

ADDRESS: 627 N 16TH ST

Proposal: Construct addition

Review Requested: Final Approval

Owner: Peter and Tara Kura

Applicant: Ian Toner, Toner Architects

History: 1875

Individual Designation: None

District Designation: Spring Garden Historic District, Contributing, 10/11/2000

Staff Contact: Alex Till, alexander.till@phila.gov

BACKGROUND:

This application proposes to construct a three-story rear addition on an Italianate twin at a contributing property in the Spring Garden Historic District. The building was constructed in 1875 and is three stories tall with a pitched roof and prominent cornice. The addition will be located at the rear of the building and span the full width of the lot. The application proposes to demolish the three-story rear wall of the property along with a one-story rear shed addition and construct an addition at the rear of the building that will expand the footprint and extend slightly higher than the current rear ell of the historic building. It will be clad in fiber cement panels and feature six windows on the rear elevation but none on the side, party walls. The rear of the building is visible both obliquely from the front on 16th Street looking down the side of the building and prominently from the side and rear along neighboring Wallace Street. The addition will be visible both from 16th and Wallace Streets and particularly will present a large blank wall to the Wallace Street side.

SCOPE OF WORK:

- Construct a three-story rear addition.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The proposed new addition does not meet Standard 9. It is too large, wide, and is not compatible with the historic materials, massing, size, and scale of the historic building or district.

STAFF RECOMMENDATION: The staff recommends denial, pursuant to Standard 9.

IMAGES:

Figure 1: 1895, G. W. Bromley Atlas. Property outlined in red.

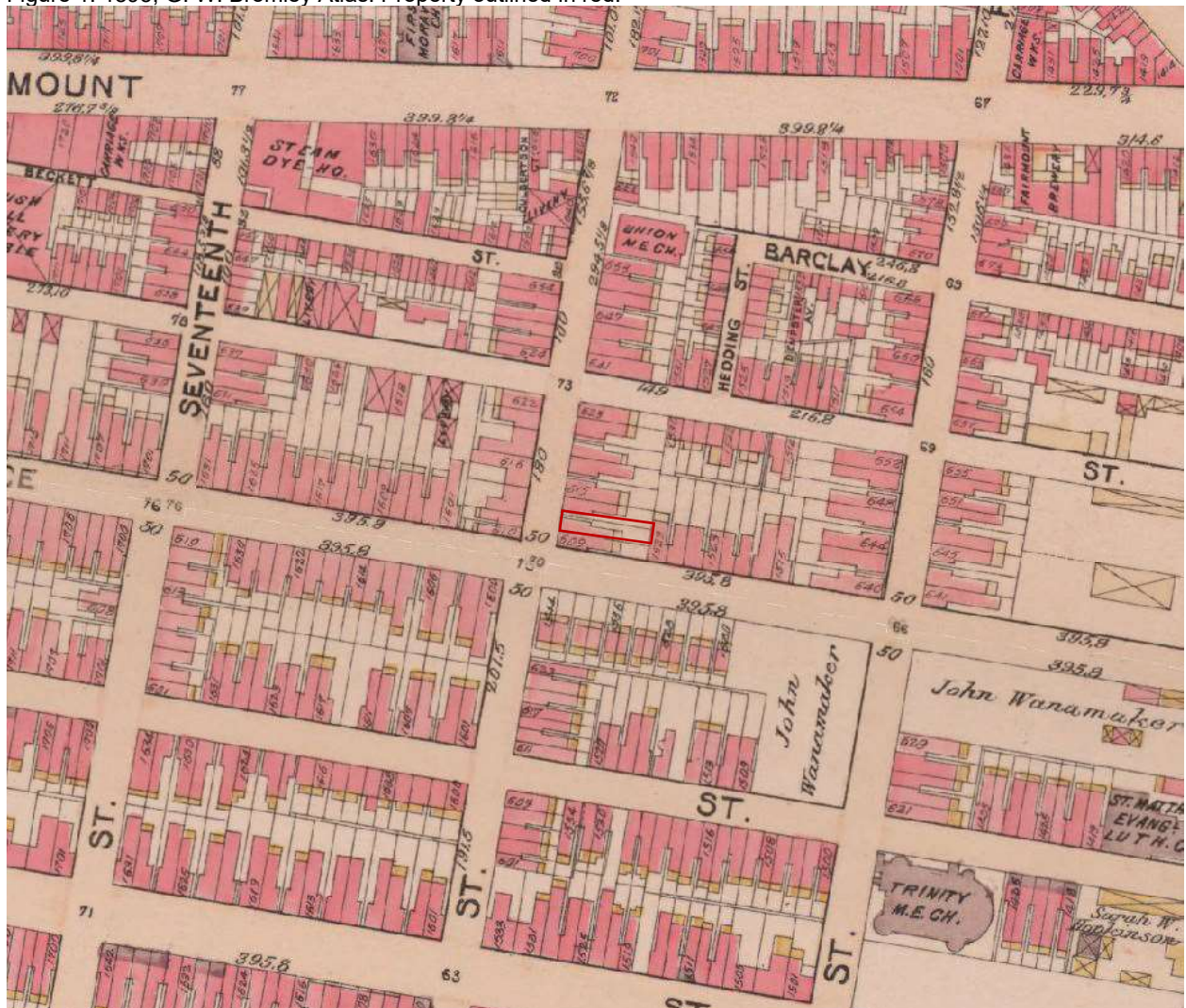


Figure 2: View of front façade of 627 N 16th St from N 16th St:



627 N 16th Street
Philadelphia Historical Commission
March 2024

Figure 3: View down side of 627 N 16th St from N 16th St, arrow indicates where addition will go:



Figure 4: Figure 3: View of 627 N 16th St from Wallace St, arrow indicates current rear wall of property:

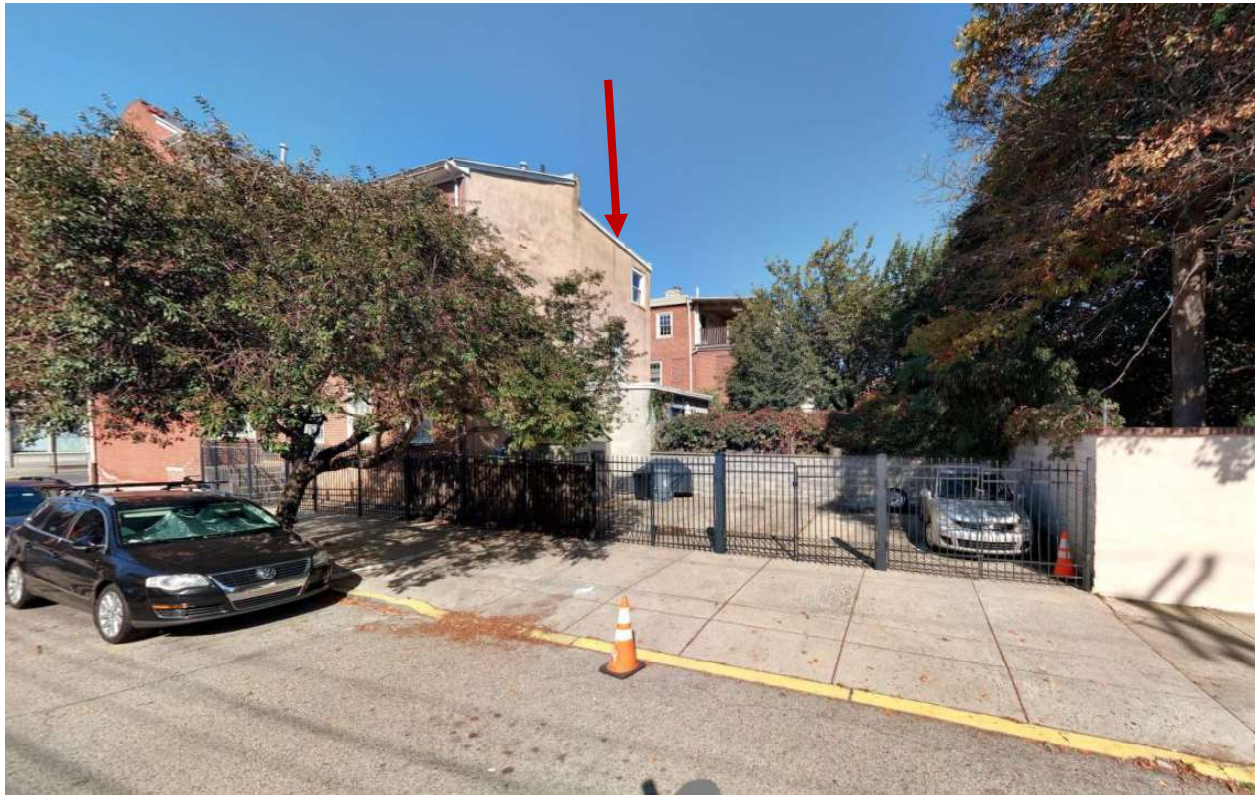


Figure 5: Aerial view of 627 N 16th St from the Southeast:



627 N 16th Street
Philadelphia Historical Commission
March 2024

APPLICATION FOR BUILDING PERMIT

APPLICATION # _____

(Please complete all information below and print clearly)



CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES AND INSPECTIONS
MUNICIPAL SERVICES BUILDING – CONCOURSE
1401 JOHN F. KENNEDY BOULEVARD
PHILADELPHIA, PA 19102
For more information visit us at www.phila.gov/li

ADDRESS OF PROPOSED CONSTRUCTION:

627 N 16th Street

APPLICANT:

Ian Toner

COMPANY NAME

Toner Architects

PHONE # (215) 800-1968

FAX #

APPLICANT'S ADDRESS:

1901 S 9th Street, Rm 425

Philadelphia, PA 19148

LICENSE # 490460

E-MAIL: ian@tonerarch.com

PROPERTY OWNER'S NAME:

Fortis Construction & Design - Anthony Mascieri

PROPERTY OWNER'S ADDRESS:

705 South 5th Street Philadelphia, PA 19147

PHONE # (215) 688-8162

FAX #

ARCHITECT/ENGINEER IN RESPONSIBLE CHARGE

Ian Toner

ARCHITECT/ENGINEERING FIRM:

Toner Architects

PHONE #

FAX #

ARCHITECT/ENGINEERING FIRM ADDRESS:

1901 S 9th Street, Rm 425

Philadelphia, PA 19148

LICENSE # 490460

E-MAIL: ian@tonerarch.com

CONTRACTOR:

Anthony Mascieri

CONTRACTING COMPANY:

Fortis Construction & Design

PHONE # (215) 688-8162

FAX #

CONTRACTING COMPANY ADDRESS:

705 South 5th Street Philadelphia, PA 19147

LICENSE #

E-MAIL: Anthony@radixpg.com

USE OF BUILDING/SPACE

Multifamily Residential - 6 Units

ESTIMATED COST OF WORK

\$ TBD

BRIEF DESCRIPTION OF WORK:

Interior renovation and addition to an existing multifamily building.

TOTAL AREA UNDERGOING CONSTRUCTION: 7,350.00 square feet

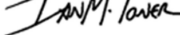
COMPLETE THESE ITEMS IF APPLICABLE TO THIS APPLICATION:

OF NEW SPRINKLER HEADS (suppression system permits only): _____ LOCATION OF SPRINKLERS: _____

OF NEW REGISTERS/DIFFUSERS (hvac/ductwork permits only): _____ LOCATION OF STANDPIPES: _____

IS THIS APPLICATION IN RESPONSE TO A VIOLATION? ☒ NO ☐ YES VIOLATION #: _____

All provisions of the building code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statement herein I am subject to such penalties as may be prescribed by law or ordinance.

APPLICANT'S SIGNATURE: _____ 

DATE: 03 / 12 / 24

PRE-REQUISITE APPROVALS FOR:

ADDRESS:

APPLICATION #:

✓ IF REQ'D	AGENCY	INITIALS	DATE	REMARKS
	ART COMMISSION 13 TH FLOOR – 1515 ARCH STREET			
	CITY PLANNING COMMISSION 13 TH FLOOR – 1515 ARCH STREET			
	FAIRMOUNT PARK COMMISSION			
	<input type="checkbox"/> CITY <input type="checkbox"/> STATE AIR MANAGEMENT / HEALTH DEPT			
	HISTORICAL COMMISSION ROOM 576 – CITY HALL			
	STREETS DEPARTMENT ROOM 940 – M.S.B.			
	WATER DEPARTMENT 2 ND FLOOR – 1101 MARKET STREET			
	CONTRACTUAL SERVICES UNIT ROOM 1140 – M.S.B.			
	ZONING			

EXAMINER'S APPROVAL (OFFICE USE ONLY)

APPROVED USE OF BUILDING SPACE:

PERMIT TO READ:

CODE/EDITION USED FOR REVIEW:

WAS VIOLATION FOR WORK WITHOUT A PERMIT? ☐ NO ☐ YES (INSPECTION FEE MUST BE ADDED TO PERMIT FEE)

VIOLATION # _____

OTHER BUILDING PERMITS REQUIRED: ☐ FIRE SUPPRESSION ☐ HVAC/DUCT ☐ FUEL GAS

PLAN #	CONSTRUCTED AREA _____ SQ FT	<input type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ALTERATION	FEE ITEM	AMOUNT
			BLDG. PERMIT/C.O./L.O.	
			INSPECTION FEE	
CONSTRUCTION	CO REQUIRED	NEW DWG UNITS:	WATER METERS	
TYPE: _____	<input type="checkbox"/> NO <input type="checkbox"/> YES		CONSTRUCTION WATER	
USE: _____	VARIANCES <input type="checkbox"/> NO <input type="checkbox"/> YES	PROJECT TYPE		
			TOTAL FEES	

This is to certify that I have examined the within detailed statement, together with a copy of the plans relating thereto, and find the same to be in accordance with the provisions of the law relating to buildings in the City of Philadelphia, that the same has been approved and entered into the records of this Department.

EXAMINER: _____ DATE APPROVED: _____

PERMIT # _____

DATE ISSUED: _____

CHECK # _____

Apartment Conversion and Addition

627 North 16th Street
Philadelphia, PA 19130

Issued for PHC Review and Approval
12 March 2024

TA Project Number 24001

TONER
architects

1901 S. 8th Street
Room 425
Philadelphia, PA 19148
215.803.1968
www.tonerarch.com

NOTES

- Do not scale drawings.
- It shall be the responsibility of the Contractor to obtain all permits for plumbing and electrical Work, and any other Work not permitted under a general building permit.
- Work not indicated on a part of the drawings but reasonably implied to be similar to that shown at corresponding places, shall be repeated.
- Contractor shall coordinate openings shown on the drawings.
- Contractor shall verify and/or establish all existing conditions and dimensions at the site.
- If the existing field conditions do not permit the installation of the work in accordance with the details shown, the Contractor shall notify the Architect immediately and provide a sketch of the condition with Contractor's proposed modification of the details given on the contract documents.
- It shall be the responsibility of the General Contractor and all Sub-Contractors to coordinate the Work and verify all dimensions and inspect conditions of prior Work by all trades before proceeding with any Work. Unacceptable or incorrect prior Work shall be repaired or replaced before starting Work. Proceeding with the Work shall constitute acceptance of prior Work.
- Where Work involves existing supporting structure, the Contractor shall provide shoring and protection required to insure the structural integrity of the existing structure.
- In no case shall heavy equipment be permitted closer than 4'-0" from any foundation wall. If it is necessary to operate such equipment closer than 4'-0" to the wall, the Contractor shall be the sole responsible party and, at Contractor's own expense, shall provide adequate supports or brace the wall to withstand the additional loads superimposed from such equipment.
- All products and materials to be installed following manufacturers' recommendations.
- Interior design by others.
- Signage by others.



NOT FOR
CONSTRUCTION

ANNOTATION LEGEND

Section	1	A0.0
Exterior Elevation	A	A0.0
Interior Elevation	D	A0.0 B
Drill	C	A0.0
Window Designation	⊕	
Door Designation	⊞	
Note Number	①	
Revision Number	△	
Wall Type	◇	

SYMBOLS LIST

Aluminum	Monomeric Layer
Brick	Plywood
CMU	Steel
Concrete	Stone - finish
Drainage M	Wood blocking - continuous
Earth	Wood blocking or studs - discontinuous
Insulation - batts	Wood - finish
Insulation - rigid	



Fortis Construction & Design
Apartment Conversion and Addition

627 North 16th Street
Philadelphia, PA 19130

COVER SHEET

Project number 24001
Date 12 March 2024
Drawn by SNGSP
Checked by NLT

A000

Scale As Indicated

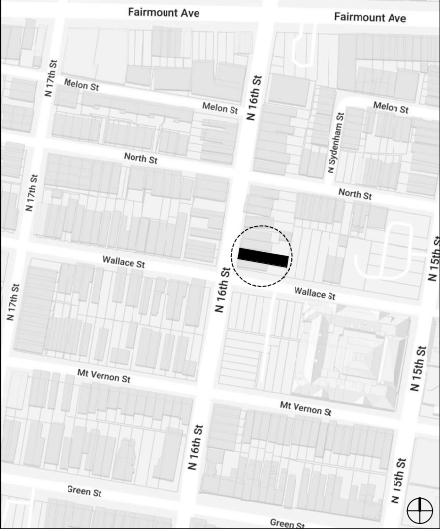
DRAWING LIST

Sheet Number	Sheet Name	Issued for PHC Review and Approval (12 March 2024)
A000	COVER SHEET	X
A001	UNIFICATION	X
A002	ROOF & WINDOW SCHEDULES, DOOR DETAILS	X
A004	PARTITION TYPES & FLOORING TYPES	X
A100	PANEL FLOOR PLANS	X
A101	FLOOR PLANS	X
A102	FLOOR PLANS	X
A200	ROOF PLAN	X
A201	REFLECTED CEILING PLANS	X
A202	REFLECTED CEILING PLANS	X
A400	EXISTING AND PROPOSED ELEVATIONS	X
A401	EXISTING AND PROPOSED ELEVATIONS	X
A402	EXISTING AND PROPOSED VIEWS	X
A403	DETAILS	X
A500	FOUNDATION PLAN	X
A501	STRUCTURAL PLANS	X
A502	STRUCTURAL PLANS	X
A503	MECHANICAL PLAN	X
A504	MECHANICAL PLAN	X
A505	MECHANICAL PLAN	X

ABBREVIATIONS

ACT - ACoustical CEILING TILE ALT - ABOVE FLOOR AHL - AIR HANDLING UNIT AL - ALUMINUM ALT - ALTERNATE ARCH - ARCHITECTURAL BL - BLIND BLS - BOTTOM UP BY OTHERS BOT - BOTTOM RTM - RETIMER CS - CORNER GUARD CJ - CONTROL JOINT CL - CENTERLINE CLD - CEILING COP - CONCRETE CON - CONCRETE MASONRY UNIT(S) COL - COLUMN CONC - CONCRETE CONF - CONTINUOUS DBL - DOUBLE DEPT - DEPARTMENT DM - DIMENSION DN - DOWN DT - DOWN (POUT EXTERIOR) DTL - DETAIL DML - DRAWING EA - EACH EJ - EXPANSION JOINT EL - ELEVATION ELE - ELECTRICAL EQ - EQUAL EQIP - EQUIPMENT EXST - EXISTING EXP - EXPANDED EXPAN - EXPANSION EXT - EXTERIOR FD - FLOOR DRAIN FL - FLOORING FE - FIRE EXTINGUISHER FE - FIRE EXTINGUISHER CABINET FL - FLOOR DRIP FT - FEET FOOT GA - GAUGE BLDG - BUILDING GC - GENERAL CONTRACTOR GEN - GENERAL GWB - GYPSUM WALL BOARD GYP - GYPSUM H - HIGH (DIM) HIG - HOLLOW METAL IN - INCH INT - INTERIOR COL - COLUMN LAV - LAVATORY LIT - LIGHTING MAY - MEDIUM MECH - MECHANICAL MFG - MANUFACTURED; MANUFACTURER MID - MEDIUM MISC - MISCELLANEOUS MCM - MASONRY OPENING MTL - METAL NIC - NOT IN CONTRACT NO - NUMBER NTS - NOT TO SCALE ON - ON CENTER OD - OUTSIDE (DRAINER, OVERFLOW DRAIN) P - PLYWOOD PBL - PREFAB - PREPARED P - PAINT, PAINT, PRESSURE TREATED R - RADIUS, RADIUS RCP - REFLECTED CEILING PLAN REFR - REFRIGERATOR REDO - REQUIRED RO - ROOF DRAIN RFG - REFRIGERATOR RHS - ROOM RO - ROUGH OPENING SC - SEALED CONCRETE SCHED - SCHEDULE SECT - SECTION SMB - SMOKE SPR - SPRINKLER SS - STAINLESS STEEL SSD - SEE STRUCTURAL DRAWINGS STD - STANDARD STL - STEEL STOR - STORAGE STRUCT - STRUCTURAL SUB - SUBSTITUTE SUSP - SUSPENDED T-TEST - THERMOSTAT TEMP - TEMPERATURE TEMPORARY TOL - TOP TLY - TOILET TYP - TYPICAL UND - UNLESS NOTED OTHERWISE VEST - VESTIBULE VP - VENT PIPED W - WIDE, WIDE W - WITH W/O - WITHOUT WC - WATER CLOSET WO - WOOD
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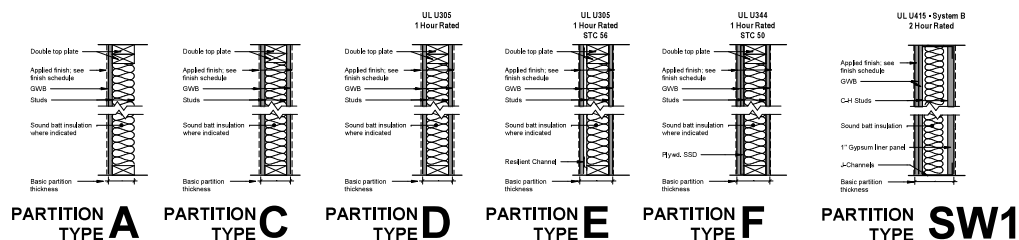
LOCATION MAP



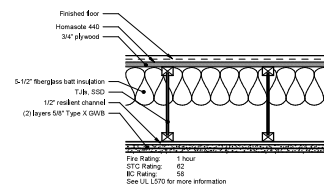
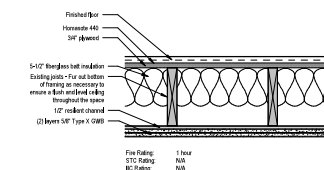
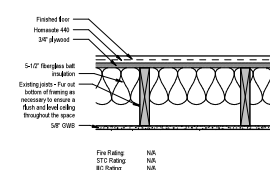
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Particular identification symbol										
Basic partition thickness	0 - 4 1/8"	0 - 4 3/4"	0 - 6 3/4"	0 - 4 3/4"	0 - 6 3/4"	0 - 5 1/8"	0 - 7 1/8"	0 - 5 1/8"	0 - 7 1/8"	0 - 6 5/8"
Fire rating (hrs)	-	-	-	-	-	1	1	1	1	2
Fire test number (UL)	-	-	-	UL U305	UL U305	UL U305	UL U305	UL U344	UL U344	UL U415
Axsonated rating (ETC)	-	-	-	-	-	56	-	-	-	-
Precision thickness	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"
GWB business	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8"	5/8" (2 from)
Axonated ceiling	-	-	-	-	Yes	-	-	-	-	-
Pre ceiling	-	-	-	-	-	Yes	Yes	Yes	Yes	Yes
Metal business	-	-	-	-	-	-	-	-	-	-
Stud size	2x4	2x4	2x6	2x4	2x6	2x4	2x6	2x4	2x6	2 1/2 C4
Stud spacing (OC)	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	1' - 4"	2'	2
Study to structure above	w/ GWB to structure above	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Study to structure below	w/ GWB to 6" above ceiling	-	-	-	-	-	-	-	-	-
Remarks:	Includes partitions at exterior walls.	Includes partition between end partitions & bathroom.	Includes partition between end partitions & bathroom.	Includes all partitions. See UL Code for additional information.	Includes all partitions. See UL Code for additional information.	Includes all partitions. See UL Code for additional information.	Includes all partitions. See UL Code for additional information.	Includes all partitions. See UL Code for additional information.	Includes all partitions. See UL Code for additional information.	* Opposite listed. Parted on Project. See UL Code for additional information.



1	Partition Type
A104	1 1/2" = 1'-0"

FLOOR/CEILING TYPE **FC-A**FLOOR/CEILING TYPE **FC-B**

FLOOR/CEILING TYPE FC-C

2	Floor/Ceiling Types
A004	1 1/2" = 1'-0"

NOTES



NOT FOR
CONSTRUCTION

[illegible]

**Fortis Construction &
Design**
Apartment Conversion and
Addition
627 North 16th Street
Philadelphia, PA 19130

**PARTITION TYPES &
FLOOR/CEILING TYPES**

Project number	24001
Date	12 March 2024
Drawn by	SNSE
Checked by	huz

A004

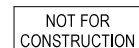
Scale 1 1/2" = 1'-0"



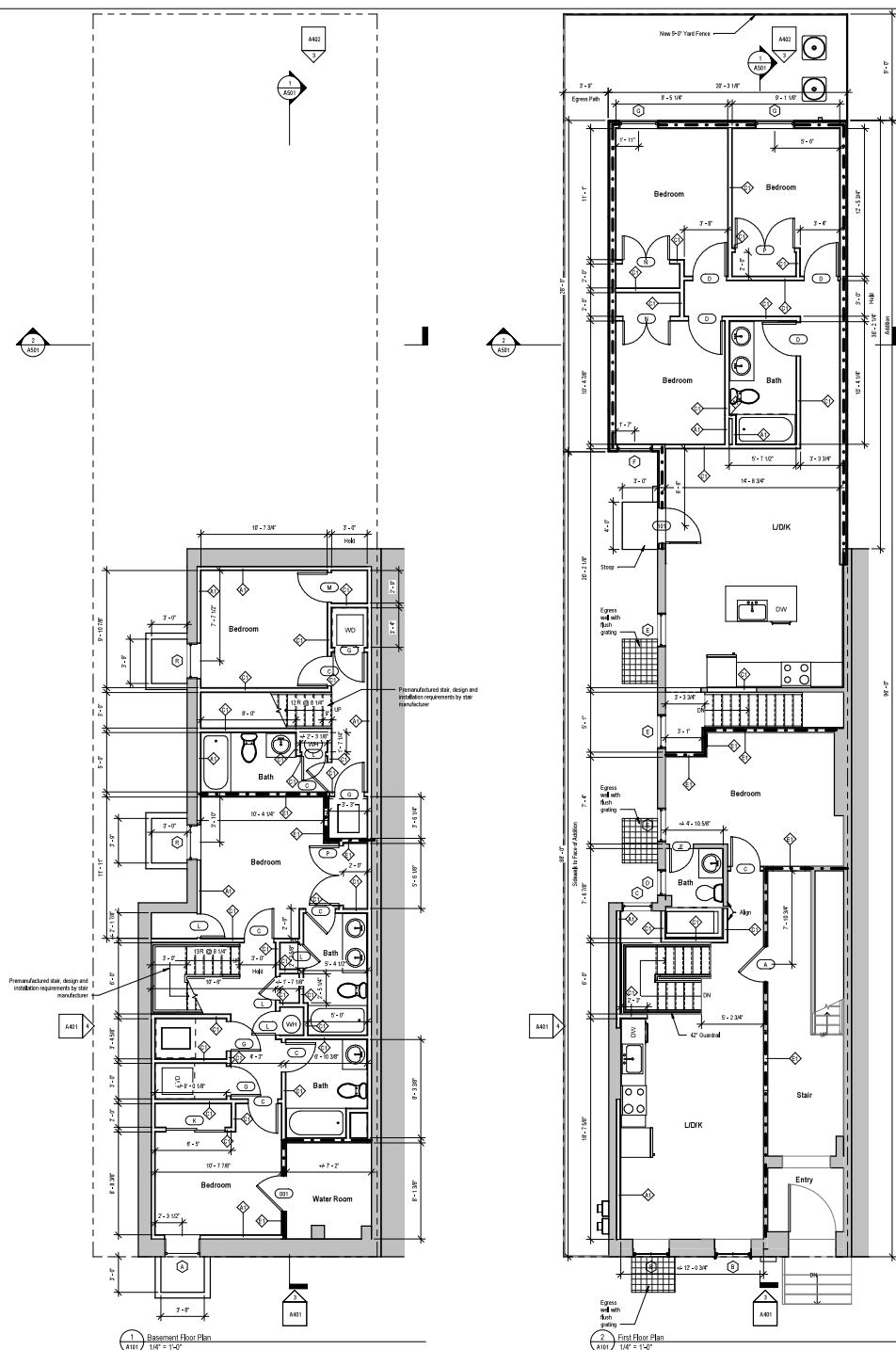
Copyright 2024, Tamar Architects, Inc.



1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Remove and extend existing systems as required to accommodate new work.

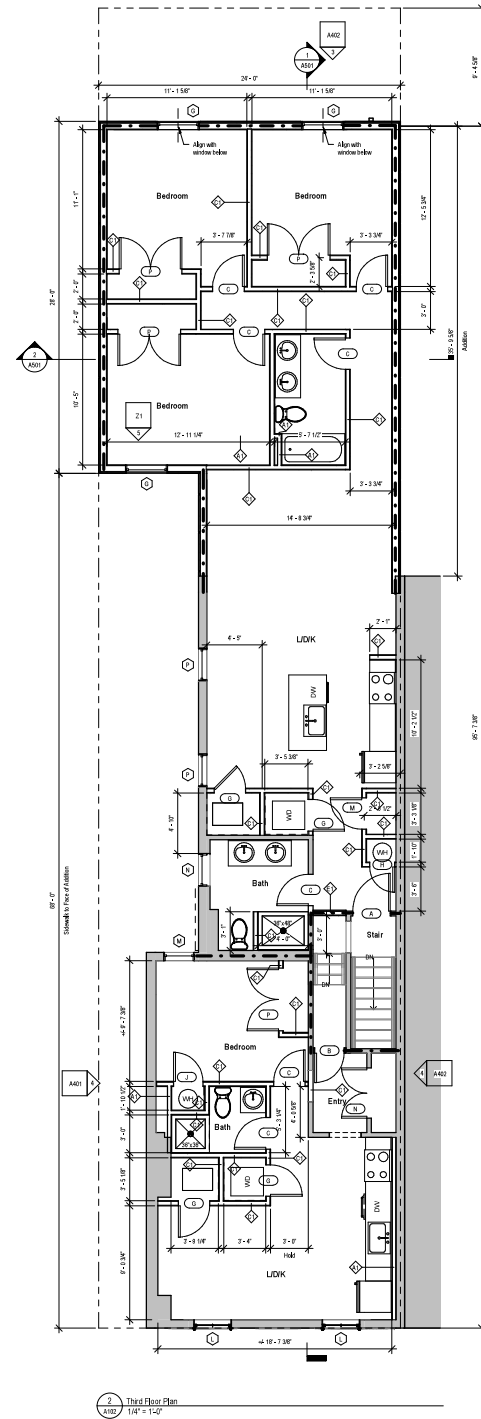
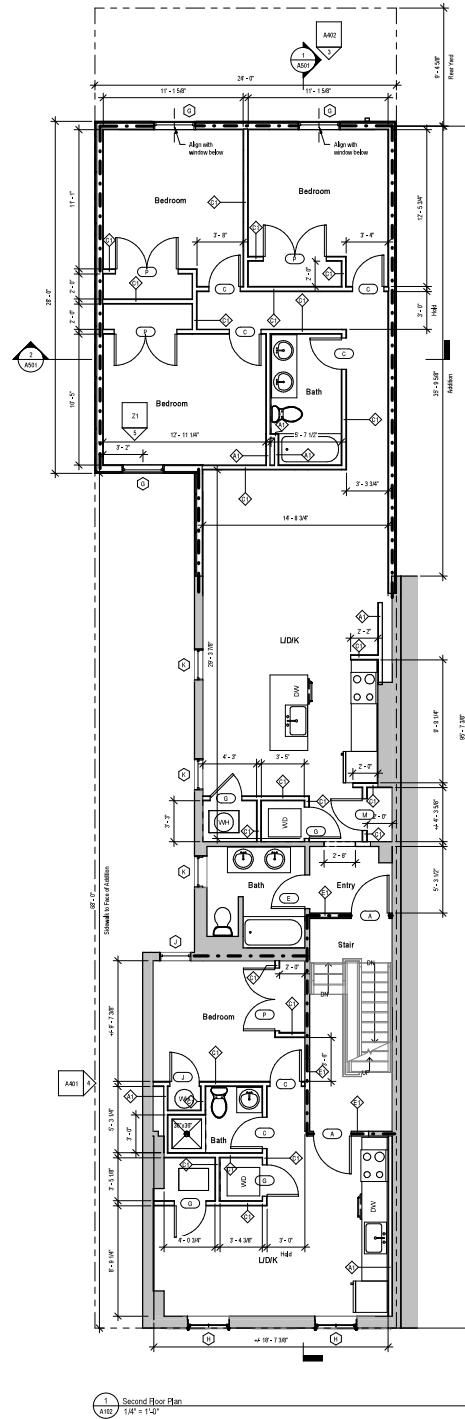
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Project number	2400
Date	12 March 2021
Drawn by	SMS
Checked by	IM
A101	
Scale	1/4" = 1'-0"



Wall Legend	
	Existing wall/construction
	Demolished wall/construction
	New wall/construction
	1 hour fire rated separation

CITY OF PHILADELPHIA APPROVAL STAMPS



TONER
architects

1901 S. 8th Street
Room 425
Philadelphia, PA 19148
215.800.1968
www.tonerarch.com

- NOTES
1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
 2. All dimensions are to the face of finished wall unless noted otherwise.
 3. Remove and extend existing systems as required to accommodate new work.



NOT FOR
CONSTRUCTION

No.	Description	Date

Fortis Construction & Design
Apartment Conversion and Addition
627 North 10th Street
Philadelphia, PA 19130
FLOOR PLANS

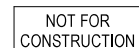
Project number: 24001
Date: 12 March 2024
Drawn by: SINSF
Checked by: BMT

A102

Scale: 1/8" = 1'-0"



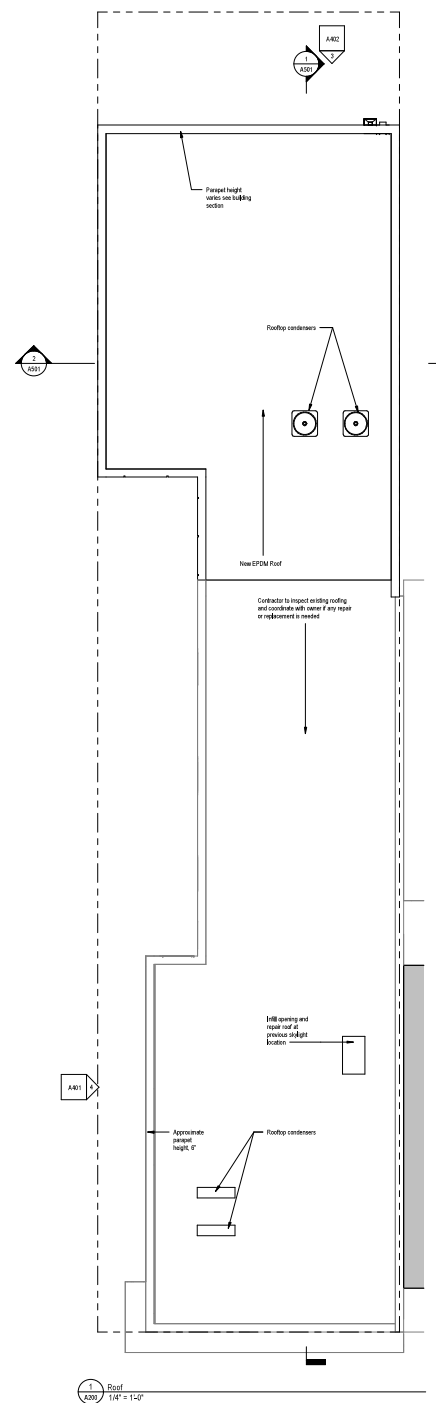
1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished ~~and~~ unless noted otherwise.
3. Reroute and extend existing systems as required to accommodate new work.

[illegible]

627 North 16th Street
Philadelphia, PA 19130

Project number	24001
Date	12 March 2024
Drawn by	SNSF
Checked by	IMT
A200	
Scale	1/4" = 1'-0"

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NOTES

1. All dimensions are to the face of finished wall unless noted otherwise.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Resolve and extend existing systems as required to accommodate new work.
4. Contractor to confirm compatibility of all system parts.
5. V.L.P. and installation heights and locations for all decorative lights.
6. Contractor to verify and relocate/adjust all new light fixtures to substantial condition of work.
7. MEP systems design by MEP Engineer. Contractor to coordinate MEP work with structural work and notify Architect and Engineer of conflicts.
8. The contractor is responsible for the full coordination of all ceiling components. The contractor is to provide coordinate drawings and a schedule within the following: location of ceiling grid main members and cross members, location and coordination of light fixtures, and diffusers. Contractor to verify that the light fixtures, diffusers and other components are compatible with the existing ceiling system and to coordinate these items. Any conflicts or coordination issues must be resolved by the time of the project immediately. Clearance above the ceiling to be verified to confirm that the depth of the ceiling components will work with surrounding construction such as structural members and HVAC equipment or ductwork.
9. All diffusers, ductwork and fan signs components are to be centered on the ceiling grid.
10. Ceiling duct elements are to be constructed in accordance with manufacturer's recommendations. Contractor to verify requirements with the manufacturer for location of grid main members and cross members as well as requirements for duct edge treatment and support requirements to the structural deck or other supporting members.

Ceiling Symbols	
Item	Symbol
LED Disk	●
Yankee Light	■
Custom Mounted Ceiling Light	○
Scissor	□
Pendant Light	•
Exhaust Fan	⊞
Notes:	
1. All fixtures in wall locations shall be set at same level. All external fixtures must be exterior wall mount.	
2. Lights inside closets shall be on jamb switch unless otherwise noted.	
3. Recessed fixtures installed in sloped ceilings shall have adjustable lamps and be specific for installation in indicated slopes.	



NOT FOR
CONSTRUCTION

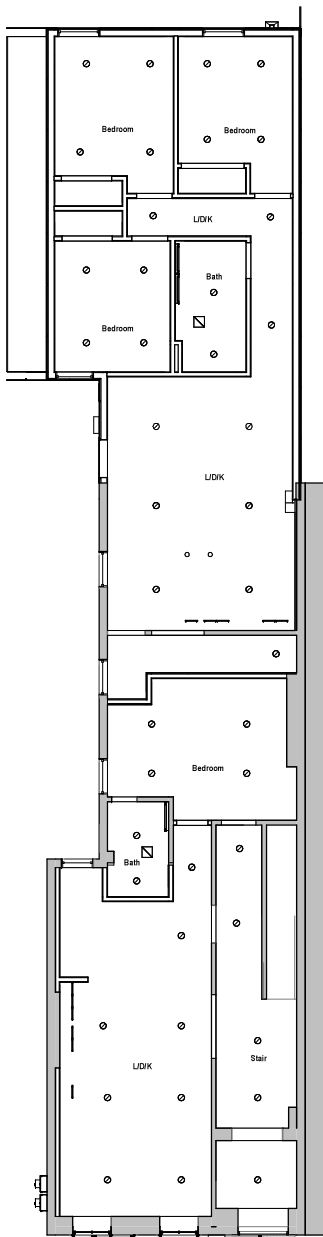
Date	
Specification	
No.	

Fortis Construction & Design
Apartment Conversion and Addition
627 North 10th Street
Philadelphia, PA 19130
REFLECTED CEILING
PLANS

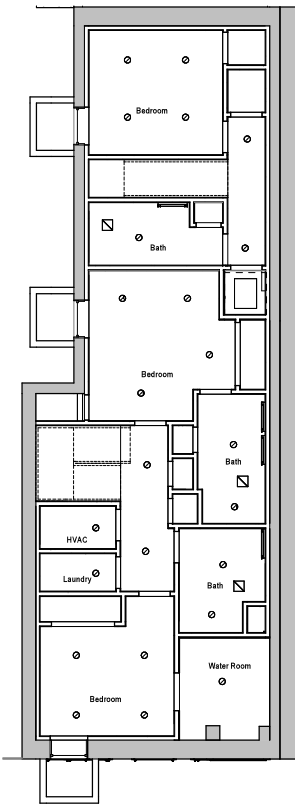
Project number 24001
Date 12 March 2024
Drawn by SNSP
Checked by MAT

A301

Scale As Indicated



1 First Floor Reflected Ceiling Plan
1/4" = 1'-0"



2 Basement Reflected Ceiling Plan
1/4" = 1'-0"

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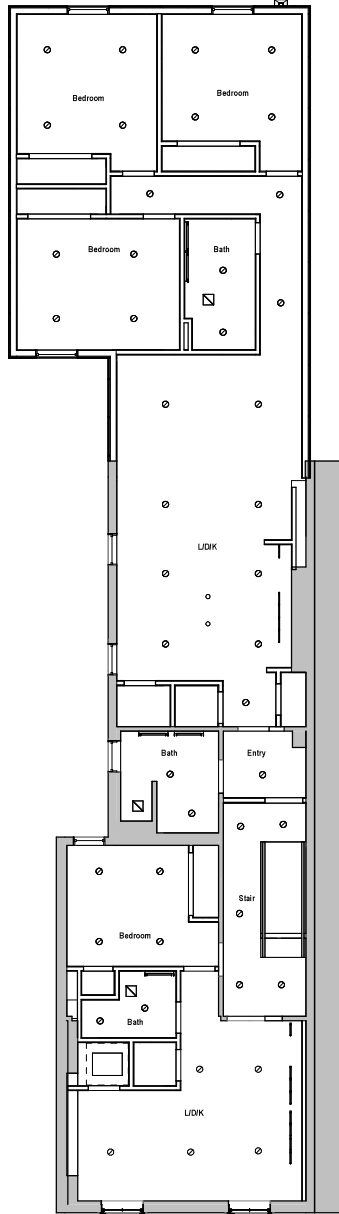
NOTES

1. Alignment points supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Remove and select existing systems as required to accommodate new work.
4. Contractor to confirm compatibility of all system parts.
5. VLT, but installation heights and locations for all devices light.
6. Contractor to remove and relocate/modify all new light fixtures at substantial completion of work.
7. MEP systems design by MEP Engineer. Contractor to coordinate MEP work with architectural work and notify Architect and Engineer of conflicts.
8. The contractor is responsible for the full coordination of all ceiling components. The contractor is to provide coordination drawings and a minimum include the following: location of ceiling grid main members and cross members, location and coordination of light fixtures, and diffusers. Contractor to verify that the light fixtures, diffusers and other components are compatible and all work within the specified ceiling system prior to purchasing these items. Any conflicts or coordination issues need to be brought to the attention of the architect immediately. Clearance above the ceiling is to be verified to confirm that the depth of the ceiling components will work with surrounding construction such as existing members and HVAC equipment or ductwork.
9. All diffusers, ductwork and fire alarm components are to be coordinated on the ceiling tile.
10. Ceiling detail elements are to be constructed in accordance with manufacturer's recommendations. Contractor to verify requirements with the manufacturer for location of grid main members and cross members as well as requirements for dead end, bracket and support requirements to the structural deck or other supporting members.

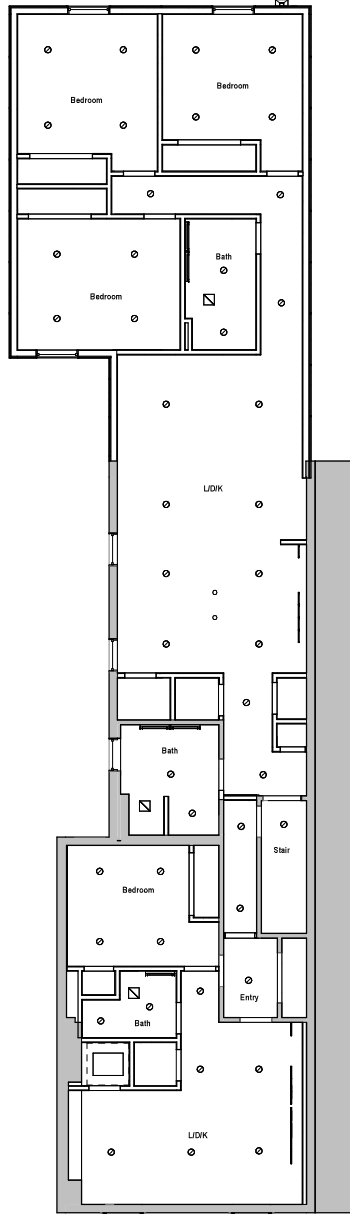


NOT FOR
CONSTRUCTION

Ceiling Symbols	
Item	Symbol
LED Disk	●
Yankee Light	■
Custom Mounted Ceiling Light	○
Source	□
Pendant Light	•
Exhaust Fan	⊞
Notes:	
1. All fixtures in wall locations shall be set at same level. All external fixtures must be exterior wall mount.	
2. Lights inside closets shall be on jamb switch unless otherwise noted.	
3. Recessed fixtures installed in sloped ceilings shall have adjustable lamps and be specific for installation in indicated slopes.	



1 Second Floor Reflected Ceiling Plan
A302 1/4" = 1'-0"



2 Third Floor Reflected Ceiling Plan
A302 1/4" = 1'-0"



CITY OF PHILADELPHIA APPROVAL STAMPS

Fortis Construction &
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Apartment Conversion and
Addition
627 North 10th Street
Philadelphia, PA 19130
REFLECTED CEILING
PLANS

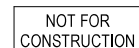
Project number 24001
Date 12 March 2024
Drawn by SNSP
Checked by BMT

A302

Scale As Indicated



1. Alignment notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Reroute and extend existing systems as required to accommodate new work.

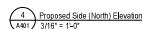
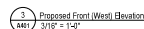
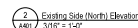
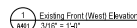
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Fortis Construction &
Design
Apartment Conversion and
Addition
627 North 16th Street
Philadelphia, PA 19130

EXISTING AND
PROPOSED ELEVATIONS

Project number	2400
Date	12 March 202
Drawn by	SNSI
Checked by	IM

A401

Scale $3/16" = 1'-0"$ 

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TONER
architects

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NOTES



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CONSTRUCTION

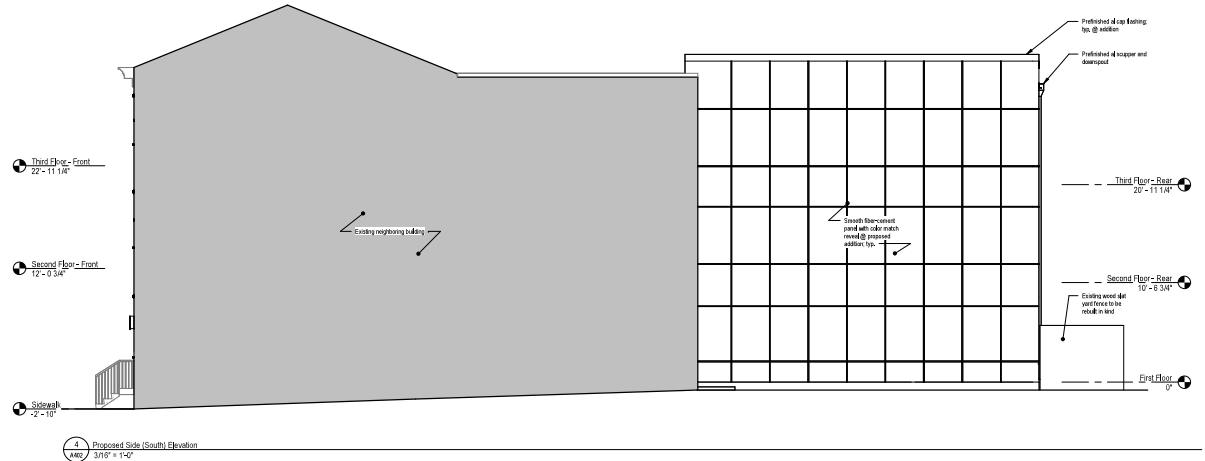
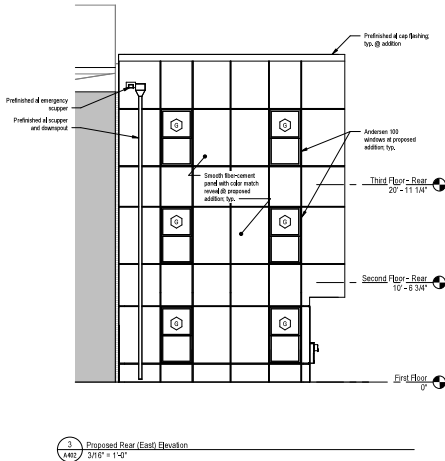
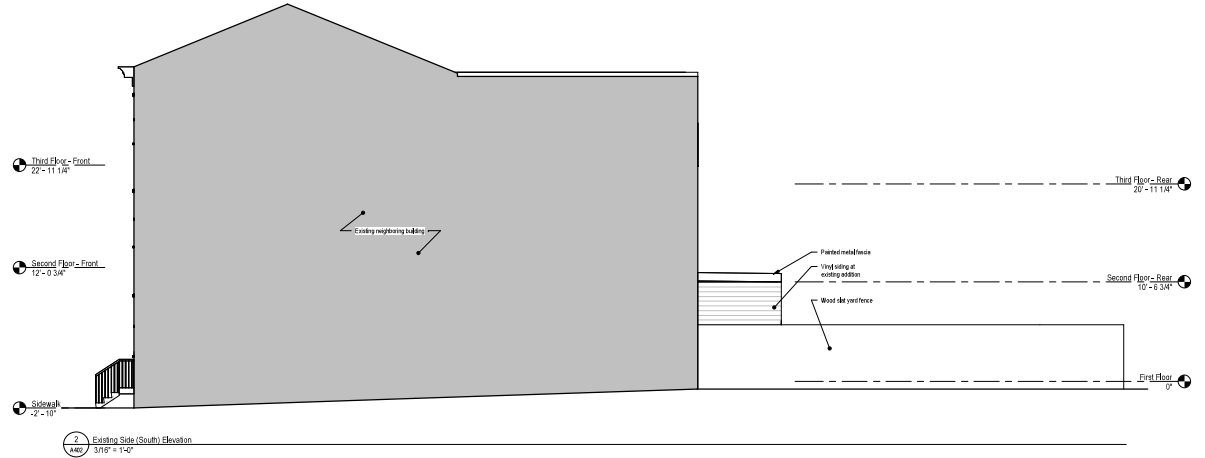
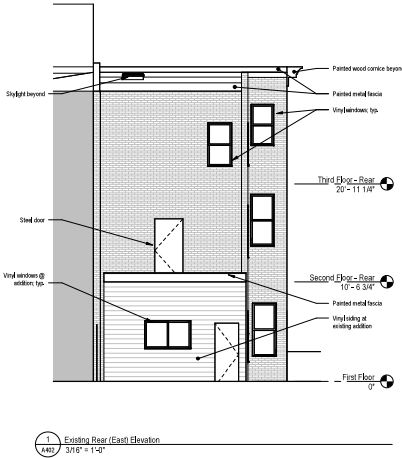
Fortis Construction &
Design
Apartment Conversion and
Addition
627 North 10th Street
Philadelphia, PA 19130
**EXISTING AND
PROPOSED ELEVATIONS**

Project number 24001
Date 12 March 2024
Drawn by SINSF
Checked by BMT

A402

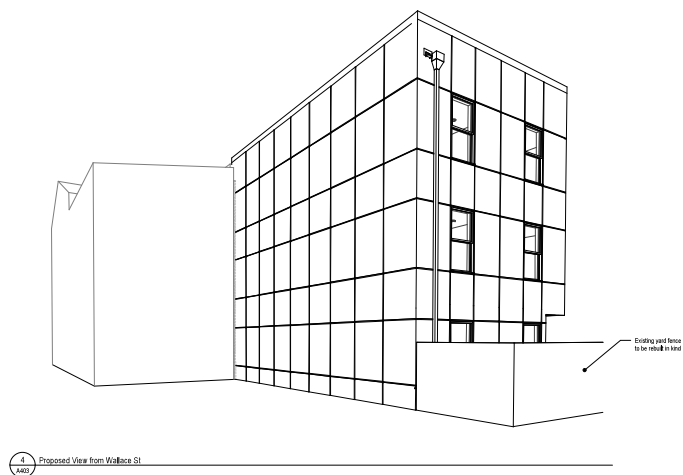
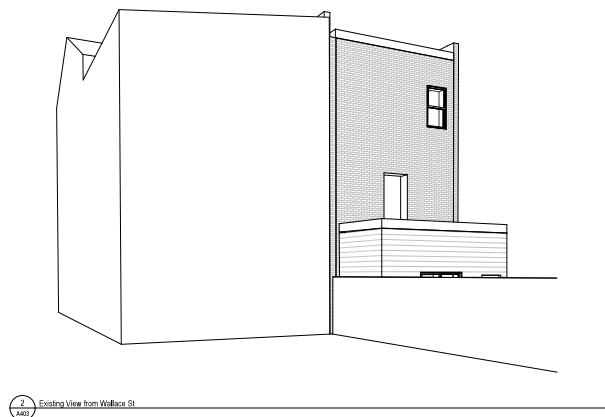
Scale 3/16" = 1'-0"

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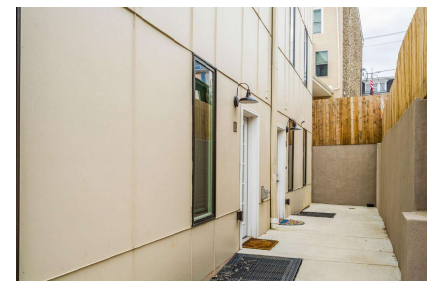
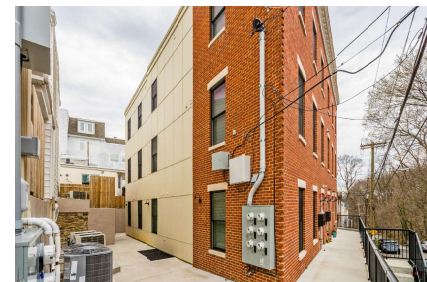




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Fiber Cement Panel Precedents

6601 Ridge Avenue & 509-511 Gorgos (See images below) used the same fiber cement board product as we are proposing to use on this project at 627 N 19th. The product was selected to replicate the feeling of the traditional stucco that was common throughout Philadelphia and to avoid the water infiltration problems that modern stucco over wood can have.

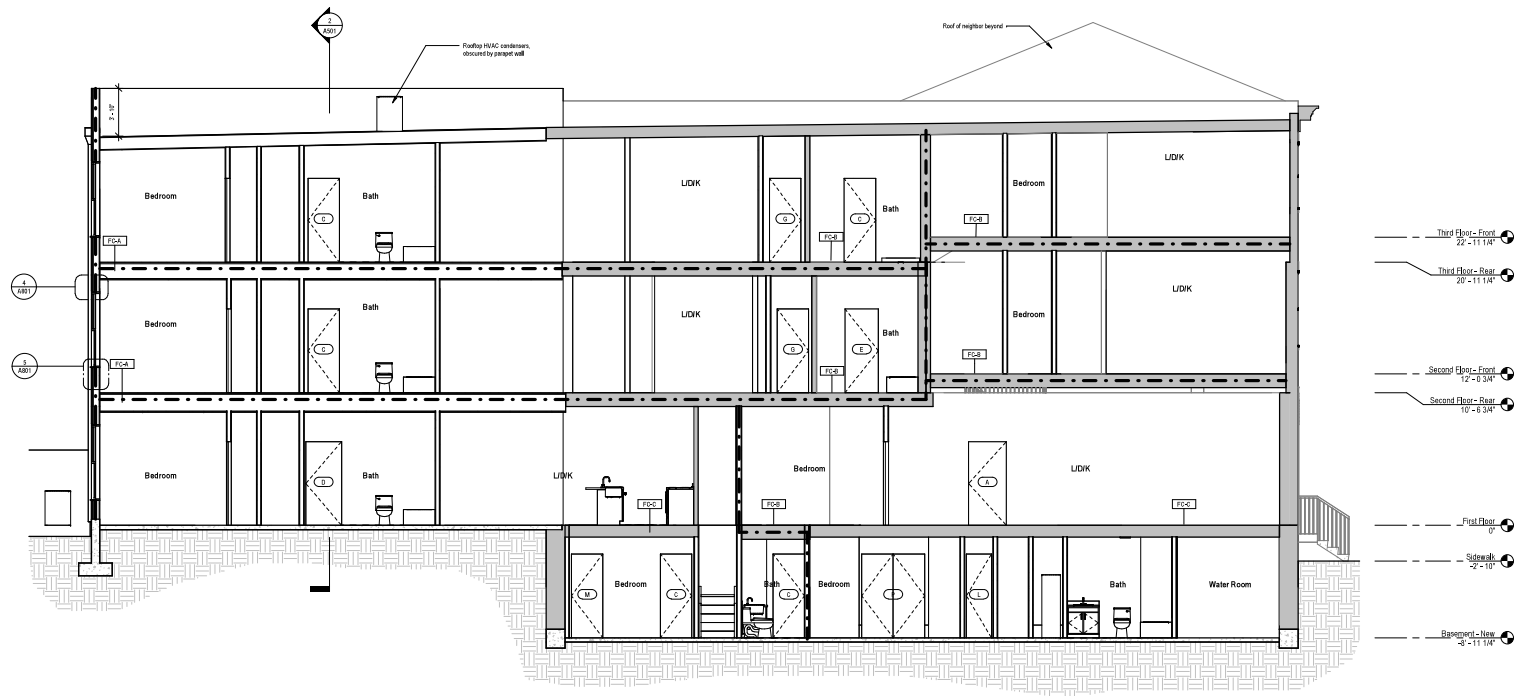
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**Fortis Construction &
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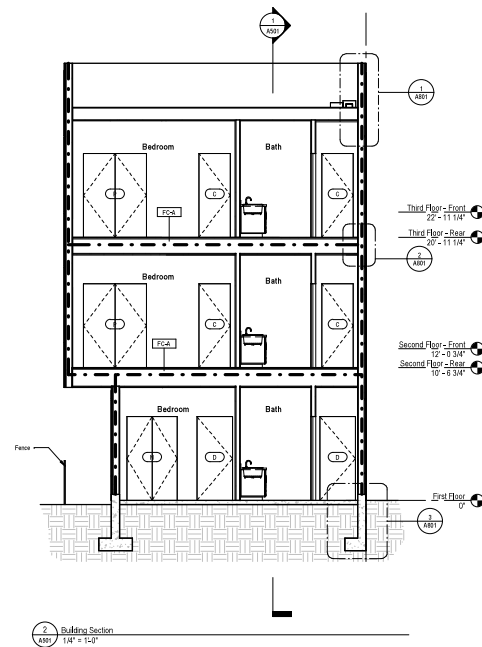
EXISTING AND PROPOSED VIEWS

Project number	2400
Date	12 March 2020
Drawn by	SNS
Checked by	IM
A403	
Scale	





1 Building Section
1/8" = 1'-0"



2 Building Section
1/8" = 1'-0"

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NOTES

1. Alligned notes supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the architect.
2. All dimensions are to the face of finished wall unless noted otherwise.
3. Permute and extend existing systems as required to accommodate new work.



NOT FOR
CONSTRUCTION

Date	
Description	
No.	

Fortis Construction &
Design
Apartment Conversion and
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627 North 10th Street
Philadelphia, PA 19139
BUILDING SECTIONS

Project number 24001
Date 12 March 2024
Drawn by SNSP
Checked by BMT

A501

Scale 1/8" = 1'-0"

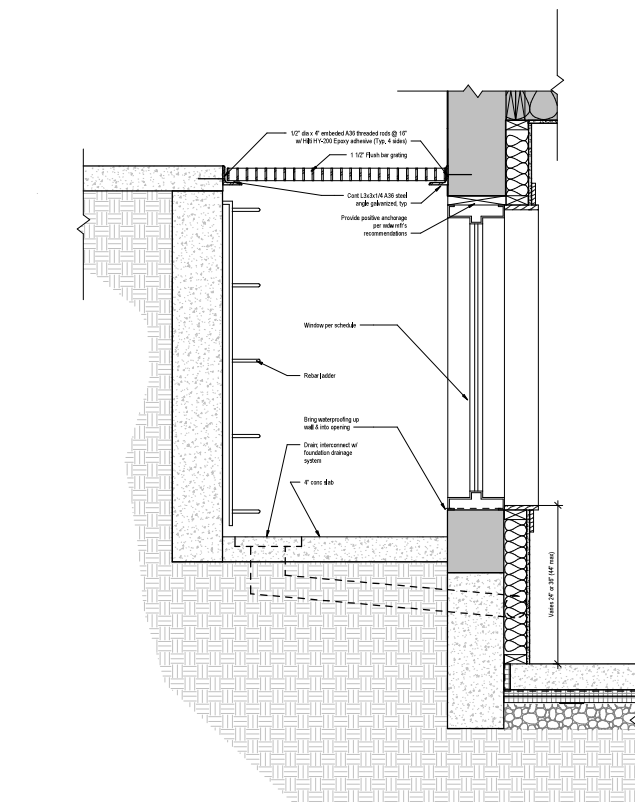
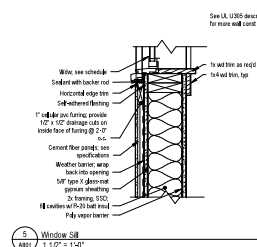
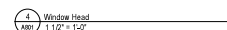
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1. **Aggravant notes** supersede dimensions where noted. Where conflicting information is noted, direction must be provided by the Architect.
2. **All dimensions** are to the face of finished wall unless noted otherwise.
3. **Remove and extend** existing systems as required to accommodate new work.

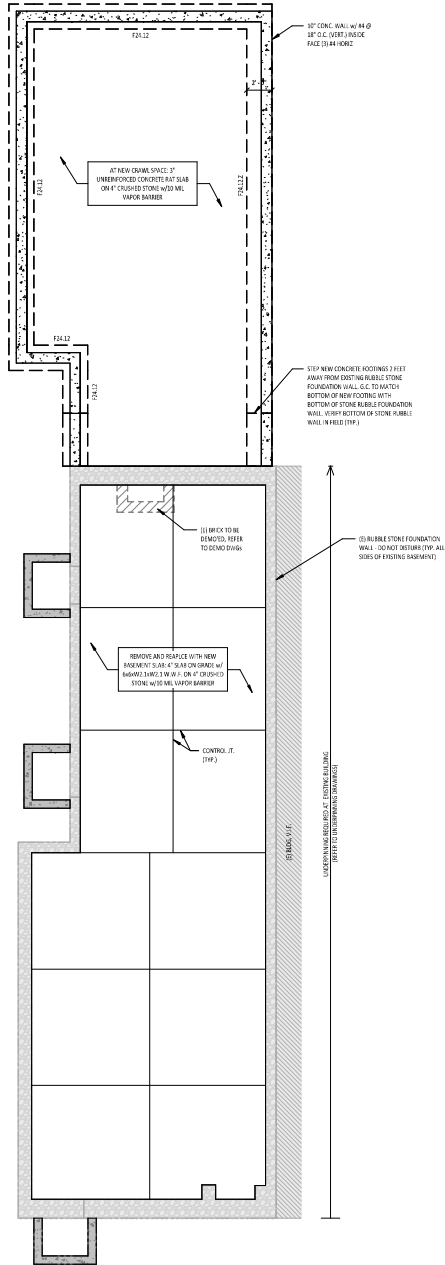
[illegible]

Project number	2400
Date	12 March 2021
Drawn by	SNS
Checked by	IM
A801	
Scale	1 1/2" = 1'-4"



6 Egress Well
A801 1 1/2" = 1'-0"

CITY OF PHILADELPHIA APPROVAL STAMPS



- FOUNDATION PLAN NOTES**
1. FIRST FLOOR IS ELEVATION +0' 0".
 2. DATUM ELEVATION 0' 0" IS EQUIVALENT TO SITE ELEVATION +300.1 FT.
 3. FOUNDATION MEMBERS ARE DESIGNATED AS FOLLOWS:
 - 10' F.P. - INDICATES TOP OF FOOTING
 - 10' F.P. - FOOTING MEMBER (SEE SCHEDULE)
 - 10' F.P. - FOOTING STEP (SEE TIP DETAILS)
 4. COORDINATE WITH ARCH, MECH, ELEC, AND PLUMBING DRAWINGS FOR FLOOR SLOPES, DRAPS, OPENINGS, DEPRESSIONS, ETC., NOT SHOWN ON THIS PLAN.
 5. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT INDICATED.
 6. REFER TO STRUCTURAL DRAWING S10.1.1.
 7. TOP OF 1ST FLOOR FINISHED SURFACE = +0' 0" - PROJECT DATUM, SEE ARCH. AND CIVIL.
 8. ALL WALL FOOTINGS SHALL BE RETAINED CRACKED ON FOUNDATION WALL UNLESS NOTED OTHERWISE.
 9. TOP OF SLAB ELEVATION = SEE PLAN.
 10. TOP OF WALL F.P. ELEVATION = 1' 4" U.L.D.

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FOUNDATION PLAN
1/8" = 1' 0"



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215.800.1988
www.brownandcalder.com

NOTES



THE PROJECT NO.
215-964-2007
www.theramtingroup.com
915 SPRING GARDEN ST. 2ND FL.
PHILADELPHIA, PA 19103

PA P.E. NO. 084867

RAMTIN SANKHATNATH P.E.

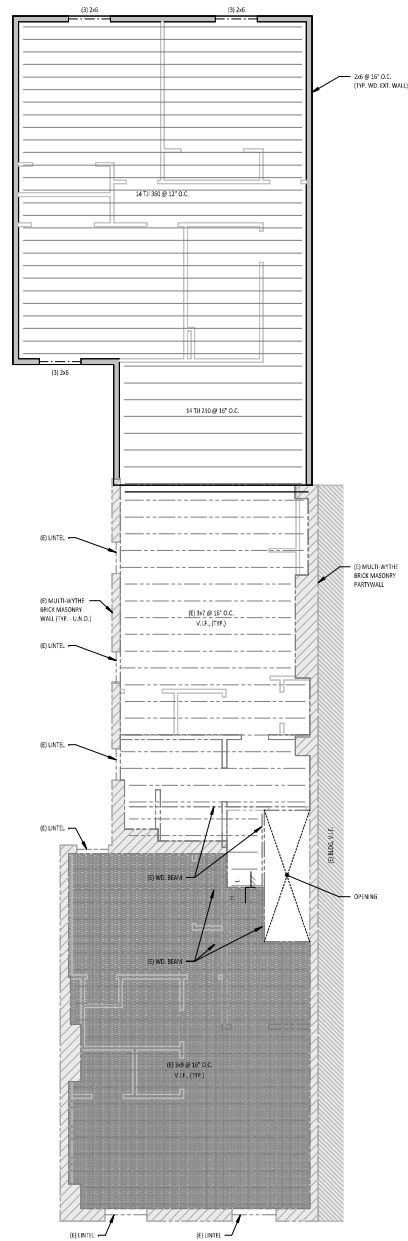


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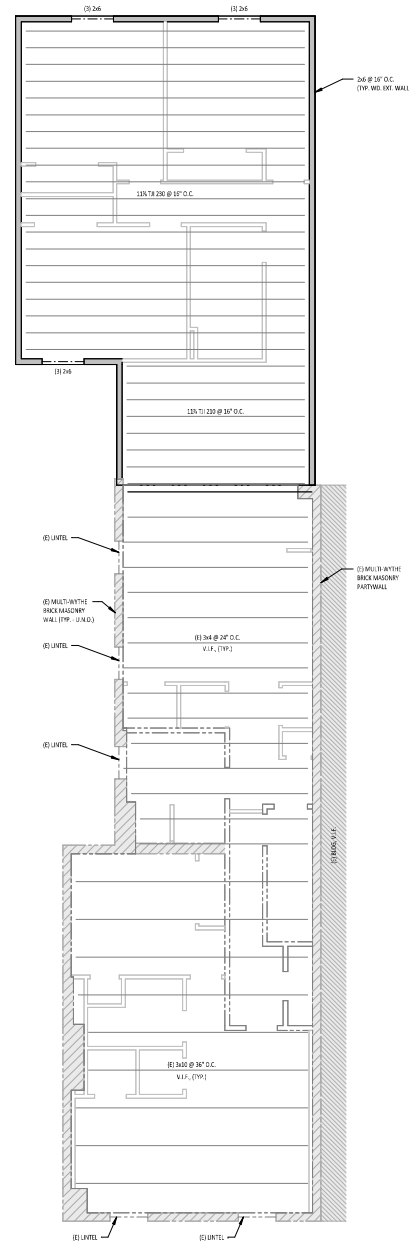
Fortis Construction & Apartment Conversion and Addition
827 NORTH 18TH STREET
PHILADELPHIA, PA 19130

FOUNDATION PLAN

Project number	24001
Date	03/12/2024
Drawn by	RS
Checked by	RS
S100	
Scale	1/8" = 1'-0"



3RD FLOOR FRAMING PLAN
1/4" = 1'-0"



ROOF FRAMING PLAN
1/4" = 1'-0"

TYPICAL FRAMING PLAN NOTES

1. TYPICAL EXTERIOR FRAMING AND NON-BEARING WALLS SHALL BE CONSTRUCTED OF 24\"/>

CITY OF PHILADELPHIA APPROVAL STAMPS

1901 S. 9th Street
Room 405
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215.800.1988
www.ramtingroup.com

NOTES



THE PROJECT NO.
215-964-0007
www.ramtingroup.com
918 SPRING GARDEN ST. 2ND
PHILADELPHIA, PA 19133

PA P.E. NO. 084867

RAMTIN SANKHARAT P.E.



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CONSTRUCTION

Fortis Construction &
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Addition
627 NORTH 18TH STREET
PHILADELPHIA, PA 19130

STRUCTURAL PLANS

Project number	24001
Date	03/12/24
Drawn by	RS
Checked by	RS
S201	1/4" = 1'-0"



627 N 16th St

616 N 16th St
Philadelphia, Pennsylvania
Google Street View
Apr 2023 See more dates

FAIRMOUNT

ace St
ernon St
N 15th St
N 16th St
N 17th St

SOUTH Restaurant & Jazz Club



627 N 16th Street, Philadelphia - Front

627 N 16th St



1600 Wallace St

Philadelphia, Pennsylvania



Google Street View

Apr 2023

See more dates

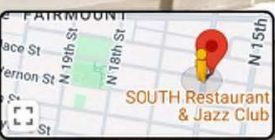


ONE WAY

STOP

Google

627 N 16th Street, Philadelphia - Front



627 N 16th St



1529 Wallace St

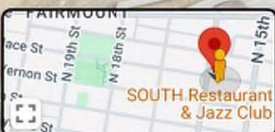
Philadelphia, Pennsylvania



Google Street View

Apr 2023

See more dates



Google

627 N 16th Street, Philadelphia - Side From Wallace Street



12/2023
627 N 16th Street, Philadelphia
Front Facade Details



12/2023
627 N 16th Street, Philadelphia
Front Facade Details



12/2023
627 N 16th Street, Philadelphia
Front Facade Details



12/2023
627 N 16th Street, Philadelphia
Front Facade Details



12/2023
627 N 16th Street, Philadelphia
Front & Side Facade Details



12/2023
627 N 16th Street, Philadelphia
Side Facade Details



12/2023
627 N 16th Street, Philadelphia
Front & Side Facade Details



12/2023
627 N 16th Street, Philadelphia
Front Facade Details



12/2023
627 N 16th Street, Philadelphia
Front Facade Details



12/2023
627 N 16th Street, Philadelphia
Front Facade Details



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12/2023
627 N 16th Street, Philadelphia
Front Facade Details