

ADDRESS: 2040 CHRISTIAN ST

Proposal: Convert church to residential building

Review Requested: Final Approval

Owner: 2040 Christian Street LLC/Tierview Development, Inc.

Applicant: Ian Toner, Toner Architects

History: 1870; Church of the Holy Apostles, Shiloh Baptist Church;

2030-38 Christian Street: 1903; Richard Newton Memorial Building; Duhring, Okie & Ziegler

2040 Christian Street: 1870; Church of the Holy Apostles, Shiloh Baptist Church; Frazer,

Furness & Hewitt; tower added, 1901, G.W. & W.D. Hewitt

Individual Designation: 11/6/1980

District Designation: None

Staff Contact: Kim Chantry, kim.chantry@phila.gov

OVERVIEW: This application proposes to convert the former Church of the Holy Apostles, later Shiloh Baptist Church, and associated buildings to multi-unit residential use. Of the five buildings on the site, four are designated as historic, having been constructed and altered between 1868 and 1903. Fronting onto Montrose Street at the rear, the Phillips Brooks Memorial Building, to be known as the Boy Scout Building, is not designated as historic.

The proposed exterior scope includes masonry repair and replacement, construction of an ADA ramp, insertion of skylights and dormers, and replacement of windows. New clear glazed aluminum windows are proposed in all locations where apartment units are located, including the church and Richard Newton Memorial Building. The main entryway of the complex adjacent to the Richard Newton Memorial Building is proposed to retain its existing leaded glass, as is the existing rose window at the narthex of the church.

At its 10 November 2023 meeting, the Historical Commission reviewed an in-concept application for a nearly identical scope of work and voted to approve the application in-concept, pursuant to Standards 2 and 9, and the Accessibility Guideline Recommendation. The only design change to this application for final approval is the addition of a door in the non-historic one-story addition on the Richard Newton Memorial Building. This application has also been supplemented with window color samples.

SCOPE OF WORK:

- Convert church complex buildings to residential use.
- Replace windows.
- Insert skylights and dormers.
- Replace asphalt shingles with Slateline asphalt shingles.
- Repair and replace masonry.
- Construct ADA ramp.
- Demolish non-historic one-story addition at rear of church.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
 - The proposed scope retains and preserves the overall historic character of the church complex.
- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be*

differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- The exterior scope proposed to convert the buildings to residential use is minimal. The stained glass is being retained where possible. The stained glass which is to be removed shall be framed and backlit in display installations within the corridors of the building.
- *Accessibility Guideline | Recommended: Complying with barrier-free access requirements in such a manner that the historic building's character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting are preserved or impacted as little as possible.*
 - The proposed ADA ramp allows for retention of and access through historic entrance doors.

STAFF RECOMMENDATION: Approval, pursuant to Standards 2, 9, and the Accessibility Guideline recommendation.

APPLICATION FOR BUILDING PERMIT

APPLICATION # _____

(Please complete all information below and print clearly)



CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES AND INSPECTIONS
MUNICIPAL SERVICES BUILDING - CONCOURSE
1401 JOHN F. KENNEDY BOULEVARD
PHILADELPHIA, PA 19102
For more information visit us at www.phila.gov

ADDRESS OF PROPOSED CONSTRUCTION

2030-50 Christian St

APPLICANT:

Ian Toner AC #3839394

COMPANY NAME:

Toner Architects

PHONE # 215 800 1968

FAX #

APPLICANT'S ADDRESS:

1901 South 9th Street, Room 425

Philadelphia, PA 19148

LICENSE # 490460

ian@tonerarch.com
E-MAIL:

PROPERTY OWNER'S NAME:

Tierview Development, Inc.

PROPERTY OWNER'S ADDRESS:

1357 Ridge Avenue

Philadelphia PA, 19123

PHONE # 267 551 1215

FAX #

ARCHITECT / ENGINEER IN RESPONSIBLE CHARGE:

Ian Toner

ARCHITECT / ENGINEERING FIRM ADDRESS:

1901 S 9th St, Room 425

Philadelphia, PA 19148

ARCHITECT / ENGINEERING FIRM:

Toner Architects

LICENSE # 490460

ian@tonerarch.com
E-MAIL:

PHONE # 215 800 1968

FAX #

CONTRACTOR:

TBD

CONTRACTING COMPANY ADDRESS:

N/A

CONTRACTING COMPANY:

TBD

PHONE #

FAX #

LICENSE #

E-MAIL:

USE OF BUILDING / SPACE:

Multi-unit residential

ESTIMATED COST OF WORK

\$ TBD

BRIEF DESCRIPTION OF WORK:

Conversion of former church and rectory complex into a total of 87 residential units, with all supporting functions. Exterior work shall consist of replacing all windows per elevations, adding dormers at new 3rd floor level inserted within the former church and sunday school, repair and replacement of damaged masonry, new exterior structural wall at sunday school building, and insertion of new floors within volumes of existing buildings.

All materials and selections to be approved by PHC staff.

TOTAL AREA UNDERGOING CONSTRUCTION: 80,577 square feet

COMPLETE THESE ITEMS IF APPLICABLE TO THIS APPLICATION:

OF NEW SPRINKLER HEADS (suppression system permits only): _____ LOCATION OF SPRINKLERS: _____

OF NEW REGISTERS / DIFFUSERS (hvac / ductwork permits only): _____ LOCATION OF STANDPIPES: _____

IS THIS APPLICATION IN RESPONSE TO A VIOLATION? NO YES VIOLATION #: _____

All provisions of the building code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statement herein I am subject to such penalties as may be prescribed by law or ordinance.

APPLICANT'S SIGNATURE *Ian M. Toner*

DATE: 05 / 10 / 2024



Ian M Toner AIA, NCARB, LEED AP BD+C

Principal

Sara N Shonk Pochedly AIA, NCARB, NCIDQ, LEED AP BD+C

Principal

10 May 2024

Philadelphia Historical Commission
1515 Arch Street, 13th Floor
Philadelphia PA, 19102

RE: Historical Review – 2030-50 Christian St, Church of the Holy Apostles and Associated Buildings

Members of the Committee and Commission

Please find enclosed our application for Final approval of our project at 2030-50 Christian St. I am submitting on behalf of the property owners, TierView Development, Inc.

The project involves:

- The interior renovation of the existing church, Sunday school building, classroom building, guild hall and associated buildings for use as an 87 unit apartment building.
- The insertion of a second and third floor within the existing church building.
- The insertion of a third floor within the existing Sunday school building.
- The insertion of a third floor within the existing guild house.
- The insertion of a third and fourth floor within the existing classroom building.
- The addition of new low-profile aluminum framed skylights to the roof of the existing church building to provide natural light into the 3rd floor units. The design and details of these skylights shall be in coordination with PHC staff.
- The addition of new low-profile aluminum framed skylights to the roof of the existing classroom building to provide natural light into the 4th floor units. The design and details of these skylights shall be in coordination with PHC staff.
- The addition of a new shed-roof dormer and low-profile aluminum skylights to the roof of the existing Sunday school building to provide windows and natural light into the 3rd floor units. We are proposing to clad the walls of this dormer with fiber cement panel siding to match the stucco of the building below. The design and details of the skylights and dormer shall be in coordination with PHC staff.
- Removal of the existing Montrose Street-facing wall of the Sunday school building is proposed. This wall is significantly deteriorated and in danger of collapse. Wall shall be replaced in kind with concrete masonry clad with stucco to match existing. Existing window pattern and shapes shall be retained.
- The replacement of all windows noted on elevations. Existing leaded or stained glass shall remain where noted. The stone framed stained glass rose window at the narthex of the church shall remain but be protected with new storm windows. All new windows shall be aluminum and shall be fixed, awning, or single hung operation. Basis of design: Quaker H-450 and H-650 Series from Architectural Window Corp. Details provided, PHC staff to approve.

- That stained glass which is to be removed shall be framed and backlit in display installations within the corridors of the building.
- Refurbishment of existing wood entry doors, with some doors to receive new glazed lites for natural light to associated units.
- Replace existing asphalt shingle roofing with new GAF Slateline asphalt shingle roofing, color to be coordinated with PHC staff. Existing asphalt shingle on sanctuary cheek walls to be replaced with GAF Slateline asphalt shingle.
- Addition of new concrete access ramp with new ADA-compliant metal handrails of similar structure to existing wrought iron fences.
- Removal and reinstallation of existing wrought iron fences to allow for construction activities. Storage of removed fencing material to take place onsite.
- Repointing and repair of brick and any decorative ornamentation located at the entirety of the exterior.
- Repair and refinishing of existing architectural metalwork located at the entirety of the exterior. That metalwork which cannot be repaired shall be replaced in kind with new metalwork to closely match existing.
- Masonry repairs to the top of the existing bell tower spire, and replacement of damaged elements with cast stone or glass fiber reinforced concrete (GFRC) replicas. PHC to coordinate details of masonry repair with Ascent Masonry Restoration.
- Installation of new PECO transformer vault with sidewalk areaway in Montrose St sidewalk. Access door shall be completely below grade and a new flush bar grating shall be provided over the areaway.

Thank you for taking the time to review our application. Please contact me at 215.800.1968 if you need more information or need to discuss the project further.

Sincerely,

A handwritten signature in black ink that reads "Ian M. Toner". The signature is written in a cursive, slightly slanted style.

Ian Toner
Principal
Toner Architects

RE: 2030-50 Christian St - Final Approval Submission

Sam Katovitch <sam@tonerarch.com>

Thu 5/16/2024 2:06 PM

To: preservation <preservation@Phila.gov>

Cc: Ian Toner <ian@tonerarch.com>; Sara Shonk Pochedly <Sara@tonerarch.com>; Tim Lux <tim@tierviewdevelopment.com>; Jenn Patrino <jenn@tierviewdevelopment.com>; Bill Strehse <bill@tierviewconstruction.com>; Alina Herzberg <alina@tierviewdevelopment.com>

 1 attachments (2 MB)

240513_2040 Christian - window color swatches.jpg;

External Email Notice. This email comes from outside of City government. Do not click on links or open attachments unless you recognize the sender.

Hi Kim,

The only design changes since the last time are listed below. Otherwise, we have mainly just been adding information to get to a construction documentation level of detail. Thanks!

1. Working window color samples are attached to this email. We are proposing Redwood for the windows of the Sanctuary, and New Dark Bronze for the Richard Newton, Sunday School, and Boy Scout buildings. The Patina Green color will be used for the new windows within the copper dormers of the Richard Newton Building. The exterior doors will also be painted to match the Redwood color of the Sanctuary windows, and all existing-to-remain wood windows will be painted to match the dark bronze. We will of course present all colors to the PHC staff for final approval prior to order.
2. An additional door was added for ease of access to the trash room for pickup crews, as the interior passage to the trash room is too narrow to get bins out to the curb. The door will be painted to match the other exterior doors on the building and can be seen in view 1/A205, tagged X10.

Best,

Sam Katovitch RA, NCARB, LEED Green Associate
Project Manager

Toner Architects
1901 South 9th Street
Room 425
Philadelphia, PA 19148
p. 215.800.1968
c. 315.406.1069
tonerarch.com
Pronouns: he/they



**THE MINUTES OF THE 735TH STATED MEETING OF THE
PHILADELPHIA HISTORICAL COMMISSION**

**FRIDAY, 10 NOVEMBER 2023, 9:00 A.M.
REMOTE MEETING ON ZOOM
ROBERT THOMAS, CHAIR**

CALL TO ORDER

START TIME IN ZOOM RECORDING: 00:00:00

Mr. Thomas, the Chair, called the meeting to order at 9:03 a.m. and announced the presence of a quorum. The following Commissioners joined him:

Commissioner	Present	Absent	Comment
Robert Thomas, AIA, Chair (Architectural Historian)	X		
Kimberly Washington, Esq., Vice Chair (Community Development Corporation)	X		
Donna Carney (Philadelphia City Planning Commission)	X		
Emily Cooperman, Ph.D., Committee on Historic Designation Chair (Historian)	X		
Erin Kindt (Department of Public Property)	X		
Sara Lepori (Commerce Department)	X		
John P. Lech (Department of Licenses & Inspections)		X	
John Mattioni, Esq.	X		
Dan McCoubrey, AIA, LEED AP BD+C, Architectural Committee Chair (Architect)	X		
Stephanie Michel (Community Organization)	X		
Jessica Sánchez, Esq. (City Council President)	X		
Matthew Treat (Department of Planning and Development)	X		

The meeting was held remotely via Zoom video and audio-conferencing software.

The following staff members were present:

- Jonathan Farnham, Executive Director
- Kim Chantry, Historic Preservation Planner III
- Laura DiPasquale, Historic Preservation Planner III
- Shannon Garrison, Historic Preservation Planner II
- Heather Hendrickson, Historic Preservation Planner I
- Ted Maust, Historic Preservation Planner II
- Allyson Mehley, Historic Preservation Planner II
- Leonard Reuter, Esq., Law Department
- Dan Shachar-Krasnoff, Historic Preservation Planner II
- Alex Till, Historic Preservation Planner II

The following persons attended the online meeting:

- Adrian Trevisan, Powers & Co.
- Alina Herzberg
- Allison Weiss, SoLo/Germantown Civic Association
- Brett Feldman, Esq., Klehr Harrison

REPORT OF THE ARCHITECTURAL COMMITTEE, 24 OCTOBER 2023

ADDRESS: 2030-38 AND 2040 CHRISTIAN ST

Proposal: Add dormers, skylights, and ADA ramp; replace windows

Review Requested: **Review In Concept**

Owner: 2040 Christian St LLC

Applicant: Ian Toner, Toner Architects

History: 2030-38 Christian Street: 1903; Richard Newton Memorial Building; Duhring, Okie & Ziegler; 2040 Christian Street: 1870; Church of the Holy Apostles, Shiloh Baptist Church; Frazer, Furness & Hewitt; tower added, 1901, G.W. & W.D. Hewitt

Individual Designation: 11/6/1980

District Designation: None

Staff Contact: Kim Chantry, kim.chantry@phila.gov

OVERVIEW: This in-concept application proposes to convert the former Church of the Holy Apostles, later Shiloh Baptist Church, and associated buildings to multi-unit residential use. Of the five buildings on the site, four are designated as historic, having been constructed and altered between 1868 and 1903. Fronting onto Montrose Street at the rear, the Phillips Brooks Memorial Building, to be known as the Boy Scout Building, is not part of the 1980 historic designation.

The proposed exterior scope includes masonry repair and replacement, construction of an ADA ramp, insertion of skylights and dormers, and replacement of windows. New clear glazed aluminum windows are proposed in all locations where apartment units are located, including the church and Richard Newton Memorial Building. The main entryway of the complex adjacent to the Richard Newton Memorial Building is proposed to retain its existing leaded glass, as is the existing rose window at the narthex of the church.

SCOPE OF WORK:

- Convert church complex buildings to residential use.
- Replace windows.
- Insert skylights and dormers.
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- Repair and replace masonry.
- Construct ADA ramp.
- Demolish non-historic one-story addition at rear of church.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
 - The proposed scope retains and preserves the overall historic character of the church complex.
- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

- The exterior scope proposed to convert the buildings to residential use is minimal. Every effort should be made to retain stained glass windows where feasible. Stained glass windows which must be removed should be salvaged and stored in a safe location, preferably within the building complex.
- *Accessibility Guideline | Recommended: Complying with barrier-free access requirements in such a manner that the historic building's character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting are preserved or impacted as little as possible.*
 - The proposed ADA ramp allows for retention of and access through historic entrance doors.

STAFF RECOMMENDATION: Approval in-concept, provided a plan is developed for stained glass window salvage and storage, pursuant to Standards 2, 9, and the Accessibility Guideline recommendation.

ARCHITECTURAL COMMITTEE RECOMMENDATION: The Architectural Committee voted to recommend approval in-concept, provided a plan is developed for the stained-glass window salvage and storage, and the applicant considers the Committee's suggestions for minor design changes, pursuant to Standards 2 and 9, and the Accessibility Guideline Recommendation.

START TIME OF DISCUSSION IN ZOOM RECORDING: 00:27:25

PRESENTERS:

- Ms. Chantry presented the in-concept application to the Historical Commission.
- Architect Sam Katovitch represented the application.

PUBLIC COMMENT:

- Oscar Beisert, representing the Keeping Society, supported the application.

HISTORICAL COMMISSION FINDINGS AND CONCLUSIONS:

The Historical Commission found that:

- The application was submitted in-concept. An application for final review will need to be submitted and approved prior to the issuance of a building permit.
- The application was revised and supplemented to address comments from the Architectural Committee.

The Historical Commission concluded that:

- The proposed scope retains and preserves the overall historic character of the church complex, satisfying Standard 2.
- The exterior scope proposed to convert the buildings to residential use is minimal. Every effort should be made to retain stained and leaded glass windows where feasible. Stained glass windows which must be removed are proposed to be salvaged and returned to the original property owner per an agreement at the time of sale to the current owner. The in-concept application satisfies Standard 9.
- The proposed ADA ramp allows for retention of and access through historic entrance doors, satisfying the Accessibility Guideline Recommendation.

ACTION: Mr. Thomas moved to approve the application in-concept, pursuant to Standards 2 and 9, and the Accessibility Guideline Recommendation. Mr. McCoubrey seconded the motion, which was adopted by unanimous consent.

ITEM: 2030-38 and 2040 CHRISTIAN ST					
MOTION: Approval in-concept					
MOVED BY: Thomas					
SECONDED BY: McCoubrey					
VOTE					
Commissioner	Yes	No	Abstain	Recuse	Absent
Thomas, Chair	X				
Washington, Vice Chair	X				
Carney (PCPC)	X				
Cooperman	X				
Kindt (DPD)	X				
Lepori (Commerce)	X				
Lech (L&I)					X
Mattioni	X				
McCoubrey	X				
Michel	X				
Sánchez (Council)	X				
Treat (DPD)	X				
Total	11				1

REPORT OF THE COMMITTEE ON HISTORIC DESIGNATION, 18 OCTOBER 2022

ADDRESS: 5128 AND 5114 WAYNE AVE

Name of Resource: Sallie Watson House and Barn

Proposed Action: Designate

Property Owner: House – Oscar Beisert; Barn – Little Angels Daycare Center

Nominator: SoLo/Germantown Civic Association

Staff Contact: Heather Hendrickson, heather.hendrickson@phila.gov

OVERVIEW: This nomination proposes to designate 5128 and 5114 Wayne Avenue, the Sallie Watson House and Barn, and list them on the Philadelphia Register of Historic Places. The nomination contends that the Sallie Watson House and Barn satisfy Criteria for Designation D, E, and J. Under Criteria D and E, the nomination illustrates that the Sallie Watson House is a unique specimen and example of a suburban residence designed by Wilson Eyre, Jr., architect, in the English Arts and Crafts and American Shingle styles. The nomination further demonstrates that the Sallie Watson House and Barn, along with other contributing features, represents an idyllic and highly unique suburban dwelling site and place associated with the old estates of Manheim Street and more generally in the Germantown section of Philadelphia, satisfying Criterion for Designation J. Additionally, the nomination articulates that of the twenty-two Manheim Street estates built between 1871 and 1889, only three outbuildings survive, one of which is the Sallie Watson Barn.

The nomination illustrates the second life of the Barn and House repurposed in 1907 as the Church and Parish House of the First United Presbyterian Church of Germantown, representing



Photo 1 - 3 July 2023



Photo 2 - 3 July 2023



Photo 3 - 3 July 2023



Photo 4 - 3 July 2023



Photo 5 - 3 July 2023



Photo 6 - 3 July 2023



Photo 7 - 3 July 2023



Photo 8 - 3 July 2023

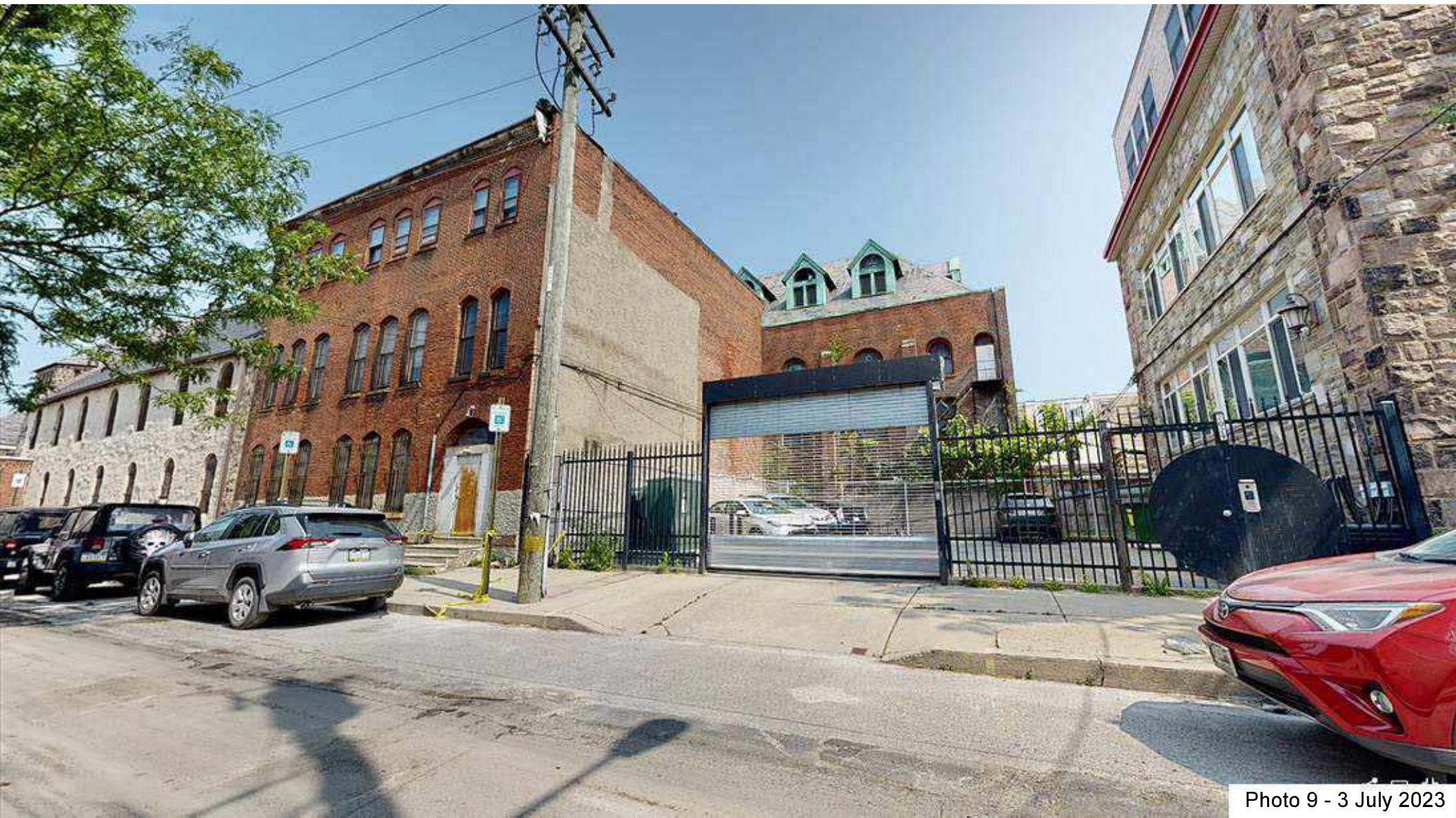


Photo 9 - 3 July 2023



Photo 10 - 3 July 2023

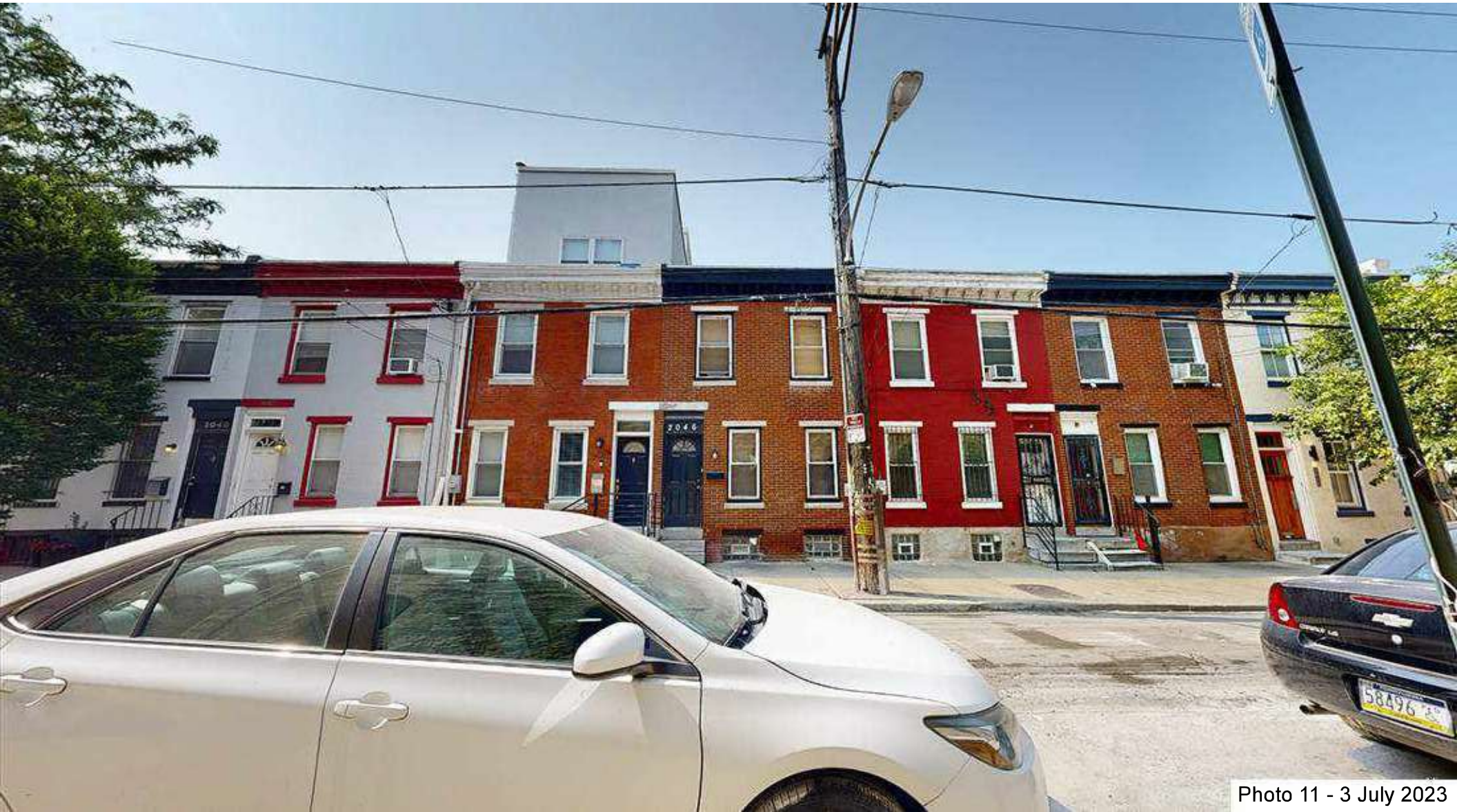


Photo 11 - 3 July 2023



Photo 12 - 3 July 2023

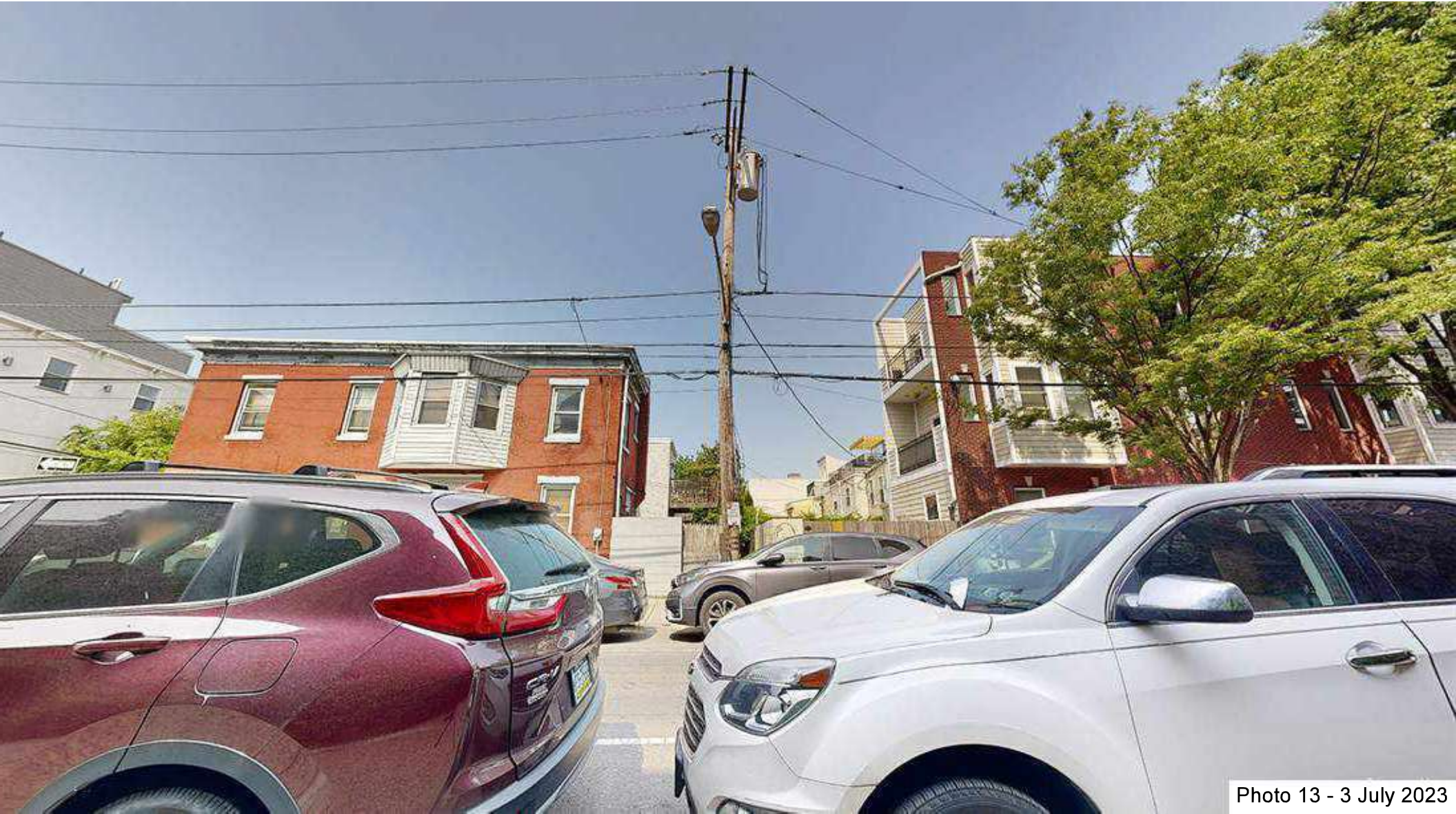


Photo 13 - 3 July 2023



Photo 14 - 3 July 2023



Photo 15 - 3 July 2023



Photo 16 - 3 July 2023



Photo 17 - 3 July 2023



Photo 18 - 3 July 2023



Photo 19 - 3 July 2023



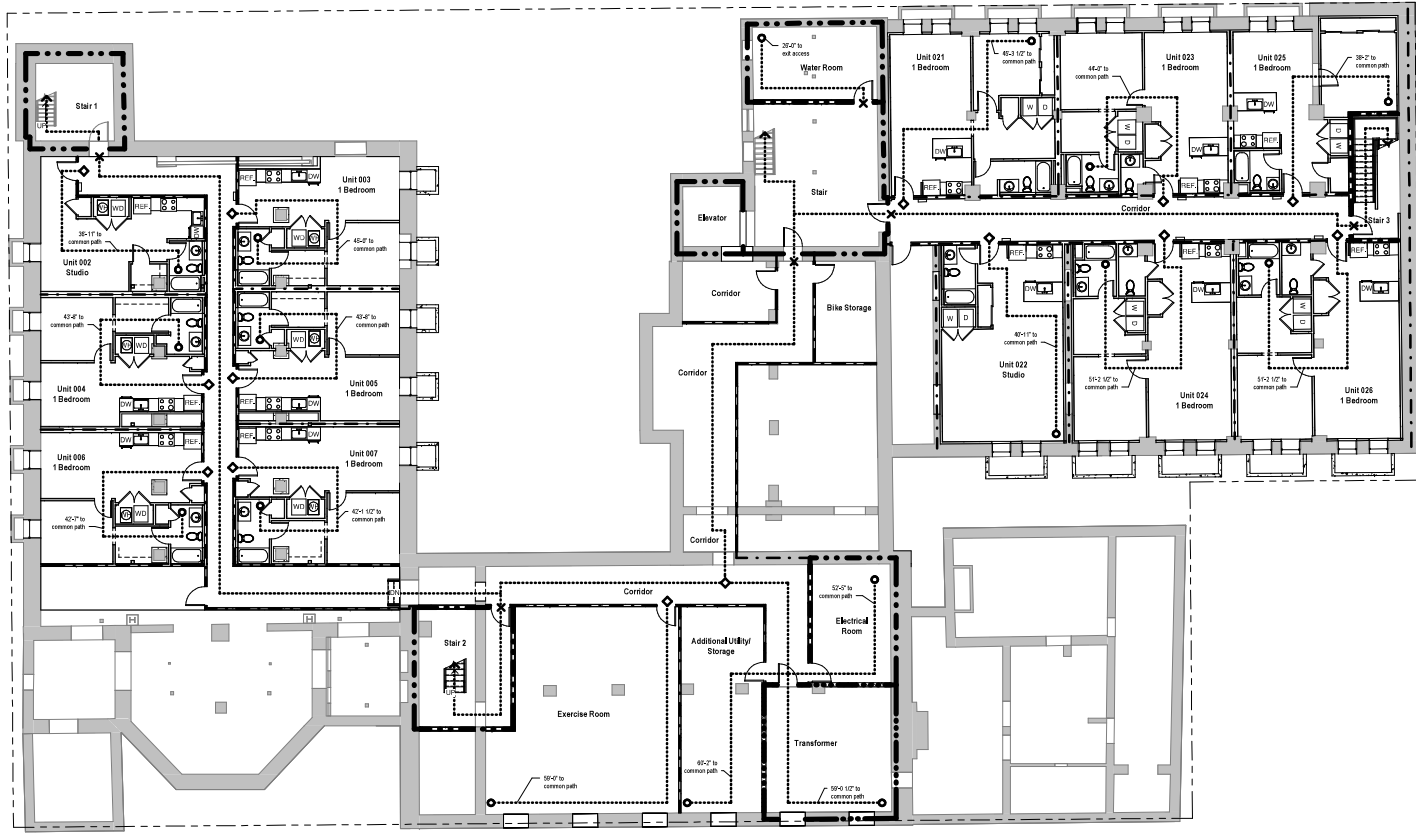
Photo 20 - 3 July 2023



Photo 21 - 3 July 2023



Photo 22 - 3 July 2023



1 Basement Code Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Code Legend	
	Existing wall/Construction
	New wall/Construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation
	Most remote location within unit/Space
	Exit point of common path of egress travel distance
	Egress travel transition between floor levels
	Exit access
	Exit
	Path of egress travel distance



NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive
Reuse
2030-50 Chestnut St
Philadelphia, PA 19146

CODE PLANS

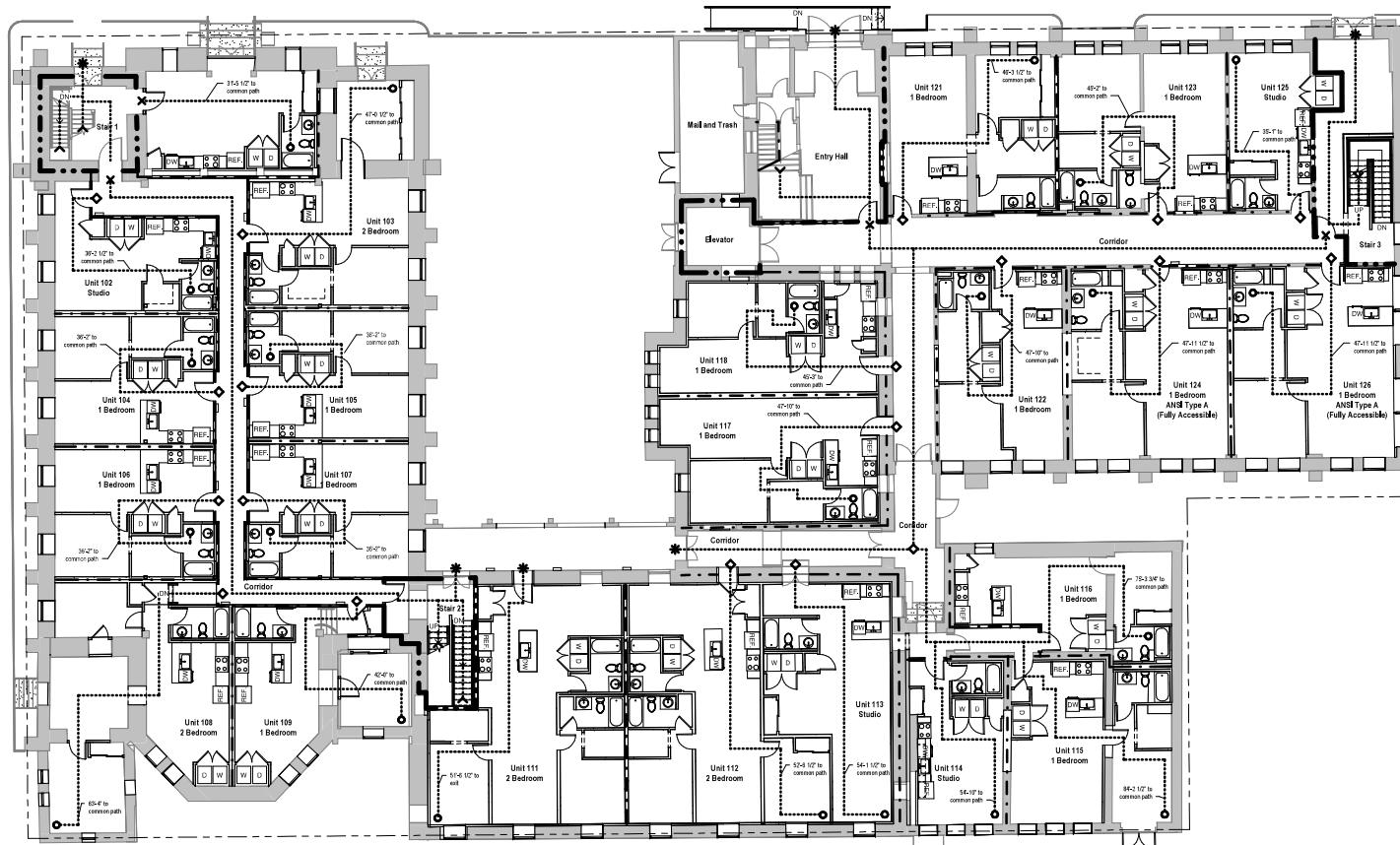
Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A003



Project North True North

Scale 1/8" = 1'-0"



1 First Floor Code Plan
2000 1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Code Legend	
	Entry wall/construction
	Non-wall construction
	1 hour fire rated separation
	2 hour fire rated separation
	Most remote location within unit/spacing
	Exit point of common path of egress travel distance
	Egress travel transition between floor levels
	Exit access
	Exit
	Path of egress travel distance



88' max out of all the drawing was not printed to scale

NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive Reuse
2030-50 Chestnut St
Philadelphia, PA 19146

CODE PLANS

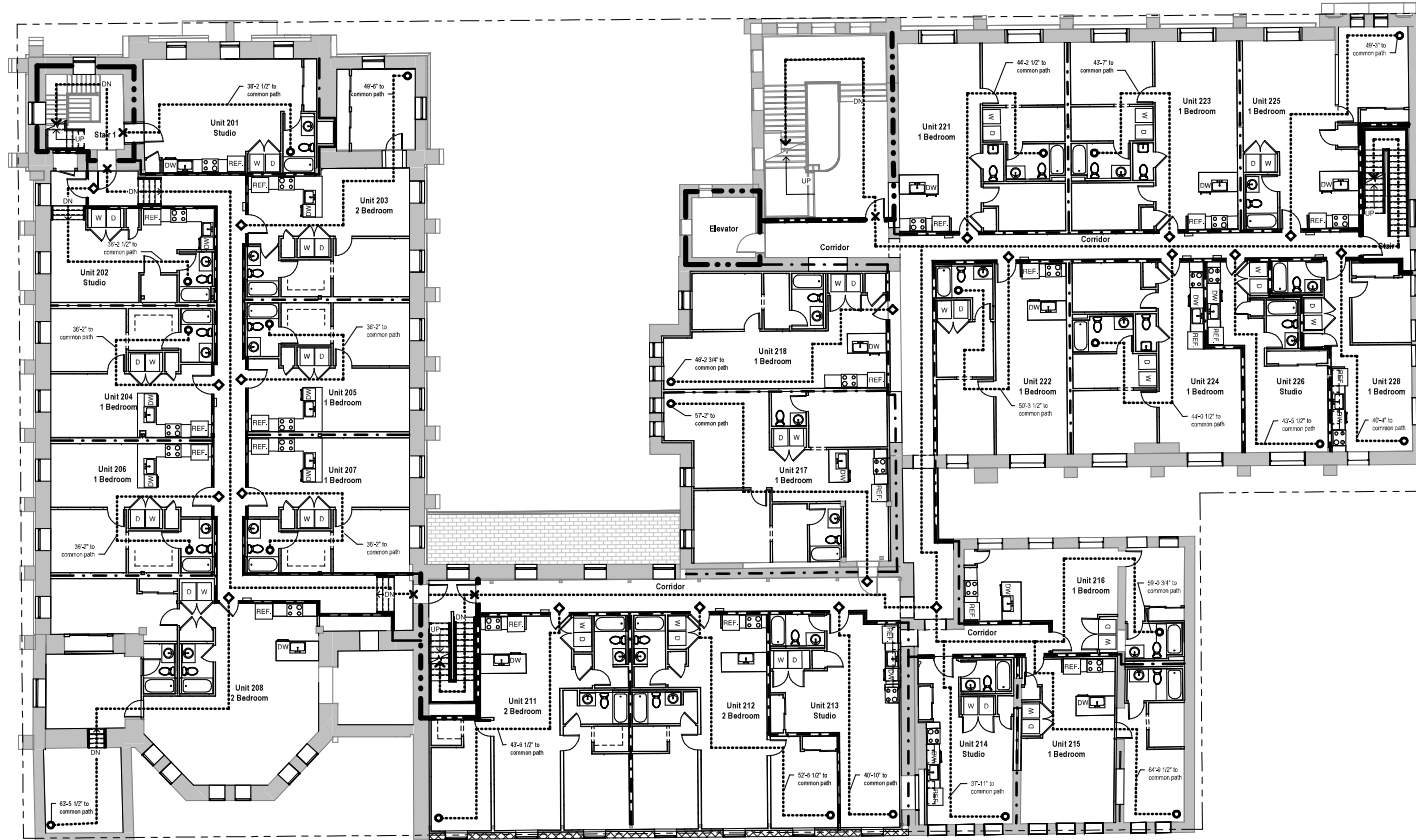
Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A004

Scale 1/8" = 1'-0"



Project North True North



1 Second Floor Code Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Code Legend	
	Existing wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	Most remote location within unit/space
	Exit point of common path of egress travel distance
	Egress travel transition between floor levels
	Exit access
	Exit
	Path of egress travel distance



NOT FOR CONSTRUCTION

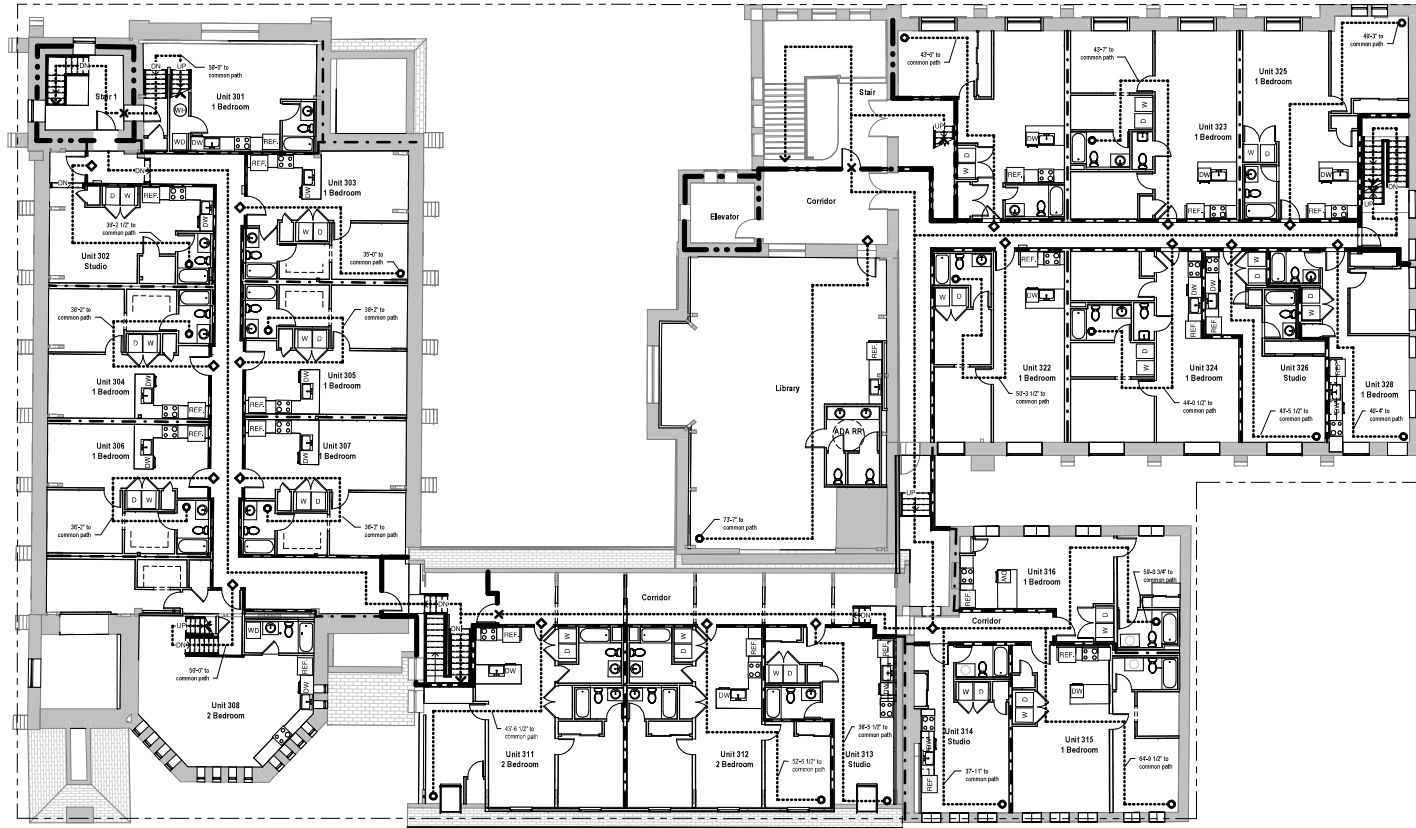
DATE	
DESCRIPTION	
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TierView Development
Church Complex Adaptive Reuse
2030-50 Chestnut St
Philadelphia, PA 19146

CODE PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP
A005	
Scale	1/8" = 1'-0"





1 Third Floor Code Plan
A09 1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Code Legend	
	Existing wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	Most remote location within unit/apartment
	Exit point of common path of egress travel distance
	Egress travel transition between floor levels
	Exit access
	Exit
	Path of egress travel distance



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
ISS	

TierView Development
Church Complex Adaptive Reuse
2030-50 Christian St
Philadelphia, PA 19148

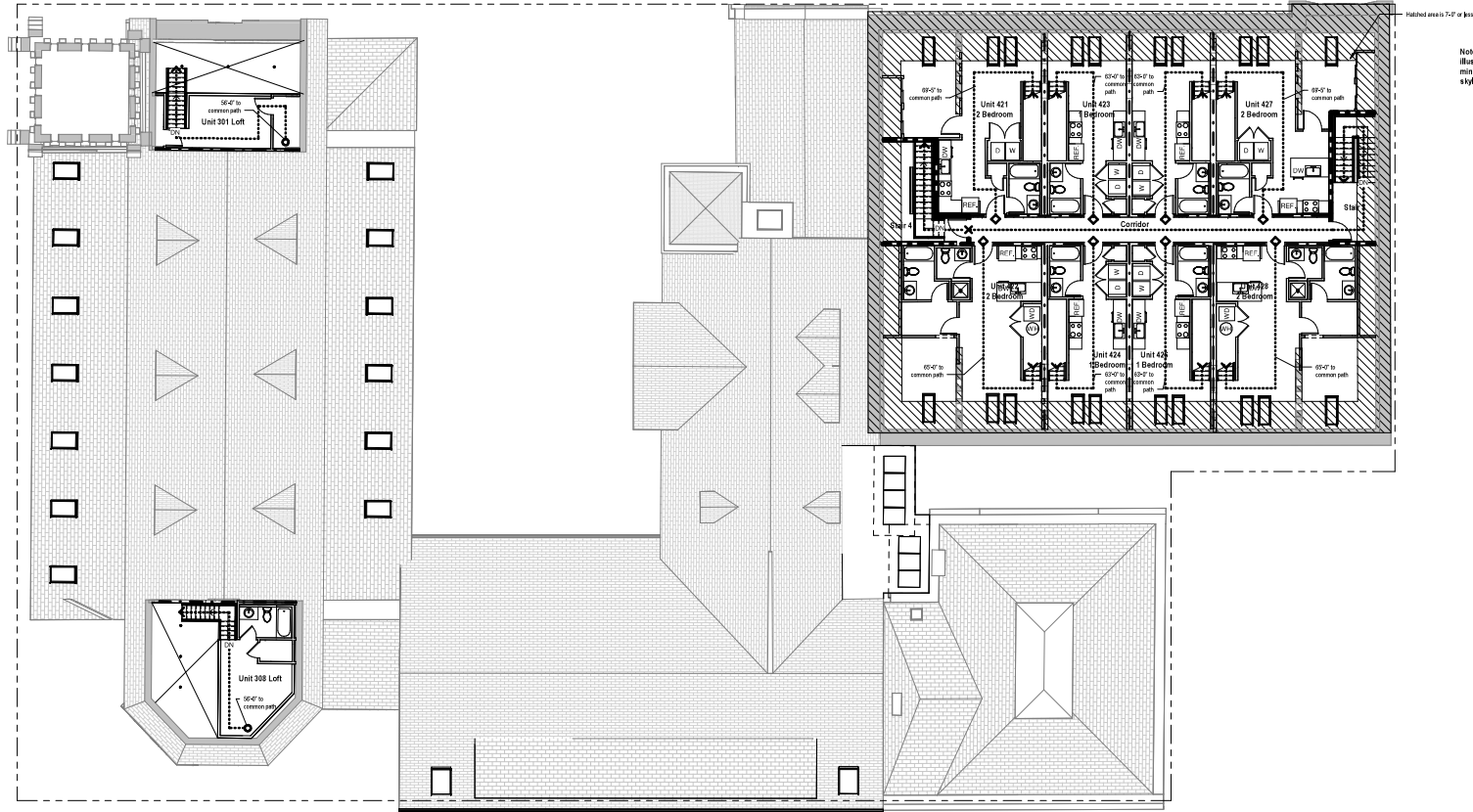
CODE PLANS

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A006

Scale 1/8" = 1'-0"





Note: Skylights shown for illustration purposes only; minimum sill height of skylights to be 5'-6"

Hatched areas 7'-0" or less

NOTES

Code Legend	
	Entry wall construction
	Non wall construction
	1 hour fire rated separation
	2 hour fire rated separation
	Most remote location within unit/area
	Exit point of common path of egress travel distance
	Egress travel transition between floor levels
	Exit access
	Exit
	Path of egress travel distance



NOT FOR CONSTRUCTION

1 Fourth Floor Code Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

TierView Development
Church Complex Adaptive Reuse
2030-50 Chestnut St
Philadelphia, PA 19146

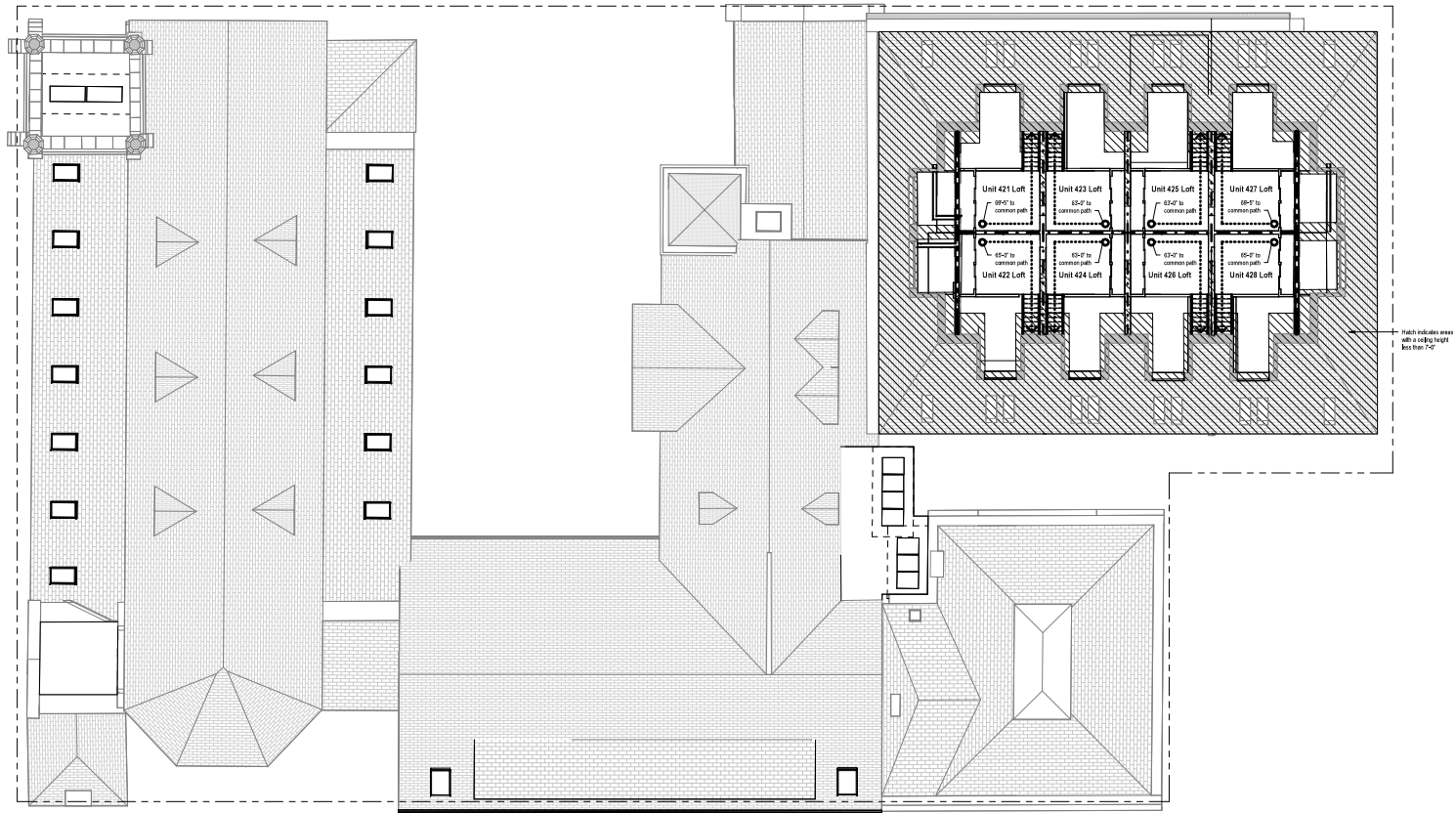
CODE PLANS

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A007



Scale 1/8" = 1'-0"



NOTES

Code Legend

- Existing wall construction
- New wall construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation
- Most remote location within unit/space
- End point of common path of egress travel distance
- Egress travel transition between floor levels
- Exit access
- Exit
- Path of egress travel distance



NOT FOR CONSTRUCTION

1 Fourth Floor Mezzanine Code Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive Reuse
2030-50 Chestnut St
Philadelphia, PA 19146

CODE PLANS

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A008

Scale 1/8" = 1'-0"



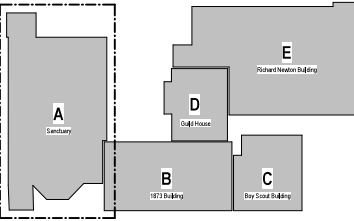
Demolition Keynotes

Keynotes T, U, V construct to deny.

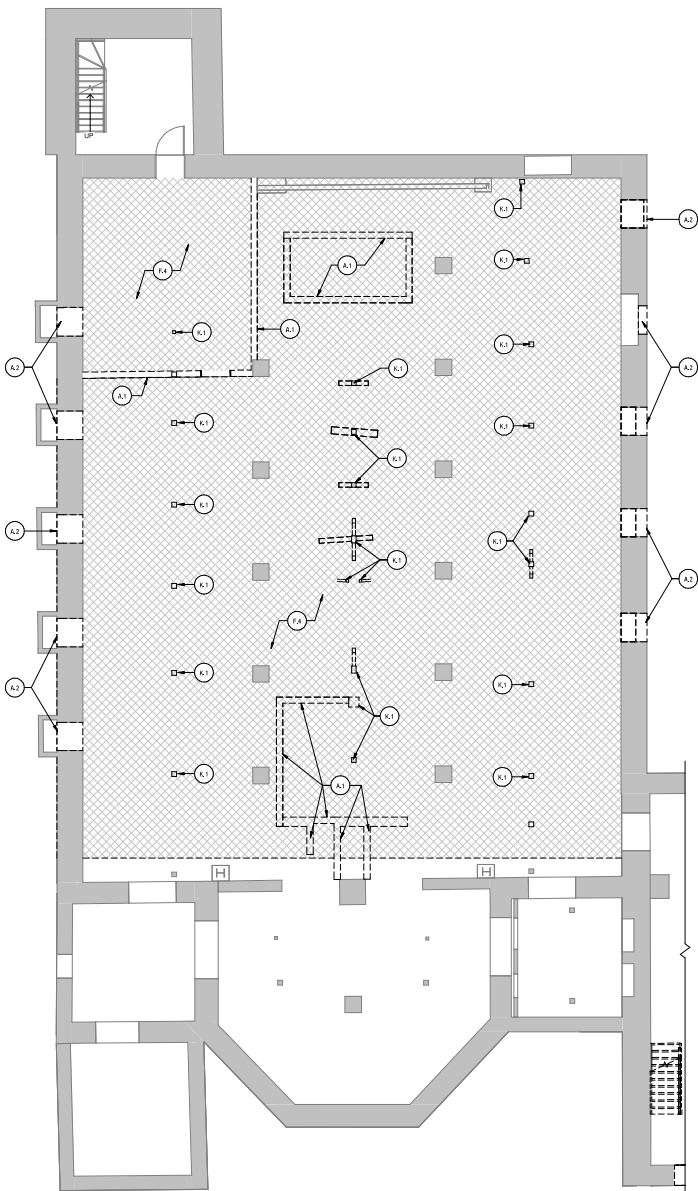
- A1 Remove walls or portion of wall as indicated complete.
- A2 Remove wall to extent of new opening. Refer to window/door schedule for size.
- B1 Remove door complete. Take-up doors in existing order for potential re-installation in new locations.
- C1 Remove windows complete, GC to inspect and evaluate adjacent windows and doors adjacent to prevent water penetration.
- C2 Remove stairs, railing, and landing complete.
- D1 Remove steel beam, complete. Existing bracing and ties to remain.
- E1 Remove roof complete.
- E2 Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.
- F1 Remove floor structure, complete.
- F2 Remove portion of existing floor structure to extent of proposed opening, complete. See schedule for extent of proposed opening.
- F3 Remove flooring, throughout. Existing subfloor or slab to remain.
- F4 Remove slab, complete.
- G1 Remove plumbing fixtures, equipment, and/or appliances, complete.
- H1 Remove utility equipment, complete.
- I1 Remove electrical, conduit, and/or cabling, complete. Schedule for reinstallation in new locations.
- K1 Remove structural framing, complete. Coordinate structural demolition with proposed structural design, SSP.

Demolition Notes

1. The order of the demolition notes is not intended to imply the order of the work.
2. The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
3. These documents have been prepared based upon available conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereafter as shown at the site. Each contractor shall verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
4. Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of items work with requirements of new work and coordinate any structural demolition with proposed structural design.
5. The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and address of construction material.
6. Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
7. Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to protect the public areas occupied areas from work areas.
8. During demolition and new work procedures, the entire work area shall be clear of all dust, dirt and other debris before application of any new materials and/or finishes.
9. Each contractor is responsible to provide adequate and substantial precautions to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and disposal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by the owner and the authorities having jurisdiction.
10. Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
11. If during the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
12. Remove all items with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
13. Unless otherwise stated, patching and repair of areas to remain is to remain following demolition, including required sanding and finishing (finishing the installation of new work, shall be the responsibility of the general trades contractor. Patch all openings resulting from the removal of existing partitions, skirting, mechanical, and electrical work. Coordinate with additional work shown on the protection, identify, mechanical and electrical drawings.
14. Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise stated, patch floors to match adjacent existing surfaces.
15. Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (as required).
16. Any trade performing core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting layout of new work.
17. Protect existing other service conductors and fire alarm devices from dust. Protect throughout duration of the project.
18. Place, control and maintain enclosures for demolished partitions and ceiling which used to remain shall be re-installed and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
19. Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and protected prior to the beginning of work and to be stored on site at a location designated by the owner.
20. Any property or surface material to be abandoned shall be removed and concealed.
21. Steam trappers in the demolition package are existing and provided for dirty only. They do not apply to the new scope of work.
22. Contractor responsible for moisture and mold detection and remediation throughout existing property. Existing damaged, deteriorating, water infiltration and mold, ceiling, and all other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



CITY OF PHILADELPHIA APPROVAL STAMPS



Zone A Demolition Plan - Basement
3/16" = 1'-0"

TONER architects
 1901 S. 8th Street
 Room 425
 Philadelphia, PA 19148
 215-800-1988
 www.tonerarch.com

NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
 Church Complex Adaptive Reuse
 2030-50 Christian St
 Philadelphia, PA 19148

DEMOLITION PLANS

Project number 23010
 Date 10 May 2024
 Drawn by SK
 Checked by SSP

AD100



As indicated

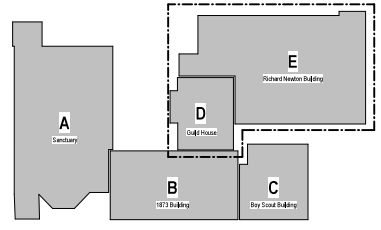
Demolition Keynotes

Refer to Sections T, U, V or contact for details.

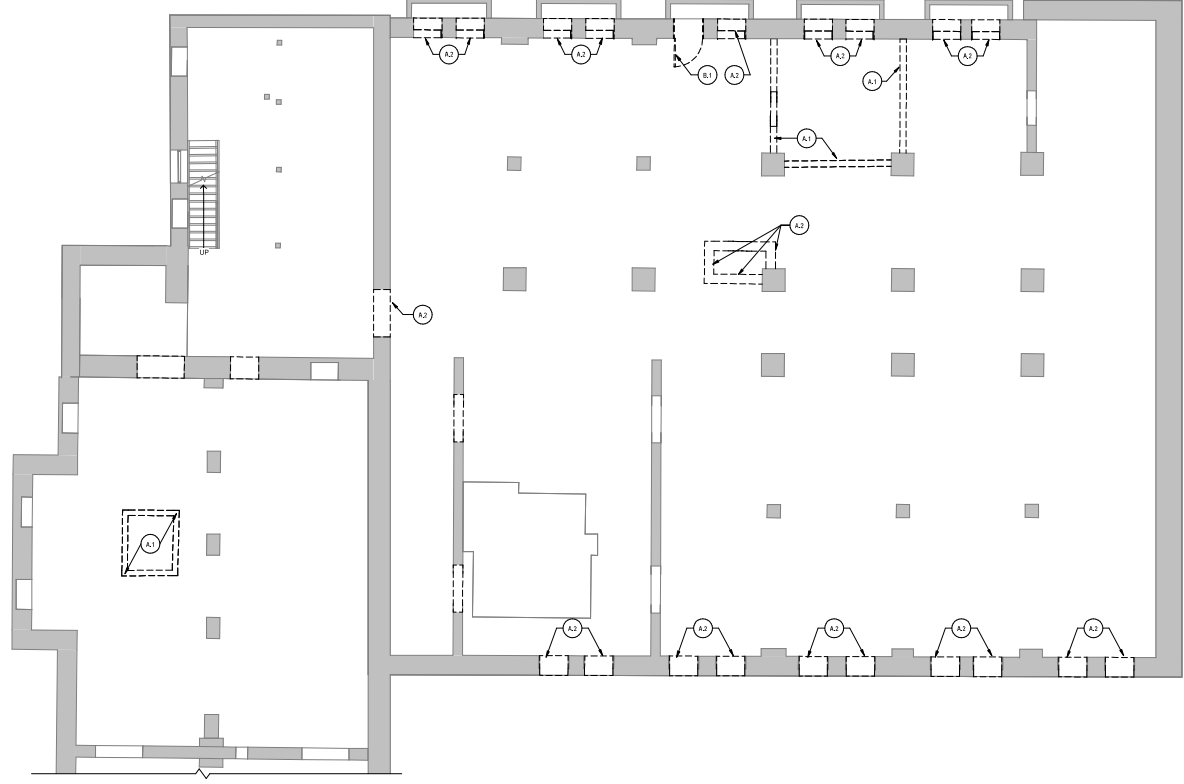
- A1** Remove walls or portion of wall as indicated complete.
- A2** Remove wall to extent of new opening. Refer to window/door schedule for size.
- B1** Remove door complete. Slightly doors in existing order for potential re-installation in new location.
- C1** Remove window complete, SC to inspect and evaluate adjacent window and design window to prevent water penetration.
- D1** Remove stairs, railing and landing complete.
- E1** Remove steel beam, complete. Existing beams and joists to remain.
- F1** Remove roof complete.
- G1** Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.
- F2** Remove floor structure, complete.
- F3** Remove portion of existing floor structure to extent of proposed opening, complete. See floor plan for extent of proposed opening.
- F4** Remove flooring, throughout. Existing wall/door or glass to remain.
- G2** Remove ceiling, throughout. Existing wall/door or glass to remain.
- H1** Remove lighting fixture, equipment and/or electrical, complete.
- I1** Remove utility equipment, complete.
- J1** Remove mechanical, electrical, and/or plumbing, complete. Slightly for reinstallation in new location.
- K1** Remove structural framing complete. Coordinate structural demolition with proposed structural design, SSP.

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon available conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated herein when excavated at the site. Each contractor shall verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work and coordinate any structural demolition with proposed structural design.
- The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and debris of construction material.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to support the public areas occupied areas from work areas.
- During demolition and new work procedures, the entire work area shall be kept clear of all dust, dirt and debris before installation of any new materials and/or finishes.
- Each contractor is responsible to provide adequate work and material protection to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and removal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
- Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- If during the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all items with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be essential for new work.
- Unless otherwise noted, patching and repair of areas to remain in service following demolition, including required sanding and finishing following the installation of new work, shall be the responsibility of the general trades contractor. Patch all openings resulting from the removal of existing fire protection, plumbing, mechanical, and electrical work. Coordinate with additional work shown on the fire protection, plumbing, mechanical and electrical drawings.
- Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise noted, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (if necessary).
- Any trade performing core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting layout of new work.
- Protect existing utility service connections and fire alarm devices from dust. Protect throughout duration of the project.
- Plans, conditions and distances encountered in demolition partitions and ceiling which are to remain shall be re-located and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and are to be stored on site at a location designated by the owner. Any property or surface mounted items to be abandoned shall be removed and concealed.
- Roam trailers in the demolition package are existing and provided for dirty work. They do not apply to the new scope of work.
- Contractor responsible for restore and make location and reinstallation throughout existing property. Existing damaged, deteriorating, unsafe, inaccessible walls, ceiling, and all other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



CITY OF PHILADELPHIA APPROVAL STAMPS



1 Zone D/E Demolition Plan - Basement
3/16" = 1'-0"



TONER architects

1901 S. 8th Street
Room 425
Philadelphia, PA 19148
215-500-1966
www.tonerarch.com

NOTES

Wall Legend

	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

**TierView Development
Church Complex Adaptive
Reuse**

2030-50 Chestnut St
Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

AD101

Scale: As indicated

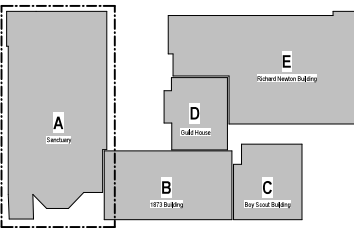
Demolition Keynotes

Keynotes T, U, V, W contractor deny.

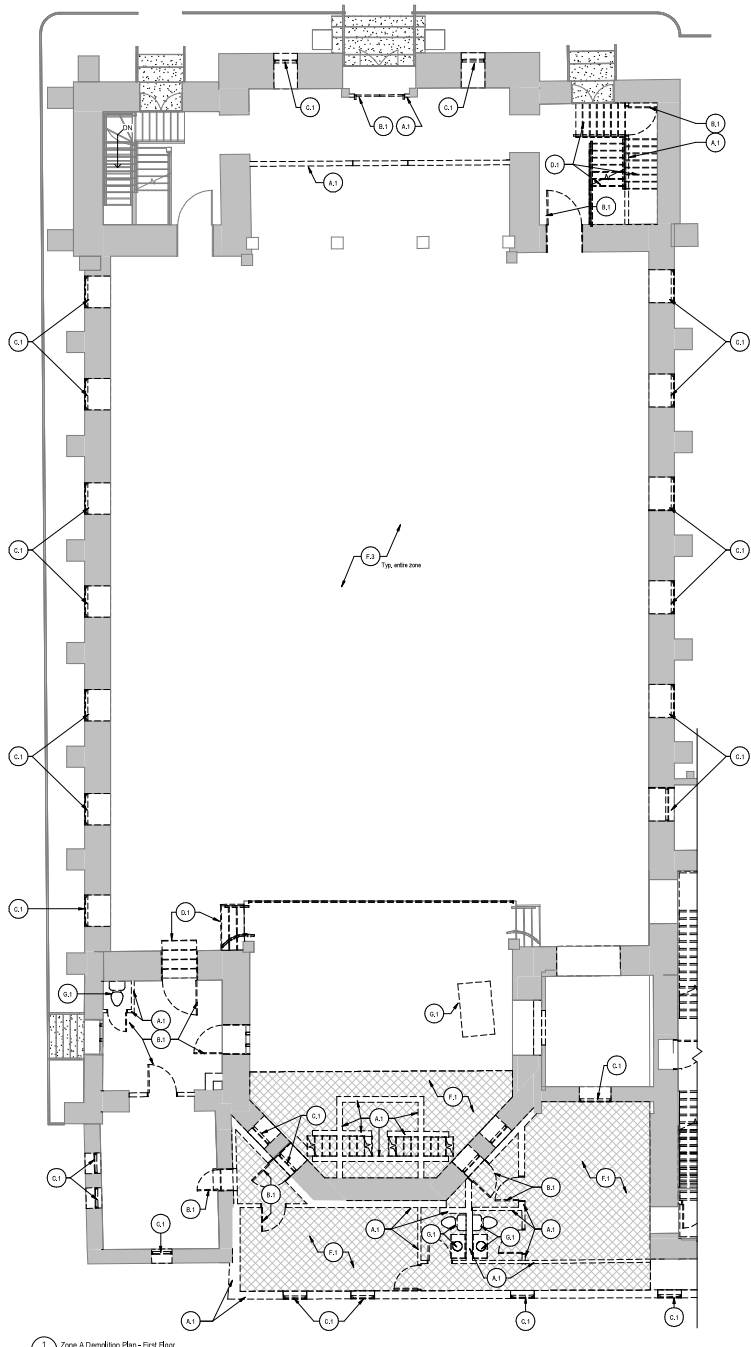
- A1 Remove walls or portion of wall as indicated complete.
- A2 Remove wall to extent of new opening. Refer to window/door schedule for size.
- B1 Remove door complete. Take-up doors in existing order for potential re-installation in new location.
- C1 Remove windows complete, O/C to inspect and evaluate adjacent windows and sills window to prevent water penetration.
- D1 Remove stairs, railing, and landing complete.
- E1 Remove stair finish, complete. Existing beams and joists to remain.
- F1 Remove roof, complete.
- G1 Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.
- H1 Remove floor structure, complete.
- I1 Remove portion of existing floor structure to extent of proposed opening, complete. See details for extent of proposed opening.
- J1 Remove flooring throughout. Existing wall/door or sill to remain.
- K1 Remove slab, complete.
- L1 Remove framing, future, equipment, and/or utilities, complete.
- M1 Remove utility equipment, complete.
- N1 Remove millwork, casework, and/or cabinets, complete. Subject to reinstallation in new locations.
- O1 Remove structural framing, complete. Coordinate structural demolition with proposed structural design, SSP.

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon visible conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereafter as viewed at the site. Each contractor shall verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work and coordinate any structural demolition with proposed structural design.
- The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and schedule of construction removal.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to support the public areas occupied areas from each access.
- During demolition and new work procedures, the entire work area shall be clear of all dust, dirt and other debris before application of any new materials and/or finishes.
- Each contractor is responsible to provide adequate and substantial protection to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and disposal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
- Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- If during the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all doors with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
- Unless otherwise noted, patching and repair of areas to remain in service following demolition, including required painting and finishing (including the installation of new work, shall be the responsibility of the general building contractor. Patch all openings resulting from the removal of existing partitions, slabs, mechanical, and electrical work. Coordinate with additional work shown on the fire protection, fire alarm, mechanical and electrical drawings.
- Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise noted, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (as required).
- Any trade performing core drilling or sawcutting operations shall notify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any structure affecting layout of new work.
- Protect existing water service connections and fire alarm devices from dust. Protect throughout duration of the project.
- Flues, conduits and ductwork encountered in demolished partitions and ceiling shall be removed, shall be re-installed and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and to be stored on site at a location designated by the owner.
- Any property or surface mounted items to be abandoned shall be removed and concealed.
- Steam trappers in the demolition packages are existing and provided for dirty only. They do not apply to the new scope of work.
- Contractor responsible for restore and make protection and remediation throughout existing property. Existing damaged, deteriorating, water infiltration and mold, ceiling, and all other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



CITY OF PHILADELPHIA APPROVAL STAMPS



1 Zeng & Demolition Plan - First Floor
00100 1/16" = 1'-0"

TONER architects
 1901 S. 8th Street
 Room 425
 Philadelphia, PA 19148
 215-800-1988
 www.tonerarch.com

NOTES

Wall Legend	
	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
 Church Complex Adaptive Reuse
 2030-50 Christian St
 Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

AD102



As indicated

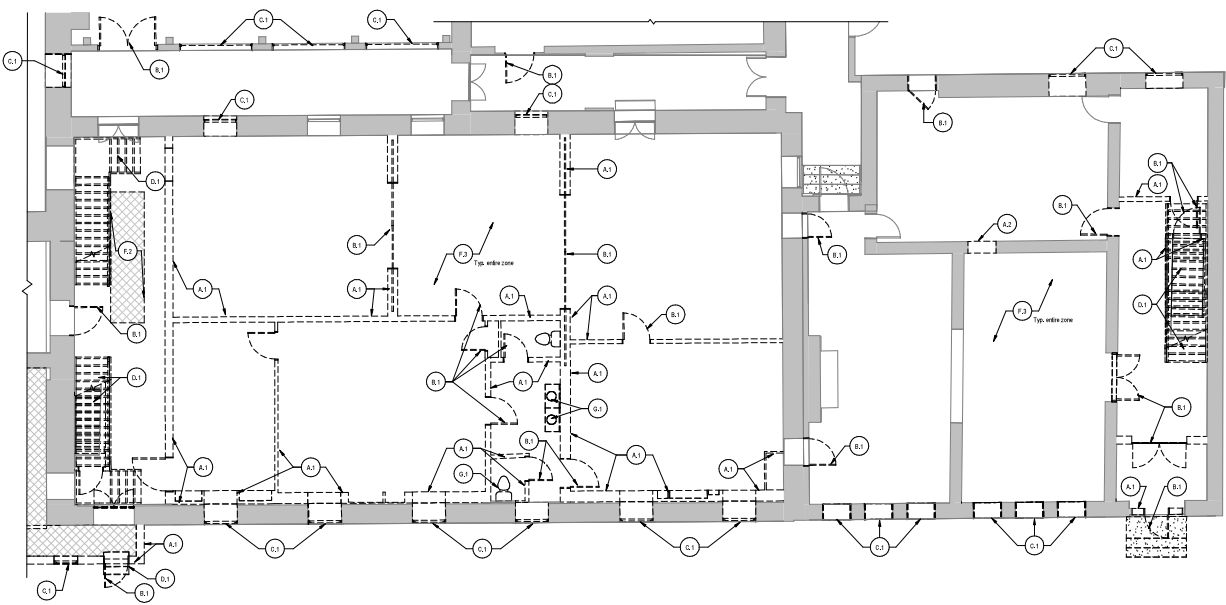
Demolition Keynotes

Keynotes T, U, V construct to deny.

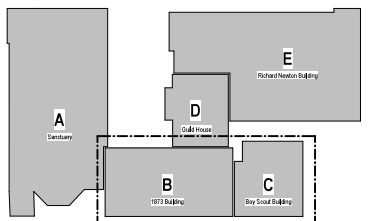
- A1 Remove walls or portion of wall as indicated complete.
- A2 Remove wall to extent of new ceiling. Refer to window/door schedule for size.
- B1 Remove doors complete. Sinking doors in existing order for potential re-installation in new locations.
- C1 Remove windows complete, GC to inspect and evaluate adjacent windows and sills adjacent to prevent water penetration.
- A3 Remove stairs, railing, and landing complete.
- B2 Remove stair finish, complete. Existing beams and joists to remain.
- E1 Remove roof complete.
- E2 Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.
- F1 Remove floor structure, complete.
- F2 Remove portion of existing floor structure to extent of proposed opening, complete. See schedule for extent of proposed opening.
- F3 Remove flooring throughout. Existing subfloor or slab to remain.
- F4 Remove slab, complete.
- G1 Remove framing, fixtures, equipment, and/or eave/ceiling, complete.
- H1 Remove utility equipment, complete.
- I1 Remove millwork, casework, and/or cabinetry, complete. Sinking for reinstallation in new locations.
- K1 Remove structural framing complete. Coordinate structural demolition with proposed structural design. SSP

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon visible conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereafter as viewed on the site. Each contractor shall verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of items work with requirements of new work and coordinate any structural demolition with proposed structural design.
- The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and schedule of construction removal.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to separate the public areas occupied areas from work areas.
- During demolition and new work procedures, the entire work area shall be clean of all dust, dirt and other debris before installation of any new materials and/or finishes.
- Each contractor is responsible to provide adequate and substantial precautions to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and disposal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
- Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- If during the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all doors with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
- Unless otherwise indicated, patching and repair of areas to remain in service following demolition, including required sanding and finishing following the installation of new work, shall be the responsibility of the general contractor. Patch all openings resulting from the removal of existing fire protection, including mechanical and electrical work. Coordinate with additional work shown on the fire protection, fire alarm, mechanical and electrical drawings.
- Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise indicated, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (as required).
- Any trade performing core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any structure affecting layout of new work.
- Protect existing utility service conductors and fire alarm devices from dust. Protect throughout duration of the project.
- Place, control and maintain enclosures in demolished partitions and ceiling which are to remain shall be installed and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and to be stored on site at a location designated by the owner. Any property or surface material items to be abandoned shall be removed and concealed.
- Stream names in the demolition package are existing and provided for clarity only. They do not apply to the new scope of work.
- Contractor responsible for repairs and make repairs and restoration throughout existing property. Existing damaged, deteriorating, water-infiltrated walls, roofs, ceilings, and all other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



1 Zone B/C Demolition Plan - First Floor
Scale: 3/16" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS

TONER architects

1901 S. 8th Street
Room 425
Philadelphia, PA 19148
215-500-1988
www.tonerarch.com

NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development Church Complex Adaptive Reuse

2030-50 Christian St
Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

AD103



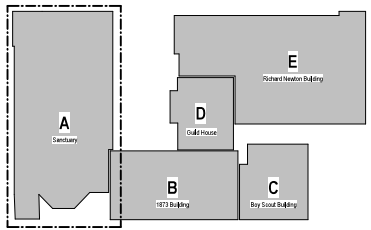
As indicated

Demolition Keynotes

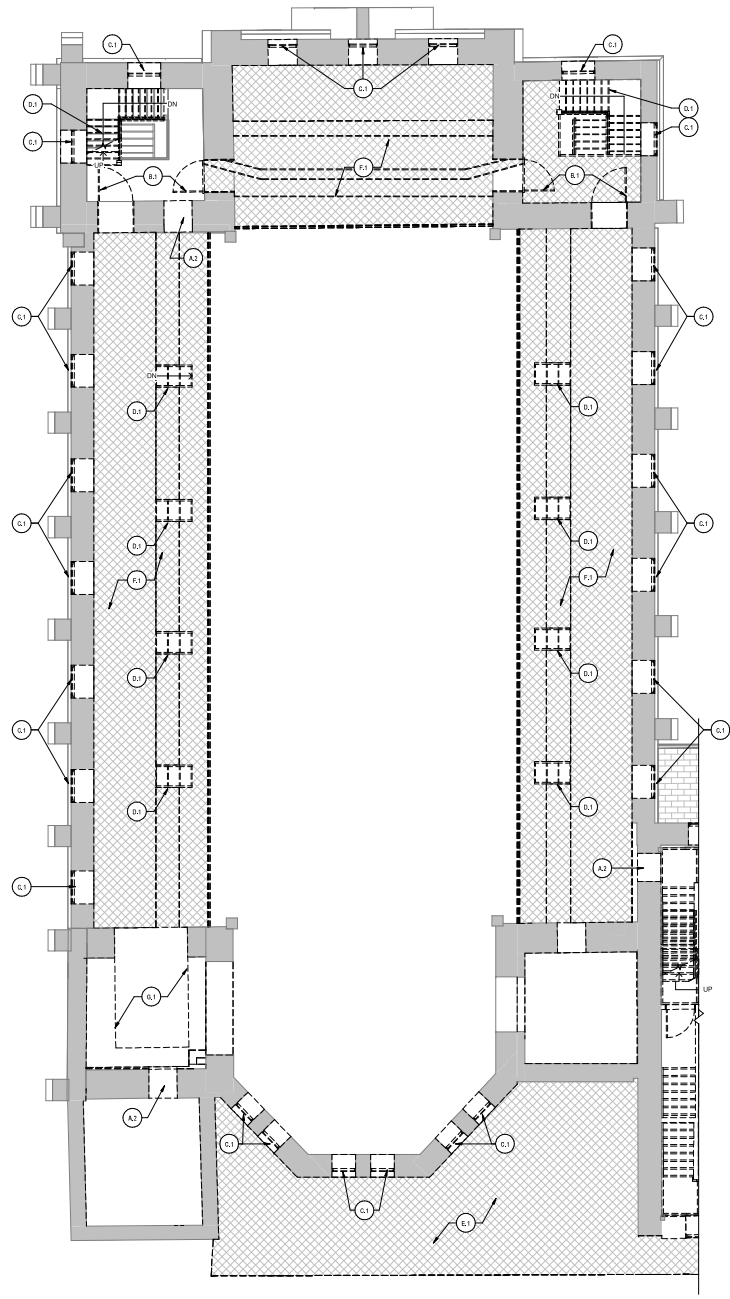
- Keynotes T, U, V construct to deny.**
- A1 Remove walls or portion of wall as indicated complete.
 - A2 Remove wall to extent of new opening. Refer to window/door schedule for size.
 - B1 Remove door complete. Take-up doors in existing order for potential re-installation in new location.
 - C1 Remove windows, complete, GC to inspect and evaluate indicated windows and door window to protect street views.
 - C2 Remove stairs, railing, and landing complete.
 - C3 Remove stair finish, complete. Existing trusses and joists to remain.
 - C4 Remove roof, complete.
 - C5 Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.
 - F1 Remove floor structure, complete.
 - F2 Remove portion of existing floor structure to extent of proposed opening, complete. See schedule for extent of proposed opening.
 - F3 Remove flooring, throughout. Existing subfloor or joists to remain.
 - F4 Remove slab, complete.
 - G1 Remove plumbing fixtures, equipment, and/or appliances, complete.
 - H1 Remove utility equipment, complete.
 - I1 Remove millwork, casework, and/or cabinetry, complete. Schedule for reinstallation in new locations.
 - K1 Remove structural framing, complete. Coordinate structural demolition with proposed structural design, SSP.

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon available conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereafter as viewed at the site. Each contractor shall field verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work and coordinate any structural demolition with proposed structural design.
- The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and debris of construction material.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to support the public areas occupied areas from work areas.
- During demolition and new work procedures, the entire work area shall be clean of all dust, dirt and other debris before application of any new materials and/or finishes.
- Each contractor is responsible to provide adequate and substantial precautions to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and removal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
- Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- If during the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all items with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
- Unless otherwise stated, patching and repair of areas to remain in service following demolition, including required caulking and touch-up painting by the installation of new work, shall be the responsibility of the general trade contractor. Patch all openings resulting from the removal of existing partitions, skirting, mechanical, and electrical work. Coordinate with additional work shown on the fire protection, plumbing, mechanical and electrical drawings.
- Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise stated, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (as required).
- Any trade performing core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting layout of new work.
- Protect existing other service conductors and fire alarm devices from dust. Protect throughout duration of the project.
- Flues, conduits and ductwork encountered in demolished partitions and ceiling shall be removed, sealed or re-routed and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and to be stored on site at location designated by the owner. Any property or surface material to be abandoned shall be removed and concealed.
- Steam trasses in the demolition package are existing and provided for dirty only. They do not apply to the new scope of work.
- Contractor responsible for restore and make protection and remediation throughout existing property. Existing damaged, deteriorated, water-damaged and/or mold, ceiling, and all other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



CITY OF PHILADELPHIA APPROVAL STAMPS



Zone A Demolition Plan - Second Floor
Scale: 3/16" = 1'-0"

TONER architects
 1901 S. 8th Street
 Room 425
 Philadelphia, PA 19148
 215-800-1988
 www.tonerarch.com

NOTES

Wall Legend	
	Existing wall/Construction
	Demolished wall/Construction
	New wall/Construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
ISS	

**TierView Development
 Church Complex Adaptive
 Reuse**
 2030-50 Christian St
 Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

AD105



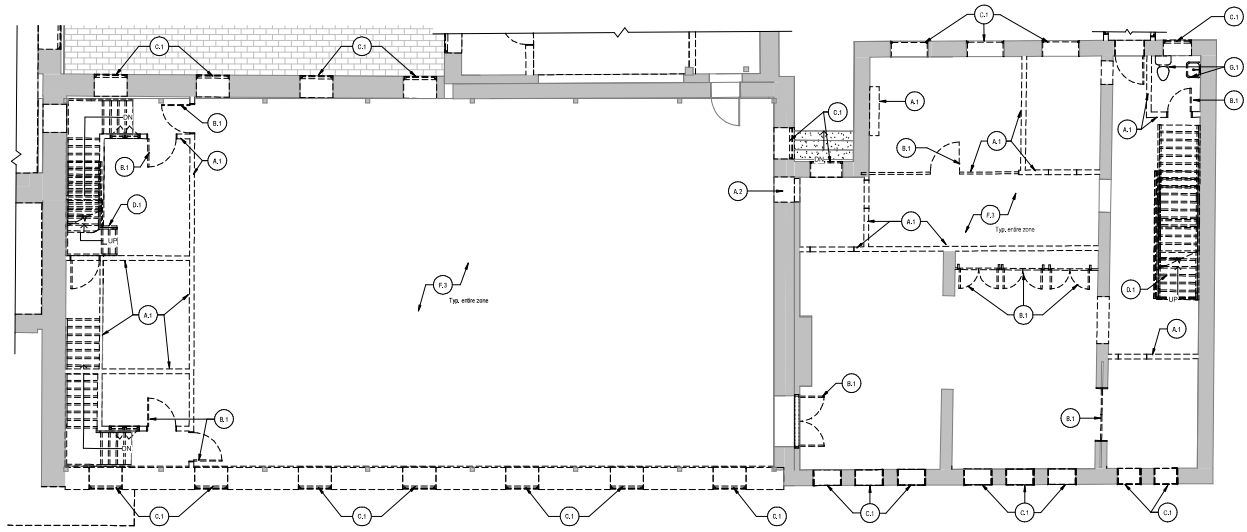
Demolition Keynotes

Keynotes T, U, V or other for dem.

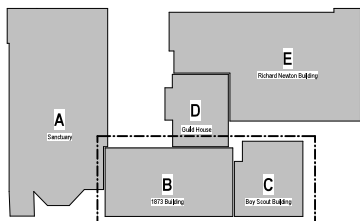
- A1 Remove walls or portion of wall as indicated complete.
- A2 Remove wall to extent of new opening. Refer to window/door schedule for size.
- B1 Remove doors complete. Take-up doors in existing order for potential re-installation in new locations.
- C1 Remove windows complete, SC to inspect and evaluate adjacent windows and doors adjacent to prevent water penetration.
- D1 Remove stairs, railing and landing complete.
- E1 Remove steel beam, complete. Existing beams and joists to remain.
- F1 Remove roof complete.
- G1 Remove floor structure, complete.
- H1 Remove portion of existing floor structure to extent of proposed opening, complete. See schedule for extent of proposed opening.
- I1 Remove flooring throughout. Existing wall/door or glass to remain.
- J1 Remove slab, complete.
- K1 Remove framing, future, equipment, and/or utilities, complete.
- L1 Remove utility equipment, complete.
- M1 Remove masonry, concrete, and/or ceiling, complete. Schedule for reinstallation in new locations.
- N1 Remove structural framing complete. Coordinate structural demolition with proposed structural design, SSP.

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon visible conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereafter as viewed at the site. Each contractor shall field verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demer work with requirements of new work and coordinate any structural demolition with proposed structural design.
- The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and debris of construction material.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Install temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to support the public areas occupied areas from each area.
- During demolition and new work procedures, the entire work area shall be clean of all dust, dirt and other debris before installation of any new materials and/or finishes.
- Each contractor is responsible to provide adequate and substantial protection to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and removal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
- Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- If during the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all items with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
- Unless otherwise indicated, patching and repair of areas to remain in service following demolition, including required sanding and finishing following the installation of new work, shall be the responsibility of the general contractor. Patch all openings resulting from the removal of existing fire protection, plumbing, mechanical, and electrical work. Coordinate with additional work shown on the fire protection, plumbing, mechanical and electrical drawings.
- Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise indicated, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (as required).
- Any trade performing core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting layout of new work.
- Protect existing other areas, structures and/or items located from dust. Protect throughout duration of the project.
- Place, contain and abatement enclosures in demolished partitions and ceiling which shall be removed, shall be re-installed and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and to be stored on site at a location designated by the owner. Any property or surface mounted items to be abandoned shall be removed and concealed.
- Stream names in the demolition package are existing and provided for clarity only. They do not apply to the new scope of work.
- Contractor responsible for existing and future protection and remediation throughout existing property. Existing damaged, deteriorated, water infiltration and/or mold, ceiling, and all other existing materials to be removed throughout as required, inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



Zone B,C Demolition Plan - Second Floor
 1/8" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS

TONER architects
 1901 S. 8th Street
 Room 425
 Philadelphia, PA 19148
 215-800-1988
 www.tonerarch.com

NOTES

Wall Legend	
	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
 Church Complex Adaptive Reuse
 2030-50 Christian St
 Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

AD106



As indicated

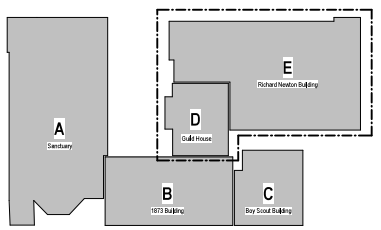
Demolition Keynotes

Keynotes T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UU, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ

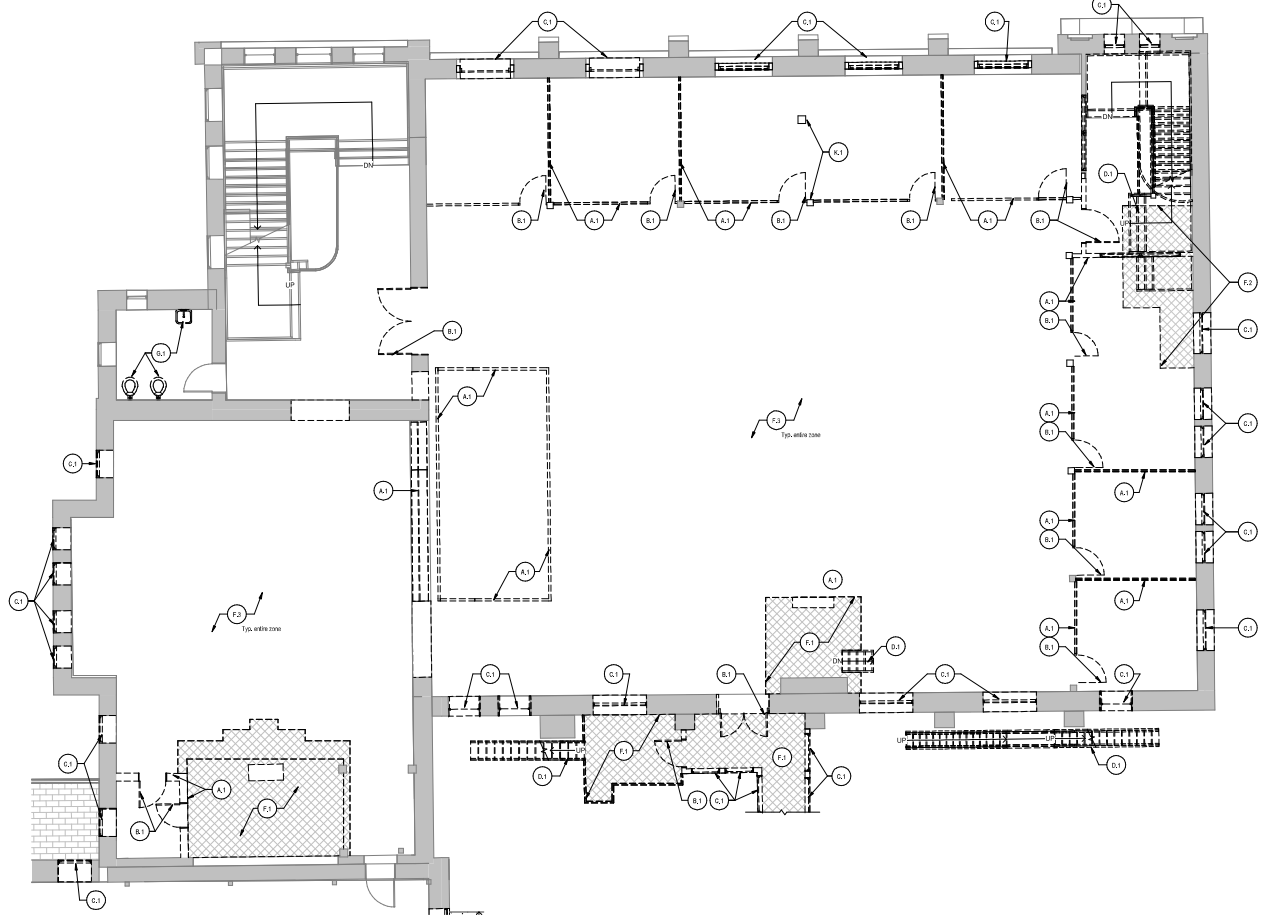
- A.1 Remove walls or portion of wall as indicated complete.
- A.2 Remove wall to extent of new opening. Refer to window/door schedule for size.
- B.1 Remove door complete. Siding doors in existing order for potential re-installation in new locations.
- C.1 Remove windows complete, O.C. to inspect and evaluate adjacent windows and sills adjacent to prevent water penetration.
- A.1 Remove stairs, railing, and landing complete.
- B.2 Remove stair finish, complete. Existing beams and joists to remain.
- E.1 Remove roof, complete.
- E.2 Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.
- F.1 Remove floor structure, complete.
- F.2 Remove portion of existing floor structure to extent of proposed opening, complete. See floor plan for extent of proposed opening.
- F.3 Remove flooring, throughout. Existing wall/door or slab to remain.
- F.4 Remove slab, complete.
- G.1 Remove plumbing fixtures, equipment, and/or appliances, complete.
- H.1 Remove utility equipment, complete.
- I.1 Remove millwork, casework, and/or cabinets, complete. Siding for reinstallation in new locations.
- K.1 Remove structural framing, complete. Coordinate structural demolition with proposed structural design, SSP.

Demolition Notes

1. The order of the demolition notes is not intended to imply the order of the work.
2. The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
3. These documents have been prepared based upon visible conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereafter as viewed at the site. Each contractor shall field verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
4. Verify all existing conditions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work and coordinate any structural demolition with proposed structural design.
5. The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and adhere to construction method.
6. Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
7. Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to separate the public areas occupied areas from work areas.
8. During demolition and new work procedures, the entire work area shall be kept of all dust, dirt and other debris below the jurisdiction of any new residents and/or visitors.
9. Each contractor is responsible to provide adequate work safety procedures to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and disposal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
10. Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
11. If during the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
12. Remove all items with care and for possible salvages. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
13. Unless otherwise stated, patching and repair of areas to remain is required during demolition, including required sanding and finishing during the installation of new work, shall be the responsibility of the general contractor. Patch all openings resulting from the removal of existing the protection, plumbing, mechanical, and electrical work. Coordinate with additional work shown on the protection, plumbing, mechanical and electrical drawings.
14. Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise stated, patch floors to match adjacent existing surfaces.
15. Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (as required).
16. Any trade performing core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any structure affecting beyond of work.
17. Protect existing other areas, structures and/or items located from dust. Protect throughout duration of the project.
18. Plans, conditions and surfaces encountered in demolished partitions and ceiling which are to remain shall be re-located and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
19. Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and to be stored on site at location designated by the owner.
20. Any property or surface material items to be abandoned shall be removed and concealed.
21. Room names in the demolition package are existing and provided for clarity only. They do not apply to the new scope of work.
22. Contractor responsible for restore and make repairs and remediation throughout existing property. Existing damaged, deteriorating, unsafe, hazardous and/or unsafe, ceiling, and all other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



CITY OF PHILADELPHIA APPROVAL STAMPS



1 Zone D/E Demolition Plan - Second Floor
3/16" = 1'-0"

TONER architects
 1901 S. 8th Street
 Room 425
 Philadelphia, PA 19148
 215-800-1988
 www.tonerarch.com

NOTES

Wall Legend	
	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

**TierView Development
 Church Complex Adaptive Reuse**
 2030-50 Christian St
 Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

AD107

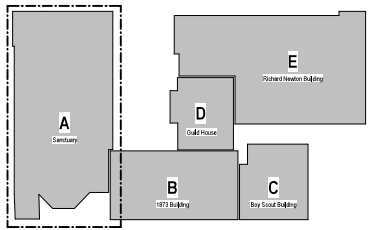


Demolition Keynotes

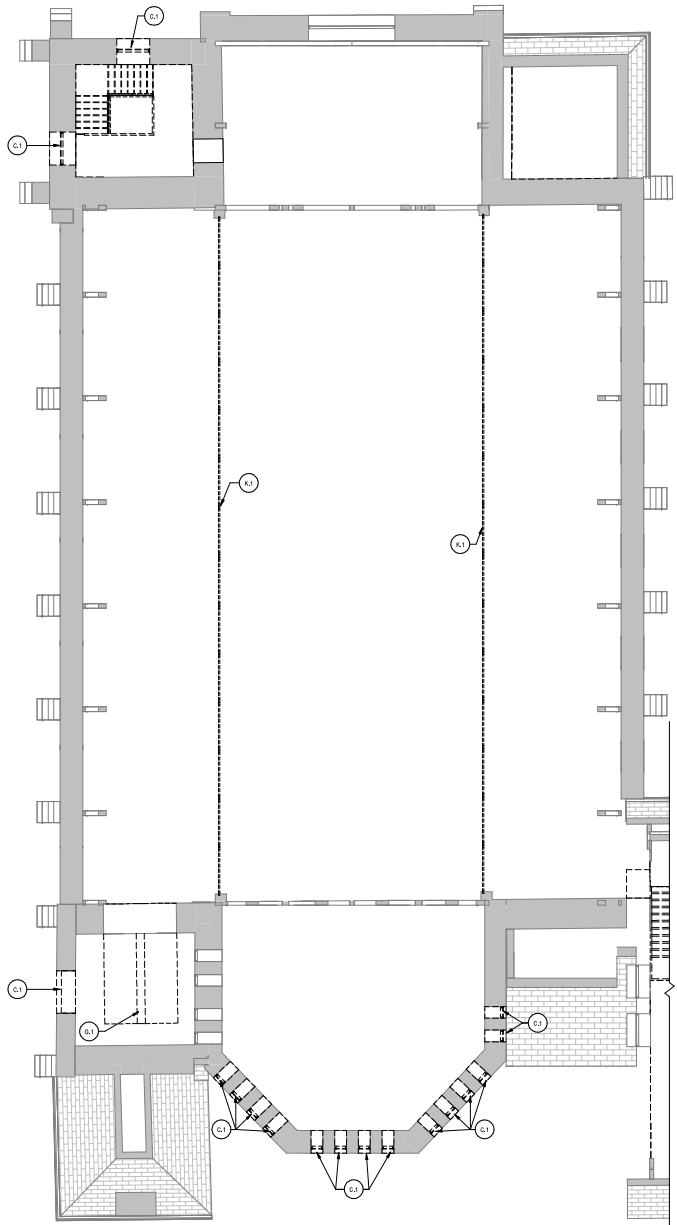
- Keynotes T, U, V contract to deny.
- A1 Remove walls or portion of wall as indicated complete.
 - A2 Remove wall to extent of new opening. Refer to window/door schedule for size.
 - B1 Remove door complete. Sinking doors in existing walls for potential re-installation in new locations.
 - C1 Remove windows complete, GC to inspect and evaluate adjacent windows and design window to prevent water penetration.
 - C2 Remove stairs, railing, and landing complete.
 - C3 Remove stair finish, complete. Existing beams and joists to remain.
 - E1 Remove roof complete.
 - E2 Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.
 - F1 Remove floor structure, complete.
 - F2 Remove portion of existing floor structure to extent of proposed opening, complete. See floor plan for extent of proposed opening.
 - F3 Remove flooring, throughout. Existing subfloor or joists to remain.
 - F4 Remove slab, complete.
 - G1 Remove plumbing fixtures, equipment, and/or appliances, complete.
 - H1 Remove utility equipment, complete.
 - I1 Remove millwork, casework, and/or cabinets, complete. Subject to reinstallation in new locations.
 - K1 Remove structural framing complete. Coordinate structural demolition with proposed structural design, SSP.

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon visible conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereafter as viewed at the site. Each contractor shall verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work and coordinate any structural demolition with proposed structural design.
- The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and schedule of construction removal.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to support the public areas occupied areas from work areas.
- During demolition and new work procedures, the entire work area shall be clear of all dust, dirt and other debris before application of any new materials and/or finishes.
- Each contractor is responsible to provide adequate and substantial protection to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and disposal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
- Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- If during the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all items with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
- Unless otherwise stated, patching and repair of areas to remain is within the scope of demolition, including required sanding and finishing (during the installation of new work) and the responsibility of the general building contractor. Patch all openings resulting from the removal of existing fire protection, plumbing, mechanical, and electrical work. Coordinate with additional work shown on the fire protection, plumbing, mechanical and electrical drawings.
- Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise stated, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (as required).
- Any trade performing core drilling or sawcutting operations shall notify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting beyond of work area.
- Protect existing utility service conductors and fire alarm devices from dust. Protect throughout duration of the project.
- Place, control and maintain enclosures for demolished partitions and ceiling which shall be removed, shall be re-installed and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and to be stored on site at a location designated by the owner.
- Any property or surface mounted items to be abandoned shall be removed and concealed.
- Steam trunks in the demolition package are existing and provided for dirty only. They do not apply to the new scope of work.
- Contractor responsible for moisture and mold detection and remediation throughout existing property. Existing damaged, deteriorating, water-infiltration and mold, ceiling, and all other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



CITY OF PHILADELPHIA APPROVAL STAMPS



1 Zone A Demolition Plan - Third Floor
AD188 3/16" = 1'-0"

TONER architects
 1901 S. 8th Street
 Room 425
 Philadelphia, PA 19148
 215-800-1988
 www.tonerarch.com

NOTES

Wall Legend

	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

**TierView Development
 Church Complex Adaptive
 Reuse**
 2030-50 Christian St
 Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

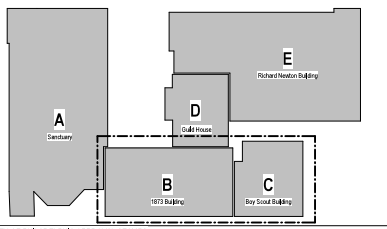
AD108



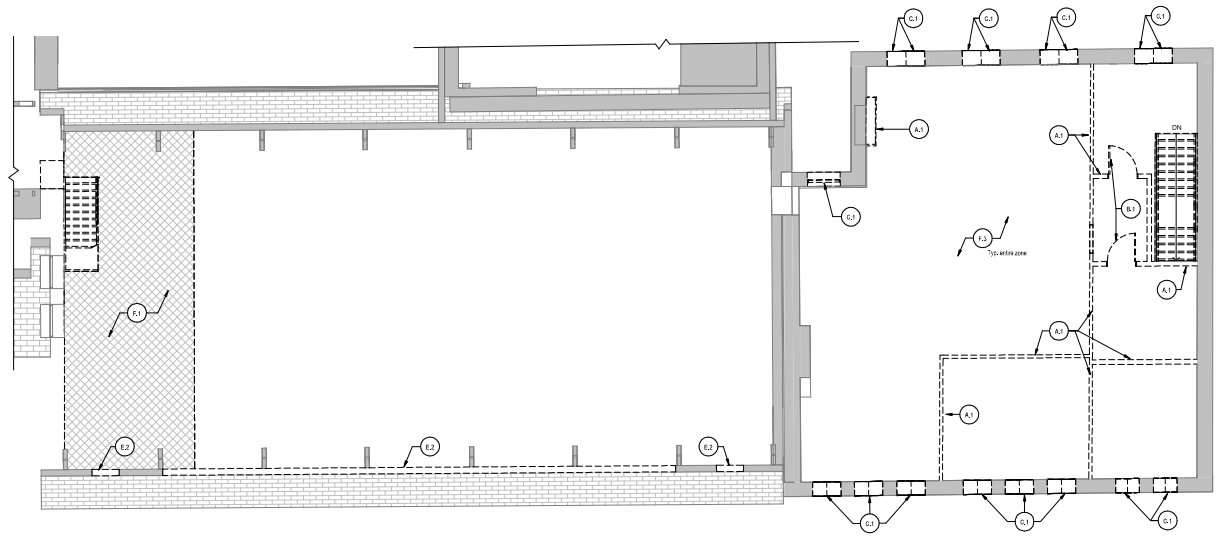
As indicated

Demolition Keynotes	
Keynotes T, U, V or other for deny.	
A1 Remove wall or portion of wall as indicated complete.	F1 Remove floor structure, complete.
A2 Remove wall to extent of new opening. Refer to window/door schedule for size.	F2 Remove portion of existing floor structure to extent of proposed opening, complete. See schedule for extent of proposed opening.
B1 Remove door, complete. Swing doors in existing order for potential re-installation in new locations.	F3 Remove flooring, throughout. Existing wall/door or glass to remain.
C1 Remove window, complete, GC to inspect and evaluate adjacent window and door unit to prevent water penetration.	F4 Remove slab, complete.
G1 Remove stairs, railing, and landing, complete.	G2 Remove climbing fixture, equipment, and/or egress, complete.
H1 Remove steel beam, complete. Existing beams and joists to remain.	H3 Remove utility equipment, complete.
I1 Remove roof, complete.	I2 Remove millwork, casework, and/or cabinets, complete. Swing for reinstallation in new locations.
J1 Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.	K1 Remove structural framing, complete. Coordinate structural demolition with proposed structural design, SSP.

- Demolition Notes**
- The order of the demolition notes is not intended to imply the order of the work.
 - The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
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 - Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work and coordinate any structural demolition with proposed structural design.
 - The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and address of construction material.
 - Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
 - Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to support the public areas occupied areas from each area.
 - During demolition and new work procedures, the entire work area shall be clean of all dust, dirt and other debris before installation of any new materials and/or finishes.
 - Each contractor is responsible to provide adequate and substantial precautions to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and disposal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
 - Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
 - During the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
 - Remove all items with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
 - Unless otherwise stated, patching and repair of areas to remain in service following demolition, including required sanding and finishing (during the installation of new work, shall be the responsibility of the general trade contractor. Patch all openings resulting from the removal of existing fire protection, plumbing, mechanical, and electrical work. Coordinate with additional work shown on the fire protection, plumbing, mechanical and electrical drawings.
 - Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise stated, patch floors to match adjacent existing surfaces.
 - Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (as required).
 - Any trade performing core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting layout of new work.
 - Place, contain and substitute enclosures in demolished partitions and ceiling which shall be removed, shall be re-installed and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
 - Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and collected prior to the beginning of work and are to be stored on site at a location designated by the owner. Any property or surface mounted items to be abandoned shall be removed and concealed.
 - Stream names in the demolition package are existing and provided for clarity only. They do not apply to the new scope of work.
 - Contractor responsible for restore and make relocation and remediation throughout existing property. Existing damaged, deteriorated, water infiltration and loose, deliques, and all other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



CITY OF PHILADELPHIA APPROVAL STAMPS:



1 Zone B/C Demolition Plan - Third Floor
3/16" = 1'-0"



TONER
architects

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Room 425
Philadelphia, PA 19148
215-800-1988
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NOTES

Wall Legend	
	Existing wall/Construction
	Demolished wall/Construction
	New wall/Construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

**TierView Development
Church Complex Adaptive
Reuse**

2030-50 Christian St
Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

AD109

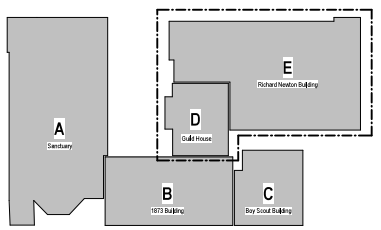
Scale: As indicated

Demolition Keynotes

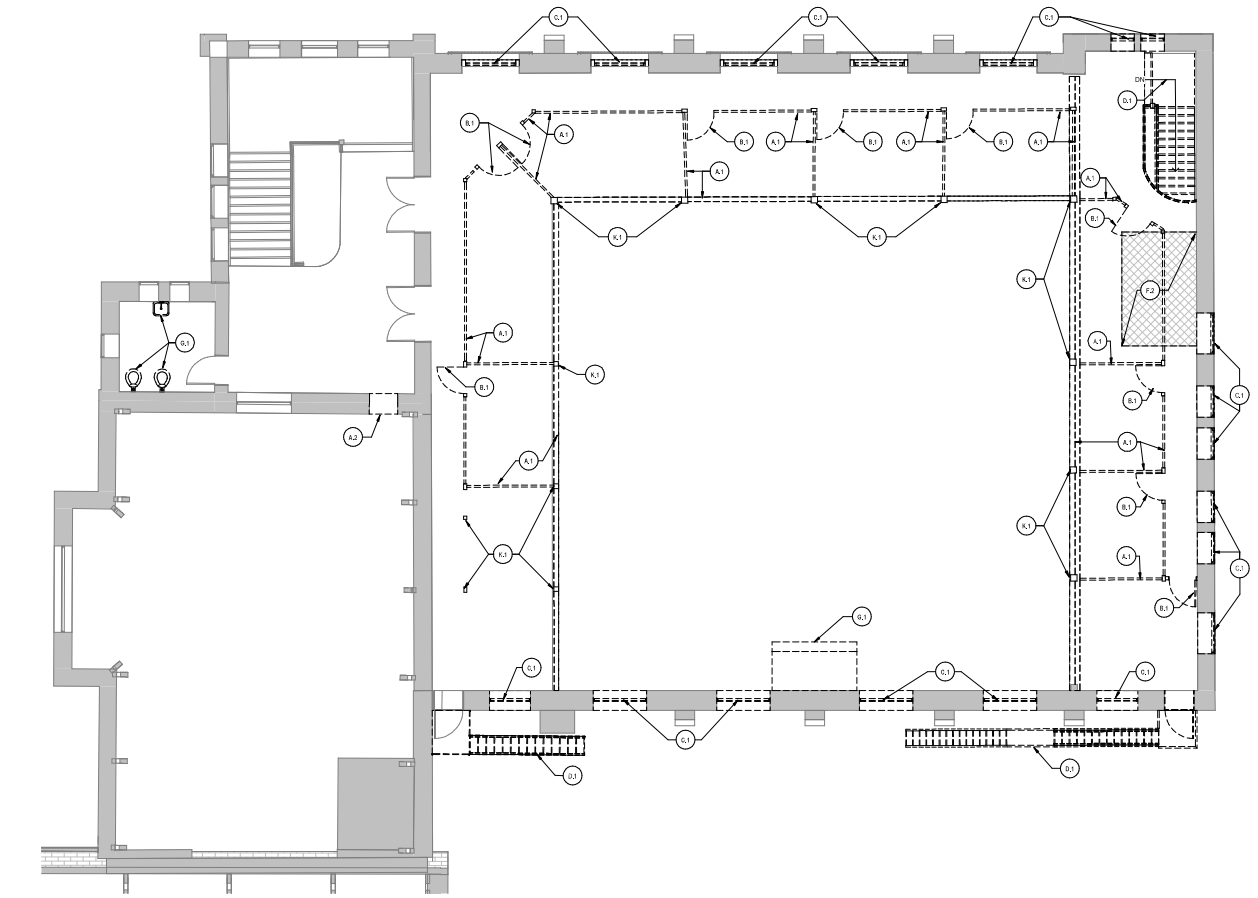
- Keynotes T, U, V contract to deny.
- A1 Remove wall or portion of wall as indicated complete.
 - A2 Remove wall to extent of new opening. Refer to window/door schedule for size.
 - B1 Remove door complete. Sinking doors in existing walls for potential installation in new positions.
 - C1 Remove windows complete, SC to inspect and evaluate adjacent windows and sills adjacent to prevent water penetration.
 - A3 Remove stairs, railing, and landing complete.
 - B2 Remove steel beam, complete. Existing beams and joists to remain.
 - E1 Remove roof complete.
 - E2 Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.
 - F1 Remove floor structure, complete.
 - F2 Remove portion of existing floor structure to extent of proposed opening, complete. See floor plan for extent of proposed opening.
 - F3 Remove flooring throughout. Existing wall/door or glass to remain.
 - F4 Remove slab, complete.
 - G1 Remove framing, fixtures, equipment, and/or ceiling, complete.
 - H1 Remove utility equipment, complete.
 - I1 Remove millwork, casework, and/or ceiling, complete. Subject to reinstallation in new locations.
 - K1 Remove structural framing complete. Coordinate structural demolition with proposed structural design, SSP.

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon available conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereafter as viewed at the site. Each contractor shall field verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work and coordinate any structural demolition with proposed structural design.
- The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and schedule of construction removal.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to support the public areas occupied areas from each access.
- During demolition and new work procedures, the entire work area shall be clean of all dust, dirt and other debris before installation of any new materials and/or finishes.
- Each contractor is responsible to provide adequate steel structural bracing to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and removal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
- Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- If during the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all items with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
- Unless otherwise indicated, patching and repair of areas to remain in service following demolition, including required sanding and finishing following the installation of new work, shall be the responsibility of the general contractor. Patch all openings resulting from the removal of existing fire protection, plumbing, mechanical, and electrical work. Coordinate with additional work shown on the fire protection, plumbing, mechanical and electrical drawings.
- Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise indicated, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (as required).
- Any trade performing core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting layout of new work.
- Protect existing water, sewer, ductwork and other items shown on drawings from dust. Protect throughout duration of the project.
- Flues, conduits and ductwork encountered in demolished partitions and ceiling shall be removed, sealed or re-routed and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and to be stored on site at a location designated by the owner.
- Any property or surface-mounted items to be abandoned shall be removed and concealed.
- Stream names in the demolition package are existing and provided for clarity only. They do not apply to the new scope of work.
- Contractor responsible for restore and make relocation and reinstallation throughout existing property. Existing damaged, deteriorating, unsafe, hazardous and loose, ceiling, and all other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



CITY OF PHILADELPHIA APPROVAL STAMPS



1 Zone D/E Demolition Plan - Third Floor
3/8" = 1'-0"

TONER
architects

1901 S. 5th Street
Room 425
Philadelphia, PA 19148
215-500-1988
www.tonerarch.com

NOTES

Wall Legend

	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

**TierView Development
Church Complex Adaptive
Reuse**

2030-50 Christian St
Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP
AD110	
Scale	As indicated

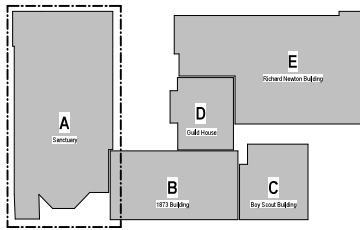


Demolition Keynotes

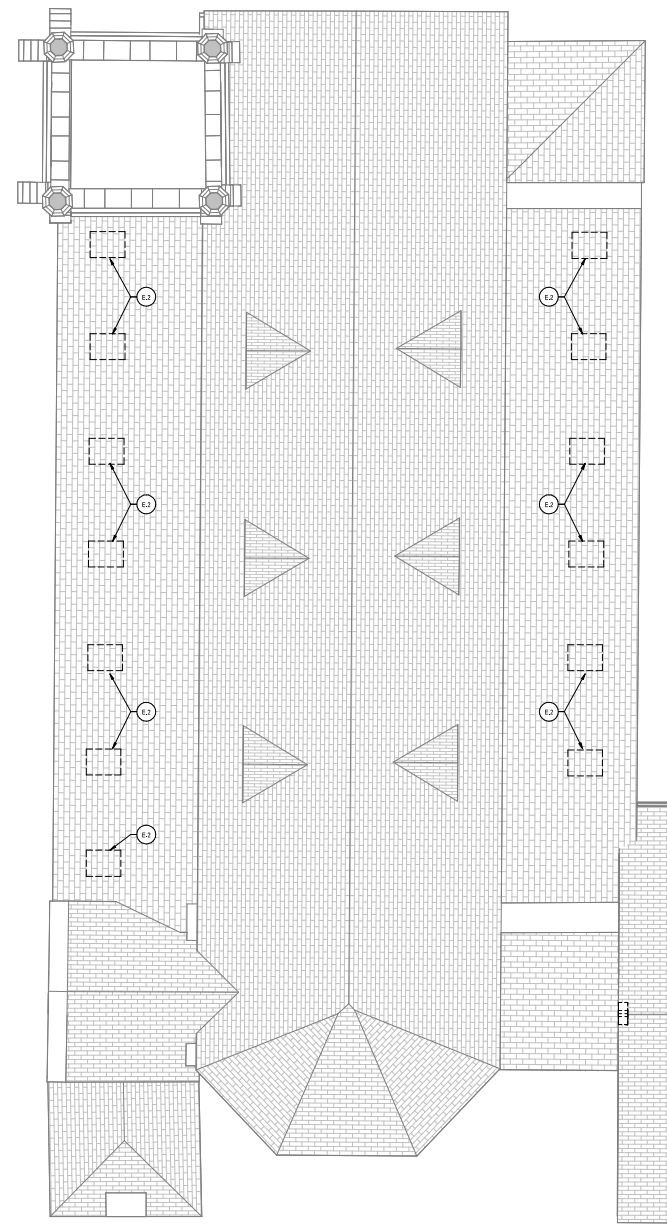
- Keynotes T, U, V construct to deny.
- A1 Remove walls or portion of wall as indicated complete.
 - A2 Remove wall to extent of new opening. Refer to window/door schedule for size.
 - B1 Remove door complete. Take-up doors in existing order for potential re-installation in new location.
 - C1 Remove windows complete, GC to inspect and evaluate adjacent windows and design window to prevent water penetration.
 - C2 Remove stairs, railing, and landing complete.
 - D1 Remove steel beam, complete. Existing bracing members to remain.
 - E1 Remove roof complete.
 - E2 Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.
 - F1 Remove floor structure, complete.
 - F2 Remove portion of existing floor structure to extent of proposed opening, complete. See floor plan for extent of proposed opening.
 - F3 Remove flooring throughout. Existing subfloor or slab to remain.
 - F4 Remove slab, complete.
 - G1 Remove framing, fixtures, equipment, and/or accessories, complete.
 - H1 Remove utility equipment, complete.
 - I1 Remove millwork, casework, and/or cabinets, complete. Schedule for reinstallation in new locations.
 - K1 Remove structural framing complete. Coordinate structural demolition with proposed structural design, SSP.

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon available conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereafter as a result of the site. Each contractor shall verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work and coordinate any structural demolition with proposed structural design.
- The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and schedule of construction removal.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to separate the public areas occupied areas from work areas.
- During demolition and new work procedures, the entire work area shall be clear of dust, dirt and other debris before application of any new materials and/or finishes.
- Each contractor is responsible to provide adequate and substantial protection to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and disposal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
- Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- During the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all items with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
- Unless otherwise stated, patching and repair of areas to remain is subject to existing demolition, including required sanding and finishing (finishing the installation of new work, shall be the responsibility of the general building contractor. Patch all openings resulting from the removal of existing fire protection, plumbing, mechanical, and electrical work. Coordinate with additional work shown on the fire protection, plumbing, mechanical and electrical drawings.
- Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise stated, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (as necessary).
- Any trade performing core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting layout of new work.
- Protect existing other service conductors and fire alarm devices from dust. Protect throughout duration of the project.
- Place, contain and securely enclose all demolished partitions and ceiling which need to remain until the re-installed and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and/or architect prior to the beginning of work and are to be stored on site at a location designated by the owner. Any property or surface-mounted items to be abandoned shall be removed and concealed.
- Stream names in the demolition package are existing and provided for clarity only. They do not apply to the new scope of work.
- Contractor responsible for restore and make protection and remediation throughout existing property. Existing damaged, deteriorated, water-infiltrated and/or mold, ceiling, and/or other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



CITY OF PHILADELPHIA APPROVAL STAMPS



1 Zone A Demolition Plan - Roof
AD1117 SHP - 1 of 7

TONER architects
 1901 S. 8th Street
 Room 425
 Philadelphia, PA 19148
 215-800-1988
 www.tonerarch.com

NOTES

Wall Legend

	Existing wall/Construction
	Demolished wall/Construction
	New wall/Construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
ISS	

**TierView Development
 Church Complex Adaptive
 Reuse**
 2030-50 Chestnut St
 Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

AD111

Scale: As indicated



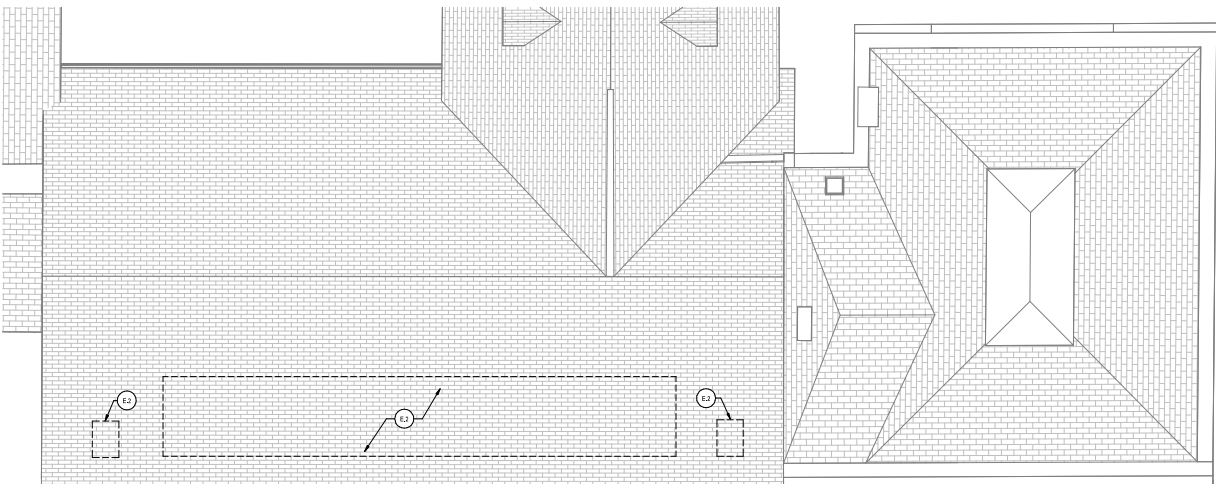
Demolition Keynotes

Keynotes T, U, V construct to deny.

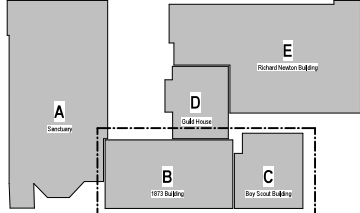
- A1 Remove walls or portion of wall as indicated complete.
- A2 Remove wall to extent of new opening. Refer to window/door schedule for size.
- B1 Remove door complete. Sinking doors in existing order for potential re-installation in new location.
- C1 Remove window complete, SC to inspect and evaluate adjacent window and door window to prevent water penetration.
- G1 Remove stairs, railing and landing complete.
- G2 Remove stair finish, complete. Existing beams and joists to remain.
- E1 Remove roof complete.
- E2 Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.
- F1 Remove floor structure, complete.
- F2 Remove portion of existing floor structure to extent of proposed opening, complete. See floor plan for extent of proposed opening.
- F3 Remove flooring throughout. Existing subfloor or joists to remain.
- F4 Remove slab, complete.
- G3 Remove framing, fixtures, equipment, and/or eave/ceiling, complete.
- H1 Remove utility equipment, complete.
- I1 Remove millwork, casework, and/or cabinetry, complete. Sinking for reinstallation in new locations.
- K1 Remove structural framing complete. Coordinate structural demolition with proposed structural design, SSP.

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon visible conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereafter as viewed at the site. Each contractor shall field verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work and coordinate any structural demolition with proposed structural design.
- The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and schedule of construction removal.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to support the public areas occupied areas from work areas.
- During demolition and new work procedures, the entire work area shall be clear of all dust, dirt and other debris before application of any new materials and/or finishes.
- Each contractor is responsible to provide adequate and substantial protection to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during delivery of equipment and disposal of materials. All damaged surfaces shall be restored to their original condition. No materials are permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
- Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- If during the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all items with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
- Unless otherwise stated, patching and repair of areas to remain in service following demolition, including required sanding and finishing following the installation of new work, shall be the responsibility of the general trades contractor. Patch all openings resulting from the removal of existing fire protection, plumbing, mechanical, and electrical work. Coordinate with additional work shown on the project including, mechanical and electrical drawings.
- Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise stated, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (as required).
- Any trade performing core drilling or sawcutting operations shall notify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any structure affecting beyond of work area.
- Protect existing other area structures and trim items located from dust. Protect throughout duration of the project.
- Plans, conditions and distances encountered in demolished partitions and ceiling which are to remain shall be re-created and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and collected prior to the beginning of work and are to be stored on site at a location designated by the owner. Any property or surface material items to be abandoned shall be removed and concealed.
- Steam trappers in the demolition package are existing and provided for dirty work. They do not apply to the new work of work.
- Contractor responsible for repairs and make all repairs and remediation throughout existing property. Existing damaged, deteriorated, water-infiltrated walls, doors, ceiling, and all other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



1 Zone B/D Demolition Plan - Roof
1/2" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS:

TONER architects

1901 S. 8th Street
Room 425
Philadelphia, PA 19148
215-800-1988
www.tonerarch.com

NOTES

Wall Legend

- Existing wall/Construction
- Demolished wall/Construction
- New wall/Construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive Reuse
2030-50 Christian St
Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP
AD112	
Scale	As indicated



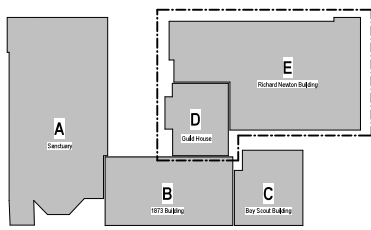
Demolition Keynotes

Keynotes T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ

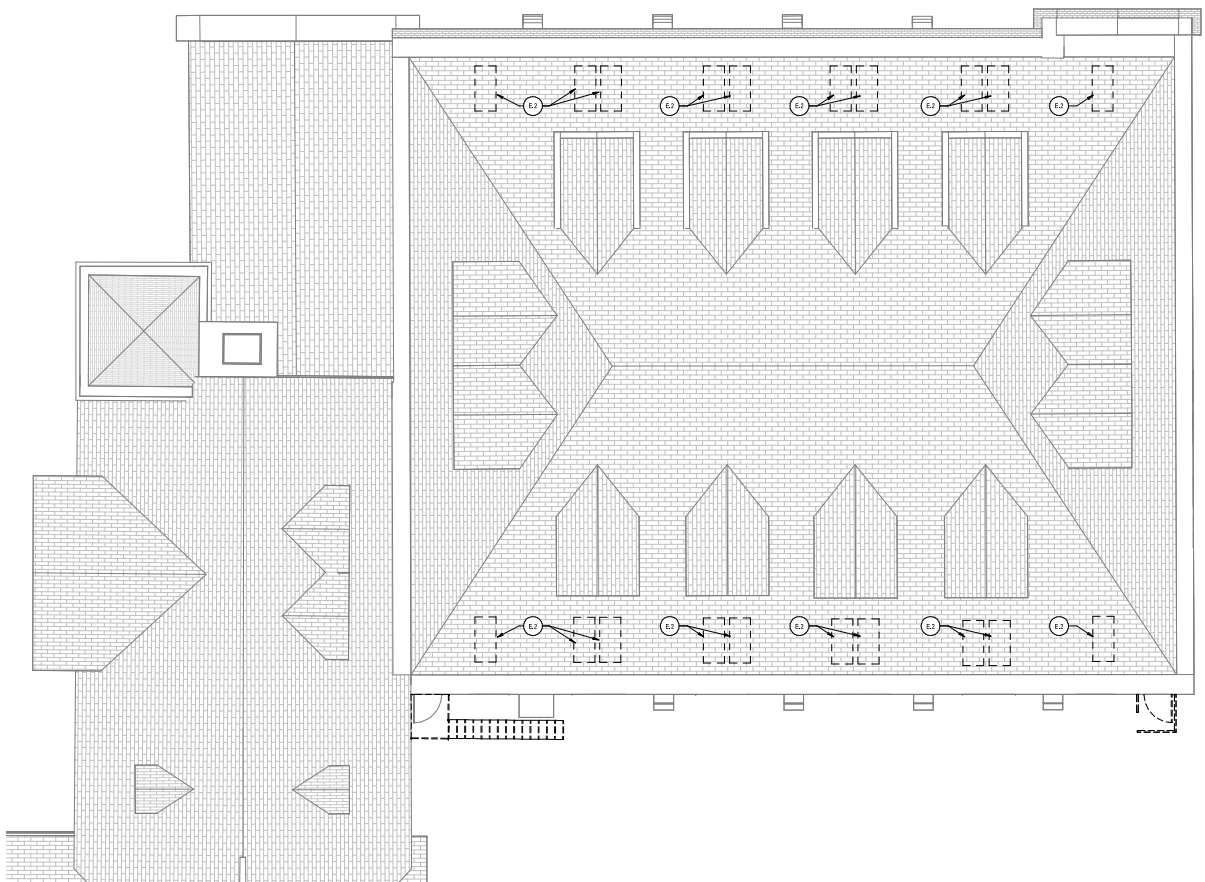
- AL Remove wall or portion of wall as indicated complete.
- AL2 Remove wall to extent of new opening. Refer to window/door schedule for size.
- EL Remove door complete. Take-up doors in existing order for potential re-installation in new location.
- CL1 Remove window complete, O/C to inspect and evaluate adjacent window and door adjacent to prevent water penetration.
- AL1 Remove stairs, railing, and landing complete.
- EL2 Remove stair finish, complete. Existing beams and joists to remain.
- EL1 Remove roof, complete.
- EL3 Remove portion of roof to extent of proposed opening. Refer to roof plan for extent of proposed opening.
- FL1 Remove floor structure, complete.
- FL2 Remove portion of existing floor structure to extent of proposed opening, complete. See floor plan for extent of proposed opening.
- FL3 Remove flooring, throughout. Existing subfloor or joists to remain.
- FL4 Remove slab, complete.
- GL1 Remove framing, fixtures, equipment, and/or eave/ceiling, complete.
- GL2 Remove utility equipment, complete.
- GL3 Remove millwork, casework, and/or cabinets, complete. Subject to reinstallation in new locations.
- GL4 Remove structural framing, complete. Coordinate structural demolition with proposed structural design, SSD.

Demolition Notes

- The order of the demolition notes is not intended to imply the order of the work.
- The extent of the demolition is generally described. The contractor is responsible for all of the demolition work required to accommodate the installation of the proposed work.
- These documents have been prepared based upon visible conditions available for inspection. Certain areas and portions of the work may vary from the conditions indicated hereafter when excavated at the site. Each contractor shall field verify all existing conditions and promptly notify the Architect of any discrepancies between these documents and the existing conditions.
- Verify all existing dimensions and conditions prior to initiating work. Coordinate limits of demo work with requirements of new work and coordinate any structural demolition with proposed structural design.
- The contractor shall coordinate with the owner to develop acceptable trade requirements of all construction debris and egress of construction material.
- Provide shoring, bracing or support to prevent movement, settlement or collapse of areas to remain during and subsequent to demolition.
- Erect temporary dust partition or temporarily retain existing partitions as required and provide ventilation equipment to prevent the migration of dust and debris and to separate the public areas occupied areas from work areas.
- During demolition and new work procedures, the entire work area shall be clear of all dust, dirt and debris before installation of any new materials and/or finishes.
- Each contractor is responsible to provide adequate work methods/procedures to protect the building and finished surfaces scheduled to remain, both interior and exterior, from damage during egress of equipment and disposal of materials. All damaged surfaces shall be restored to their original condition. No materials shall be permitted to occupy any existing street or walk unless approved by owner and the authorities having jurisdiction.
- Each contractor shall locate, identify and protect all site utility distribution services as required prior to commencing the work and shall notify all contractors of the same. Each contractor shall protect all utility distribution services exposed during progress of the work.
- If during the course of demolition, unstable conditions are encountered, immediately stop work and notify the Architect of such conditions.
- Remove all items with care and for possible salvage. The owner maintains first right of refusal for all items scheduled to be removed. Protect and properly store all items called out to be reinstalled for new work.
- Unless otherwise noted, patching and repair of areas to remain in service following demolition, including required painting and touch-up following the installation of new work, shall be the responsibility of the general contractor. Patch all openings resulting from the removal of existing partitions, slabs, mechanical, and electrical work. Coordinate with additional work shown on the fire protection, fire alarm, mechanical and electrical drawings.
- Patch and repair all existing floor systems as required and at all locations of demolished walls, partitions, fixtures, equipment, flooring and/or mechanical/electrical. Prepare all existing floors to receive new floor finishes. Unless otherwise noted, patch floors to match adjacent existing surfaces.
- Patch all walls and floors necessary to accept new finishes or to match existing adjacent finishes (if necessary).
- Any trade performing core drilling or sawcutting operations shall verify location of existing floor structure prior to commencing drilling or cutting work and shall promptly notify Architect of any obstruction affecting layout of new work.
- Protect existing cast-in-place concrete and form slabs from dust. Protect throughout duration of the project.
- Flues, conduits and ductwork encountered in demolished partitions and ceiling shall be removed, shall be re-installed and concealed. Those which are abandoned shall be capped and concealed in floor, walls or ceiling.
- Salvage materials to be removed the demolition contractor and turned over to the owner shall be identified by the owner and submitted prior to the beginning of work and to be stored on site at a location designated by the owner.
- Any property or surface mounted items to be abandoned shall be removed and concealed.
- Items names in the demolition package are existing and provided for clarity only. They do not apply to the new scope of work.
- Contractor responsible for existing and new demolition and remediation throughout existing property. Existing damaged, deteriorated, water-infiltrated walls, floors, ceiling, and all other existing materials to be removed throughout as required. Inform architect immediately if additional demolition beyond scope of work shown in demolition plans is required.



CITY OF PHILADELPHIA APPROVAL STAMPS



1 Zone B/E Demolition Plan - Roof
3/16" = 1'-0"

TONER architects
 1901 S. 8th Street
 Room 425
 Philadelphia, PA 19148
 215-500-1988
 www.tonerarch.com

NOTES

Wall Legend

	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

**TierView Development
Church Complex Adaptive Reuse**
 2030-50 Christian St
 Philadelphia, PA 19148

DEMOLITION PLANS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP
AD113	
Scale	As indicated



NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive Reuse
2030-50 Chestnut St
Philadelphia, PA 19146

FLOOR PLANS

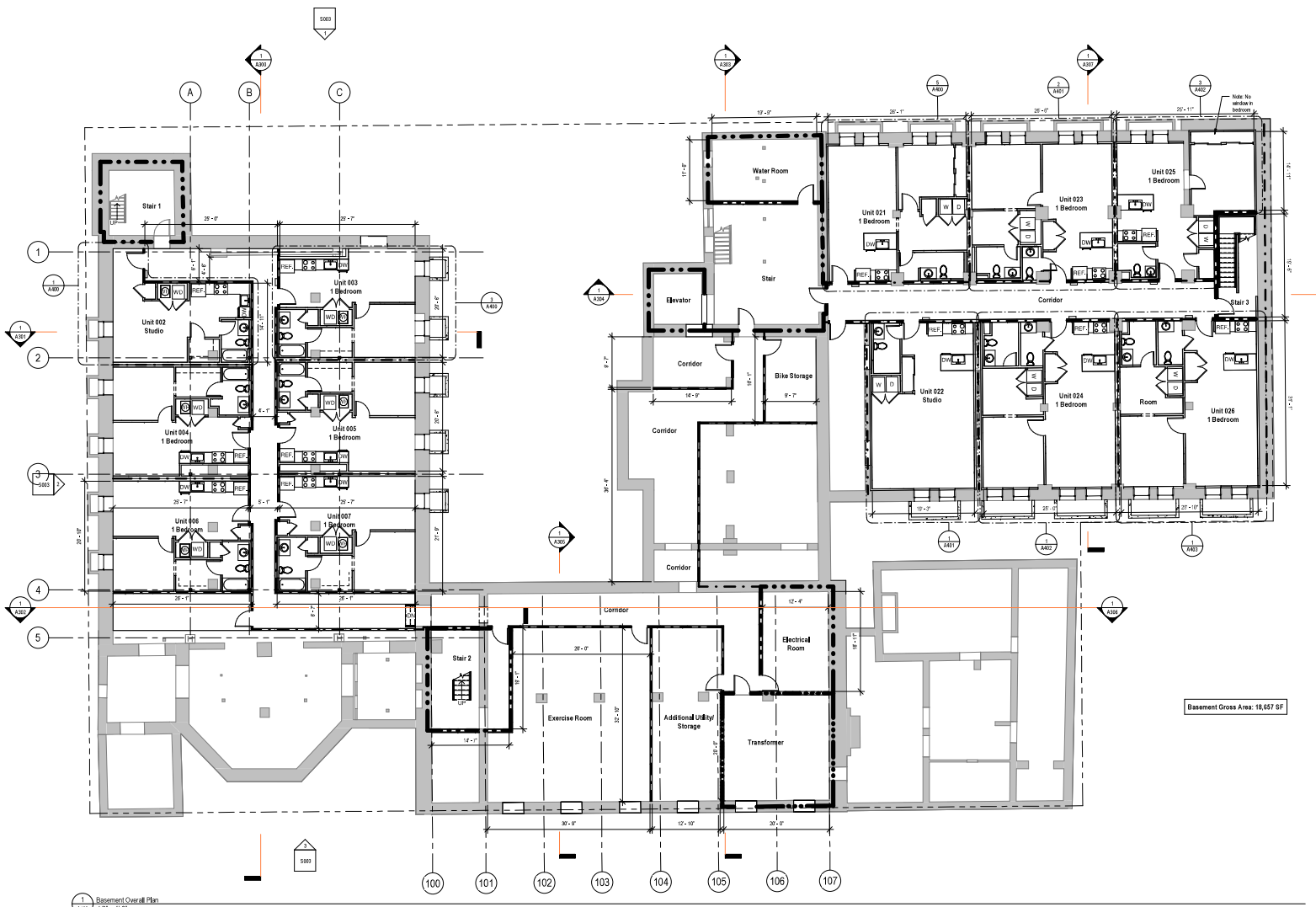
Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A100

Scale: As indicated



Project North True North



1 Basement Overall Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR
CONSTRUCTION

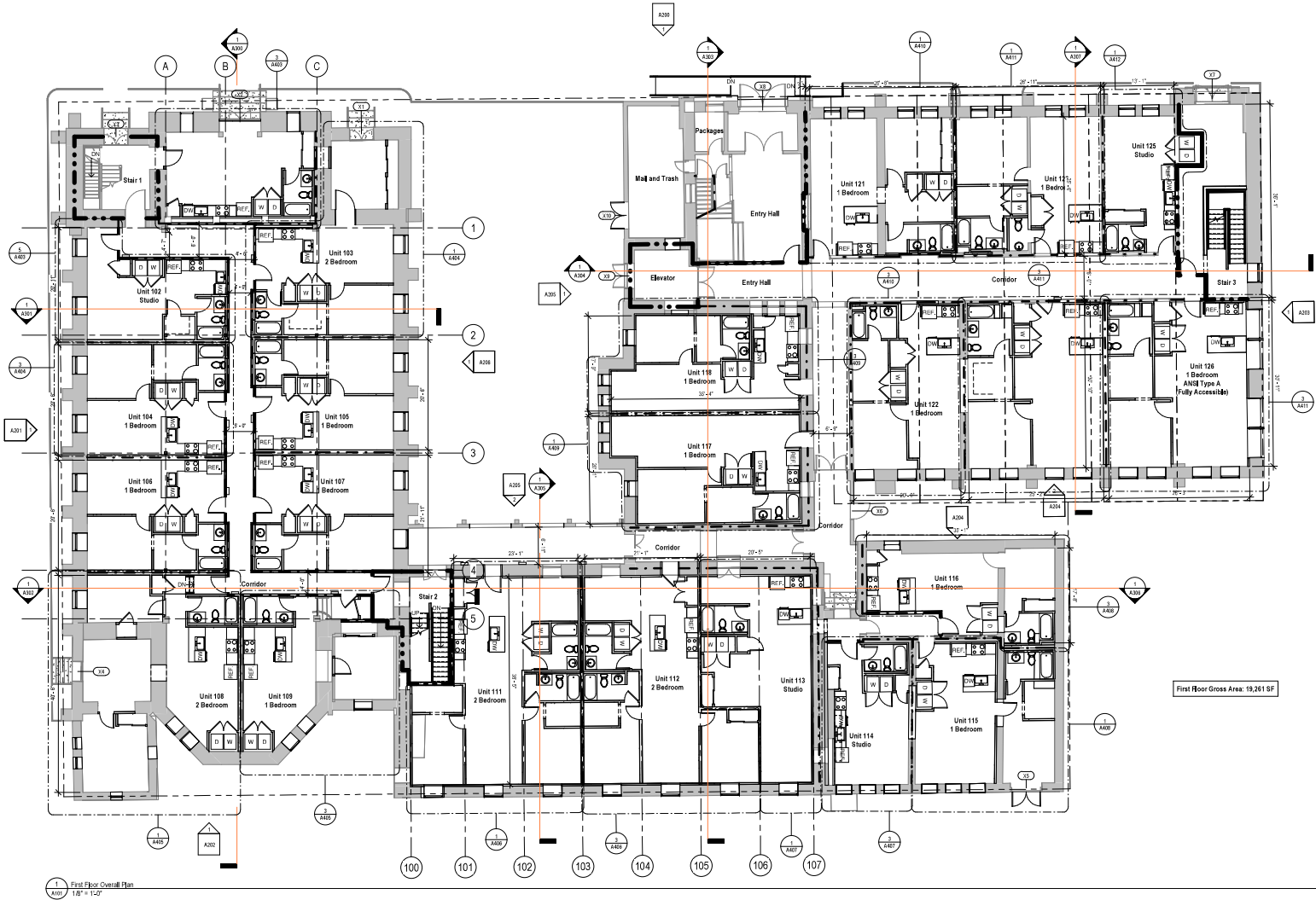
DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive
Reuse

2030-50 Christian St
Philadelphia, PA 19148

FLOOR PLANS

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP
A101
Title As indicated



1 First Floor Overall Plan
1/8" = 1'-0"

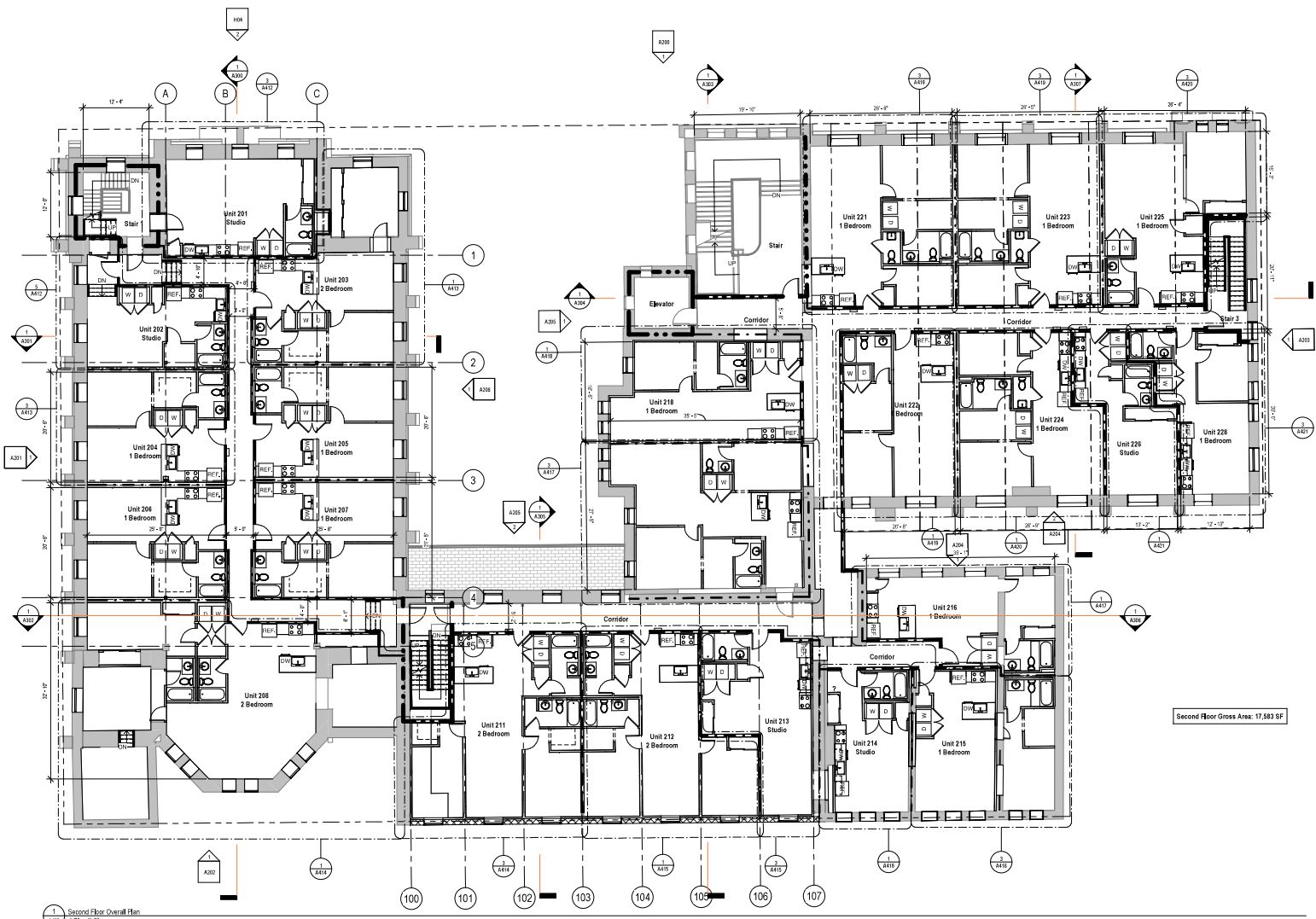
CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Wall Legend	
	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION



1 Second Floor Overall Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



Project North True North

TierView Development
Church Complex Adaptive Reuse

2030-50 Chestnut St
Philadelphia, PA 19148

FLOOR PLANS

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A102

Scale: As indicated

NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



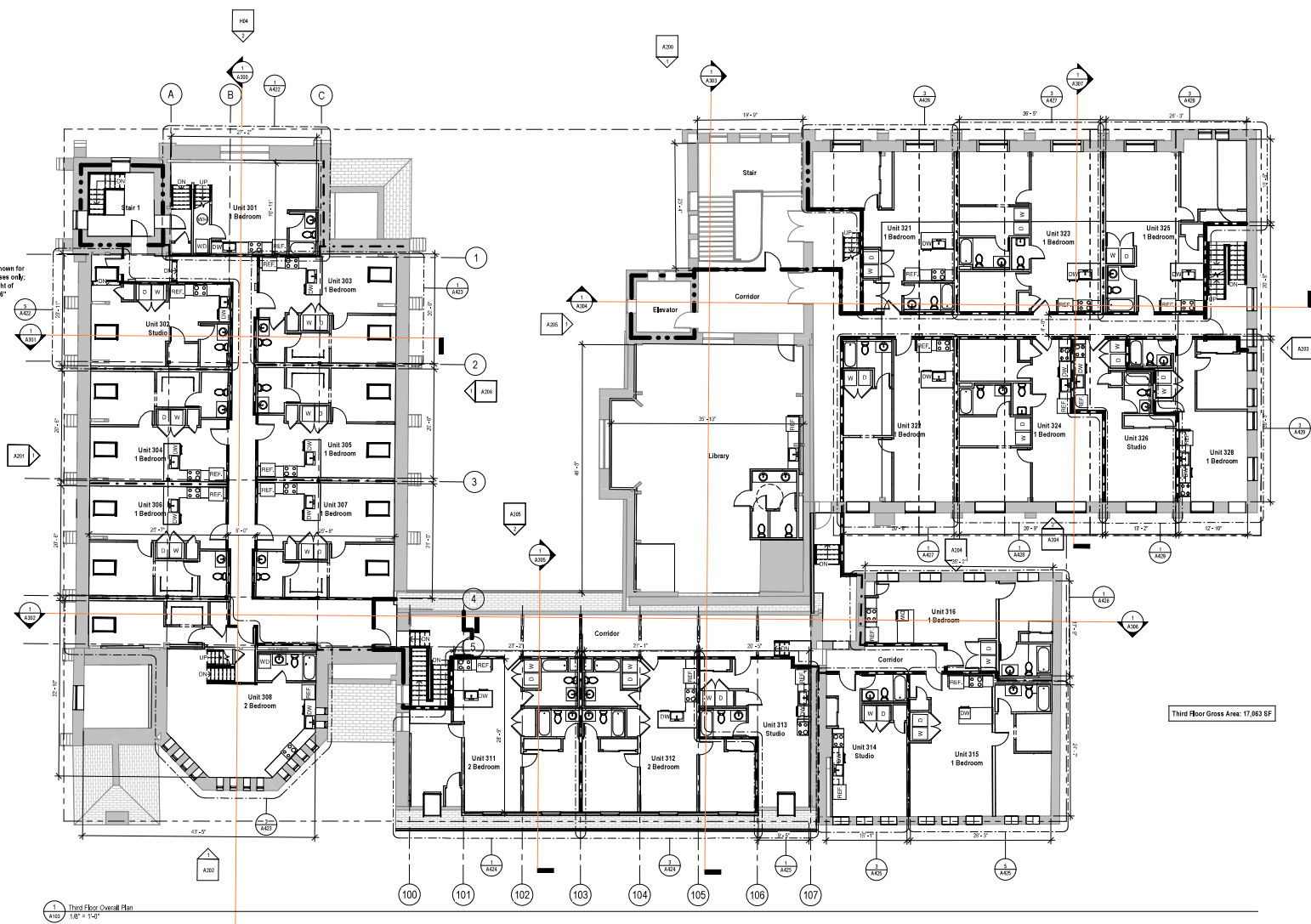
NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive
Reuse
2030-50 Chestnut St
Philadelphia, PA 19146

FLOOR PLANS

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP
A103
Title As indicated



Third Floor Gross Area: 17,863 SF

1 Third Floor Overall Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive
Reuse

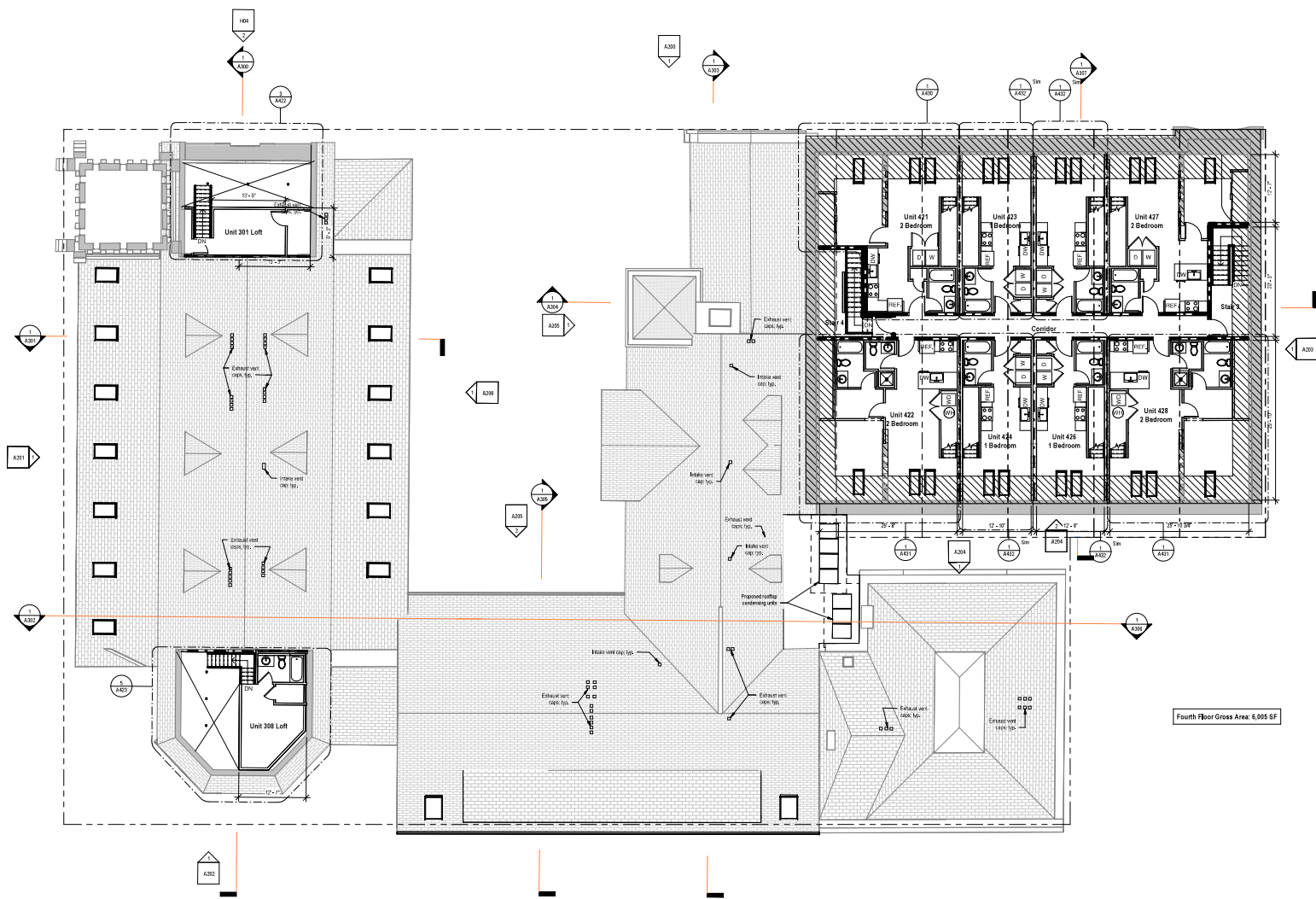
2030-50 Christian St
Philadelphia, PA 19148

FLOOR PLANS

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A104

Scale: As indicated



1 Fourth Floor Overall Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



8/8 am not
in all
the drawing
was not
printed to
scale

**NOT FOR
CONSTRUCTION**

DATE	
DESCRIPTION	
NO.	

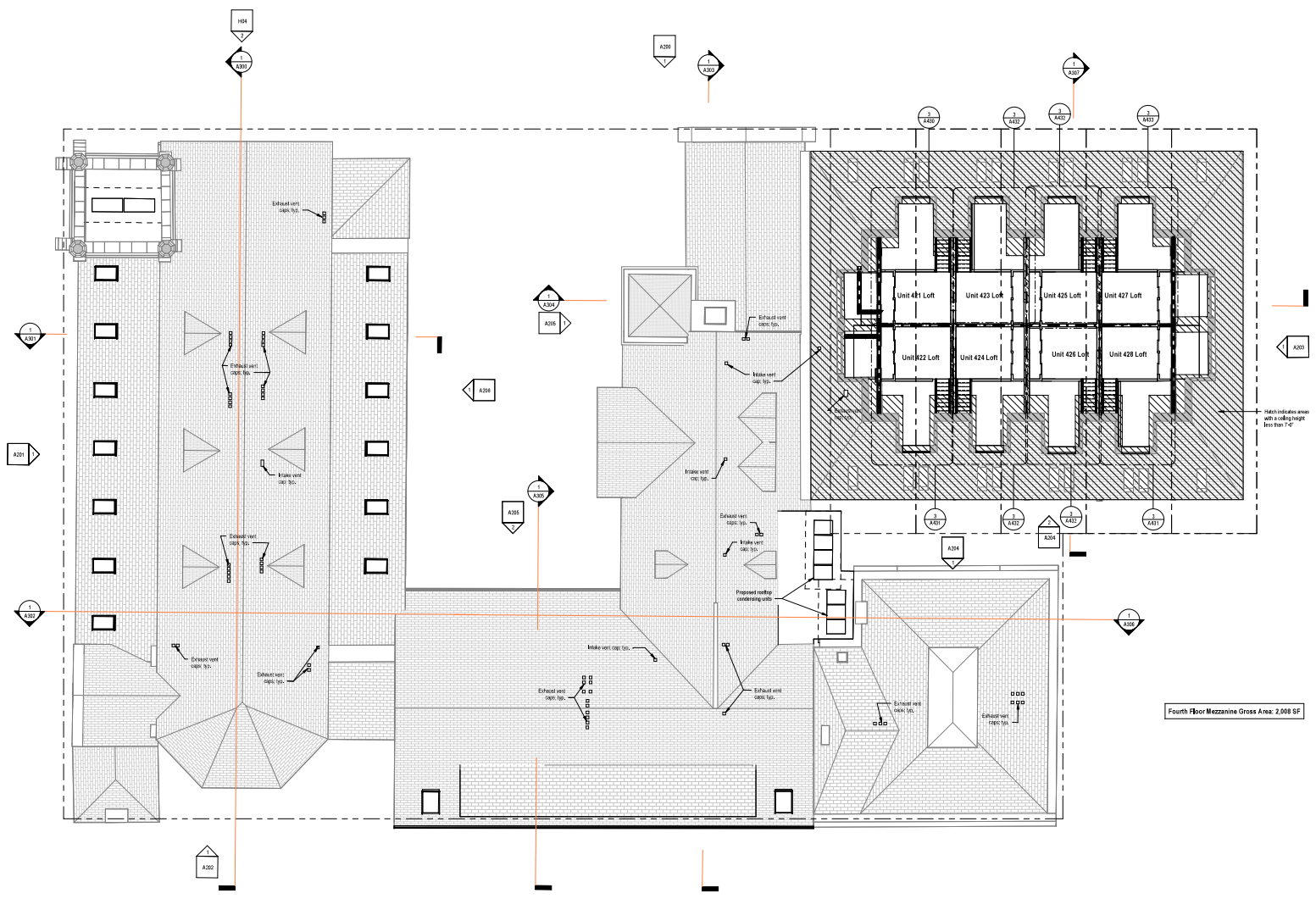
TierView Development
Church Complex Adaptive
Reuse
2030-50 Christian St
Philadelphia, PA 19148

FLOOR PLANS

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A105

Scale: As indicated



LEVEL 4 - RICHARD NEWTON MEMORIAL BUILDING Copy 1 Copy 3
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



Project North True North

NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive
Reuse

2030-50 Christian St
Philadelphia, PA 19146

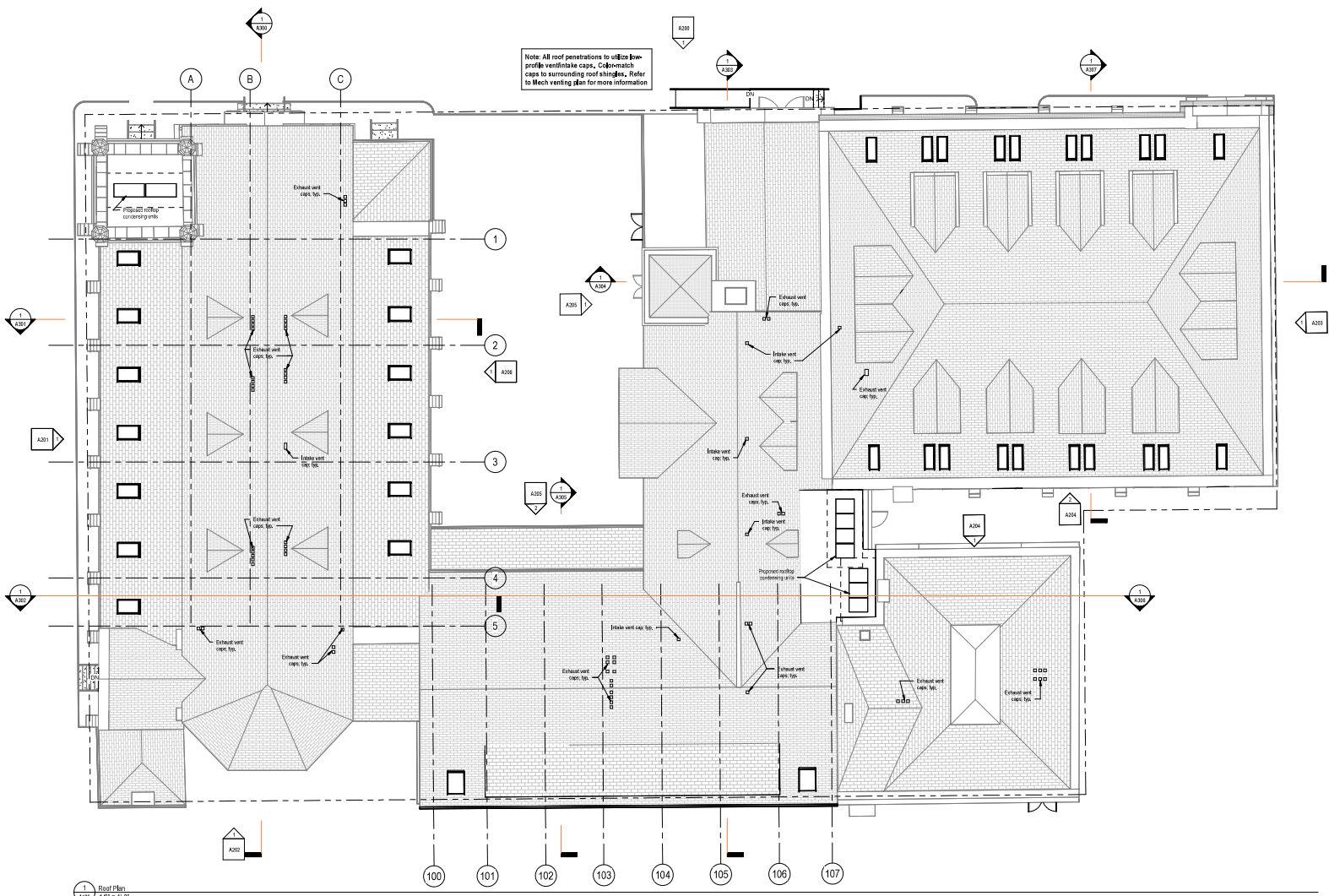
ROOF PLAN

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A106

Scale: As indicated

Note: All roof penetrations to utilize low-profile ventilator caps. Color-match caps to surrounding roof finishes. Refer to Mech venting plan for more information



1 Roof Plan
Date 1/23/24

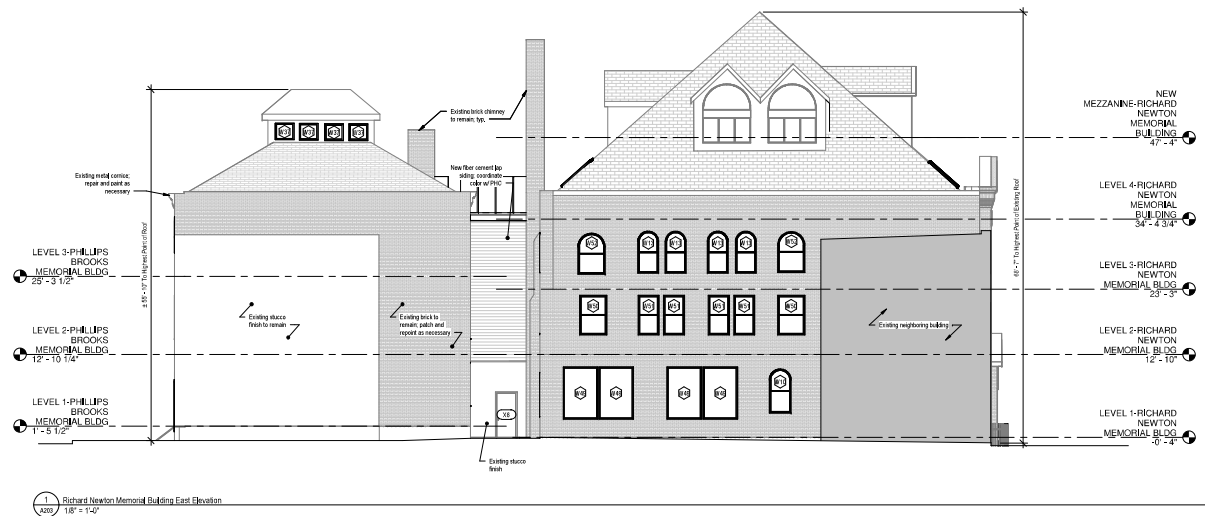
CITY OF PHILADELPHIA APPROVAL STAMPS



NOTES



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1 Richard Newton Memorial Building East Elevation
A200 1/8" = 1'-4"

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DATE	
DESCRIPTION	
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TierView Development
Church Complex Adaptive Reuse
2030-50 Christian St
Philadelphia, PA 19148

ELEVATIONS

Project number 23010
Date 10 May 2024
Drawn by SK
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A203

Note: All unglazed windows and doors shall be existing to remain, unless otherwise noted.

Scale 1/8" = 1'-4"

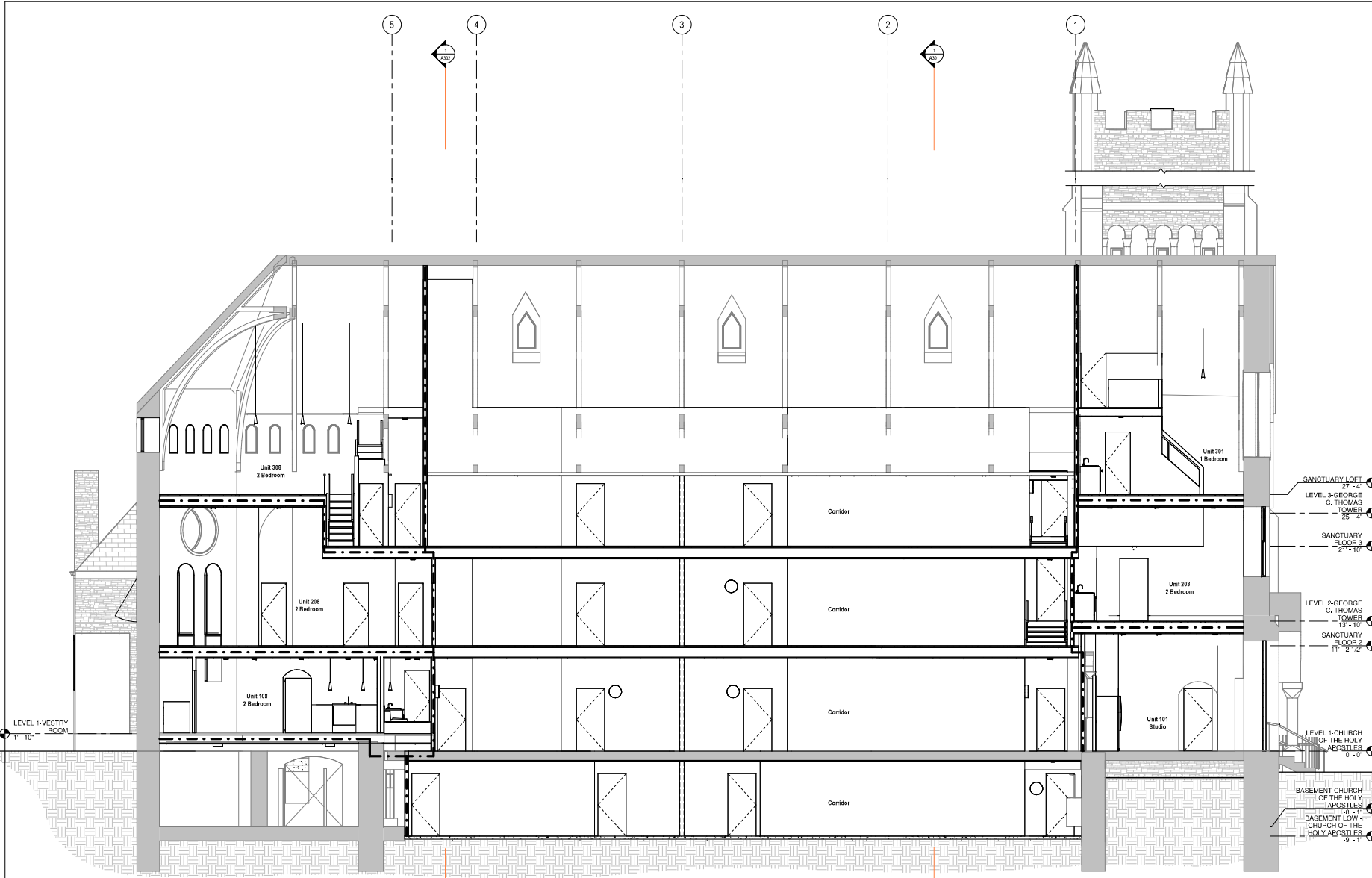
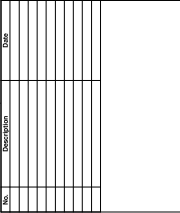
NOTES

Wall Legend

	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION



Longitudinal Section Through Sanctuary
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

TierView Development
Church Complex Adaptive Reuse

2030-50 Chestnut St
Philadelphia, PA 19146

SECTIONS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

A300

Scale: 1/8" = 1'-0"

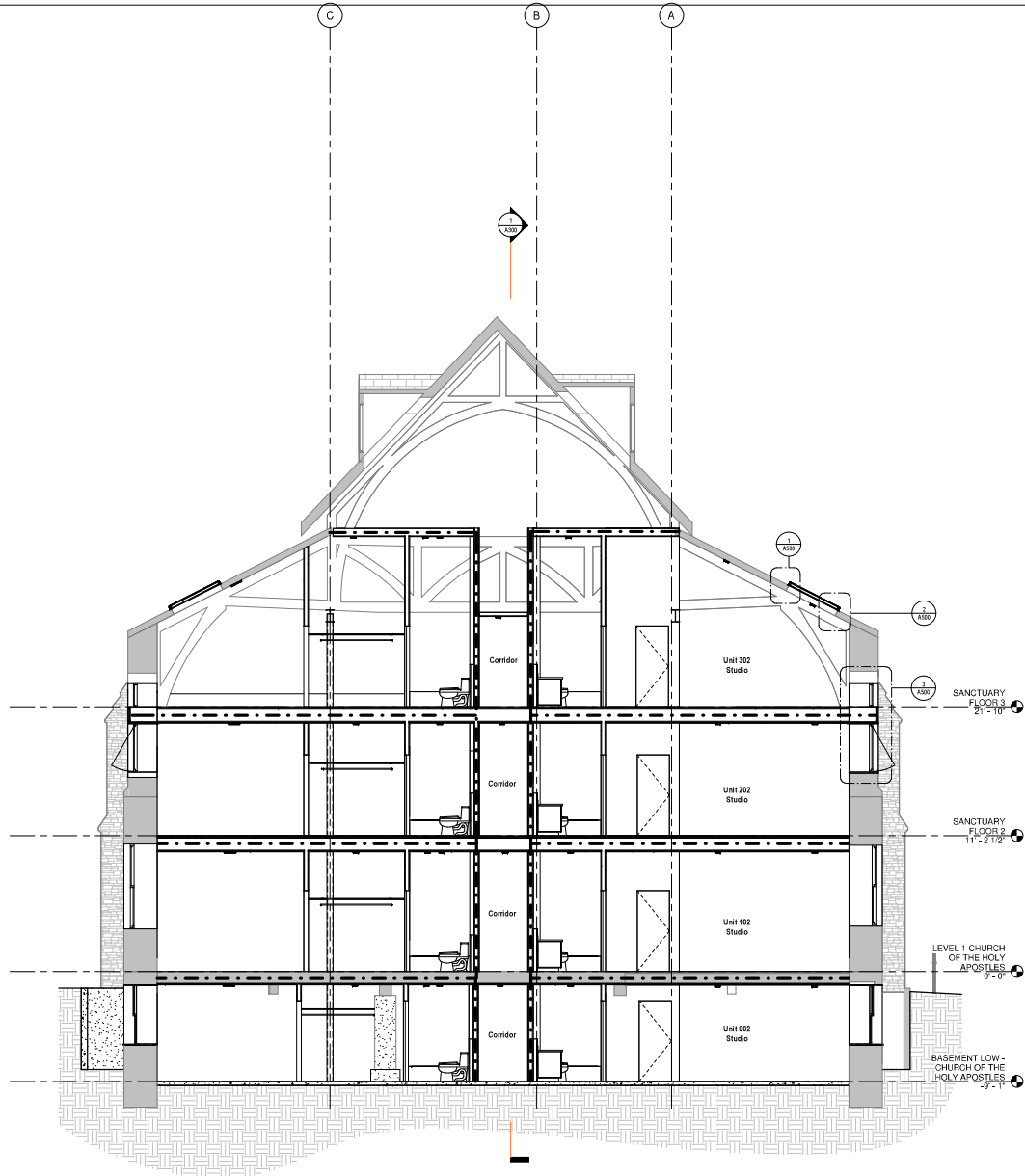
NOTES

Wall Legend

	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR
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1 Cross Section Through Sanctuary 1
1/8" = 1'-0"

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TierView Development
Church Complex Adaptive
Reuse

2030-50 Chestnut St
Philadelphia, PA 19148

SECTIONS

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A301

Scale 1/8" = 1'-0"

NOTES

Wall Legend

	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive
Reuse

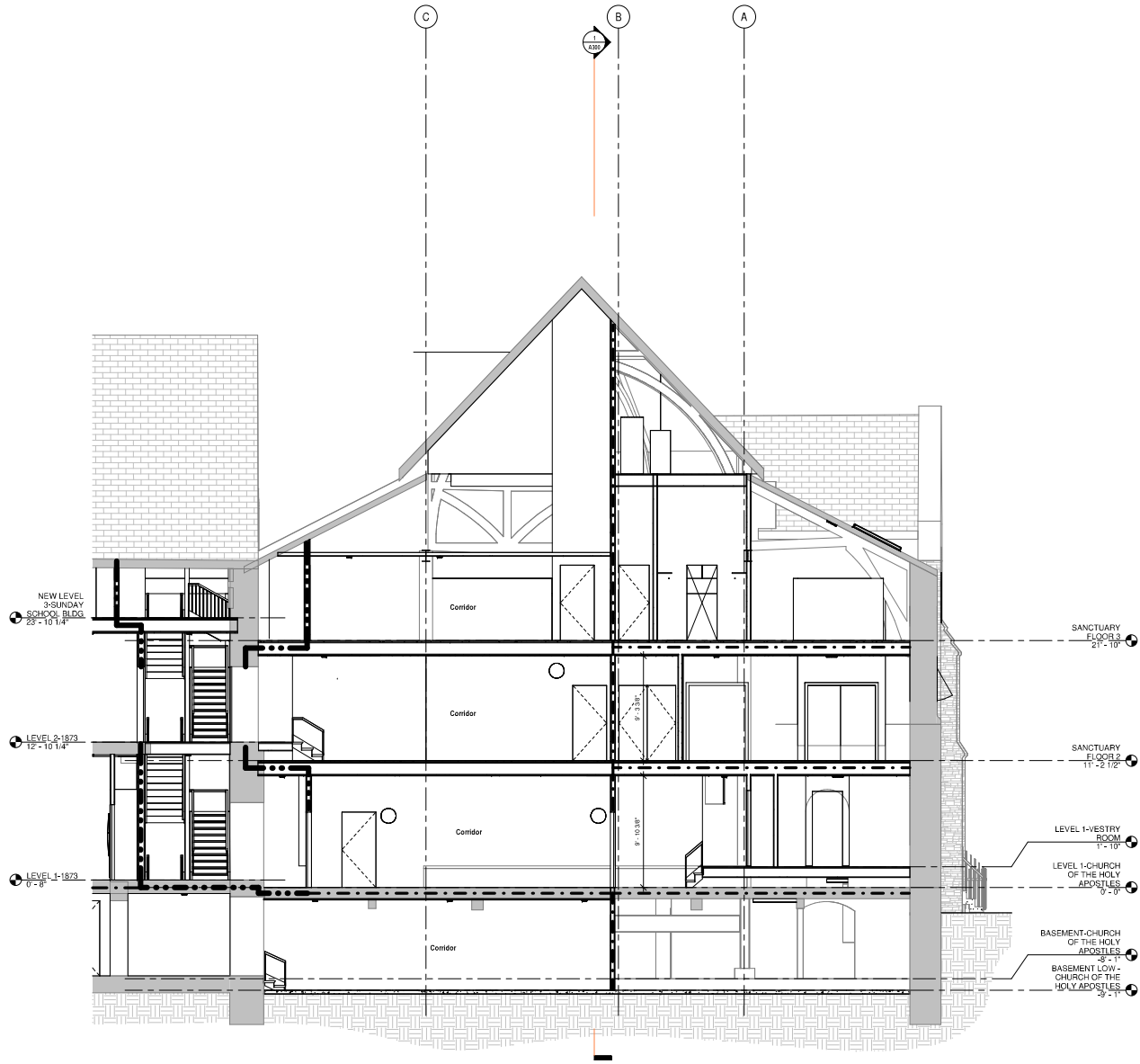
2030-50 Christian St
Philadelphia, PA 19148

SECTIONS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

A302

Scale: 1/8" = 1'-0"



1 Cross Section Through Sanctuary 2
A302 1/4" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR
CONSTRUCTION

1/8"	1/4"	3/8"	1/2"	5/8"	3/4"	1"	1 1/4"	1 1/2"	1 3/4"	2"	2 1/4"	2 1/2"	2 3/4"	3"	3 1/4"	3 1/2"	3 3/4"	4"	4 1/4"	4 1/2"	4 3/4"	5"	5 1/4"	5 1/2"	5 3/4"	6"	6 1/4"	6 1/2"	6 3/4"	7"	7 1/4"	7 1/2"	7 3/4"	8"	8 1/4"	8 1/2"	8 3/4"	9"	9 1/4"	9 1/2"	9 3/4"	10"
------	------	------	------	------	------	----	--------	--------	--------	----	--------	--------	--------	----	--------	--------	--------	----	--------	--------	--------	----	--------	--------	--------	----	--------	--------	--------	----	--------	--------	--------	----	--------	--------	--------	----	--------	--------	--------	-----

TierView Development
Church Complex Adaptive
Reuse

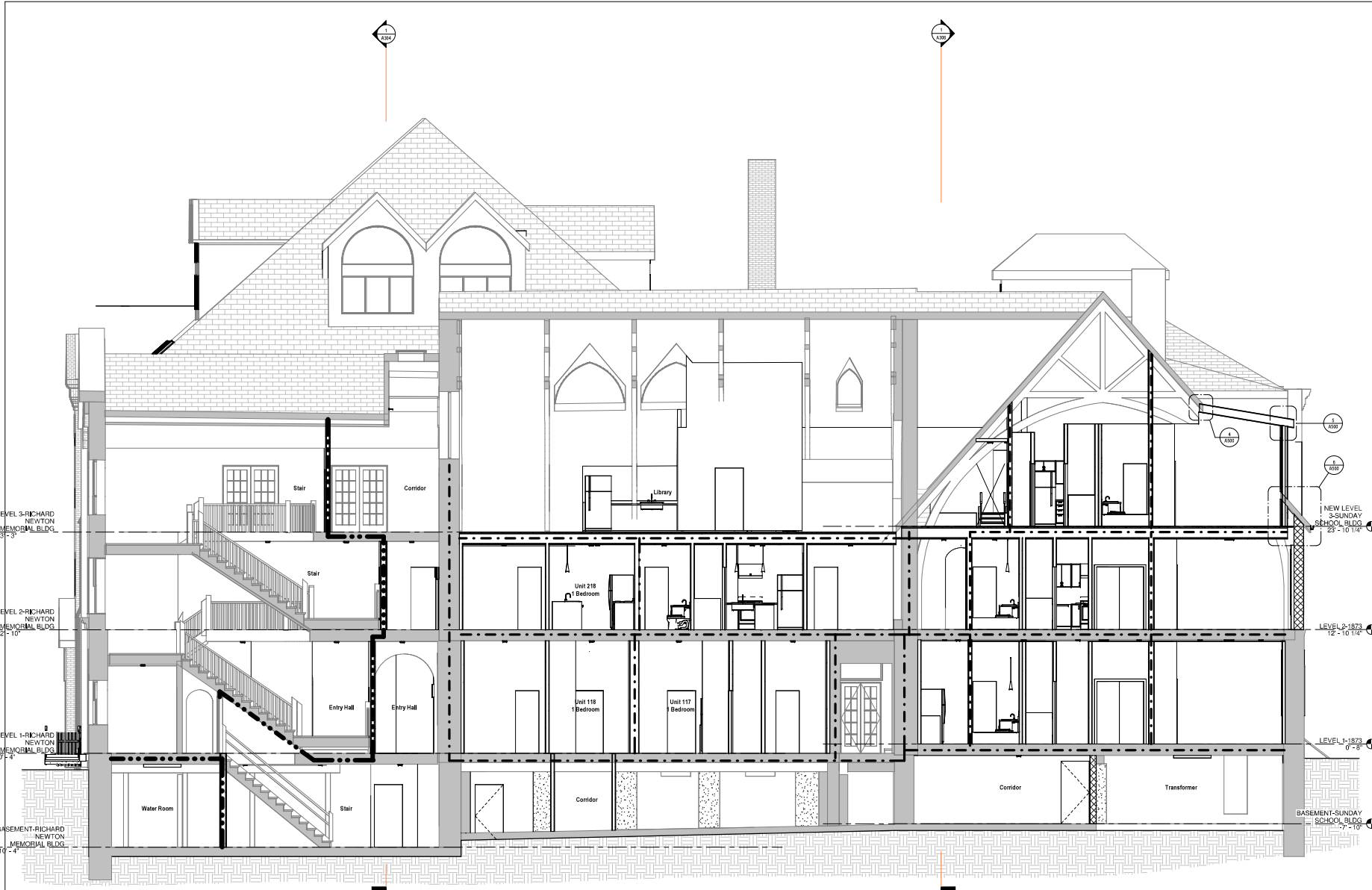
2030-50 Christian St
Philadelphia, PA 19148

SECTIONS

Project number: 23010
Date: 10 May 2024
Drawn by: SK
Checked by: SSP

A303

Scale: 1/8" = 1'-0"



1 Locational Section Through Main Stair
A303 1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

Blank area for City of Philadelphia approval stamps.

NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation

MEZZANINE-RICHARD
NEWTON
MEMORIAL
BLDG. DRNG. 47'-4"

LEVEL 4-RICHARD
NEWTON
MEMORIAL
BLDG. DRNG. 34'-4" x 34'

LEVEL 3-RICHARD
NEWTON
MEMORIAL
BLDG. DRNG. 25'-3"

LEVEL 2-RICHARD
NEWTON
MEMORIAL
BLDG. DRNG. 12'-10"

LEVEL 1-RICHARD
NEWTON
MEMORIAL
BLDG. DRNG. 4'-4"

BASEMENT-RICHARD
NEWTON
MEMORIAL
BLDG. DRNG. 11'-2"



NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
ISS	

TierView Development
Church Complex Adaptive
Reuse

2030-50 Chestnut St
Philadelphia, PA 19146

SECTIONS

Project number 23010
Date 10 May 2024
Drawn by SK
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A304

Scale 1/8" = 1'-0"



A304 Longitudinal Section Through Richard Newton Building
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

Blank area for City of Philadelphia approval stamps.

NOTES

Wall Legend

	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive
Reuse

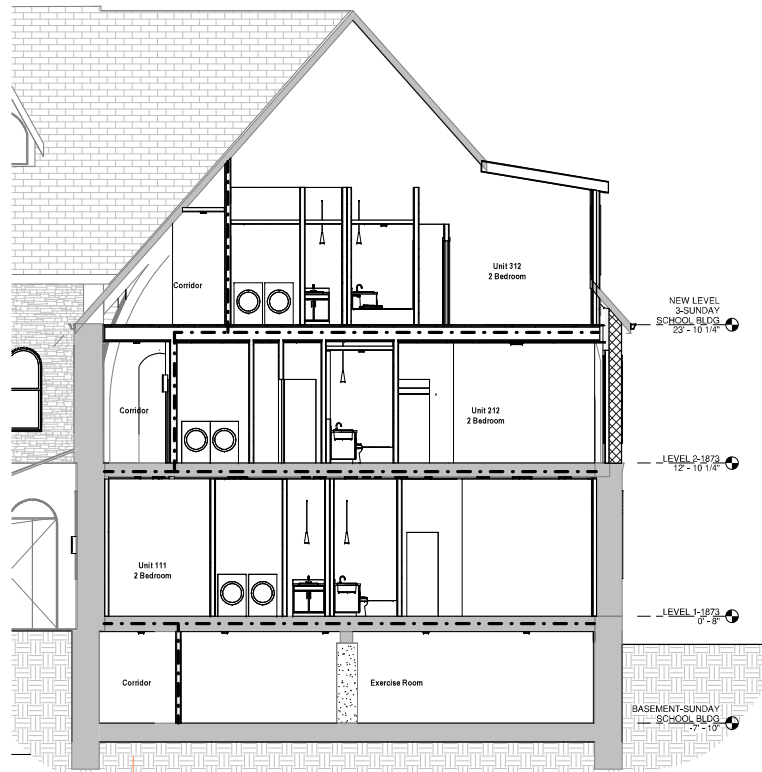
2030-50 Christian St
Philadelphia, PA 19148

SECTIONS

Project number	23010
Date	10 May 2024
Drawn by	SK
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A305

Scale: 1/8" = 1'-0"



1 Cross Section Through 1873 Building
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive Reuse
2030-50 Christian St
Philadelphia, PA 19148

SECTIONS

Project number 23010
Date 10 May 2024
Drawn by SK
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A306

Scale 1/8" = 1'-0"



1 Cross Section Through Boy Scout Building
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

Blank area for City of Philadelphia approval stamps.

NOTES

Wall Legend

	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation
	2 hour fire rated separation
	3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive Reuse

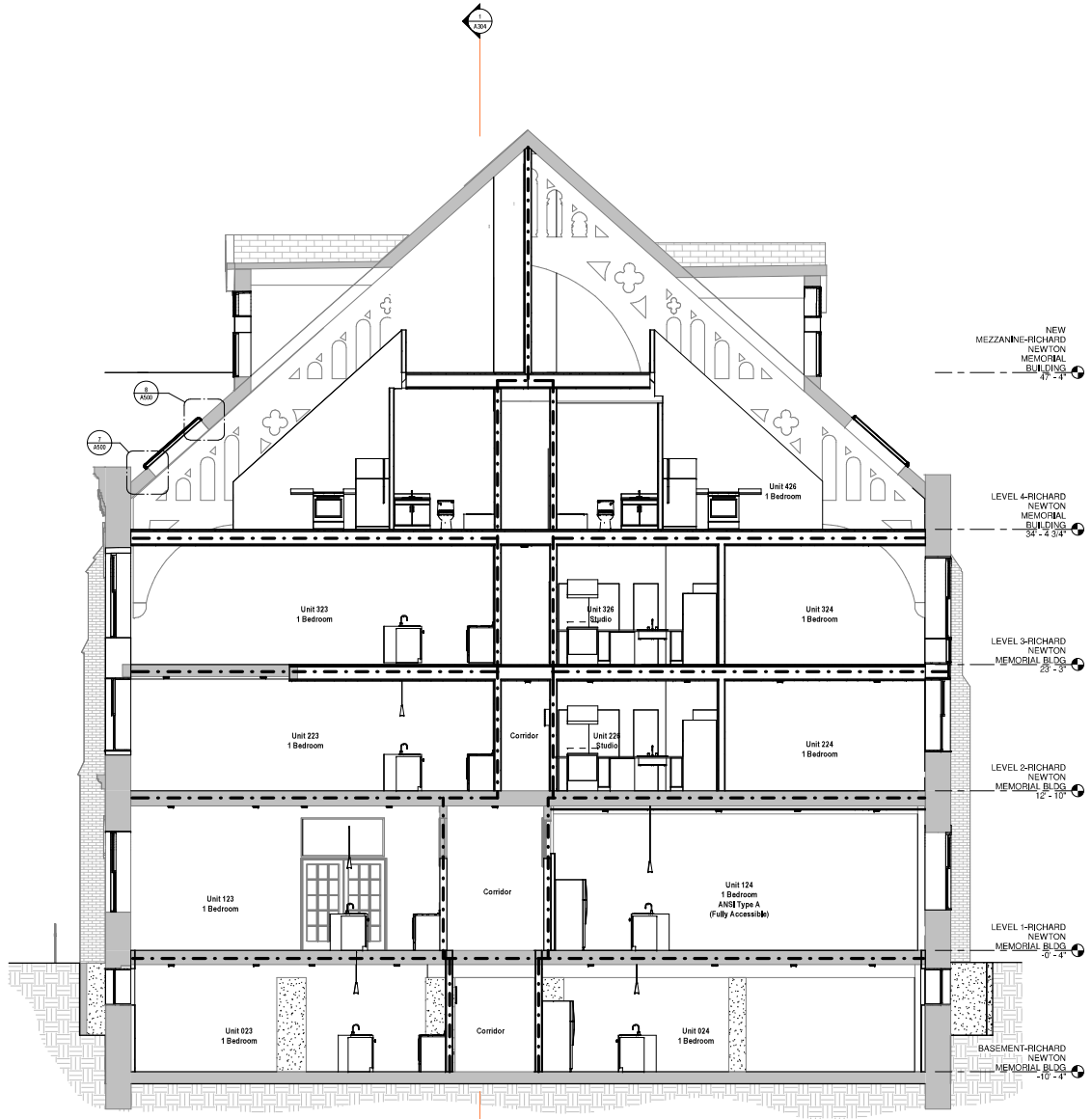
2030-50 Christian St
Philadelphia, PA 19148

SECTIONS

Project number	23010
Date	10 May 2024
Drawn by	SK
Checked by	SSP

A307

Scale: 1/8" = 1'-0"



1 A307 Cross Section Through Richard Newton Building
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS





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Room 425
Philadelphia, PA 19148
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NOTES



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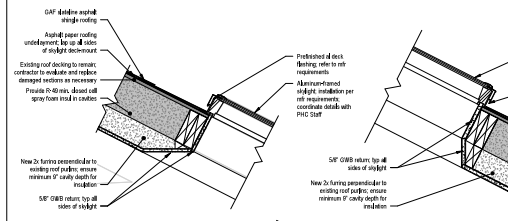
TierView Development
Church Complex Adaptive
Reuse
2030-50 Chestnut St
Philadelphia, PA 19148

DETAILS

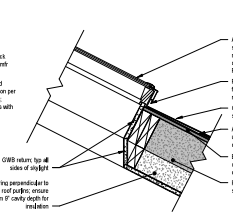
Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A500

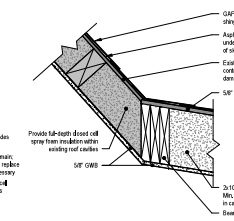
Scale 1/16" = 1'-0"



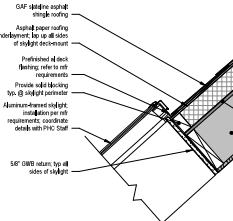
1 Typical Skylight Detail @ Dropped Ceiling
A500 1/16" = 1'-0"



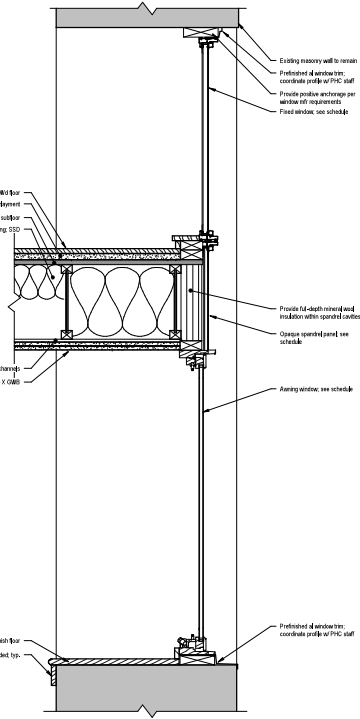
2 Typical Skylight Detail @ Dropped Ceiling
A500 1/16" = 1'-0"



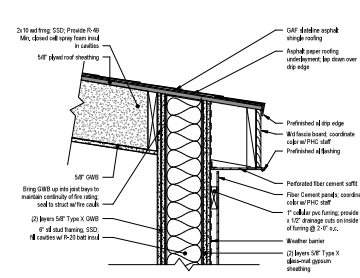
4 New Dormer Roof Detail @ Existing Roof
A500 1/16" = 1'-0"



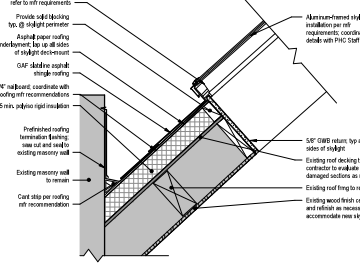
8 Typical Skylight Detail @ Exterior Insulation
A500 1/16" = 1'-0"



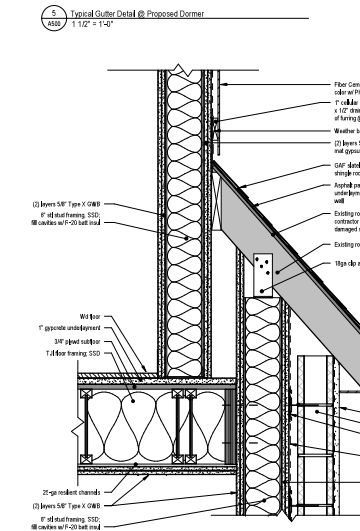
3 Window Transom Detail @ Sanctuary
A500 1/16" = 1'-0"



5 Typical Gutter Detail @ Proposed Dormer
A500 1/16" = 1'-0"



7 Typical Skylight Detail @ Exterior Insulation
A500 1/16" = 1'-0"



6 Metal Slat Wall Detail @ Proposed Dormer
A500 1/16" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



Window Schedule					
Type Mark	Width	Height	Operation	Comments	Count
W1	3'-3 3/8"	8'-0 3/8"	Fixed Slight		2
W2	1'-10 3/8"	8'-11 3/8"	Fixed Slight		20
W3	2'-7 1/2"	4'-8"	Fixed Slight		13
W4	5'-4"	8'-0"	Single Hung Arch Top		5
W5	5'-4"	7'-0"	Single Hung Arch Top		5
W6	5'-2"	4'-4"	Single Hung Arch Top		5
W7	2'-6"	2'-0"	Awning		2
W8	2'-6"	7'-0"	Fixed Arch Top		2
W9	2'-4"	2'-0"	Awning		10
W10	2'-0"	2'-0"	Fixed Arch Top		2
W11	2'-6"	4'-6"	Single Hung		2
W12	1'-0"	7'-0"	Single Hung Arch Top		40
W13	3'-0"	7'-0"	Single Hung Arch Top		2
W14	3'-4"	2'-0"	Single Hung Arch Top		11
W15	3'-6"	4'-0"	Awning		13
W16	3'-0"	1'-11"	Fixed Slight		13
W17	4'-0"	2'-0"	Awning		1
W18	4'-0"	2'-0"	Fixed		1
W19	4'-0"	2'-0"	Fixed Half Round		1
W20	2'-2"	11'-2"	Single Hung Arch Top		2
W21	2'-2"	8'-0"	Single Hung Arch Top		1
W22	2'-6"	2'-0"	Awning		4
W23	2'-6"	2'-0"	Fixed Arch Top		4
W24	2'-6"	2'-0"	Awning		2
W25	1'-2"	2'-0"	Fixed Arch Top		14
W26	3'-4"	7'-0"	Single Hung Arch Top		2
W27	3'-0"	2'-0"	Single Hung		5
W28	3'-0"	2'-0"	Fixed Slight		5
W29	3'-0"	1'-0"	Fixed Slight		5
W30	3'-0"	8'-11"	Single Hung Arch Top		13
W31	3'-0"	3'-0"	Single Hung Arch Top		2
W32	3'-0"	2'-0"	Single Hung Arch Top		2
W33	3'-0"	2'-0"	Single Hung Arch Top		2
W34	3'-0"	2'-0"	Single Hung Arch Top		2
W35	3'-0"	2'-0"	Single Hung Arch Top		2
W36	3'-0"	2'-0"	Single Hung Arch Top		2
W37	3'-0"	2'-0"	Awning		2
W38	4'-0"	2'-0"	Single Hung Arch Top		4
W39	3'-0"	2'-0"	Single Hung Arch Top		1
W40	4'-0"	7'-0"	Single Hung		3
W41	4'-0"	3'-0"	Single Hung		2
W42	3'-0"	4'-0"	Single Hung		2
W43	3'-0"	2'-0"	Single Hung		2
W44	4'-2"	2'-0"	Single Hung Arch Top		2
W45	3'-0"	2'-0"	Single Hung		4
W46	5'-7"	1'-4"	Fixed Slight		4
W47	5'-7"	2'-0"	Fixed		4
W48	5'-7"	2'-0"	Single Hung Arch Top		4
W49	5'-0"	2'-0"	Fixed		4
W50	4'-4"	2'-0"	Single Hung		2
W51	4'-4"	2'-0"	Single Hung		4
W52	4'-4"	2'-0"	Single Hung Arch Top		4
W53	2'-11"	7'-10"	Single Hung Arch Top		2
W54	2'-11"	7'-10"	Single Hung Arch Top		4
W55	2'-11"	6'-8"	Single Hung Arch Top		2
W56	2'-4"	6'-8"	Single Hung Arch Top		4
W57	3'-0"	3'-0"	Single Hung	Egress Window	10
W58	3'-0"	3'-0"	Fixed		20

Exterior Door Schedule											
Door Number	Size		Door Type	Material	Finish	Frame		Details		Hardware Set	Comments
	Width	Height				Material	Head	Jamb			
D1	4'-0"	7'-0"	Double Arched Top	MD	PT	MD	See Detail	See Detail			Existing exterior door to be refinshed
D2	7'-0"	7'-11"	Double Arched Top	MD	PT	MD	See Detail	See Detail			Existing exterior door to be refinshed
D3	4'-0"	7'-0"	Double Arched Top	MD	PT	MD	See Detail	See Detail			Existing exterior door to be refinshed
D4	5'-0"	7'-0"	Double Arched Top	MD	PT	MD	See Detail	See Detail			Existing exterior door to be refinshed
D5	2'-4"	7'-11"	Double Arched Top	MD	PT	MD	See Detail	See Detail			New door to match existing style and hardware
D6	2'-0"	7'-0"	Single Panel/Transom	MD	PT	MD	See Detail	See Detail			Existing exterior door to be refinshed
D7	4'-0"	7'-0"	Double Arched Top	MD	PT	MD	See Detail	See Detail			Existing exterior door to be refinshed
D8	4'-0"	7'-0"	Double Arched Top	MD	PT	MD	See Detail	See Detail			Existing exterior door to be refinshed
D9	4'-0"	7'-0"	Double Arched Top	MD	PT	MD	See Detail	See Detail			Existing exterior door to be refinshed
D10	3'-0"	8'-0"	Double Arched Top	MD	PT	MD	See Detail	See Detail			New door to match existing style and hardware



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NOTES



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DATE	
DESCRIPTION	
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SCHEDULES & TYPES

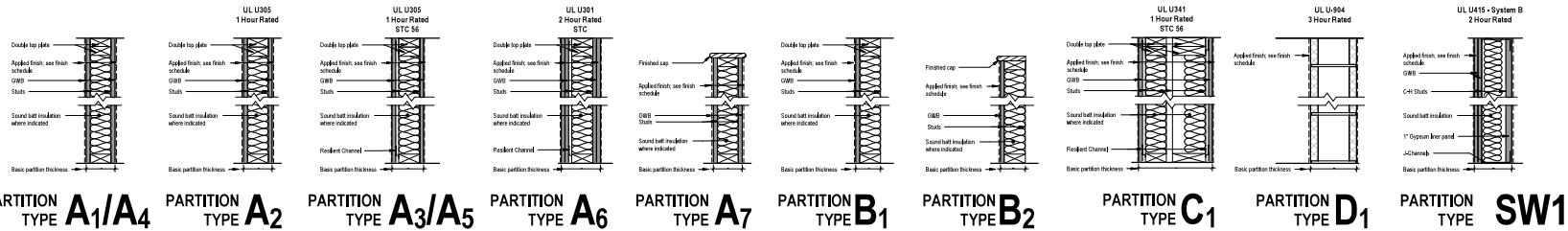
Project number: 23010
Date: 10 May 2024
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Checked by: BMT

A600



CITY OF PHILADELPHIA APPROVAL STAMPS

Partition identification plus symbol													
Basic partition thickness	0' - 4 3/4"	0' - 4 3/4"	0' - 5 1/8"	0' - 6 3/4"	0' - 7 1/8"	0' - 8 1/2"	0' - 8 3/4"	0' - 4 1/8"	0' - 4 1/8"	0' - 4 1/8"	1' - 0 1/4"	0' - 7 5/8"	0' - 6 5/8"
Fire rating (hrs)	-	1	1	2	2	2	2	1	1	1	3	2	2
Fire test number (UL)	-	UL U305	UL U305	-	UL U305	UL U301	-	-	-	UL U341	UL U304	UL U415	-
Acoustical rating (STC)	-	56	56	-	56	-	-	-	-	56	-	-	-
Acoustical test number	-	-	-	-	-	-	-	-	-	-	-	-	-
Insulation thickness	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2" (2)	-	3 1/2"	3 1/2"
Grid thickness	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"
Acoustical ceiling	-	-	Yes	-	Yes	-	-	-	-	Yes	-	Yes	-
Fire ceiling	-	-	Yes	-	Yes	-	-	-	-	Yes	-	Yes	-
Grid finish	2x4	2x4	2x4	2x6	2x6	2x6	2x4	2x4	2x4	2x4 & 2x6	-	2 1/2" G-H	-
Grid spacing (G)	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	-	2'	-
Studs to structure above	Yes	Yes	Yes	Yes	Yes	Yes	No	Yes	No	Yes	Yes	Yes	Yes
Studs to structure below	-	-	-	-	-	-	-	-	-	-	-	-	-
Studs to GWB to structure above	-	-	-	-	-	-	-	-	-	-	-	-	-
Studs to GWB to structure below	-	-	-	-	-	-	-	-	-	-	-	-	-
Remarks	Provide partitions per conditions & schedule	Provide all partitions, per UL U305 for optional construction	Provide channel, per UL U305 for optional construction	Provide partitions per conditions & schedule	Provide channel, per UL U305 for optional construction	Provide channel, per UL U305 for optional construction	Use UL U301 for optional construction	Provide partitions per conditions & schedule, through floor up	Provide partitions of concrete walls	Provide partitions of concrete walls. Provide finish cap	Provide channel, per UL U301 for optional construction	Provide partitions through floor construction	Provide channel, per UL U305 for optional construction



PARTITION TYPE **A1/A4**

PARTITION TYPE **A2**

PARTITION TYPE **A3/A5**

PARTITION TYPE **A6**

PARTITION TYPE **A7**

PARTITION TYPE **B1**

PARTITION TYPE **B2**

PARTITION TYPE **C1**

PARTITION TYPE **D1**

PARTITION TYPE **SW1**



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NOTES



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DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive Reuse
2030-50 Chestnut St
Philadelphia, PA 19146

SCHEDULES & TYPES

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by BMT

A601

Scale 1 1/2" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive Reuse

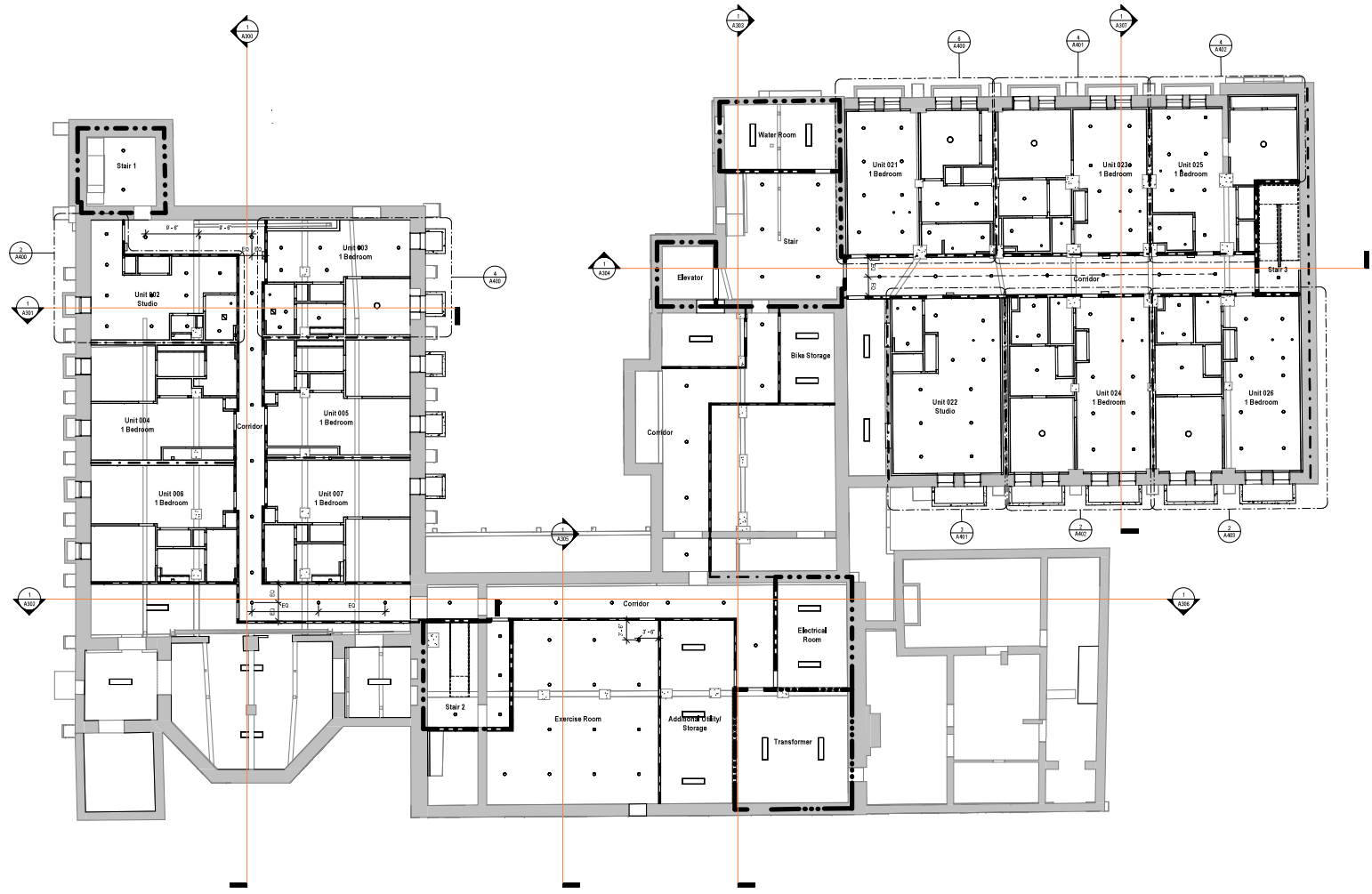
2030-50 Chestnut St
Philadelphia, PA 19146

REFLECTED CEILING PLANS

Project number: 23010
Date: 10 May 2024
Drawn by: SK
Checked by: SSP

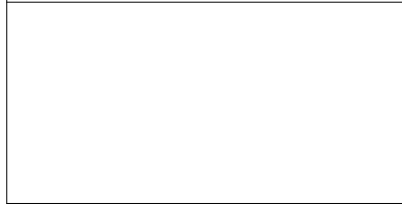
A700

Scale: As indicated



1
A700
Basement Reflected Ceiling Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR
CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive
Reuse

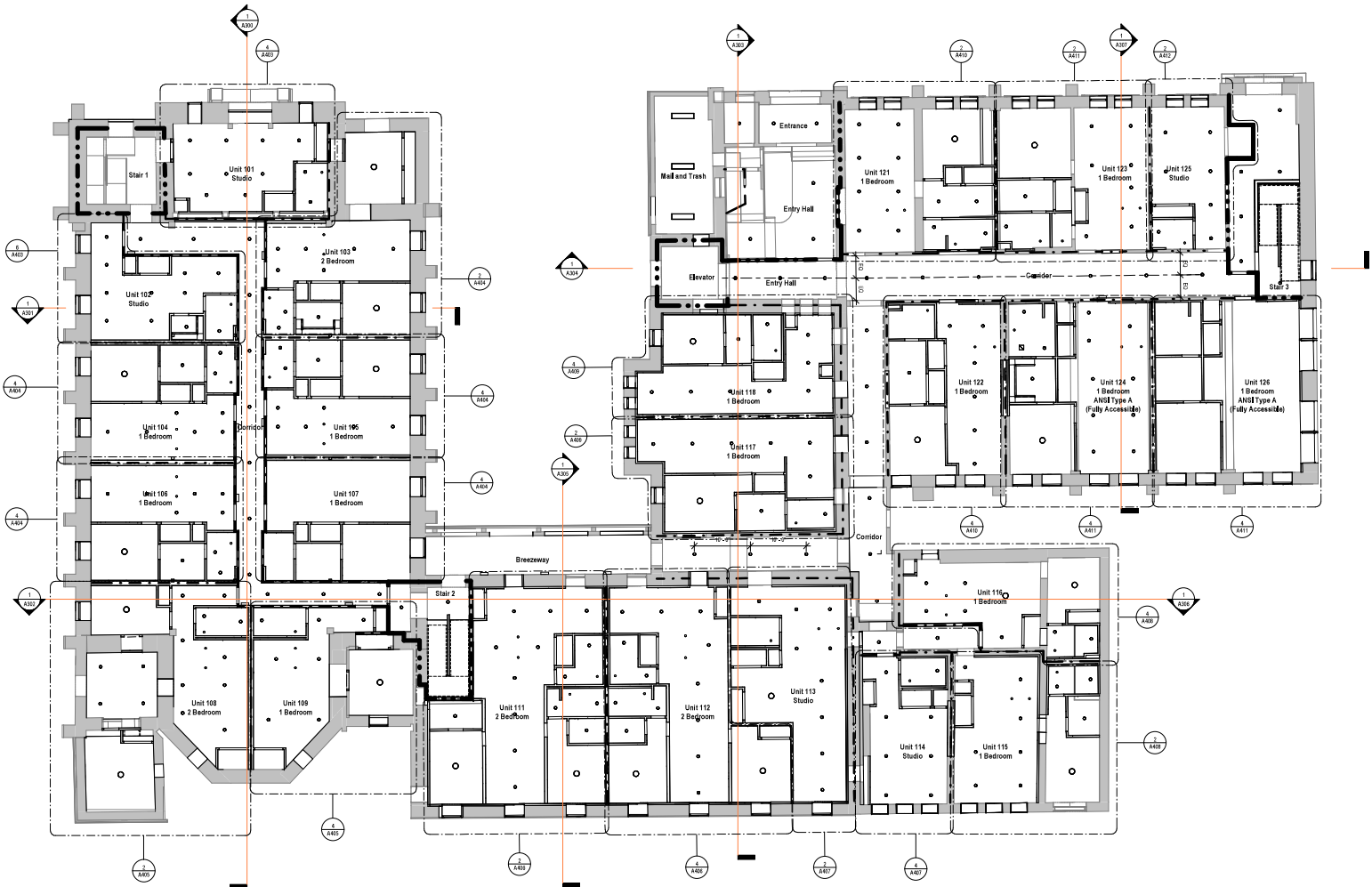
2030-50 Christian St
Philadelphia, PA 19148

REFLECTED CEILING
PLANS

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A701

Scale: As indicated



1 First Floor Reflected Ceiling Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



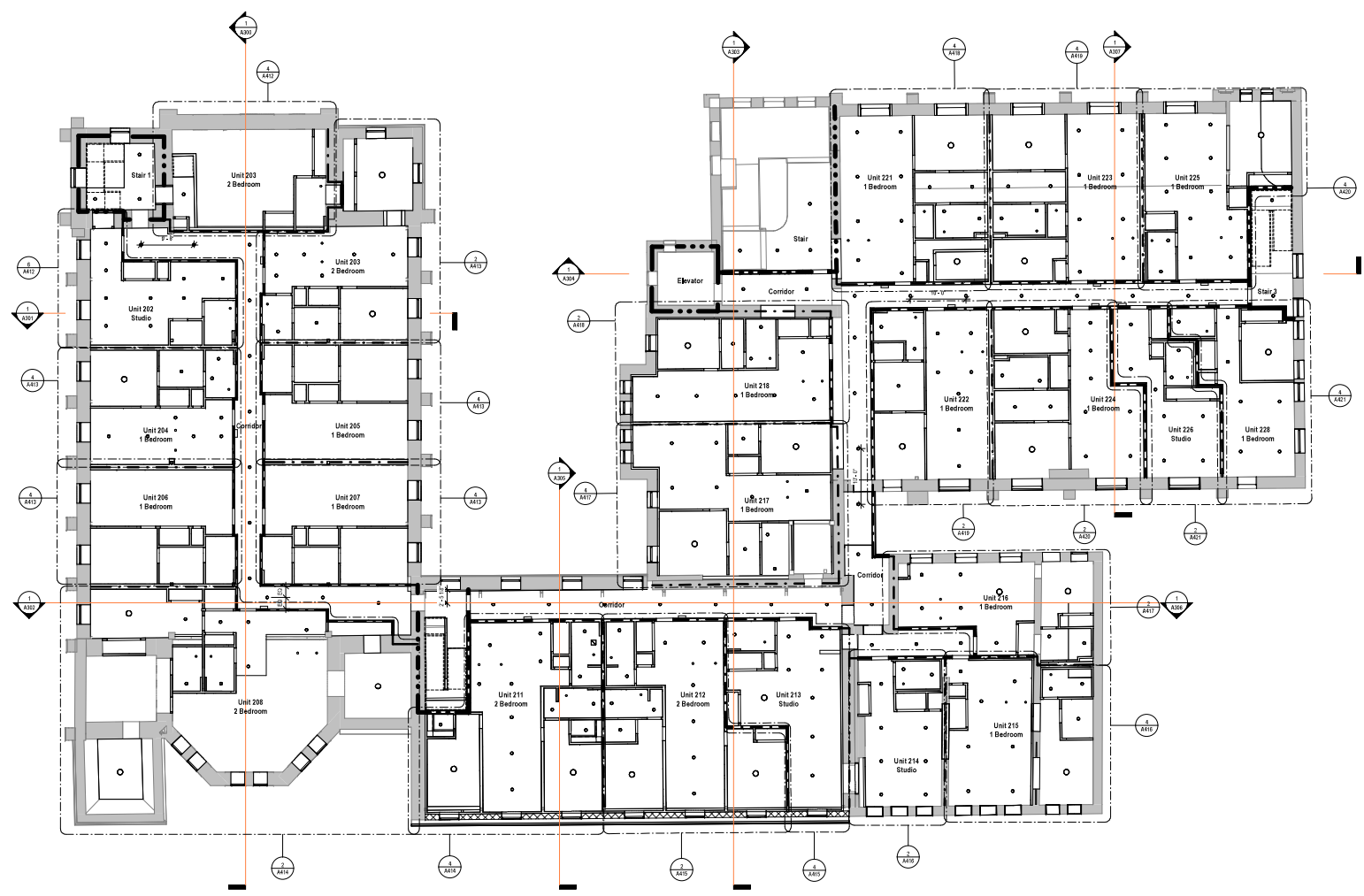
NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR CONSTRUCTION



1 Second Floor Reflected Ceiling Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



Project North True North

TierView Development
Church Complex Adaptive Reuse

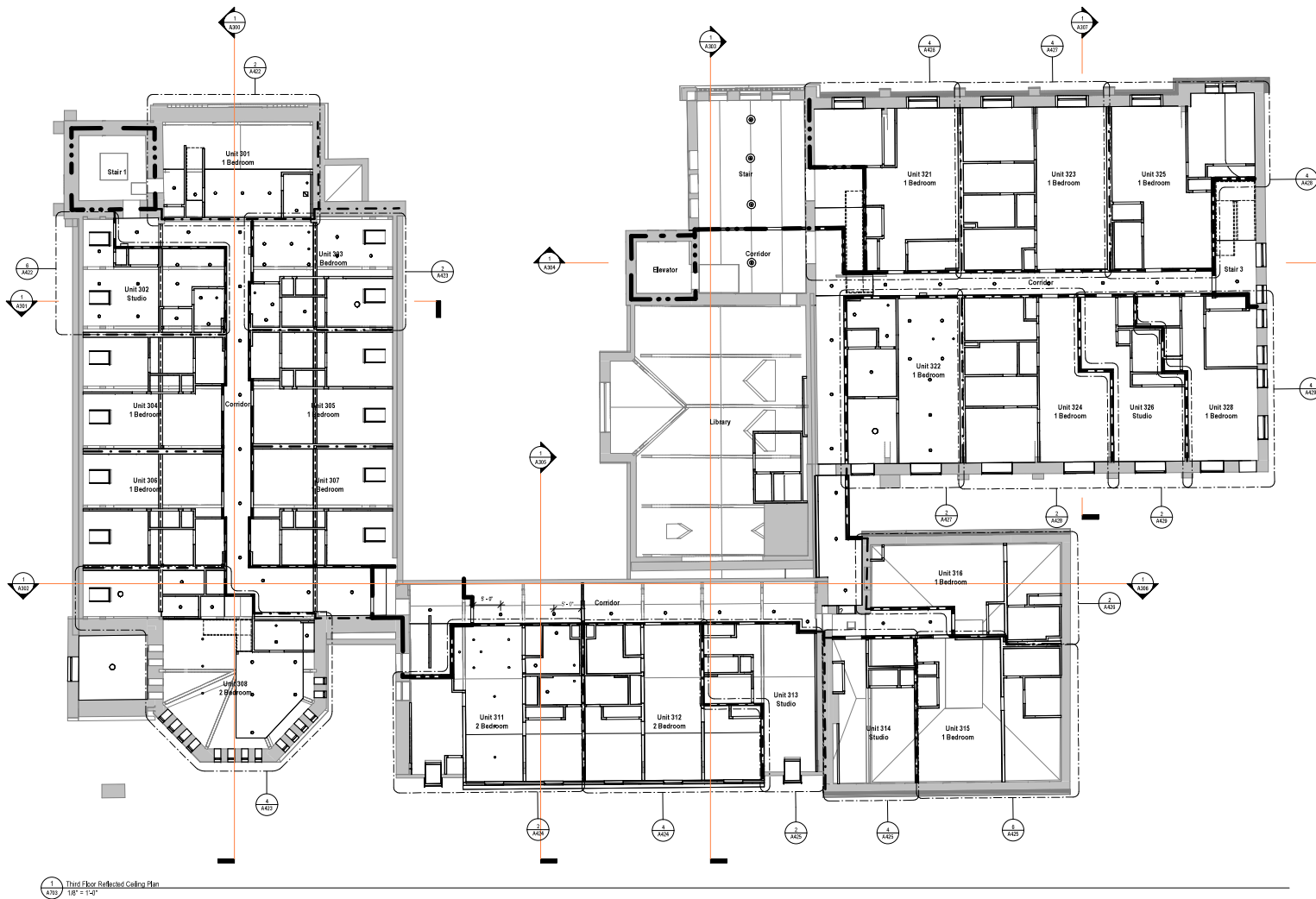
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Philadelphia, PA 19146

REFLECTED CEILING PLANS

Project number 23010
Date 10 May 2024
Drawn by SK
Checked by SSP

A702

Scale: As indicated



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NOTES

Wall Legend

- Existing wall/construction
- Demolished wall/construction
- New wall/construction
- 1 hour fire rated separation
- 2 hour fire rated separation
- 3 hour fire rated separation



NOT FOR CONSTRUCTION

DATE	
DESCRIPTION	
NO.	

TierView Development
 Church Complex Adaptive Reuse
 2030-50 Christian St
 Philadelphia, PA 19148

REFLECTED CEILING PLANS

Project number 23010
 Date 10 May 2024
 Drawn by SK
 Checked by SSP

A703



Project North True North

Scale: As indicated

CITY OF PHILADELPHIA APPROVAL STAMPS



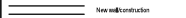

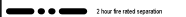



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NOTES

Wall Legend

-  Existing wall/construction
-  Demolished wall/construction
-  New wall/construction
-  1 hour fire rated separation
-  2 hour fire rated separation
-  3 hour fire rated separation



**NOT FOR
CONSTRUCTION**

DATE	
DESCRIPTION	
NO.	

TierView Development
Church Complex Adaptive
Reuse

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Philadelphia, PA 19146

**REFLECTED CEILING
PLANS**

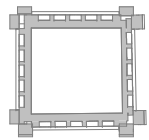
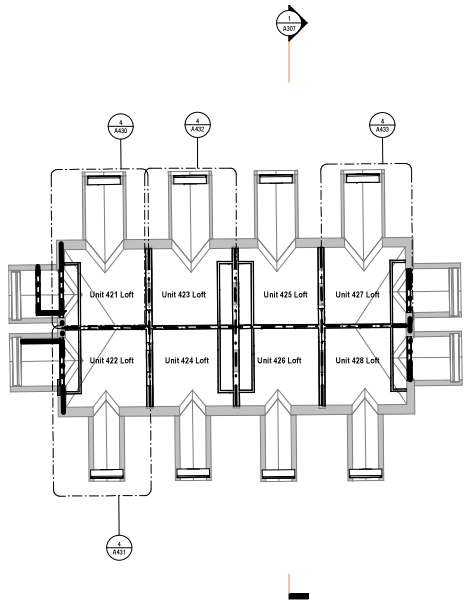
Project number: 23010
Date: 10 May 2024
Drawn by: SK
Checked by: SSP

A705

Scale: As indicated



Project North True North



1 Fourth Floor Mezzanine Reflected Ceiling Plan
1/8" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



ABBREVIATIONS

Standard Abbreviations per CSI Uniform Drawing System

AB	anchor bolt	FDN	foundation	SCHED	schedule
ABV	above	FN	finish	SECT	section
ADJ	adjacent	FL	flange	SM	similar
AFB	above finish floor	FLR	floor	SOG	slab on ground
ALT	alternate	FS	face side	SPEC	specification
APPROX	approximate	FTG	footing	SO	square
ARCH	architect, architectural			STD	standard
BC	bottom chord	GA	girge		
BCX	bottom chord extension	GALV	galvanized		
BEF	bottom of existing footing	GR	grade		
BEGB	bottom of existing grade beam	GR BM	grade beam		
BLDG	building				
BLKG	blocking				
BOF	bottom of footing				
BOU	bottom				
BRG	bearing				
BS	both sides				
BSI	both ways				
CB	cast in place				
CJ	control joint				
CLG	ceiling				
CLR	clear				
CM	concrete masonry				
COL	column				
CONC	concrete				
CONN	connection, connect				
CONST	construction				
CONT	continue				
DBL	double				
DET	detail				
DIA	diameter				
DM	dimension				
DRWG	drawing				
EA	each				
EQ	elevation				
EQU	equal				
EQUIP	equipment				
EW	each way				
EXIST	existing				
EXP	expansion				
EXT	exterior				

GA	girge	HORIZ	horizontal	LLH	long leg horizontal
GALV	galvanized	HT	height	LLV	long leg vertical
GR	grade	HT	horizontal	LONG	longitudinal
GR BM	grade beam	HT	top of concrete		
		HT	top of footing		
		HT	top of masonry		
		HT	top of steel		
		HT	top of wall		
		HT	transverse		
		HT	typical		
		HT	unless noted otherwise		
		HT	vertical		
		HT	vertically in field		
		HT	with		
		HT	without		
		HT	working point		
		HT	weight		
		HT	welded wire fabric		
		HT	Residential		
		HT	Single and Exits		
		HT	100 psf		
		HT	120 psf		

OC	on center		
OPNG	opening		
OPP	opposite		
PF	pounds per square foot		
PSI	pounds per square inch		
R	radius		
REIN	reinforcing, reinforced		
REQD	required		

OC	on center	+	center line
OPNG	opening	+	existing
OPP	opposite	+	plate
PF	pounds per square foot	+	slope
PSI	pounds per square inch	+	at
R	radius	+	diameter

TAB	top and bottom	TIC	top of concrete
TAG	top and groove	TIF	top of footing
TCH	top chord extension	TOM	top of masonry
TCL	top chord	TOS	top of steel
TCE	top of existing footing	TOW	top of wall
TGF	top of groove	TRANS	transverse
TGP	top of groove	TYP	typical
TGT	top of groove	UNO	unless noted otherwise
TGV	top of groove	VERT	vertical
TGW	top of groove	VF	vertically in field
TGX	top of groove	W	with
TGY	top of groove	WO	without
TGZ	top of groove	WP	working point
TG1	top of groove	WT	weight
TG2	top of groove	WUF	welded wire fabric

RES	Residential	40 psf
SE	Single and Exits	100 psf
EX	Exits	120 psf

+	center line
+	existing
+	plate
+	slope
+	at
+	diameter

STRUCTURAL NOTES

GENERAL

- Comply with latest editions of applicable local and state building codes and regulations, including but not limited to 2018 International Building Code.
- Use structural drawings in conjunction with architectural, mechanical, electrical, plumbing, and civil drawings and project specifications.
- Existing conditions and measurements shown on these drawings are approximate.
- Verify all conditions and dimensions prior to starting work. If conditions differ from those shown, notify Owner immediately.
- See Site Plan and Architectural drawings for project datum.
- Perform work under job-site conditions recommended by referenced codes and specifications, by materials suppliers, and which are acceptable under standard industry practice.
- Provide periodic and final clean up and coordinate work with Owner to establish access to work areas and for staging and storage areas.
- Protect existing construction and utilities during construction.
- Notify Owner if there are apparent inconsistencies between structural plans, notes, details, and specifications prior to proceeding with affected portion of the work.
- All details shown on structural drawings are to be considered typical throughout project, UNO.
- All typical details not on plan apply at all appropriate locations. Coordinate typical details.
- Submit product data for proposed substitutions demonstrating equivalence to specified products shown on drawings.
- Structure is designed to be self-supporting and stable after construction is complete. Contractor is solely responsible for construction means and methods, including techniques and sequences of procedures.
- Contractor is solely responsible for design and construction of all shoring and bracing necessary to protect existing construction and to complete work shown on these drawings.

STRUCTURAL LOADS

- Design Loads Per 2018 International Building Code.

Building Occupancy Category: II

Live Loads:

Residential	40 psf
Single and Exits	100 psf
Exits	120 psf

FOUNDATIONS

- Verify minimum allowable soil bearing capacity of 2,000 psf for footings.
- Place footings and slab on firm, dry, non-frozen subgrade.
- Remove undesirable soil encountered during excavation for foundations and slabs. Backfill these excavations and areas requiring structural fill with clean M or better borrow (per ASTM D2487) placed in 8" maximum lifts. Compact to 95% minimum dry density as determined by modified proctor test (ASTM D698).
- Brace and protect foundation walls during backfilling.
- Do not perform unbalanced backfilling against foundation walls unless walls are securely braced by temporary bracing or permanent construction.

CONCRETE

- Comply with latest editions of American Concrete Institute ACI 308 "Specification for Structural Concrete for Buildings" and ACI 309 "Building Code Requirements for Structural Concrete, ACI 309 - Hot Weather Concrete, and ACI 306 - Cold Weather Concrete".
- Compressive strength at 28 days: Footings and underpinning 3,000 psi. Exterior walls, foundation walls, piers, and slabs on ground 4,000 psi (0.85 maximum w/c ratio). Interior walls, piers, slabs on ground, and elevated slabs, 4,000 psi (0.85 maximum w/c ratio).
- Provide air entrainment for all exterior exposed concrete per F1 exposure category, 6.0 percent air content for 3/4" nominal maximum aggregate. Submit proposed air content for mixes with other aggregate sizes.
- Reinforcing steel: ASTM A63, Grade 60 deformed bars. Provide standard hooks on dowels into piers, pilasters, and walls. Provide continuous reinforcement at corners and intersections.
- Welded wire fabric: ASTM A95, flat sheeta.
- Lap all reinforcing bars 48 bar diameters. Lap all WUF 12" minimum.
- Provide 3/4" center on exposed edges and corners.
- Provide 1/4" profile roughened surface at all adjoining surfaces not cast monolithically.
- Provide following cover for reinforcement:
 - Concrete exposed to earth or weather:
 - to 48 bars 2"
 - to 48 bar 4" wall 1-1/2"
 - Concrete placed directly on earth footings:
 - All reinforcement 3"
- Submit certified mix design and complete set of shop drawings for reinforcing steel.

SLAB ON GROUND

- Provide 4" concrete slab on ground with 6x6 W2.0x12 WUF located at 1/3 depth of slab from top, UNO. Provide 12" minimum lap in WUF. In lieu of WUF provide 5x6 Fibermesh-650 at dosage of 3 lbs/CY per manufacturer's printed instructions.
- Place slab on 6 mil polyethylene vapor barrier and 4" PADOT #2B stone.
- Provide control joints as shown on foundation plans. Saw out control joints to 1/4 depth of slab and fill with joint sealer UNO.
- Provide full-depth 1/2" premoiled isolation joint between slab and walls, piers, and other vertical faces.
- Place two #3 by 24" diagonal rebars at all reentrant corners, 3/4" below top of slab and 2" apart.
- Place and finish slab for fairness/levelness of F1-F25 and F1-F20 (F1-F1).

CONCRETE MASONRY

- Comply with latest editions of American Concrete Institute ACI 530 "Building Code Requirements for Masonry Structures" and ACI 530J "Specifications for Masonry Structures".
- Hollow load-bearing units ASTM C90, Compressive strength F_m = 2,500 psi.
- Mortar ASTM C270 Type S.
- Grout ASTM C1105 unless fine is required for tight clearances. Maximum lift height and lift sequence per ACI 530. Submit grouting plan for multiple-lift grouting sealed by Professional Engineer registered in Commonwealth of Pennsylvania.
- Reinforcing steel ASTM A63, Grade 60 deformed bars, with minimum lap splice of 48 bar diameter, UNO.
- Provide two vertical rebars at corners and wall ends and both sides of door and window openings, UNO.
- Horizontal joint reinforcement ASTM A1064 and A991, galvanized Ø1.0x1/2" per ASTM A641. Three ties for single wythe walls. Provide in every course below grade or slab on grade (whichever is higher). Provide in every other course (16 centers) above grade or slab on grade. Provide joint reinforcement in all masonry walls, including non-bearing partitions.
- Discontinue joint reinforcement at control joints.
- Anchor masonry to abutting concrete with galvanized dovetail anchors at 16" centers vertically. Anchor masonry to steel columns and beams with galvanized anchors and channels at 16" centers vertically and horizontally (Minimum 4 Channels per 150 sq ft Grout). Anchor and 15x60 Channel.
- Grout masonry solid if either face below grade or slab on grade.
- Grout masonry solid below beam and joint bearings. Extend grouted cores 1'-4" horizontally on both sides of beam/joint.
- Grout masonry solid full height of vertical reinforcing.
- Provide continuous bond beam with 2 #4 (8" and 10" CM) in solid grout at tops of all exterior walls, bearing walls, and concrete masonry wythes in exterior walls.

TYPICAL MASONRY REPAIRS

- Repair all loose and deteriorated masonry by rebuilding with concrete masonry or suitable brick. When only one wythe is rebuilt, tie wythes with Hellix anchors at 24" centers vertically and horizontally.
- Where masonry is sound but mortar joints are deteriorated, remove loose and deteriorated mortar and point joints or fill joints by pointing entire wall.
- If indicated on drawings, identification of areas requiring repairs is general/typical and not exhaustive. All masonry with mortar conditions must be repaired.
- Brick units ASTM C1075, Grade 80, 3,000 psi minimum compressive strength. Mortar Type 8.

STEEL

- Comply with latest editions of American Institute of Steel Construction "AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings" and "AISC Code of Standard Practice".
- Bars, angles, and plates ASTM A36. Tubing ASTM A500, Grade C.
- Fasteners Group A (ASTM F307, Grade A325, Type II, 3/4" diameter, for Type N connection, UNO. Threaded rods ASTM A36.
- Welds comply with AWS D11 "Structural Welding Code" with low hydrogen electrodes.
- Steel to be exposed and painted - see architectural drawings. Clean in accordance with SSPC-3. Prime with 65PC paint (2 coats).
- See architectural drawings for fire resistance requirements, including steel surface preparation.
- Galvanize all framing members, and connections permanently exposed to weather, including links, ASTM A83 Class C.
- Steel fabricator to survey and verify existing conditions prior to fabrication of steel members.

WOOD FRAMING

- Comply with cited International Building Code or National Design Specification for Wood Construction (NDS), latest edition.
- Wood framing per IRC No. 2 or better, UNO.
- Wood with exterior exposure or in contact with concrete or wood designated "PT" Southern Pine No. 2 or better, pressure impregnated with Copper Azole Type B in accordance with American Wood Preservers Association (AWPA) Standard U23B. Galvanize all connectors.
- Parallel parallel strand lumber (PSL) manufactured by True Joist (Weyerhaeuser): F_b minimum 2,900 psi for beams, 2,400 for posts. MOE minimum 2,000,000 psi for beams, 1,800,000 psi for posts.
- Micro-lam treated veneer lumber (LVL) manufactured by True Joist (Weyerhaeuser): F_b minimum 2,600 psi. MOE minimum 2,000,000 psi.
- GLU-Laminated Beams (GLB), 24F-V4 (cantilevers and continuous beams, 24F-V8). F_b minimum 2,400 psi, F_v = 190 psi, F_c (perpendicular) = 690 psi. MOE minimum 1,800,000 psi. Moisture content 15% maximum. Fabricate with waterproof glue. Fabrication and handling per latest AITC and ICCA standards.
- WJ joists manufactured by Georgia Pacific.
- TJ joists manufactured by True Joist (Weyerhaeuser).
- Install all engineered wood products in accordance with manufacturer's printed instructions.
- Framing connectors manufactured by Simpson Strong-Tie, UNO. 3-gauge minimum thickness, galvanized, provide between each beam, joint, rafter, or purlin and supporting member. Install in accordance with manufacturer's printed instructions.
- Floor and roof decking: Group 1 APA rated tongue and groove panels, nominal thickness 3/4" for floor, 5/8" for roof; minimum span rating of 30'6". Exposure 1.
- Nail and glue floor decking to joists. Glue to conform with Performance Specification AFG-01 by APA.
- Wall sheathing: Wood Structural Panels, Group 1 APA rated panels, nominal thickness 1/2", minimum span rating 24'6". Exposure 1.
- Provide double top plate at all load-bearing walls. Minimum 6"-Ø splice.
- Provide triple studs below all beam bearings continuous to foundation or bearing.
- Provide solid blocking below all point loads. Blocking to match size of post above.
- Provide blocking, bracing, and bridging per IRC prior to loading.
- Nail in accordance with IRC Fastening Schedule. Common steel wire nail type UNO.
- Fasten multi-tye members with full-penetration Timberlok screws (Ø28" shank diameter) or Simpson SDUS screws (Ø22" shank diameter), two screws at 24-inch centers (top and bottom).
- All steels to be full length members. Fasten closer to existing member with full-penetration Timberlok screws (Ø28" shank diameter) or Simpson SDUS screws (Ø22" shank diameter), two screws at 24-inch centers (top and bottom).

ANCHORS IN CONCRETE AND MASONRY

- See drawing call-outs and other notes for additional information.
- Equivalent products by Simpson, Powers, or Red Head may be substituted.
- Install fasteners in accordance with manufacturer's printed instructions, including substrate preparation.
- Epoxy Anchor in Concrete: Hilti HIT-HY 200 epoxy with 3/4" diameter by 6" embed A36 threaded rod UNO.
- Epoxy Anchor in Hollow Concrete Masonry: Hilti HIT-HY 210 epoxy with 3/4" diameter by 6" embed A36 threaded rod UNO, plus application HIT-IC screen, HIT-IC insert, or Hilti-N insert to suit application.
- Epoxy Anchor in Brick Masonry: Hilti HIT-HY 210 epoxy with 3/4" diameter by 6" embed A36 threaded rod UNO, plus applicable HIT-SC screen, HIT-IC insert, or Hilti-N insert to suit application.



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NOTES



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Tier/View Development
Church Complex Adaptive
Reuse

2016-50 Christian St
Philadelphia, PA 19148

NOTES & ABBREVIATIONS

Project number	23010
Date	13 May 2024
Drawn by	GD
Checked by	MBH

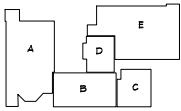
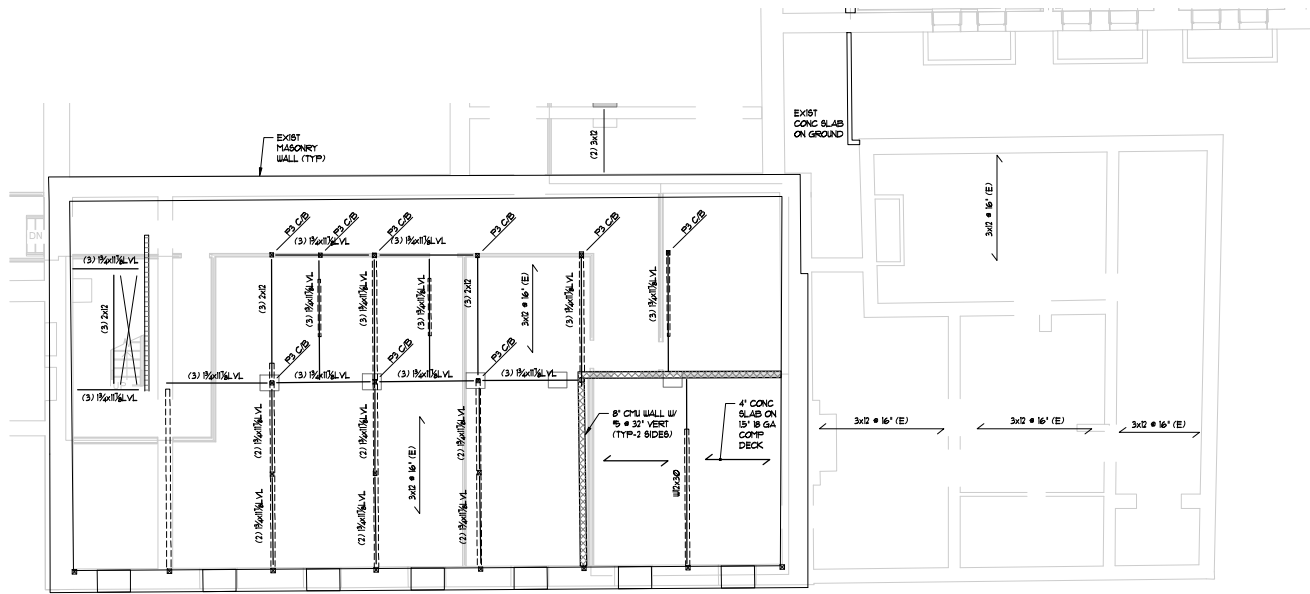
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NOTES



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CONSTRUCTION



ZONE B/C FIRST FLOOR FRAMING PLAN
SCALE: 3/16" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



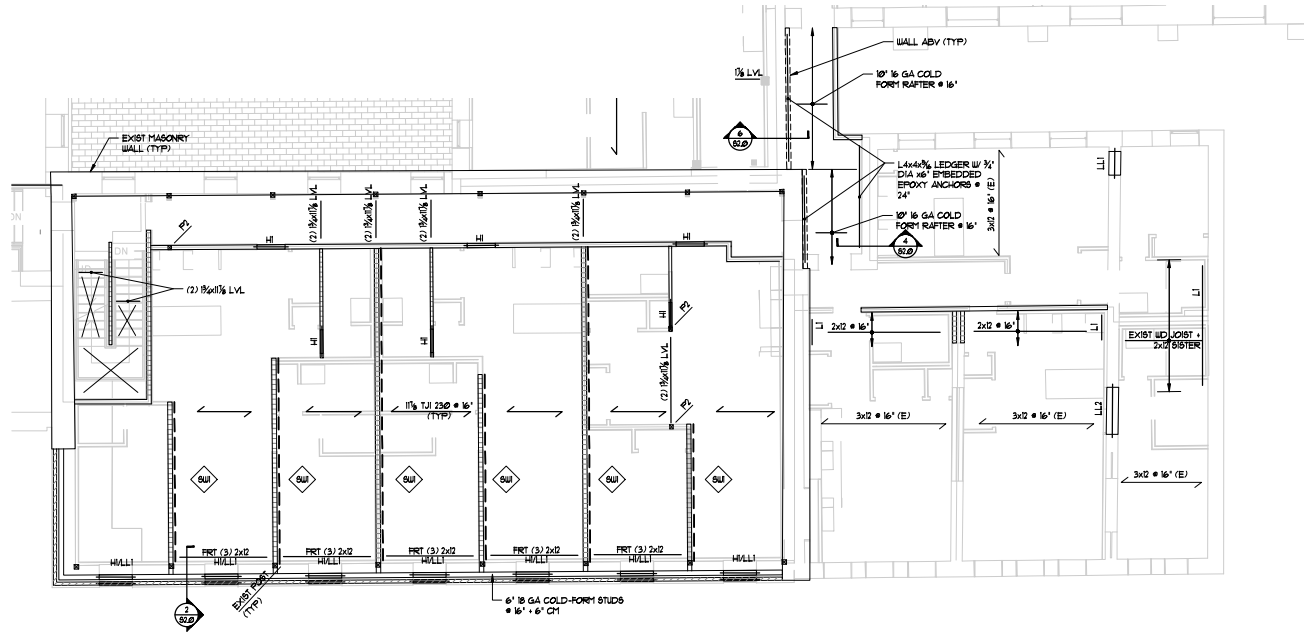
TierView Development
Church Complex Adaptive
Reuse
2030-50 Christian St
Philadelphia, PA 19146

FRAMING PLAN

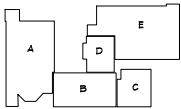
Project number: 23010
Date: 13 May 2024
Drawn by: GD
Checked by: MEB

S1.14

NOTES



ZONE B/C THIRD FLOOR FRAMING PLAN
SCALE: 3/16" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS



NOT FOR
CONSTRUCTION

DATE	DESCRIPTION	BY

TierView Development
Church Complex Adaptive
Reuse

2030-50 Christian St
Philadelphia, PA 19146

FRAMING PLAN

Project number: 23010
Date: 13 May 2024
Drawn by: GD
Checked by: MBH

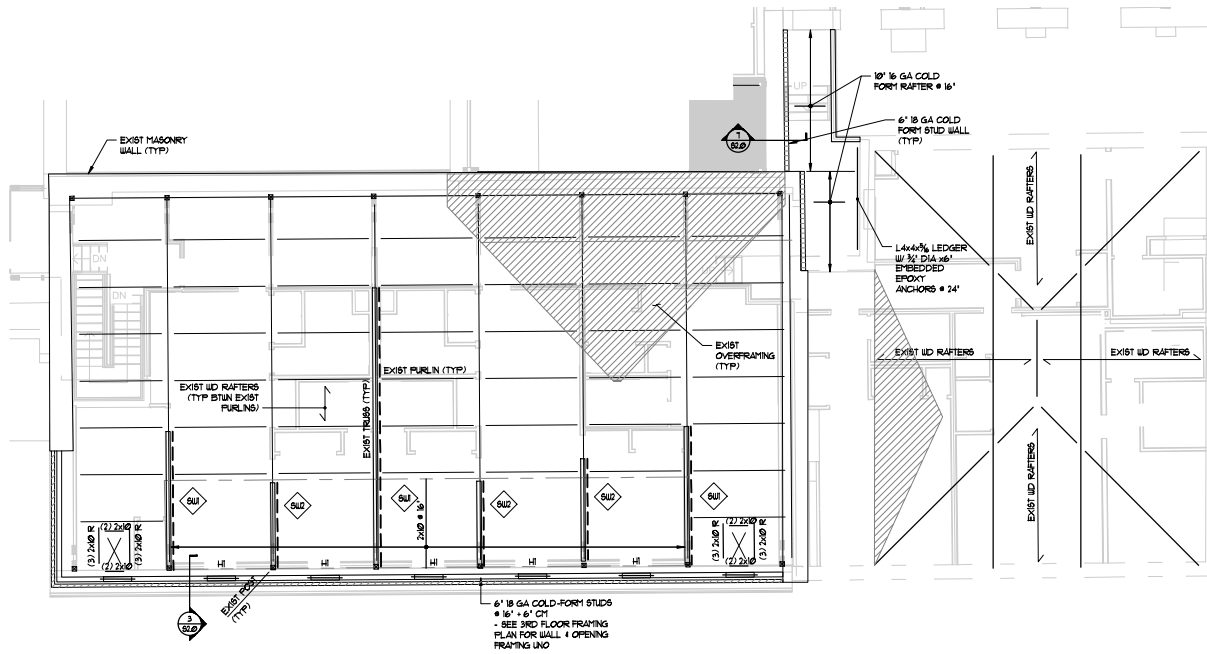
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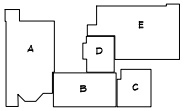
NOTES



NOT FOR
CONSTRUCTION



1 ZONE B/C ROOF FRAMING PLAN
SCALE: 3/16" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS



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2030-50 Christian St
Philadelphia, PA 19146

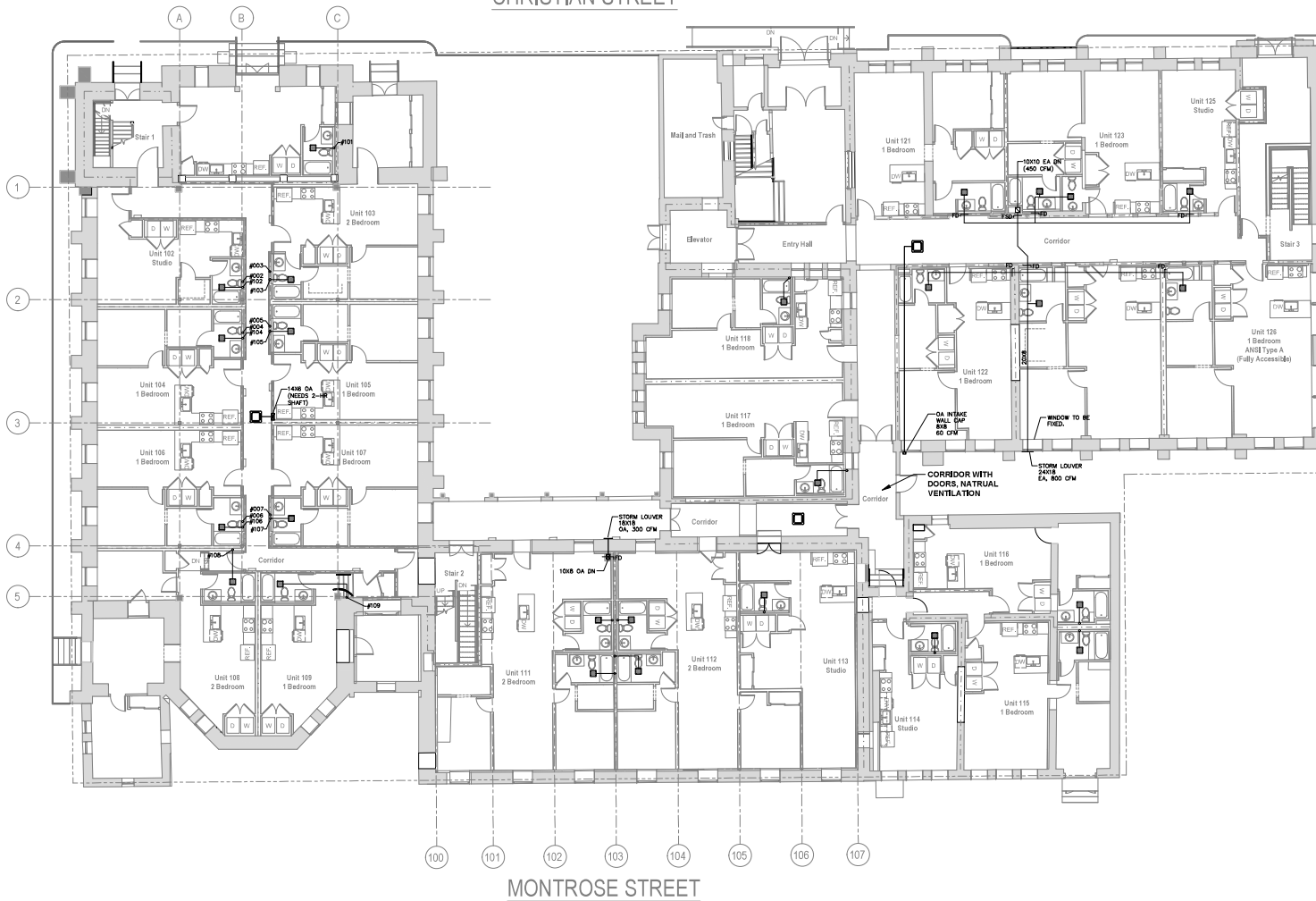
FRAMING PLAN

Project number: 23010
Date: 13 May 2024
Drawn by: GD
Checked by: MBM

S1.17

S. 21ST STREET

CHRISTIAN STREET



MONTROSE STREET

1 1ST FLOOR MECHANICAL PLAN
SCALE: 1/8"=1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS

HISTORICAL BORAD REVIEW-
EXTERIOR VENT OPENINGS
COORDINATION PLAN - 5.13.2024

GENERAL NOTES

1. ALL CLOVES OPENERS SHALL BE VENT-LESS TYPE.
2. 4" BEDROOM EXHAUST LOCATED WITHIN WALL CAVITIES ARE PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT FIRE DAMPERS OR SHIFTS, FOLLOWING 2018 INC. 601.4.1 EXCEPTIONS.
3. NATURAL RESERVATION WITHIN HOOD WITH NO DUCTWORK ABOVE RESIDENTIAL COORPOR.
4. EACH DWELLING UNITS SHALL BE VENTILATED BY NATURAL MEANS IN ACCORDANCE WITH INC. 2018 SECTION 602. THE MINIMUM OPENABLE AREA (WINDOWS, DOORS AND ETC. WITH READY ACCESS TO THE OCCUPANCY TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED.



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TEAM



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DATE	05/13/2024
DESCRIPTION	Historical Board Review
NO.	

TierView Development
Church Complex Adaptive Reuse
2030-50 Christian St
Philadelphia, PA 19148

MECHANICAL PLAN

Project number: 23010
Date:
Drawn by: YGC
Checked by:

M101

Scale: As indicated

TEAM



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No
changes
permitted
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DATE	05/13/2024
DESCRIPTION	Historical Board Review
NO.	

TierView Development
Church Complex Adaptive
Reuse

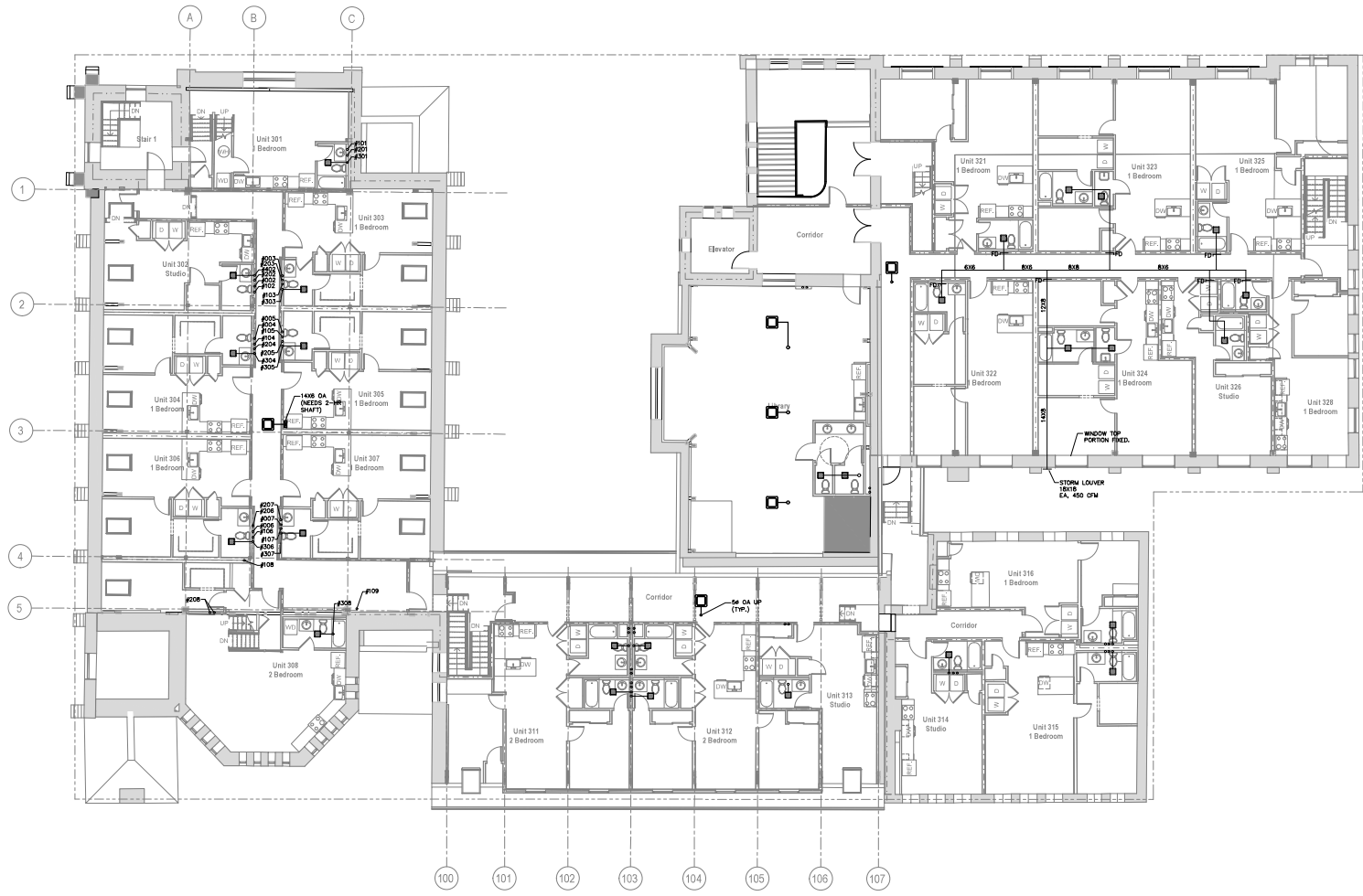
2030-50 Christian St
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MECHANICAL PLAN

Project number: 23010
Date:
Drawn by: YGC
Checked by:

M103

Scale: As indicated



1 3RD FLOOR MECHANICAL PLAN
SCALE: 1/8"=1'-0"

**HISTORICAL BORAD REVIEW-
EXTERIOR VENT OPENINGS
COORDINATION PLAN - 5.13.2024**

- GENERAL NOTES**
- ALL CLOVES OPENERS SHALL BE VENT-LESS TYPE.
 - 4"X BEDROOM EXHAUST LOCATED WITHIN WALL CAVITIES ARE PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT FIRE DAMPERS OR SHIFTS, FOLLOWING 2018 IBC 603.4.1 EXCEPTIONS.
 - NATURAL RESIDENTIAL UNITS WITHIN HOOD WITH NO DUCTWORK ABOVE RESIDENTIAL COORPOR.
 - EACH DWELLING UNITS SHALL BE VENTILATED BY NATURAL MEANS IN ACCORDANCE WITH INC. 2018 SECTION 603.4. THE MINIMUM OPENABLE AREA (WINDOWS, DOORS AND ETC. WITH READY ACCESS TO THE OCCUPANCY TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED.

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Date	Description	No.
05/13/2024	Historical Borad Review	

TierView Development
Church Complex Adaptive
Reuse

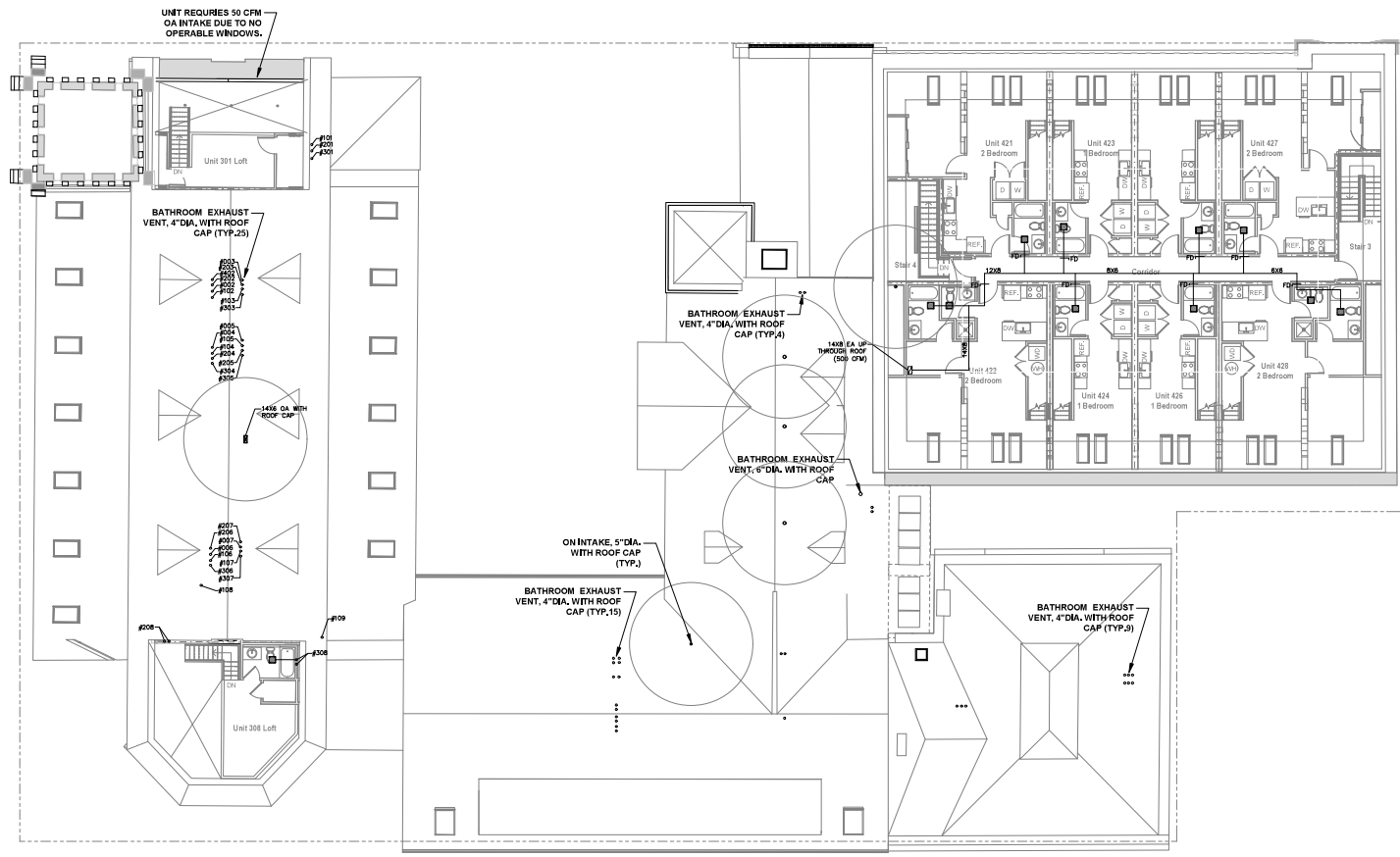
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MECHANICAL PLAN

Project number: 23010
Date:
Drawn by: YGC
Checked by:

M104

Scale: As indicated

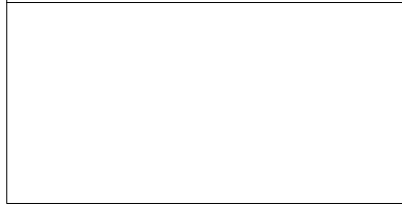


1 4TH FLOOR MECHANICAL PLAN
SCALE: 1/8"=1'-0"

HISTORICAL BORAD REVIEW- EXTERIOR VENT OPENINGS COORDINATION PLAN - 5.13.2024

- GENERAL NOTES**
- ALL CLOVES OPENERS SHALL BE VENT-LESS TYPE.
 - 4" BATHROOM EXHAUST LOCATED WITHIN WALL CAVITIES ARE PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT FIRE DAMPERS OR SHIFTS, FOLLOWING 2018 IBC 602.4.1 EXCEPTIONS.
 - NATURAL RESHEDDULATION WITHIN HOOD WITH NO DUCTWORK ABOVE RESIDENTIAL COORPOR.
 - EACH DWELLING UNITS SHALL BE VENTILATED BY NATURAL MEANS IN ACCORDANCE WITH INC. 2018 SECTION 402. THE MINIMUM OPERABLE AREA (WINDOWS, DOORS AND ETC. WITH ROOF ACCESS TO THE OCCUPANCY TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED.

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TEAM

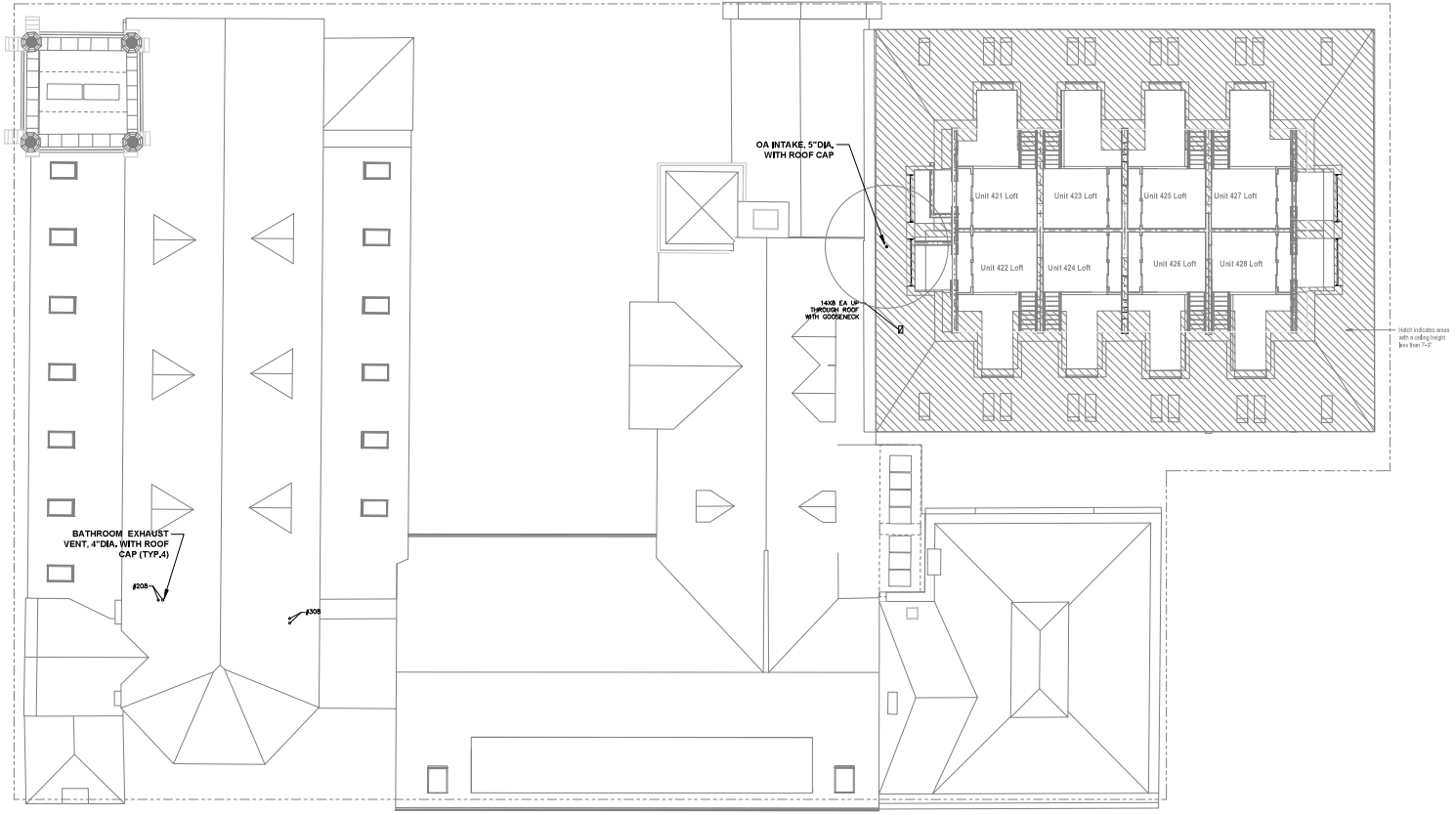


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1 ROOF MECHANICAL PLAN
SCALE: 1/8"=1'-0"

HISTORICAL BORAD REVIEW- EXTERIOR VENT OPENINGS COORDINATION PLAN - 5.13.2024

- GENERAL NOTES**
1. ALL CLOVES OPENERS SHALL BE VENT-LESS TYPE.
 2. 4" BATHROOM EXHAUST LOCATED WITHIN WALL CAVITIES ARE PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT FIRE DAMPERS OR SMELTS, FOLLOWING 2018 IBC 601.4.1 EXCEPTIONS.
 3. NATURAL RESHREGULATION WITHIN HOOD WITH NO DUCTWORK ABOVE RESIDENTIAL COORPOR.
 4. EACH DWELLING UNITS SHALL BE VENTILATED BY NATURAL MEANS IN ACCORDANCE WITH INC. 2018 SECTION 603. THE MINIMUM OPENABLE AREA (WINDOWS, DOORS AND ETC. WITH READY ACCESS TO THE OCCUPANCY TO THE OUTDOORS) SHALL BE 1% OF THE FLOOR AREA BEING VENTILATED.

CITY OF PHILADELPHIA APPROVAL STAMPS

Date	Description	No.
05/13/2024	Historical Board Review	

TierView Development
Church Complex Adaptive Reuse

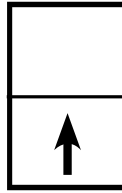
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Philadelphia, PA 19148

MECHANICAL PLAN

Project number: 23010
Date: _____
Drawn by: YGC
Checked by: _____

M105

Scale: As indicated



H650/H655 Series 4 1/8" Frame Depth Single Hung

H650/H655 SERIES SINGLE HUNG

FEATURES

- ◇ Commercial Framing System
 - 4 1/8" main frame
 - 0.062" wall thickness of interior and exterior walls
 - Nail flange main frame (H655) or no nail flange (H650)
- ◇ Thermally Enhanced Design
 - Azon pour and debridge thermal break in main frame.
 - AzoCore expandable polyurethane barriers in sash rail extrusions
- ◇ Glazing
 - 1" insulated glass
- ◇ Hardware
 - Gravity Latch
 - Heavy duty Class 5 Balancers
- ◇ Screen
 - Extruded aluminum screen frame

BENEFITS

- ◇ The capacity to match exterior colors for unique project facades
- ◇ The ability to facilitate large sizes for taller and wider window openings
- ◇ Historically accurate panning and trim styles to help your project meet Historic Preservation codes

PERFORMANCE

- ◇ Structural & Thermal (test reports and thermal simulations available upon request)

Model	Single Hung
Test Size	60" x 99"
NAFS Rating (standard)	AW-PG60-H
NAFS Rating (Heavy Duty Meeting Rail)	AW-PG75-H
Air at 6.2 PSF Differential	<0.30
Water (No Penetration) P.S.F.	12.00
U-Value (ranges based on multiple Low-E/Argon combinations)	as low as 0.30
SHGC (ranges based on multiple Low-E/Argon combinations)	

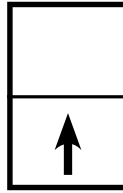
Operating Force: 25.3 lbf (maintain motion), 14 lbf (latches)

OPTIONS

- ◇ Available Configurations
 - Single Hung
 - Oriel Single Hung
 - Simulated Single Hung/Fixed
 - Arch Head Single Hung
- ◇ Muntin Choices
 - Internal or simulated divided lites available
- ◇ Limited travel hardware
- ◇ Screen
 - Extruded aluminum half screen frame with aluminum wire mesh
 - Extruded aluminum screen frame with sunscreen mesh
 - Extruded aluminum screen frame with stainless steel 0.009" thickness mesh
 - Security screen
- ◇ Glazing
 - Multiple Low-E and argon glazing choices
 - Capillary tubes
 - Wide variety of glazing, tinting and thickness options
- ◇ Panning & Trim Choices
 - Wide variety of panning, receptor and trim available
- ◇ Mulling
 - Wide variety of structural mulls
- ◇ Specialty
 - Extension jambs
 - Ogee lugs
 - WOCD hardware

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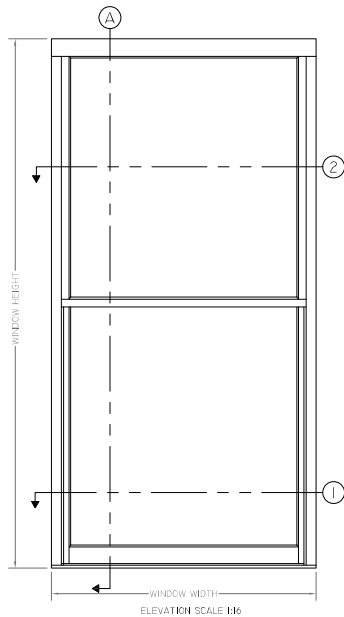
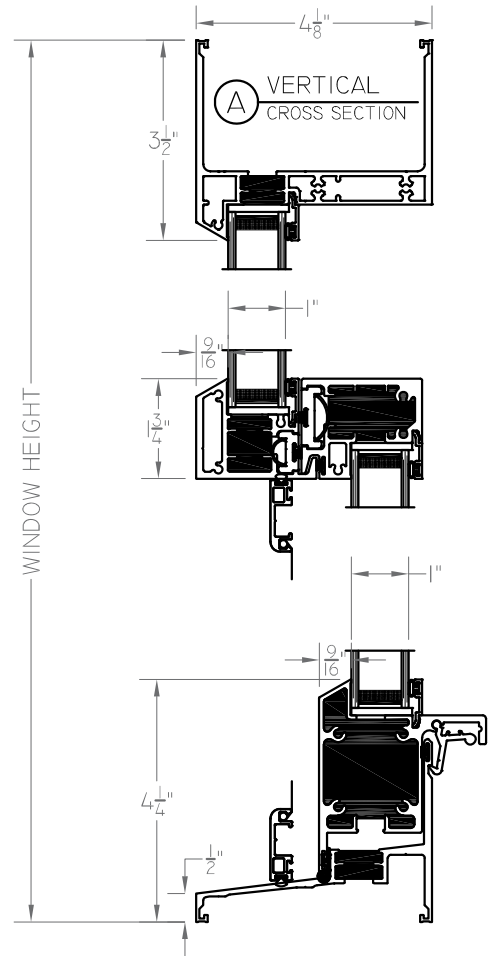
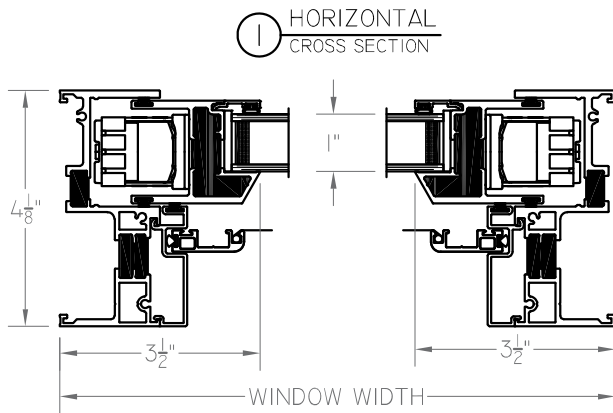
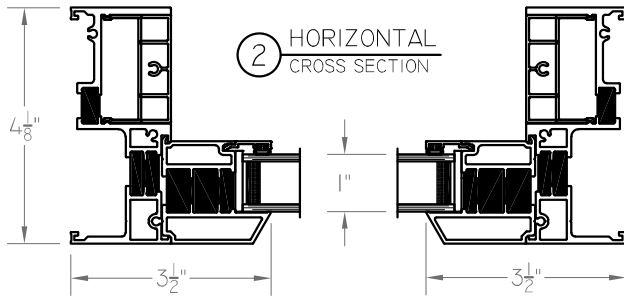




H650 Series 4 1/8" Frame Depth Single Hung

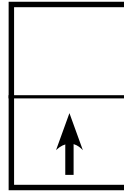
H650 SERIES SINGLE HUNG

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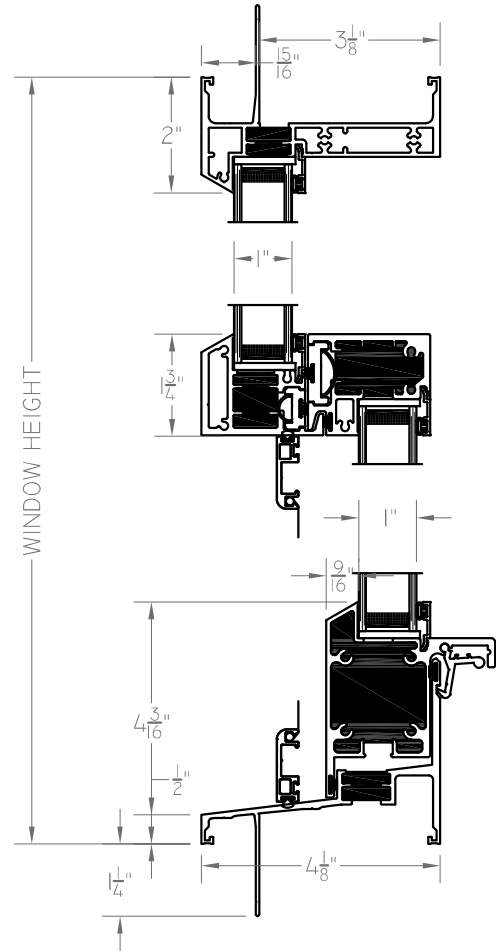
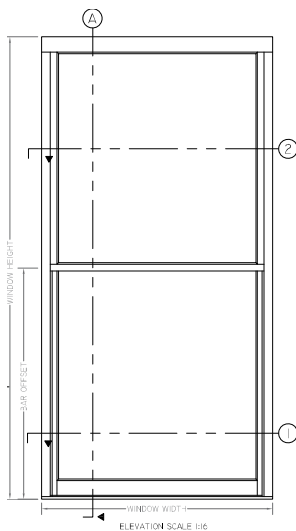
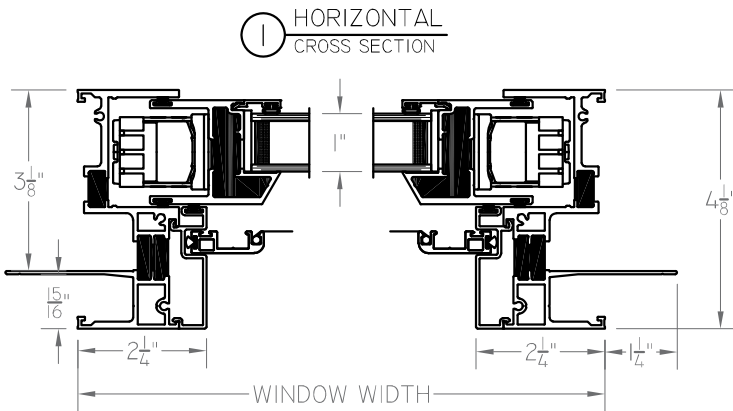
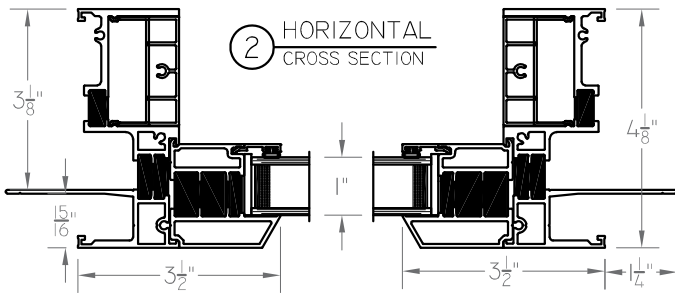




H655 Series 4 1/8" Frame Depth Single Hung

H655 SERIES SINGLE HUNG

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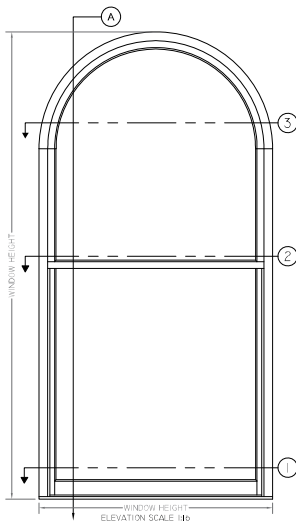
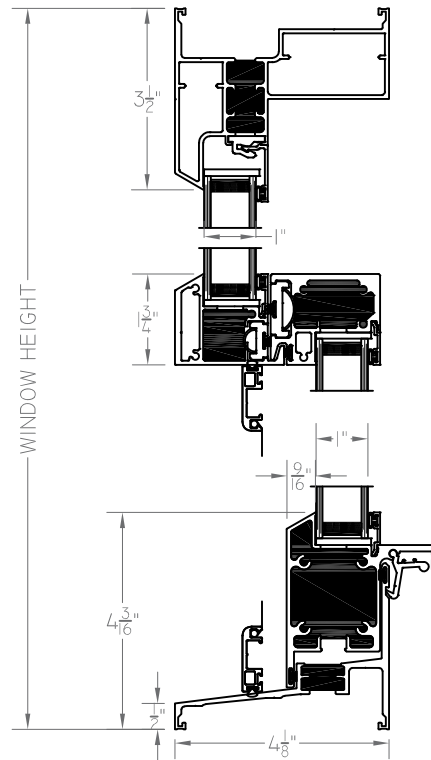
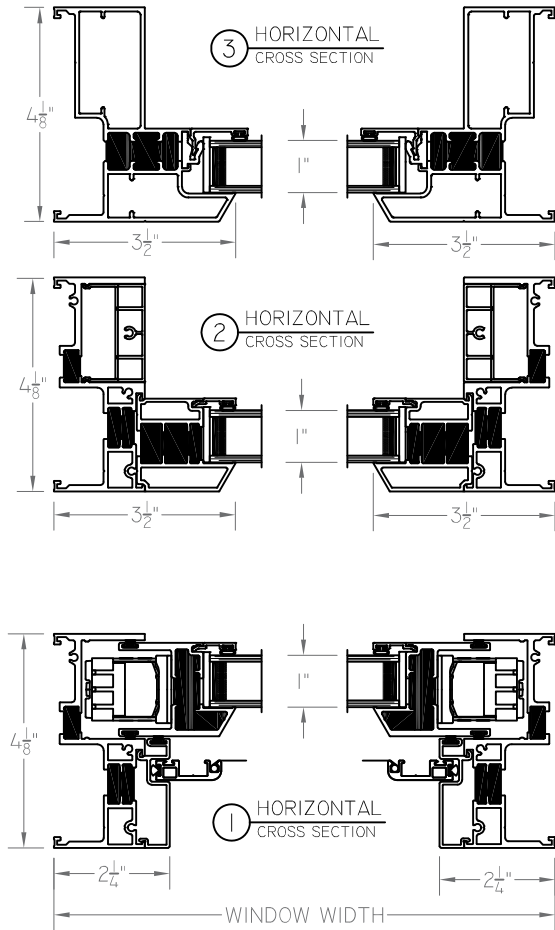


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H650 SERIES ARCH HEAD SINGLE HUNG

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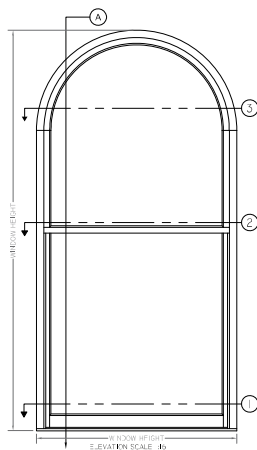
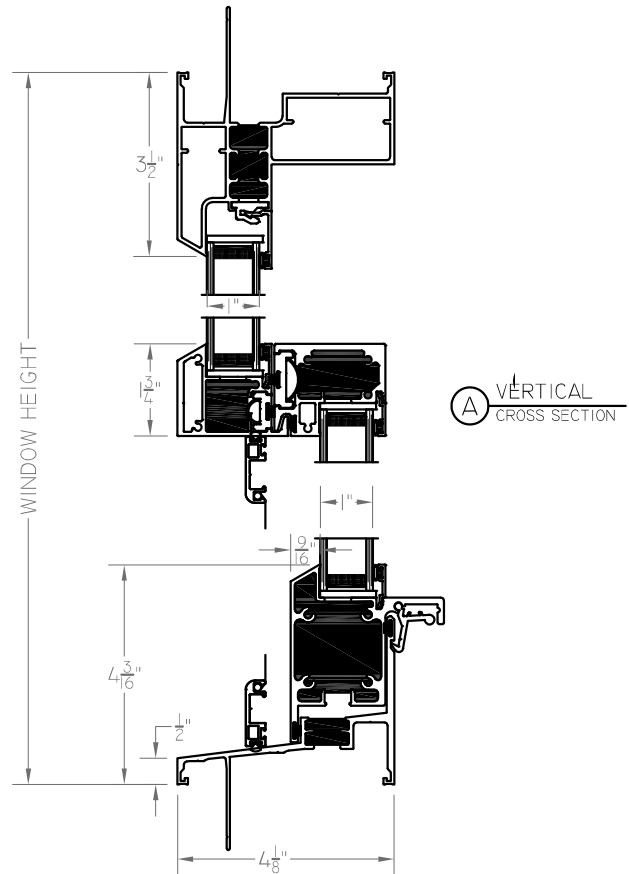
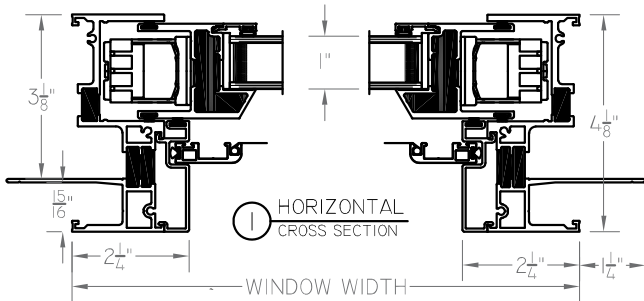
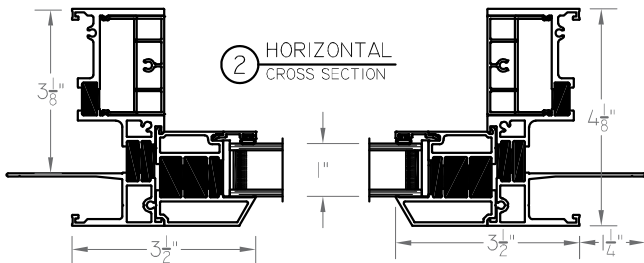
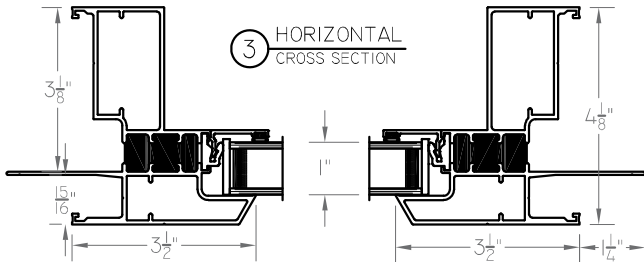
SCALE 1:4

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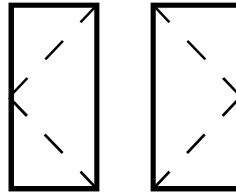
H655 SERIES ARCH HEAD SINGLE HUNG

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H450 Series 3 1/4" Frame Depth Casement (Project-Out)

H450 SERIES CASEMENT

FEATURES

- ◇ Commercial Framing System
 - 3 1/4" main frame
 - Historically-correct bevel frame exterior
 - Minimum of 0.080" wall thickness
 - Dual Euro Groove System
 - Available with or without integral nailing fin
- ◇ Thermally Enhanced Design
 - Thermally-broken main frame and vent rails
 - Azon pour and debridge thermal break technology
- ◇ Glazing
 - 1" insulating glass
- ◇ Hardware
 - Maxim LP Locking System, Chic Hinge and Roto Hardware on crankout model
 - Maxim LP Locking System, 4-Bar Hinge and Push/Pull Cup Hardware on push-out model
- ◇ Screen
 - Easily removable FlexScreen

BENEFITS

- ◇ Historically accurate profiles to help your project meet Historic Preservation codes
- ◇ The capacity to match exterior colors for unique project facades
- ◇ The ability to facilitate large sizes for taller and wider window openings

OPTIONS

- ◇ Available Configurations
 - Project-out casement
 - Push-out or Crank-out (Left or Right)
 - Continuous frame capabilities
 - Fixed
- ◇ Muntin Choices
 - Internal or simulated divided lites available
- ◇ Hardware
 - Limit Travel Accessories
- ◇ Screen
 - Wicket Screen (Push-out model only)
- ◇ Glazing
 - Multiple Low-E and argon glazing choices
 - Glazing pocket can accept 1 3/8" insulating glass for sound attenuation purposes
 - Capillary tubes
 - Wide variety of glazing, tinting and thickness options
- ◇ Panning & Trim Choices
 - Wide variety of panning, receptor and trim available
- ◇ Mulling
 - Wide variety of structural mulls

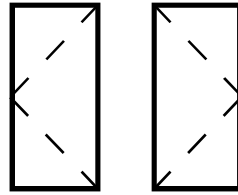
PERFORMANCE

- ◇ Structural & Thermal (test reports or thermal simulations available upon request)

Model	Casement (Project-Out)
Test Size:	36" x 60"
NAFS Rating	CW-PG90-C
Air Infiltration (cfm/ft ²)	<0.30
Water (No Penetration) P.S.F.	12
U-Value (ranges based on multiple Low-E/Argon combinations)	0.39-0.44
SHGC (ranges based on multiple Low-E/Argon combinations)	0.14-0.48

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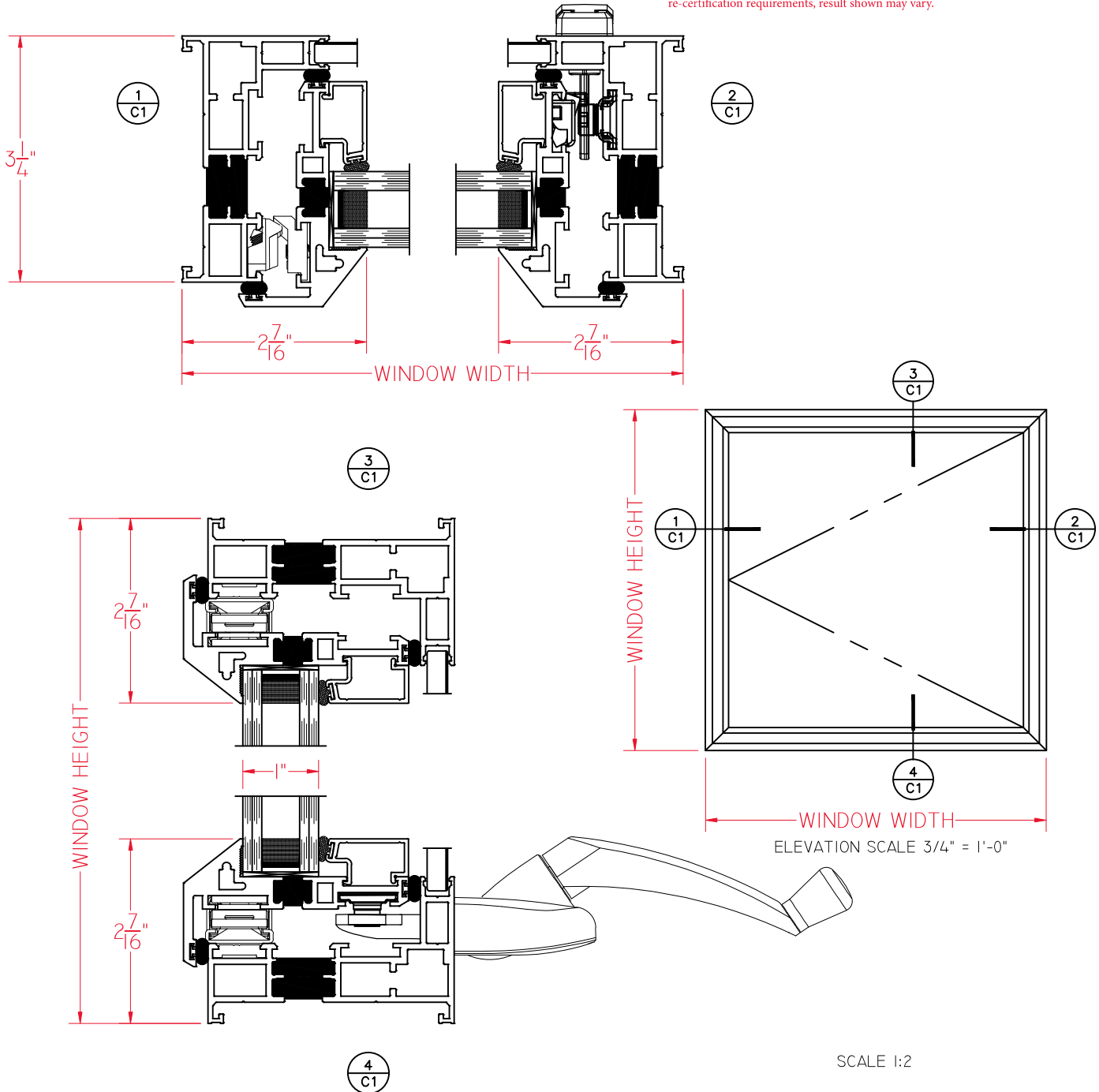




H450 Series 3 1/4" Frame Depth Casement (Project-Out)

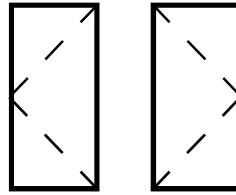
H450 CASEMENT WITHOUT NAILING FIN (CRANK OUT)

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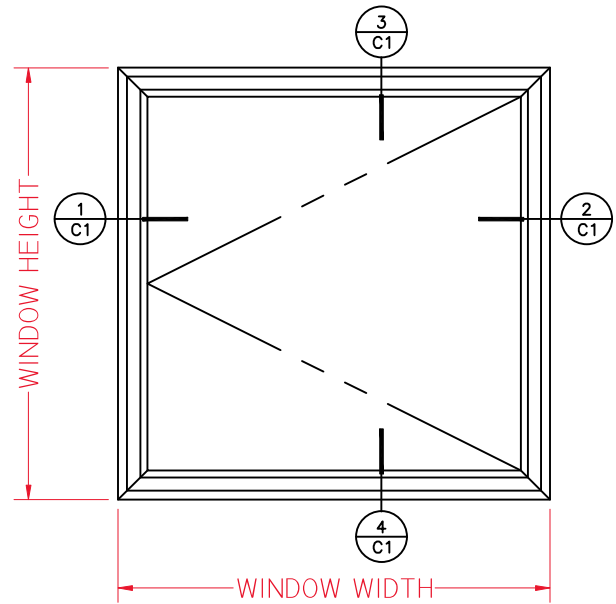
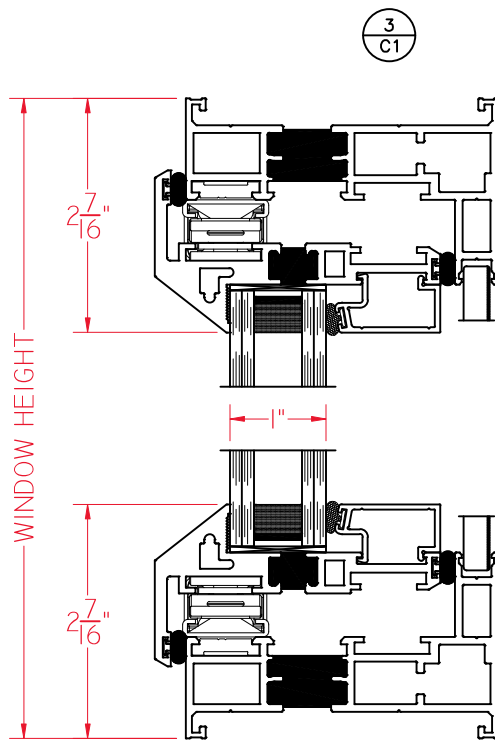
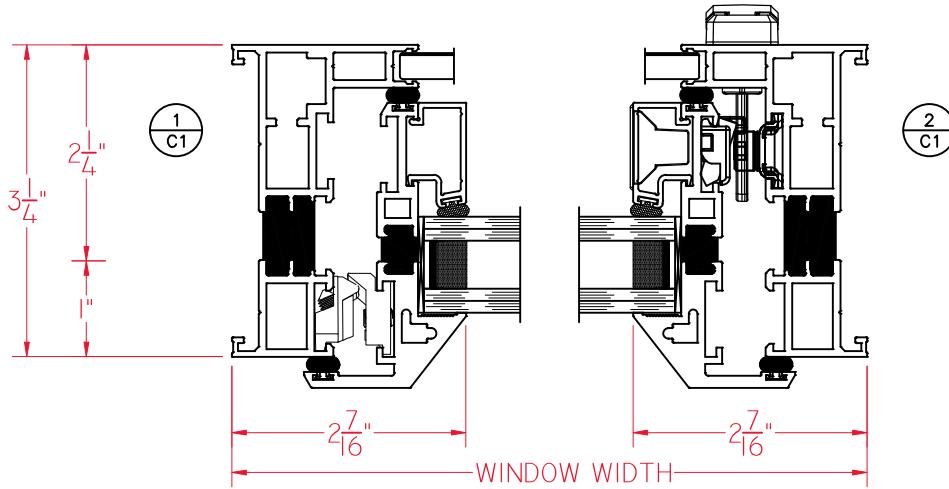




H450 Series 3 1/4" Frame Depth Casement (Project-Out)

H450 CASEMENT WITHOUT NAILING FIN (PUSHOUT)

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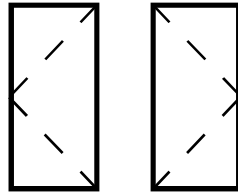
ELEVATION SCALE 3/4" = 1'-0"

4
C1

SCALE 1:2

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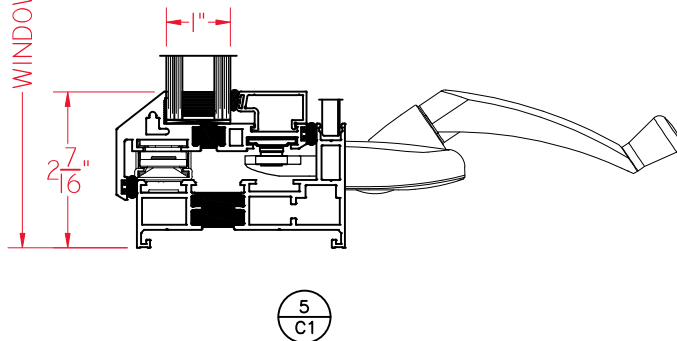
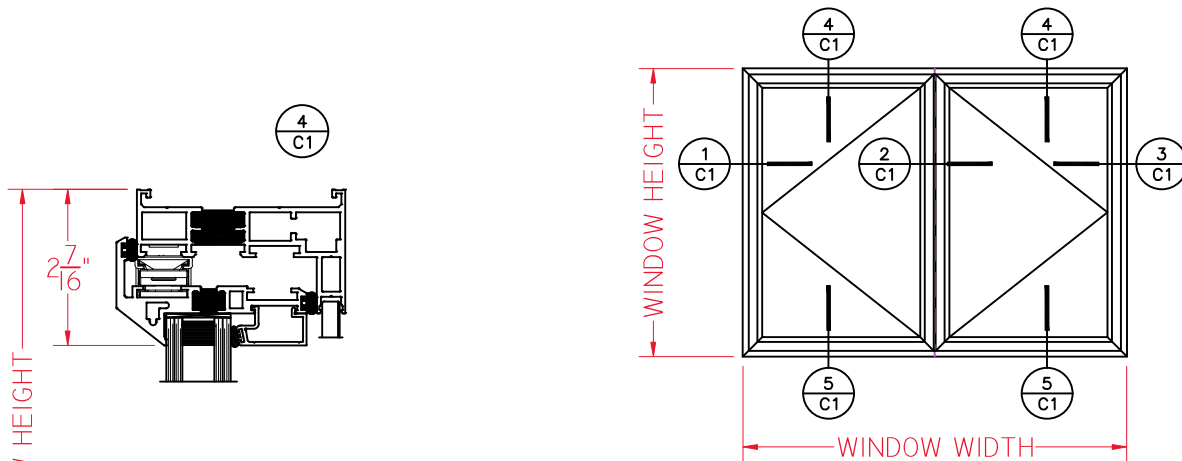
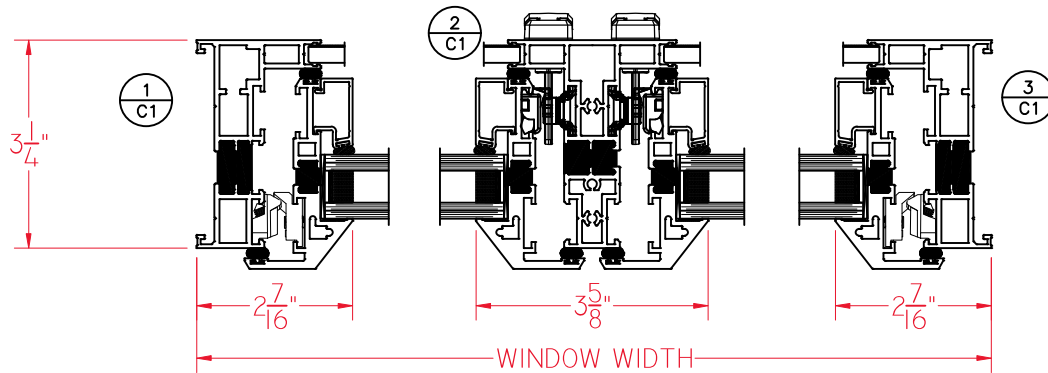




H450 Series 3 1/4" Frame Depth Casement (Project-Out)

H450 CASEMENT/CASEMENT (CRANK OUT)

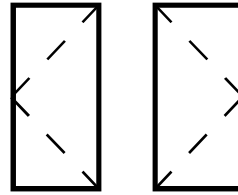
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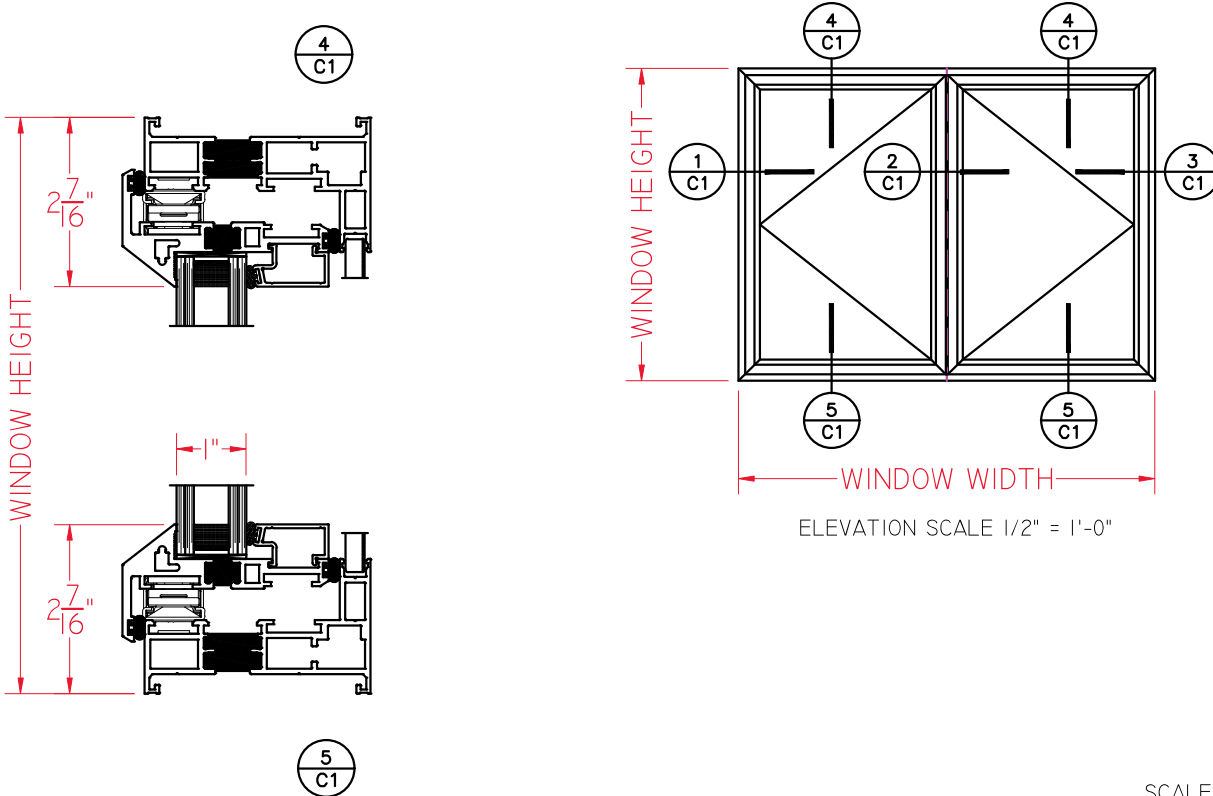
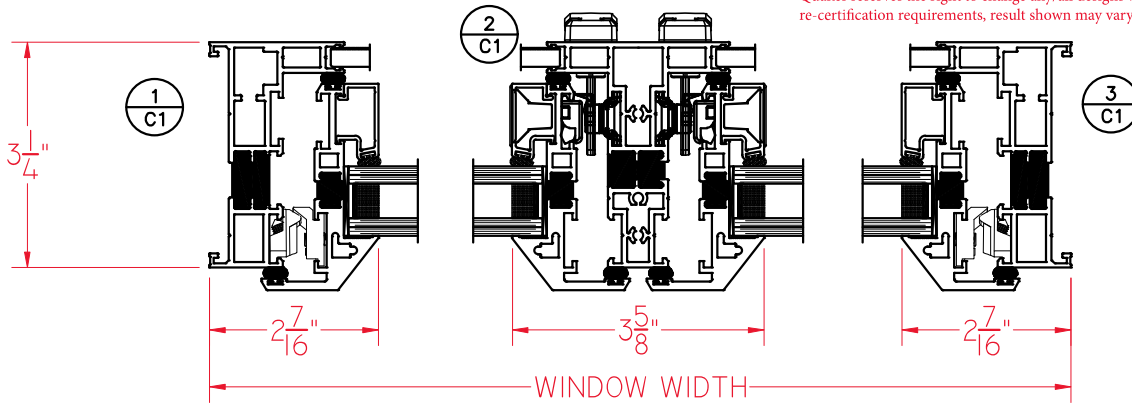




H450 Series 3 1/4" Frame Depth Casement (Project-Out)

H450 CASEMENT/CASEMENT (PUSH OUT)

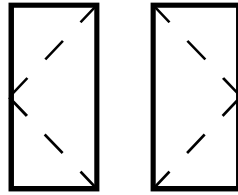
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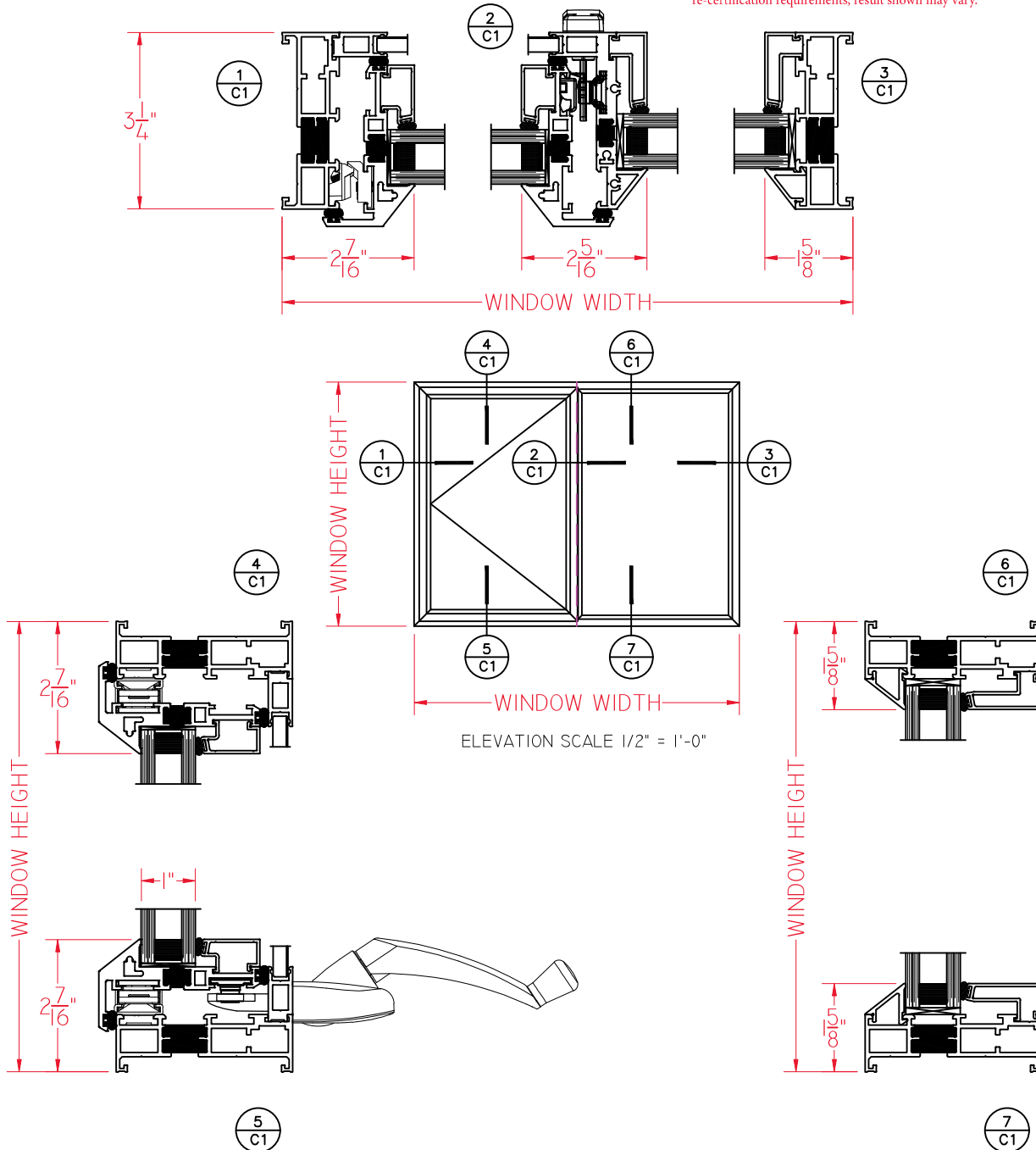
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H450 CASEMENT (CRANK OUT)/FIXED

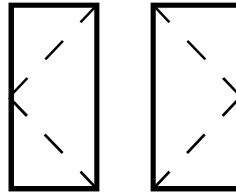
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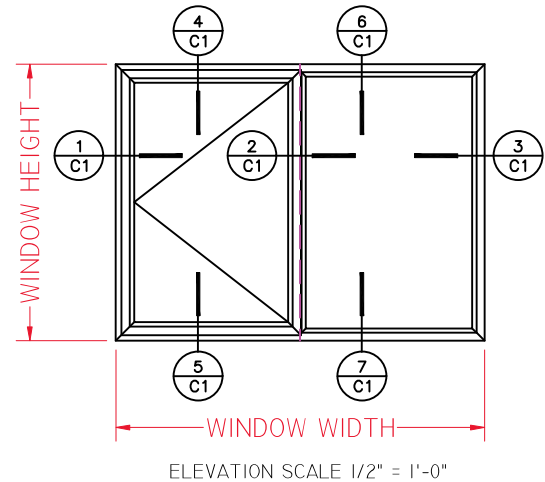
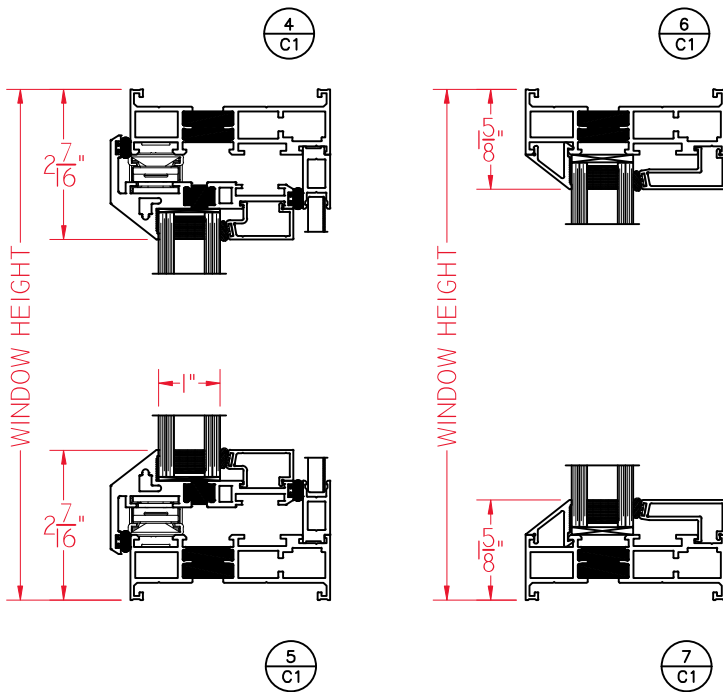
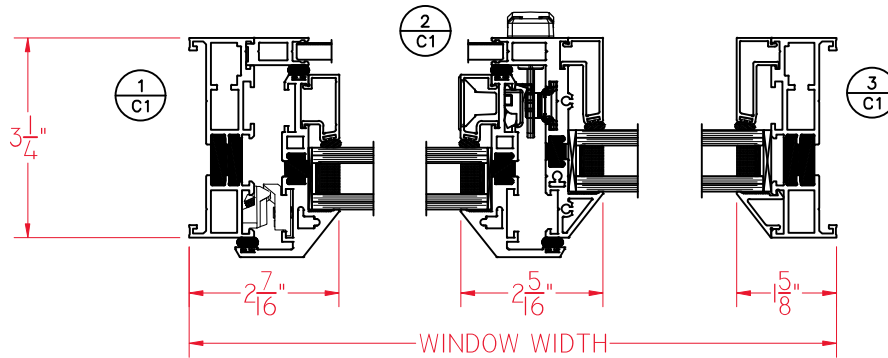




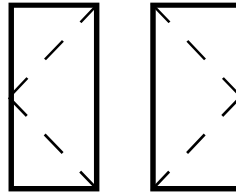
H450 Series 3 1/4" Frame Depth Casement (Project-Out)

H450 FIXED/CASEMENT (PUSH OUT)

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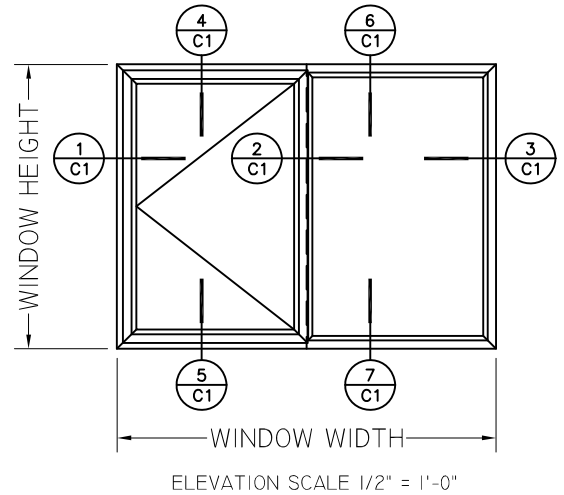
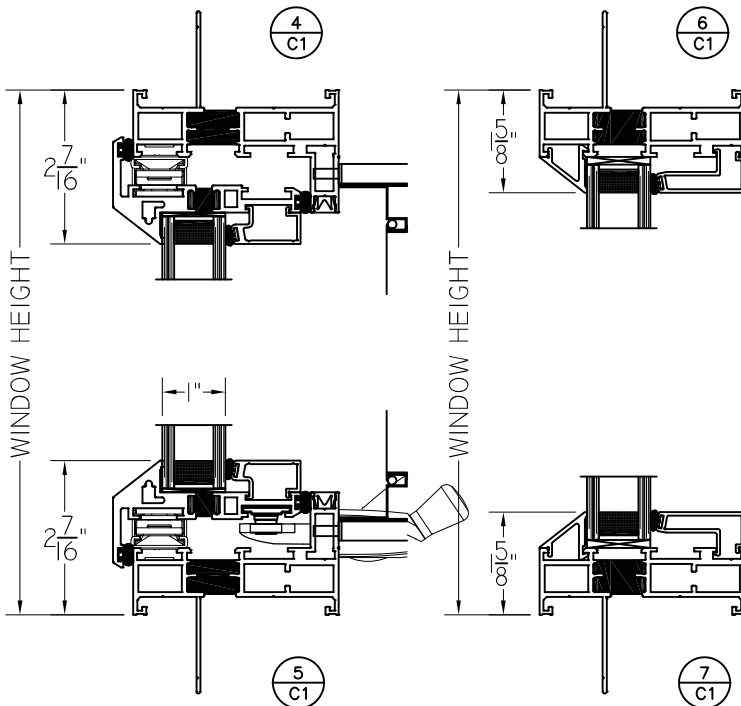
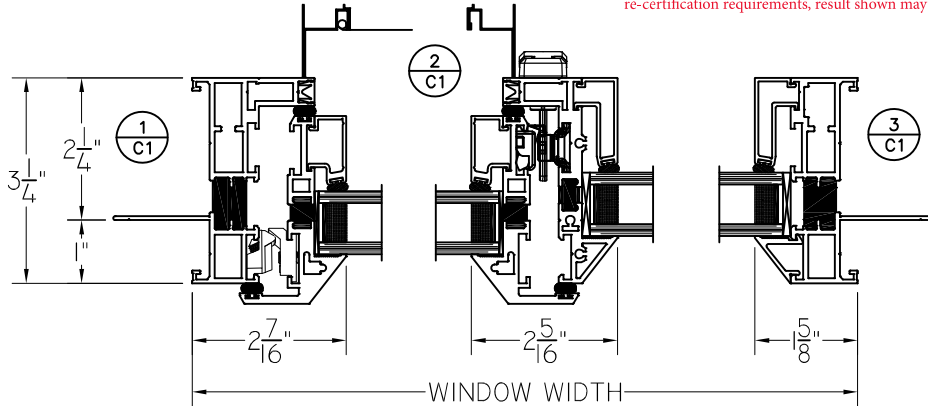
SCALE 1:3



H450 Series 3 1/4" Frame Depth Casement (Project-Out)

H450 CASEMENT/CASEMENT (PUSH OUT) WITH OPTIONAL NAIL FIN

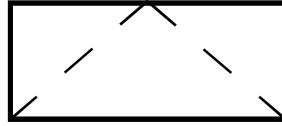
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H450 Series 3 1/4" Frame Depth Project-Out

H450 SERIES PROJECT-OUT

FEATURES

- ◇ Commercial Framing System
 - 3 1/4" main frame
 - Historically-correct bevel frame exterior
 - Minimum of 0.080" wall thickness
 - Dual Euro Groove System
 - Available with or without integral nailing fin
- ◇ Thermally Enhanced Design
 - Thermally-broken main frame and vent rails
 - Azon pour and debridge thermal break technology
- ◇ Glazing
 - 1" insulating glass
- ◇ Hardware
 - Maxim LP Locking System, 4-Bar Hinge and Roto Hardware on crank out model
 - Maxim LP Locking System, 4-Bar Hinge and Push/Pull Cup Hardware on push-out model
- ◇ Screen
 - Easily removable FlexScreen on some operating models

OPTIONS

- ◇ Available Configurations
 - Project-out
 - Push-out or Crank-out
 - Continuous frame capabilities
 - Fixed
- ◇ Floating Operator Available Configurations
 - Multiple configurations of Fixed and Operating units with up to 5 units wide or 5 units tall, all within a continuous frame (*limitations apply*)
- ◇ Muntin Choices
 - Internal or simulated divided lites available
- ◇ Hardware
 - Limit Travel Accessories
- ◇ Screen
 - Wicket Screen (push-out model only)
- ◇ Glazing
 - Multiple Low-E and argon glazing choices
 - Glazing pocket can accept 1 3/8" insulating glass for sound attenuation purposes
 - Capillary tubes
 - Wide variety of glazing, tinting and thickness options
- ◇ Panning & Trim Choices
 - Wide variety of panning, receptor and trim available
- ◇ Mulling
 - Wide variety of structural mulls

BENEFITS

- ◇ Historically accurate profiles to help your project meet Historic Preservation codes
- ◇ The capacity to match exterior colors for unique project facades
- ◇ The ability to facilitate large sizes for taller and wider window openings

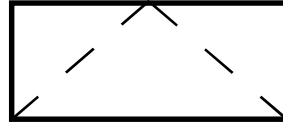
PERFORMANCE

- ◇ Structural & Thermal (test reports or thermal simulations available upon request)

Model	Project-Out
Test Size:	60" x 36"
NAFS Rating	CW-PG90-AP
Air Infiltration (cfm/ft ²)	<0.30
Water (No Penetration) P.S.F.	12
U-Value (ranges based on multiple Low-E/Argon combinations)	0.39-0.59
SHGC (ranges based on multiple Low-E/Argon combinations)	0.14-0.48

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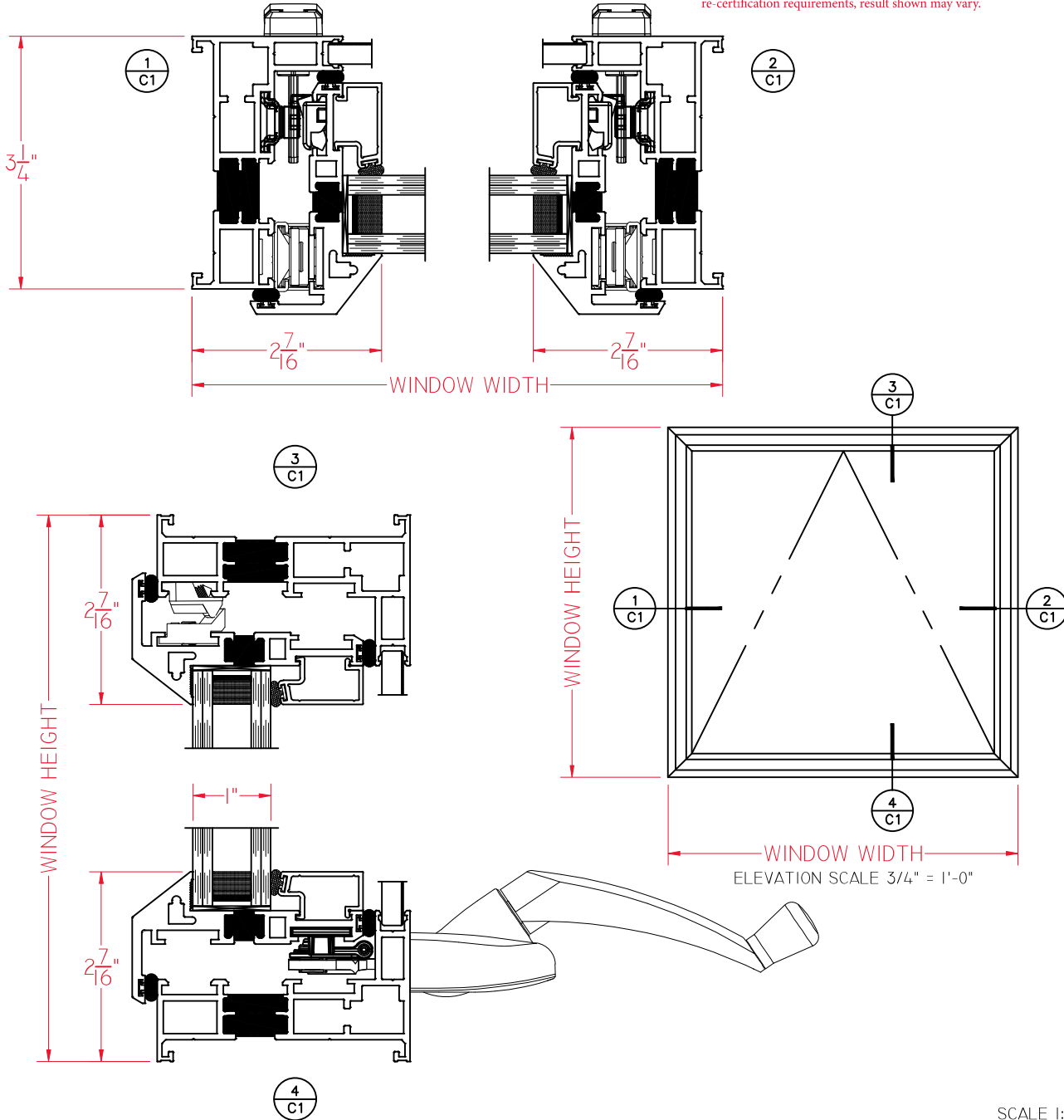


H450 Series 3 1/4" Frame Depth Project-Out

WITH ROTO
HARDWARE

H450 PROJECT-OUT

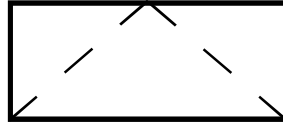
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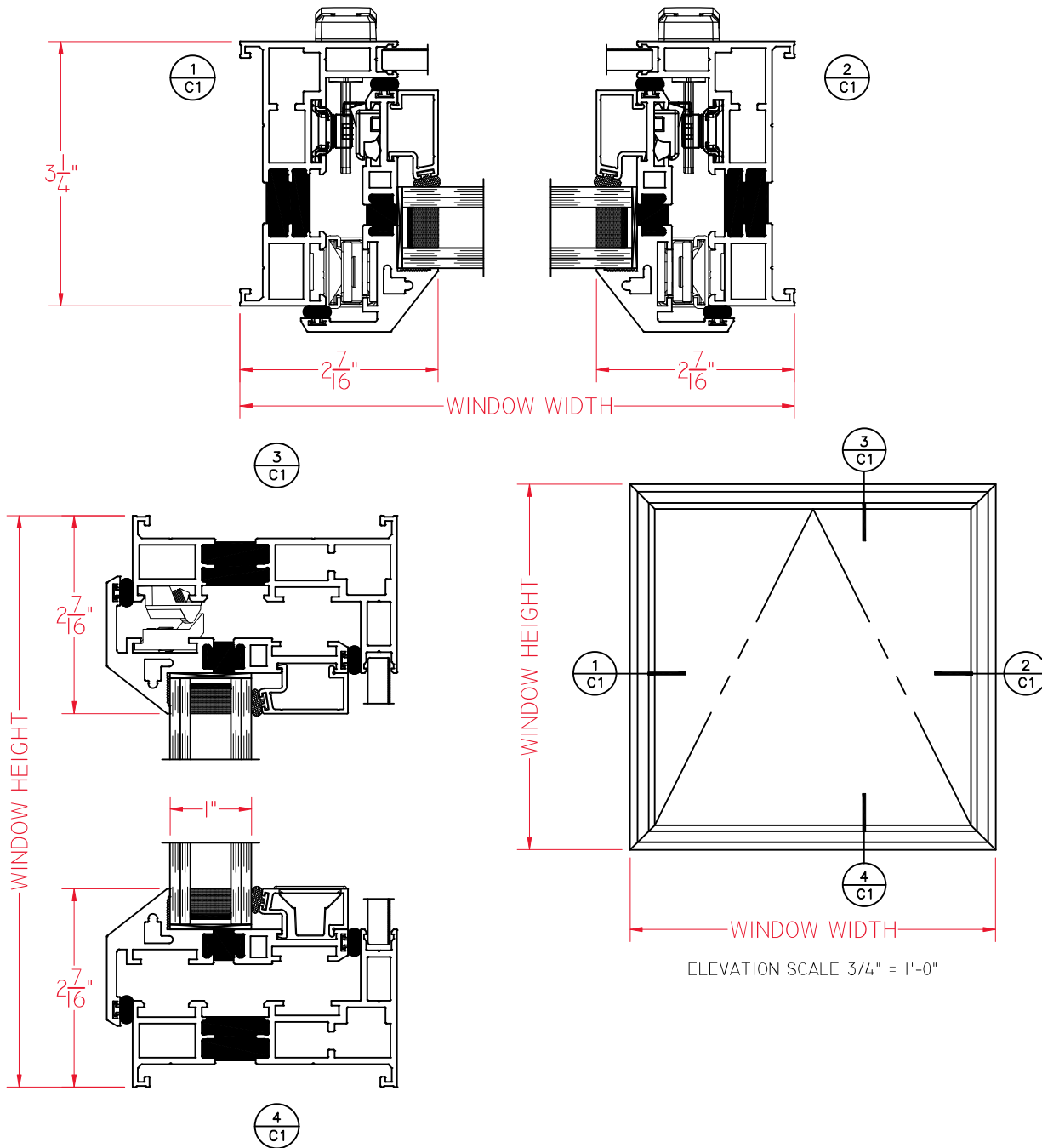


H450 Series 3 1/4" Frame Depth Project-Out

H450 PROJECT-OUT

WITH PUSH-PULL
CUP HARDWARE

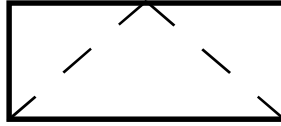
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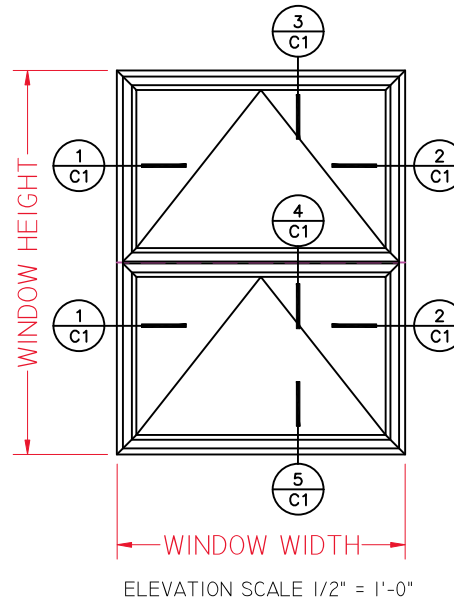
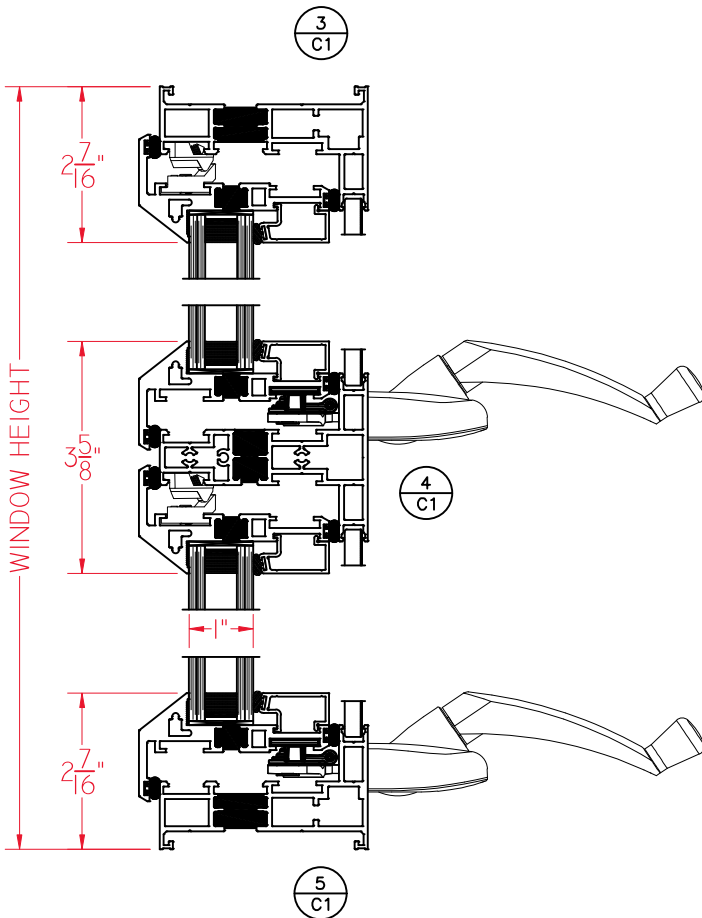
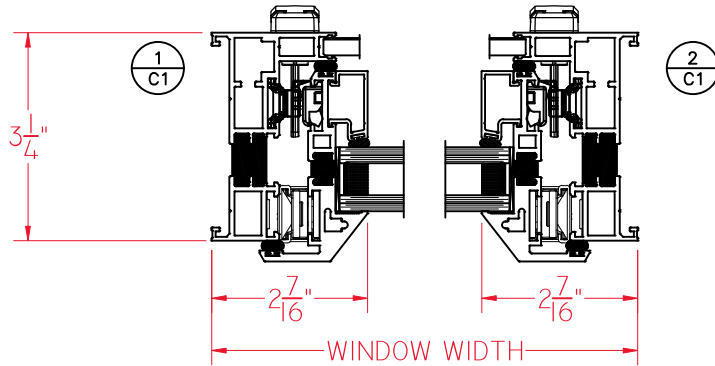


H450 Series 3 1/4" Frame Depth Project-Out

H450 PROJECT-OUT/PROJECT-OUT (STACKED)

WITH ROTO
HARDWARE

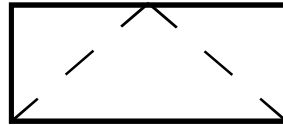
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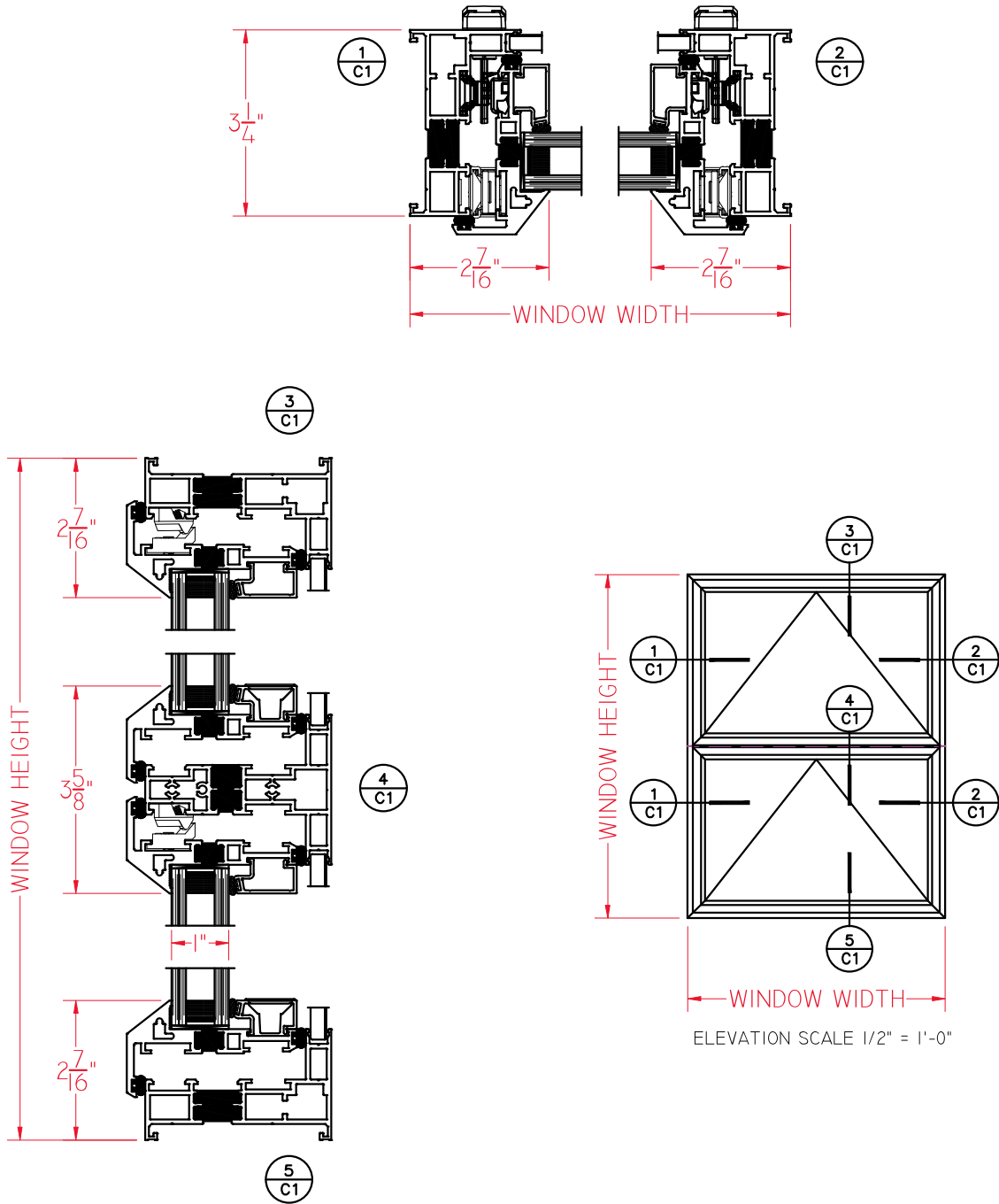


H450 Series 3 1/4" Frame Depth Project-Out

H450 PROJECT-OUT/PROJECT-OUT (STACKED)

WITH PUSH-PULL
CUP HARDWARE

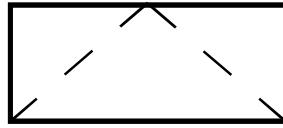
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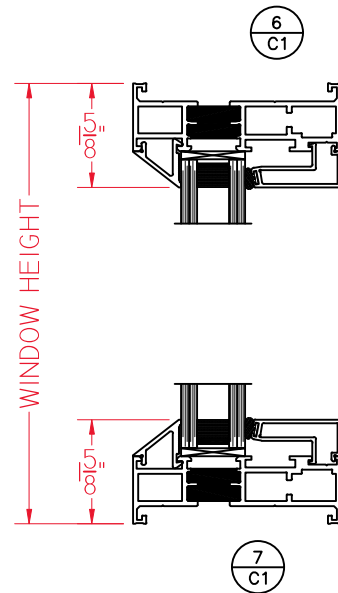
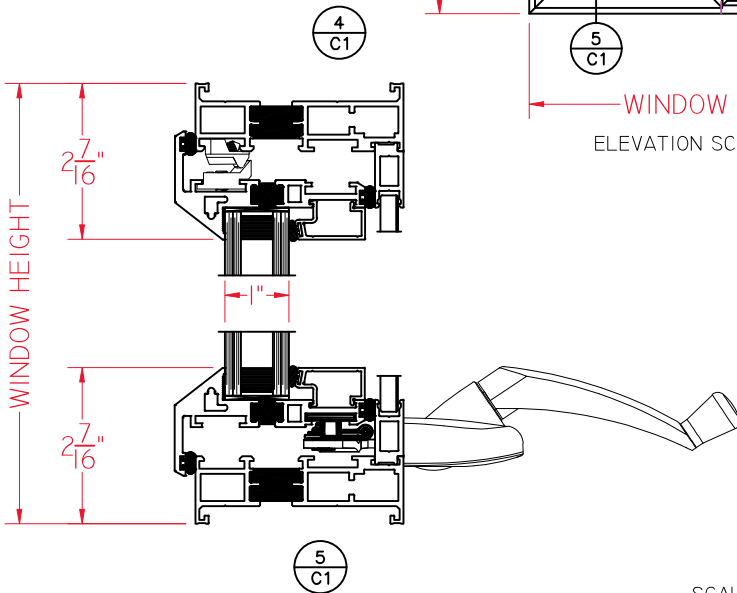
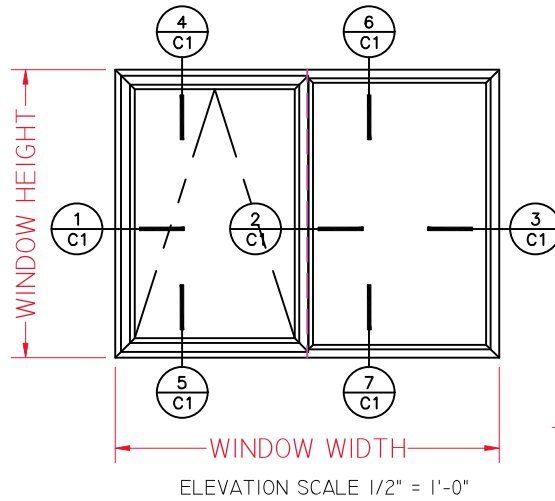
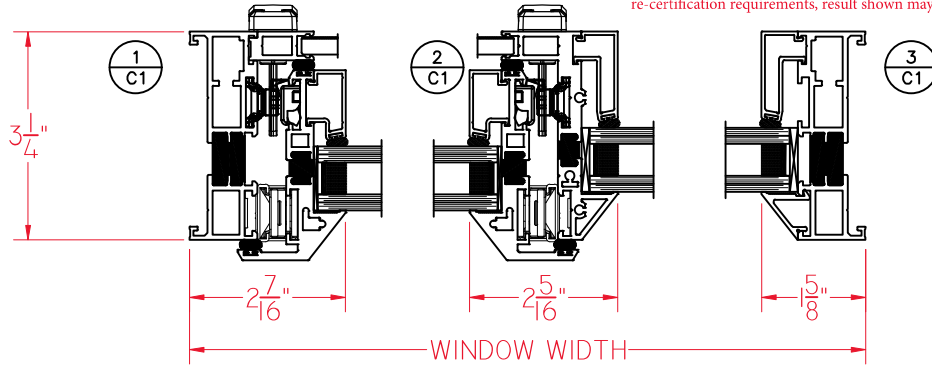


H450 Series 3 1/4" Frame Depth Project-Out

H450 PROJECT-OUT/FIXED (SIDE-BY-SIDE)

WITH ROTO
HARDWARE

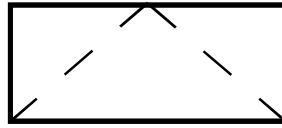
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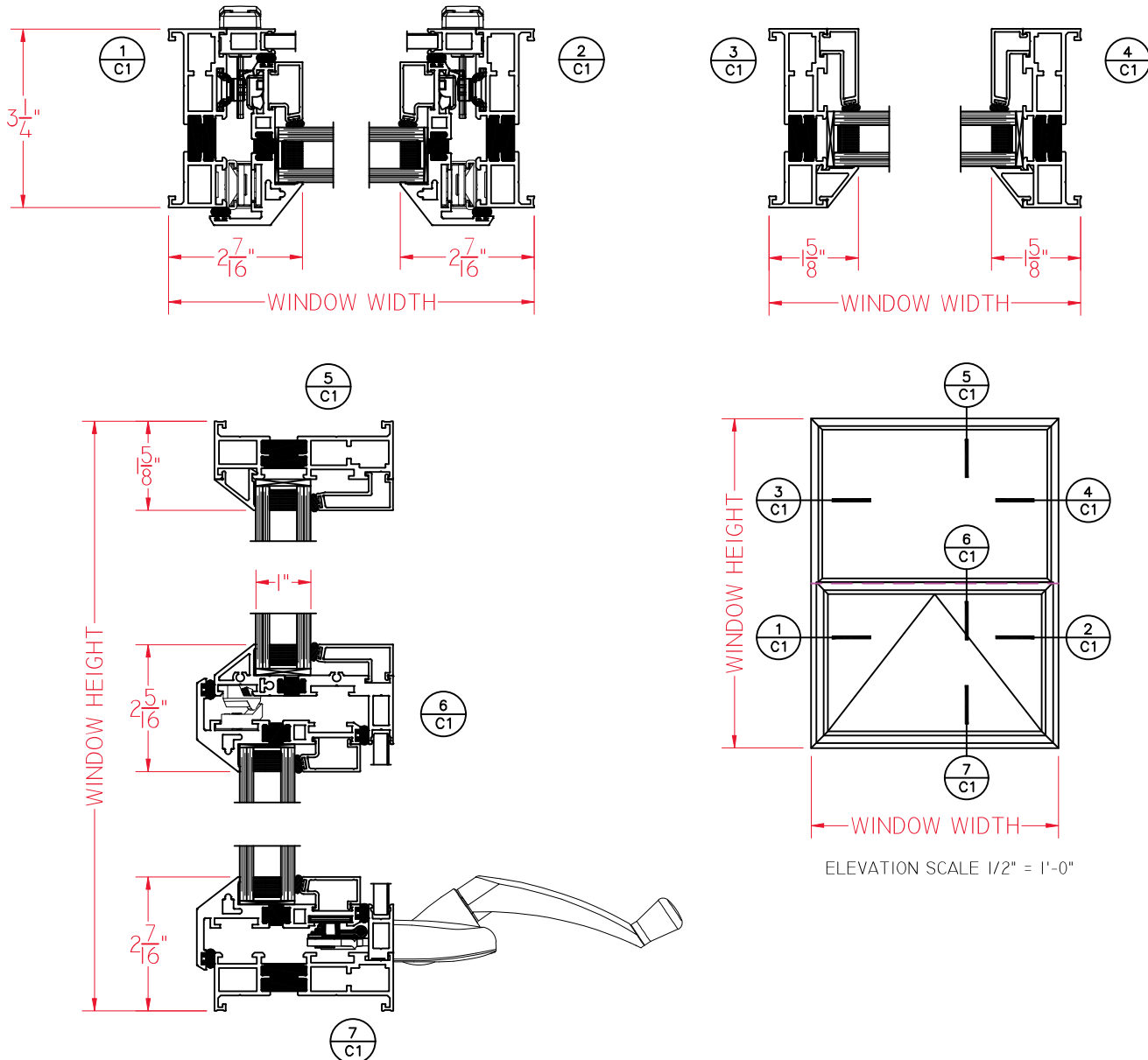


H450 Series 3 1/4" Frame Depth Project-Out

H450 PROJECT-OUT/FIXED (STACKED)

WITH ROTO
HARDWARE

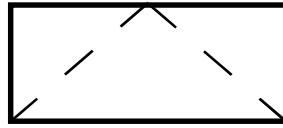
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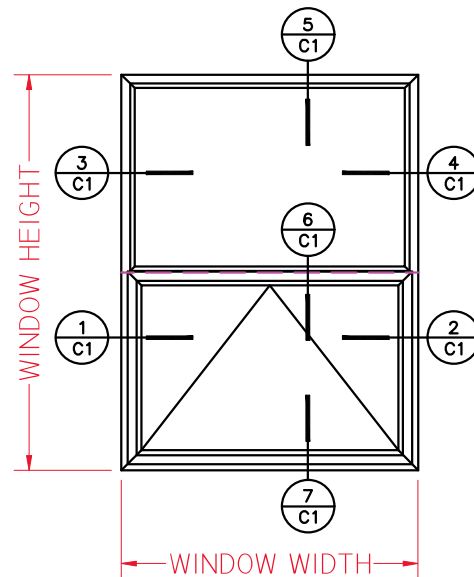
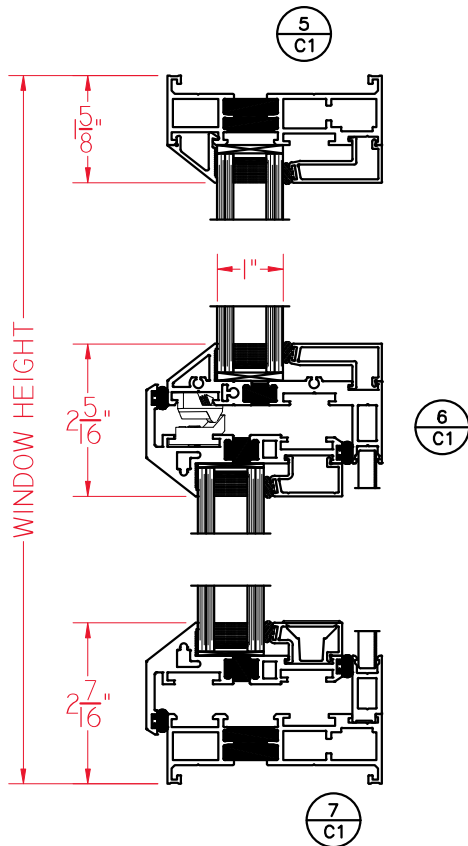
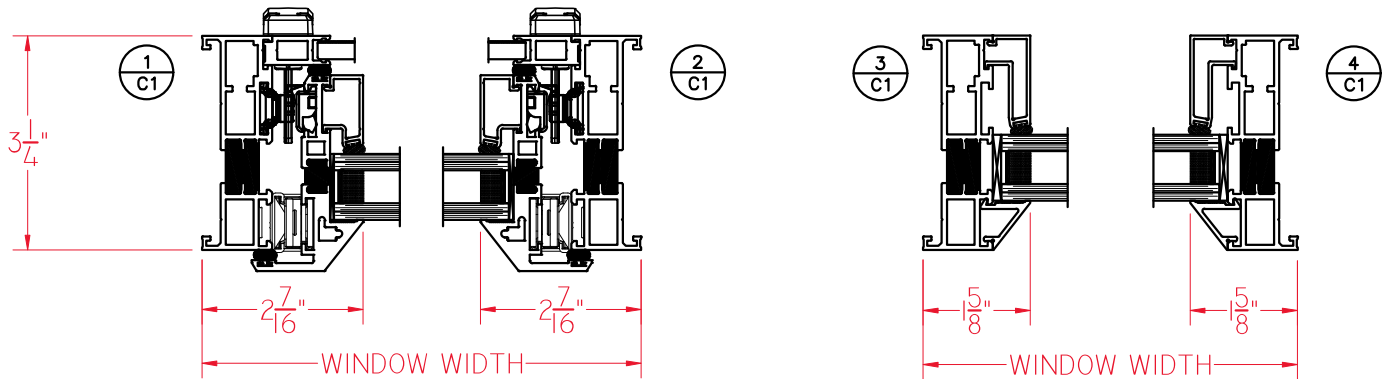


H450 Series 3 1/4" Frame Depth Project-Out

H450 FIXED/PROJECT-OUT (STACKED)

WITH PUSH-PULL
CUP HARDWARE

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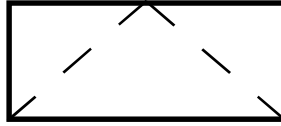


ELEVATION SCALE 1/2" = 1'-0"

SCALE 1:3

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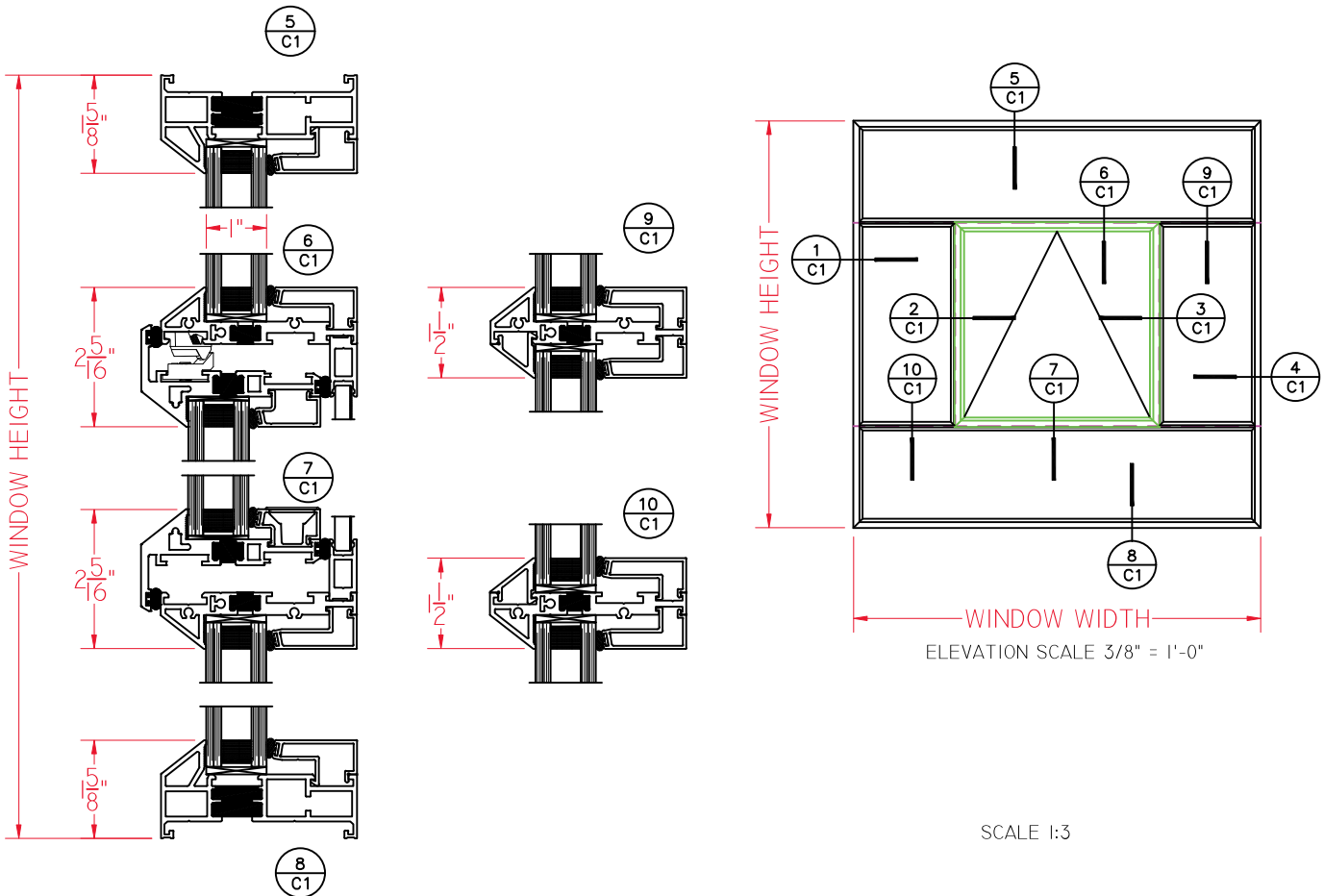
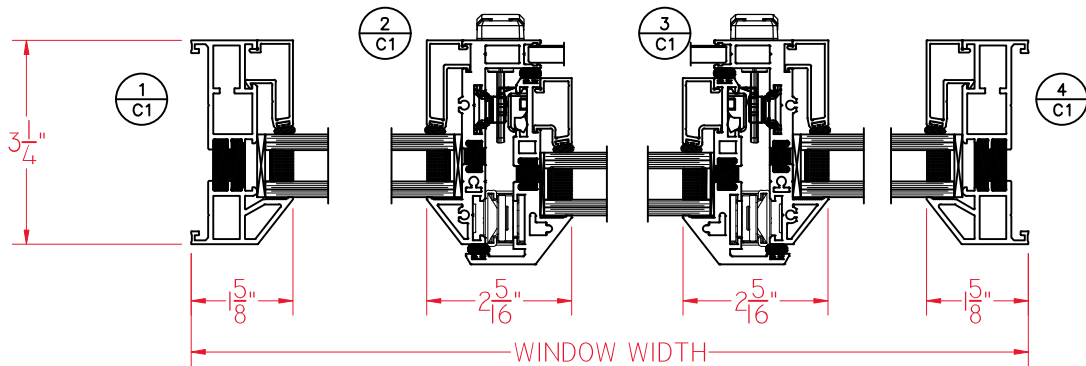


H450 Series 3 1/4" Frame Depth Project-Out

H450 FLOATING OPERATOR

WITH PUSH-PULL
CUP HARDWARE

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