

ADDRESS: 3629 HAMILTON ST

Proposal: Construct addition

Review Requested: Final Approval

Owner: Erica Darken

Applicant: Janice Woodcock, Woodcock Design

History: 1871

Individual Designation: None

District Designation: Powelton Village Historic District, Contributing, 11/09/2022

Staff Contact: Alex Till, alexander.till@phila.gov

BACKGROUND:

This application proposes to construct a two-part rear addition on an Italianate rowhouse at a contributing property in the Powelton Village Historic District. The building was constructed in 1871 and is three-stories tall with a one-story front porch, prominent cornice, and two-story rear ell. A two-story addition will be located at the rear of the building and project outward from the current rear wall of the ell by more than 26 feet. A second, smaller one-story addition will be constructed beside the current rear ell and extend to the property line on the east side. The two-part addition will expand the overall footprint of and extend slightly higher than the current rear ell of the historic building. Both portions of the addition will be clad in stucco and the two-story portion will feature a two-story bay window with siding at the rear elevation and windows along the east facing wall. The one-story portion of the addition will feature a window in the rear wall along with skylights in its roof. The rear of the building and the proposed addition will be visible from the side and rear along neighboring N. 37th Street.

SCOPE OF WORK:

- Construct a two-part rear addition.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The proposed new addition does not meet Standard 9. It is too large, and is not compatible with the massing, size, and scale of the historic building or district.

STAFF RECOMMENDATION: Denial, pursuant to Standard 9.

IMAGES:

Figure 1: 1895, G. W. Bromley Atlas. Property outlined in red.

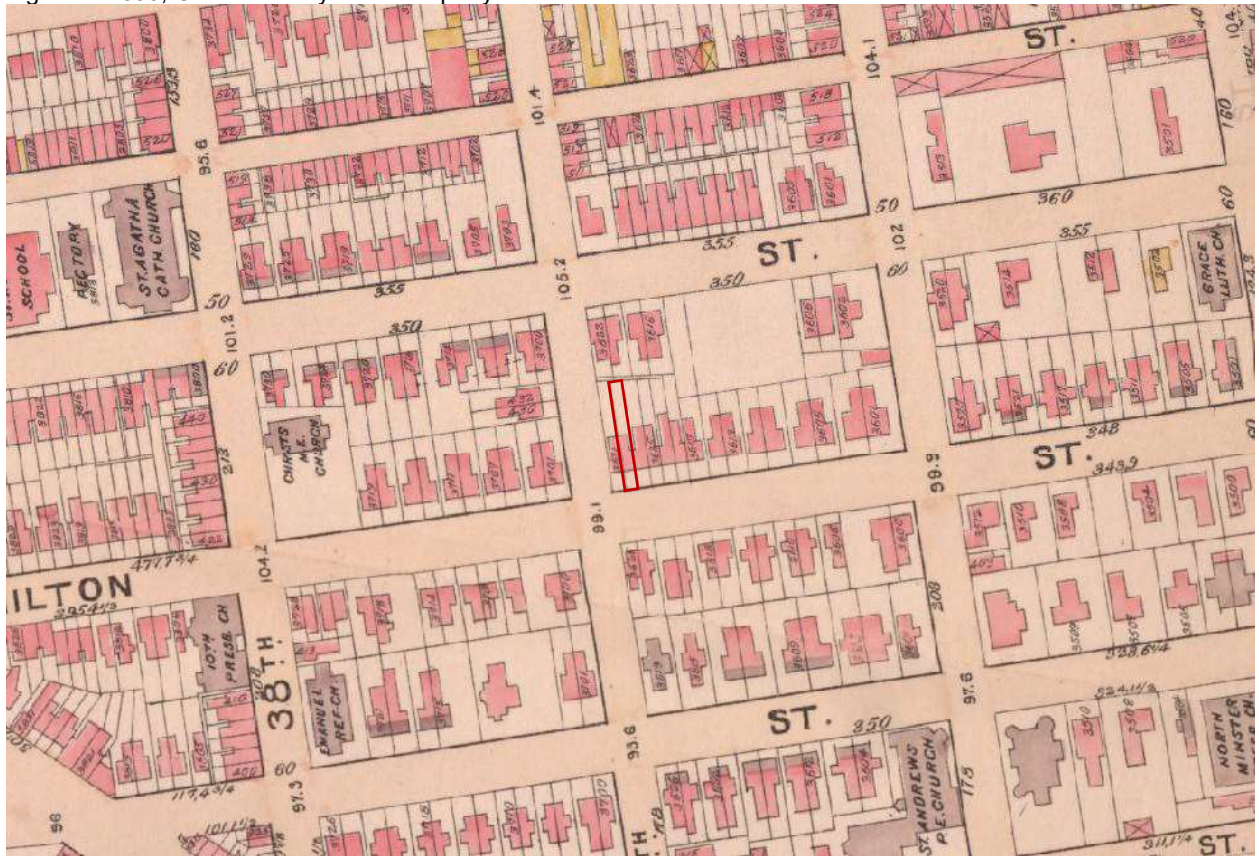


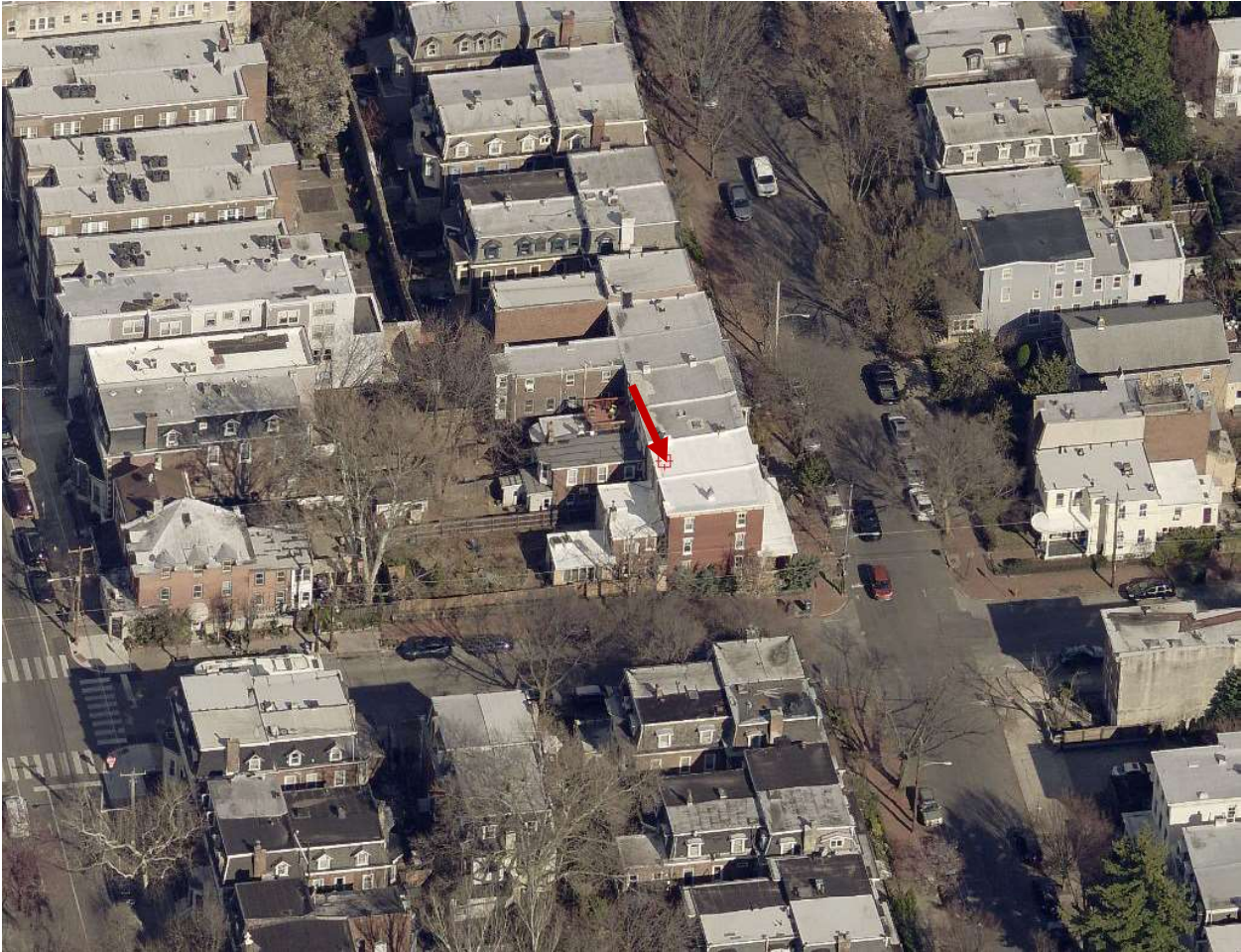
Figure 2: View of front façade of 3629 Hamilton St from Hamilton St:



Figure 3: View of side of 3629 Hamilton St from N 37th St, arrow indicates current rear wall of property:



Figure 4: Aerial view of 3629 Hamilton St from the West:



DATE: April 8th, 2024

TO: Kim Chantry
Historic Preservation Planner
Philadelphia Historic Commission
1515 Arch Street, 13th Floor
Philadelphia, PA 19102

FROM: Woodcock Design, Inc.
1518 Walnut St. Ste 1308
Philadelphia, PA 19102

RE: **3629 Hamilton St**
RP-2024-002840

We are requesting review of the proposed interior renovation and rear addition of the above referenced property, which is located within the Powelton Village Historic District and listed as a historic resource. The existing building facades are brick (front) with wood porch, and stucco siding at exposed sides and back.

The Powelton Village neighborhood received historic designation in 1985 from the National Trust for Historic Preservation for its buildings built between 1860 and 1910 in Victorian styles from early Italianates to Queen Anne and into Colonial Revival¹. Powelton Village Civic Association provides an interactive map guided by census data to provide further detail on each property. For 3629 Hamilton, the following is noted:

3621-3631: "three-story red brick Victorian rowhouse; two registers with segmental stone lintels, decorative carved wood cornices and brackets.... all but 3625 (Victorian porch) have circa 1905 Colonial Revival porches."²

We propose a two-story addition with stucco siding to match the existing, rear bay clad with exterior flat-panel siding and black standing seam roof, and white trimmed double-hung windows to match existing. On the east side, the addition is one story with stucco siding, and two low-profile skylights. The two-story addition at rear mimics the neighboring property to the east (3627 Hamilton) in depth and bay window.

The existing front façade remains unchanged. The addition is not visible from Hamilton St. The addition's size and height have been designed to fit into the surrounding neighborhood.

We look forward to your review.

Sincerely,



Janice Woodcock, Principal
Woodcock Design Inc.

¹ <https://poweltonvillage.org/history/>

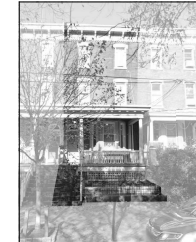
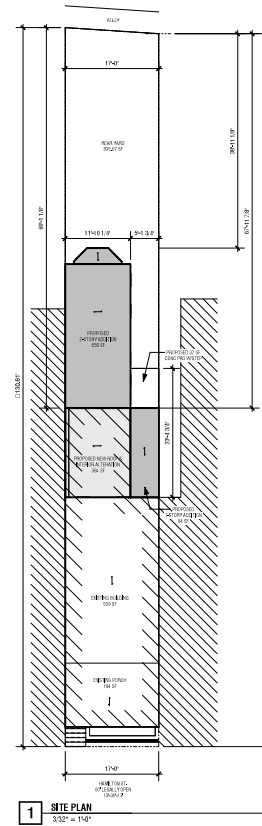
² <http://old.poweltonvillage.org/interactivemap/files/3629hamilton.htm>

GENERAL NOTES

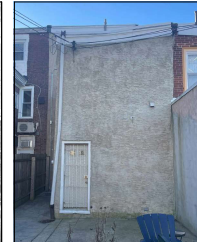
1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND CONFIRMING THAT PERMITS FOR SUBCONTRACTORS HAVE BEEN SECURED.
2. THE CONTRACTOR SHALL INVESTIGATE THE JOB SITE TO COMPARE THE CONTRACT DOCUMENTS WITH EXISTING CONDITIONS. INCLUDE COST FOR ALL WORK DESCRIBED BY CONTRACT DOCUMENTS AND REQUIRED OR IMPLIED BY EXISTING CONDITIONS. NOTIFY ARCHITECT IF ANY CONFLICT BETWEEN EXISTING CONDITIONS AND NEW WORK.
3. THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION AND DELIVERY COSTS, INCLUDING REMOVAL OF TRASH AND DEBRIS, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK.
4. THE GENERAL CONTRACTOR SHALL COORDINATE SCHEDULING, PROVISIONS FOR INSTALLATION, LOCATIONS, AND THE ACTUAL INSTALLATION OF ITEMS FURNISHED BY OWNER OR OTHERS.
5. THE SCOPE OF WORK REPRESENTED IN THE DRAWINGS SHALL RESULT IN A COMPLETED PROJECT. SOME WORK NOT SHOWN IS IMPLIED AND SHALL BE INCLUDED.
6. THE CONTRACTOR SHALL COMPLY WITH SPECIAL REQUIREMENTS FOR WORKING AT THE PHILADELPHIA ZOO.
7. THE CONTRACTOR SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST PROPER PERFORMANCE OF INSTALLED MATERIALS. ADVISE ARCHITECT OF ANY EXISTING CONSTRUCTION NOT LEVEL, SMOOTH AND UNIFORM WITH INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.
8. SUBMIT WINDOW AND DOOR PRODUCT DATA, SCHEDULES, AND SHIP DRAWINGS FOR ARCHITECT APPROVAL. SUBMIT SHIP DRAWINGS, PRODUCT CUTS AND CONTROL DEVICES FOR ARCHITECT AND ENGINEER APPROVAL. SUBMIT FINISHES, FUTURE PRODUCT DATA AND SHIP DRAWINGS FOR BATHROOM LAVATOIRES FOR ARCHITECT AND ENGINEER APPROVAL. SUBMIT HARDWARE PRODUCT DATA TO VERIFY COMPLIANCE WITH PRODUCT REQUIREMENTS.
9. THE CONTRACTOR SHALL PROVIDE MATERIALS SO AS NOT TO DELAY SUBSTANTIAL COMPLETION, NOT BY ARCHITECT, AT THE END OF EXECUTION OF CONTRACT OF ANY MATERIAL DELIVERY WHICH COULD DELAY COMPLETION OF CONTRACT.
10. ALL WORK SHALL BE PERFORMED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE THE GENERAL CONTRACTOR AND ANY SUBCONTRACTORS.
11. PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARD OF WORKMANSHIP.

SCOPE OF WORK - EXISTING BUILDING

- 0000 GENERAL INFORMATION - EXISTING STRUCTURE
 - SCOPE OF WORK WILL INVOLVE ONE STRUCTURE
 - THE PARTIAL INTERIOR ALTERATION OF EXISTING 2-STORY SINGLE FAMILY ATTACHED DWELLING
 - 2-STORY ATTACHED ADDITION ATTACHED AT THE BACK OF DWELLING
 - 1-STORY ADDITION AT SIDE OF DWELLING
 - NO CHANGE IN THE OCCUPANCY OF THE BUILDING
 - THERE IS NO INCREASE IN THE HEIGHT OF THE EXISTING STRUCTURE
 - THE AREA OF THE STRUCTURE WILL INCREASE FROM 1811 SF TO 2063 SF
- 0100 GENERAL CONTRACTING
 - OBSERVE WORK RELATED REQUIREMENTS FOR THE IBC 2018
 - COMPLY WITH ALL APPLICABLE CODES AND STANDARDS REFERENCED BY THE UCC
 - SELECT THE QUALITY OF INTERIOR SPACE TO REMOVE KITCHEN APPLIANCES, CASEWORK, AND PARTITIONS
 - NEW OPENINGS IN EXISTING MASONRY WALLS
 - POUR NEW FOUNDATIONS FOR ADDITIONS
 - POUR CURB FOR NEW CONCRETE CURB AT GRADE
- 0200 CONCRETE
 - POUR CONCRETE
 - POUR CURB FOR NEW CONCRETE CURB AT GRADE
- 0400 MASONRY
 - NOT APPLICABLE
- 0500 METALS
 - NEW STANDING SEAM METAL ROOFS
 - WOOD & PLASTICS
 - INSTALL NEW FRAMING & SLOTTING
 - INSTALL NEW DOORS & HARDWARE
 - INSTALL NEW CABINETS
- 0700 THERMAL & MOISTURE CONTROL
 - NEW INSULATION FOR WALLS & CEILING
 - REPLACE EXISTING ROOF ON CANTON AREA OF EXISTING STRUCTURE
 - MOISTURE BARRIER FOR NEW FOUNDATIONS
- 0800 DOORS & WINDOWS
 - NEW WOOD DOORS & FRAMES
 - NEW WINDOWS AND FRAMES
 - NEW SLIDING GLASS DOORS
 - NEW MIRRORS
- 0900 FINISHES
 - DWG WOOD STUD PARTITIONS
 - FLOORS, NEW WOOD FLOORS THROUGHOUT - TILE IN BATHROOMS AND KITCHEN
 - TILE WALLS - SHOWERS AND BACKSPLASH
 - PANEL - WALLS ABOVE TILE & CEILING
- 1000 SPECIALTIES
 - NEW APPLIANCES
- 1100 EQUIPMENT
 - NOT APPLICABLE
- 1200 FURNISHINGS
 - NOT APPLICABLE
- 2100 FIRE PROTECTION
 - SMOKE ALARMS AND CARBON MONOXIDE DETECTORS
- 2200 PLUMBING
 - NEW TOILETS AND SINKS
 - MISCELLANEOUS PLUMBING
 - NOT APPLICABLE
- 2400 HVAC
 - OWNER SEPARATE PERMIT
- 2600 ELECTRICAL
 - REPLACE EXISTING LIGHT FIXTURES
 - NEW LIGHTING FIXTURES AND ELECTRICAL DEVICES IN ADDITIONS



EXISTING CONDITIONS - FRONT



EXISTING CONDITIONS - REAR

3629 HAMILTON

2-STORY ADDITION

DRAWING SYMBOLS

	ROOM NAME	ROOM TAG		BUILDING SECTION	
	CEILING TAG		DOOR TAG		GRID HEAD
	WALL TAG		DRAWING NO.		BUILDING ELEVATION
	WALL TAG		SHEET NO.		INTERIOR ELEVATION
	WINDOW TAG		CENTERLINE		
	WINDOW TAG				
	PLAN NOTE				
	MATERIAL TAG				
	EQUIPMENT TAG				

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	EXT	EXTERIOR	MTL	METAL
ADJ	ADJUSTABLE	FF	FIBER FLOOR	OP	OPPOSITE
AFB	ABOVE FINISH FLOOR	FR	FLOOR FINISH (ED)	OPP	OPPOSITE HAND
ALUM	ALUMINUM	FL	FLOOR	PCP	PORTLAND CEMENT PLASTER
ALT	ALTERNATE	FOC	FACE OF CONCRETE	PLYWD	PLYWOOD
AND	AND	FOB	FACE OF GRADE BEAM	PAINT (ED)	PAINT (ED)
AND	AND	FOM	FACE OF MASONRY	REF	REFER, REFERENCE
BO	BOARD	FRP	FIBERGLASS REINFORCED PANEL	RM	ROOM
BLDG	BUILDING	GA	GARAGE OR GARAGE	ROT	ROTATED
BM	BENCH MARK	GDW	GYPSONUM DRYWALL	SCHED	SCHEDULE (ED)
BOT	BOTTOM	GL	GYPSONUM WALL BOARD	SMT	SHEET
CB	CORNER BRACKET	GWB	GYPSONUM WALL BOARD	SMB	SHEAR
CL	CENTER LINE	HC	HOLLOW CORE	SPFC	SPRINKLER (ED)
CLR	CLEAR	HON	HOLLOW	STD	STANDARD
CMU	CONCRETE MASONRY UNIT	HM	HOLLOW METAL	STL	STEEL
COL	COLUMN	HM	HOLLOW METAL	STRCT	STRUCTURE (ALL)
CONC	CONCRETE	HM	HOLLOW METAL	TEMP	TEMPORARY
CONT	CONTINUE (DOW)	HVC	HIGH-VENTILATING	THK	THICK
DBL	DOUBLE	INSUL	INSULATION	TRUSS	TRUSS
DET	DETAIL	LEV	ELEVATION	TYRCL	TYPICAL
DR	DOOR	LGT	LIGHT (ING)	UND	UNDERNEATH OTHERWISE
DWG	DRAWING	MAX	MAXIMUM	VCT	VINYL COMPOSITION TILE
DS	DOWNSPOUT	MAS	MASONRY	VST	VERTICAL
EJ	ELECTRICAL JUNCTION	MD	METAL BUILDING SUPPLIER	VERIF	VERIFY IN FIELD
ELEV	ELEVATION	MCH	MECHANICAL	WC	WATER CLOSET
ELEC	ELECTRICAL	MW	MISCELLANEOUS	WD	WOOD
EQ	EQUAL	MEC	MISCELLANEOUS	WH	WATER HEATER
EX	EXISTING	MO	MASONRY OPENING	WT	WET
EXIT	EXIT	NO	NOT		
EXIT	EXIT	NO	NOT		

BUILDING CODE SUMMARY

ALL WORK IS DESIGNED TO COMPLY WITH THE FOLLOWING:

- PENNSYLVANIA UNIFORM CONSTRUCTION CODE (IBC 2018)
 - IBC (2015 WITH PHILADELPHIA AMENDMENTS)
 - PHILADELPHIA PLUMBING CODE
 - NATIONAL ELECTRICAL CODE
 - NATIONAL PLUMBING CODE
 - ALL APPLICABLE CODES AND STANDARDS REFERENCED BY THE UCC
- MFP & PLUMBING WORK SHALL BE PERFORMED UNDER SEPARATE PERMITS OBTAINED BY A CONTRACTORS LICENSED IN THE CITY OF PHILADELPHIA.
- EXISTING BUILDING DESCRIPTION: THREE STORY SINGLE FAMILY RESIDENCE. ATTACHED, MASONRY BUILDING WITH INTERIOR STEEL AND WOOD STRUCTURE.
- CONSTRUCTION TYPE: 3B
 EXISTING USE GROUP: R3A-6
 PROPOSED USE GROUP: R3A-6
 EXISTING HEIGHT & AREA: 32'-0" - 308 SF
 PROPOSED HEIGHT & AREA: 32'-0" - 1388 SF
- SPRINKLERED: NO
 SPRINKLERS REQUIRED: NO
- MFC PROTECTION SYSTEMS: SMOKE DETECTORS PROVIDED AND REQUIRED IN SLEEPING AREAS.
- WALL FINISHES, CEILING FINISHES, AND INSULATION SHALL BE IN COMPLIANCE WITH SECTIONS 302.8 AND 302.10 OF THE 2018 IBC
- ZONING PERMIT REF # ZP-2024-0401-027

SHEET INDEX

SHEET NO.	SHEET NAME	CURRENT REVISION	ISSUE DATE
G-100	CODE SUMMARY, SCOPE OF WORK		
G-110	RENOVATION PLANS		
A-100	FLOOR PLANS		
A-200	REFLECTED CEILING PLANS		
A-300	ELEVATIONS & SECTIONS		
A-400	PARTITION TYPES, DETAILS, SCHEDULES		
A-401	DETAILS		
A-402	INTERIOR ELEVATIONS		
S-000	STRUCTURAL GENERAL NOTES		
S-100	STRUCTURAL DWGS		

PROJECT SUMMARY

- PARTIAL INTERIOR ALTERATION OF EXISTING 2-STORY SINGLE FAMILY ATTACHED DWELLING
- 2-STORY ATTACHED ADDITION ATTACHED AT THE BACK OF DWELLING
- 1-STORY ADDITION AT SIDE OF DWELLING



OWNER
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SEE ENGINEERING
 JAY ROSEN
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 PHILADELPHIA, PA 19106
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3629 HAMILTON

3629 HAMILTON STREET
 PHILADELPHIA, PA 19104

DATE: 2024.08.13

SCALE: 1/8" = 1'-0"

PROJECT NO: 2024-0401-027

BUILDING PERMIT

DATE: 2024.08.13

CODE SUMMARY, SCOPE OF WORK

DATE: 2024.08.13

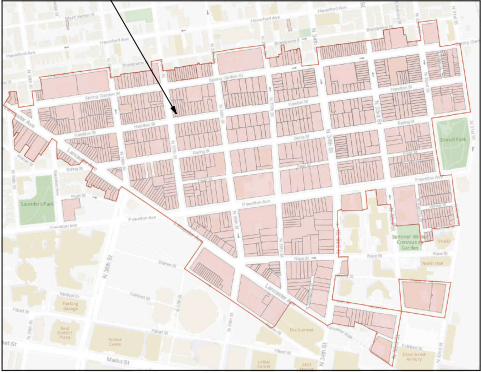
SCALE: 1/8" = 1'-0"

PROJECT NO: 2024-0401-027

G-100



3629 HAMILTON STREET



PHC HISTORIC DESIGNATIONS MAP

3629 HAMILTON ST.



IMAGE 1 - 04.04.2024 - EXISTING CONDITIONS



IMAGE 2 - 04.04.2024 - EXISTING CONDITIONS

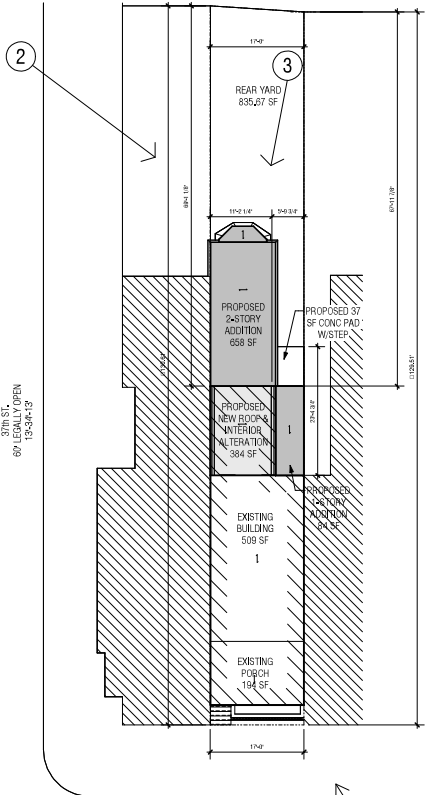


IMAGE 3 - PROPOSED ADDITION



IMAGE 2 - 04.04.2024 - PROPOSED ADDITION

1 SITE PLAN 3/32" = 1"=0



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REGISTERED ARCHITECT

Amie Woodcock

3629 HAMILTON

3629 HAMILTON STREET
PHILADELPHIA, PA 19104

DATE: 08/13/2024 SCALE: SHEET: DATE:

PROJECT TYPE: **BUILDING PERMIT**

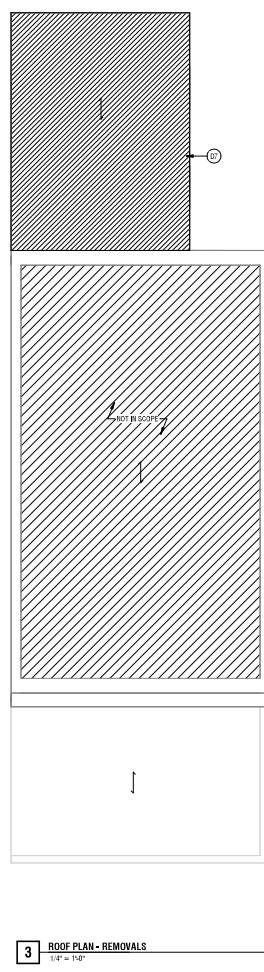
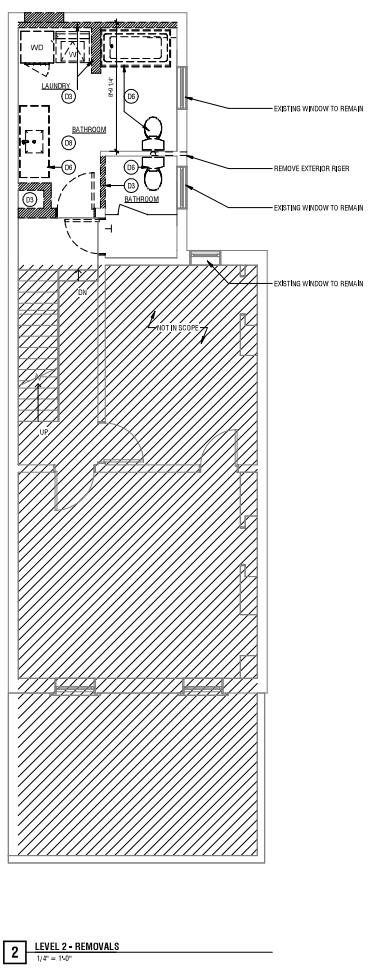
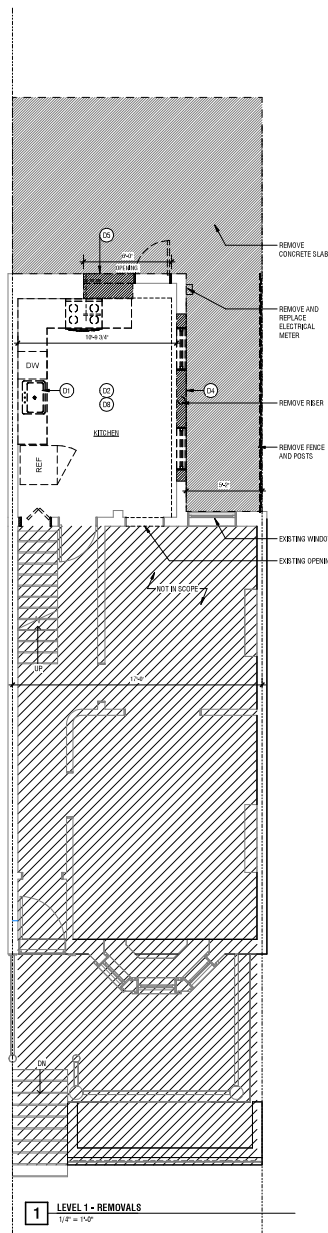
SHEET NAME: **HISTORIC DOCUMENTATION**

PREPARED DATE: 2024.08.13 DRAWN BY: CHECKED BY:

DATE: 2024.08.13 DRAWN BY: CHECKED BY:

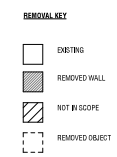
DATE: DRAWN BY: CHECKED BY:

 **A-000**



DEMO NOTES:

- 01 REMOVE CETS, COUNTER, APPLIANCES, BACKPLASH, PLUMBING FIXTURES, CAP EXISTING CONNECTIONS
- 02 REMOVE FLOORING, KEEP SUBSTRATE
- 03 REMOVE INTERIOR WALL PARTITION
- 04 REMOVE WALL AND WINDOWS UP TO UNDERSIDE OF FLOOR JOISTS, SEE STRUCTURAL DWGS FOR SEQUENCING
- 05 PARTIAL WALL OPENING UP TO 3'-0" AFF, SEE STRUCTURAL FOR SUPPORT AND SEQUENCING
- 06 REMOVE PLUMBING FIXTURES AND CAP CONNECTIONS
- 07 REMOVE EXISTING ROOF TO EXPOSE ROOF DECK, INSPECT AND REPLACE AS REQD.
- 08 REMOVE EXIST CEILING GYP AND LIGHTS



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PROJECT NUMBER
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ARCHITECT
JAY BAZZINI
1700 WASHINGTON
CHICAGO, ILLINOIS 60601
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3629 HAMILTON

3629 HAMILTON STREET
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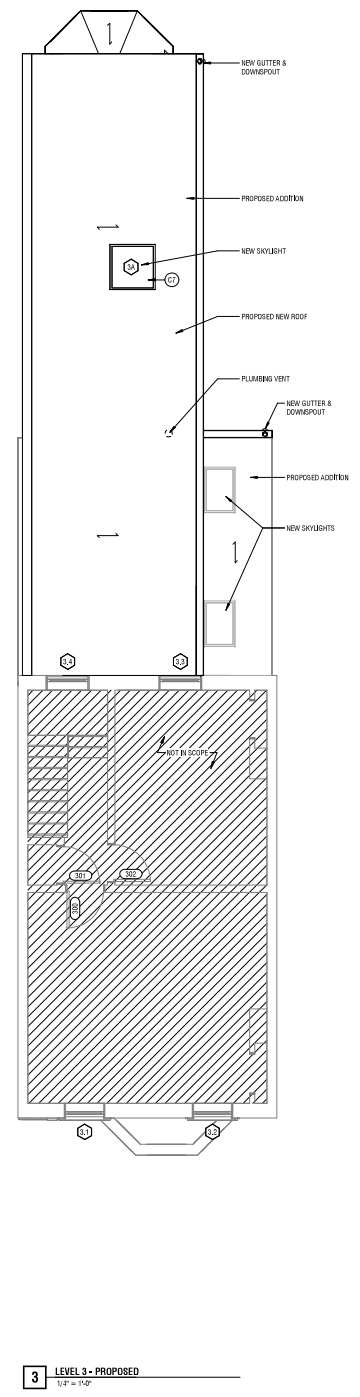
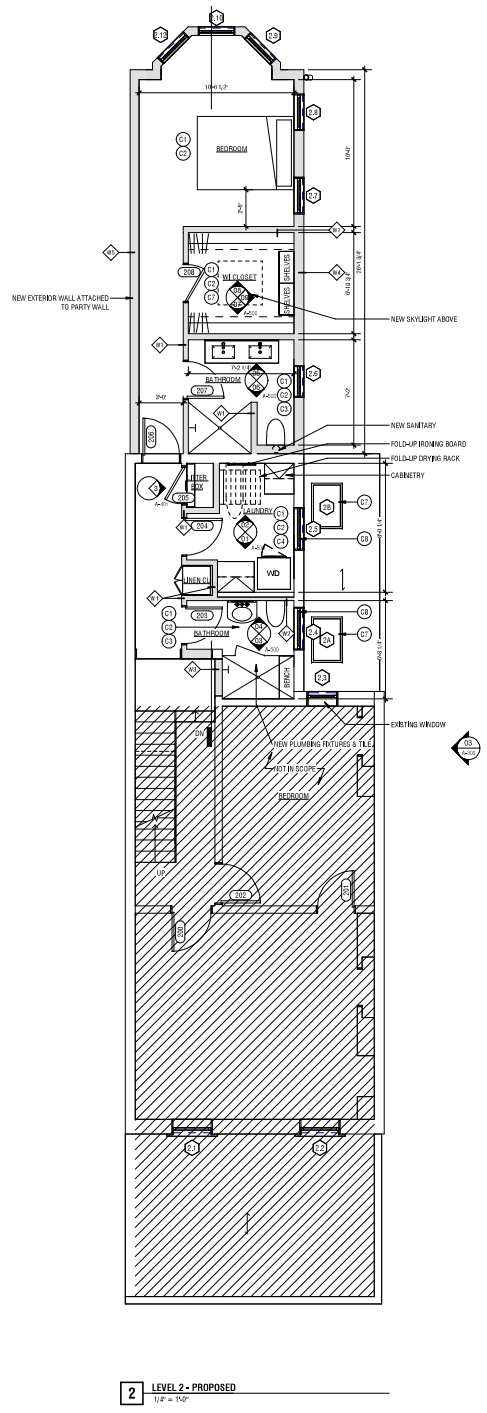
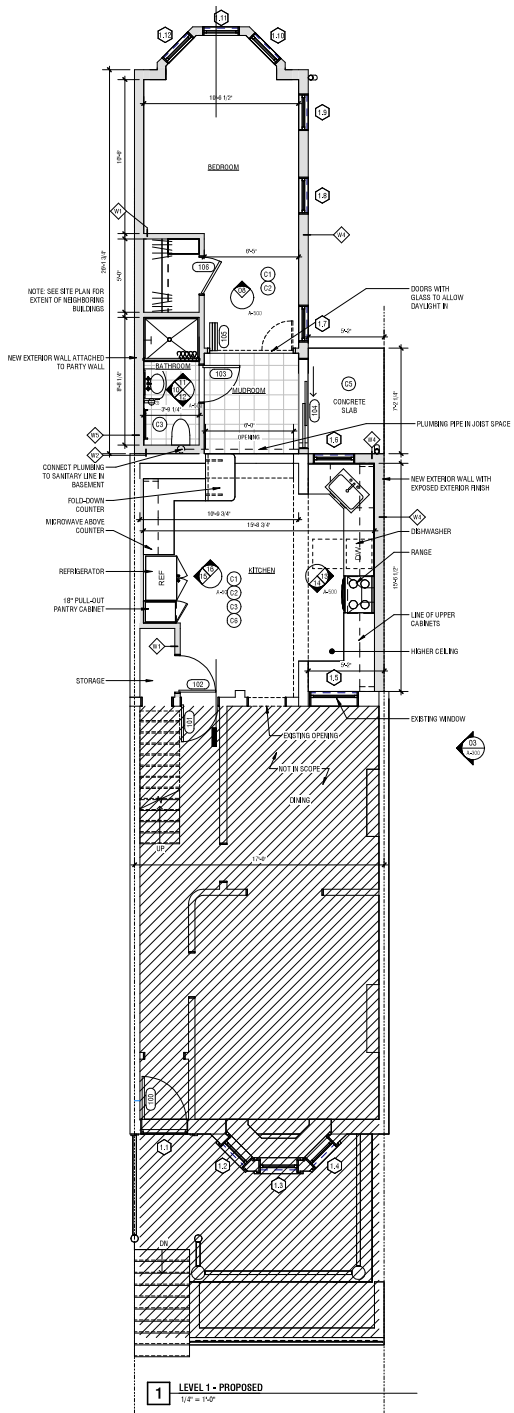
PROJECT TYPE
BUILDING PERMIT

REMOVAL PLANS

DATE: 02-14-2013

BY: [Signature]

D-100



- CONST. NOTES:**
- (C1) INSTALL WD DOOR FRAME AND HARDWARE, TYP.
 - (C2) INSTALL PARTITIONING ACCORDING TO SCHEDULE
 - (C3) INSTALL PLUMBING FITTURE, CONNECT TO EXISTING SANITARY PIPER
 - (C4) INSTALL WASHER DRYER TO NEW CONNECTION
 - (C5) INSTALL CONC. STEP LEVEL WITH FIRST FLOOR
 - (C6) INSTALL BUILT-IN MILLWORK, CABINETRY, AND SHELVING
 - (C7) INSTALL SKYLIGHT IN ROOF
 - (C8) INSTALL WINDOW SILL AND TRIM ON EXIST OPENING

- PLAN KEY**
- EXISTING
 - NEW
 - WALL TAG
 - WINDOW TAG
 - DOOR TAG





OWNER:
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PROJECT NUMBER:
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1700 WILMINGTON PIKE
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11 FORDSIDE ROAD
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WOODCOCK DESIGN
ARCHITECTS & ENGINEERS

REGISTERED ARCHITECT
PENNSYLVANIA
WOODCOCK DESIGN
Amie Woodcock

PROJECT:
3629 HAMILTON

3629 HAMILTON STREET
PHILADELPHIA, PA 19104

SCALE: ARCHITECT'S USE

PROJECT NUMBER:
BUILDING PERMIT

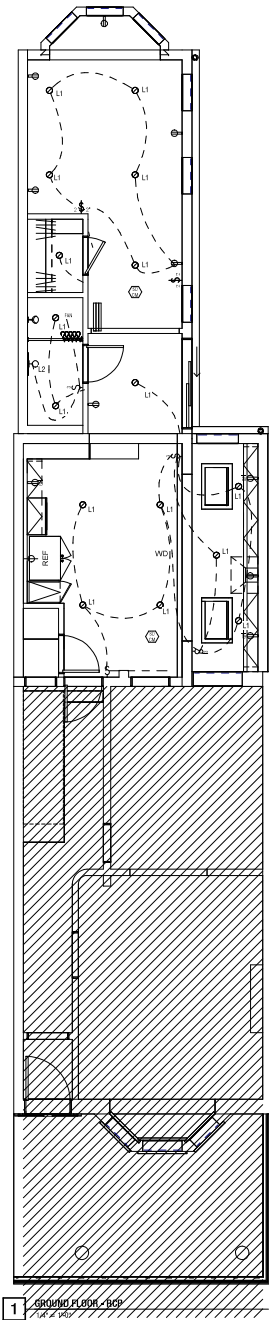
PROJECT NAME:
FLOOR PLANS

PREPARED DATE:
2024.03.13

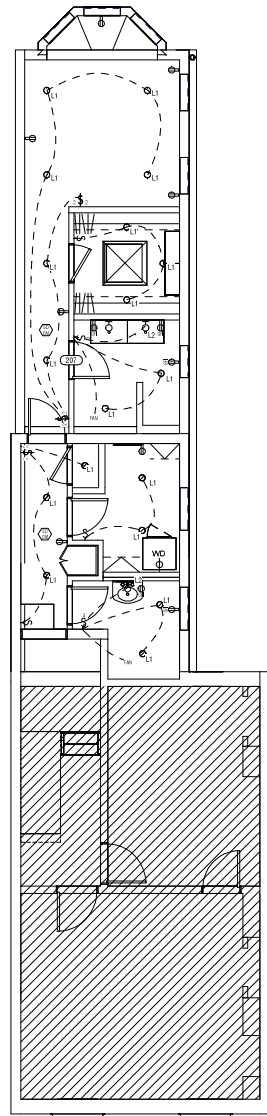
DATE:
2024.03.13

SCALE:
AS SHOWN

A-100



1 GROUND FLOOR - RCP
1/4" = 1'-0"



2 SECOND FLOOR - RCP
1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE						
MARK	FIXTURE TYPE	COUNT	MANUFACTURER	DESCRIPTION	MODEL NO.	REMARKS
L1	Recessed-120V/3	34		RECESSED CAN LIGHT		
L2	1P Ceiling	4		WALL SCORING	SS100PC	

CEILING PLAN LEGEND

- SWITCHES**
 - SWITCH (48" AFF TYP)
 - 3-WAY SWITCH
 - 3-WAY SWITCH
- OUTLETS**
 - DUPLEX OUTLET (15" AFF TYP)
 - GFI OUTLET
 - APPLIANCE OUTLET
- LIGHTS**
 - WALL-MOUNTED LIGHT FIXTURE
 - RECESSED LIGHT
 - SMOKE / CO DETECTOR



OWNER
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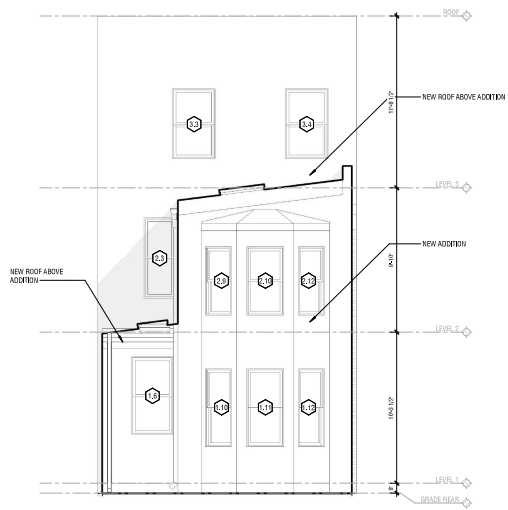
3629 HAMILTON
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BUILDING PERMIT

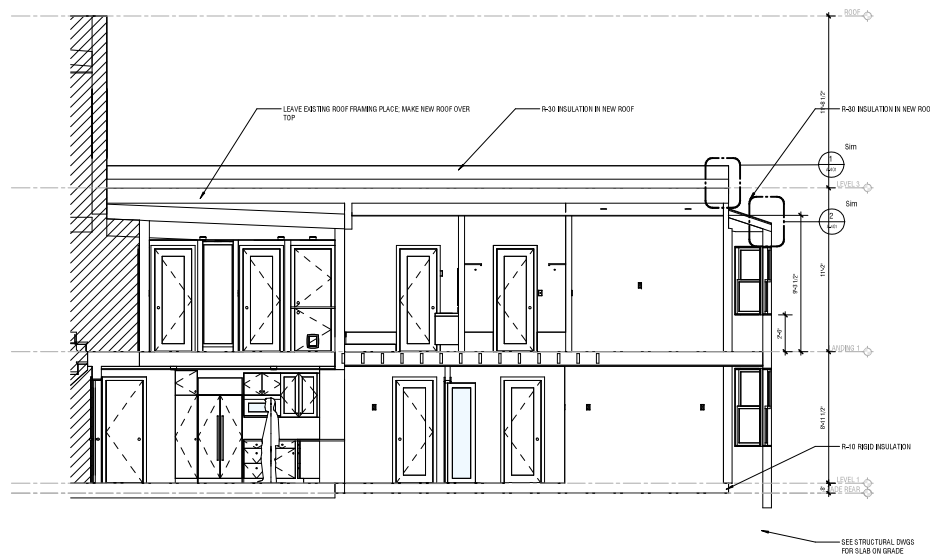
REFLECTED CEILING PLANS

PREPARED DATE: 2024-08-13
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 CHECKED BY: [Signature]

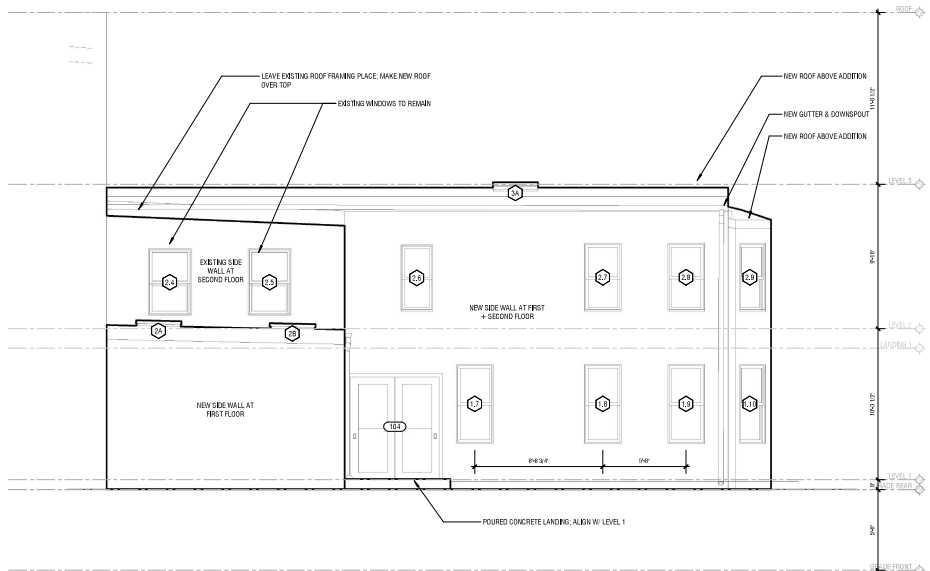
A-200



02 REAR ELEVATION
1/4" = 1'-0"



04 SECTION THROUGH ADDITIONS
1/4" = 1'-0"



03 SIDE ELEVATION
1/4" = 1'-0"

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PROJECT ARCHITECT:
WOODCOCK DESIGN
ARCHITECTS + INTERIORS
3629 HAMILTON ST
PHILADELPHIA, PA 19104
E:ERICA@APPENYWOOD.COM

PROJECT ENGINEER:
SEE ENGINEERING
JAY RASLER
1700 WASHINGTON
CORNWELL, PA 19039
E:JAY@SEEENGINEERING.COM

WOODCOCK DESIGN
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PHILADELPHIA, PA 19104
E:ERICA@APPENYWOOD.COM



3629 HAMILTON
3629 HAMILTON STREET
PHILADELPHIA, PA 19104

DATE: 2024.08.13

BUILDING PERMIT

ELEVATIONS + SECTIONS

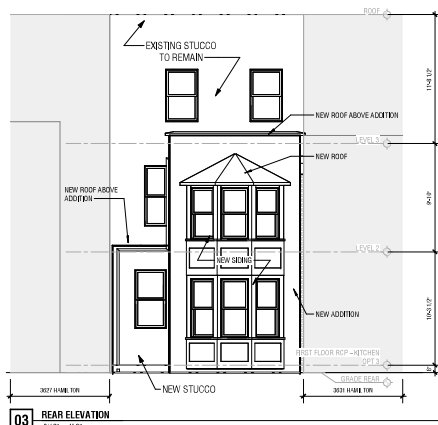
DATE: 2024.08.13

A-300

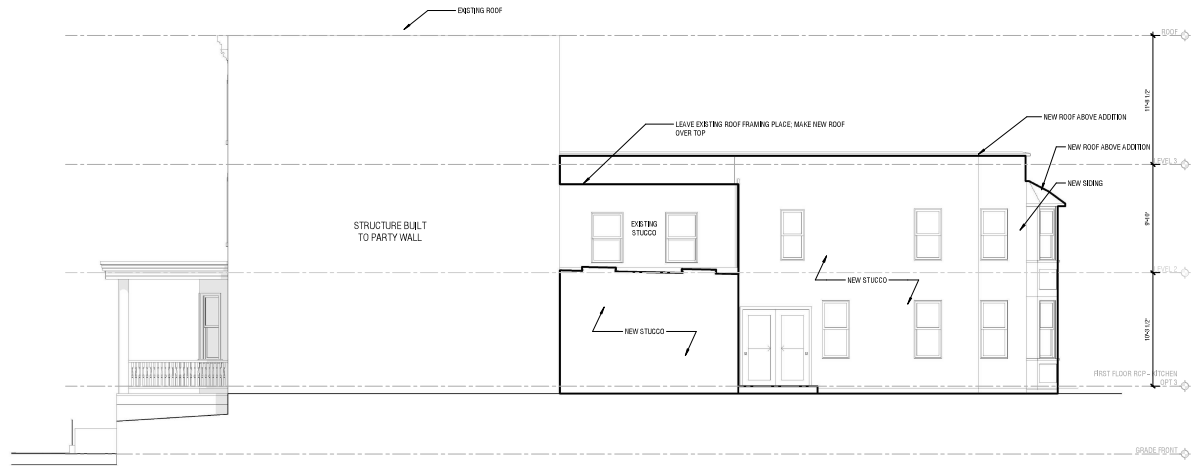
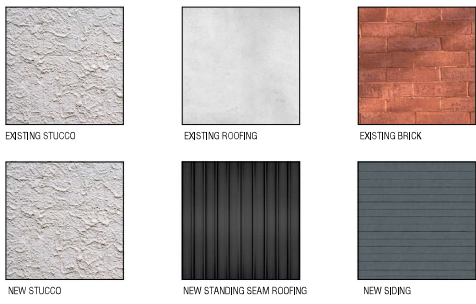




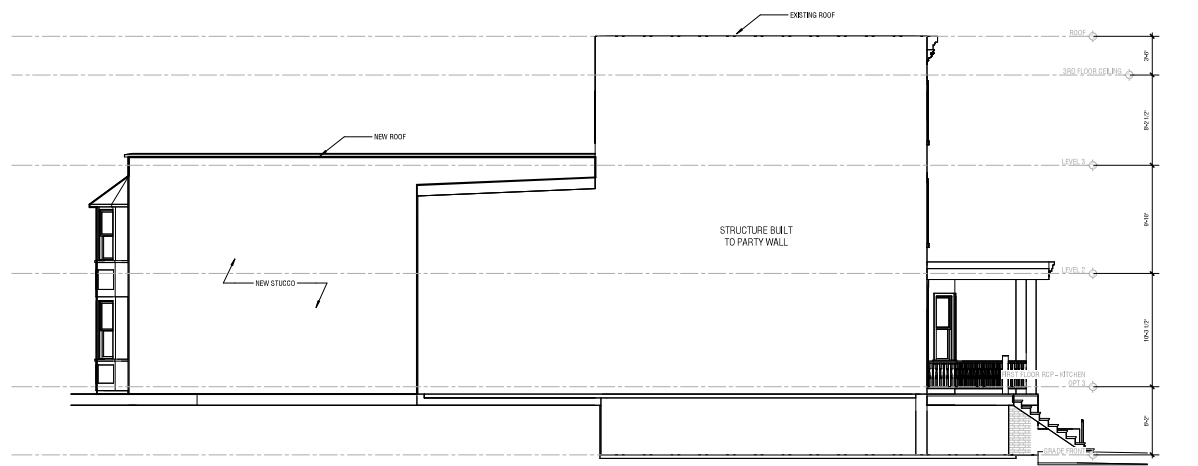
01 FRONT ELEVATION
3'-10" x 14'-0"



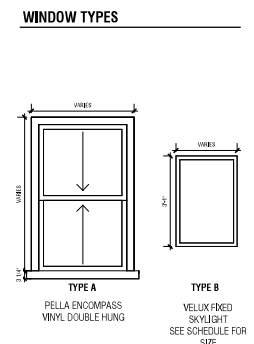
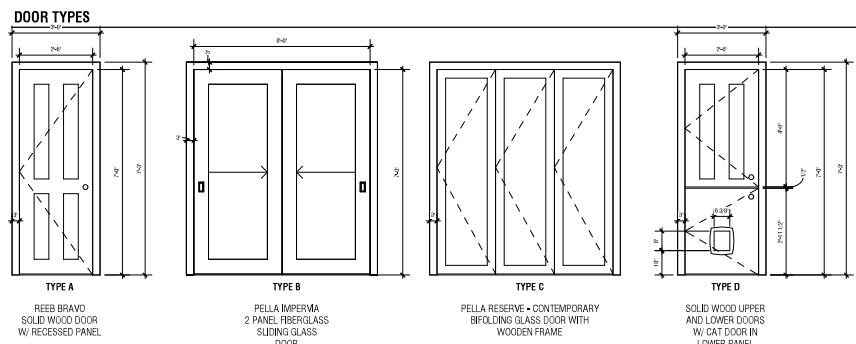
03 REAR ELEVATION
3'-10" x 14'-0"



02 EAST ELEVATION
3'-10" x 14'-0"



04 WEST ELEVATION
3'-10" x 14'-0"





OWNER
HIMANSHU VIYAS & CIRCA DARKEN
3629 HAMILTON ST
PHILADELPHIA, PA 19104
PH: 800-APPNYR/WOODCOCK

PROJECT NUMBER
SEE ENGINEERING

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PH: 610-868-7000
OFFICE: 610-868-7000

WOODCOCK DESIGN
ARCHITECTS INC. • PHILADELPHIA, PA

DATE
3/20/2024

REGISTERED ARCHITECT
JAY RASER
WOODCOCK DESIGN
Janice Woodcock

SUBJECT
3629 HAMILTON

3629 HAMILTON STREET
PHILADELPHIA, PA 19104

PH: 800-APPNYR • OFFICE

PROJECT PERMIT
BUILDING PERMIT

PROJECT NAME
EXTERIOR ELEVATIONS

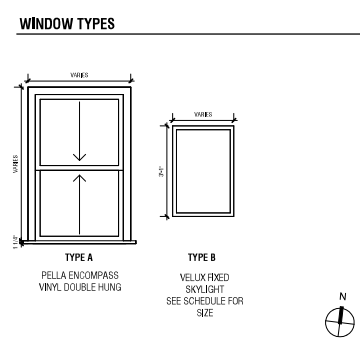
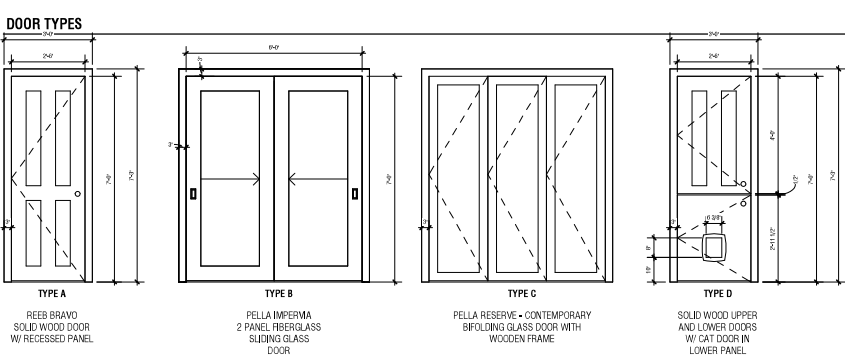
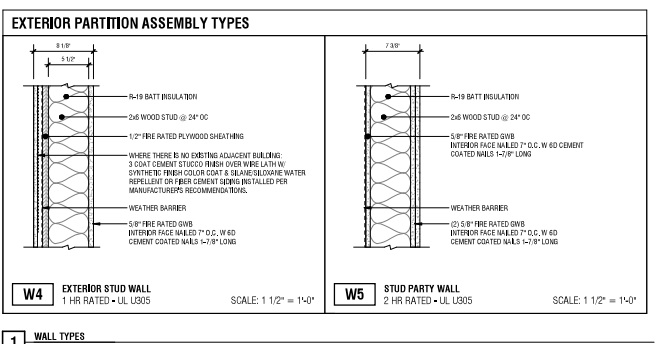
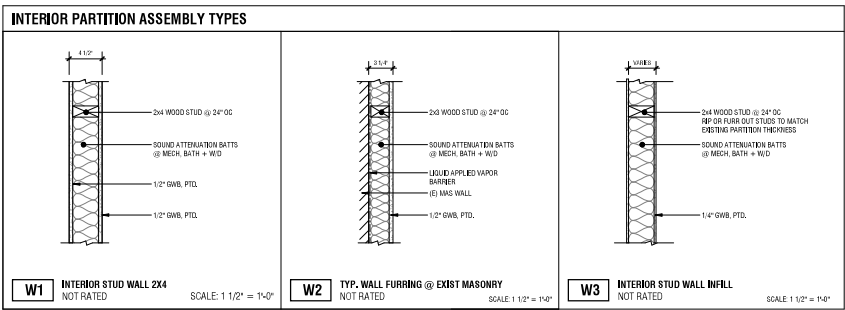
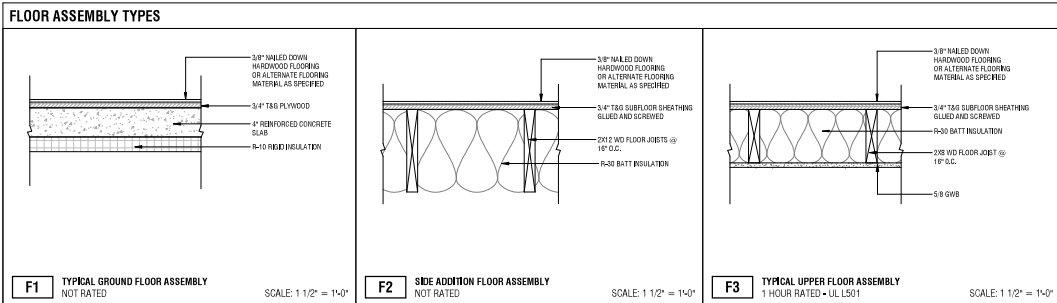
PREPARED DATE
2024.08.13

DATE
2024.08.13

SCALE
AS SHOWN

NOTES
A-301





DOOR SCHEDULE						
TAG	TYPE	HEIGHT	WIDTH	DOOR MATERIAL	MANUFACTURER	COMMENTS
LEVEL 1						
100		7'-0"	3'-0"	WD		ETR
101		7'-0"	2'-6"	WD		ETR
102	A	7'-0"	2'-6"	WD	REEB	NEW
103	A	7'-0"	2'-6"	WD	REEB	NEW
104	B	7'-0"	6'-0"	FIBERGLASS	PELLA	2 PANEL SLIDING
105	C	7'-0"	6'-0"	WD/GLASS	PELLA	3 PANEL BIFOLD
106	A	7'-0"	2'-6"	WD	REEB	NEW
LANCING 1						
203	A	7'-0"	2'-6"	WD	REEB	NEW
204	A	7'-0"	2'-6"	WD	REEB	NEW
205	D	7'-0"	2'-6"	WD	REEB	NEW
206	A	7'-0"	2'-6"	WD	REEB	NEW
207	A	7'-0"	2'-6"	WD	REEB	NEW
208	A	7'-0"	2'-6"	WD	REEB	NEW
LEVEL 2						
300		7'-0"	2'-6"	WD		ETR
301		7'-0"	2'-6"	WD		ETR
302		7'-0"	2'-6"	WD		ETR
303		7'-0"	2'-6"	WD		ETR
304		7'-0"	2'-6"	WD		ETR
305		7'-0"	2'-6"	WD		ETR

WINDOW SCHEDULE							
TAG	TYPE	WIDTH	HEIGHT	SB Height	U-FACTOR	MANUFACTURER	COMMENTS
LEVEL 1							
1.1		3'-1"	1'-8 1/2"	1'-4 1/4"			ETR
1.5	A	2'-6"	2'-0"	2'-0"	0.24 - 0.47	PELLA	
1.7	A	2'-6"	2'-0"	2'-0"	0.24 - 0.47	PELLA	
1.9	A	2'-6"	2'-0"	2'-0"	0.24 - 0.47	PELLA	
1.9	A	2'-6"	2'-0"	2'-0"	0.24 - 0.47	PELLA	
1.10	A	2'-6"	2'-0"	2'-0"	0.24 - 0.47	PELLA	
1.11	A	2'-6"	2'-0"	2'-0"	0.24 - 0.47	PELLA	
1.12	A	2'-6"	2'-0"	2'-0"	0.24 - 0.47	PELLA	
LANCING 1							
2.9	A	2'-6"	4'-5"	2'-6"	0.24 - 0.47	PELLA	
2.2	A	2'-6"	4'-5"	2'-6"	0.24 - 0.47	PELLA	
2.8	A	2'-6"	4'-5"	2'-6"	0.24 - 0.47	PELLA	
2.9	A	2'-6"	4'-5"	2'-6"	0.24 - 0.47	PELLA	
2.10	A	2'-6"	4'-5"	2'-6"	0.24 - 0.47	PELLA	
2.12	A	2'-6"	4'-5"	2'-6"	0.24 - 0.47	PELLA	
LEVEL 2							
3.1		2'-7"	3'-6"	2'-7 1/2"			ETR
3.2		2'-7"	3'-6"	2'-7 1/2"			ETR
3.3		1'-11 1/4"	2'-0"	2'-0"			ETR
3.4	A	2'-6"	4'-5"	1'-1"	0.24 - 0.47	PELLA	IN EXISTING WALL OPENING
3.5	A	2'-6"	4'-5"	1'-1"	0.24 - 0.47	PELLA	IN EXISTING WALL OPENING
3A	B	2'-0"	2'-0"	2'-0"	0.41 - 0.48	VELUX	
3B	B	2'-0"	2'-0"	2'-0"	0.41 - 0.48	VELUX	
3A	B	3'-0"	2'-0"	2'-0"	0.41 - 0.48	VELUX	
LEVEL 3							
3.1		2'-7"	3'-6"	2'-7 1/2"			ETR
3.2		2'-7"	3'-6"	2'-7 1/2"			ETR
3.3		2'-6"	4'-5"	2'-6"			ETR

ETR = EXISTING TO REMAIN

NOTE:
U-FACTOR MUST NOT BE MORE THAN .30/.40
RESPECTIVELY IN ACCORDANCE W/ TABLE R 402.1.2 OF
THE 2018 IECC

NOTE:
SAFETY GLAZING TO BE PROVIDED IN RATED
ASSEMBLIES IN ACCORDANCE W/ SECTION 308 OF THE
2018 IRC

OWNER:
HIMANSHU VYAS & ERICA DARKEN
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PINE GROVE, PA 19068
PH: 610-491-7700
WWW.WOODCOCKDESIGN.COM

PROJECT NUMBER:
3629 HAMILTON
100 WASHINGTON
ORLANDO, FL 32808
PH: 407-855-1500
OFFICE@WOODCOCK.COM



3629 HAMILTON
3629 HAMILTON STREET
PINE GROVE, PA 19068

DATE: 08/13/2024

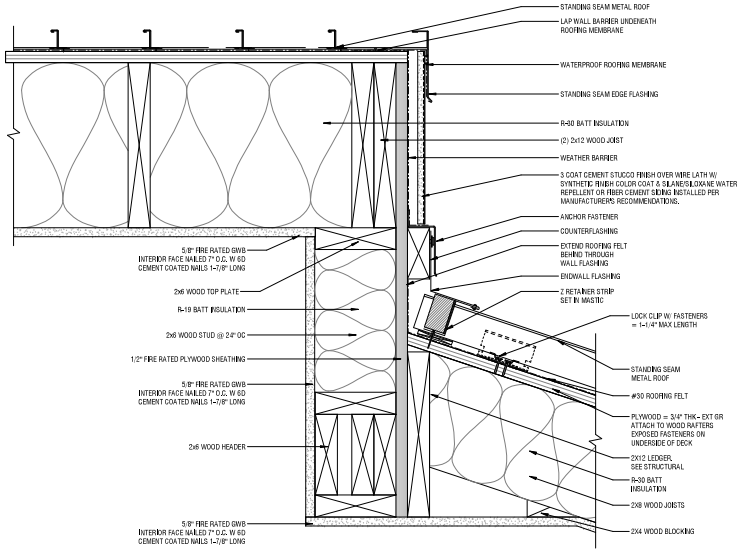
BUILDING PERMIT

PROJECT TITLE:
PARTITION TYPES, DETAILS, SCHEDULES

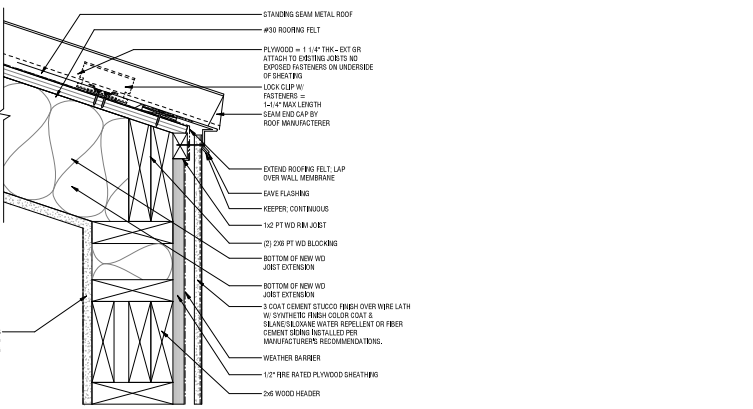
DATE: 2024.08.13

PROJECT NO: **A-400**

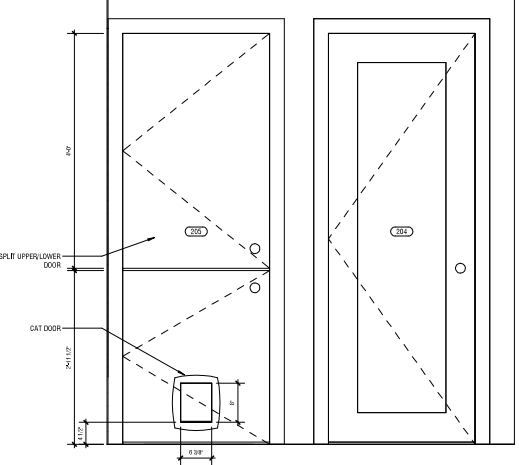




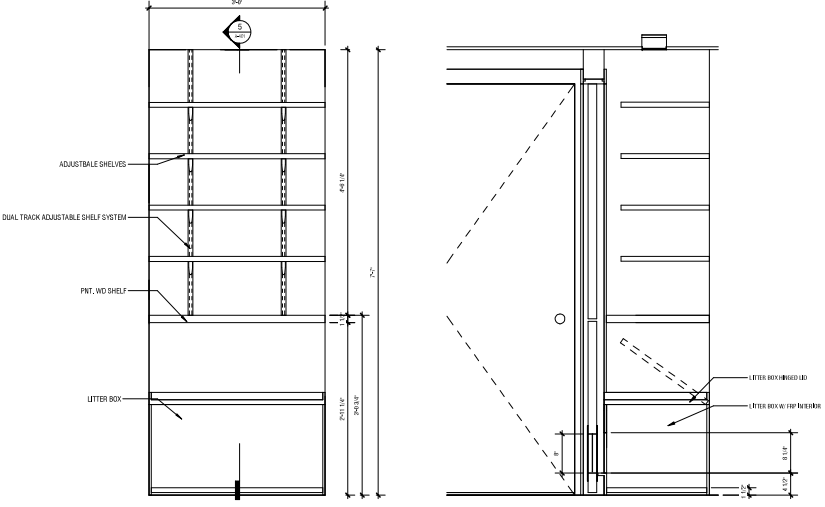
1 ROOF EDGE DETAIL 3" = 1'-0"



2 BAY WINDOW - ROOF EDGE DETAIL 3" = 1'-0"



3 LITTER BOX CLOSET - ELEVATION 1" = 1'-0"



OWNER
HWANSHU VIYAS & CIRCA DARKEN

3629 HAMILTON ST
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19104@PPHBYWOOD.COM

PROJECT NUMBER
3629 HAMILTON ST

ARCHITECT
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PROJECT NAME
3629 HAMILTON

3629 HAMILTON STREET
PHILADELPHIA, PA 19104

PLOT SHEET NUMBER DATE

PROJECT TYPE
BUILDING PERMIT

DETAILS

REVISED DATE	ISSUED BY
2024-08-13	
DRAWN BY	CHECKED BY

DATE

A-401

