

ADDRESS: 1805-09 WALNUT ST

Proposal: Replace storefront; install signage and awnings

Review Requested: Final Approval

Owner: 1805 Retail Partners LP

Applicant: Michael Palermo, Smallville Restaurant Associates LLC

History: 1924; Presbyterian Ministers Fund for Life Insurance, Davis, Dunlap & Barney; Alison

Building; building enlarged by Howell Lewis Shay & Associates, 1950

Individual Designation: None

District Designation: Rittenhouse Fidler Historic District, Contributing, 2/8/1995

Staff Contact: Heather Hendrickson, heather.hendrickson@phila.gov

BACKGROUND:

This application proposes to convert the first and second-floor retail space at 1805-09 Walnut Street into a new restaurant.

The building was constructed in two phases. A four-story building with a central entrance flanked by storefronts was constructed at 1805-07 Walnut Street in 1924. In 1950, the building was extended west onto the property at 1809 Walnut Street with an additional storefront and entrance. At the time, three stories were added to the top of the building. The original 1924 storefronts have been modified many times and the original central entrance was converted to a narrow storefront. Many of the storefront elements are aluminum replacements that roughly approximate the original elements. A close field inspection by the staff indicates that the only surviving original elements of the 1924 storefronts are the scalloped transom windows at the first and third bays, counting east to west. The remaining storefront elements are a patchwork of repairs and replacement pieces as well as a non-historic storefront system in the first bay.

The application proposes removing the existing storefronts and replacing them with wood and glass storefronts. Stone bases would be added to the storefronts. The new fenestration above would feature four rows of horizontally oriented glazing. The lower two rows of glass would be fluted, with clear glass above. At the top of the storefront openings, transoms would be replaced by large back-painted glass signage panels. Three retractable awnings are proposed across the three storefront openings and former entrance. Above the awnings, the application proposes a face-lit sign with individual letters mounted on a painted steel channel. At the second floor, the existing metal casement windows would be rebuilt and refurbished.

SCOPE OF WORK

- Remove existing metal and glass storefronts.
- Install wood and glass storefront.
- Install face-lit channel letter sign.
- Install retractable awnings.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
- *Storefront Guideline: Recommended: Designing and installing a new storefront when the historic storefront is completely missing or has been previously replaced by one that is*

incompatible. It may be an accurate restoration based on documentary and physical evidence, but only when the historic storefront to be replaced coexisted with the features currently on the building. Or, it may be a new design that is compatible with the size, scale, material, and color of the historic building.

- Only two intact sections of the original storefronts remain, the scalloped transoms at the first and third bays. The rest of the storefronts are a patchwork of repair and replacement pieces. While a few grainy photographs are available, sufficient documentary and physical evidence does not exist to accurately recreate the missing storefronts. The original transoms could be removed and stored on site or documented with photographs and measured drawings. The proposed new storefronts are compatible with the size, scale, material, and color of the historic building, satisfying Standard 9 and Storefront Guideline.

STAFF RECOMMENDATION: Approval, provided the two original transoms are removed and stored at the site or documented with photographs and measured drawings, pursuant to Standard 9 and the Storefront Guideline.

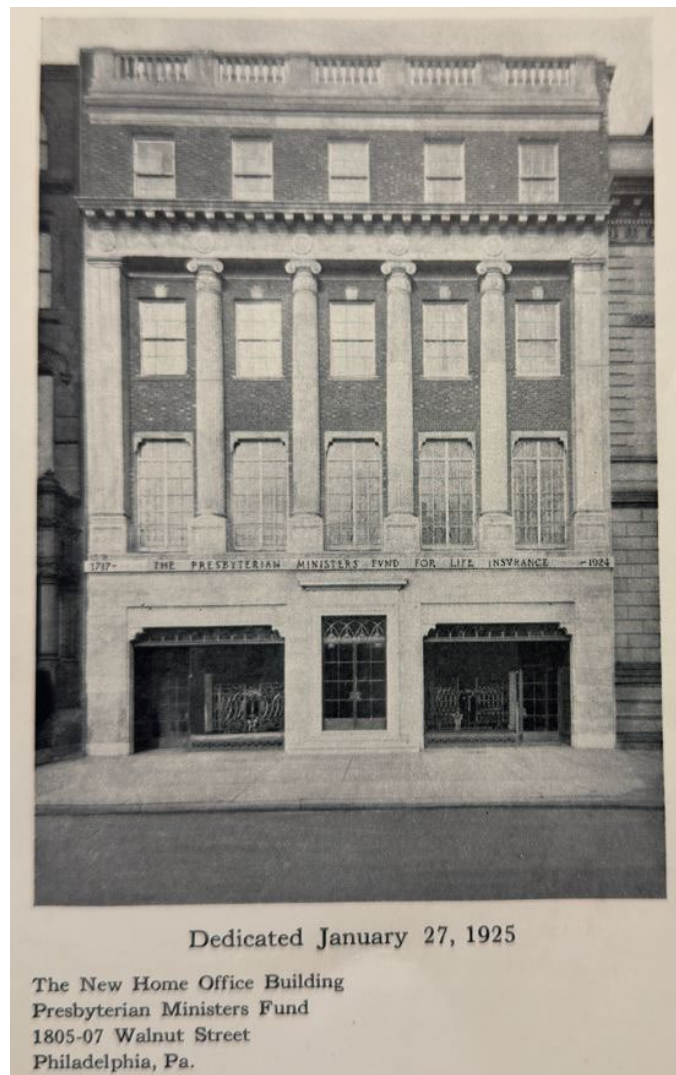


Figure 1. Original building at 1805-07 Walnut Street as found in the booklet issued at the dedication of the building on January 27, 1925. Collection of the Historical Society of Pennsylvania. Call # Wh*.849.



Figure 2. Existing conditions at 1805-09 Walnut Street, January 2024.



Figure 3. Proposed modifications at 1805-09 Walnut Street, Stokes Architecture + Design.



Figure 4. Close-up image of easternmost bay, February 2024. PHC staff.



Figure 5. The western and central bay of the original 1924 building (2nd and 3rd bay west). February 2024. PHC staff.



Figure 6. Detail of the base of the 3rd bay west, February 2024. PHC staff.

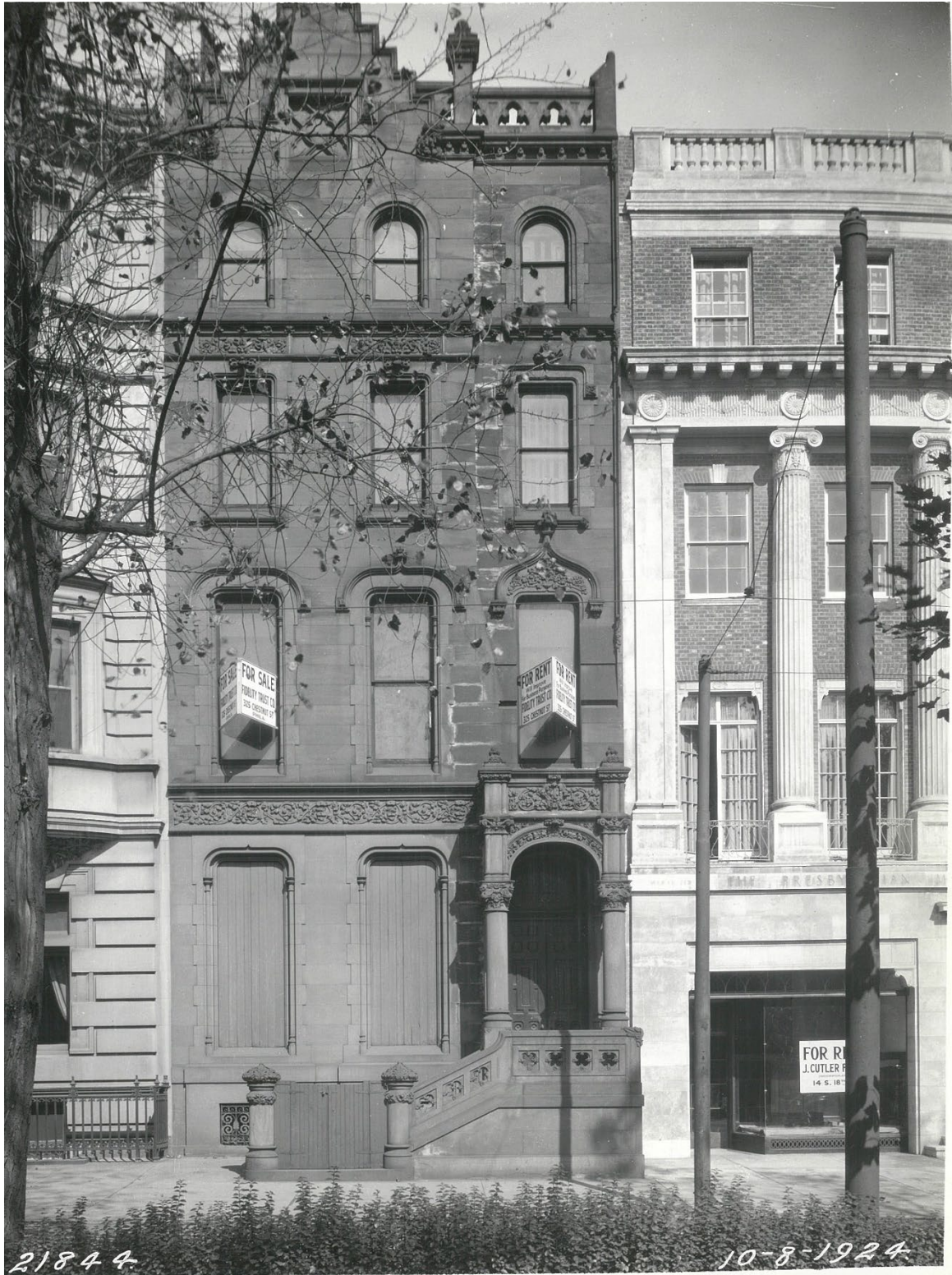


Figure 7. Historic photograph from 1924 of original Alison building on the right. PHC property files.



FEBRUARY 05, 2024

Philadelphia Historical Commission
1515 Arch Street 13th Floor
Philadelphia, PA 19102
(215) 686-0286

Re: 1805 Walnut St Facade

To whom it may concern,

Thank you for your review of this project. The Alison Building, at 1805 Walnut, is a storied building in Philadelphia with an interesting and layered history of its construction. We hope to add a new and lasting layer to the history of this building.

We are proposing a new restaurant at the Alison, with dining rooms on the first and second floor, overlooking Rittenhouse Square. The existing retail space presents distinct challenges that a restaurant is uniquely equipped to handle, keeping the vast space semi-public and allowing for a multi-level use. Seeking inspiration from mid-century Roman trattorias, a culture and style that is lively yet grounded in tradition we see this addition to Rittenhouse Square bringing a new life to the north side of the park. Similar to lively the 18th St. corridor this new restaurant will serve as a connector between the Walnut St commercial district to the east and the restaurants and residences to the west of the park.

While keeping the original architectural openings, the existing plate glass on the ground floor is not conducive to a restaurant use. At the first floor, we propose new wood, glass, and stone fenestration. The new fenestration will be anchored with a stone panel at the ground, fluted lower glass panels, and a back painted transom atop keeping close to the original transom line. All of this will be framed in rich natural wood frame, grounding the stones façade at a pedestrian scale. At the second floor dining the existing metal casement windows will be rebuilt and refurbished.

In addition to the new fenestration, we propose a new face-lit sign emitting a low warm glow. The sign acts as a unifying element across the segmented façade, originally used as individual storefronts. The individual letters will be mounted on a painted steel channel allowing for easy attachment at mortar joints in the façade. Below the sign are three proposed awnings. One at the main entrance and two spanning a proposed sidewalk seating are.

Our approach is to create a unifying façade that translates the warmth and excitement of the restaurant interior while respecting and adding to the layers of history on the square. We look forward to you comments and ensuing discussion.

Thank you,

Gregory Charnock

Project Manager
Stokes Architecture + Design



THE ALISON BUILDING

ORGANIZED 1777

THE PRESBYTERIAN MINISTERS FUND FOR LIFE INSURANCE

INCORPORATED 1759

BORROMINI

TRATTORIA

BORROMINI

ROMA

RISTORANTE

ALISON BUILDING

ALISON BUILDING

APPLICATION FOR BUILDING PERMIT

APPLICATION # _____

(Please complete all information below and print clearly)



CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES AND INSPECTIONS
MUNICIPAL SERVICES BUILDING – CONCOURSE
1401 JOHN F. KENNEDY BOULEVARD
PHILADELPHIA, PA 19102
For more information visit us at www.phila.gov/li

ADDRESS OF PROPOSED CONSTRUCTION:

1805 WALNUT ST

APPLICANT:

MICHAEL PALERMO

COMPANY NAME

SMALLVILLE RESTAURANT ASSOCIATES LLC

PHONE # (215) 806-2837

FAX #

APPLICANT'S ADDRESS:

134 MARKET ST

PHILADELPHIA PA 19108

LICENSE #

E-MAIL: michael.palermo@starr-restaurant.com

PROPERTY OWNER'S NAME:

1805 RETAIL PARTNERS LP

PROPERTY OWNER'S ADDRESS:

1845 WALNUT ST SUITE 2200, PHILADELPHIA PA 19103

PHONE #

FAX #

ARCHITECT/ENGINEER IN RESPONSIBLE CHARGE

RICHARD STOKES

ARCHITECT/ENGINEERING FIRM:

STOKES ARCHITECTURE + DESIGN

PHONE # (412) 585-0198

FAX #

ARCHITECT/ENGINEERING FIRM ADDRESS:

1700 SANSOM ST

PHILADELPHIA PA 19103

LICENSE #

E-MAIL:

CONTRACTOR:

HUNTER ROBERTS HOLDINGS LLC - JOHN COLT

CONTRACTING COMPANY:

CONTRACTING COMPANY ADDRESS:

501 NW GRAND BLVD - 6TH FLOOR

OKLAHOMA CITY, OK 73118

PHONE #

FAX #

LICENSE # 26101

E-MAIL:

jcolt@hrcg.com

USE OF BUILDING/SPACE

RESTAURANT

ESTIMATED COST OF WORK

\$ 250,000.00

BRIEF DESCRIPTION OF WORK:

DEMOLITION AND REPLACEMENT OF OF EXISTING METAL AND GLASS STOREFRONT WITH NEW WOOD AND GLASS STOREFRONT.

NEW FACELIT CHANNEL LETTER SIGNS

NEW AWNINGS

TOTAL AREA UNDERGOING CONSTRUCTION: _____ square feet

COMPLETE THESE ITEMS IF APPLICABLE TO THIS APPLICATION:

OF NEW SPRINKLER HEADS (suppression system permits only): 0

LOCATION OF SPRINKLERS: N/A

OF NEW REGISTERS/DIFFUSERS (hvac/ductwork permits only): 0

LOCATION OF STANDPIPES: FACADE

IS THIS APPLICATION IN RESPONSE TO A VIOLATION? ☒ NO ☐ YES

VIOLATION #: _____

All provisions of the building code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statement herein I am subject to such penalties as may be prescribed by law or ordinance.

APPLICANT'S SIGNATURE: Michael Palermo

DATE: 02 / 05 / 2024

PRE-REQUISITE APPROVALS FOR:

ADDRESS: 1805 WALNUT ST

APPLICATION #:

✓ IF REQ'D	AGENCY	INITIALS	DATE	REMARKS
X	ART COMMISSION 13 TH FLOOR – 1515 ARCH STREET			NEW SIGN
X	CITY PLANNING COMMISSION 13 TH FLOOR – 1515 ARCH STREET			NEW SIGN, HISTORIC BUILDING/DISTRICT
	FAIRMOUNT PARK COMMISSION □ CITY □ STATE AIR MANAGEMENT / HEALTH DEPT			
X	HISTORICAL COMMISSION 13 th FLOOR - 1515 ARCH STREET			HISTORIC BUILDING/DISTRICT
X	STREETS DEPARTMENT ROOM 940 – M.S.B.			NEW AWNINGS OVER SIDEWALK
	WATER DEPARTMENT 2 ND FLOOR – 1101 MARKET STREET			
	CONTRACTUAL SERVICES UNIT ROOM 1140 – M.S.B.			
X	ZONING			RECEIVED APPROVAL ZP-2024-000626

EXAMINER'S APPROVAL (OFFICE USE ONLY)

APPROVED USE OF BUILDING SPACE:

PERMIT TO READ:

CODE/EDITION USED FOR REVIEW:

WAS VIOLATION FOR WORK WITHOUT A PERMIT? ☐ NO ☐ YES (INSPECTION FEE MUST BE ADDED TO PERMIT FEE)

VIOLATION # _____

OTHER BUILDING PERMITS REQUIRED: ☐ FIRE SUPPRESSION ☐ HVAC/DUCT ☐ FUEL GAS

PLAN #	CONSTRUCTED AREA _____ SQ FT	<input type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ALTERATION	FEE ITEM	AMOUNT
			BLDG. PERMIT/C.O./L.O.	
CONSTRUCTION TYPE: _____ USE: _____	CO REQUIRED <input type="checkbox"/> NO <input type="checkbox"/> YES	NEW DWG UNITS:	INSPECTION FEE	
			WATER METERS	
	VARIANCES <input type="checkbox"/> NO <input type="checkbox"/> YES	PROJECT TYPE	CONSTRUCTION WATER	
			TOTAL FEES	

This is to certify that I have examined the within detailed statement, together with a copy of the plans relating thereto, and find the same to be in accordance with the provisions of the law relating to buildings in the City of Philadelphia, that the same has been approved and entered into the records of this Department.

EXAMINER: _____ DATE APPROVED: _____

PERMIT # _____

DATE ISSUED: _____

CHECK # _____

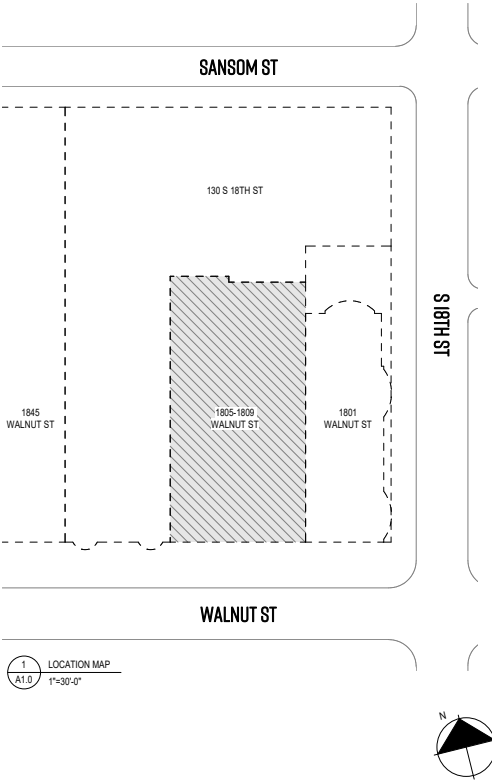
PROJECT RENDERING



DRAWING LIST:

- A1.0 COVER SHEET
- A1.1 NEW WORK PLANS
- A1.2 DEMOLITION PLAN & ELEVATION
- A1.3 EXTERIOR ELEVATION
- A1.4 SIDEWALK CAFE PLAN
- A1.5 DOOR & WINDOW DETAILS
- A1.6 EXTERIOR DETAILS

LOCATION MAP

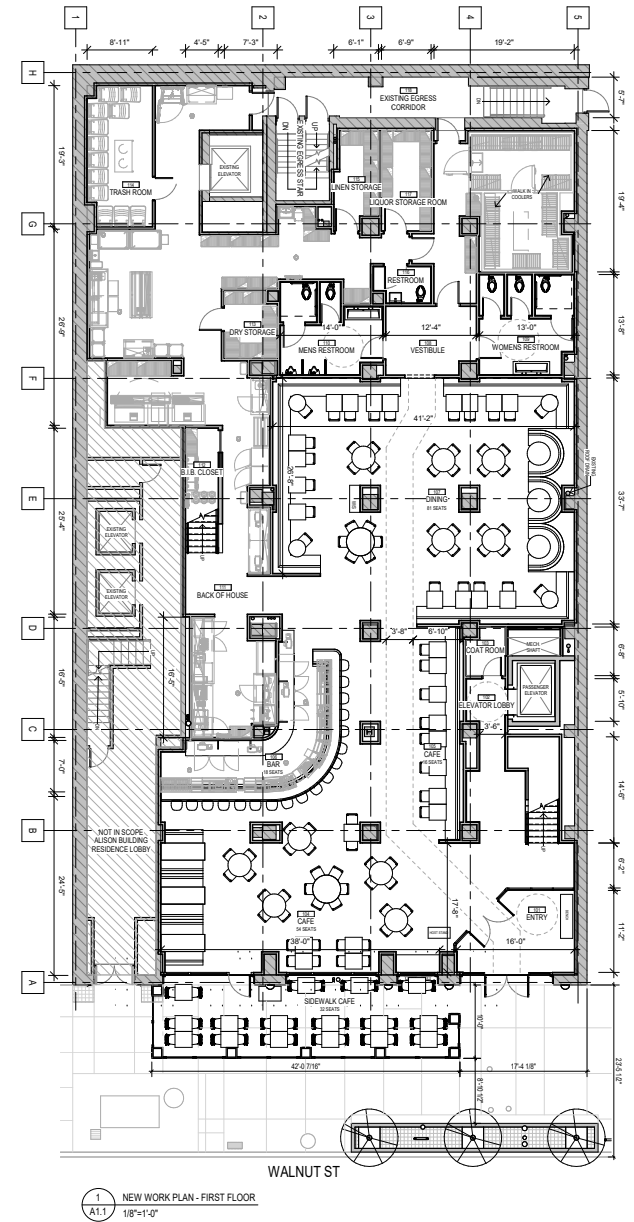
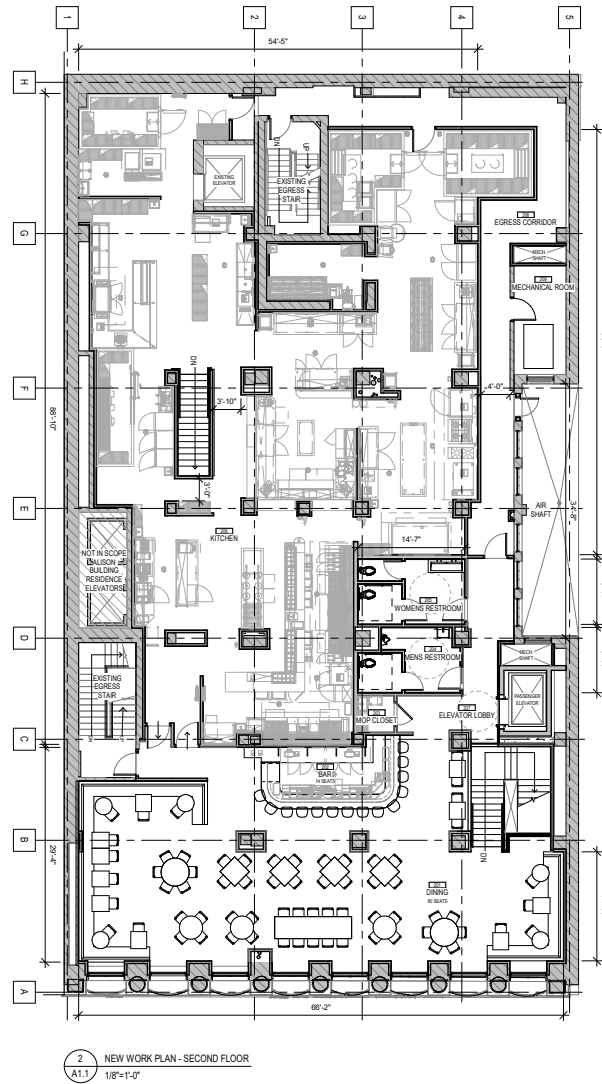


A1.0 COVER SHEET

BORROMINI RESTAURANT - 1805 WALNUT ST
PHILADELPHIA HISTORICAL COMMISSION REVIEW

STOKES.
ARCHITECTURE + DESIGN
STOKESARCH.COM

STARR



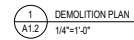
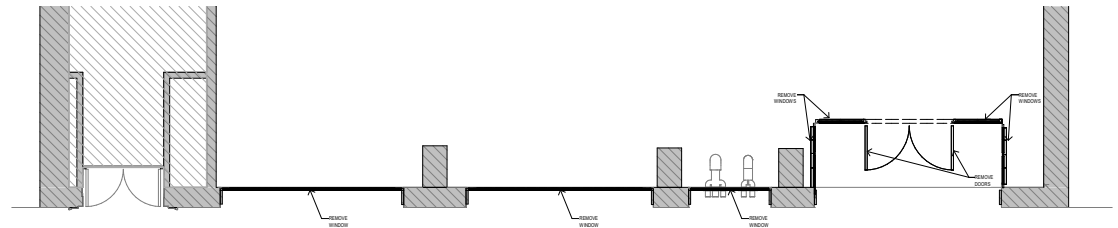
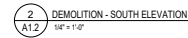
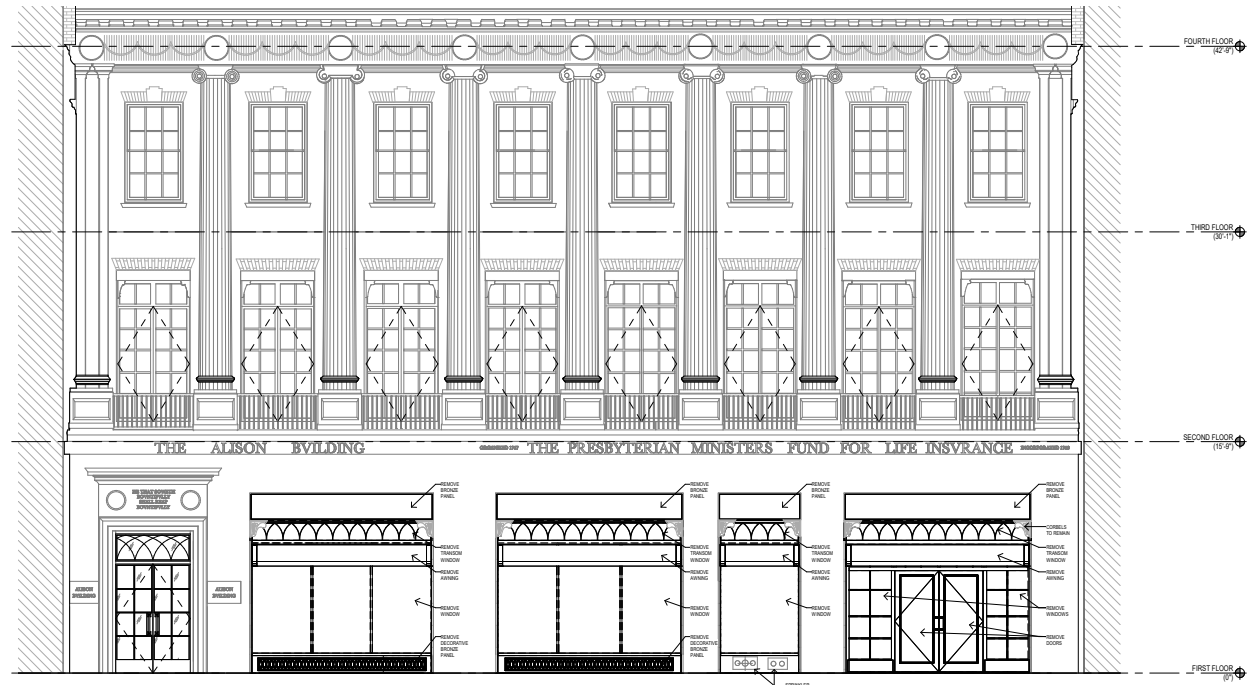
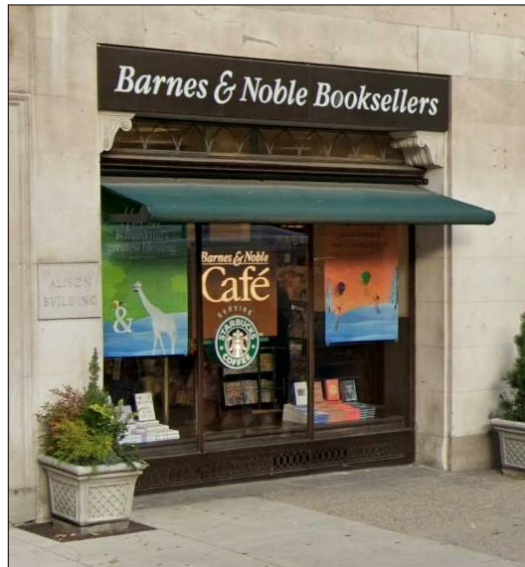
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NEW WORK PLANS

BORROMINI RESTAURANT - 1805 WALNUT ST
PHILADELPHIA HISTORICAL COMMISSION REVIEW

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ARCHITECTURE + DESIGN
STOKESARCH.COM

STARR





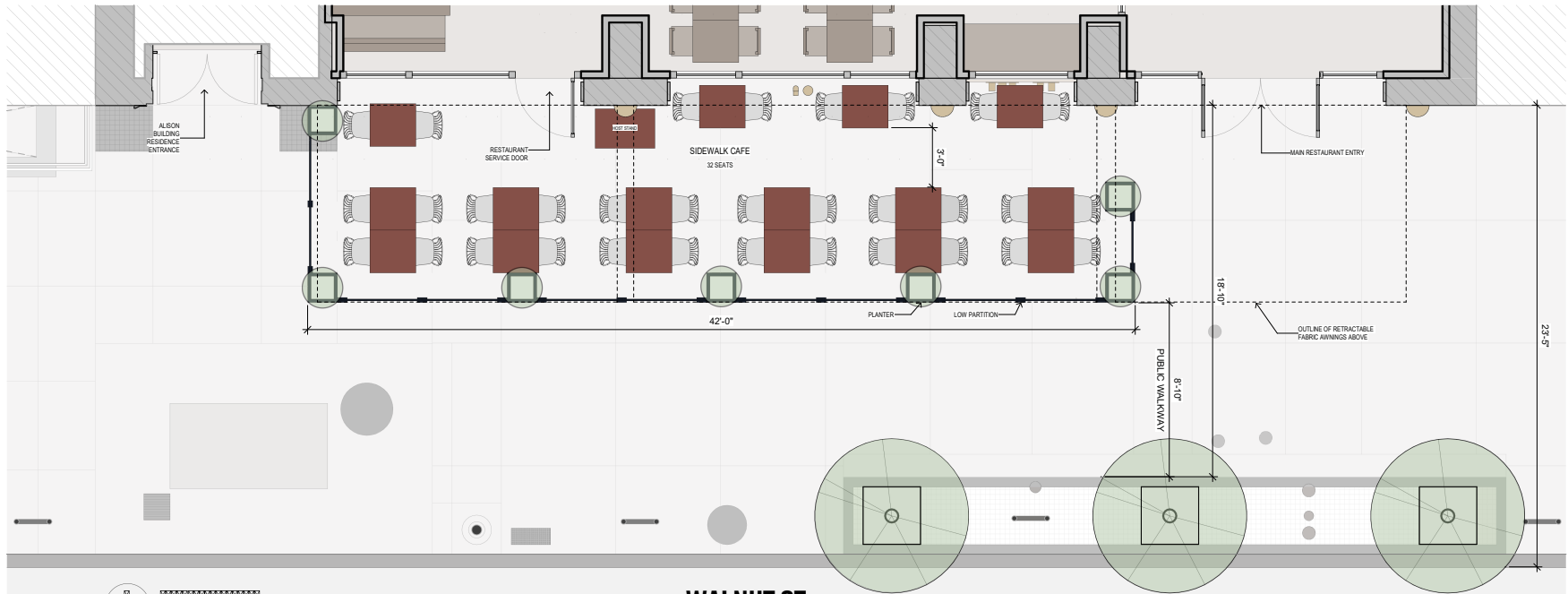
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EXTERIOR ELEVATION

BORROMINI RESTAURANT - 1805 WALNUT ST
PHILADELPHIA HISTORICAL COMMISSION REVIEW

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ARCHITECTURE + DESIGN
STOKESARCH.COM

STARR



WALNUT ST

1
A1.4
SIDEWALK CAFE PLAN
3/8"=1'-0"



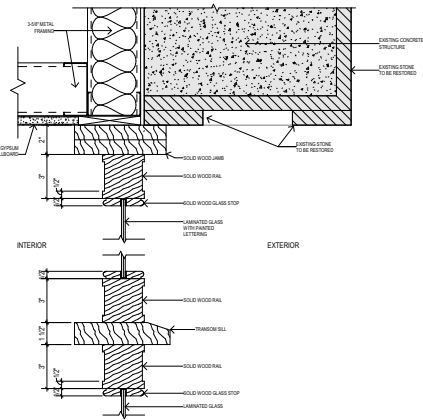
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SIDEWALK CAFE PLAN

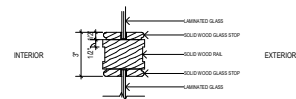
BORROMINI RESTAURANT - 1805 WALNUT ST
PHILADELPHIA HISTORICAL COMMISSION REVIEW

STOKES.
ARCHITECTURE + DESIGN
STOKESARCH.COM

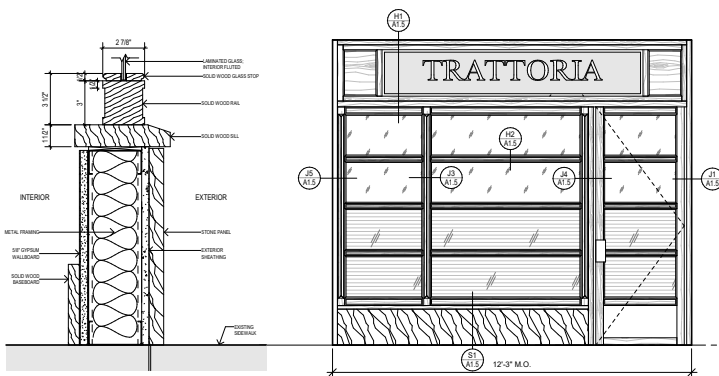
STARR



H1
TRANSOM DETAIL
A1.5
3\"/>

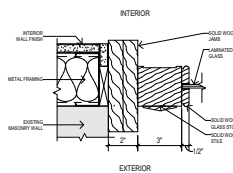


H2
TYPICAL HORIZONTAL MULLION
A1.5
3\"/>

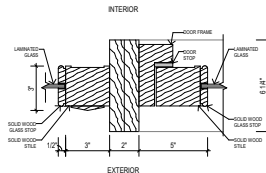


S1
WINDOW SILL @ STONE PANEL
A1.5
3\"/>

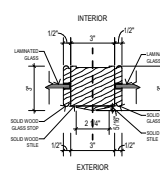
SOLID WOOD DOORS & FIXED WINDOWS
WITH STONE BASE
CUSTOM BUILT



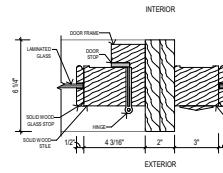
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WINDOW JAMB @ STONE WALL
A1.5
3\"/>



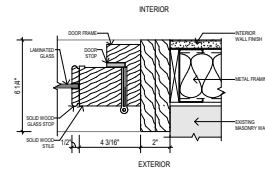
J4
DOOR JAMB @ WINDOW
A1.5
3\"/>



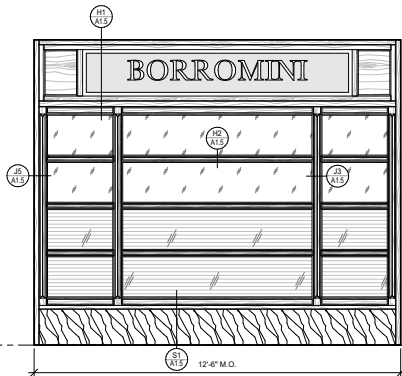
J3
VERTICAL WINDOW MUNTIN
A1.5
3\"/>



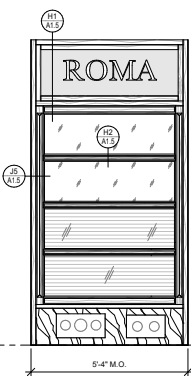
J2
DOOR JAMB @ WINDOW
A1.5
3\"/>



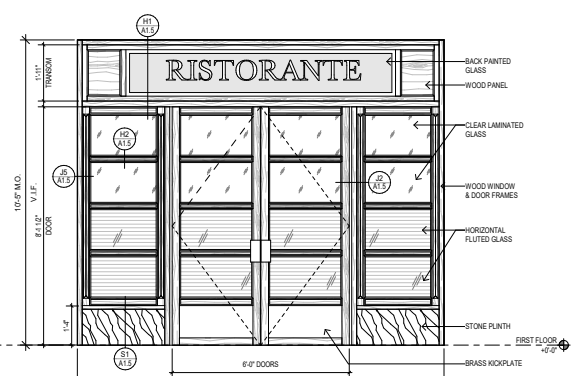
J1
DOOR JAMB @ STONE WALL
A1.5
3\"/>



SOLID WOOD FIXED WINDOWS
WITH STONE BASE
CUSTOM BUILT
RISON FLOOR MOUNT PIVOT HINGE ON DOOR



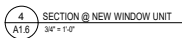
SOLID WOOD FIXED WINDOWS
WITH STONE BASE
CUSTOM BUILT



SOLID WOOD DOORS & FIXED WINDOWS
WITH STONE BASE
CUSTOM BUILT
RISON FLOOR MOUNT PIVOT HINGE ON DOORS

A1.5 WINDOW & DOOR DETAILS

BORROMINI RESTAURANT - 1805 WALNUT ST
PHILADELPHIA HISTORICAL COMMISSION REVIEW



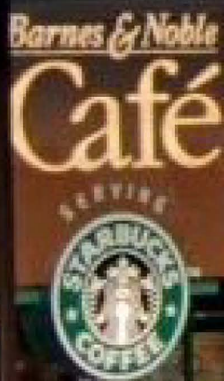
TOTAL: 60 SF

Existing Conditions



Barnes & Noble Booksellers

ALISON
BUILDING







UNIZED 1717

THE PRESBYTERIAN







THE ALLISON BUILDING ORGANIZED BY THE PRESBYTERIAN MINISTERS' UNION

ONE WAY
LEFT LANE
TRUCKS AND
TRAILERS
ONLY
PM-6P
24-6P
NOV 2018

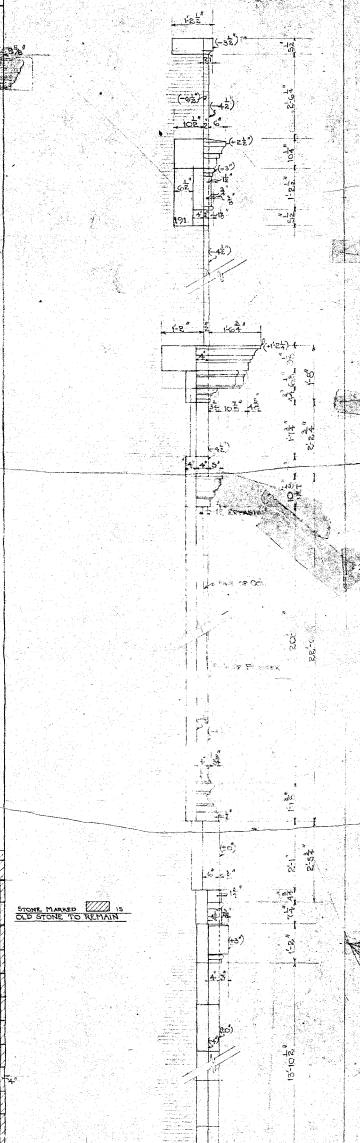
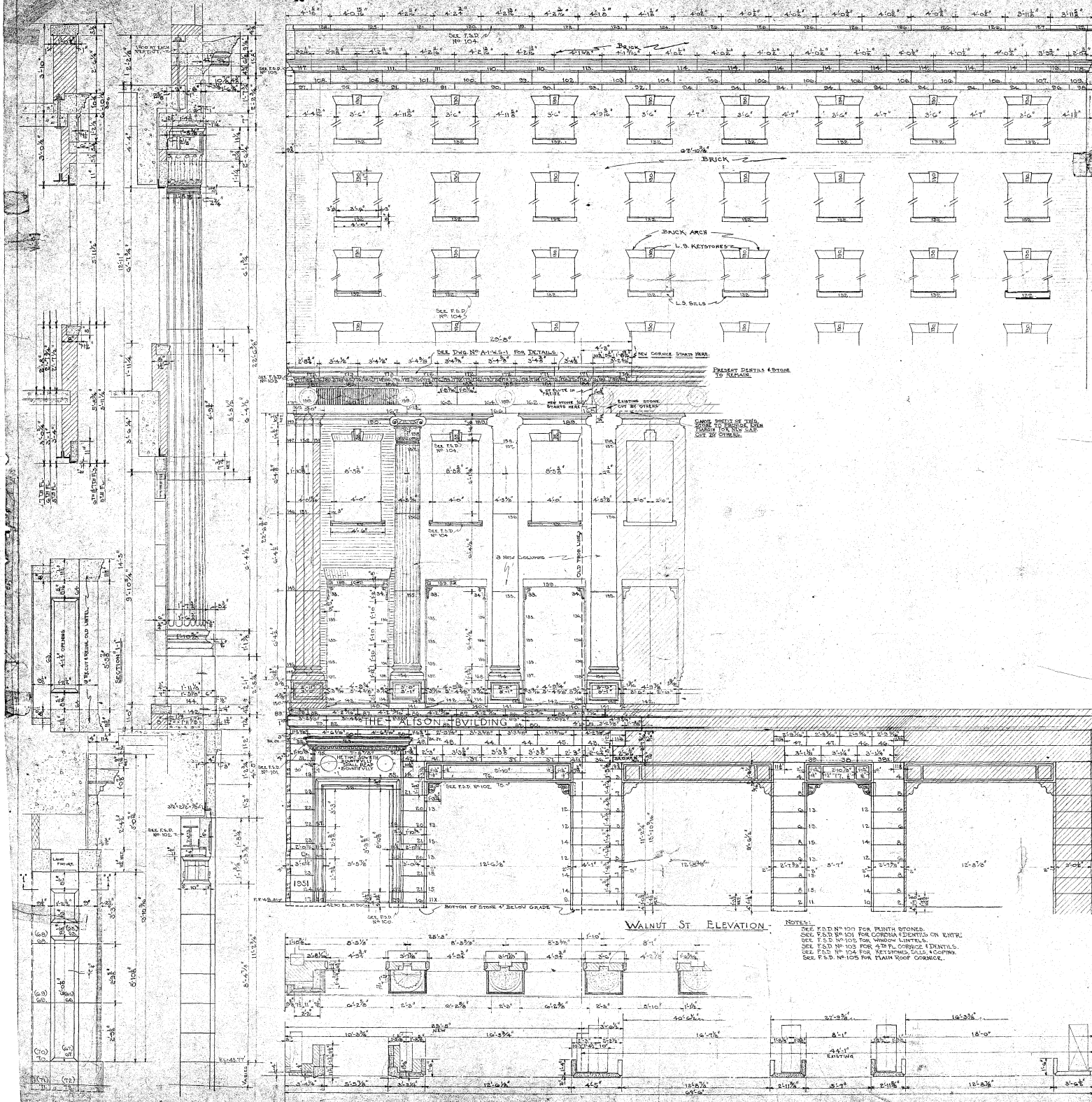
ALLISON BUILDING



Historic Documentation







NOTES:

- SEE F.S.D. NO. 100 FOR PLINTH STONES.
- SEE F.S.D. NO. 100 FOR CORNICE DETAILS ON ENTRY.
- SEE F.S.D. NO. 100 FOR WINDOW LINTELS.
- SEE F.S.D. NO. 100 FOR 4TH FL. CORNICE DETAILS.
- SEE F.S.D. NO. 100 FOR KEYSTONES, GALL. COPING.
- SEE F.S.D. NO. 100 FOR MAIN ROOF CORNICE.

TYPE STONE: FRENCH LIMESTONE

MONAHAN - MC GANN STONE CO. JOB No. 502
NEW YORK - NEWARK - PHILADELPHIA
100 HOBOKEN AVE. NEWARK, N. J. DGN No.

NAME: THE ALLISON BLDG. ALTERATION
LOCATION: 100-102 WALNUT ST. PHILA., PA.
ARCHT: HOWELL, KURTIS, SHAW, TULLY
BUILT: 1904
DATE: 10-24-10
MADE BY: [Signature] APPROVED: [Signature]

REVISIONS: 1. ADDITION OF WEST RETURN. 11-20-09.
2. MISS. REV. & REPAIRING DETAILS. 12-23-09.
3. BRICK CHANGES. 1-26-10.
4. REVISIONS. DATE.

SCALE: 1/4" = 1'-0"

