

ADDRESS: 26-34 CHURCH LN

Proposal: Construct five-story residential building

Review Requested: Final Approval

Owner: Olympia Holdings

Applicant: Kevin O'Neill, KJO Architecture LLC

History: vacant lot

Individual Designation: None

District Designation: Germantown Urban Village Historic District, 2/9/2024

Staff Contact: Alex Till, alexander.till@phila.gov

OVERVIEW: This application proposes constructing a five-story mixed use building on a vacant lot at 26-34 Church Lane. The property is a contributing parcel to the Germantown Urban Village Historic District. The proposed building will contain commercial space on the ground floor and 33 dwelling units spread over the floors above, with a roof deck. The façade fronting Church Lane will be clad in a light-colored brick and feature a large grid of regularly spaced, narrow, rectangular windows.

The Historical Commission sent notice to all property owners in the proposed Germantown Urban Village Historic District, which includes this property, on 16 November 2023. Prior to the issuance of the district notice, the property owner had applied for a zoning permit in eCLIPSE, L&I's online permitting system, for the construction of this building. The zoning permit was issued on 28 November 2023. Section 6.9.a.10 of the Commission's Rules and Regulations, the so-called "transition rule," allows the Commission, its committees, and staff to consider development plans in place at the time of the issuance of the notice announcing the consideration of a designation, including but not limited to executed contracts, substantial design development, or other evidence of a material commitment to development in the review of applications.

Before approximately 1841, no buildings stood on the property, which was a part of a pair of larger lots owned by Caspar Wistar and Paul Kripner. Between 1841 and 1871, four stone twin houses were constructed on the lots that now make up the subject property. In 1916, those houses were demolished, and a two-story brick building with no basement was constructed in their place and used as a garage and offices. This building was demolished sometime after 2008 and the lot has sat vacant since. The historic district nomination contends that the property at 26-34 Church Lane is additionally significant under Criterion I for its potential to yield archaeological information important to history, specifically for its potential to yield information related to the Battle of Germantown in 1777 and the development of Germantown's cross streets in the nineteenth century.

An initial application for this project was considered at the Architectural Committee meeting on 23 January 2024. The Architectural Committee voted to recommend denial for that application and a revised design was reviewed by the Historical Commission at its 9 February 2024 meeting. At that meeting, the Historical Commission voted to remand the application back to the Architectural Committee with the comments that the design appears to be improved but there were not enough application materials submitted to constitute a complete application. They recommended the applicant resubmit a more complete set of plans with additional information showing the context of the surrounding buildings.

SCOPE OF WORK:

- Construct a five-story mixed use building at 26-34 Church Ln.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
 - The proposed new construction will meet Standard 8 provided appropriate archaeological mitigation measures are undertaken.
- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
 - The proposed new construction materials and design meet Standard 9. It will be differentiated from the surrounding buildings and use compatible materials and features. The proposed massing, scale, and proportions do not meet Standard 9.

STAFF RECOMMENDATION: Denial, owing to the size, scale, and massing of the building relative to its context, pursuant to Standard 9.

IMAGES:

Figure 1: 26-34 Church Lane today. Source Cyclomedia



Figure 1: The configuration of The Paul Kripner Lot in 1800, under the ownership of James Stokes. Source: Deed: Anthony Johnson to James Stokes, 5 July 1800, E.F., No. 4, p. 8. Source: City Archives of Philadelphia.

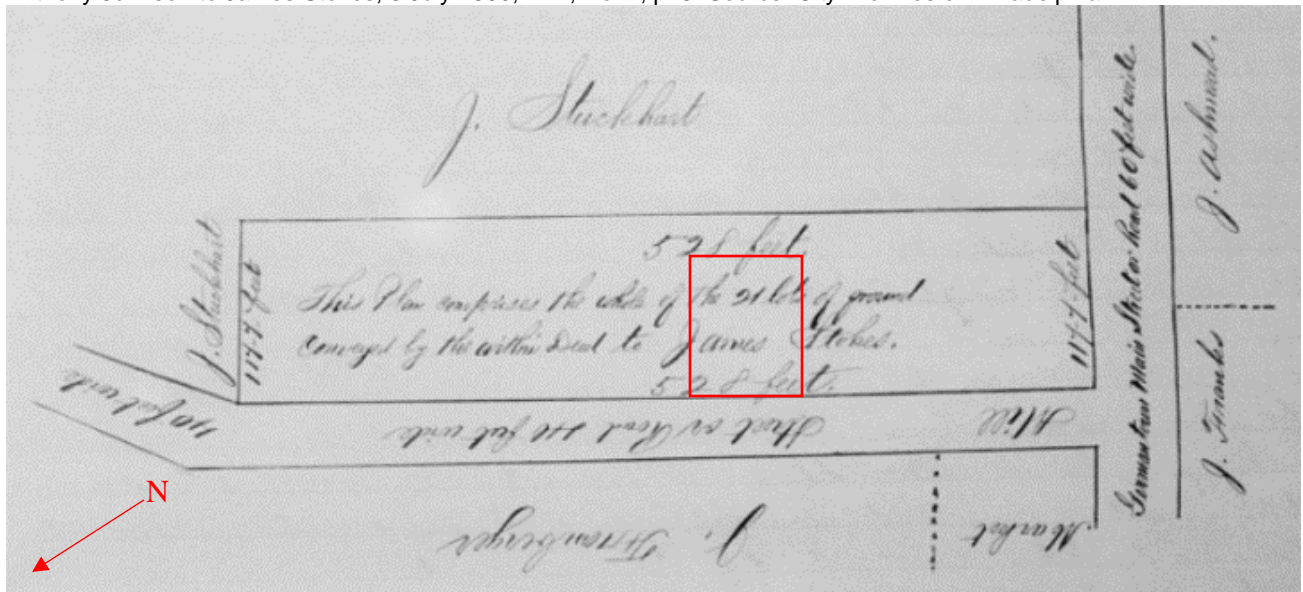


Figure 2: 1871 Germantown Atlas showing approximate location of subject property in red.

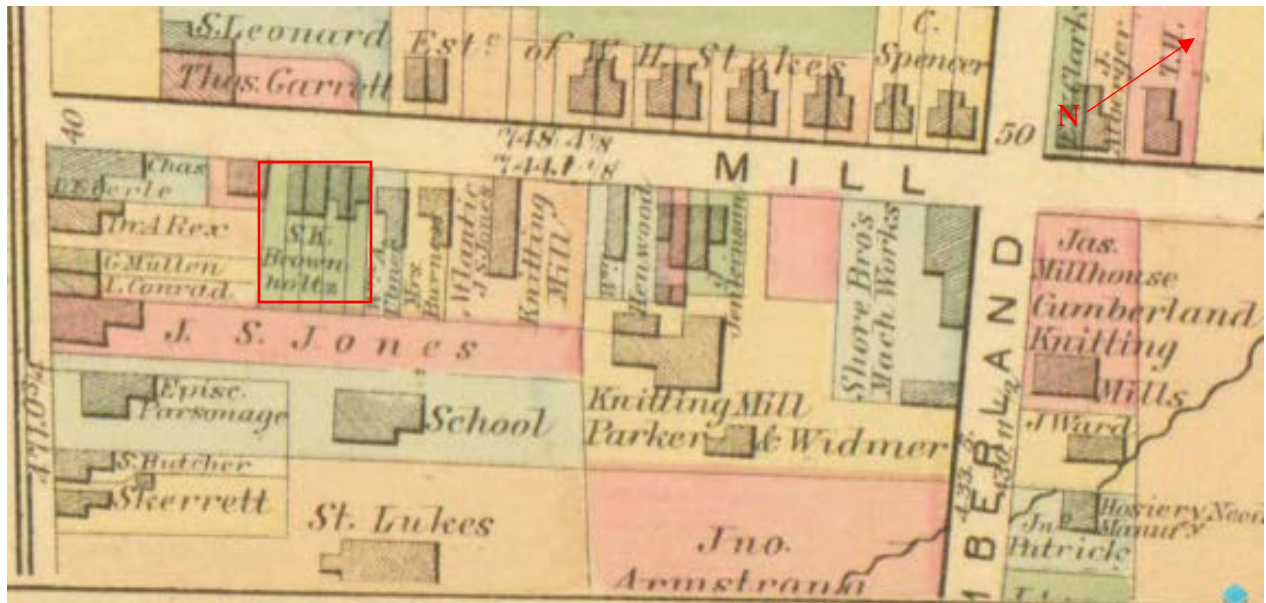
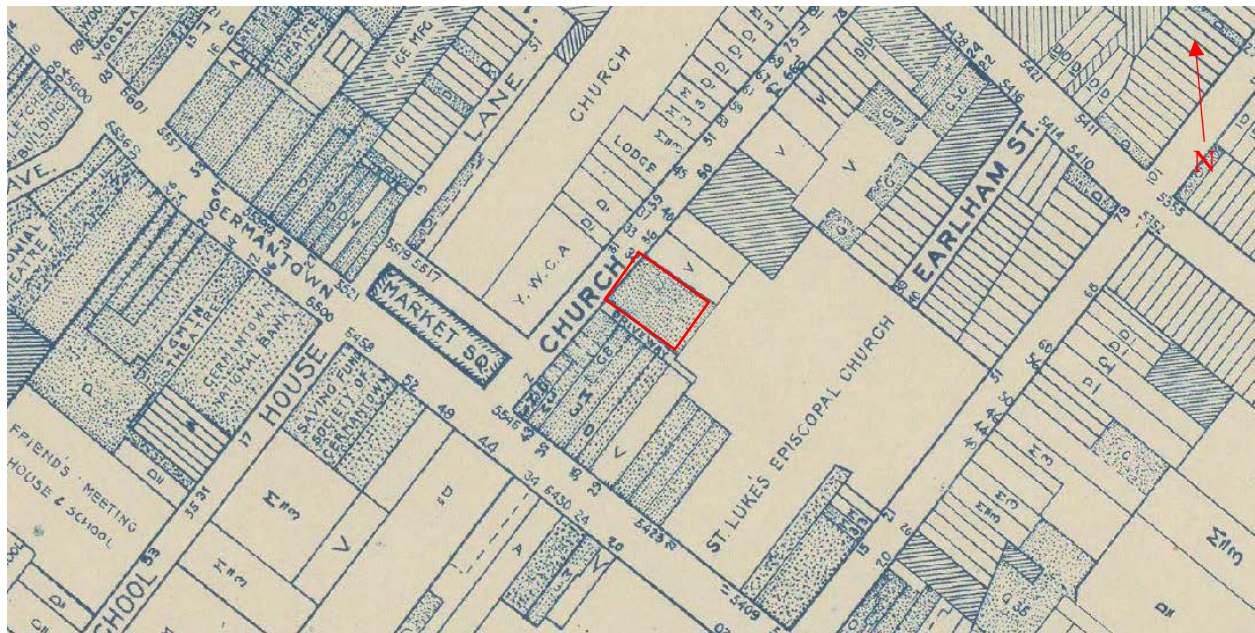


Figure 3: 1962 WPA Land Use Map showing subject property in red.





26-34 CHURCH LN.

PHC SUBMISSION

FEBRUARY 16, 2024

26-34 CHURCH LN.

DEVELOPER
NADLAN PROPERTIES

ARCHITECT
KJO ARCHITECTURE, LLC
2424 E. YORK ST. STE. 240
PHILADELPHIA, PA 19125

CIVIL ENGINEER
AMBRIC TECHNOLOGY CORPORATION
100 PINE STREET
COLWYN, PA 19023

PROJECT SUMMARY

The development team is proposing a five-story mixed-use residential building comprised of thirty-three dwelling units and a vacant ground floor commercial space. A zoning permit has been issued for the property. The project will replace an existing vacant lot that is being used for parking. This property has been vacant since the 1990’s. The proposed building will have a brick façade facing Church Lane in a light masonry color. Rectangular window openings are evenly distributed on floors two to five of the facade. The upper floors’ windows and storefront framing on the ground floor are in a dark bronze color. All proposed building criteria such as area, density, height etc. comply with the Philadelphia Zoning Code.

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16	NEIGHBORING BUILDINGS KEY

EXISTING SITE CONTEXT



SITE: 26-40 CHURCH LN

AERIAL VIEW OF SITE (IMAGE FROM GOOGLE MAPS)

SITE PHOTOGRAPHS



26-34 CHURCH LANE
STREET VIEW FROM CHURCH LANE (IMAGE FROM GOOGLE MAPS)



26-34 CHURCH LANE
STREET VIEW FROM WEST CORNER (IMAGE FROM GOOGLE MAPS)

RENDERINGS
 VIEW FROM MARKET SQUARE



RENDERINGS
 PERSPECTIVE - LOOKING SOUTHWEST



RENDERINGS
 PERSPECTIVE - LOOKING SOUTHWEST (NIGHT)



ELEVATIONS
NORTH



ELEVATIONS
WEST



ELEVATIONS
EAST

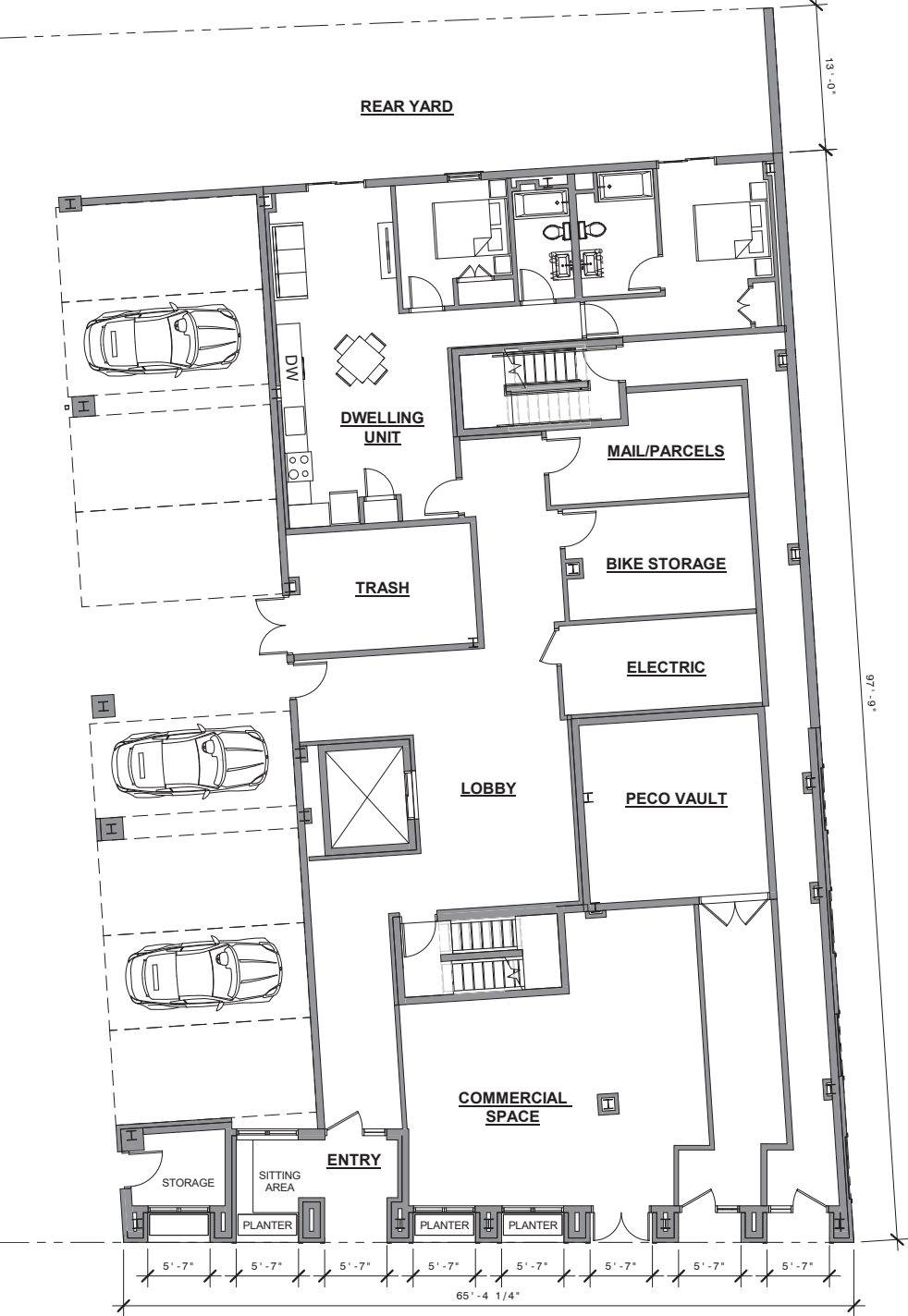
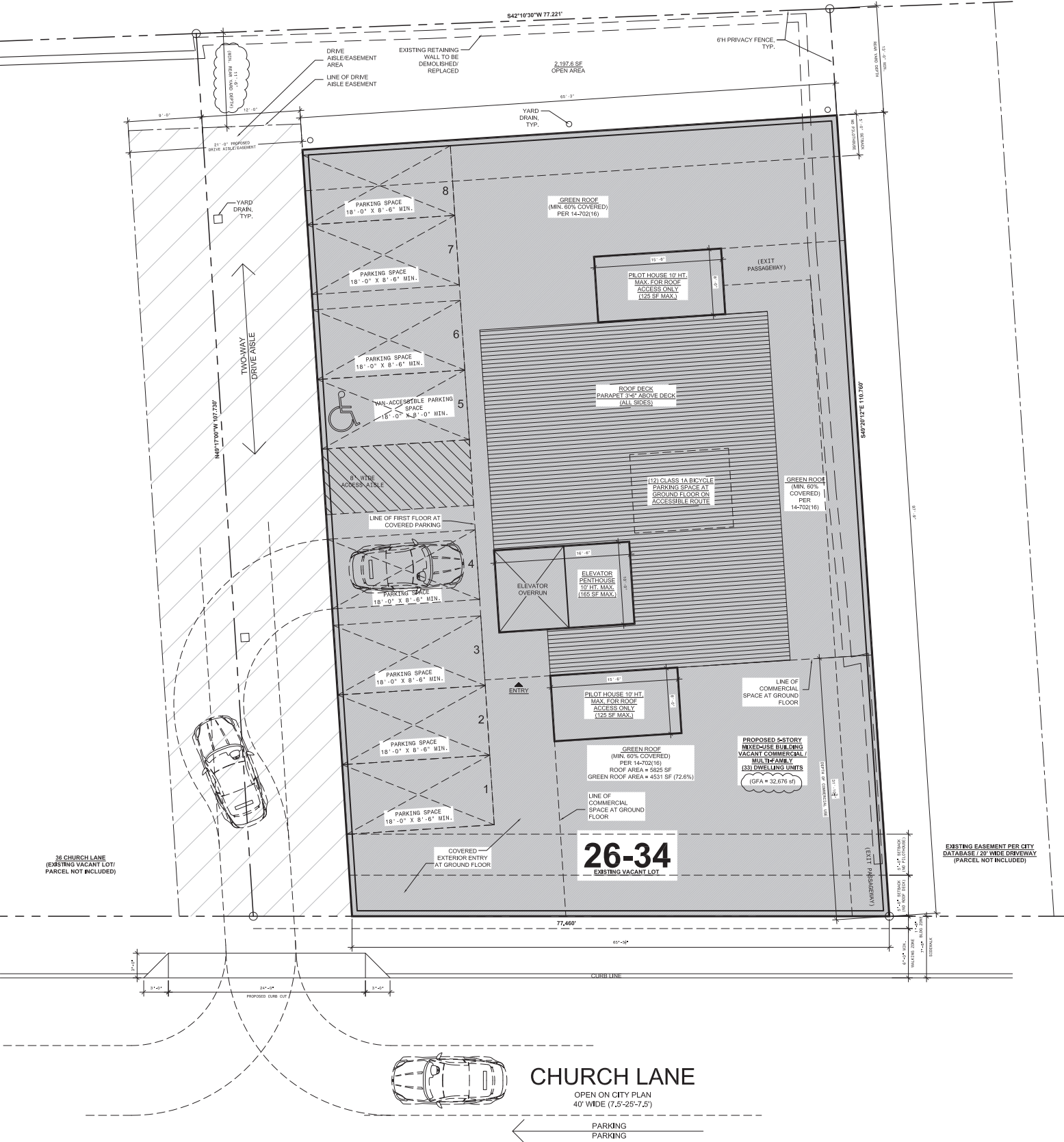


ELEVATIONS
SOUTH

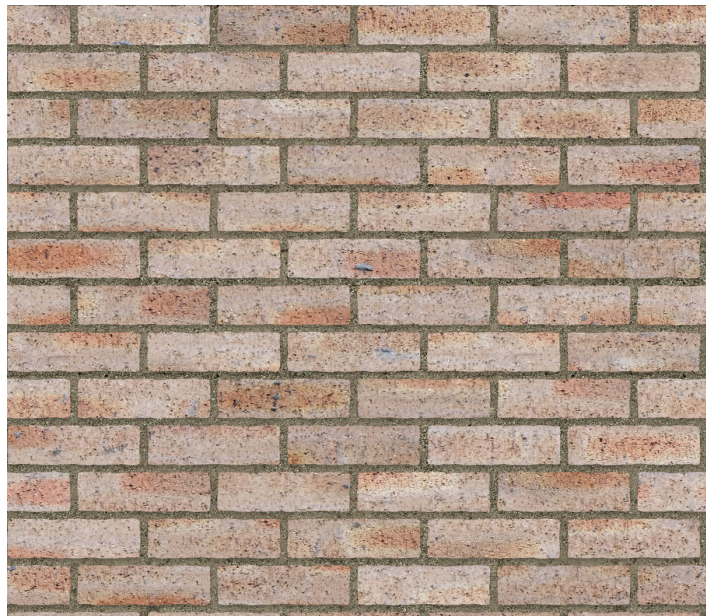


SITE PLAN + GROUND FLOOR PLAN

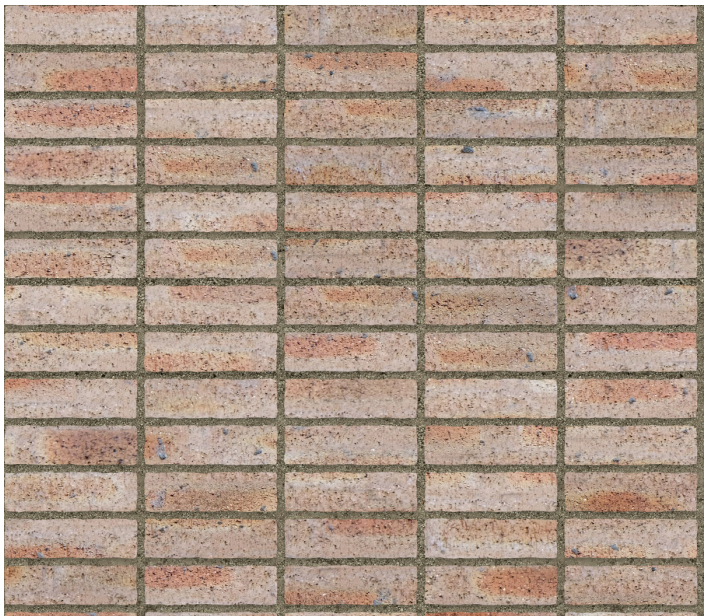
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MATERIAL PALETTE



BRICK VENEER A - RUNNING BOND
COLOR: TAN / BEIGE
MORTAR: KLM KEYSTONE



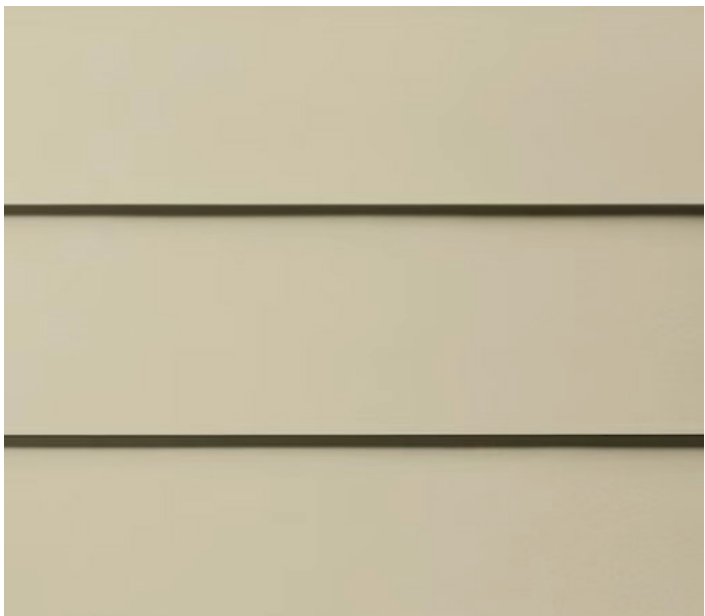
BRICK VENEER B - STACKED BOND
COLOR: TAN / BEIGE
MORTAR: KLM KEYSTONE



STONE VENEER
COLOR: NATURAL
MORTAR: KLM KEYSTONE



LAP SIDING A - JAMES HARDIE
COLOR: KHAKI BROWN
LOCATION: FLOORS 2-5 + PILOT HOUSE

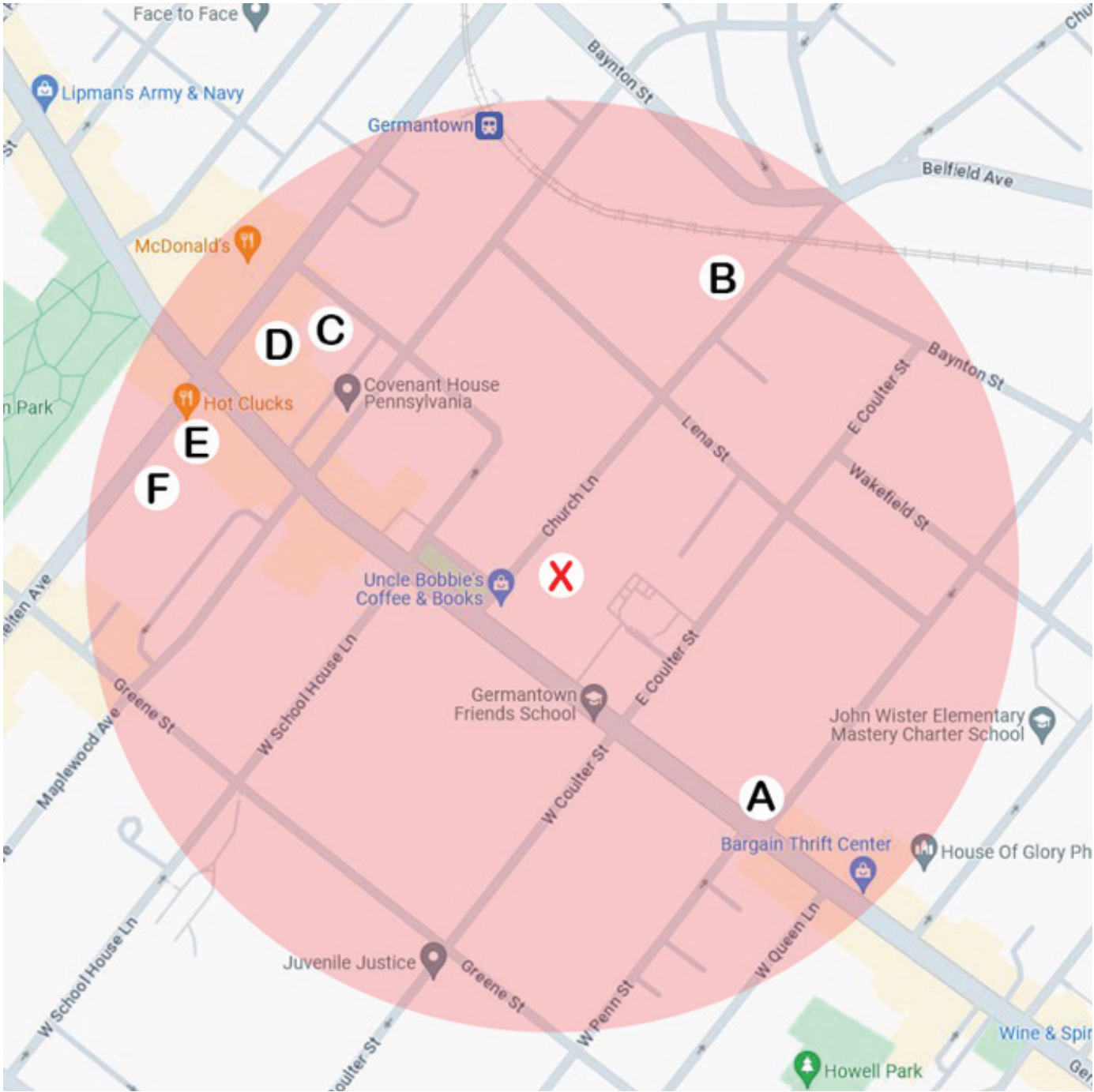


LAP SIDING A - JAMES HARDIE
COLOR: COBBLE STONE
LOCATION: GROUND FLOOR



MISCELLANEOUS METAL
COLOR: BLACK
LOCATION: ALUMINUM STOREFRONT, RAILINGS,
FASCIA, SOFFIT, GUTTERS, ETC.
WINDOWS / DOORS TO MATCH

LOCATION MAP OF EXISTING STRUCTURES OF SIMILAR HEIGHT & SCALE (1/4 MILE RADIUS)



LOCATION MAP (IMAGE FROM GOOGLE MAPS)

EXISTING STRUCTURES OF SIMILAR HEIGHT & SCALE
(1/4 MILE RADIUS)



BUILDING A
5301 GERMANTOWN AVE. (6 STORIES)



BUILDING C
33 E. WOODLAWN ST. (5 STORIES)



BUILDING E
18 W. CHELTEN AVE. (14 STORIES)



BUILDING B
231 CHURCH LN. (7 STORIES)



BUILDING D
40 E. CHELTEN AVE. (8 STORIES)



BUILDING F
26-34 W. CHELTEN AVE. (5 STORIES)

RENDERINGS



26-34 Church Ln
Street view

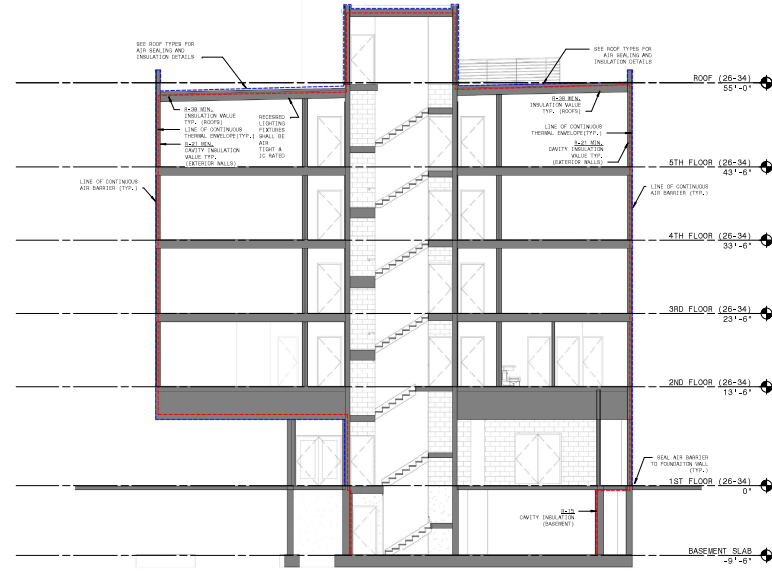
ONE (1) MULTI-FAMILY BUILDING
26-34 CHURCH LANE
PHILADELPHIA, PA 19144

THE DRAWINGS AND ITS ACCOMPANYING INFORMATION AND ANY ASSOCIATED IDEAS AND CONCEPTIONS ARE THE SOLE PROPERTY OF KJO ARCHITECTURE, INC. AND ARE NOT TO BE REPRODUCED OR USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THEY WERE FURNISHED. KJO ARCHITECTURE, INC. HEREBY GRANTS TO THE CLIENT THE RIGHT TO USE THE DRAWINGS AND ALL PROPERTY RIGHTS IN THESE DRAWINGS, IDEAS AND CONCEPTIONS. THE INFORMATION ON THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER. THE INFORMATION ON THIS SHEET IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF KJO ARCHITECTURE, INC. NOTATED HEREON. ANY REPRODUCTION OF THESE DRAWINGS ARE NOT TO BE MADE, REPRODUCED, TRANSMITTED ELECTRONICALLY ARE NOT FOR CONSTRUCTION. ALL INFORMATION IS TO BE KEPT CONFIDENTIAL. NO INFORMATION IS TO BE RELEASED DURING CONSTRUCTION. CONTRACTOR IS TO BE RESPONSIBLE FOR THE PROTECTION OF THE FIELD; IF DISPERSED ARE FOUND, THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPROPRIATE CONSTRUCTION PROCEDURES. COORDINATING WORK WITH THAT OF ALL OTHER CONTRACTORS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS.

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SCALE:As indicated

CS - 1



WINDOW SCHEDULE 26-34									
WINDOW #	QUANTITY	WIDTH	HEIGHT	MATERIAL	COLOR	TYPE	GLASS	EGRESS	NOTES
1	116	2'-8"	8'-0"			A			26-34

WINDOWS/SKYLIGHTS/DOORS: THE SPACE BETWEEN THE WINDOW/DOOR JAMBS & FRAMING OR BETWEEN SKYLIGHTS & FRAMING SHALL BE SEALED.

CRAWL SPACE: EXPOSED EARTH IN UNVENTED CRAWL SPACE SHALL BE COVERED WITH CLASS 1 VAPOR RETARDER, ALL JOINTS TAPED. PERIMETER WALLS SHALL HAVE R-10 OR GREATER CONTINUOUS INSULATION OR R-13 CAVITY INSULATION. REFER TO DETAIL S.

ELECTRICAL/PHONE/CABLE BOX ON EXTERIOR WALL: INSTALL CONTINUOUS AIR BARRIER BEHIND THE BOXES OR PROVIDE AIR-SEALED BOXES.

INWAS REGISTER BOOTH/ INWAS REGISTER BOOTH THAT PENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO SUBFLOOR/DRYWALL.

CONCEALED SPRINKLERS: WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN THE FIRE SPRINKLER COVER PLATES WALLS AND CEILING.

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PROJECT DESCRIPTION
26-34 CHURCH LANE
PHILADELPHIA, PA 19144
OWNER/PROJECT CONTACT:
OLYMPIA HOLDINGS

ISSUED FOR:	DATE:
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ISSUED FOR:	DATE:
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PERMITS	11.27.23
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SCALE: 3/32" = 1'-0"

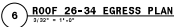
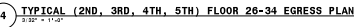
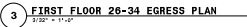
EGRESS PLAN

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299

CS-3



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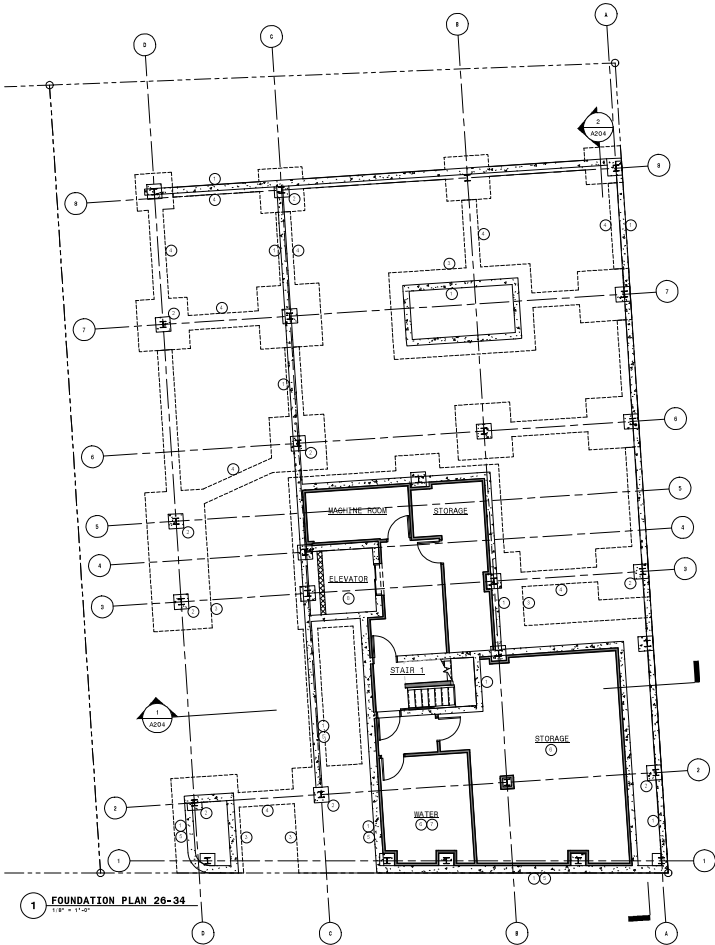
SHEET SIZE: ARCH D 24X36

EGRESS PLAN

22

CS-

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FOUNDATION KEYNOTES	GENERAL NOTES
<div><div></div><div>FOUNDATION WALL & FOOTING (SEE STRUCTURAL)</div></div> <div><div></div><div>CONCRETE PIER & FOOTING (SEE STRUCTURAL)</div></div> <div><div></div><div>MAT SLAB FOOTING (SEE STRUCTURAL)</div></div> <div><div></div><div>GRADE BEAM (SEE STRUCTURAL)</div></div> <div><div></div><div>BRICK LEDGE (SEE STRUCTURAL / DETAILS)</div></div> <div><div></div><div>REINFORCED CONCRETE SLAB/MAT SLAB (SEE STRUCTURAL) ON 6 MIL VAPOR BARRIER ON CRUSHED AGGREGATE, TYP. (SEE STRUCTURAL)</div></div> <div><div></div><div>SUMP AND PUMP AS REQUIRED. COORDINATE LOCATION IN BASEMENT WITH ARCHITECTURAL DRAWINGS, COORDINATE W/ MEP DRAWINGS.</div></div> <div><div></div><div>ELEVATOR PIT. COORDINATE REQUIREMENTS W/ ELEVATOR MANUFACTURER.</div></div>	<div>CONTRACTOR TO COORDINATE FOUNDATION ELEVATIONS W/ SURVEY, CIVIL PLANS AND ACTUAL SITE CONDITIONS</div> <div>NOTE: ALL WATER, UTILITY AND MECHANICAL LOCATIONS ARE FOR REFERENCE ONLY. COORDINATE WITH RESPECTIVE UTILITY COMPANIES & CONTRACTORS PRIOR TO CONSTRUCTION. FINAL LOCATIONS TO BE APPROVED BY OWNER/ARCHITECT PRIOR TO CONSTRUCTION.</div> <div>ALL REQUIRED UNDERSLAB UTILITIES, PLUMBING, ELEC, ETC., TO BE COORDINATED BY CONTRACTOR PRIOR TO SLAB INSTALLATION</div> <div>NOTE: ALL PENETRATIONS AND JOINT SYSTEMS IN FIRE RESISTANCE RATED CONSTRUCTION SHALL BE IN ACCORDANCE W/ IBC/ISC SECTION 714 & 715 AND ALL APPLICABLE CODES</div>

kjo

ARCHITECTURE

KJO ARCHITECTURE, LLC

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PHILADELPHIA, PA 19125

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F: 215.259.0903

WWW.KJOARCHITECTURE.COM

ONE (1) MULTI-FAMILY BUILDING

26-34 CHURCH LANE

PHILADELPHIA, PA 19144

PROJECT DESCRIPTION

26-34 CHURCH LANE

PHILADELPHIA, PA 19144

OWNER/PROJECT CONTACT:

OLYMPIA HOLDINGS

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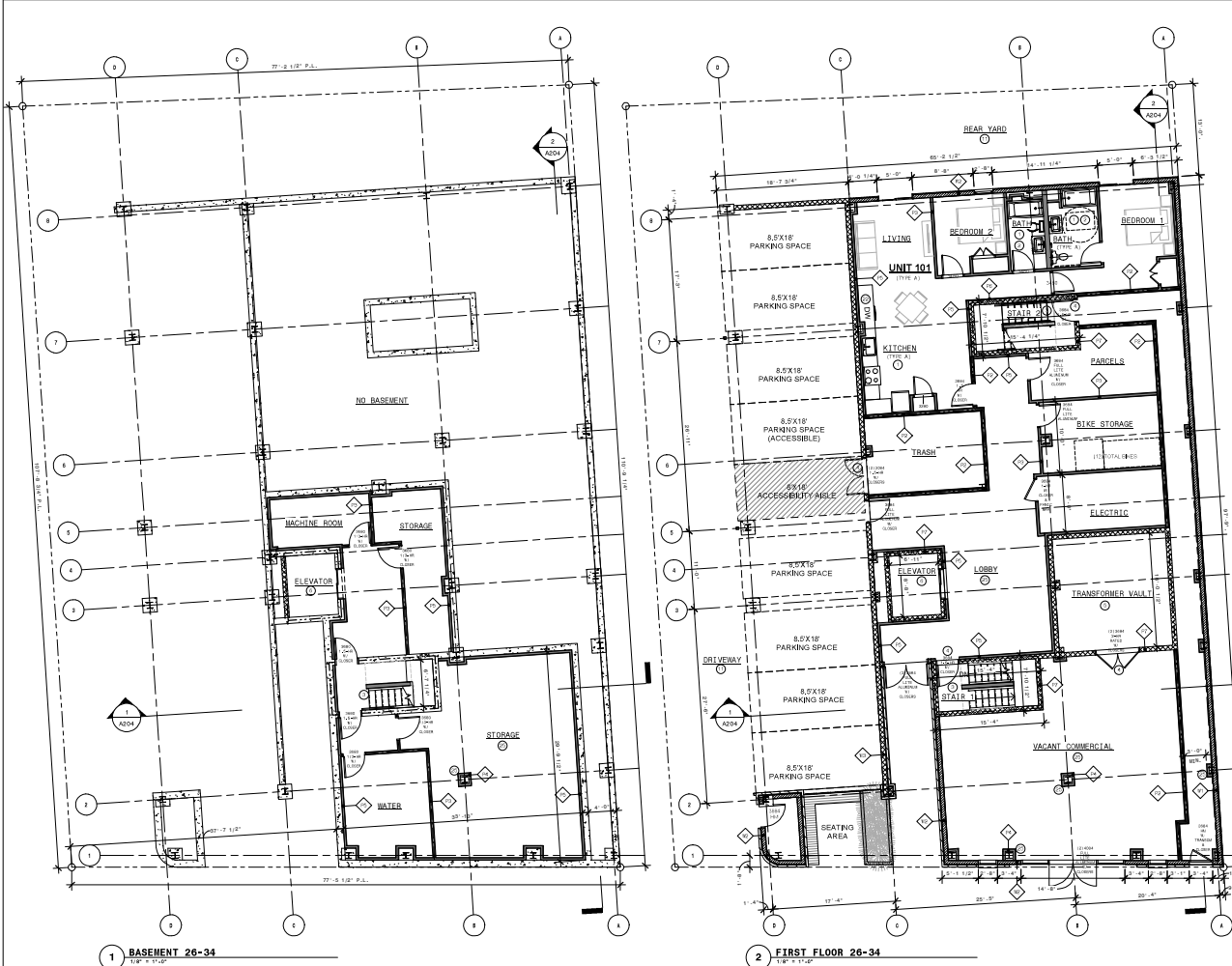
ISSUED FOR: DATE:

PERMITS 11.27.23

SCALE:As indicated

FOUNDATION PLAN

A001



- | | |
|---|---|
| 1 | INTERIOR METAL STUDS PARTITION, 1 ST FLOOR
(1" HIR RATED, UL 460, 52 MIN.)
-3/5" @ 20" GA. STEEL STUDS @ 16" O.C.
-1/2" HIR METAL CHANNEL @ 24" O.C. (ONE SIDE)
-3/12" FIBERGLASS RATT INSULATION
-5/8" GWB PER UL BOTH SIDES |
| 2 | INTERIOR METAL STUDS PARTITION, 1 ST FLOOR
(2" HIR RATED, UL 4411)
-3/5" @ 20" GA. STEEL STUDS @ 16" O.C. W/ RATT
(2) 1/2" @ 5/8" PER UL BOTH SIDES |
| 3 | INTERIOR PARTITION, 1 ST FLOOR
-3/5" @ 20" GA. STEEL STUDS @ 16" O.C.
-5/8" GWB BOTH SIDES |
| 4 | INTERIOR METAL STUDS FURRING WALL
-20" @ 16" STEEL STUDS @ 16" O.C.
-5/8" GWB |
| 5 | INTERIOR METAL STUDS FURRING WALL (INSULATED)
-3/5" @ 20" GA. STEEL STUDS @ 16" O.C. W/ R-15
UNFACED FIBERGLASS INSULATION
-5/8" GWB |
| 6 | INTERIOR METAL STUDS FURRING WALL
-5/8" GWB (SEE STRUCTURAL) |
| 7 | 5/8" GWB ON METAL FURRING STRIPS @ 16" O.C.
(SEE GRC WALL) (SEE STRUCTURAL) |

- | | |
|----|---|
| | <p>1/8" BATED PARTITION & CORRIDOR
 (UL 550S, ETC 94, MCG 2100E)</p> <p>• 2x6 WOOD STUDS @ 16" O.C./W/ DOUBLE TOP PLATE
 • RESISTENT METAL CHANNELS @ 24" O.C. VERTICALLY (SEEKING ABOVE)
 • 3/12" FIBERGLASS BATT INSULATION TO UNDERSIDE OF DECKING ABOVE
 • METAL OPSIDE OF DOUBLE TYPEX OPSIDE BOARD BOTH SIDES
 (PROVIDE FIRE PROTECTION TO UNDERSIDE OF DECKING ABOVE)</p> |
| PR | <p>1/8" BATED MIT SEPARATION PARTITION
 (UL 550S, ETC 94, MCG 2100E)</p> <p>• DOUBLE WOOD MIT, 2x4 WOOD STUDS @ 16" O.C. OR PER STRUCTURAL DRAWING/ W/ DOUBLE TOP PLATE
 • 3/12" FIBERGLASS BATT INSULATION BOTH SIDES
 • 1/2" NATIONAL OPSIDE FIRE RESISTANCE OPSIDE BOARD BOTH SIDES</p> |
| | <p>INTERIOR PARTITION
 • MIN. 2x4 WOOD STUDS @ 16" O.C./ W/ DOUBLE TOP PLATE
 • 1/2" TYPE-X GIB BOTH SIDES</p> |
| | <p>CURBING PARTITION
 • 2x4 WOOD STUDS @ 16" O.C./ W/ DOUBLE TOP PLATE
 • 1/2" TYPE-X GIB BOTH SIDES</p> |
| PR | <p>1/8" BATED PARTITION
 • METAL TURNUP STRIPS @ 16" O.C.
 • 1/2" TYPE-X GIB</p> |

- 2-HR RATED PARTITION**
(U/L, U01, ST2, METAL, NDC, 2011060)

 - EX6 MOD STUDS @ 16" O.C. W/ DOUBLE TOP PLATE TO UNDERSIDE OF DECKING
 - (W/ 2-HR JOIST HANGERS ON BOTH SIDES OF WALL)
 - RESILIENT METAL CHANNELS @ 24" O.C., VERTICALLY (ONE SIDE)
 - 2 1/2" FIBERGLASS BATT INSULATION
 - 2 LAYERS 5/8" NATIONAL GYP/STUD FIRE-SHIELD GYPSUM BOARD BOTH SIDES TO UNDERSIDE OF DECKING

2-HR RATED SHUTT W/ TRASH CHUTE
(U/L, U015 SYSTEM B, STC 90)

 - 1" U/S GYPSUM LINER PANEL
 - 6" U/S 25 GA. METAL STUDS @ 24" O/C
 - MIN. 9" THICK MINERAL WOOL INSULATION
 - 2 LAYERS U/S 1/2" FIRECORE TYPE-C GWB

NOTE:
FOR ALL INTERIOR WALLS, COORDINATE W/ STRUCTURAL DRAWINGS FOR STUD SIZE, SPACING, AND PLUMB/O/SHEARWALL SHEATHING WHERE REQUIRED.

- 1) VERIFY IN FIELD ALL FLOOR LOCATIONS PRIOR TO ROUGH-IN, COORDINATE WITH ALL DISCIPLINES.
- 2) PROVIDE GEMENT BOARD SUBSTRATE AT ALL TILED LOCATIONS. BATHROOM PROVIDE EXHAUST FAN VENTED TO EXTERIOR.
- 3) EXIST STAIR: 36" WIDE CONCRETE-FINISHED METAL GRATING. MAX RISE: 7" TREAD: 12" PROVIDE 34" MIN. HEIGHT (38" MAX.) HANDRAIL BOTH SIDES W/ EXTENSION PER 2018 IRC 104.4 & 42" CONTINUOUS GUARD RAIL.
- 4) PROVIDE MEAD DOOR FRAME W/ 4" HEAD AS REQUIRED TO SUIT CURB W/ COURSEING.
- 5) TRANSOMER VENT SHALL HAVE 3/4" SLOPED FLOOR MANUFACTURING. PROVIDE: 12"x12" SUMP HOLE W/ FLOOR SLOPED TOWARDS IT; MIN. 4" SH SILL AT CORNER; MIN. 4" SLOPE TO SUMP W/ FANID BAR; DOOR WIDTH SHALL BE MIN. 36" FOR PERSONAL ACCESS; 48" FOR EQUIPMENT ACCESS. PROVIDE VENTILATION PER ELECTRICAL CODE, CORRIDOR, W/ MEP. ALL WORK SHALL CONFORM TO CURRENT CODES STANDARDS & ELECTRICAL CODE.
- 6) **ELEVATOR RIGID MAX.** PROVIDE STEEL ANCHORS IN DECK FLOOR REINFORCING. PROVIDE 1/2" DIA. RAILS* INSTALLATION. PROVIDE HOIST BEAM WITH THE REQUIRED LOAD RATING - COORDINATE W/ ELEVATOR MANUFACTURER FOR DRAWER FOR REQUIRED LOADS. CONTRACTOR TO PROVIDE ELEVATOR SHOP DRAWINGS PRIOR TO CONSTRUCTION FOR COORDINATION OF STRUCTURAL & MECHANICAL. PROVIDE 1/2" DIA. ELEVATOR SHALL ACCOMMODATE AMBULANCE STRETCHER PER 2018 IRC 3002.4. PROVIDE EMERGENCY 2-WAY COMMUNICATION SYSTEM AS REQUIRED PER 2018 IRC 3002.2.
- *ELEVATOR SHALL BE PROVIDED WITH STANDBY POWER PER 2018 IRC 1009.4, UNLESS A HORIZONTAL EXIST IS PROVIDED PER 2018 IRC 1009.2.2
- 7) ELEVATOR (HORIZONTAL EXIST) IS PROVIDED IN THIS BUILDING). PROVIDE VENTING PER 2018 IRC 3002.4 WHERE ELEVATOR IS CONNECTED TO STANDBY POWER.
- 8) 42" GUARD RAIL SYSTEM @ BALCONY.
- 9) GREEN ROOF, COORDINATE W/ CIVIL DRAWINGS.
- 10) ROOF DECK/DECK: SINGLE-PLY MEMBRANE ROOFING SLOPED MIN. 1/4" PER FOOT TOWARD GUTTER/DRAIN. WHERE THERE IS NOOF DECK, PROVIDE LIGHT WEIGHT CONCRETE PAVERS.
- 11) ROOF DRAIN/SCUPPER W/ EMERGENCY SCUPPER OVERFLOW. COORDINATE W/ PLUMBING DRAINS, PROVIDE DOWNSPOUT TO DRAIN BOOT @ GRADE.
- 12) COORDINATE W/ CIVIL DRAIN PANS FOR YARD/AREA DRAINAGE.
- 13) NOT USED
- 14) MIN. 42" W/ 42" GUARD RAIL.
- 15) ROOF CRACK: MAINTAIN 2% MIN SLOPE, PROVIDE SLOPED INSULATION & PROTECTION BOARD TO SUIT.
- 16) PROVIDE LEADER AND SPLASH BLOCK ON SLIP SHEET WHERE DRAINING OUT TO ROOF/DECK.
- 17) PROVIDE ROOF PROTECTION PAD OR EQUIVALENT AT ALL ROOF MOUNTED EDP.
- 18) PROPOSED CONDENSER LOCATION.
- 19) CAST TON DRAIN BOOT, COORD. W/ MEP & CIVIL.
- 20) PROVIDE DRYER VENT DUCTED TO EXTERIOR, CORRIDOR, W/ MEP.
- 21) HORIZONTAL EXIST DOOR AT CORRIDOR: PROVIDE ELECTROMAGNETIC HOL-DOWN FOR DOORS CONNECTED TO FIRE ALARM SYSTEM, CORRIDOR, W/ MEP.
- 22) 30" 48" WHEELCHAIR SPACE.
- 23) **TYPE-A KITCHEN**
- 1) COUNTERTOP SHALL BE 34" MAX. A.F.F. (W/ FLUSH SINK)
- 2) 4" x 24" WIDE CLEAR FLOOR SPACE SHALL BE PROVIDED BETWEEN THE SINK AND BELOW A SEGMENT (30" WIDE) OF THE COUNTERTOP WITH THE FLOOR AND EXPOSED BACK WALL SURFACES BE FINISHED.
- 3) CABINERY MAY BE INSTALLED IN THE CLEAR FLOOR SPACE NOTED ABOVE THE COUNTERTOP.
- 4) THE WALL/FLOOR SURFACES ARE FINISHED
- 5) ABOVE THE CABINET MAY BE REMOVED WITHOUT THE REMOVAL OF BALCONY.
- 24) AT BALCONY, PROVIDE WALKABLE ELASTOMERIC DECK SLOPED 1/4" PER FOOT TO DRAIN.
- 25) DOOR THRESHOLD (IF FLOOR LEVEL) SHALL BE (MAX.) 4" ABOVE FINISHED EXTERIOR SURFACE (2018 IRC 1001.1.5)
- 26) AT BASEMENT & 1ST FL, PROVIDE 3/8" FIRE RATED SFP FOR ALL STEEL COLUMNS, AND BEAMS ABOVE THE RESPECTIVE LEVEL PER 18" W/ 26" FOR W-SHAPES OR W-37" FOR HSB'S. PROVIDE COVER 4-5/8" METAL TUB STURRING W/ 1/2" TYPE-A GING DOWNS FOR ALL COLUMNS.
- 27) NOT USED
- 28) COORDINATE W/ TRASH CHUTE MANUFACTURER FOR REQUIRED SFP/FLOOR OPENING OVERLAP. (SEE DETAILS ON **6000**)







- 14 PROPOSED LOC. GAS METERS
(GAS)
- 14 PROPOSED LOC. ELEC. METERS
(ELEC)

NOTE: ALL METER, UTILITY AND MECHANICAL LOCATIONS ARE FOR REFERENCE ONLY. COORDINATE WITH RESPECTIVE UTILITY COMPANIES & CONTRACTORS PRIOR TO CONSTRUCTION. FINAL LOCATIONS TO BE APPROVED BY OWNER/ARCHITECT PRIOR TO CONSTRUCTION.

ALL PLUMBING UNDERSLAB UTILITIES, PLUMBING, ELECTRICAL, ETC. TO BE COORDINATED BY CONTRACTOR PRIOR TO SLAB INSTALLATION.

NOTE: ALL PENETRATIONS AND JOINT SYSTEMS IN FIRE RESISTANCE RATED CONSTRUCTION SHALL BE IN ACCORDANCE W/ ICG 2018 IBC SECTION 714 & 715 AND ALL APPLICABLE CODES

PROVIDE ACOUSTICAL SEALANT @ ALL GYPSUM BOAR
TRANSITIONS AT UNIT SEPARATIONS;
WALLS, FLOORS, CEILINGS & SHAFTWALLS TYPICAL

-  2x4 @ 16" O.C. INTERIOR PARTITION
UNLESS NOTED OTHERWISE
 2x6 @ 16" O.C. EXTERIOR WALL ASSEMBLY
(COORDINATE W/ STRUCTURAL)
 4" BRICK VENEER
 CONCRETE FOUNDATION WALL
 2X4 @ 16" O.C. PARTIAL HT. KNEE WALL
 DENOTES MIN. 1-HR FIRE-RATED
SEPARATION WALL (CONTINUOUS FROM
FOUNDATION TO PARAPET)

- | | |
|--|---|
| <p>1-IR RATED 1ST FLOOR EXTERIOR WALL:</p> <ul style="list-style-type: none"> - FINISH AS SPECIFIED ON BUILDING WRAP (WHERE THERE IS BRICK: 4" BRICK VENEER W/ METAL WALL TIES @ 16" O.C. VERTICALLY, CONNECTED TO WALL STUDS, 1" AIR SPACE & BUILDING WRAP) - 5/8" EXT. TYPE-X GMB - 6" 20-MD METAL STUDS @ 16" O.C. W/ MIN. R-21 BATT INSULATION - 5/8" TYPE-X INT. GMB | <p>2- CMU WALL:</p> <ul style="list-style-type: none"> - 8" CMU WALL (SEE STRUCTURAL) (WHERE THERE IS BRICK: 4" BRICK VENEER W/ METAL WALL TIES @ 16" O.C. VERTICALLY, 1" AIR SPACE - PROVIDE HIGH-PERFORMANCE SEALER ON EXPOSED SIDE |
| <p>1-IR RATED EXTERIOR WALL (UO US01):</p> <ul style="list-style-type: none"> - FINISH AS SPECIFIED ON BUILDING WRAP (WHERE THERE IS BRICK: 4" BRICK VENEER W/ METAL WALL TIES @ 16" O.C. VERTICALLY, CONNECTED TO WALL STUDS, 1" AIR SPACE & BUILDING WRAP) - 5/8" EXT. TYPE-X GMB PER UO US05 W/ BUILDING WRAP FOR FRONT, REND A DRIVEWAY SIDE EXTERIOR WALLS WHERE FIRE SEPARATION DISTANCE IS <u>GREATER</u> THAN 10') - 6" 20-MD METAL STUDS @ 16" O.C. W/ MIN. R-21 BATT INSULATION - 5/8" TYPE-X INT. GMB PER UO US05 | <p>2- IR RATED EXTERIOR WALL (UO US01):</p> <ul style="list-style-type: none"> - FINISH AS SPECIFIED ON BUILDING WRAP - (2) LAYERS 5/8" TYPE-X EXT. GMB - 6" COORD. W/ STRUCTURAL FOR PLYWOOD SHEATHING WHERE REQUIRED - 2X6 WOOD STUDS @ 16" O.C. W/ MIN. R-21 BATT INSULATION & DOUBLE TIE GAP - (2) LAYERS 5/8" TYPE-X INT. GMB (AT EXTERIOR BALCONY ON 2ND TO 5TH FLOORS, EXTERIOR GMB SHALL BE USED) |



NOTE KEY

- 1 VERIFY IN FIELD ALL EXISTURE LOCATIONS PRIOR TO ROUGH-IN. COORDINATE WITH ALL DISCIPLINES.
- 2 PROVIDE CEMENT BOARD SUBSTRATE AT ALL TILED LOCATIONS. BATHROOM: PROVIDE EXHAUST FAN VENTED TO EXTERIOR.
- 3 EXIT STAIR: 36" WIDE CONCRETE-FILLED METAL STAIRS, MAX RISE: 7", TREAD = 11". PROVIDE 34" MIN. HEIGHT (35" MAX.) HANDRAIL BOTH SIDES W/ EXTENSION PER 2018 IBC 1014.6 & 42"H CONTINUOUS GUARD RAILS.
- 4 PROVIDE METAL DOOR FRAME W/ 4" HEAD AS REQUIRED TO SUIT CMU WALL COURSING.
- 5 TRANSFORMER VAULT: VAULT SHALL HAVE 3-HR RATED FLOOR/WALLS/CEILING. PROVIDE: 12"x12" SUMP HOLE W/ FLOOR SLOPED TOWARDS IT; MIN. 4" HILL AT DOORWAYS; DOORS SHALL BE 3-HR RATED W/ PANIC BARS; DOOR WIDTH SHALL BE MIN. 4' FOR PERSONNEL ACCESS & 5' FOR EQUIPMENT ACCESS. PROVIDE VENTILATION PER ELECTRICAL CODE (COORD. W/ MEP). ALL WORK SHALL CONFORM TO CURRENT PECO'S STANDARDS & ELECTRICAL CODE.
- 6 ELEVATOR SHIELD WALL: PROVIDE STEEL ANCHORS IN CMU WALL AS REQUIRED FOR ELEVATOR GUIDE RAILS' INSTALLATION. PROVIDE HOIST BEAM WITH ELEVATOR MANUFACTURER/SHOP DRAWINGS FOR REQUIRED LOADS. CONTRACTOR TO PROVIDE ELEVATOR SHOP DRAWINGS PRIOR TO CONSTRUCTION FOR COORDINATION OF STRUCTURAL & DIMENSIONAL/PIT REQUIREMENTS. ELEVATOR SHALL ACCOMMODATE AMBULANCE STRETCHER PER 2018 IBC 3002.4. PROVIDE EMERGENCY 2-WAY COMMUNICATION SYSTEM AS REQUIRED PER 2018 IBC 3007.2
- *ELEVATOR SHALL BE PROVIDED WITH STANDBY POWER PER 2018 IBC 1009.4 UNLESS A HORIZONTAL EXIT IS PROVIDED PER 2018 IBC 1009.2.2
- EXCEPTION: 1. HORIZONTAL EXIT IS PROVIDED IN THIS BUILDING. PROVIDE VENTING PER 2018 IBC 3002.4 WHERE ELEVATOR IS CONNECTED TO STANDBY POWER.
- 7 42"H GUARD RAIL SYSTEM @ BALCONY.
- 8 GREEN ROOF. COORDINATE W/ CIVIL DRAWINGS.
- 9 ROOF/ROOF DECK: SINGLE-PLY MEMBRANE ROOFING SLOPED MIN. 1/4" PER FOOT TOWARD SCUPPER/DRAIN. WHERE THERE IS ROOF DECK, PROVIDE LIGHT WEIGHT CONCRETE PAVERS.
- 10 ROOF DRAIN/SCUPPER W/ EMERGENCY SCUPPER/OVERFLOW. COORDINATE W/ PLUMBING DINGS. PROVIDE DOWNPOUT TO DRAIN BOOT @ GRADE.
- 11 COORDINATE W/ CIVIL DINGS FOR YARD/AREA
- 12 NOT USED
- 13 MIN. 42"H GUARD
- 14 ROOF GRIKET: MAINTAIN 2% MIN SLOPE. PROVIDE SLOPED INSULATION & PROTECTION BOARD TO SUIT.
- 15 PROVIDE LEADER AND SPLASH BLOCK ON SLIP SHEET WHERE DRAINING ONTO ROOF/DECK.
- 16 PROVIDE ROOF PROTECTION PAD OR EQUIVALENT AT ALL ROOF MOUNTED EQUIP.
- 17 PROPOSED CONDENSER LOCATION.
- 18 CAST IRON DRAIN BOOT, COORD. W/ MEP & CIVIL.
- 19 PROVIDE DRYER VENT DUCTED TO EXTERIOR, COORD. W/ MEP.
- 20 HORIZONTAL EXIT DOOR AT CORRIDOR: PROVIDE ELECTROMAGNETIC HOLD-OPEN FOR DOORS CONNECTED TO FIRE ALARM SYSTEM, COORD. W/ MEP.
- 21 30"x48" WHEELCHAIR SPACE.
- 22 TYPE-A KITCHEN
 - 1. COUNTERTOP SHALL BE 34" MAX. A.F.F. (W/ FLUSH SINK).
 - 2. A 30" WIDE CLEAR FLOOR SPACE SHALL BE PROVIDED BELOW THE SINK AND BELOW A SEGMENT (30" WIDE) OF THE COUNTERTOP WITH THE FLOOR AND EXPOSED BACK WALL SURFACES BE FINISHED.
 - 3. CABINETRY MAY BE INSTALLED IN THE CLEAR FLOOR SPACES NOTED ABOVE PROVIDING:
 - a) THE WALL/FLOOR SURFACES ARE FINISHED
 - b) THE CABINETRY MAY BE REMOVED WITHOUT THE REMOVAL OR REPLACEMENT OF THE COUNTERTOP.
- 23 AT BALCONY, PROVIDE WALKABLE ELASTOMERIC DECK SLOPED 1/4" PER FOOT TO DRAIN.
- 24 DOOR THRESHOLD @ FLOOR LEVEL SHALL BE (MAX.) 1.5" ABOVE FINISHED EXTERIOR SURFACE (2018 IBC 1010.1.4)
- 25 AT BASEMENT & 1ST FL. PROVIDE 3-HR FIRE RATED BRN FOR ALL STEEL COLUMNS, AND BEAMS ABOVE THE RESPECTIVE LEVEL PER UL-725 FOR W-SHAPES OR UL-X771 FOR HSB'S. PROVIDE 20-GA 3-5/8" METAL STUD FURRING W/ 5/8" TYPE-X GMB COVER FOR ALL COLUMNS.
- 26 NOT USED
- 27 COORDINATE W/ TRASH CHUTE MANUFACTURER FOR REQUIRED SHUT/FLOOR OPENING DIMENSIONS. SEE DETAIL ON A101

LEGEND

- 1 PROPOSED LOC. GAS METERS
- 2 PROPOSED LOC. ELEC. METERS
- 3 NOT USED

GENERAL NOTES

NOTE: ALL MECHANICAL, UTILITY AND MECHANICAL LOCATIONS ARE FOR REFERENCE ONLY. COORDINATE WITH RESPECTIVE UTILITY COMPANIES & CONTRACTORS PRIOR TO CONSTRUCTION. FINAL LOCATIONS TO BE APPROVED BY OWNER/ARCHITECT PRIOR TO CONSTRUCTION.

ALL PLUMBING UNDERSLAB UTILITIES, PLUMBING, ELECTRICAL, ETC. TO BE COORDINATED BY CONTRACTOR PRIOR TO SLAB INSTALLATION.

NOTE: ALL PENETRATIONS AND JOINT SYSTEMS IN FIRE RESISTANCE RATED CONSTRUCTION SHALL BE IN ACCORDANCE W/ IBC 2018 180 SECTION 714 & 715 AND ALL APPLICABLE CODES.

PROVIDE ACoustICAL SEALANT @ ALL GYPSUM BOARD TRANSITIONS AT UNIT SEPARATIONS; WALLS, FLOORS, CEILING & SHAMTALLS TYPICAL

WALL TYPE KEY

- 2x4 @ 16" O.C. INTERIOR PARTITION (UNLESS NOTED OTHERWISE)
- 2x6 @ 16" O.C. EXTERIOR WALL ASSEMBLY (COORDINATE W/ STRUCTURAL)
- 4" BRICK VENEER
- CONCRETE FOUNDATION WALL
- 2x4 @ 16" O.C. PARTIAL HT. KNEE WALL
- SEPARATES MIN. 1-HR FIRE-RATED SEPARATION WALL (CONTINUOUS FROM FOUNDATION TO PARAPET)

INTERIOR PARTITION SCHEDULE

- 1-HR RATED, 1ST FLOOR**
 - 3-5/8" 20-GA STEEL STUDS @ 16" O.C. (ONE SIDE)
 - RESILIENT METAL CHANNELS @ 24" O.C. (ONE SIDE)
 - 3 1/2" FIBERGLASS BATT INSULATION
 - 5/8" GMB (PER UL 445) BOTH SIDES
- 2-HR RATED, 1ST FLOOR**
 - 3-5/8" 20-GA STEEL STUDS @ 16" O.C. W/ BATT INSULATION
 - (2) LAYERS 5/8" GMB (PER UL 441) BOTH SIDES
- INTERIOR PARTITION, 1ST FLOOR**
 - 3-5/8" 20-GA STEEL STUDS @ 16" O.C.
 - 5/8" GMB BOTH SIDES
- INTERIOR METAL STUDS FURRING WALL**
 - 20-GA STEEL STUDS @ 16" O.C.
 - 5/8" GMB
- INTERIOR METAL STUDS FURRING WALL (INSULATED)**
 - 3-5/8" 20-GA STEEL STUDS @ 16" O.C. W/ R-15 UNFACED BATT INSULATION
 - 5/8" GMB
- CMU WALL**
 - 8" CMU WALL (SEE STRUCTURAL)
- 1-HR RATED PARTITION & CORRIDOR**
 - 2X6 WOOD STUDS @ 16" O.C. W/ DOUBLE TOP PLATE
 - RESILIENT METAL CHANNELS @ 24" O.C. VERTICALLY (CORRIDOR SIDE)
 - 3 1/2" FIBERGLASS BATT INSULATION TO UNDERSIDE OF DECKING ABOVE
 - 5/8" NATIONAL GYPSUM FIRE-SHIELD GYPSUM BOARD BOTH SIDES (PROVIDE FIRE BLOCKING TO UNDERSIDE OF DECKING ABOVE)
- 2-HR RATED UNIT SEPARATION PARTITION**
 - MIN. 2X4 WOOD STUDS @ 16" O.C. OR PER STRUCTURAL DRAWINGS W/ DOUBLE TOP PLATE
 - 3 1/2" FIBERGLASS BATT INSULATION BOTH SIDES
 - 5/8" NATIONAL GYPSUM FIRE-SHIELD GYPSUM BOARD BOTH SIDES
- INTERIOR PARTITION**
 - MIN. 2X4 WOOD STUDS @ 16" O.C. W/ DOUBLE TOP PLATE
 - 5/8" TYPE-X GMB BOTH SIDES
- FURRING PARTITION**
 - 2X4 WOOD STUDS @ 16" O.C. W/ DOUBLE TOP PLATE
 - 5/8" TYPE-X GMB
- FURRING PARTITION**
 - METAL FURRING STRIPS @ 16" O.C.
 - 5/8" TYPE-X GMB

- 2-HR RATED PARTITION**
 - 2X6 WOOD STUDS @ 16" O.C. W/ DOUBLE TOP PLATE TO UNDERSIDE OF DECKING
 - (W/ 2-HR JOIST HANGERS ON BOTH SIDES OF WALL)
 - RESILIENT METAL CHANNELS @ 24" O.C. VERTICALLY (ONE SIDE)
 - 3 1/2" FIBERGLASS BATT INSULATION
 - 2 LAYERS 5/8" NATIONAL GYPSUM FIRE-SHIELD GYPSUM BOARD BOTH SIDES TO UNDERSIDE OF DECKING
- 2-HR RATED SHUTT WALL & TRASH CHUTE**
 - UL 1010 SYSTEM B, ETC 80
 - 1" USG GYPSUM LINER PANEL
 - 6" USG 25 GA. METAL STUDS @ 24" O/C
 - WHERE THERE IS BRICK: 4" BRICK VENEER W/ METAL WALL TIES @ 16" O/C VERTICALLY, CONNECTED TO WALL STUDS, 1" AIR SPACE & BUILDING WRAP
 - 5/8" EXT. TYPE-X GMB PER UL 480S W/ BUILDING WRAP (OR MIN. 1/2" PLYWOOD SHEATHING W/ BUILDING WRAP FOR FRONT, REAR & DRIVEWAY SIDE EXTERIOR WALLS WHERE FIRE SEPARATION DISTANCE IS GREATER THAN 10')
 - COORD. W/ STRUCTURAL FOR PLYWOOD SHEATHING WHERE REQUIRED
- NOTE:**
 - FOR ALL INTERIOR WALLS, COORDINATE W/ STRUCTURAL DRAWINGS FOR STUD SIZE, SPACING, AND PLYWOOD/SHEARWALL SHEATHING WHERE REQUIRED.

EXTERIOR WALL SCHEDULE

- 1-HR RATED 1ST FLOOR EXTERIOR WALL**
 - FINISH AS SPECIFIED ON BUILDING WRAP
 - (WHERE THERE IS BRICK: 4" BRICK VENEER W/ METAL WALL TIES @ 16" O/C VERTICALLY, 1" AIR SPACE & BUILDING WRAP)
 - 5/8" EXT. TYPE-X GMB
 - 6" 20-GA METAL STUDS @ 16" O/C W/ MIN. R-21 BATT INSULATION
 - 5/8" TYPE-X INT. GMB
- 1-HR RATED EXTERIOR WALL (UL 1005.1)**
 - FINISH AS SPECIFIED ON BUILDING WRAP
 - (2) LAYERS 5/8" TYPE-X INT. GMB (AT EXTERIOR BALCONY ON 2ND TO 5TH FLOORS, EXTERIOR GMB SHALL BE USED)
- CMU WALL:**
 - 8" CMU WALL (SEE STRUCTURAL)
 - (WHERE THERE IS BRICK: 4" BRICK VENEER W/ METAL WALL TIES @ 16" O/C VERTICALLY, 1" AIR SPACE & BUILDING WRAP)
 - 5/8" EXT. TYPE-X GMB
 - COORD. W/ STRUCTURAL FOR PLYWOOD SHEATHING WHERE REQUIRED
- 2-HR RATED EXTERIOR WALL (UL 1005.1)**
 - FINISH AS SPECIFIED ON BUILDING WRAP
 - (2) LAYERS 5/8" TYPE-X INT. GMB (AT EXTERIOR BALCONY ON 2ND TO 5TH FLOORS, EXTERIOR GMB SHALL BE USED)



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ONE (1) MULTI-FAMILY BUILDING
26-34 CHURCH LANE
PHILADELPHIA, PA 19144

PROJECT DESCRIPTION
26-34 CHURCH LANE
PHILADELPHIA, PA 19144
OWNER/PROJECT CONTACT:
OLYMPIA HOLDINGS

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ISSUED FOR: DATE:
PERMITS 11.27.23

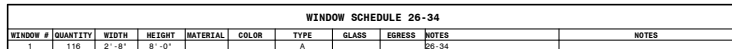
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ARCHITECTURAL PLANS

A101

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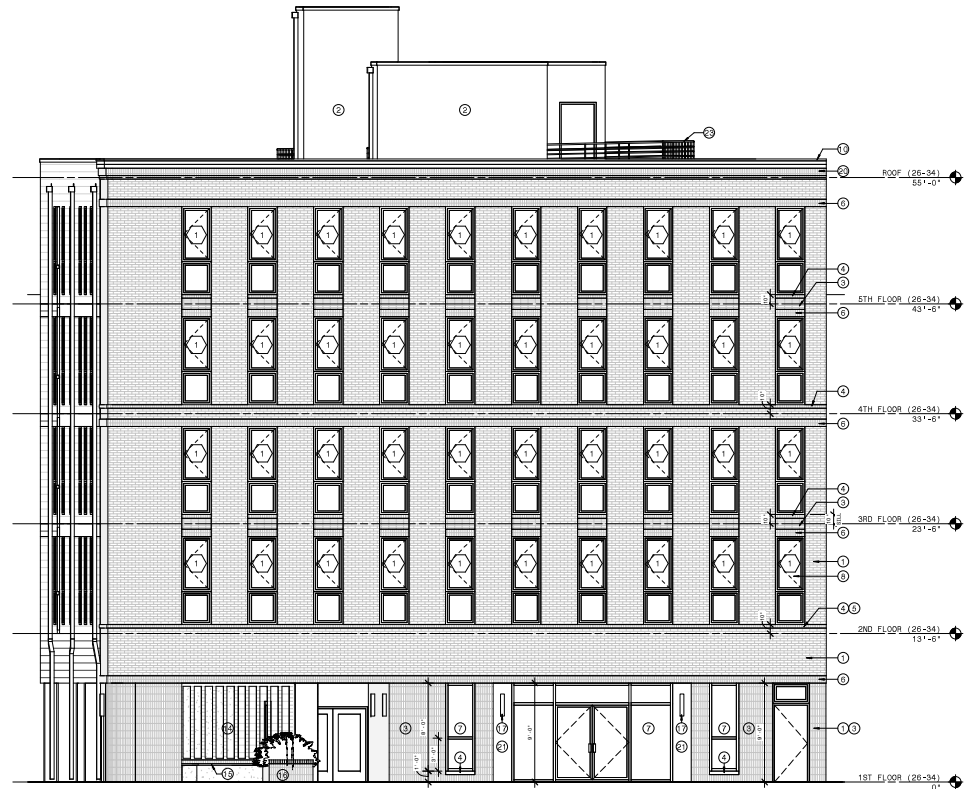
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A200

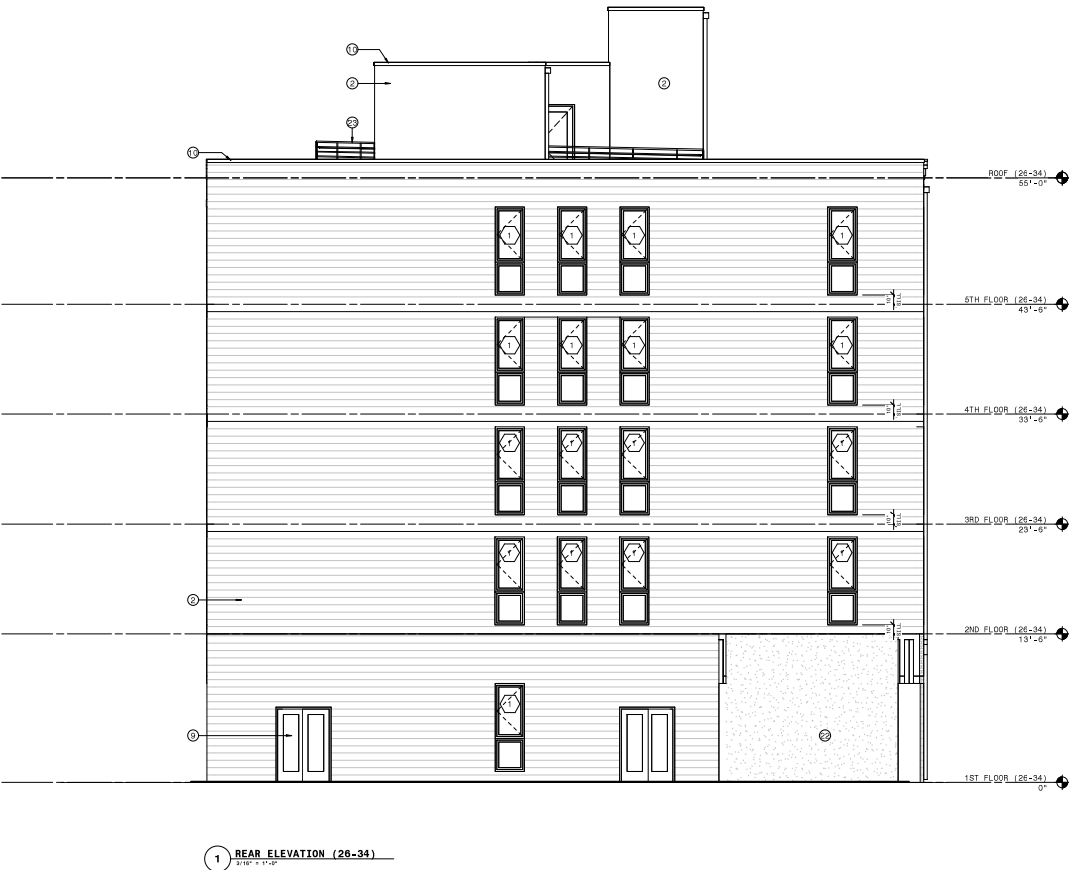


<p>1. ALL GLAZING TO BE LOW-E DOUBLE PANE INSULATED GLASS. PROVIDE TEMPERED GLASS AS REQUIRED AND NOTED.</p> <p>2. PROVIDE STANDARD SCREENS ON ALL OPERABLE UNITS.</p> <p>3. ALL WINDOWS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS PROVIDE DRIP CAP & SILL PAN FLASHING @ ALL WINDOWS</p> <p>4. UNITS SHALL BE MULLED AS SHOWN ON ELEVATIONS</p> <p>5. EGRESS WINDOW SHALL COMPLY W/ SECTION 1030 IBC 2018 MAX. SILL HEIGHT 44" 8IN. NET CLEAR OPENING SHALL BE 5.7 SQ/FT MIN. NET CLEAR OPENING HEIGHT SHALL BE 24" MIN. NET CLEAR OPENING WIDTH SHALL BE 20"</p>	<p>6. FOR WINDOWS IN GROUP R-2 OR R-3 WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW IS LESS THAN 36" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW, PROVIDE WINDOW OPENING CONTROL DEVICE THAT COMPLIES WITH SECTION 1015.8.1.</p> <p>7. EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE OPERABLE FROM INSIDE THE ROOM WITHOUT THE USE OF KEYS OR TOOLS. WINDOW-OPENING CONTROL DEVICES COMPLYING WITH ASTM F2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING.</p> <p>8. EGRESS WEL WINDOW PER MANUFACTURER SHALL COMPLY WITH EGRESS WINDOW NOTE & BE PROVIDED W/ A WINDOW WEL IN ACCORDANCE W/ 1030.4 IBC 2018 & CONSTRUCTION DRAWINGS.</p> <p>9. ALL COLORS, FINISHES & HARDWARE SHALL BE APPROVED BY OWNER/ARCHITECT.</p> <p>10. CONTRACTOR SHALL CONSULT MANUFACTURER FOR ROUGH OPENING SIZES.</p>
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①	4" BRICK VENER W/ METAL WALL TIES @ 16" O/C VERTICALLY, SECURE TIES TO WALL STUDS, 1" AIR SPACE, EXTERIOR SHEATHING W/ BUILDING WRAP	⑤	METAL COPING / FLASHING
②	FIBER CEMENT LAP SIDING ON BLDG. WRAP. INSTALL PER MANUFACTURER'S WRITING INSTRUCTIONS, PROVIDE ALL TRIM, FLASHINGS & ACCESSORIES FOR A COMPLETE AND PROPER INSTALLATION.	⑥	ALUMINUM SCUPPER W/ OVERFLOW
③	STACKED BOND BRICK (VERTICAL BRICK)	⑦	ALUMINUM DOWNSPOUT
④	BRICK ROWLOCK SILL	⑧	CAST IRON BOOT
⑤	BRICK ROWLOCK COURSE	⑨	WOOD SLATS / SCREEN
⑥	BRICK SOLDIER COURSE/HEADER	⑩	WOOD BENCH TOP
⑦	ALUMINUM STOREFRONT SYSTEM	⑪	BRICK PLANTER
⑧	WINDOW, TYP. PROVIDE DRIP CAP & SILL PAN FLASHING.	⑫	EXTERIOR WALL LIGHT
⑨	DOOR, TYP. PROVIDE DRIP CAP & SILL PAN FLASHING.	⑬	CONCRETE PIER (BASE OF STEEL COLUMN)
		⑭	METAL COLUMN COVER
		⑮	BRICK CORNICE
		⑯	ALUMINUM COMPOSITE MATERIAL PANEL
		⑰	EXPOSED GIM, PAINTED
		⑱	METAL RAILING @ 42" H ABOVE ROOF DECK



1 FRONT ELEVATION (26-34)
3/16" = 1", 0"



1 REAR ELEVATION (26-34)
9'-10" x 1'-4"

ELEVATION KEY NOTES	
① 4" BRICK VENEER W/ METAL WALL TIES @ 16" O/C VERTICALLY, SECURE TIES TO WALL STUDS, 1" AIR SPACE, EXTERIOR SHEATHING W/ BUILDING WRAP	⑩ METAL COPING / FLASHING
② FIBER CEMENT LAP SIDING ON BLDG. WRAP. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE ALL TRIM, FLASHING & ACCESSORIES FOR A COMPLETE AND PROPER INSTALLATION.	⑪ ALUMINUM SCUPPER W/ OVERFLOW
③ STACKED BOND BRICK (VERTICAL BRICK)	⑫ ALUMINUM DOWNSPOUT
④ BRICK ROWLOCK SILL	⑬ CAST IRON BOOT
⑤ BRICK ROWLOCK COURSE	⑭ WOOD SLATS / SCREEN
⑥ BRICK SOLDIER COURSE/HEADER	⑮ WOOD BENCH TOP
⑦ ALUMINUM STOREFRONT SYSTEM	⑯ BRICK PLANTER
⑧ WINDOW, TYP. PROVIDE DRIP CAP & SILL PAN FLASHING.	⑰ EXTERIOR WALL LIGHT
⑨ DOOR, TYP. PROVIDE DRIP CAP & SILL PAN FLASHING.	⑱ CONCRETE PIER (BASE OF STEEL COLUMN)
	⑲ METAL COLUMN COVER
	⑳ BRICK CORNICE
	㉑ ALUMINUM COMPOSITE MATERIAL PANEL
	㉒ EXPOSED CMU, PAINTED
	㉓ METAL RAILING @ 42" H ABOVE ROOF DECK

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PERMITS	11.27.23

SCALE:As indicated

SHEET 001 OF 1 SHEET

ELEVATIONS

ONE (1) MULTI-FAMILY BUILDING
26-34 CHURCH LANE
PHILADELPHIA, PA 19144

PROJECT DESCRIPTION
26-34 CHURCH LANE
PHILADELPHIA, PA 19144
OWNER/PROJECT CONTACT:
OLYMPIA HOLDINGS

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SHEET 0201 OF 0201

ELEVATIONS

A202



ELEVATION KEY NOTES

- ① 4" BRICK VENEER W/ METAL WALL TIES @ 16" O/C VERTICALLY, SECURE TIES TO WALL STUDS, 1" AIR SPACE, EXTERIOR SHEATHING W/ BUILDING WRAP

② FIBER CEMENT LAP SIDING ON BLDG. WRAP. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE ALL TRIM, FLASHING & ACCESSORIES FOR A COMPLETE AND PROPER INSTALLATION.

③ STACKED BOND BRICK (VERTICAL BRICK)

④ BRICK ROWLOCK SILL

⑤ BRICK ROWLOCK COURSE

⑥ BRICK SOLDIER COURSE/HEADER

⑦ ALUMINUM STOREFRONT SYSTEM

⑧ WINDOW, TYP. PROVIDE DRIP CAP & SILL PAN FLASHING.

⑨ DOOR, TYP. PROVIDE DRIP CAP & SILL PAN FLASHING.
- ⑩ METAL COPING / FLASHING

⑪ ALUMINUM SCUPPER W/ OVERFLOW

⑫ ALUMINUM DOWNSPOUT

⑬ CAST IRON BOOT

⑭ WOOD SLATS / SCREEN

⑮ WOOD BENCH TOP

⑯ BRICK PLANTER

⑰ EXTERIOR WALL LIGHT

⑱ CONCRETE PIER (BASE OF STEEL COLUMN)

⑲ METAL COLUMN COVER

⑳ BRICK CORNICE

㉑ ALUMINUM COMPOSITE MATERIAL PANEL

㉒ EXPOSED CMU, PAINTED

㉓ METAL RAILING @ 42"H ABOVE ROOF DECK

A204

ONE (1) MULTI-FAMILY BUILDING
26-34 CHURCH LANE
PHILADELPHIA, PA 19141

PROJECT DESCRIPTION
26-34 CHURCH LANE
PHILADELPHIA, PA 19141
OWNER/PROJECT CONTACT:
OLYMPIA HOLDINGS

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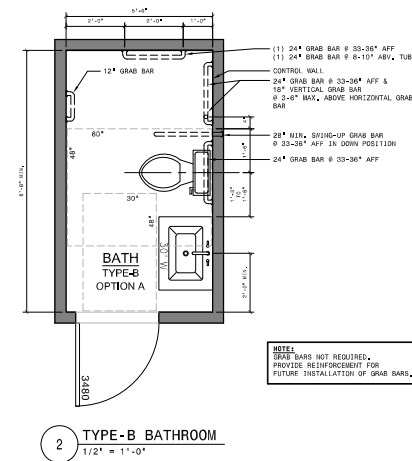
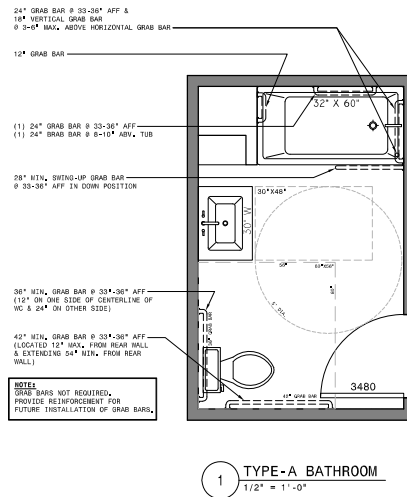
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ACCESSIBILITY

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A300

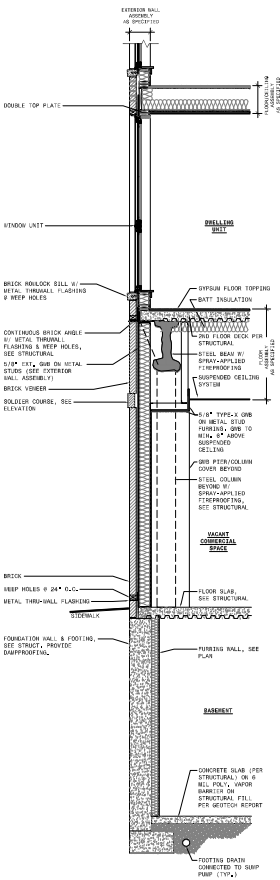


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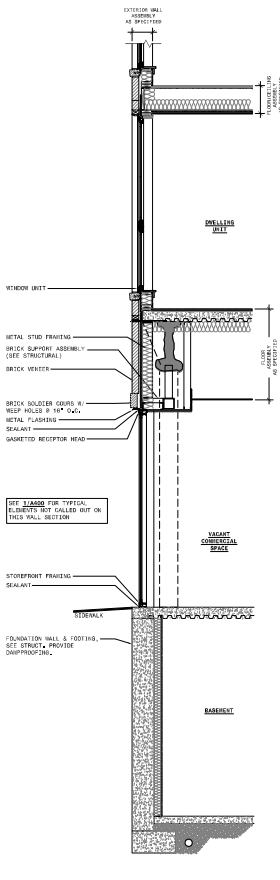
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WALL SECTIONS

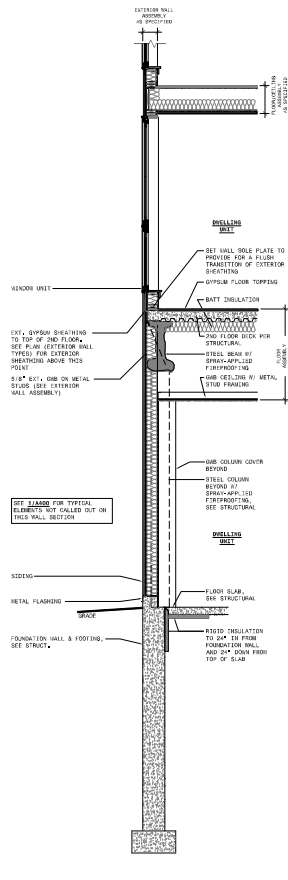
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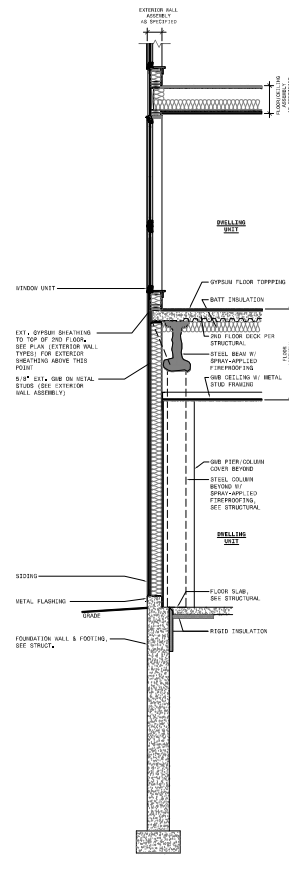
1 WALL SECTION (@ FRONT)
3/8\" = 1'-0"



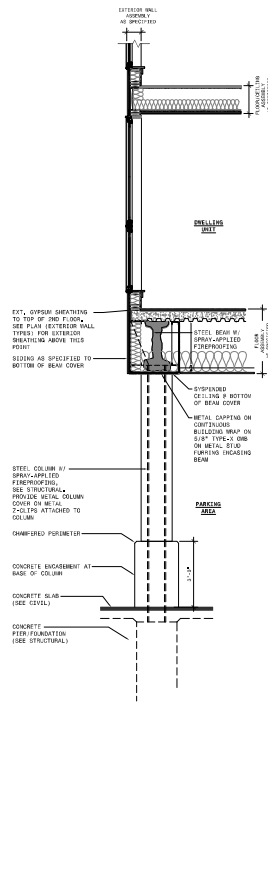
2 WALL SECTION (@ STOREFRONT)
3/8\" = 1'-0"



3 WALL SECTION (@ WEST SIDE)
3/8\" = 1'-0"



4 WALL SECTION (@ REAR)
3/8\" = 1'-0"



5 WALL SECTION (@ DRIVEWAY)
3/8\" = 1'-0"



ONE (1) MULTI-FAMILY BUILDING
26-34 CHURCH LANE
PHILADELPHIA, PA 19141

PROJECT DESCRIPTION
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OWNER/PROJECT CONTACT:
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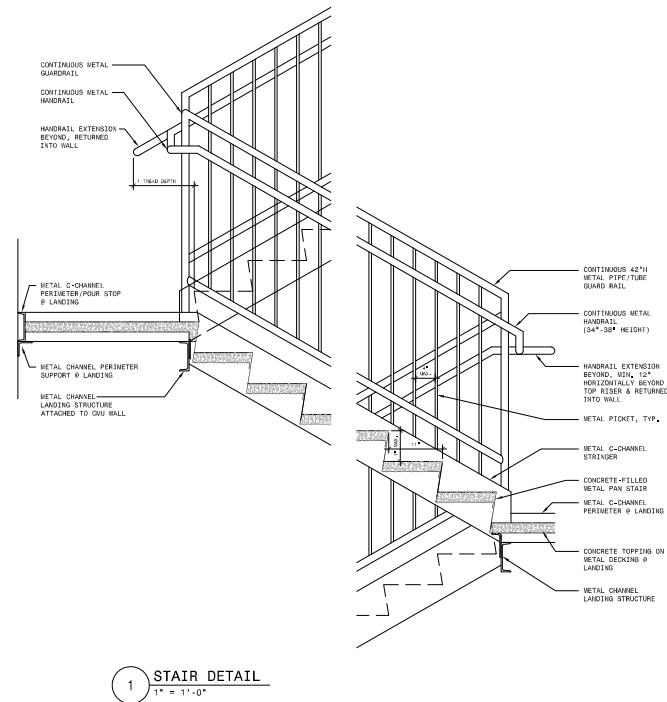
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SCALE: AS NOTED

STAIR DETAILS

A401



1 STAIR DETAIL
1" = 1'-0"

