demolition Notes

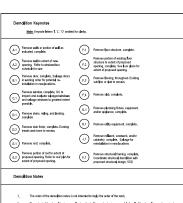
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.

- Any trade performing core drilling or seworthing operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Authbot of any obstruction affecting layest of new v





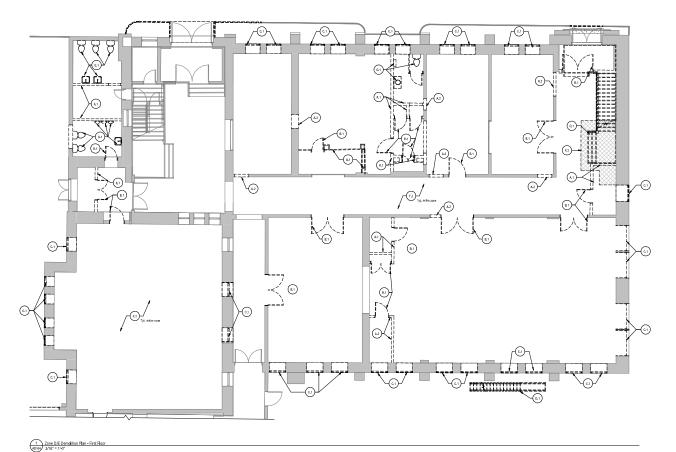




- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work require to accommodate the installation of the proposed work.
- Those documents have been prepared based upon visible conditions available for inspection. Certain areas and
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- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements
- The contractor shall coordinate with the owner to develop acceptable route requirements of all construction debris and delayer of construction material.
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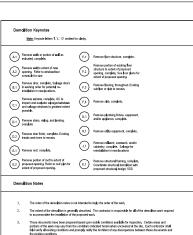
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- 7. Erect temporary dust partition or temporarily retain existing partitions as required and provide vertilation equipment (
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- During denselftion and mea work procedures, the entire work area shall be clean of all dust, dirt and other debris bell application of any new readerlats and/or finishes.
- Each contractor is respected to provide adequate and substantial provisions to protect the building and finished surfaces scheduled to remain, both interior and catalact, from damage during object, of explanent and disposal of materials. All damaged substances and the respective both entirely conducts. No vehicles will be permitted to occup any existing street or walk unless approved by owner and the authorities having jurisdation.
- 10. Each contractor shall seate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during recorders of the work.
- If during the course of demotion, unstable conditions are encountered, immediately step work and notify the Architect such conditions.
- Remove at liters with care and for possible savage. The owner maintains first right of refusal for all items schedule be removed. Protect and properly store all items called out to be reinstalled for new work.
- Unless otherwise stated, setching and repair of areas to remain in service following densettion, including required patching and touch-up following the installation of new work, shall be the respeciability of the general badds control Patch off openings resulting from the removed of existing the protection, planning, mechanistics, and electrical work.
- Patch and repair all existing (foor systems as required and at all locations of densitished walls, partitions, fictures, equipment, fixering analise anchologosta sterrings. Propers all existing floors to receive new floor finishes. Unless
- Patch all walls and floors recessary to accept new finishes or to match existing adjacent finishes (to remain).
- Any trade performing core drilling or sewouting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting layest of new w
- 17. Protect existing active smoke detectors and fire alarm devices from dust. Protect throughout duration of the project.
- Pipes, conduit and ductivaris encountered in demolshed partitions and cellings which are to remain shall be re-routed and conceeled. Those which are abandoned shall be capped and conceeled in floor, walls or celling.
- 13. Salvage materials to be removed the demotion contractor and turned over to the owner shall be identified by the own
- 20 Any projecting or surface mounted items to be absorbared shall be removed and compresed
- Room names in the demolition package are existing and provided for clarity only. They do not apply to the new scape of work.
- Centractor responsible for moisture and mold detection and remediation throughout existing gropasty. Existing dam detectorated, moist mold-sidden and board, cellags, and all other existing materials to be reviewed throughout as





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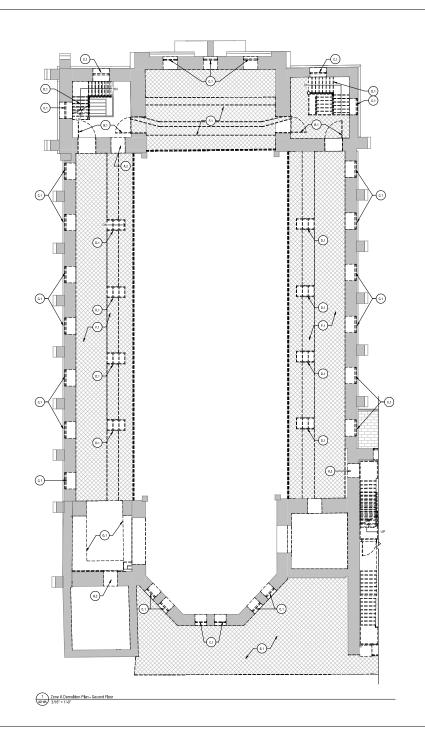
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- 5. The contractor shall coordinate with the name to decades accountable multi-naminaments of all country-time debrie and
- delivery of construction resterial.
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- prevent the migration of dust and debris and to separate the public and/or occupied areas from work areas.
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- 13. Usins otherwise stated, patching and repair of areas to remain in service following densition, including required patching and locative propriate part installation of newwork, shall be respectable for the general basic contractor. Patch all openings resulting from the removal of existing the protection, plumbing, rescharied, and electrical work.
- 14 Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fedures,
- one-make indicates, patch poors to maken seprent estand surfaces.

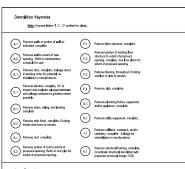
 S. Patch all seals and floors necessary to accept new finishes or to match existing adjacent finishes (to remain).
- Any trade performing core drilling or sewouting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting layest of new w
- 17. Protect existing active smoke detectors and fire alarm devices from dust. Protect throughout duration of the project.
- Pipes, conduit and ductivoris encountered in demolphed partitions and ceilings which are to remain shall be re-route and concealed. Those which are abundanted shall be capped and concealed in floor, walls or ceiling.
- 13. Salvage materials to be removed the demotion contractor and turned over to the owner shall be identified by the owner.
- 20 Any projecting or surface mounted items to be abendoned what he removed and conceased
- 21. Room names in the demolition pockage are existing and provided for dustry only. They do not apply to the new scape
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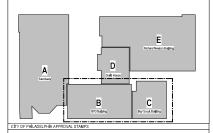


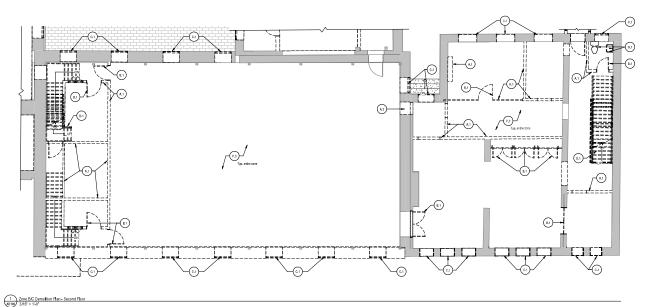
Project North True North



Demolition Notes

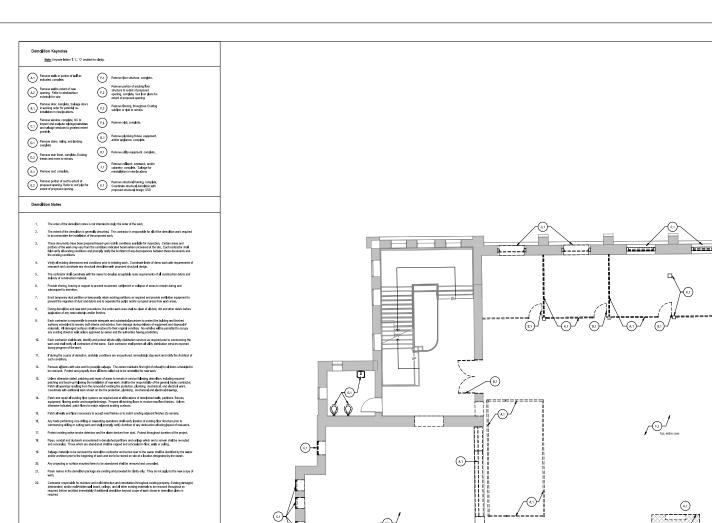
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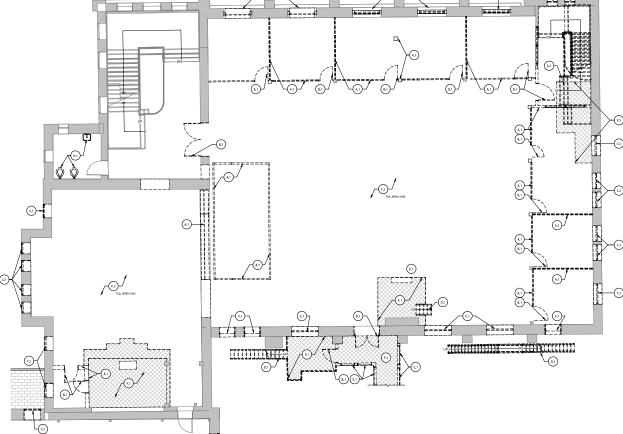


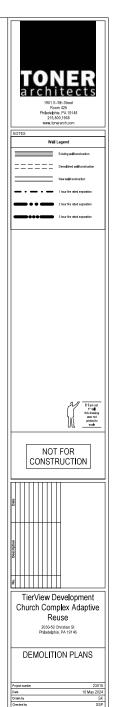




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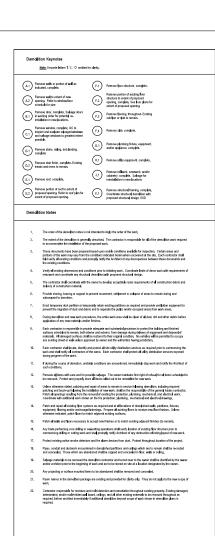




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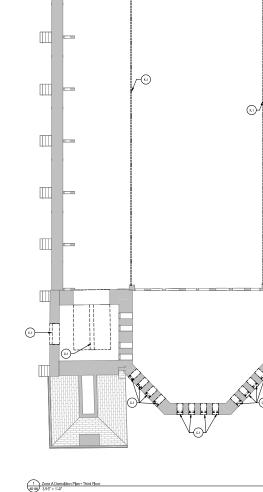
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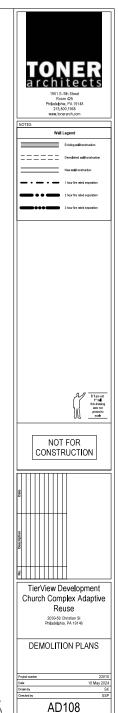


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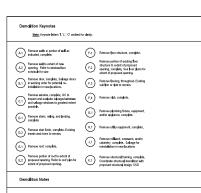
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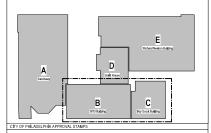


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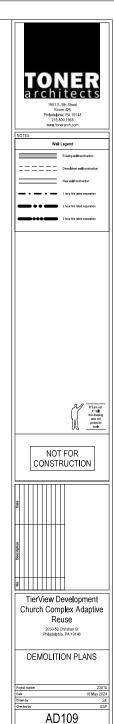


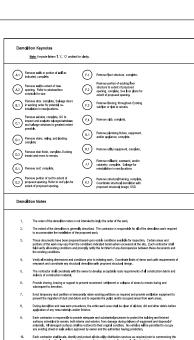
- 1 The roter of the description notes is not intended to inside the order of the way
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- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements.
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- Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during congress of the work
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- 13. Unless otherwise stated, setching and regain of areas to remain in service following describing, including required patients and tuck-up following the installation of new word, shall be the respectability of the general hades contractor. Patch dispersing results from the removal of entiring free proteins, planning, mechanical, and referred work.
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 S. Patch all sales and floors necessary to accept new finishes or to match existing adjacent finishes (to remain).
- Any trade performing core drilling or sewouting operations shall verify location of existing floor structure prior to commencing drilling or cutling work and shall promptly notify Architect of any obstruction affecting layest of new work
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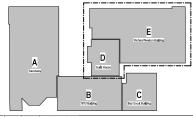
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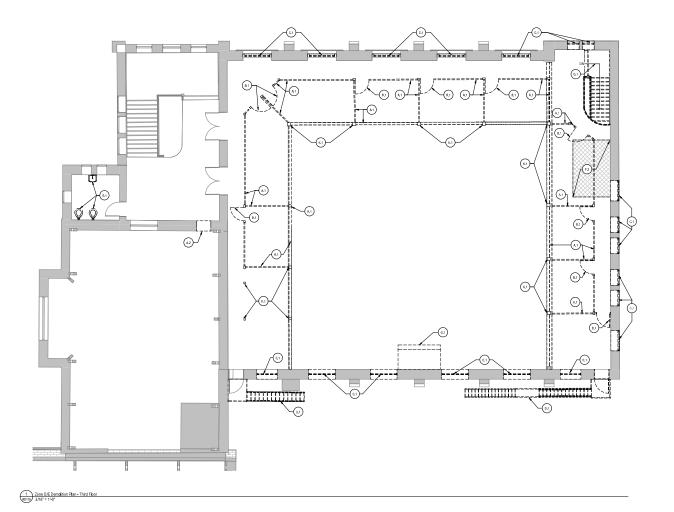
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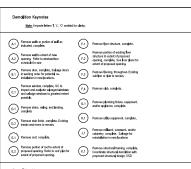


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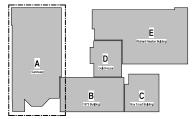
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AD110

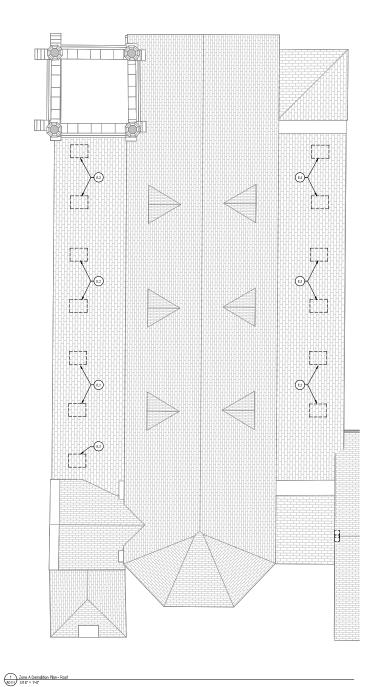


Demolition Notes

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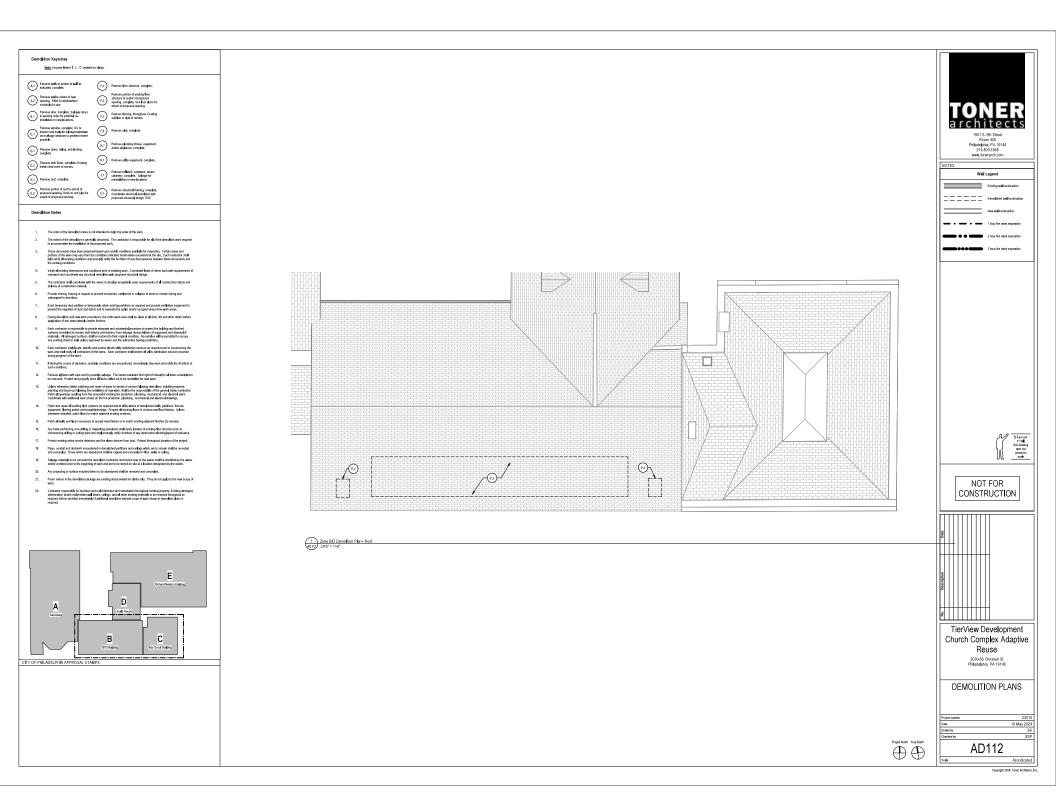
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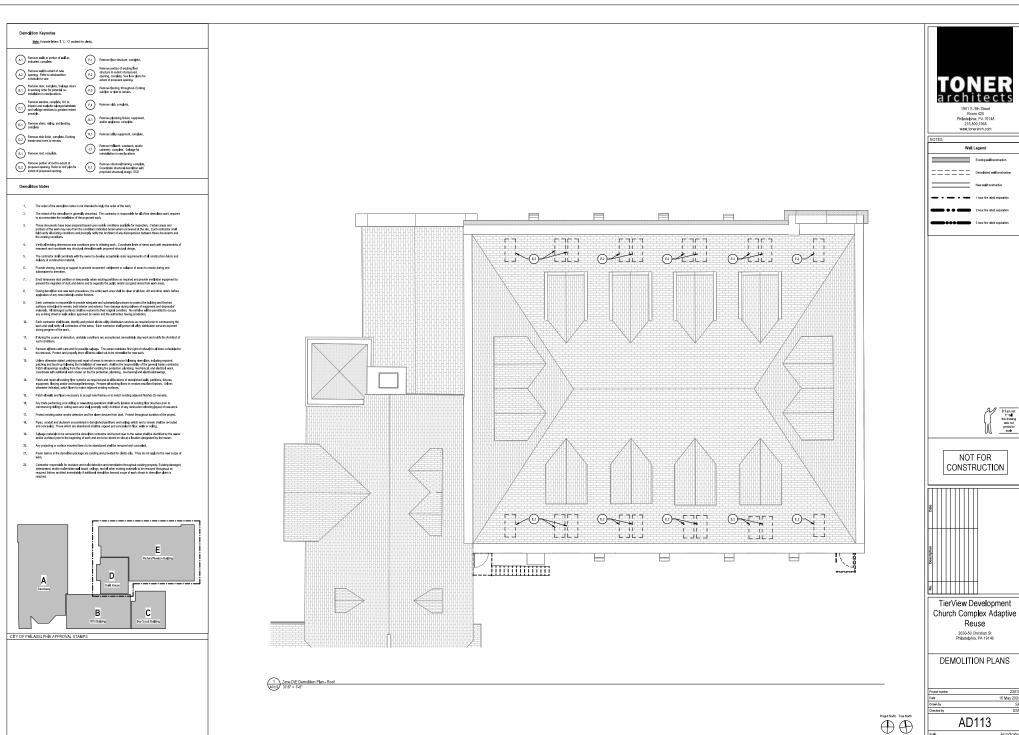


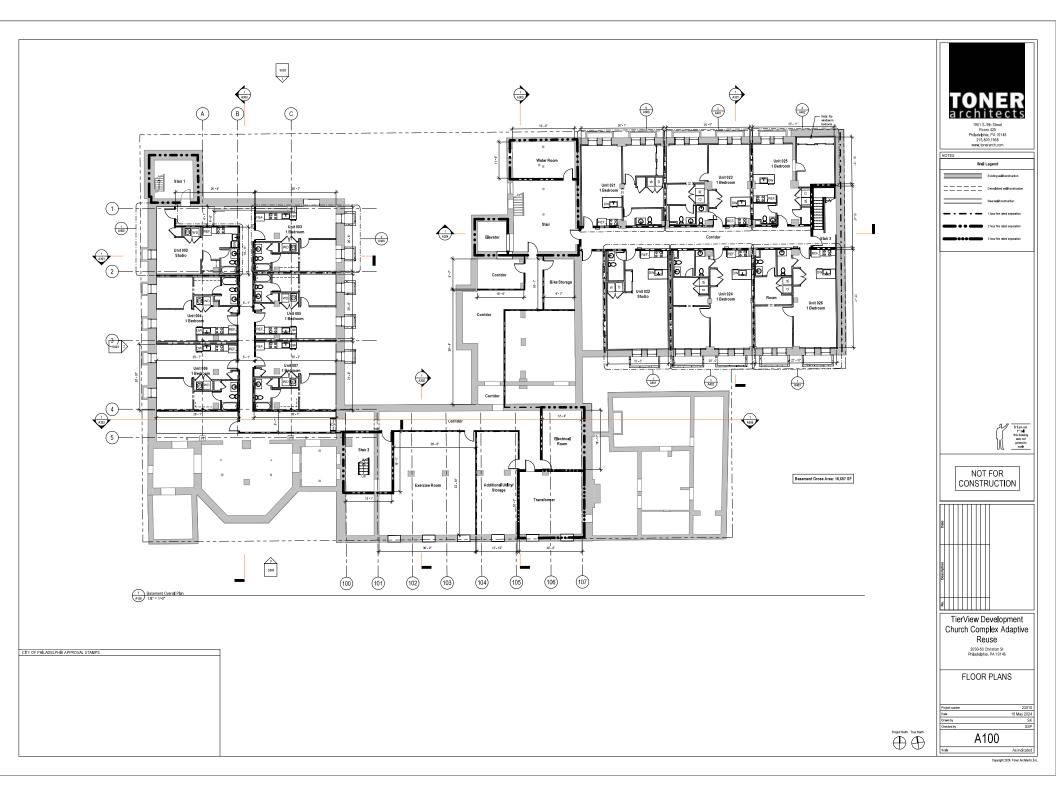


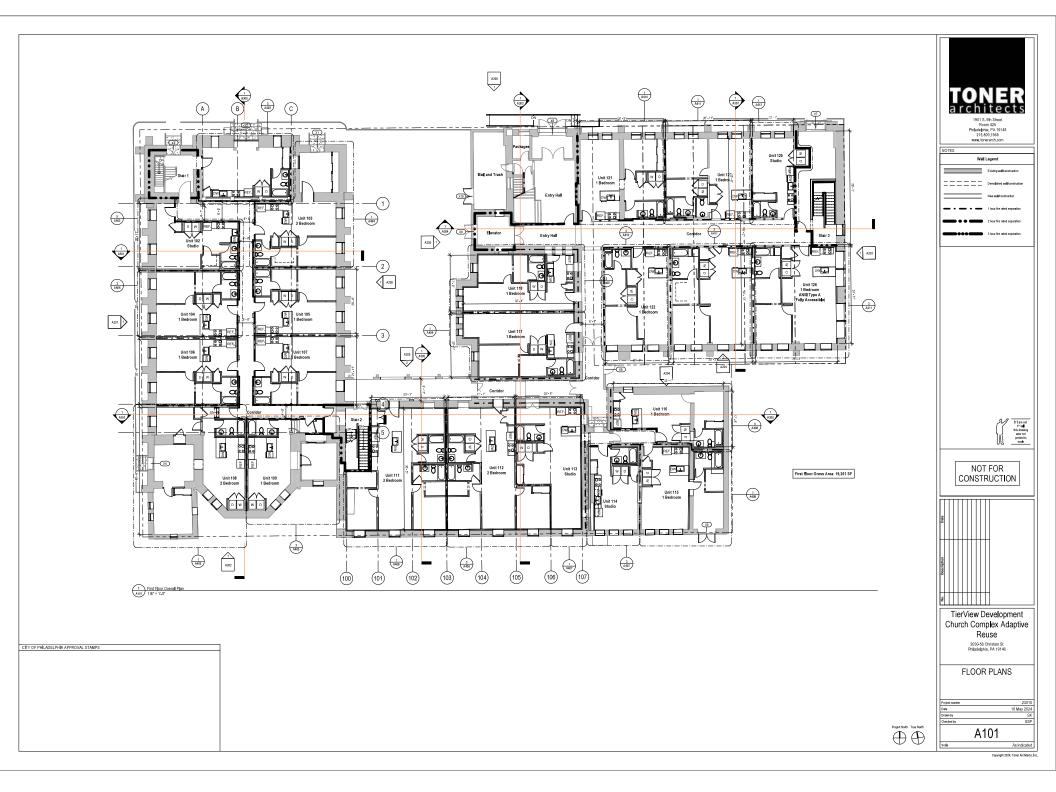
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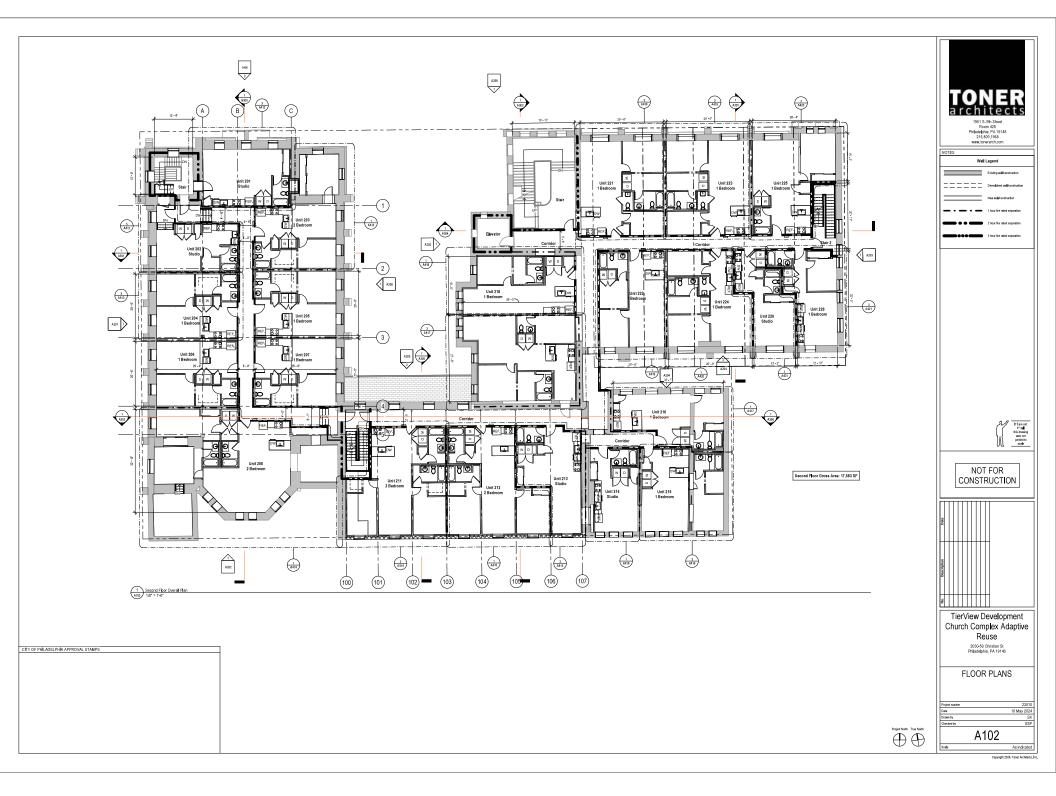
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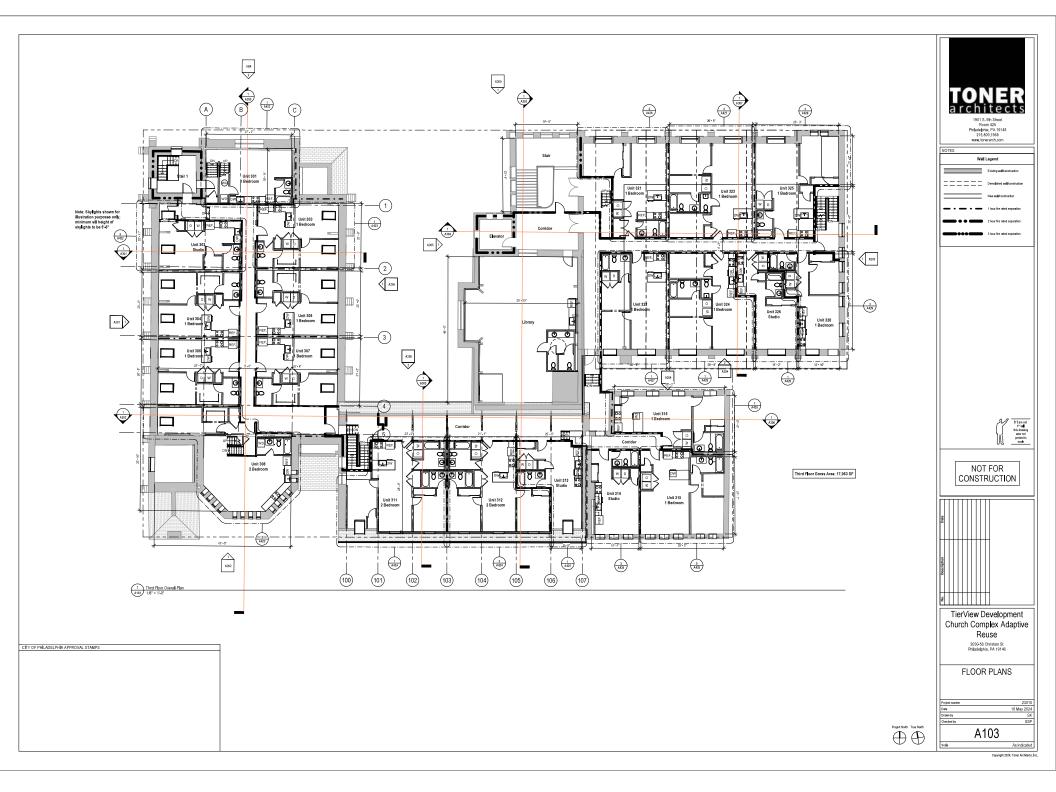


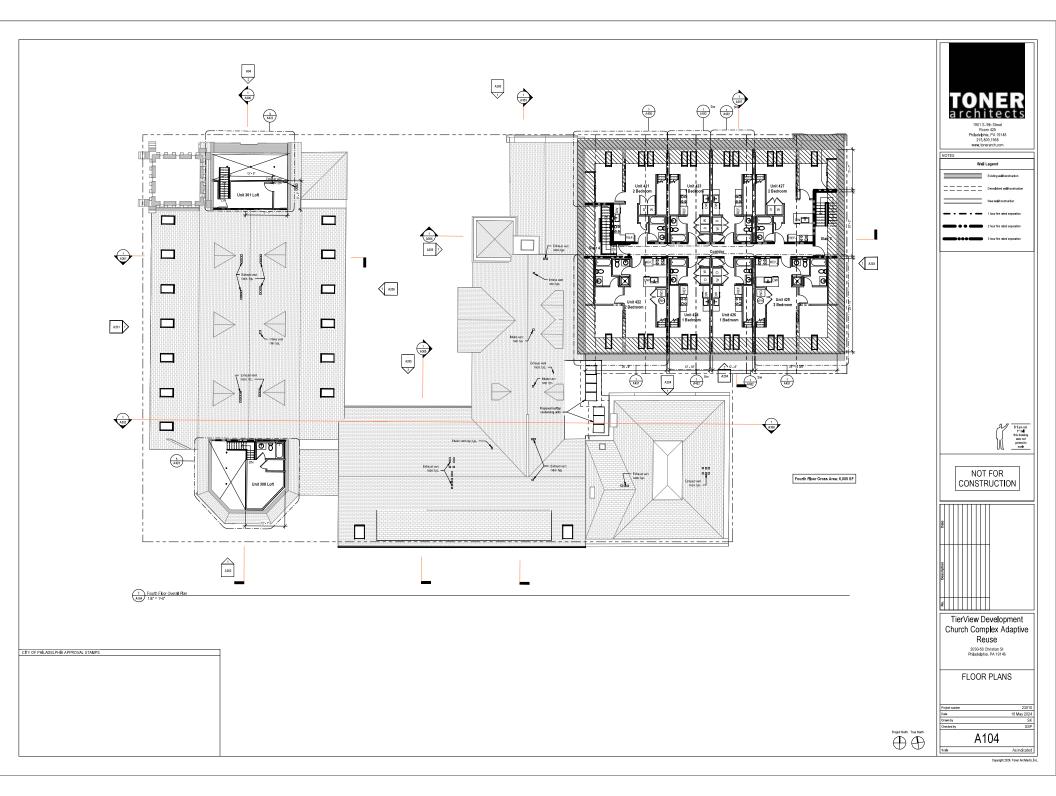


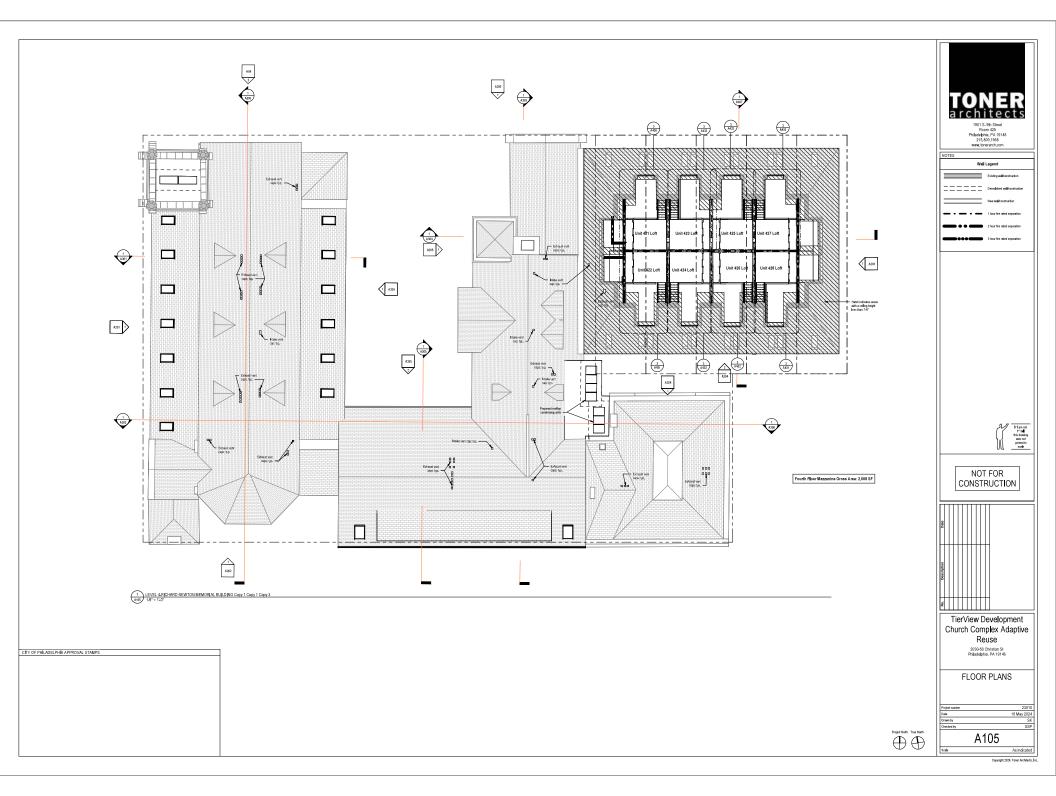


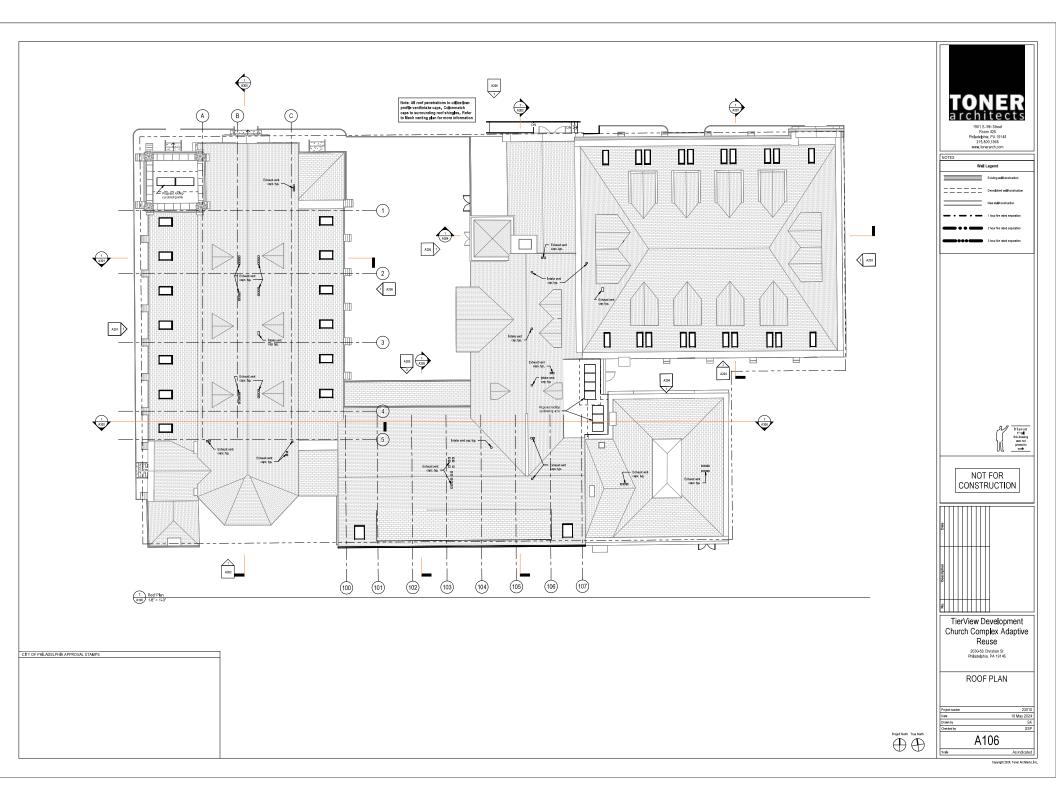


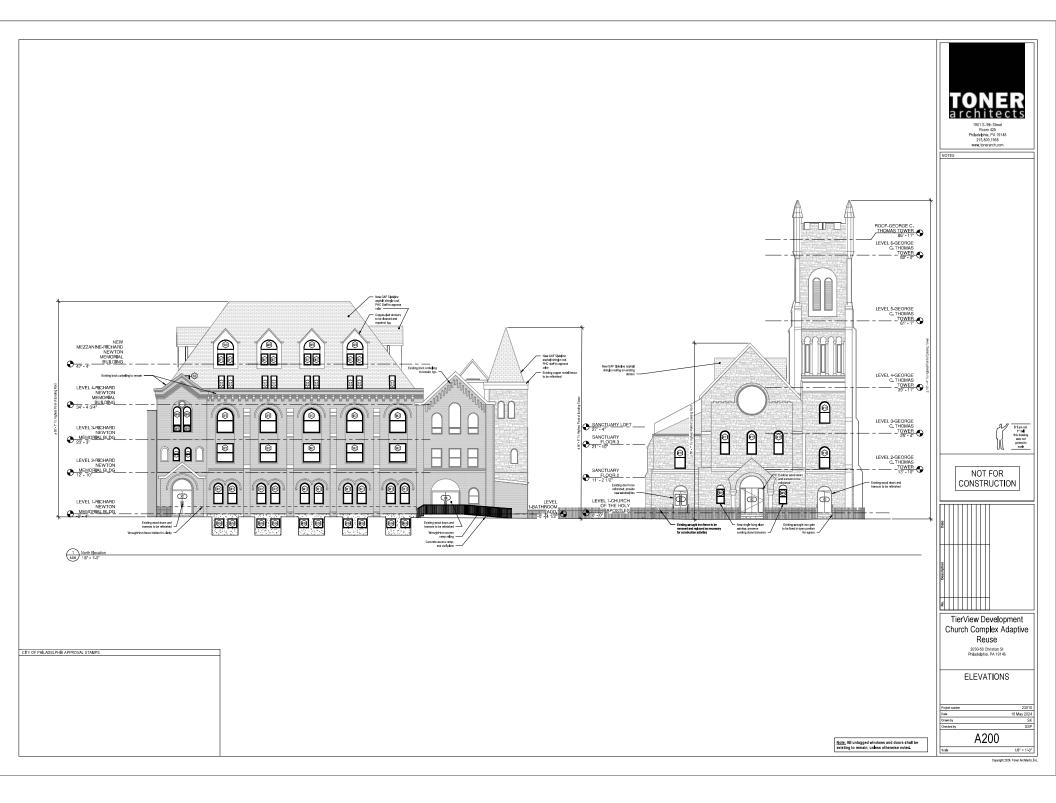


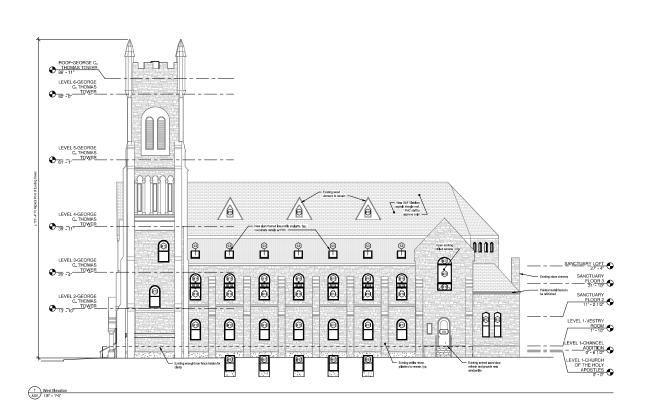






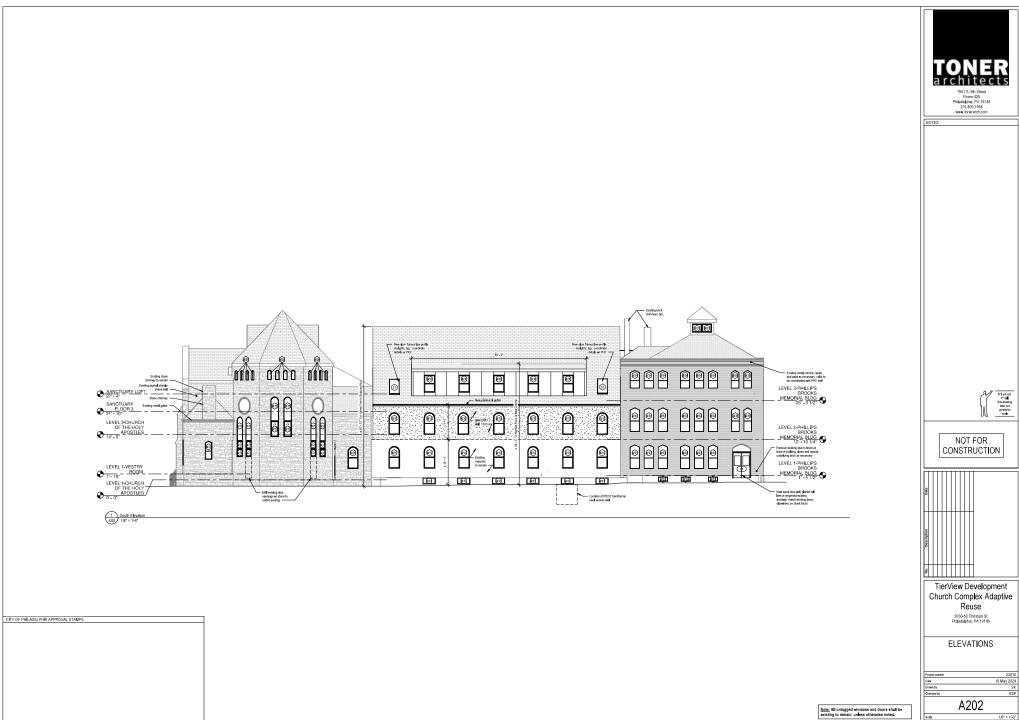


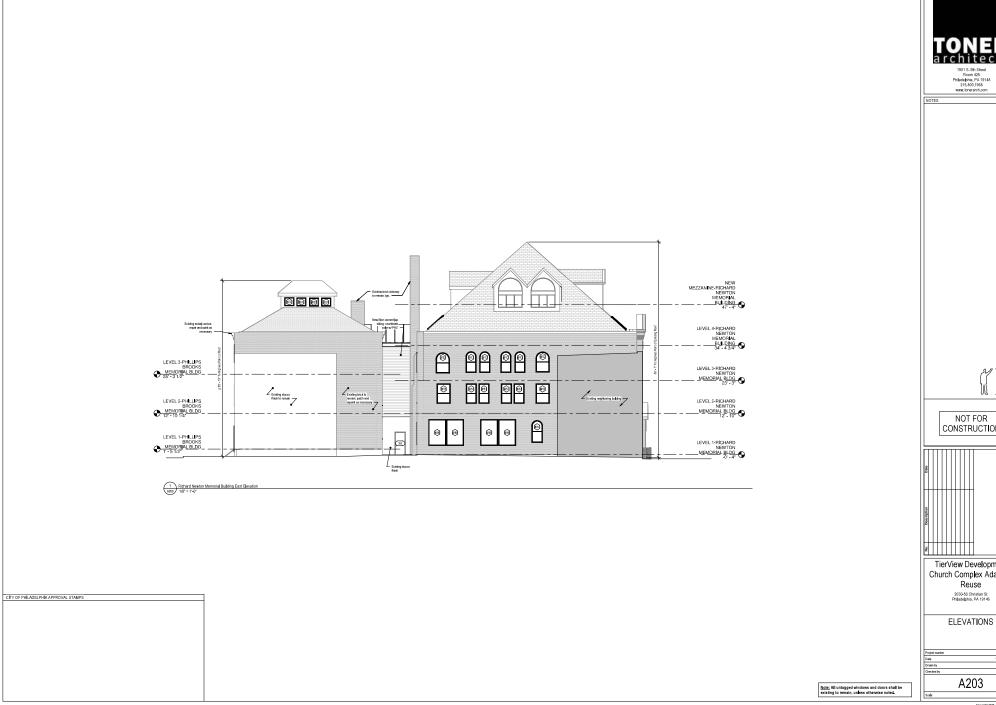




If I am not 1" to II this densing was not printed to scale NOT FOR CONSTRUCTION TierView Development Church Complex Adaptive Reuse 2030-50 Christian St Philadelphia, PA 19146 **ELEVATIONS** 23010 10 May 2024 A201 Note: All untagged windows and doors shall be existing to remain, unless otherwise noted.

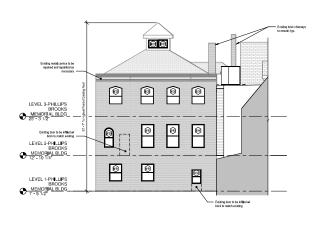
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If I am not 1" tall this drawing was not printed to scale NOT FOR CONSTRUCTION

TierView Development Church Complex Adaptive



Boy Scout Building North Elevation
4204 1/8" = 1'-0"

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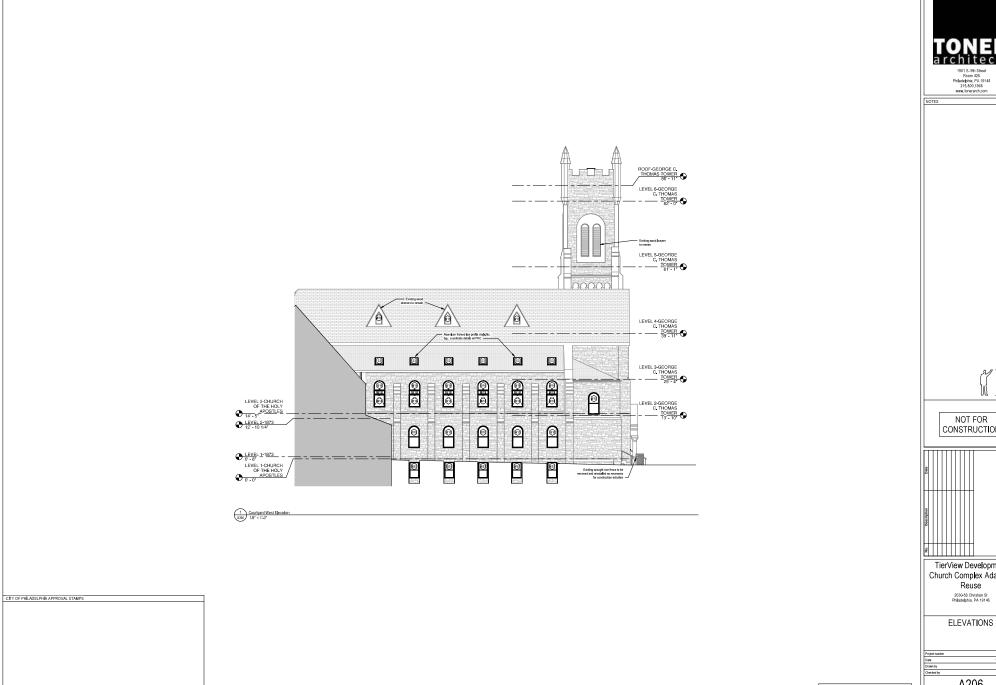
2 Richard Newton Building South Elevation
A204 1.8" = 1'-0"

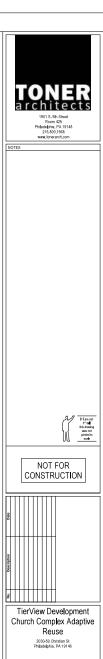
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Note: All untagged windows and doors shall be existing to remain, unless otherwise noted.



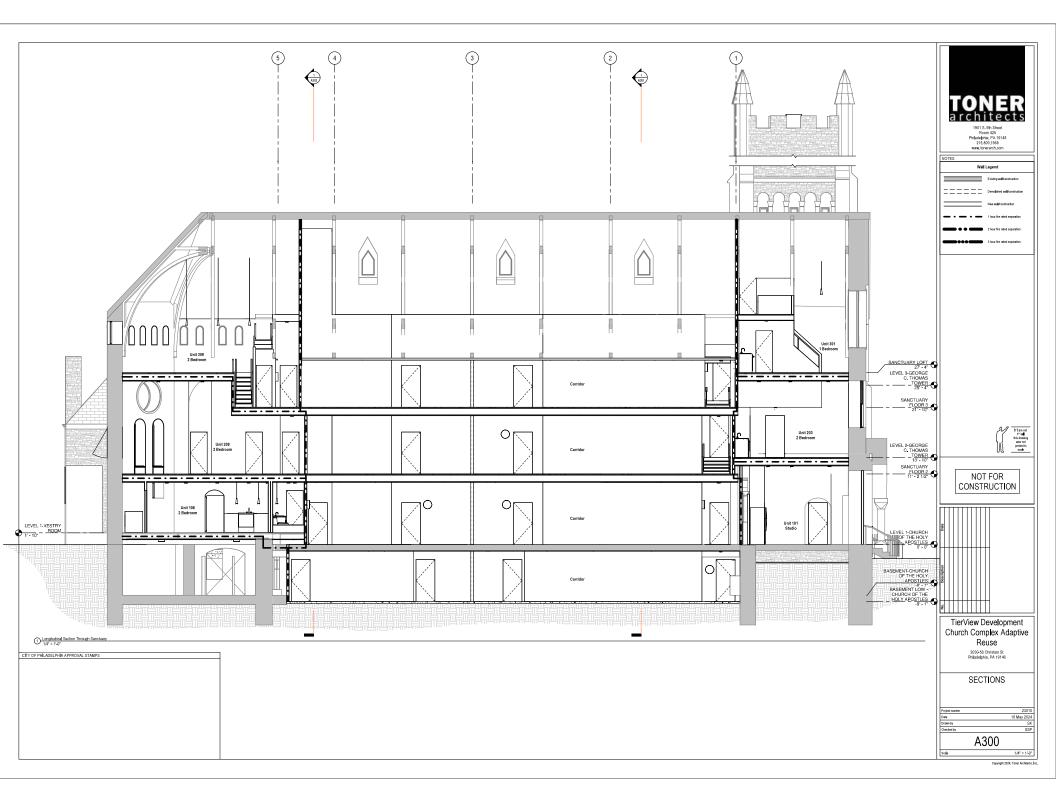
If I am not 1" tall this drawing was not printed to scale Church Complex Adaptive 23010 10 May 2024

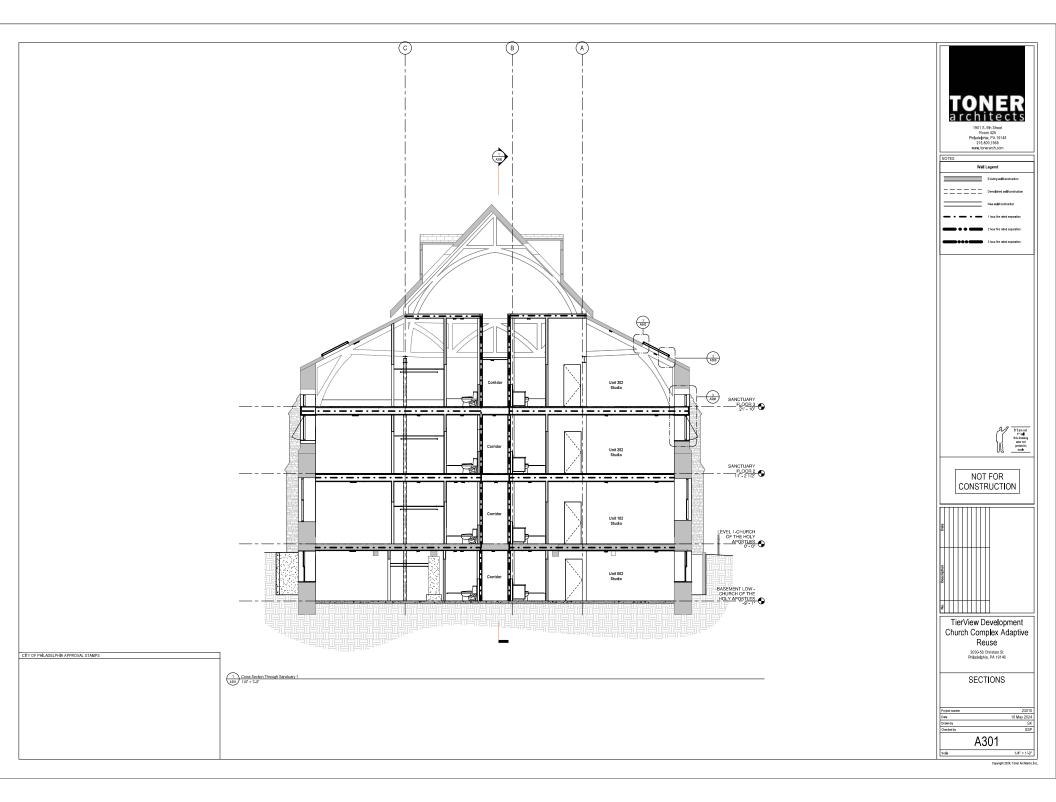


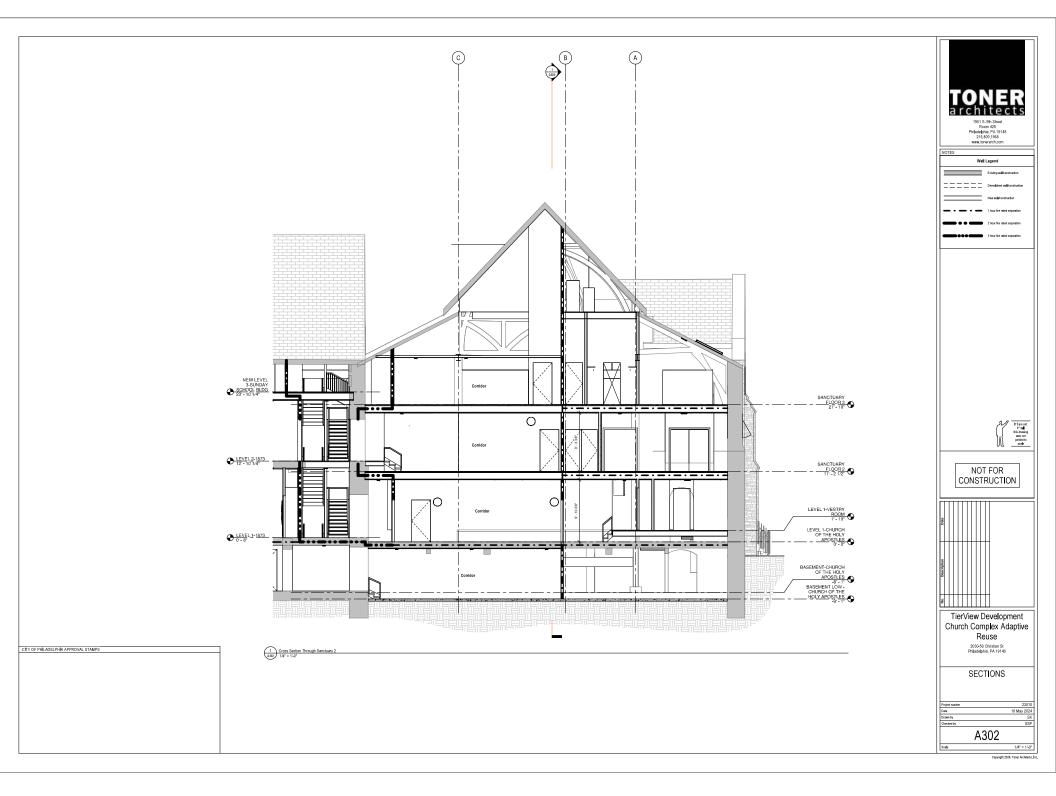


Note: All untagged windows and doors shall be existing to remain, unless otherwise noted.

A206

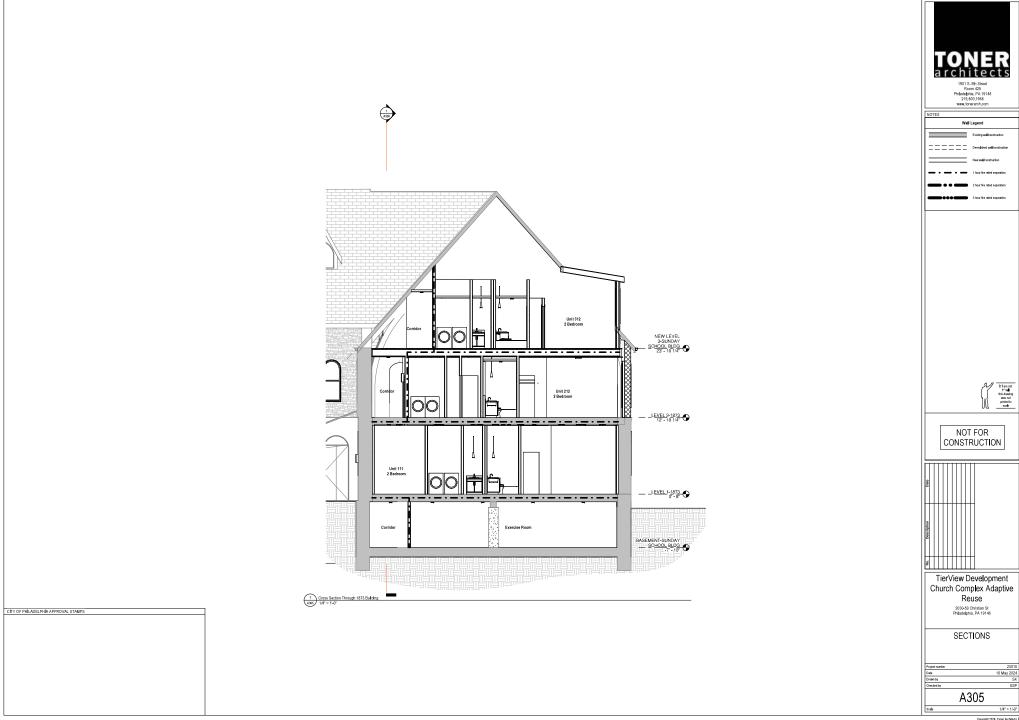


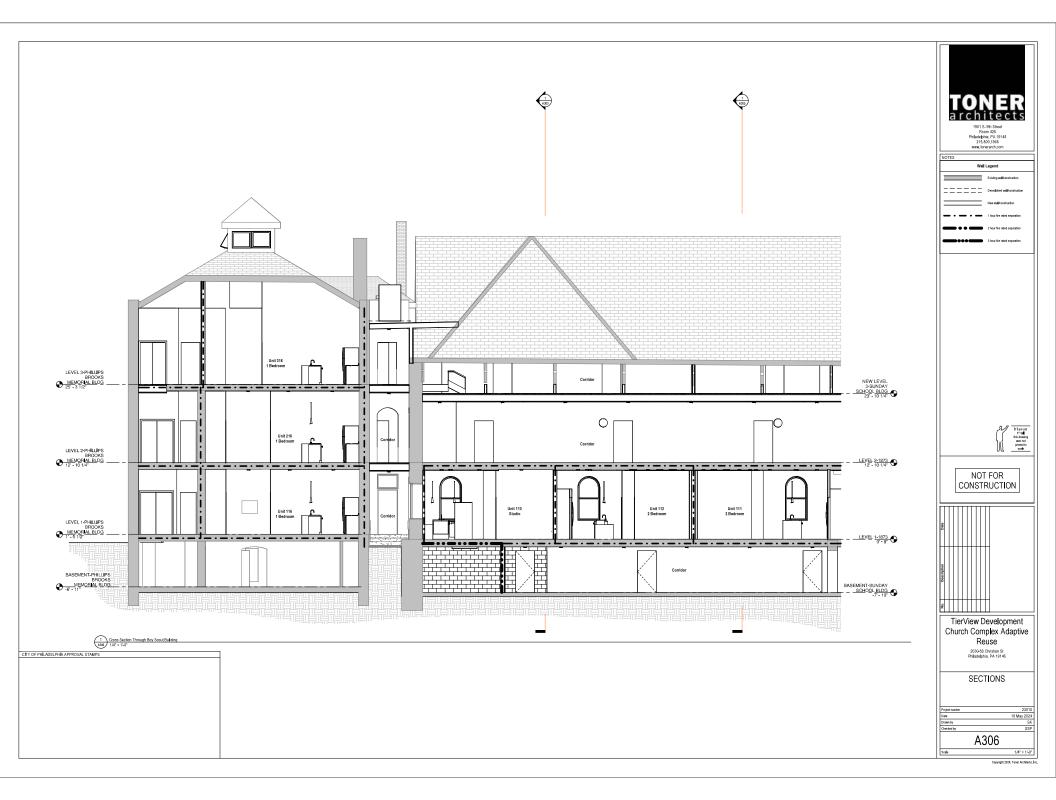


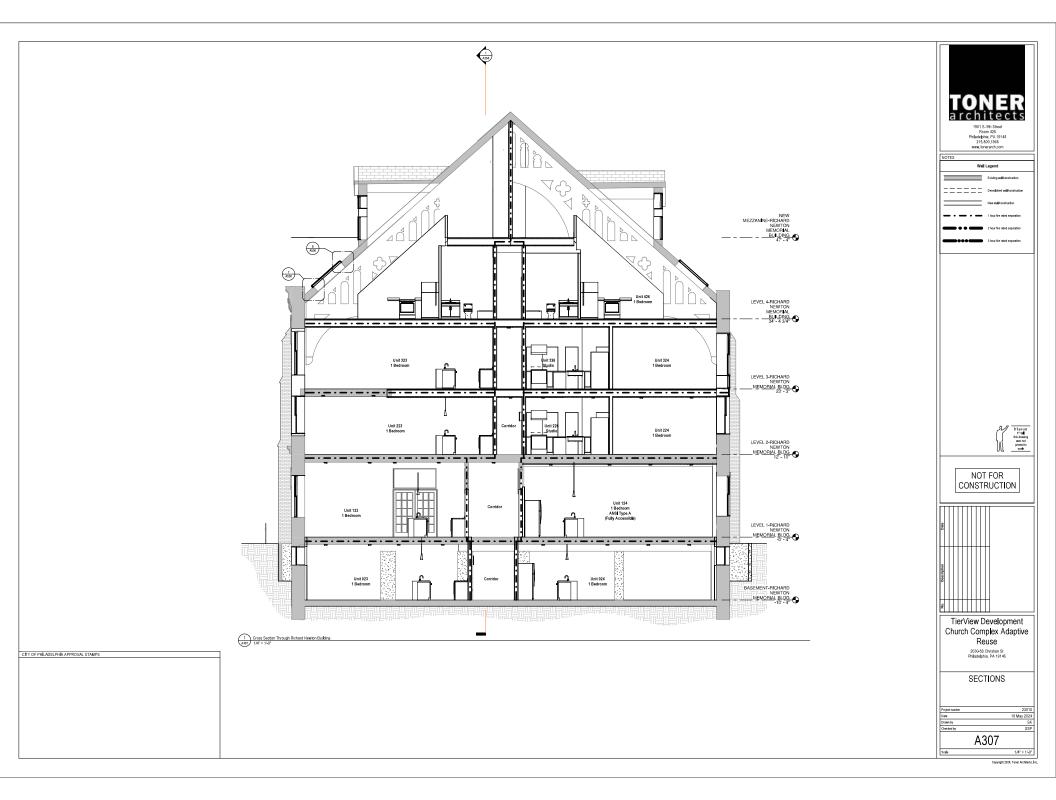


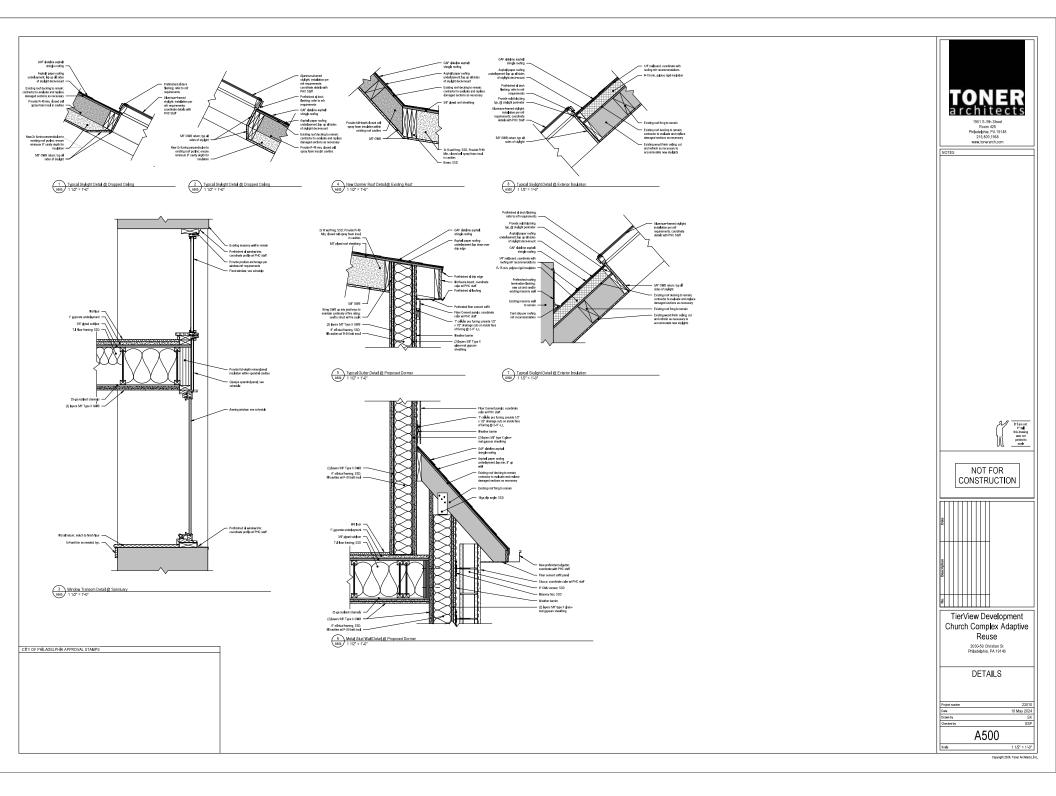












Town Mark	Width	T these	Operation	Comments	Cou
Type Mark	width	Height	Operation	Comments	Loc
B1	3' - 3 1.8"	6 - 0 3/8"	Vented Skylight		2
52	1" - 10 3.6"	5 - 11 3/4"	Vented Skylight		20
B3	2' - 7 1/2"	4 - 8"	Vented Skylight		13
W1	3' - 1"	6 - 8"	Single Hung Arch Top		10
N2	5' - 4"	6 - 0,	Single Hung		5
W3	S' - 4"	7 - 9"	Single Hung Arch Top		5
//4	2.2	4 - 4*	Single Hung Arch Top		2
N5	2' - 6"	2.0	Awring		2
N6 N7	2 - 6"	7 - 0"	Fixed Arch Top		16
N/ N8	5 - 2"		Awring		
W8	2 - 6"	0.9"	Fixed Arch Top Single Hung		8
W10	3 - 6"	7.0			40
W10	3 - 1"	7 - 7"	Single Hung Arch Top Single Hung Arch Top		3
W12	3 - 6"	7-0	Single Hung Arch Top		2
W13	3 - 4"	6.8	Single Hung Arch Top		111
W14	3 - 6"	4.0	Awring		13
W15	3 - 6"	1'-4"	Fixed Spandrel		13
W16	3 - 6"	11-11"	Fixed Arch Top		13
W19	4 - 6"	2 - 4"	Awring		1
N20	4 - 6"	6.00	Fixed		1
W21	4 - 6"	2 - 3"	Fixed Half Round		1
N22	2 - 2"	11' - 2"	Single Hung Pent Top		2
W23	2 - 2"	8 - 0"	Single Hung Pent Top		1
W24	2 - 6"	2 - 6"	Awring		4
N25	2' - 6"	2 - 6"	Fixed		4
N26	2'-6"	9 - 7"	Fixed Arch Top		6
N27	2'-6"	5 - 0"	Awning		2
W28	1" - 3"	3 - 8"	Fixed Arch Top		14
N29	3' - 4"	7 - 0"	Single Hung Arch Top		1
W30	3' - 6"	5' - 6"	Single Hung		5
W31	4 - 0"	2.0	Fixed Spandrel		6
N32	3' - 0"	1' - 6"	Fixed Spandrel		3
W33	30.	6'-11"	Single Hung Pent Top		12
W34	30.	S - 0"	Single Hung Pent Top		6
W35	2 - 6"	6'-11"	Single Hung Pent Top		2
W36	2'-6"	5 - 0°	Single Hung Pent Top		2
W37	3 - 0"	2 - 8"	Awring		8
W38	4.0	5 - 0"	Single Hung Pent Top		4
N39 N40	3 - 0° 4 - 0°	6 - 3" 7 - 6"	Single Hung Arch Top		1
W40 W41	4 - 0"	5 - 6"	Single Hung Single Hung		3 2
W41 W42	3 - 0"	4-6			2
M43	3 - 6"	6.2	Single Hung Single Hung		2
M43	4-2"	6 - 4"	Single Hung Arch Top		2
M45	5 - 7"	6.0	Single Hung		4
W46	5 - 7"	1'-4"	Fixed Spandrel		4
N47	5 - 7"	2.0	Fixed		4
W48	5 - 7"	6 - 8"	Single Hung Arch Top		4
N49	5 - 6"	R - 4"	Fixed	 	4
W50	4 - 4"	6 - 4"	Single Hung		2
W51	3 - 4"	6 - 4"	Single Hung	 	4
N52	4 - 4"	6 - 6"	Single Hung Arch Top	1	2
W53	2 - 11"	7 - 10"	Single Hung Arch Top	1	2
W54	2 - 1"	7 - 10"	Single Hung Arch Top	1	4
N56	2 - 11"	6 - 8"	Single Hung Arch Top	1	3
N56	2 - 4"	6 - 8"	Single Hung Arch Top	1	4
N57	3.0	5.0	Single Hung	Egress Window	10
W58	3.0	3.0	Fixed		20

Exterior Door Schedulle											
	Size				Frame	Details		Details			
Door Number	Width	Height	Door Type	Material	Finish	Material	Head	Jamb	Hardware Set	Comments	
	4-6		Double Arched Top		PT	WD	See Details	See Details		Existing exterior door to be refinished	
0	7-9		Double Arched Top		PT	WD	See Details	See Details		Existing exterior door to be refinished	
3	4-5		Double Arched Top		PT	WD	See Details	See Details		Existing exterior door to be refinished	
64	3-T	7-4	Single Arched Top	WD	PT	WD	See Details	See Details		Existing exterior door to be refinished	
65	5-4	7-11"	Double Arched Top	WD	PT	WD	See Details	See Details		New door to match existing style and hardware	
03	3-0	7 - 0°	Single Panel Hinged	WD	PT	WD	See Details	See Details		Existing exterior door to be refinished	
a	6-2	7-4	Double Arched Top	WD	PT	WD	See Details	See Details		Existing exterior door to be refinished	
3	8-6	7-0"	Double Arched Top	WD	PT	WD	See Details	See Details		Existing exterior door to be refinished	
9	4-4	7-8"	Double Arched Top	WD	PT	WD	See Details	See Details		Existing exterior door to be refinished	
C10	5'- 0"	a- 0.	Double Arched Top	WD	PT	WD	See Details	See Details		New door to match existing style and hardware	

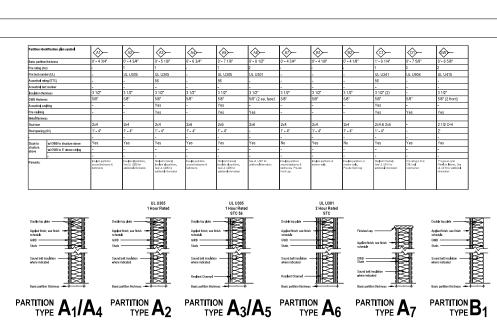
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NOTES				
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 TierView Development Church Complex Adaptive				
Reuse 2000-50 Christan St Philadelphia, PA 19146				

CITY OF PHILADELPHIA APPROVAL STAMPS

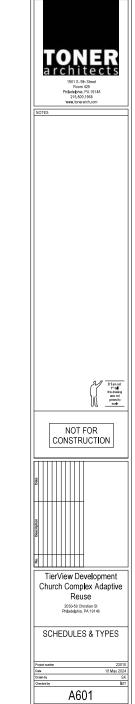
Project North True North

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A600



CITY OF PHILADELPHIA APPROVAL STAMPS



UL U341 1 Hour Rated STC 56

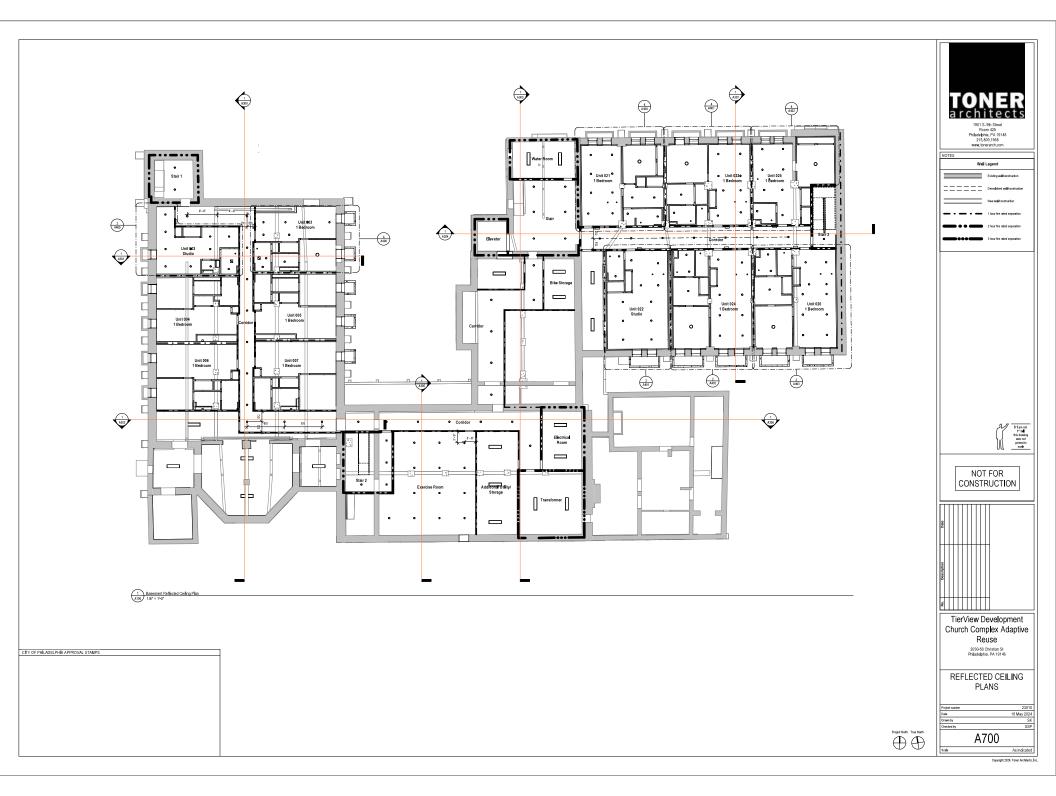
PARTITION C1

PARTITION D1

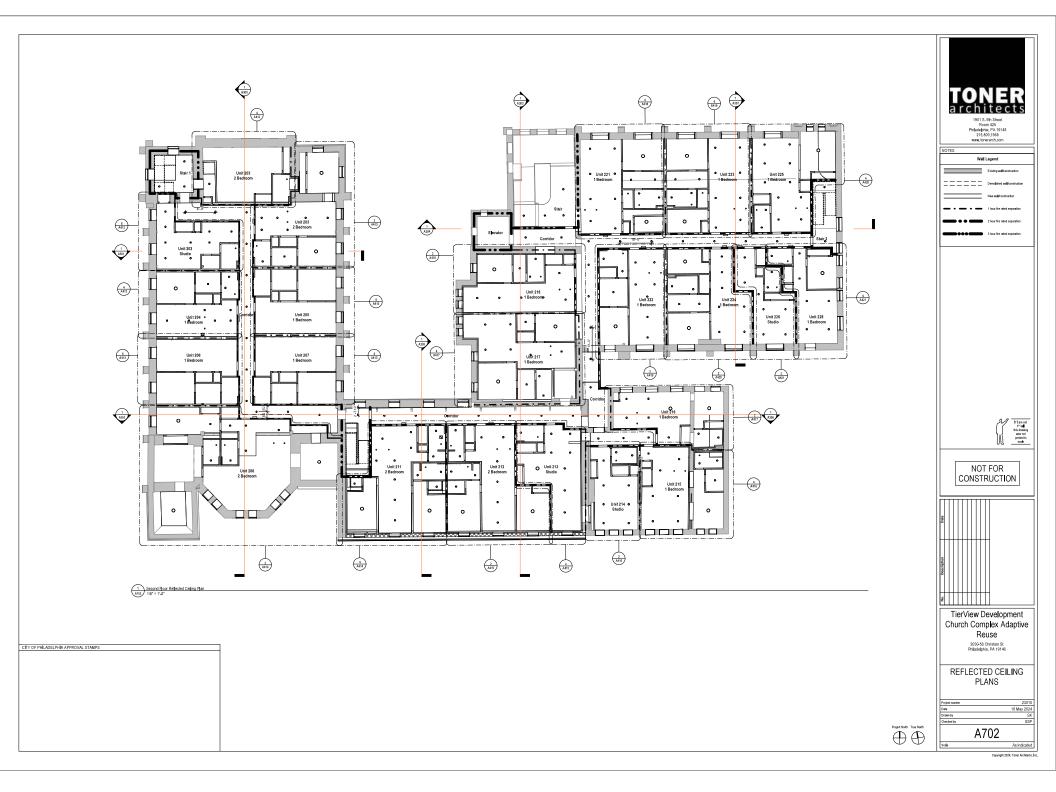
PARTITION B₂

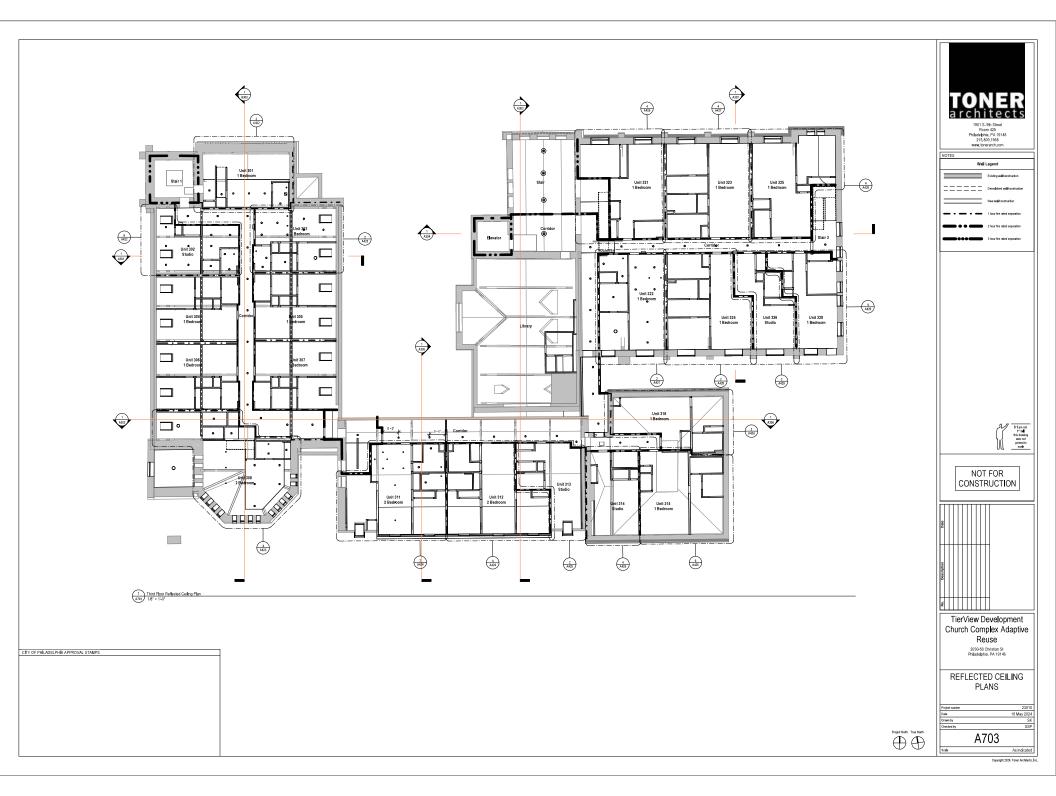
UL U415 • System B 2 Hour Rated

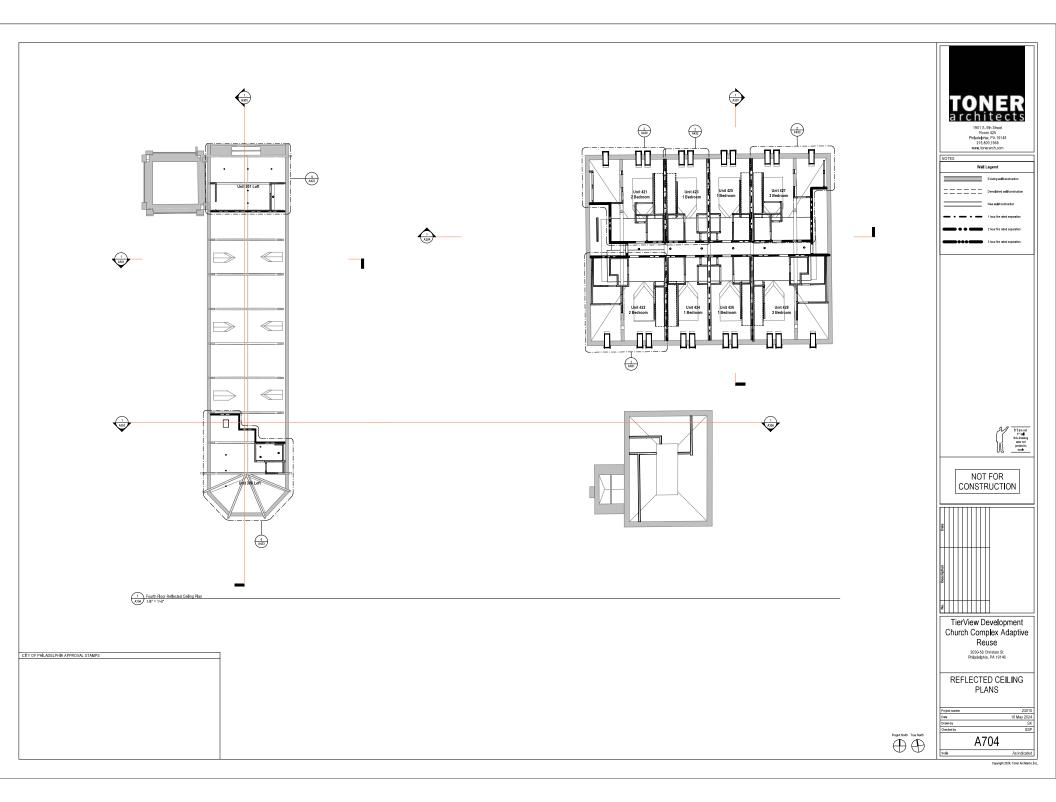
PARTITION TYPE SW1

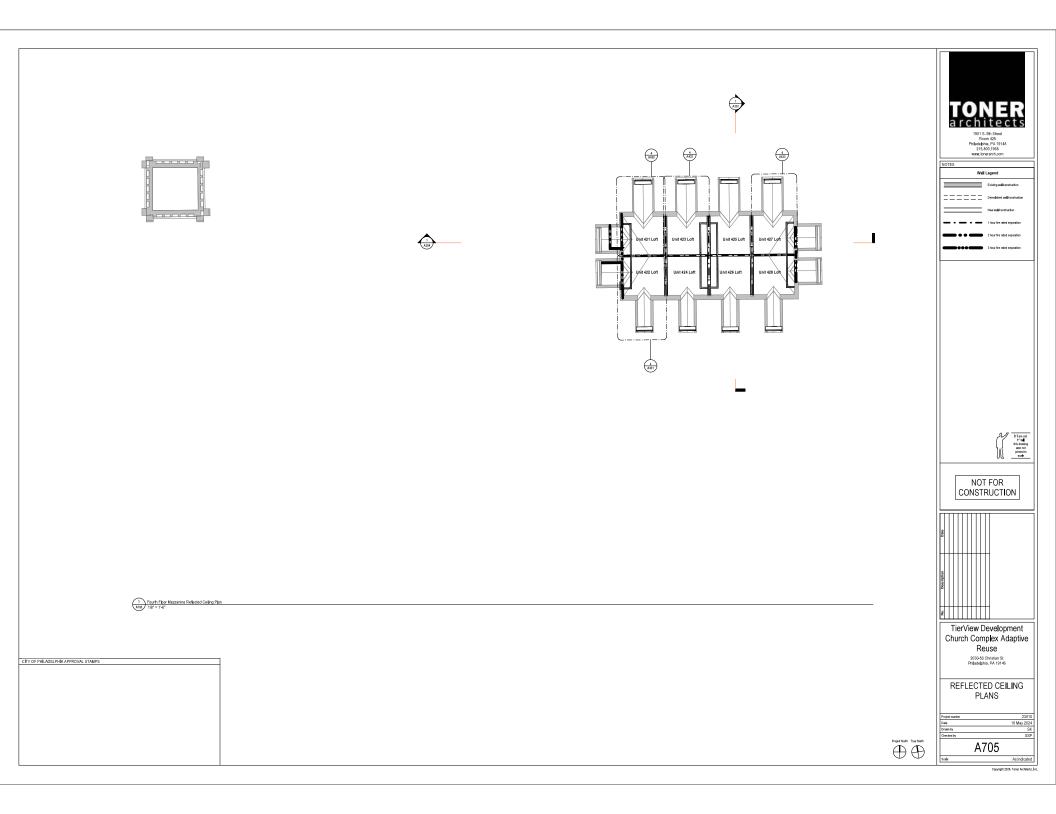












ABBREVIATIONS

EXIST existing
EXP expansion
EXT exterior

CITY OF PHILADELPHIA APPROVAL STAMPS

	abbreviations per CSI Uniform	FDN	foundation .	SCHED	schedule
Drawing System		FIN	finish	SECT	section
-	=	FL.	flange	SIM	eimilar
AB	anchor bolt	FLR	floor	80G	slab on ground
ABY	above	F6	fär side	SPEC	specification
ADJ	adjacent	FTG	faotina	50	square
ΔĦ	above finish floor		•	STD	standard
ALT	alternate	GΑ	qaqe		
APPROX	approximate	GALV	qalvanized	T4B	top and bottom
ARCH	architect, architectural	GR	grade	T4G	tongue and groove
		GR BM	grade bean	TCX	top chord extension
BC	bottom chord		•	TEF	top of existing footing
BCX	bottom chord extension	HORIZ	horizontal	THK	thick
BEF	bottom of existing footing	HT	helght	TOC	top of concrete
BEGB	bottom of existing grade beam		•	T ⊘ F	top of footing
BLDG	building	INT	Interior	TOM	top of masonry
BLKG	blocking			TO6	top of steel
BØF	bottom of footing	JST	lolet	TOW	top of wall
BOT	bottom	JT	loint	TRANS	transverse
BRG	bearing		-	TYP	typical
B6	both sides	LLH	long leg horizontal		4
BW	both ways	LLV	long leg vertical	UNO	unless noted otherwise
	•	LONG	lonal tudinal		
CIP	cast in place			VERT	vertical
CJ	control joint	MASY	masorry	VF	verify in field
CLG	ceilina	MAX	maximum		•
CLR	clear	MECH	mechanical	W/	ulth
CM	concrete masonry	MN	minimum	wo	ulthout
COL	column	MISC	miscellaneous	WP	working point
CONC	concrete			ΨŤ	welcht
CONN	cornection cornect	NOM	nominal	WWF	uelded wire fabric
CONST	construction	NS	near side		
CONT	continuous	NTS	not to scale		
DBL	double	oc	on center	SYMBOL	.6
DET	detail	OPNG	opening		
DIA	dianeter	OPP	opposite	4	center line
DIM	dinension			(E)	existing
DUG	drawing	PSF	pounds per square foot	Æ	plate
	-	P61	pounds per square inch	(6)	slope
EA	each				at '
EL	elevation	R	radius	•	dianeter
EQ	equal	REINF	reinforcing, reinforced		
EQUIP	equipment	REQD	required		
EW	each uau		•		

STRUCTURAL NOTES

GENERAL

- Comply with latest editions of applicable local and state building codes and regulations, including but not limited to 20% interpreted Building Code. We have a considerable substitution of the structural legislations and project specifications. Estate good the considerable substitution of the substitution of the substitution and measurements shown on these changes are approximate. Verify all conditions and differentiations prior to starting such. If conditions differ from those shown notify Owner intenditions.

- Veril 3 III conditions and ontensions promote that the property of the propert

- Provide periodic and final claim up and coordinate work with Current o establish access to womput and for staging and storage areas. Protect existing construction and utilities during construction. Notify there if there are appeared inconsistencies between structural plans, rotes, details, and specifications prior to proceeding with affected portion of the work, the property of the processing with affected portion of the work throughout project. Mo. All typical details not cut on pile negligible, all appropriets coulties. Coordinate signal details fabric product data for proposed substitutions demonstrating equivalence to specified products from more retails.
- Submit product data for proposed substitutions demonstrating equivalence to specified products shoun on drainings. Structure is designed to be self-supporting and slable after construction is complete. Contractor is solely responsible for construction means and nethods, including techniques and sequences of proceedures.
- procedures.

 Contractor is solely responsible for design and construction of all shoring and bracing necessary to protect existing construction and to complete work shown on these drawings.

STRUCTURAL LOADS

L Design Loads Per 2018 International Building Code:

Building Occupancy Category: II

Live Loads:

Residential: 44 Stairs and Exits: 100 psf 40 psf. 20 psf.

FOUNDATIONS

- Verify shimm allousible soil bearing capacity of 2,000 pat for footings.
 Place footings and side on tim, day non-frozen subgrides.
 Remove insultation soil encountered only successful for forondations and sides. Backfull these Remove formations of the sides of the s
- DBD II.

 Brace and protect foundation ualls during backfilling.

 Do not perform urbalanced backfilling against foundation ualls unless ualls are securely braced by temporary barcing or permanent construction.

CONCRETE

- Comply with latest editions of American Concrete Institute ACI 301 "Specification for Structural Concrete for Buildings, ACI 305 "Building Code Requirements for Structural Concrete, ACI 305 "Hot Compression Structural Concrete, ACI 305 Hot Compression Structural S content for 34th content another aggregate. Steint proposed air content for misse sith notine aggregate issue. ARM ARM ARM Cases 60 deformed bers. Provide standard hocks on double into primer plainters and usits. Provide continuous reinforcement at corners and intersections. Lap all reinforcing bars 46 ber datesters. Lap all reinforcing bars 46 ber datesters. Lap all serior contents and intersections. Provides 14th arms on exposed aggregate and corners. Provides 14th arms on exposed aggregate and corners. Provides 14th arms on exposed and corners of the provide following over for reinforcements. However, and the provides are contents on exposed and corners of the provides are contents on expositions of the provides are contents on expositions and the provides are placed directly on earth footings.

 Concrete placed directly on earth footings are force or features for reinforcing steel.

- All remorcement

 9. Submit certified mix design and complete set of shop drawings for reinforcing steel.

SI AR ON GROUND

- Provide 4" concrete slab on ground with 6xis \$12.0xIII.0 IIII.F located at 1/3 depth of slab from top, IXO. Provide 1" minima lap in IIII." In Itea of IIII.F provides that Plementh-6xit diotage of 3 bacCY per manufactures printed instruction.
 Place also on 6 ml polyegisher vippor berrier and 4" PADOT 178 store.
 Place also on 6 ml polyegisher vippor berrier and 4" PADOT 178 store.
 Provide corticipates as from on foundation plans. Size out control (pints to 1/4 depth of slab and Provide IIII." apply in as shown on foundation plans. Size out control (pints to 1/4 depth of slab and Provide III." apply 1/4" premoteded Inolation joint between slab and walls, plens, and other vertical faces.

CONCRETE MARONEY

- .. vide tuo vertical rebars at corners and uall ends and both sides of door and windou openings,
- Provide two vertical relative at corners and sall aireds and both islates of door and sindous openings, incomatal, joint verticonamen, 46th Villador and 46th joint-based (i) cast in per 85th 464. These types for single asylor salls, Provides in every access below grades or sixts on grade. Provides joint Provides in every other course (ii) creamen above grades or sixts on grades. Provides joint, electronament, in all insucry salls, including non-bearing partitions. Discontinue joint relationsement at coursel joints. Adorts reasony to abstrate good control joints. Adorts reasony sold if either face below grades or also on grades. Crost reasony sold let either face below grades or also on grades. Crost reasony sold below loses are objust bearings. Bead ground graded ground corres 1-4" horitontally on both sides of beamforts and 1-0" below beamforts.

TYPICAL MASONRY REPAIRS

- Repair all loose and deteriorated neading by rebuilding with concrete neading or suitable brick, then only one sights is rebuild, the sightes with Hellint, encircle at 24 centers vertically, and horizontally.

 There reading is sound but notice; joint and destorated, remove loose and deteriorated notice and point joints or IIII joints by parging entire wall.

 Joint joints or IIII joints by parging enter wall.

 All seading with selfer productions set for repairing repairs is general/ligical and not exhaustive.

 All seading with selfer productions set for repairing repairs segmentally produced to exhaustive.

 Brick units ASTN CII6, Grade SU, 3,000 pis inkinus corpressive strength. Mortar Type 5.

STEEL

- Comply with latest editions of American Institute of Steel Construction "AISC Specification for the Design, Fabrication and Execution of Structural Steel for Buildings" and "AISC Code of Standard Practice".

- Product

 Bern, notice, and plates ASM1 A36. Tubing ASM1 AS90 Grade C.

 Bern, notice, and plates ASM1 A36. Tubing ASM1 AS90 Grade C.

 Fatheres Group A (ASM1 PSIS), detailed A375, Tipe II), 344 climitest, for Type N connection, UNO.

 Treatable roles ASM1 ASI.

 Structure Illustration of the International Control of the International Con
- 9. Steel fabricator to survey and verify existing conditions prior to fabrication of steel members.

- Comply with cited International Building Code or National Design Specification for Wood Construction (NDS) latest edition.
 Libod Interiging Hen Ph No. 2 or better, INO.
 Used Interiging Hen Ph No. 2 or better, INO.
 Used Interiging Hen Ph No. 2 or better, proserver processed with Corpore above from the Code of the Cod

- bedam, 1400 for posts. MC2 siminar 1,000,0000 pair for beams, 1800,0000 pair for beams, 1800,0000 pair for beams, 1800,0000 pair for posts. MC2 siminar 1,000 pair for pair fo

- Provide double top plate at all load-bearing ualls. Minimum 6'-0' splice.

- Movide double toop plate at all load-bearing salls. Whitma 6-07 spilots.
 Movide goods is used point as dissent bearings controls to foundation or bearing.
 Movide plots such social sale to be such services to foundation.
 Provide blocking, bracking, and lordging per IBC prior to loading.
 Natil na accordance suits IBC Teaching Section 1 Teach of the real type, UNO.
 Relate multi-ply sections with NILI potentiation Teach of social per section 1 the provided provided to the real type, UNO.
 All selects to be full length networks. Faster states to cashibly section with III-potentiation Tricoracts. screen (0.939 shark, clienter) or Simpson SDUB screen (0.200 shark, clienter) uso screen at 24-inch centers (100 and bottom).

ANCHORS IN CONCRETE AND MASONRY

- See drawing call-outs and other notes for additional information.

 Equivalent products by Simpson, Powers, or Red Head may be substituted.

 Install Tatemen's necondarce sith manufacturer's printed instructions, including substate preparation.

 Epoxy Anchor in Concrete. Hitl HT-H7 200 epoxy with 3.4" diameter by 6' embed 436 threaded rod
- INO.
 5. Epoxy Andror in Hollou Concrete Misorry. Hills HIT-HY 210 epoxy with 344" distrator by 6" entred A36 threated not INO, pits applicable HIT-55 screen, HT-C trent, or HS-N trent to saft application.
 Epoxy Andro in Brick Misorry. Hills HT-HY 20' epoxy with 344" distrator by 6" entred A36 threaded not INO, pits applicable HIT-55 creen, HT-15 report, with 544" distrator to saft application.



Room 425 Philadelphia, PA 19148 215,800,1968 www.tonerarch.com

NOTES



CONSTRUCTION

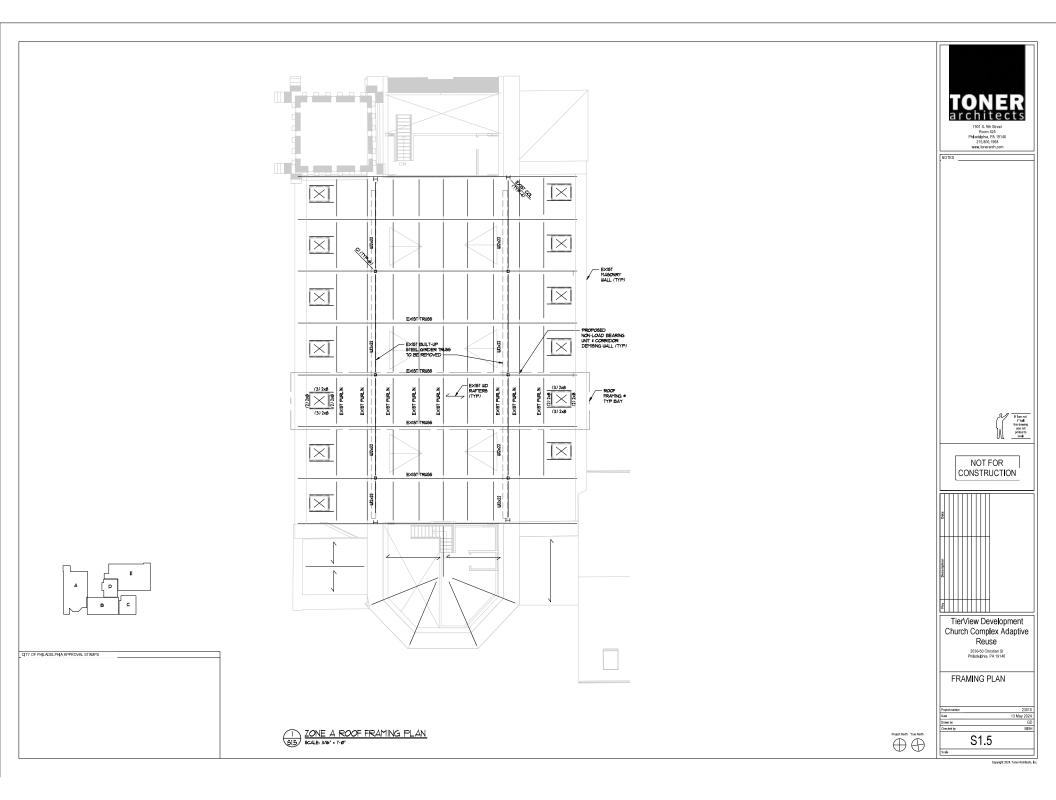


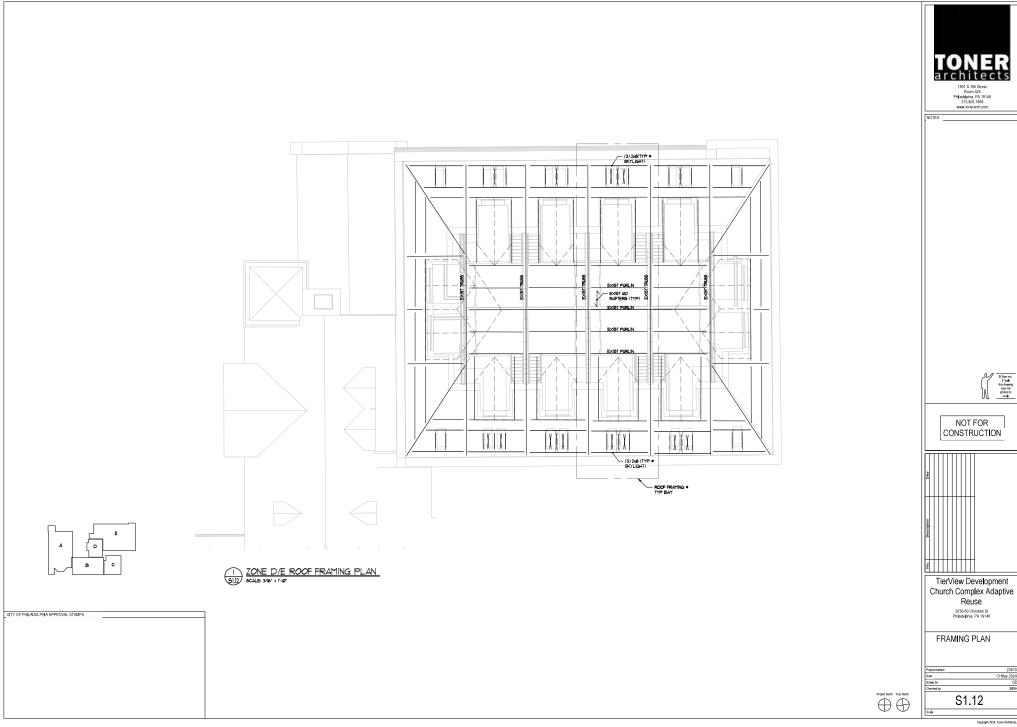
NOTES **ABBREVIATIONS**

2030-50 Christian St Philadelphia, PA 19146

13 May 2024 S0.0

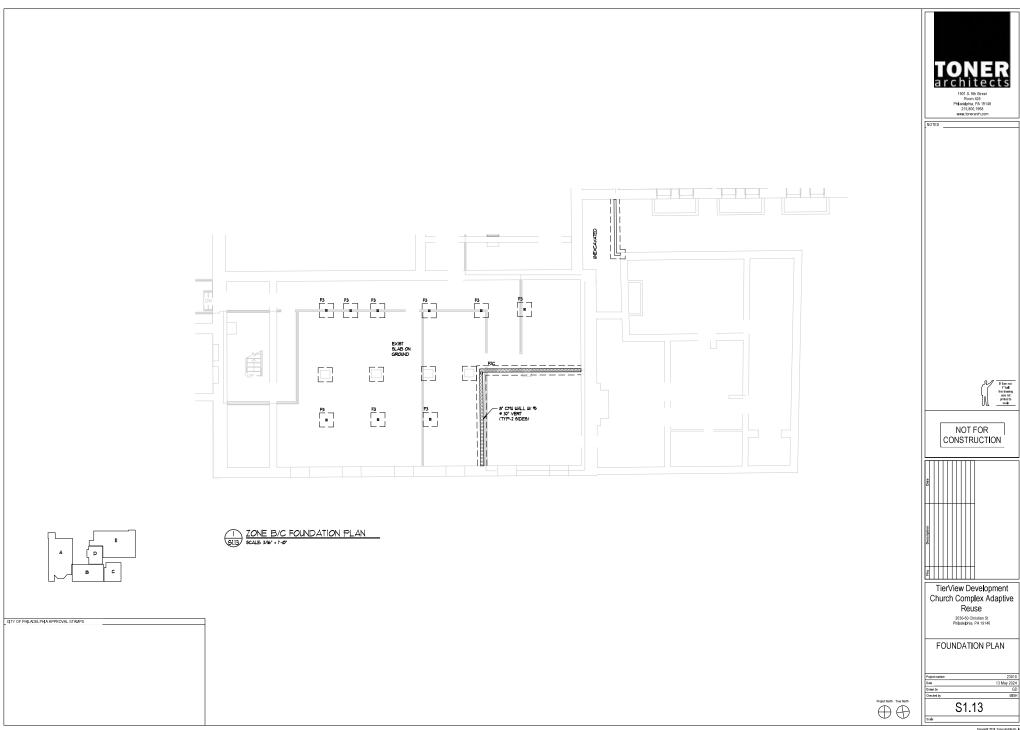


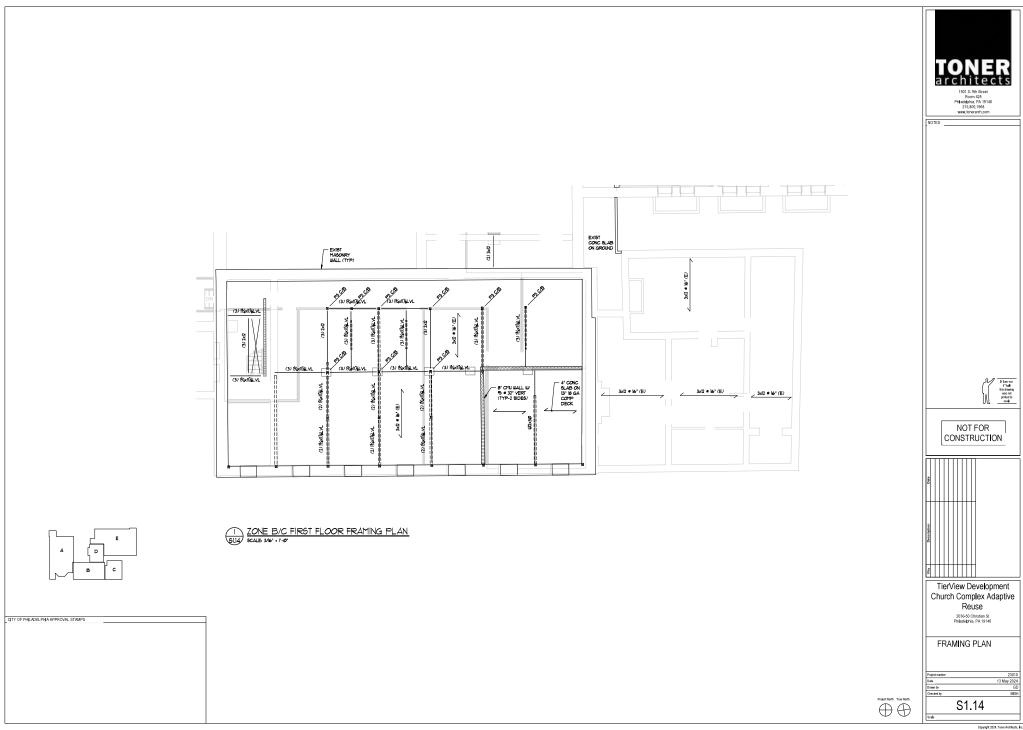


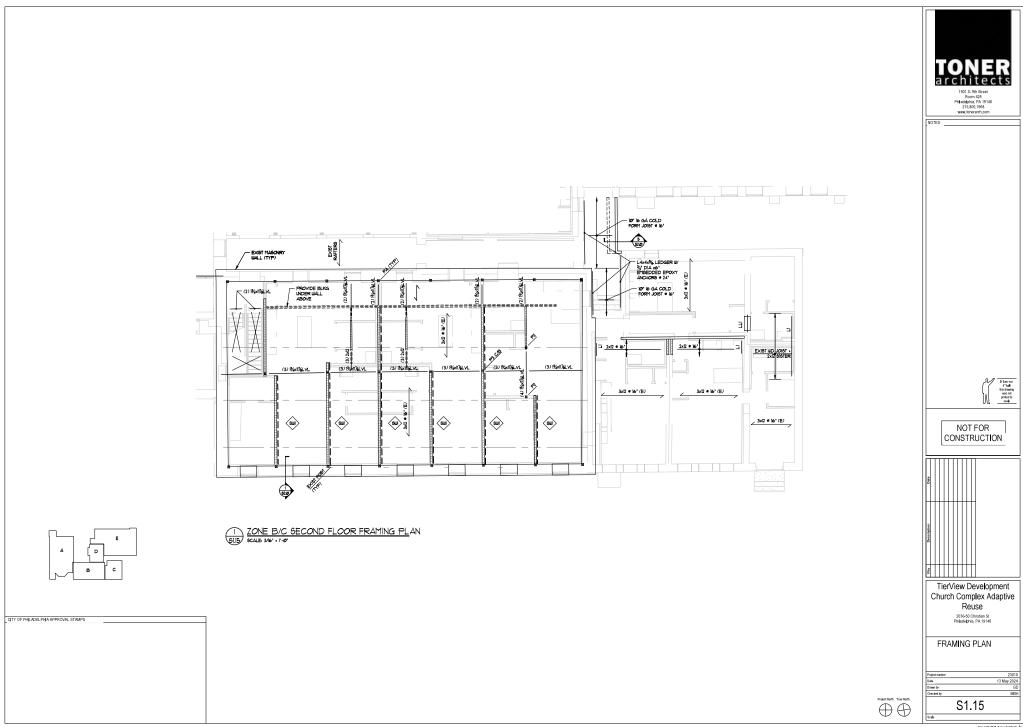


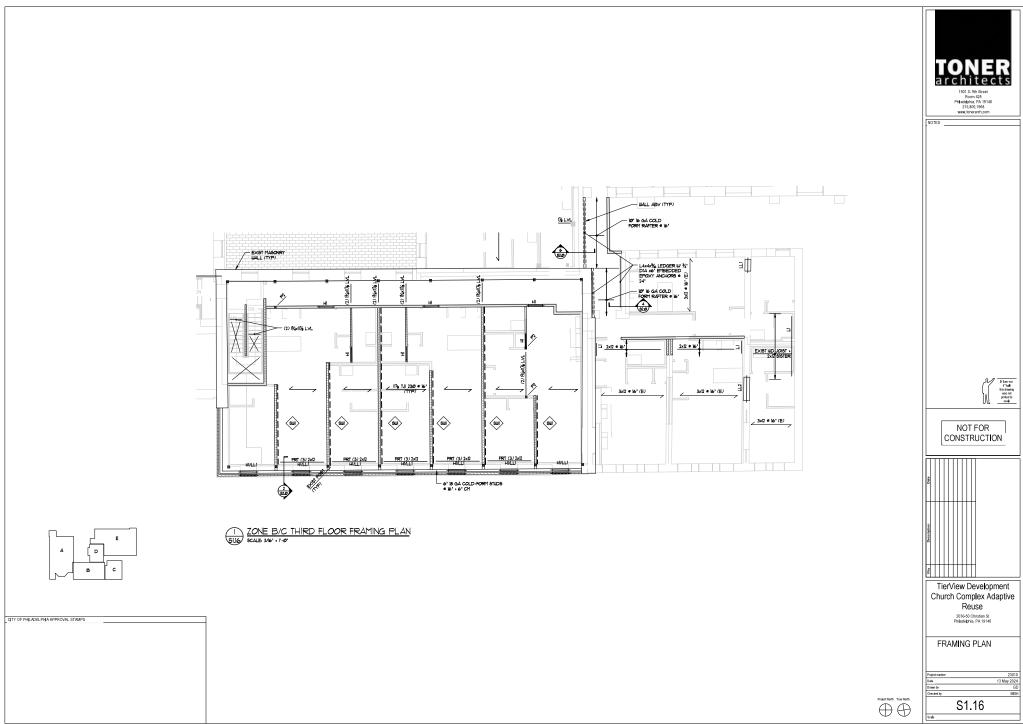


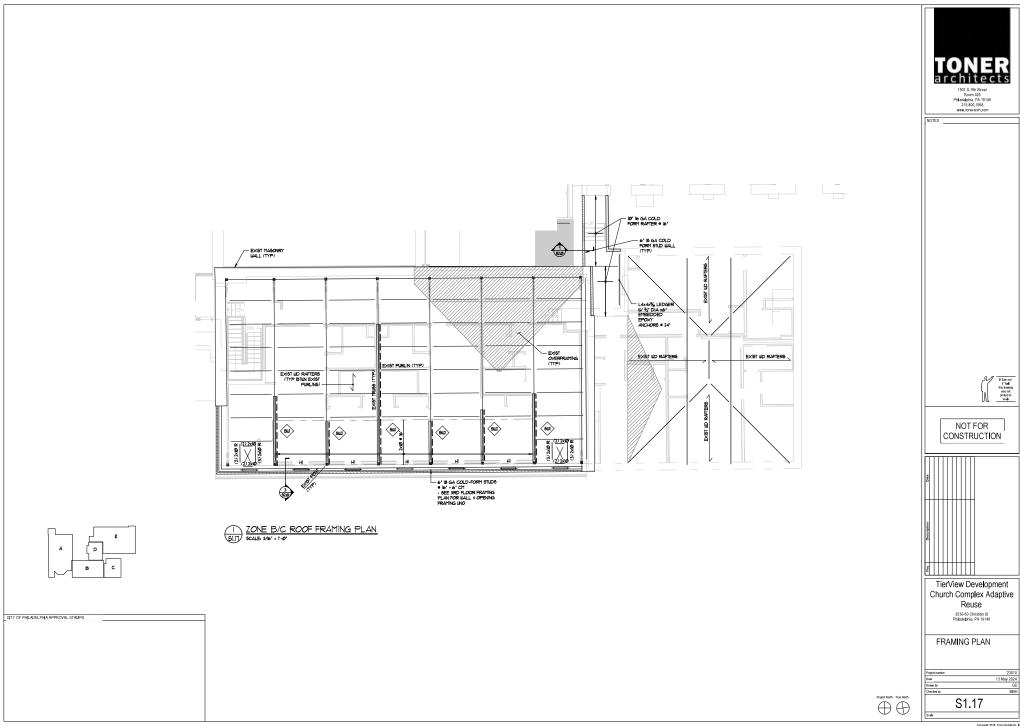
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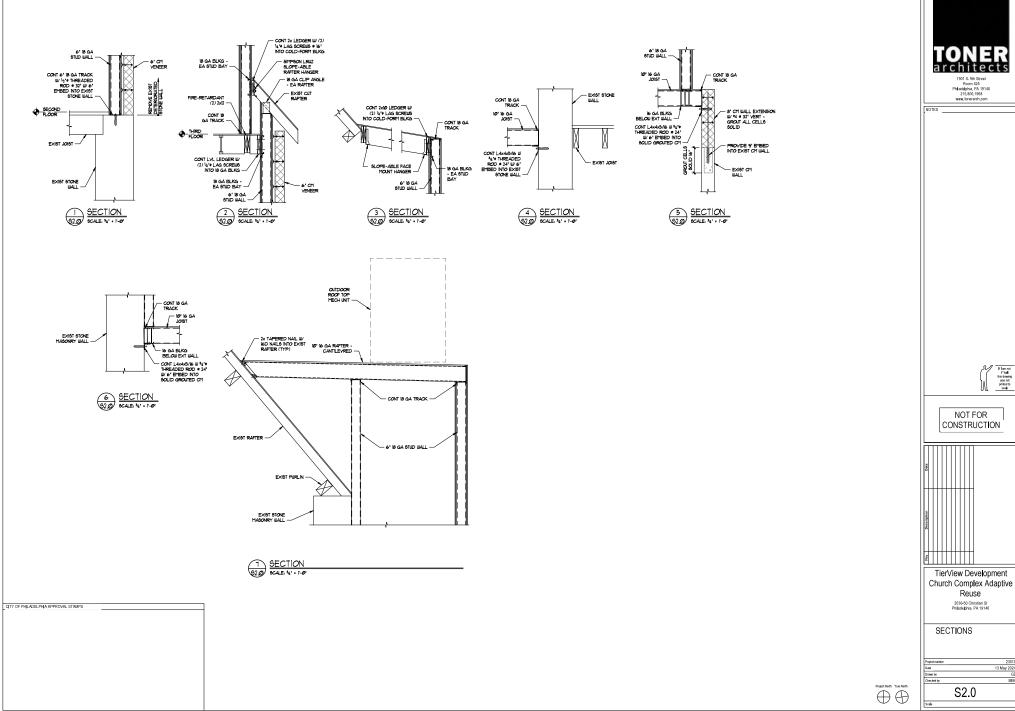




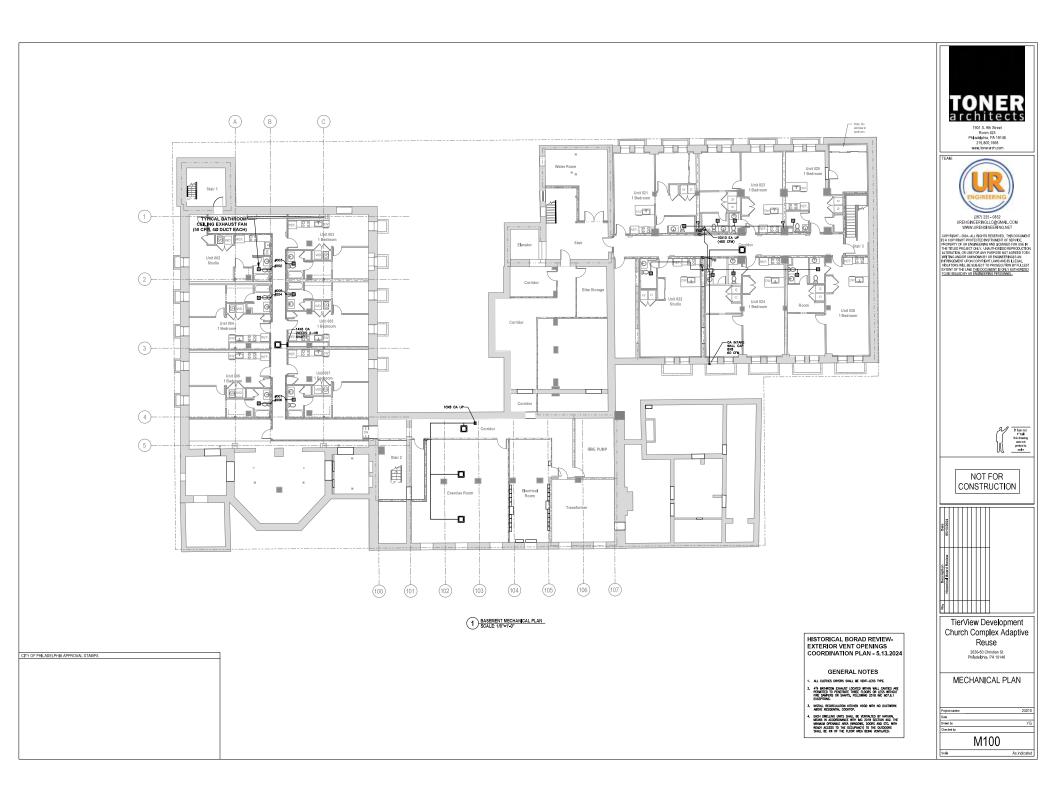


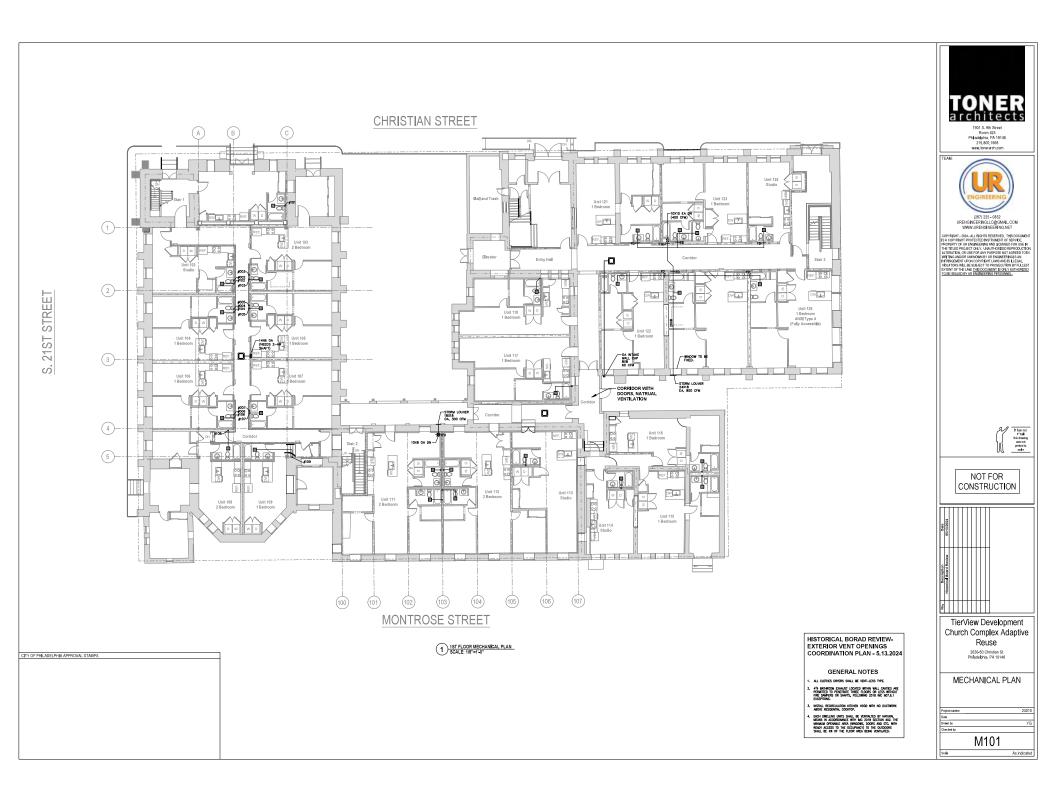


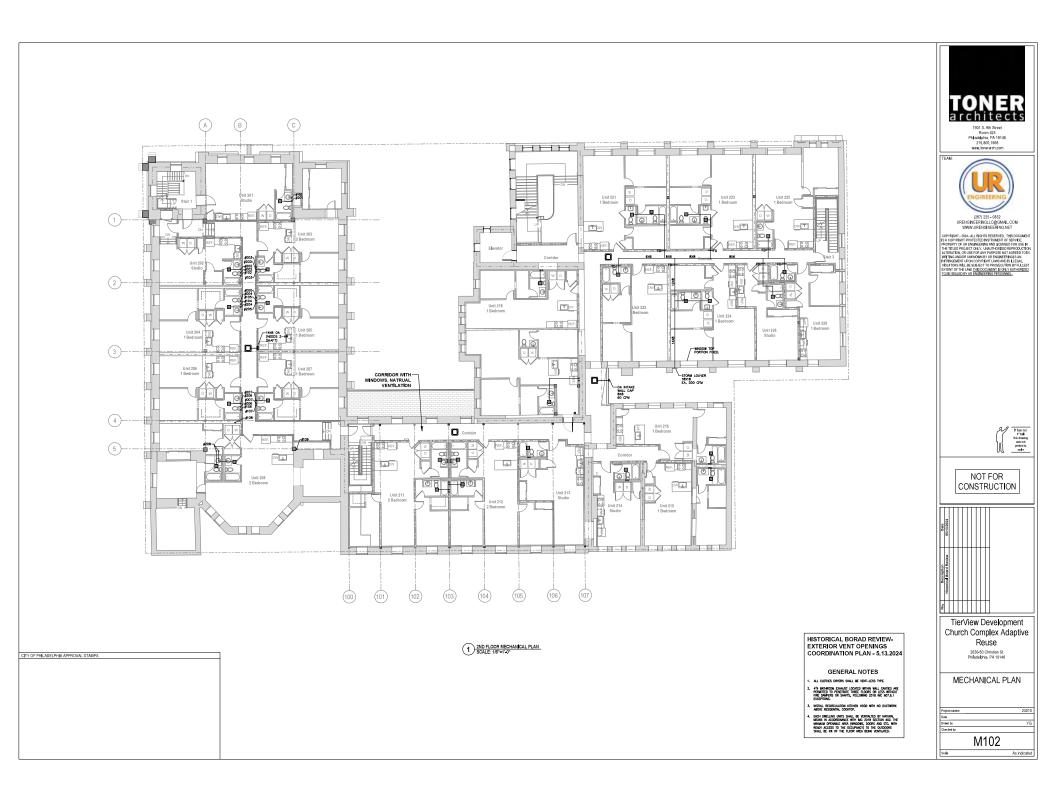


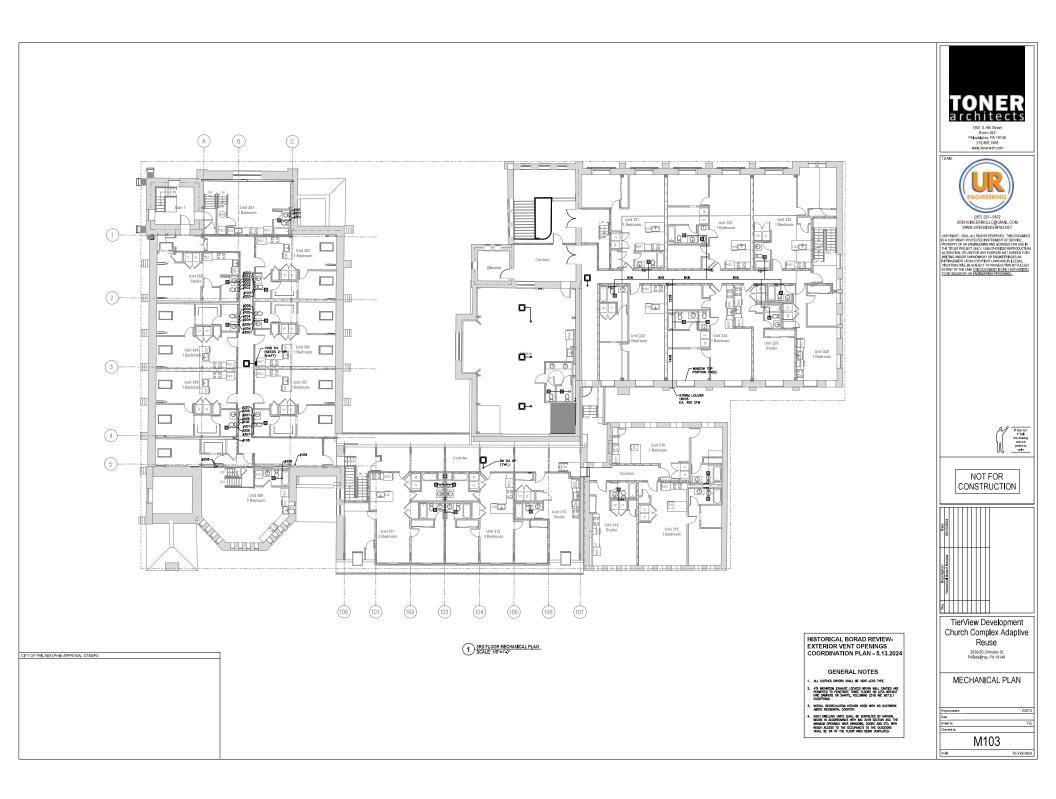


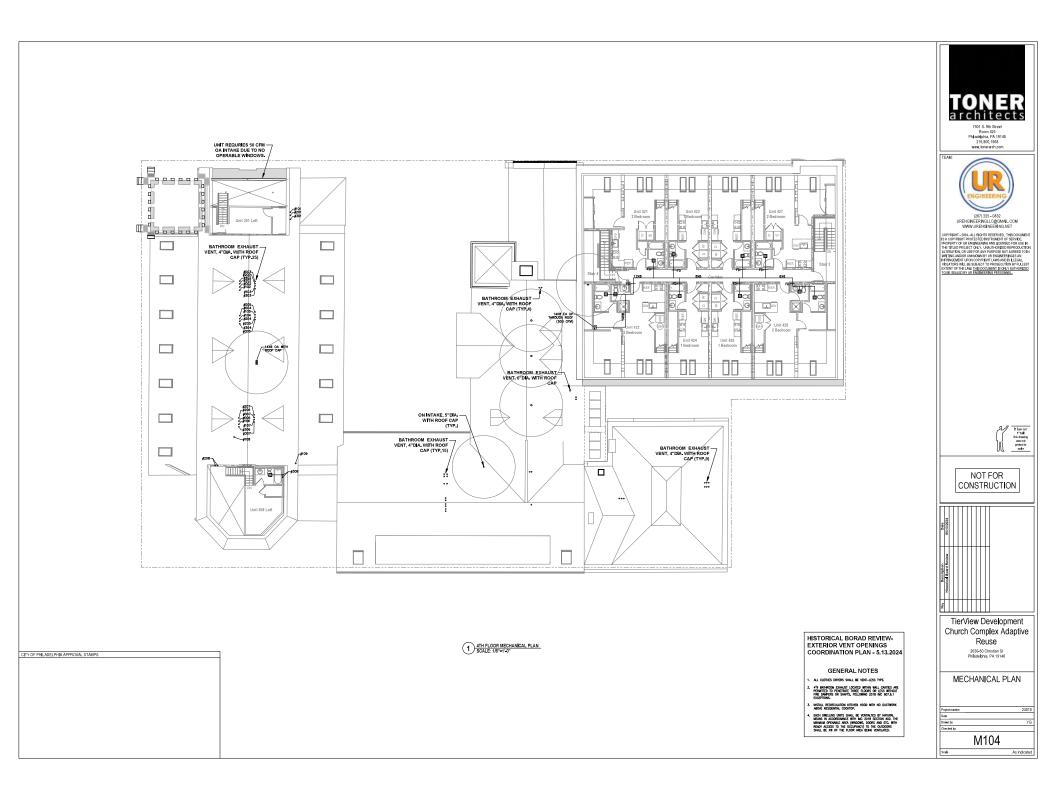
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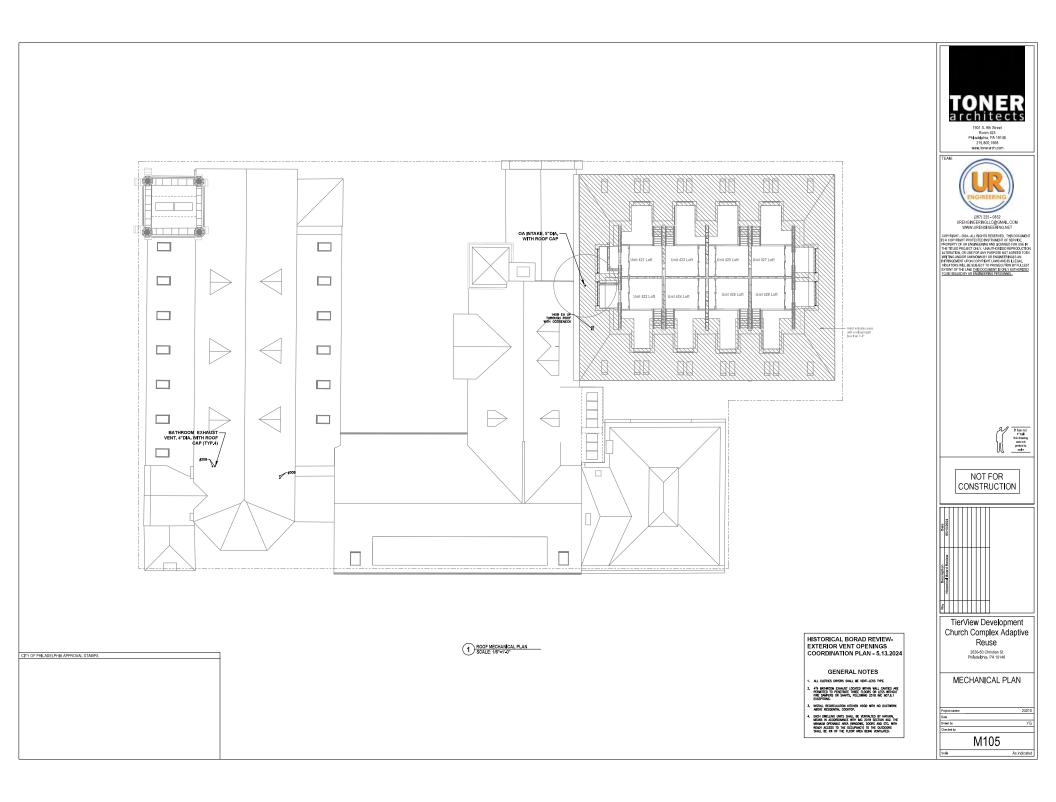




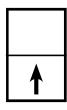












H650/H655 Series 4 1/8" Frame Depth Single Hung

650/H655 SERIES SINGLE HUNG

FEATURES

- Commercial Framing System
 - 4 1/8" main frame
 - 0.062" wall thickness of interior and exterior walls
 - Nail flange main frame (H655) or no nail flange (H650)
- Thermally Enhanced Design
 - Azon pour and debridge thermal break in main frame.
 - AzoCore expandable polyurethane barriers in sash rail
- Glazing
 - 1' insulated glass
- Hardware
 - Gravity Latch
 - Heavy duty Class 5 Balancers
- Screen
 - Extruded aluminum screen frame

BENEFITS

- The capacity to match exterior colors for unique project
- The ability to facilitate large sizes for taller and wider window openings
- Historically accurate panning and trim styles to help your project meet Historic Preservation codes

PERFORMANCE

Structural & Thermal (test reports and thermal simulations available upon request)

Model	Single Hung
Test Size	60" x 99"
NAFS Rating (standard)	AW-PG60-H
NAFS Rating (Heavy Duty Meeting Rail)	AW-PG75-H
Air at 6.2 PSF Differential	< 0.30
Water (No Penetration) P.S.F.	12.00
U-Value (ranges based on multiple Low-E/Argon combinations)	as low as 0.30
SHGC (ranges based on multiple Low-E/Argon combinations)	

Operating Force: 25.3 lbf (maintain motion), 14 lbf (latches)

OPTIONS

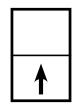
- **Available Configurations**
 - Single Hung
 - Oriel Single Hung
 - Simulated Single Hung/Fixed
 - Arch Head Single Hung
- $\langle \rangle$ Muntin Choices
 - Internal or simulated divided lites available
- Limited travel hardware \Diamond
- Screen
 - Extruded aluminum half screen frame with aluminum wire mesh
 - Extruded aluminum screen frame with sunscreen mesh
 - Extruded aluminum screen frame with stainless steel 0.009" thickness mesh
 - Security screen
- \Diamond Glazing
 - Multiple Low-E and argon glazing choices
 - Capillary tubes
 - Wide variety of glazing, tinting and thickness options
- \Diamond Panning & Trim Choices
 - Wide variety of panning, receptor and trim available
- \Diamond Mulling
 - Wide variety of structural mulls
- \Diamond Specialty
 - Extension jambs
 - Ogee lugs
 - WOCD hardware





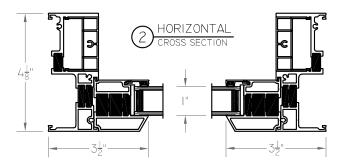




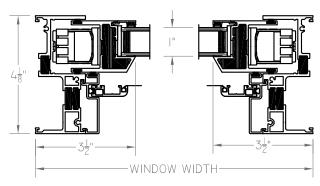


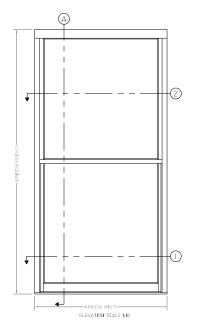
H650 Series 4 1/8" Frame Depth **Single Hung**

H650 SERIES SINGLE HUNG





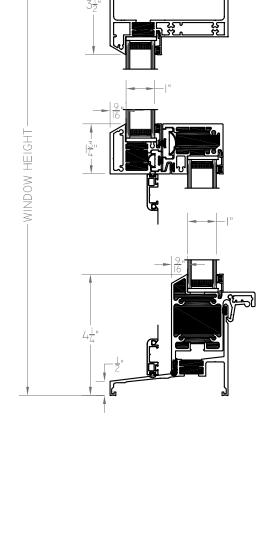




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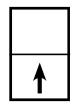












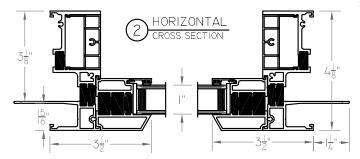
H655 Series 4 1/8" Frame Depth Single Hung

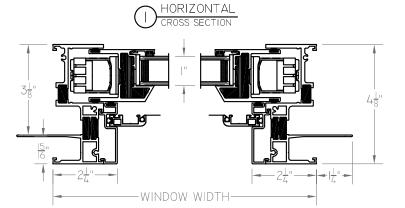
H655 SERIES SINGLE HUNG

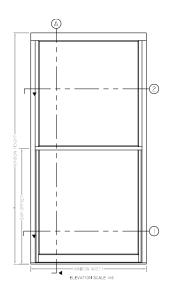
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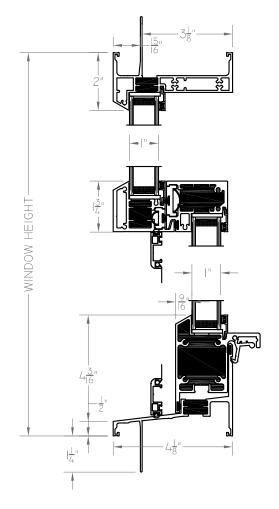
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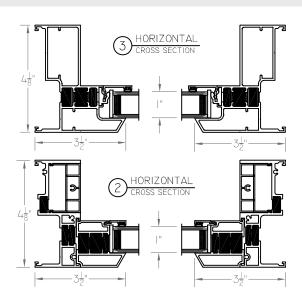


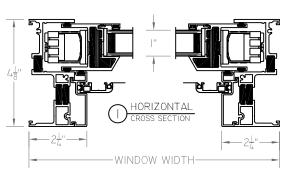


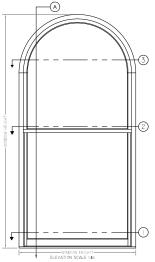


H650 Series 4 1/8" Frame Depth Arch Head Single Hung

H650 SERIES ARCH HEAD SINGLE HUNG





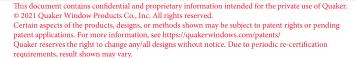


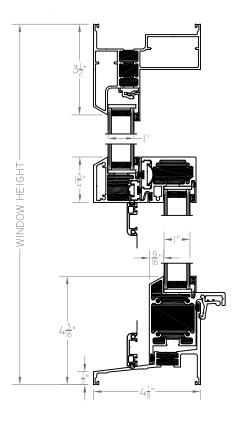
Our products are tested to the standards of and certified by some of the foremost organizations in the fenestration industry.











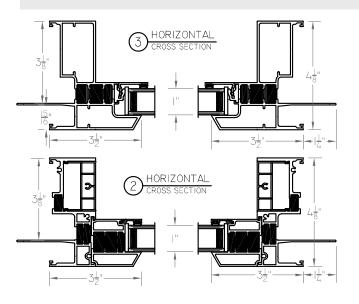


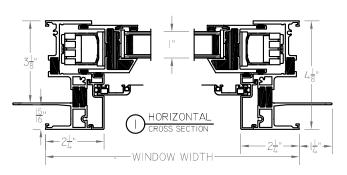
SCALE 1:4

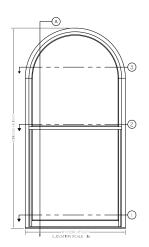


H655 Series 4 1/8" Frame Depth Arch Head Single Hung

H655 SERIES ARCH HEAD SINGLE HUNG



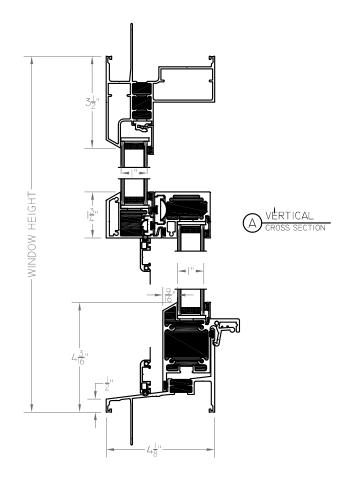




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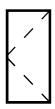


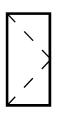












H450 Series 3 1/4" Frame Depth **Casement (Project-Out)**

50 SERIES CASEMENT

FEATURES

- Commercial Framing System
 - 3 ¼" main frame
 - Historically-correct bevel frame exterior
 - Minimum of 0.080" wall thickness
 - Dual Euro Groove System
 - Available with or without integral nailing fin
- Thermally Enhanced Design
 - Thermally-broken main frame and vent rails
 - Azon pour and debridge thermal break technology
- Glazing
 - 1" insulating glass
- Hardware
 - Maxim LP Locking System, Chic Hinge and Roto Hardware on crankout model
 - Maxim LP Locking System, 4-Bar Hinge and Push/Pull Cup Hardware on push-out model
- Screen
 - Easily removable FlexScreen

BENEFITS

- Historically accurate profiles to help your project meet Historic Preservation codes
- The capacity to match exterior colors for unique project facades
- The ability to facilitate large sizes for taller and wider window openings

OPTIONS

- **Available Configurations**
 - Project-out casement
 - Push-out or Crank-out (Left or Right)
 - Continuous frame capabilities
 - Fixed
- Muntin Choices
 - Internal or simulated divided lites available
- Hardware
 - Limit Travel Accessories
- Screen
 - Wicket Screen (Push-out model only)
- Glazing
 - Multiple Low-E and argon glazing choices
 - Glazing pocket can accept 1 3/8" insulating glass for sound attenuation purposes
 - Capillary tubes
 - Wide variety of glazing, tinting and thickness options
- Panning & Trim Choices
 - Wide variety of panning, receptor and trim available
- Mulling
 - Wide variety of structural mulls

PERFORMANCE

Structural & Thermal (test reports or thermal simulations available upon request)

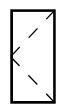
Model	Casement (Project-Out)
Test Size:	36" x 60"
NAFS Rating	CW-PG90-C
Air Infiltration (cfm/ft²)	< 0.30
Water (No Penetration) P.S.F.	12
U-Value (ranges based on multiple Low-E/Argon combinations)	0.39-0.44
SHGC (ranges based on multiple Low-E/Argon combinations)	0.14-0.48

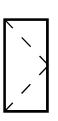










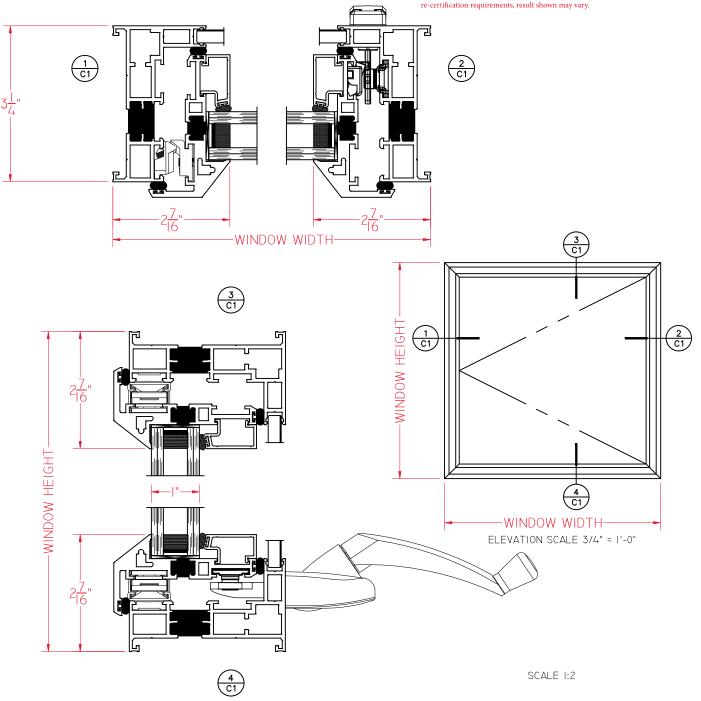


H450 Series 3 ¼" Frame Depth **Casement (Project-Out)**

H450 CASEMENT WITHOUT NAILING FIN (CRANK OUT)

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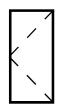


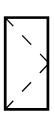










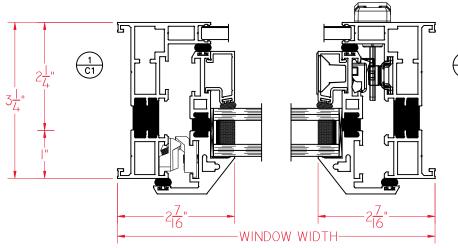


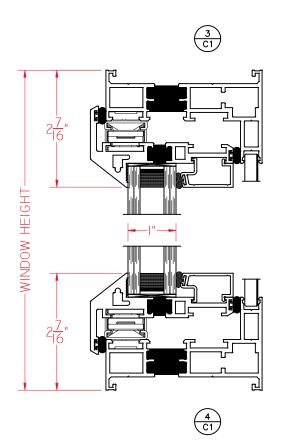
H450 CASEMENT WITHOUT NAILING FIN (PUSH

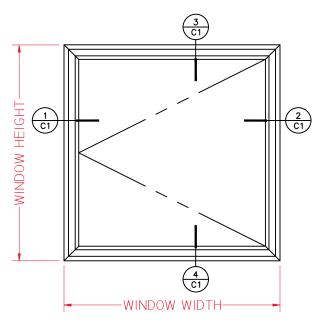
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ELEVATION SCALE 3/4" = 1'-0"

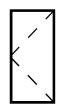
SCALE 1:2

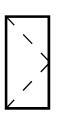










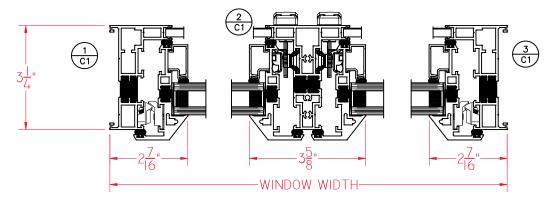


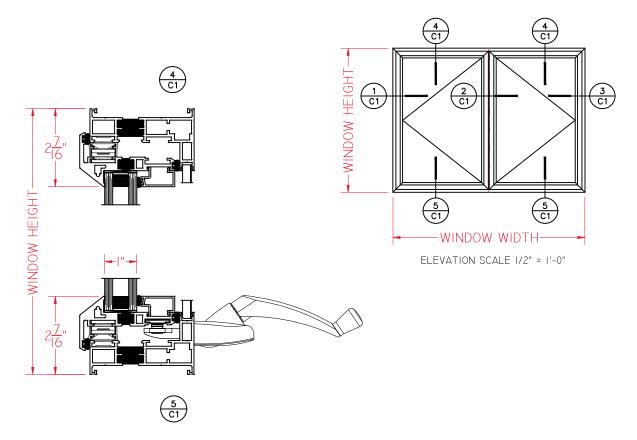
H450 CASEMENT/CASEMENT (CRANK OUT)

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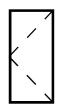
SCALE 1:3

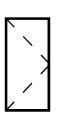












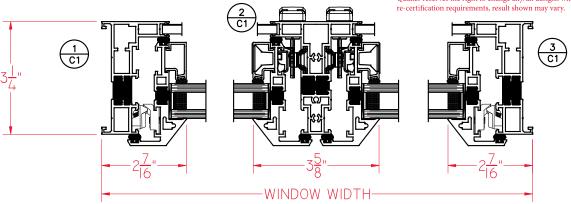
H450 CASEMENT/CASEMENT (PUSH OUT)

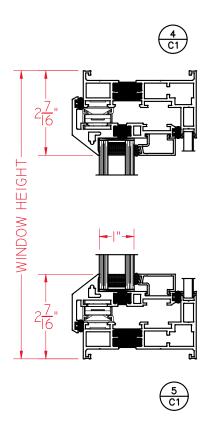
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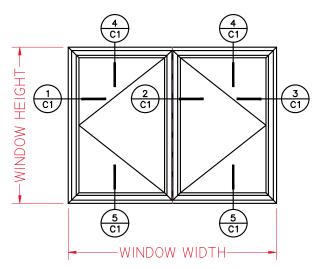
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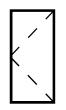
ELEVATION SCALE 1/2" = 1'-0"

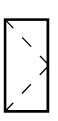
SCALE I:3









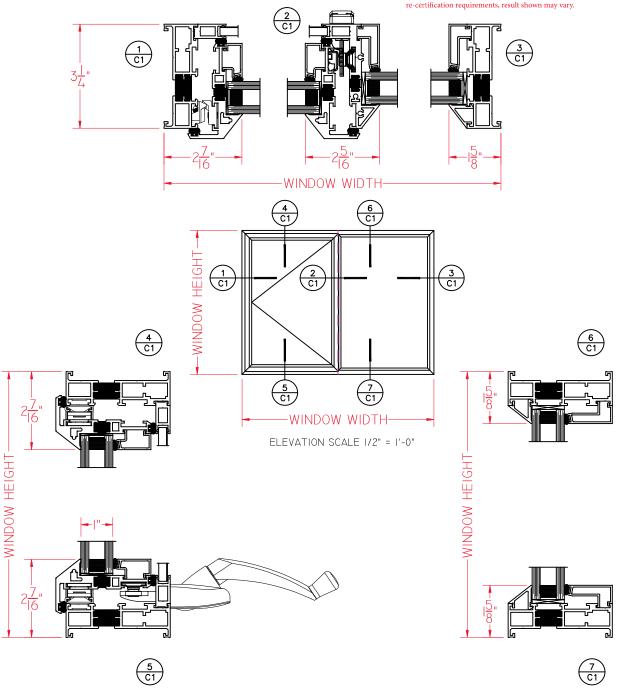


H450 CASEMENT (CRANK OUT)/FIXED

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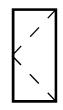
SCALE I:3

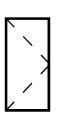










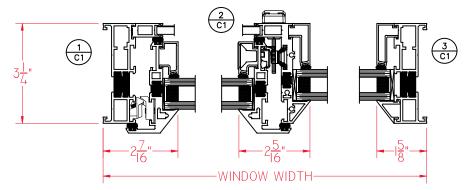


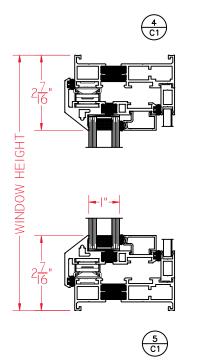
H450 FIXED/CASEMENT (PUSH OUT)

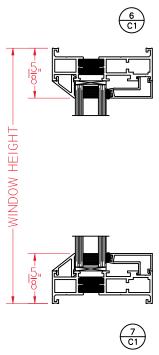
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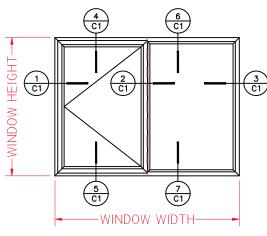
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ELEVATION SCALE 1/2" = 1'-0"

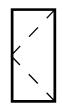
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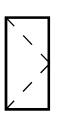








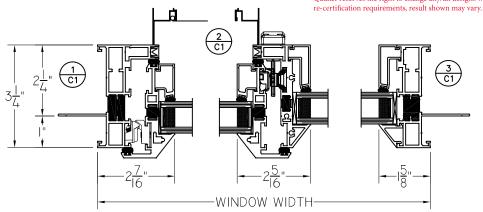


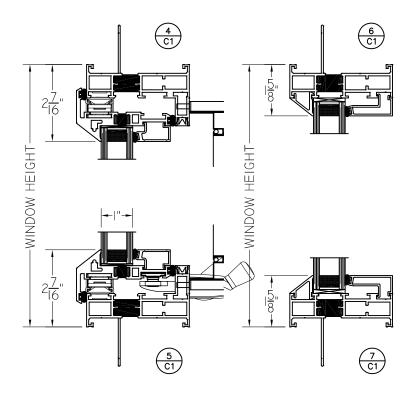


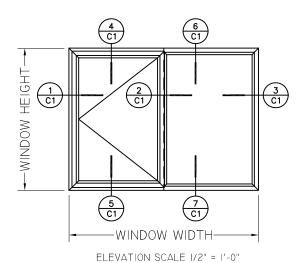
H450 CASEMENT/CASEMENT (PUSH OUT) WITH OPTIONAL NAIL FIN

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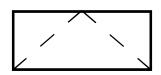
SCALE 1:3











H450 Series 3 ¹/₄" Frame Depth Project-Out

H450 SERIES PROJECT-OUT

FEATURES

- ♦ Commercial Framing System
 - 3 ¼" main frame
 - Historically-correct bevel frame exterior
 - Minimum of 0.080" wall thickness
 - Dual Euro Groove System
 - Available with or without integral nailing fin
- ♦ Thermally Enhanced Design
 - Thermally-broken main frame and vent rails
 - Azon pour and debridge thermal break technology
- ♦ Glazing
 - 1" insulating glass
- ♦ Hardware
 - Maxim LP Locking System, 4-Bar Hinge and Roto Hardware on crank out model
 - Maxim LP Locking System, 4-Bar Hinge and Push/Pull Cup Hardware on push-out model
- ♦ Screen
 - Easily removable FlexScreen on some operating models

BENEFITS

- Historically accurate profiles to help your project meet Historic Preservation codes
- ♦ The capacity to match exterior colors for unique project facades
- ♦ The ability to facilitate large sizes for taller and wider window openings

OPTIONS

- ♦ Available Configurations
 - Project-out
 - · Push-out or Crank-out
 - Continuous frame capabilities
 - Fixed
- ♦ Floating Operator Available Configurations
 - Multiple configurations of Fixed and Operating units with up to 5 units wide or 5 units tall, all within a continuous frame (*limitations apply*)
- ♦ Muntin Choices
 - Internal or simulated divided lites available
- ♦ Hardware
 - Limit Travel Accessories
- ♦ Screen
 - Wicket Screen (push-out model only)
- ♦ Glazing
 - Multiple Low-E and argon glazing choices
 - Glazing pocket can accept 1 3/8" insulating glass for sound attenuation purposes
 - Capillary tubes
 - Wide variety of glazing, tinting and thickness options
- ♦ Panning & Trim Choices
 - Wide variety of panning, receptor and trim available
- ♦ Mulling
 - Wide variety of structural mulls

PERFORMANCE

♦ Structural & Thermal (test reports or thermal simulations available upon request)

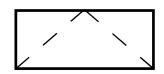
Model	Project-Out
Test Size:	60" x 36"
NAFS Rating	CW-PG90-AP
Air Infiltration (cfm/ft²)	< 0.30
Water (No Penetration) P.S.F.	12
U-Value (ranges based on multiple Low-E/Argon combinations)	0.39-0.59
SHGC (ranges based on multiple Low-E/Argon combinations)	0.14-0.48











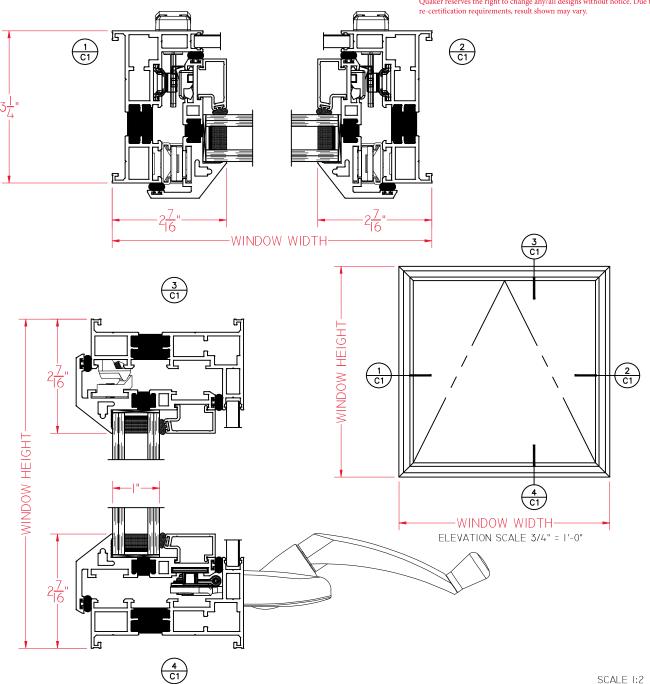
H450 PROJECT-OUT

WITH ROTO HARDWARE

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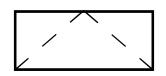












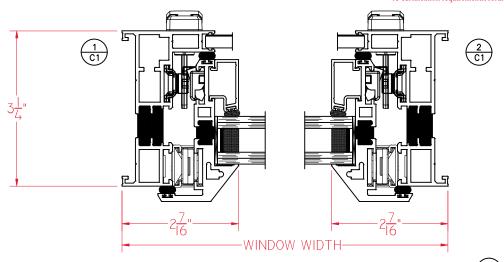
H450 PROJECT-OUT

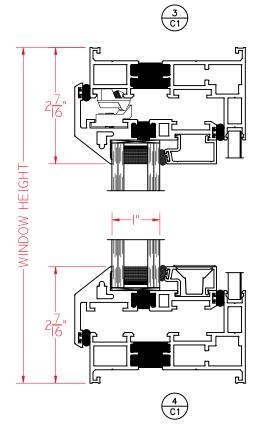
WITH PUSH-PULL **CUP HARDWARE**

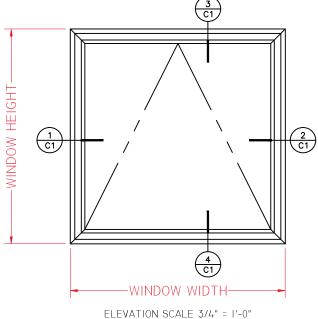
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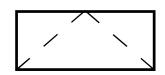
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SCALE I:2





H450 Series 3 ¹/₄" Frame Depth Project-Out

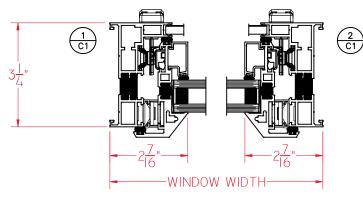
H450 PROJECT-OUT/PROJECT-OUT (STACKED)

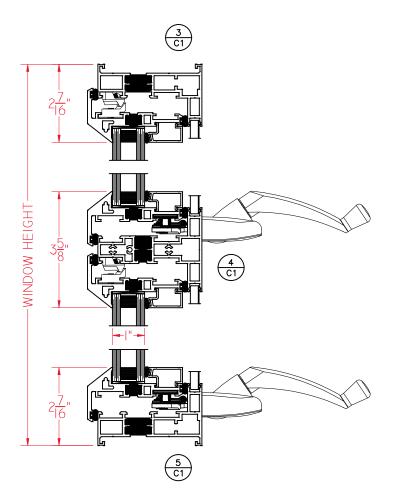
WITH ROTO HARDWARE

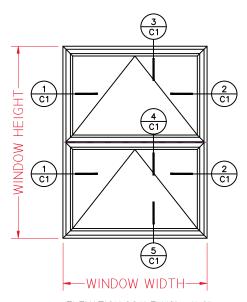
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ELEVATION SCALE 1/2" = 1'-0"

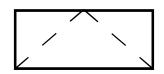
SCALE I:3











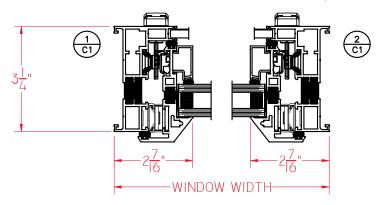
H450 PROJECT-OUT/PROJECT-OUT (STACKED)

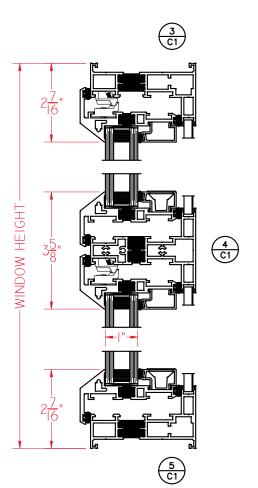
WITH PUSH-PULL **CUP HARDWARE**

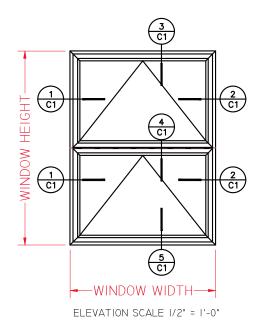
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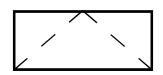
SCALE I:3











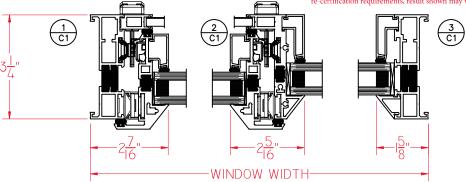
H450 PROJECT-OUT/FIXED (SIDE-BY-SIDE)

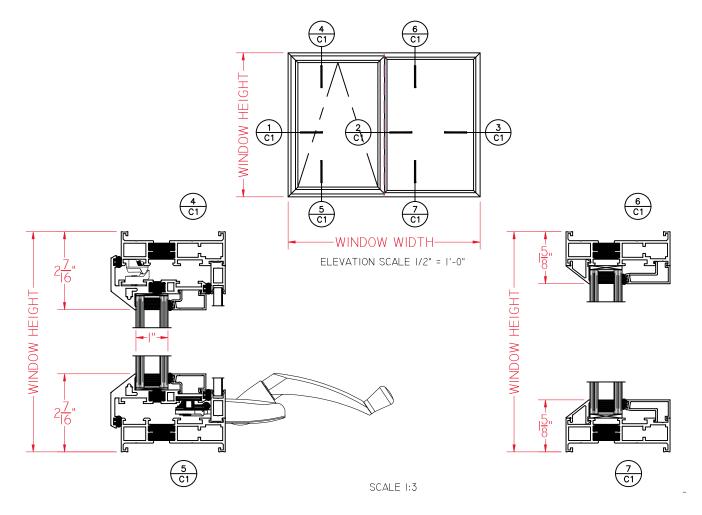
WITH ROTO **HARDWARE**

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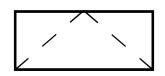












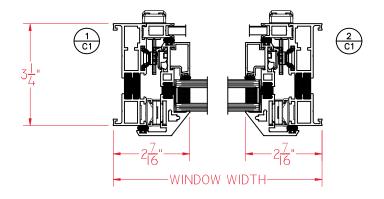
H450 PROJECT-OUT/FIXED (STACKED)

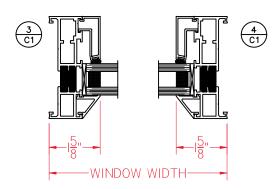
WITH ROTO **HARDWARE**

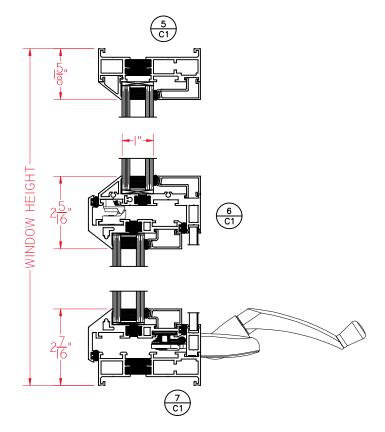
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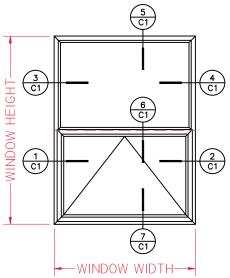
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ELEVATION SCALE 1/2" = 1'-0"

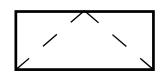
SCALE I:3











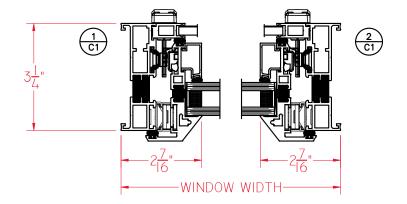
H450 FIXED/PROJECT-OUT (STACKED)

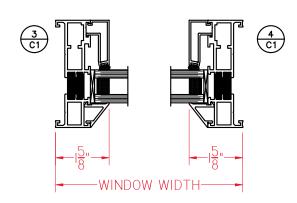
WITH PUSH-PULL **CUP HARDWARE**

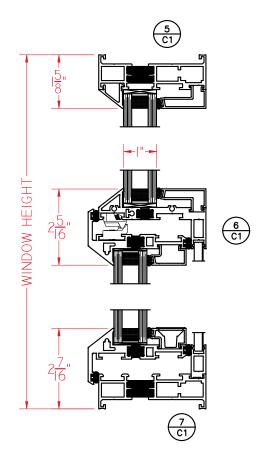
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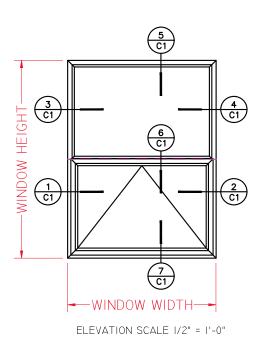
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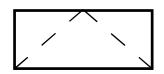


SCALE I:3









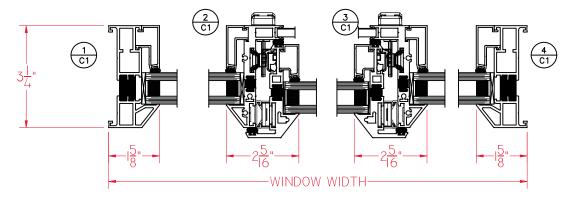
H450 FLOATING OPERATOR

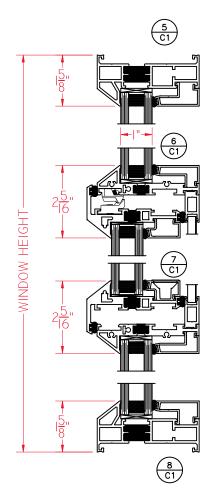
WITH PUSH-PULL CUP HARDWARE

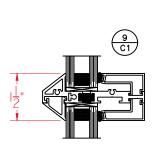
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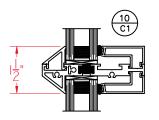
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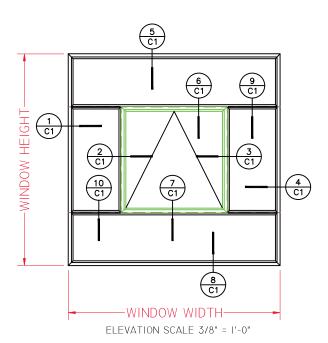
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SCALE 1:3





