

ADDRESS: 1617 WALNUT ST

Proposal: Replace French door, alter entranceway and install security gate, add signage

Review Requested: Final Approval

Owner: GAM 1617 Walnut LLC

Applicant: Michael Kouvaris, MBH Architects

History: 1921; Seeburger & Rabenold, architects

Individual Designation: 9/11/2020

District Designation: None

Staff Contact: Ted Maust, theodore.maust@phila.gov

OVERVIEW: This application proposes to install signage, replace a historic second-floor French door, and make significant changes to the non-historic first-floor entryway to 1617 Walnut Street. The first floor of the building has been modified several times, most recently in a style which echoes features of the second floor.

At the first floor, the application proposes to remove the existing non-historic central entry doors and install a new fully-glazed door and sidelight recessed in a new metal-clad vestibule. A metal panel with illuminated signage would be installed in front of the existing transom location. The housing for a metal roll-down gate would be installed behind the panel. The staff notes that the dimensions of the panel appear differently in section and elevation.

In the central bay of the second floor, the application proposes to replace the historic divided-light French door with plate glass windows. Only the historic transom bar would remain.

The application proposes a plaque sign, illuminated sign, and projecting sign at the first floor. The sign at the second floor would be located behind the glass and therefore not within the Historical Commission's jurisdiction.

SCOPE OF WORK:

- Modify entryway and install roll-down security gate.
- Replace second-floor French door.
- Add signage.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
 - The existing first-floor storefront windows and doors are not original to the building. The proposed system at the first floor does not remove historic materials that characterize the property.
 - The application proposes to remove the character-defining divided-light French door in one of three openings at the second floor. This portion of the application fails to satisfy Standard 2.

STAFF RECOMMENDATION: Approval of the alterations at the first floor but denial of the alterations at the second floor, pursuant to Standard 2.

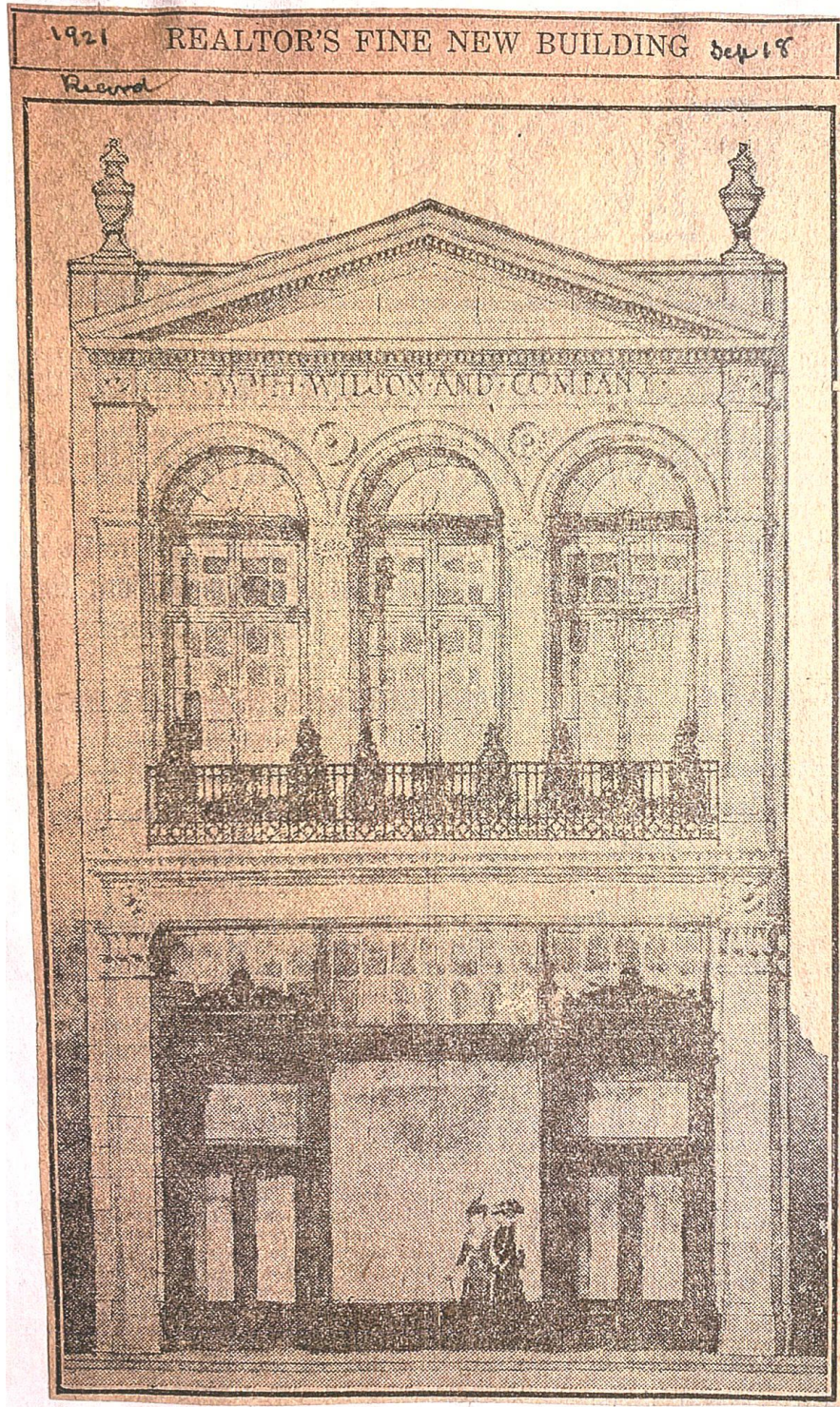


Figure 1: 1921 news clipping shows the original facade of 1617 Walnut Street.

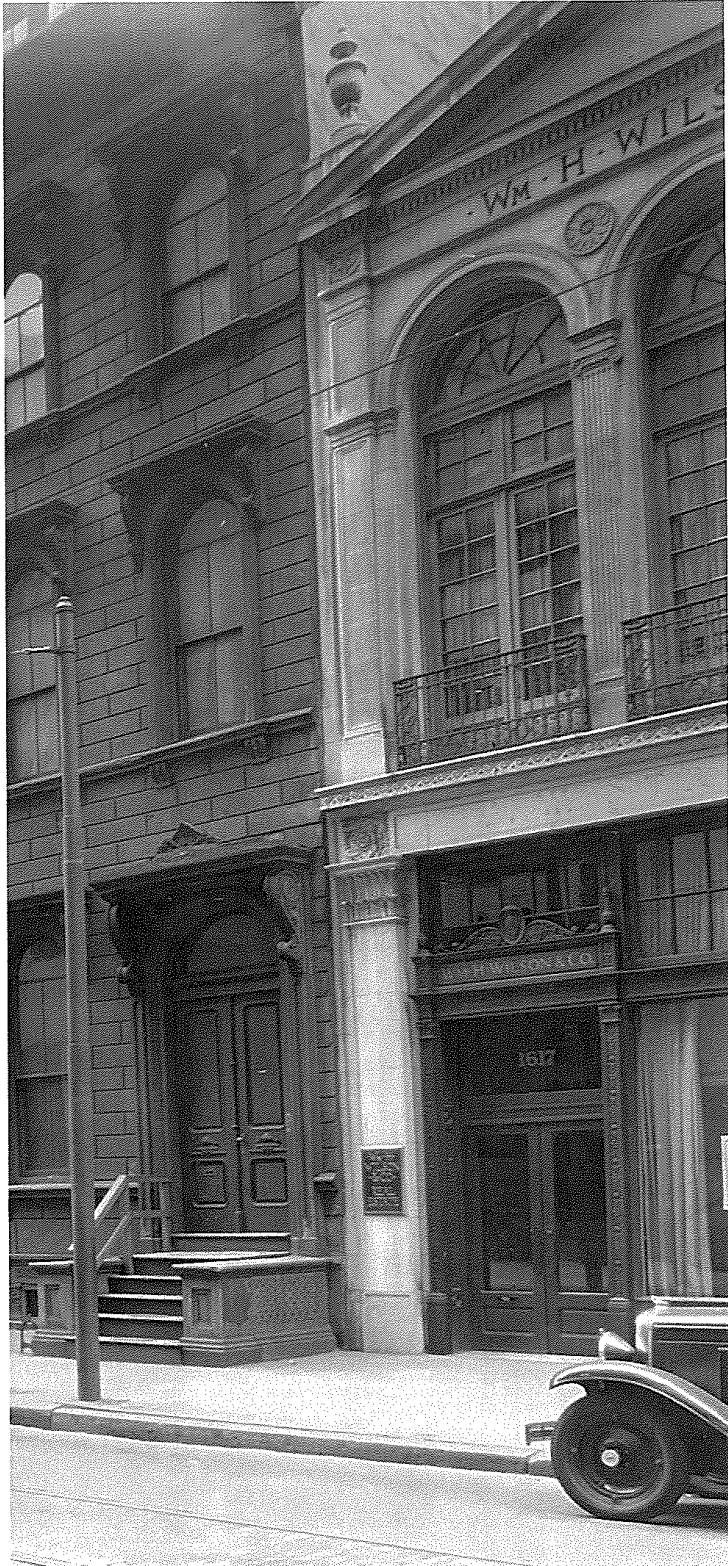


Figure 2: Photograph showing original facade features of 1617 Walnut Street.



Figure 3: Extant facade, 2023.

January 30, 2024

Jordan World of Flight

To: Philadelphia Historical Commission
1515 Arch St.
13th Floor
Philadelphia, PA 19102

Re: Nike Jordan World of Flight
1617 Walnut St.
Philadelphia, PA 19103
permit# CP-2024-000151

Dear Historical Commission,

The design concept for Jordan's World of Flight Philadelphia is inspired by the intersection of Philadelphia Historical Architecture and Jordan Brand.

The aim is to maintain the original character of the facade and integrate slight updates to the design details, as well as upgrade some things for better functionality. The design references the history through the details, such as the central façade arch extruded to create a portal from the outside world to the world of flight. The portal, which is one of the design elements of World of Flight, has been modified to complement the existing architectural language and highlights the proportions of the original arched form.

The 2nd level exterior windows and window framing will be updated to have the security in locking hardware and safety to Nike/Jordan requirements. Additionally, the existing doors and frames are in disrepair with gaps and openings that are not weather tight. The updated left and right upper windows are to have the mullions and framing maintained as per original design and the central window will be updated to increase visibility into the space, highlighting some of the interior architecture.

In addition, the interiors also reference the architectural style of the exterior through details such as the column details, the use of venetian plaster, and the wall paneling. This is to ensure that the design language of the exterior and interior are cohesive throughout. We are also looking to re-purpose and utilize the old 2nd floor windows and framing for some interior details and art/sculpture creations to expand the story of the historical aspects of the building.

We feel that through these improvements and changes, Philadelphia's Jordan The World of Flight will deliver a timeless, thoughtful designed store that can contribute to the neighborhood and character of the streetscape. The clean design language paired with the materiality and details used throughout achieves a look/feel that will convey a sense of history and permanence. See additional renderings on the next few pages.

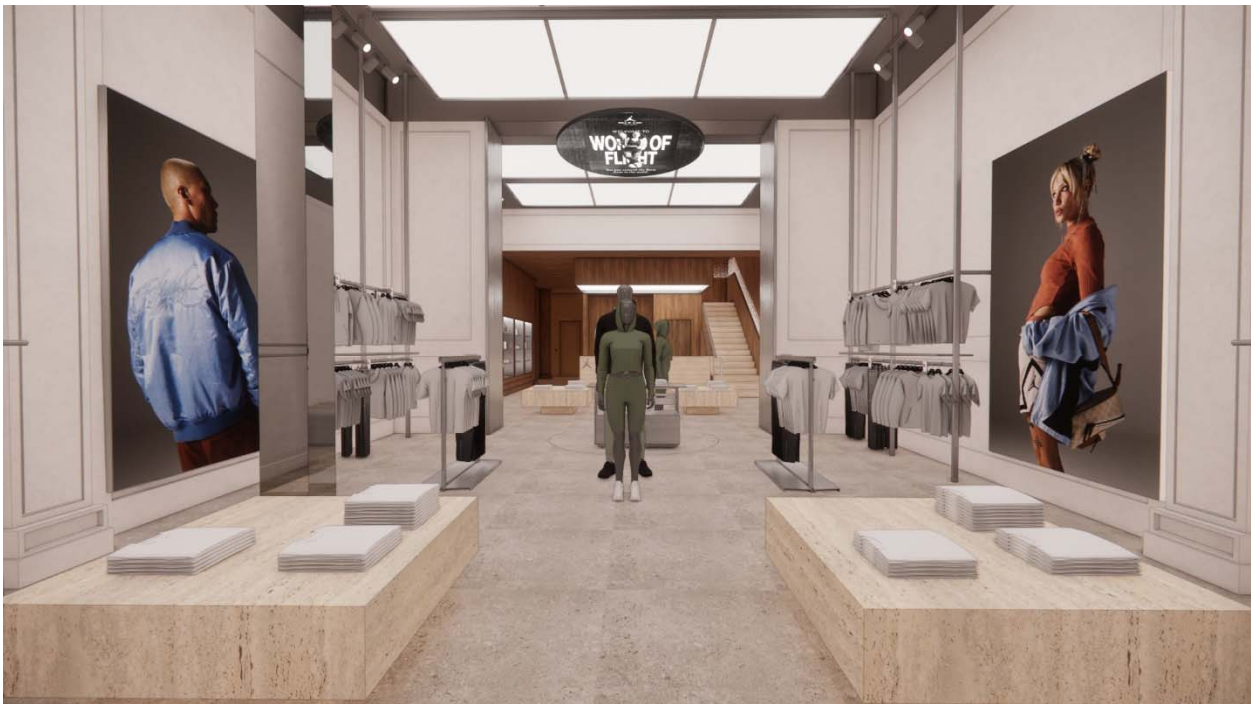
Please feel free to contact me if you have any questions.
Thank you,

Michael Kouvaris / MBH Architects
Phone: (510) 814-3507
michaelk@mbharch.com

Entry Portal from Ground Floor Sales area:



Ground Floor Sales area looking towards back of store:



Second Floor Sales area looking towards back of store:



Second Floor sales area looking towards front of store:





JORDAN WORLD OF FLIGHT Philadelphia



NIKE INC.
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005



960 Atlantic Ave
Alameda, CA 94501
Tel 510 865 8663
Fax 510 865 1611

MBH PROJECT: 56407

BUILDING TENANT
NIKE INC.
ONE BOWERMAN DRIVE
NORTH AMERICAN RETAIL-MA-1
BEAVERTON, OR 97005
CONTACT: JULIANA GOIS
TEL: (424) 285-9734
EMAIL: JULIANA.GOIS@NIKE.COM

LANDLORD
CHECO ACQUISITIONS
CONTACT: AZIZ SYED
TEL: 212-235-3000 X550
EMAIL: AZIZ@CHECO.COM

ARCHITECT
MBH ARCHITECTS
960 ATLANTIC AVENUE
ALAMEDA, CA 94501
CONTACT: MICHAEL KOUVARIS
TEL: (510) 814-3507
EMAIL: MICHAELK@MBHARCH.COM

EXPEDITOR:
MILROSE CONSULTANTS
CONTACT: JASON PARINI
TEL: (424) 437-6217
EMAIL: JPARINI@MILROSE.COM

STRUCTURAL
RLG INC.
12001 N. CENTRAL EXPRESSWAY
SUITE 300
DALLAS, TX 75243
CONTACT: COURTNEY OVERTON
TEL: (214) 739-8100
EMAIL: COVERTON@RLGINC.COM

THIS PROJECT CONSISTS OF BUT IS NOT LIMITED TO FACADE ALTERATIONS OF THE BUILDING LOCATED AT 1617 WALNUT STREET.

ALL NEW WORK SHALL BE INSTALLED PER LOCAL BUILDING CODES DEFINED WITHIN DOCUMENTATION AND WITH ADHERENCE TO THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.

THE RECONFIGURATION OF THE SPACE WILL NOT CAUSE A CHANGE TO THE OCCUPANCY TYPE. ACCESSIBILITY REQUIREMENTS WILL BE IN COMPLIANCE WITH ALL LOCAL CODES.

THIS PROJECT WILL BE SUBMITTED FOR LEED CERTIFICATION UPON COMPLETION OF CONSTRUCTION AND APPLICABLE COMMISSIONING BY JORDAN CONSTRUCTION PROJECT MANAGER.

NUMBER	NAME
ARCHITECTURAL	
A-001	TITLE SHEET
A-002	HISTORICAL INFORMATION
A-003	PROPOSED RENDERINGS
A-100	FLOOR PLAN AND DEMOLITION PLAN - FIRST FLOOR
A-101	FLOOR PLAN - SECOND FLOOR AND SECOND FLOOR MEZZANINE
A-150	ROOF PLAN
A-200	EXTERIOR ELEVATIONS
A-201	REAR EXTERIOR ELEVATION
A-210	ENLARGED PLANS & SECTIONS - ENTRANCE PORTAL
A-211	FACADE DETAILS
STRUCTURAL	
S0.1	GENERAL NOTES AND SPECIAL INSPECTIONS
S1.0	STRUCTURAL PLANS

REV NO	DESCRIPTION	DATE
	EXTERIOR PERMIT SET	01-05-2024

SCOPE OF WORK

GENERAL CONTRACTOR SHALL COORDINATE ALL DRAWINGS, SPECIFICATIONS AND CALCULATIONS FOR SEPARATE SUBMITTALS AS IN ACCORDANCE WITH THE LOCAL JURISDICTION. GC SHALL SUBMIT SEPARATE SUBMITTALS FOR REVIEW BY THE ARCHITECT FOR CONFORMANCE WITH THE DESIGN INTENT. THE ARCHITECT WILL RETURN COPIES OF THE DOCUMENT TO THE GENERAL CONTRACTOR FOR SUBMITTAL. THE GENERAL CONTRACTOR SHALL SUBMIT ALL SEPARATE SUBMITTALS TO THE APPROPRIATE MUNICIPAL AGENCIES FOR REVIEW AND APPROVAL. THE GENERAL CONTRACTOR SHALL ACQUIRE THE SEPARATE PERMITS AS REQUIRED WITHOUT DELAY TO CONSTRUCTION.

- INTERIOR TENANT IMPROVEMENT
- SIGNAGE

NOTE:
• COMPLETE PLANS, SPECIFICATION, MATERIAL DATA AND/OR CALCULATIONS FOR THE SEPARATE SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION FOR CITY REVIEW AND APPROVAL.
• THE REGISTERED AND RESPONSIBLE DESIGN PROFESSIONAL SHALL REVIEW THE SEPARATE SUBMITTAL DOCUMENTS AND SUBMIT THEM TO THE BUILDING OFFICIAL WITH ANNOTATION INDICATING THAT THE SEPARATE SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.
• THE SEPARATE SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.



EXP. 6/30/2025

PROJECT DIRECTORY

SEPARATE SUBMITTALS



PROJECT DATA:

NAME OF PROJECT: JORDAN WORLD OF FLIGHT

ADDRESS: 1617 WALNUT STREET
PHILADELPHIA, PA 19103

BUILDING DATA:

CONSTRUCTION TYPE: VB

SPRINKLERS: YES

NOTE: REVISIONS TO THE CURRENT SPRINKLER SYSTEM ARE UNDER SEPARATE PERMIT TO BE SUBMITTED BY SPRINKLER CONTRACTOR.

BUILDING OCCUPANCY TYPE:

OCCUPANCY CLASSIFICATIONS: M - MERCANTILE

SQUARE FOOTAGE: 5,980 SF

APPLICABLE CODES:

CODE ENFORCEMENT JURISDICTION:

CITY: PHILADELPHIA

BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE

PLUMBING CODE: 2018 INTERNATIONAL PLUMBING CODE

MECHANICAL CODE: 2018 INTERNATIONAL MECHANICAL CODE

ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE

FIRE SAFETY CODE: 2018 INTERNATIONAL FIRE CODE

ACCESSIBILITY CODE: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

ENERGY CODE: 2018 INTERNATIONAL ENERGY CONSERVATION CODE

ABV	ABOVE	LAV	LAVATORY
AFF	ABOVE FINISHED FLOOR	LB	POUND
A.C.T.	ACOUSTICAL CEILING TILE	LL	LANDLORD
A.D.A.	AMERICANS WITH DISABILITIES ACT	LT	LIGHT
ARCH	ARCHITECTURAL	LOO	LEASE OUTLINE DRAWING
BULD	BUILDING	MAX	MAXIMUM
BD	BOARD	MFD	MANUFACTURED
BLKG	BLOCKING	MFR	MANUFACTURER
B.O.	BOTTOM OF	MECH	MECHANICAL
B.O.H.	BACK OF HOUSE	MIN	MINIMUM
CPT	CARPET	MISC	MISCELLANEOUS
CLG	CEILING	MTO	MOUNTED
CLR	CLEAR	MTL	METAL
CONC.	CONCRETE	N.I.C.	NOT IN CONTRACT
CONSR	CONSTRUCTION	NO	NUMBER
CONT	CONTINUOUS / CONTINUATION	N.T.S.	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	N	NEW
CPM	CONSTRUCTION PROJECT MANAGER	O.V.	OVER
DEPT	DEPARTMENT	O.C.	ON CENTER
DET	DETAIL	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
DA	DIAMETER	OH	OPPOSITE HAND
DIFF	DIFFUSER	O.T.S.	OPEN TO STRUCTURE
DIM	DIMENSION	OVHD	OVERHEAD
DISP	DISPENSER	PNL	PANEL
DIV	DIVISION	PREFAB	PREFABRICATED
DN	DOWN	PL	PLASTIC LAMINATE
DR	DOOR	PM	PROJECT MANAGER
DSCON	DISCONNECT	REF	REFERENCE
EA	EACH	REFR	REFRIGERATOR / REFRIGERATED
ELEC	ELECTRICAL	REQD	REQUIRED
EMBED	EMBEDDED / EMBEDMENT	REINP	REINFORCE / REINFORCED
ENG	ENGINEER(ED)	RW	ROUGH OPENING
EQ	EQUAL	R.O.	ROUGH OPENING
EQUIP	EQUIPMENT	S.F.	SQUARE FEET
EXP-JT	EXPANSION JOINT	SHORG	SHORING
EXT	EXTERIOR	SM	SIMILAR
EX	EXISTING	STL	STEEL
FAB	FABRICATION	ST STL	STAINLESS STEEL
FD	FLOOR DRAIN	STRUCT	STRUCTURE
FE	FIRE EXTINGUISHER	SURF	SURFACE
FEBC	FIRE EXTINGUISHER & CABINET	SUSP	SUSPENDED
F.F.	FINISH FLOOR	SVS	SYSTEM(S)
FHC	FIRE HOSE CABINET	T.B.D.	TO BE DETERMINED
FRT	FIRE RETARDANT TREATED	TEMP	TEMPORARY
F.O.	FRONT OF	TRK	THICK
FURN	FURNITURE	TRTD	TREATED
GA	GAUGE	TSTAT	THERMOSTAT
GFRP	GLASS FIBER REINFORCED	TYP	TYPICAL/INDRYLAY UNDERLAYMENT
GL	GLASS / GLAZING	U.N.O.	UNLESS NOTED OTHERWISE
GYP	GYPSPUM	V.C.T.	VINYL COMPOSITE TILE
HD	HEAD	VERT	VERTICAL
H.M.	HOLLOW METAL	V.I.F.	VERIFY IN FIELD
HORIZ	HORIZONTAL	V.O.C.	VOLATILE ORGANIC COMPOUND
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	w/	WITH
HT	HEIGHT	WD	WOOD
INFO	INFORMATION	WID	WINDOW
INSUL	INSULATION	w/o	WITHOUT
INT	INTERIOR	WP	WATERPROOFING
JAN	JANITOR		
JDI	JUST DO IT		

CODE INFORMATION

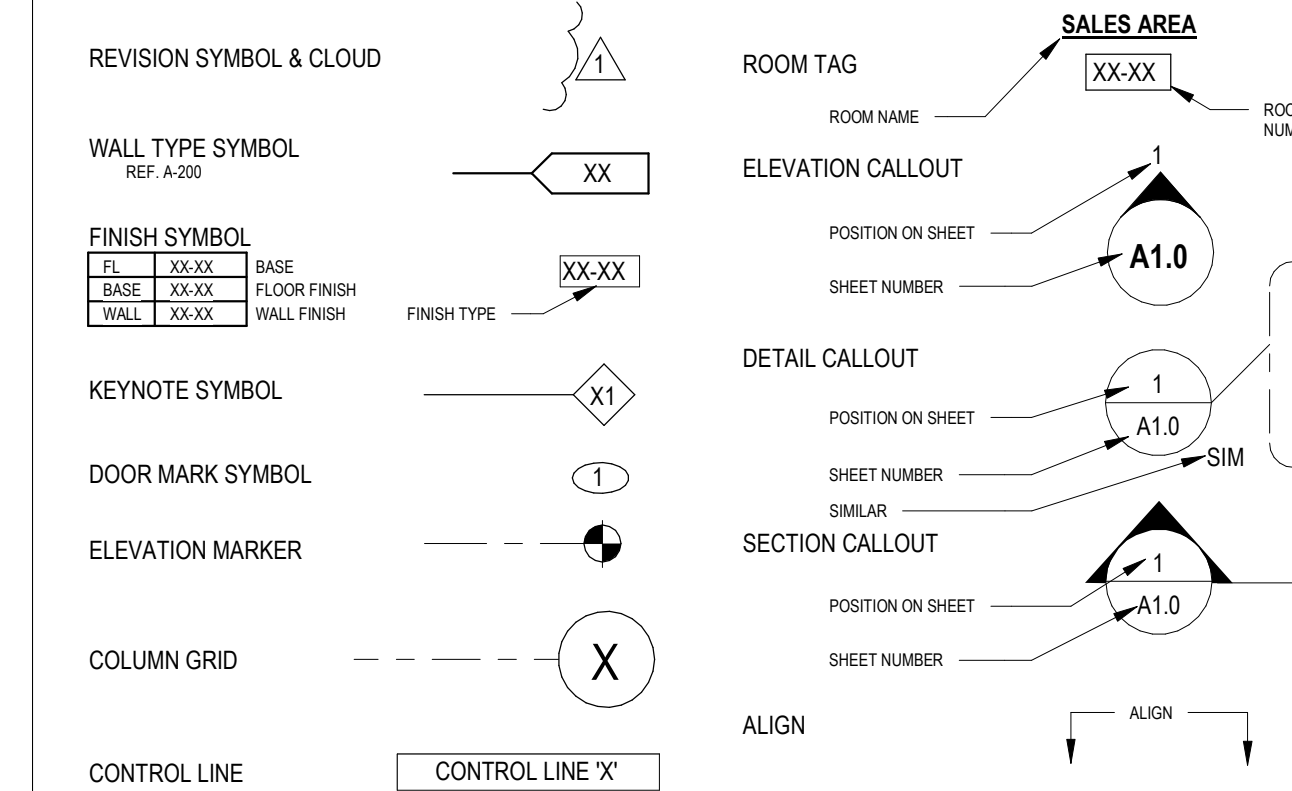
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN.
- ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHER DRAWINGS FOR LAYOUT DIMENSIONS AND NUMBER OF ITEMS PROVIDED. UPON DISCOVERY OF DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND ENGINEERING DRAWINGS, OWNER'S REPRESENTATIVE SHALL BE IMMEDIATELY NOTIFIED IN WRITING.
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
- DURING ALL PHASES OF WORK DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT AND NEIGHBORING TENANTS.
- ALL CONTRACTORS, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL BE RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF DOCUMENTS AS SHOWN IN THE SHEET INDEX. FAILURE TO REVIEW ALL CONSTRUCTION DOCUMENTS WILL NOT RELIEVE ANY CONTRACTORS, SUBCONTRACTORS, VENDORS OR MATERIAL SUPPLIERS FROM PERFORMING WORK OR PROVIDING MATERIALS REQUIRED FOR THE COMPLETION OF THIS PROJECT AS DEFINED WITHIN THE DOCUMENTS AT TIME OF BID.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF CONSTRUCTION PHASES WITH ALL TRADES, VENDORS AND SUBCONTRACTORS.
- WORK FROM ALL DISCIPLINES SHALL BE COORDINATED AS A WHOLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING AND RESOLVING ANY CONFLICTS WITHOUT IMPACT TO THE PROJECT COST OR SCHEDULE.
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL GOVERNING CODES, REGULATIONS AND THE AMERICANS WITH DISABILITIES ACT.
- UPON SUBSTANTIAL COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE AND ARCHITECT WHO WILL COMPILER A "PUNCH LIST" OF CORRECTIONS, REVISIONS AND WORK TO BE PERFORMED AS REQUIRED FOR THE FINAL COMPLETION OF THE PROJECT.

NOTE TO G.C. & VENDORS:
FOR ADDITIONAL LANDLORD INFORMATION, EXISTING AS-BUILT DRAWINGS, AND SITE PHOTOS, PLEASE REFERENCE THIS PROJECT'S FOLDER ON PLANGRID.

GENERAL NOTES

ABBREVIATIONS

SHEET LIST



SYMBOLS LEGEND

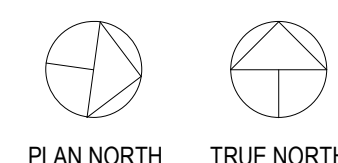
1617 WALNUT STREET
1617 WALNUT STREET
PHILADELPHIA, PA 19103

Project Number
Drawn By: MV
Checked By: GK/MK

TITLE SHEET

A-001

AREA MAP



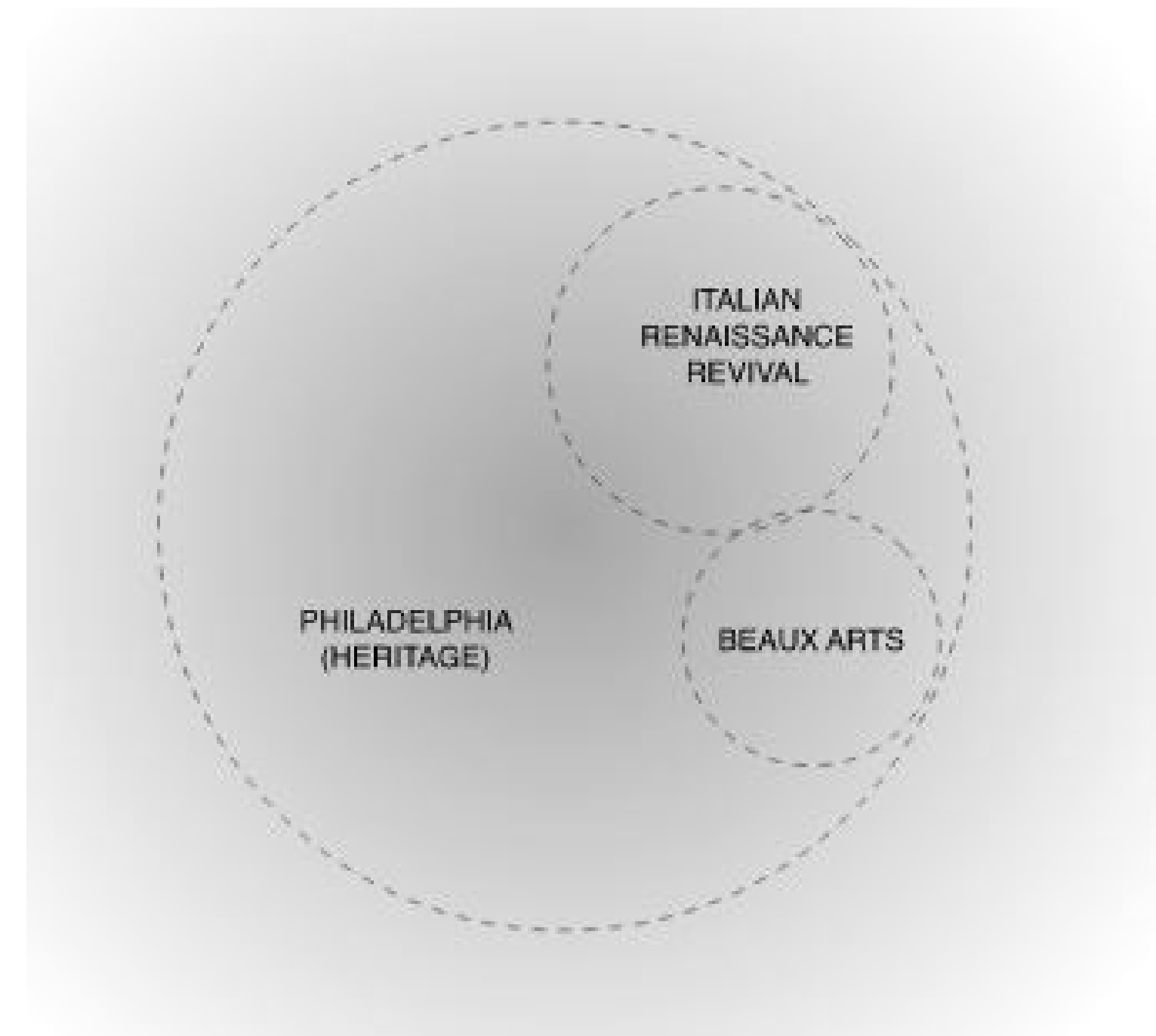


NIKE INC.
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005



960 Atlantic Ave
Alameda, CA 94501
Tel 510 865 8663
Fax 510 865 1611

MBH PROJECT: 56407



ABOUT THE SITE SOUTH ELEVATION

The Walnut Street façade is clad largely in limestone with carved elements at each of the two elongated stories. The three-bay façade sits atop a modest black granite base. Substantial paneled pilasters extend the full height of the building at the east and west ends. At the ground story, the limestone appears to be coated in a textured paint or light stucco. Two large display windows flank a central doorway, and each opening contains a spandrel panel with a round-arched transom above. Fluted pilasters with Ionic capitals separate the three openings. The ground story is topped by a projecting cornice with a carved Vitruvian scroll pattern

The height and fenestration pattern of the ground story is replicated at the second story, though with more decoration. Three identical openings contain pairs of French doors that open onto Juliette balconies with decorative iron railings. Pairs of casement windows add height above the doors. Like the ground story, the second-story openings contain the same round-arched transoms. Fluted pilasters with Ionic capitals again separate the openings. At the second story, however, roundels with patera have been added between the arches of the transoms. A dentilated pediment, which functions as a parapet, caps the façade. Decorative urns stand on acroteria above the party walls at either end. Below, the corners of the architrave contain carved floral elements. The façade communicates a sense of grandeur and presence through its design and verticality, despite its much taller neighbors to the east and west.

REV NO	DESCRIPTION	DATE
	EXTERIOR PERMIT SET	01-05-2024

SITE HISTORY – HISTORIC CLASS D

Building is designated a Historic class D

D designation: "Embodies distinguishing characteristics of an architectural style"

Requires Historic review before permit submissions

No alterations to existing storefront/facade that does not meet the D designation

Signage flags may be allowed with review

Signage may be located within the interior behind glass

May be able to get alteration variance if we propose design that meets the spirit of the D designation

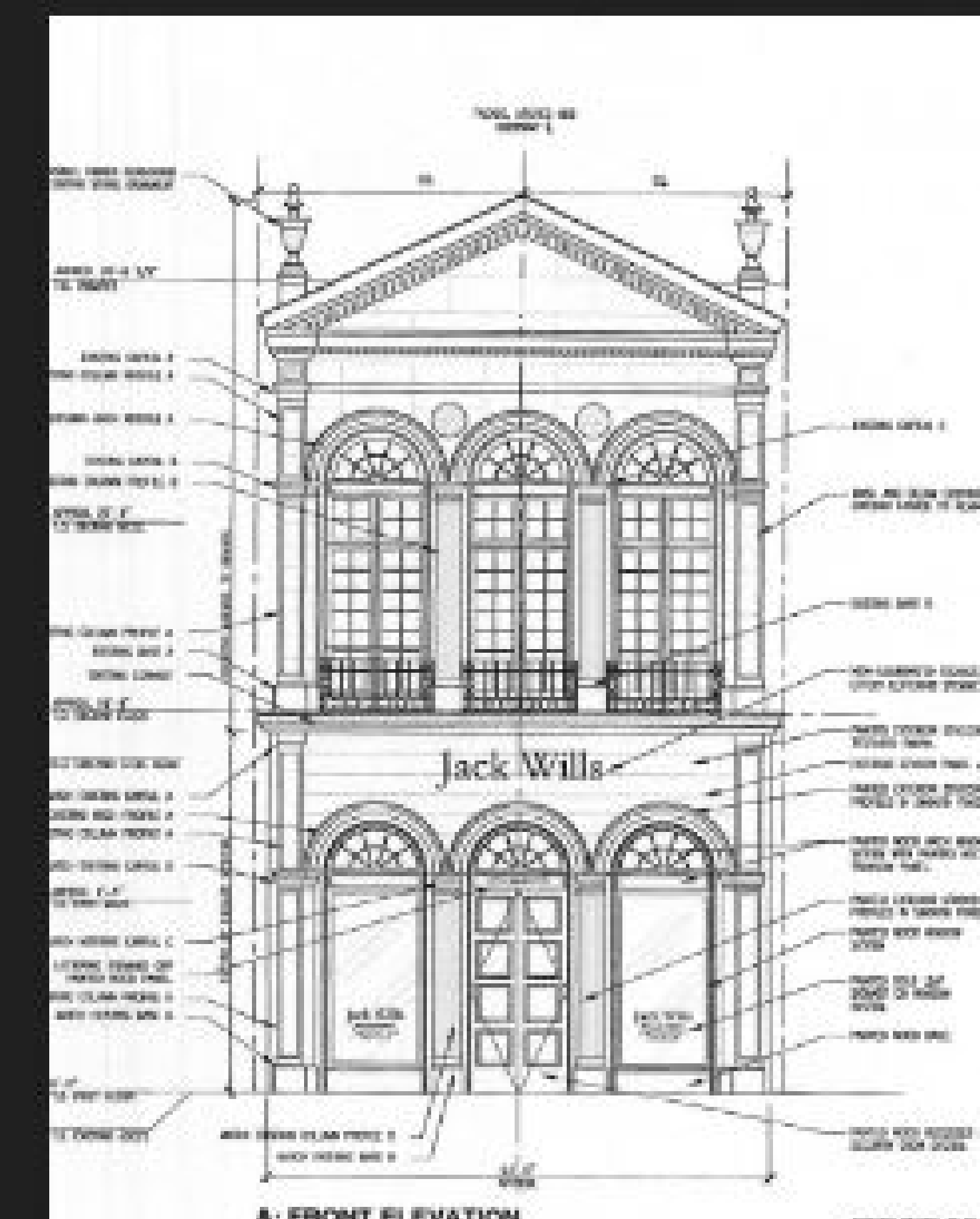
ORIGINAL FACADE



PREVIOUS TENANT FACADE RENOVATION



PREVIOUS TENANT FACADE RENOVATION 2009



1617 WALNUT STREET

1617 WALNUT STREET
PHILADELPHIA, PA 19103

Project Number

Drawn By SY

Checked By GK/MK

HISTORICAL
INFORMATION

A-002



PROPOSED FRONT ELEVATION RENDERING
SEE SHEET A-200 FOR MORE INFORMATION



PROPOSED FRONT ELEVATION RENDERING
SEE SHEET A-200 FOR MORE INFORMATION



PROPOSED FRONT ELEVATION RENDERING
SEE SHEET A-200 FOR MORE INFORMATION



EXISTING FRONT ELEVATION
FOR REFERENCE



NIKE INC.
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005



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PHILADELPHIA, PA 19103

Project Number

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Checked By GK/MK

PROPOSED
RENDERINGS

A-003

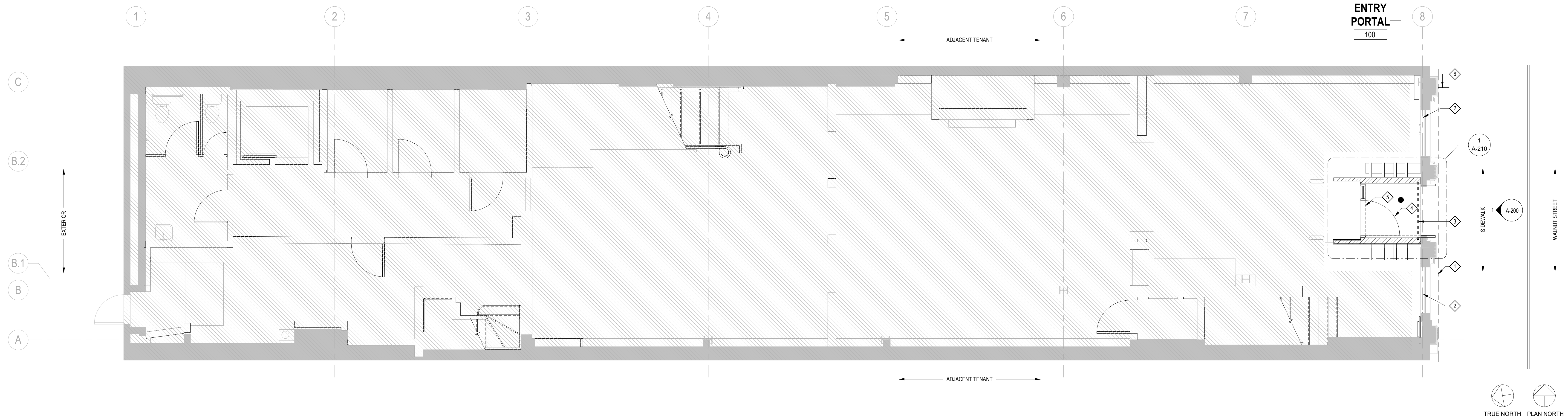


NIKE INC.
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005



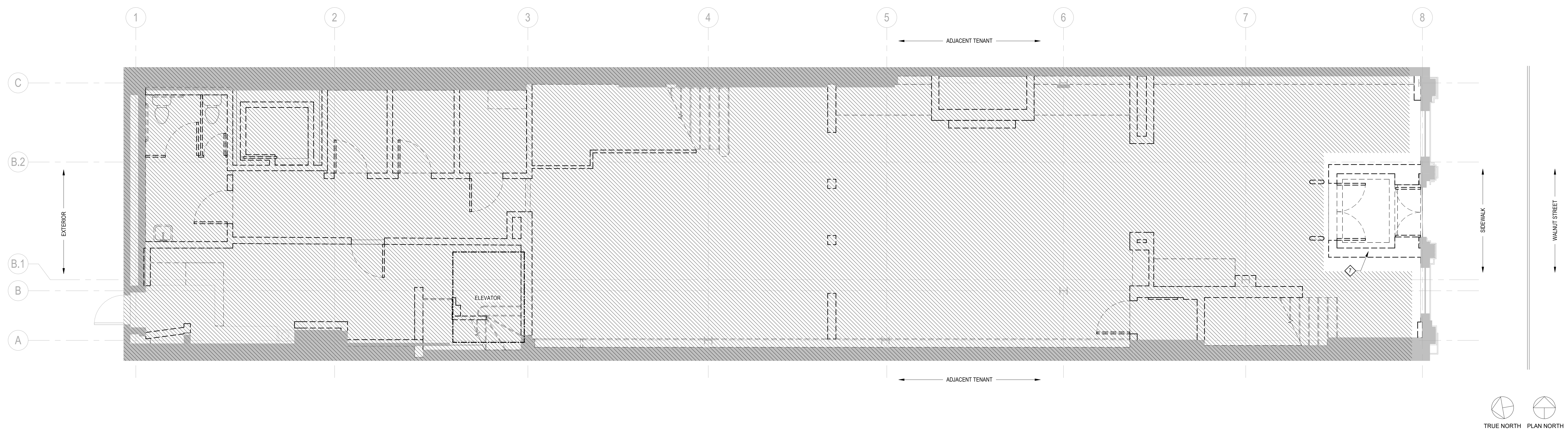
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CONSTRUCTION PLAN - FIRST FLOOR

SCALE
1/4" = 1'-0" 2



DEMOLITION PLAN - FIRST FLOOR

SCALE
1/4" = 1'-0" 1

- HATCHED AREA INDICATES AREA OF BUILDING NOT IN SCOPE
- EXISTING PARTITION WALL
- EXISTING WALL
- NEW PARTITION WALL

- ① PROPERTY LINE.
- ② (E) WINDOW FRAME AND GLASS TO REMAIN. NEW CLEAR "RIOT" GLASS TO BE INSTALLED ON INTERIOR SIDE OF (E) GLASS WITHIN EXISTING FRAME.
- ③ NEW ROLL-DOWN SECURITY DOOR FOR USE WHEN STORE IS CLOSED. SEE ELEVATIONS FOR MORE INFORMATION.
- ④ NEW ENTRY DOOR AND SIDE GLASS
- ⑤ 5X 5' ADA DOOR CLEARANCE.
- ⑥ NEW FLAG SIGN.
- ⑦ (E) VESTIBULE AND DOORS TO BE DEMOLISHED

LEGEND

KEYNOTES

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EXP. 6/30/2025

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1617 WALNUT STREET
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FLOOR PLAN AND
DEMOLITION PLAN -
FIRST FLOOR

A-100



NIKE INC.
ONE BOWERMAN DRIVE
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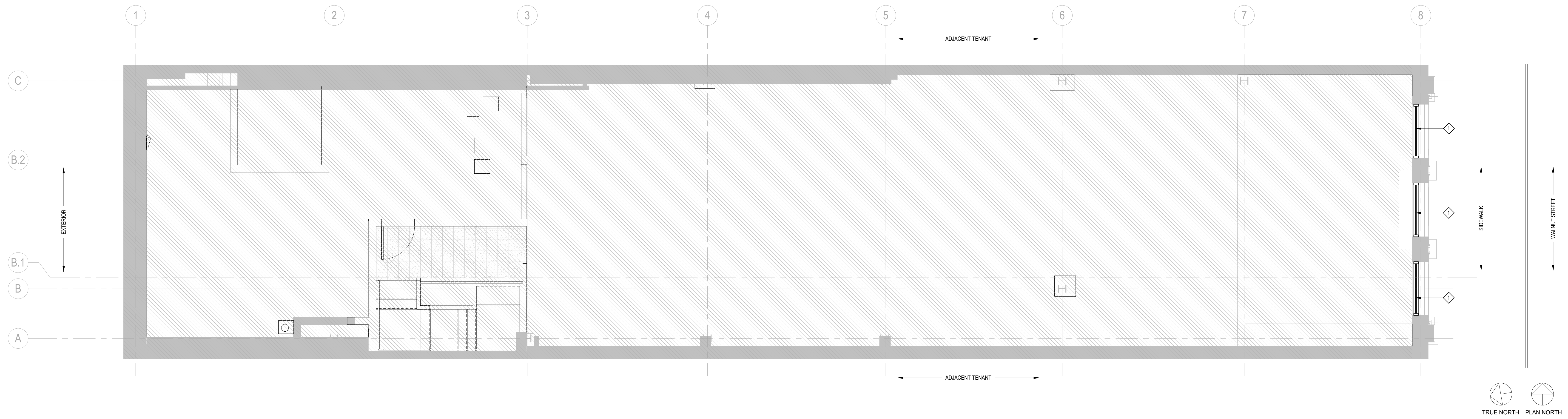
MV

Checked By

GK/MK

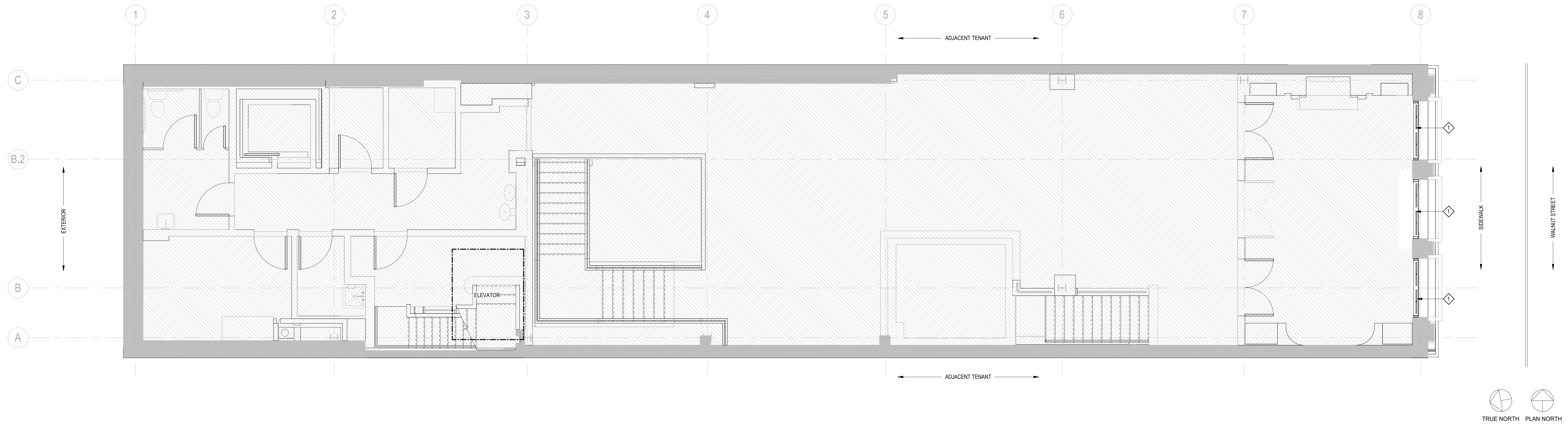
FLOOR PLAN - SECOND
FLOOR AND SECOND
FLOOR MEZZANINE

A-101



FLOOR PLAN - SECOND FLOOR MEZZANINE

SCALE
1/4" = 1'-0" 2



FLOOR PLAN - SECOND FLOOR

SCALE
1/4" = 1'-0" 1

- HATCHED AREA INDICATES AREA OF BUILDING NOT IN SCOPE
- EXISTING PARTITION WALL
- EXISTING WALL
- NEW PARTITION WALL

NEW WINDOW IN EXISTING OPENING. SEE EXTERIOR ELEVATIONS FOR WINDOW CONFIGURATION.

LEGEND

KEYNOTES

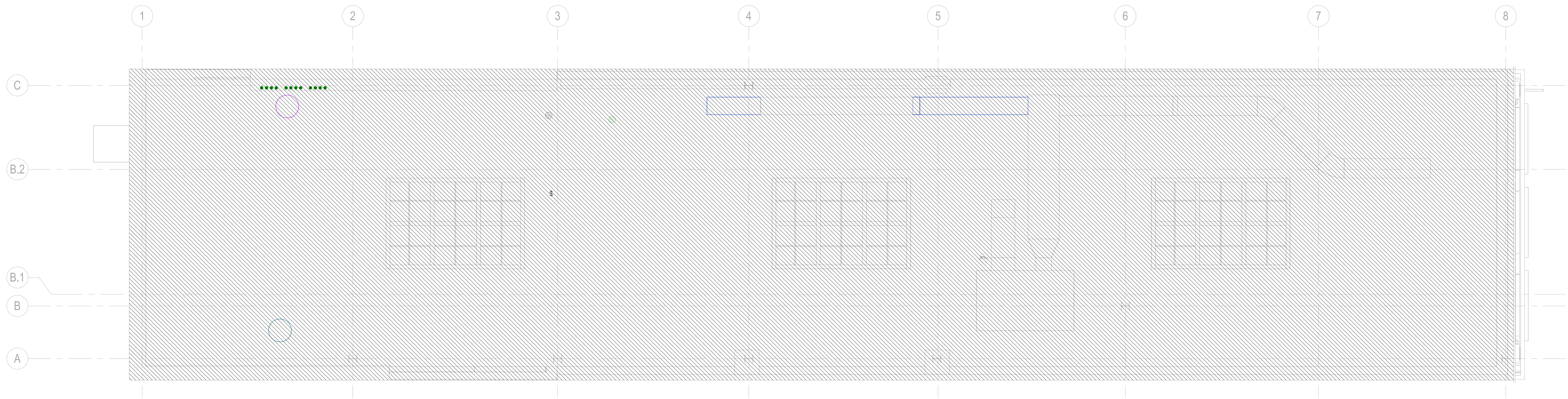


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BEAVERTON, OR 97005



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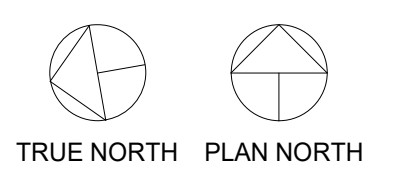
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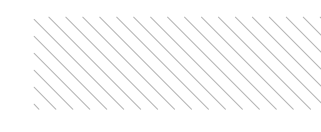
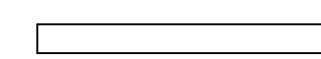

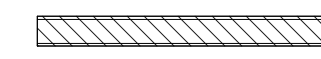


EXP. 6/30/2025



SCALE
1/4" = 1'-0" 1

ROOF PLAN - FOR REFERENCE ONLY

-  - HATCHED AREA INDICATES AREA OF BUILDING NOT IN SCOPE
-  - EXISTING PARTITION WALL
-  - EXISTING WALL
-  - NEW PARTITION WALL

LEGEND

KEYNOTES

1617 WALNUT STREET

1617 WALNUT STREET
PHILADELPHIA, PA 19103

Project Number

Drawn By MV

Checked By GK/MK

ROOF PLAN

A-150



NIKE INC.
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005



960 Atlantic Ave
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REV NO	DESCRIPTION	DATE
	EXTERIOR PERMIT SET	01-05-2024



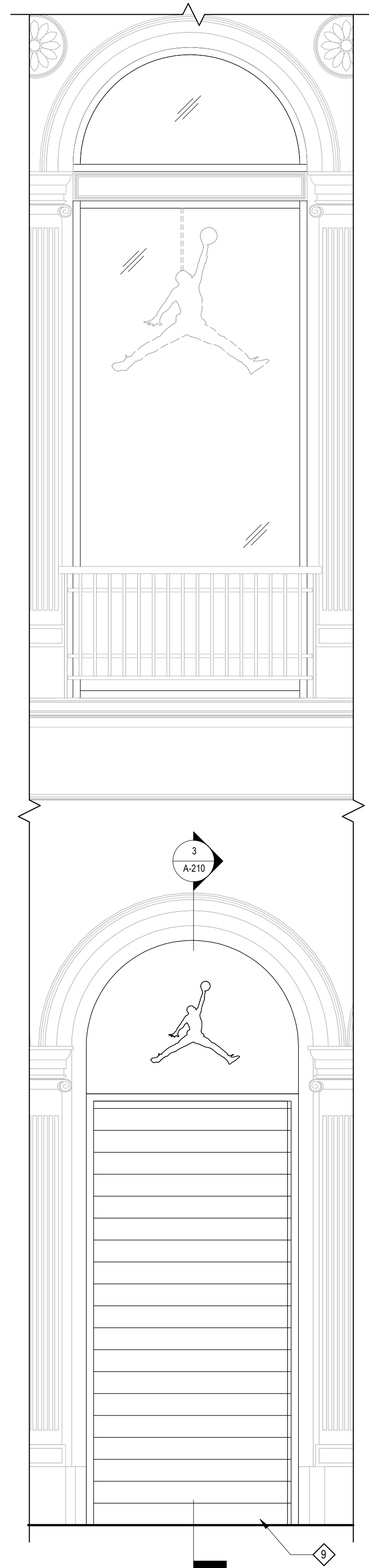
EXP. 6/30/2025

1617 WALNUT STREET

1617 WALNUT STREET
PHILADELPHIA, PA 19103

EXTERIOR ELEVATIONS

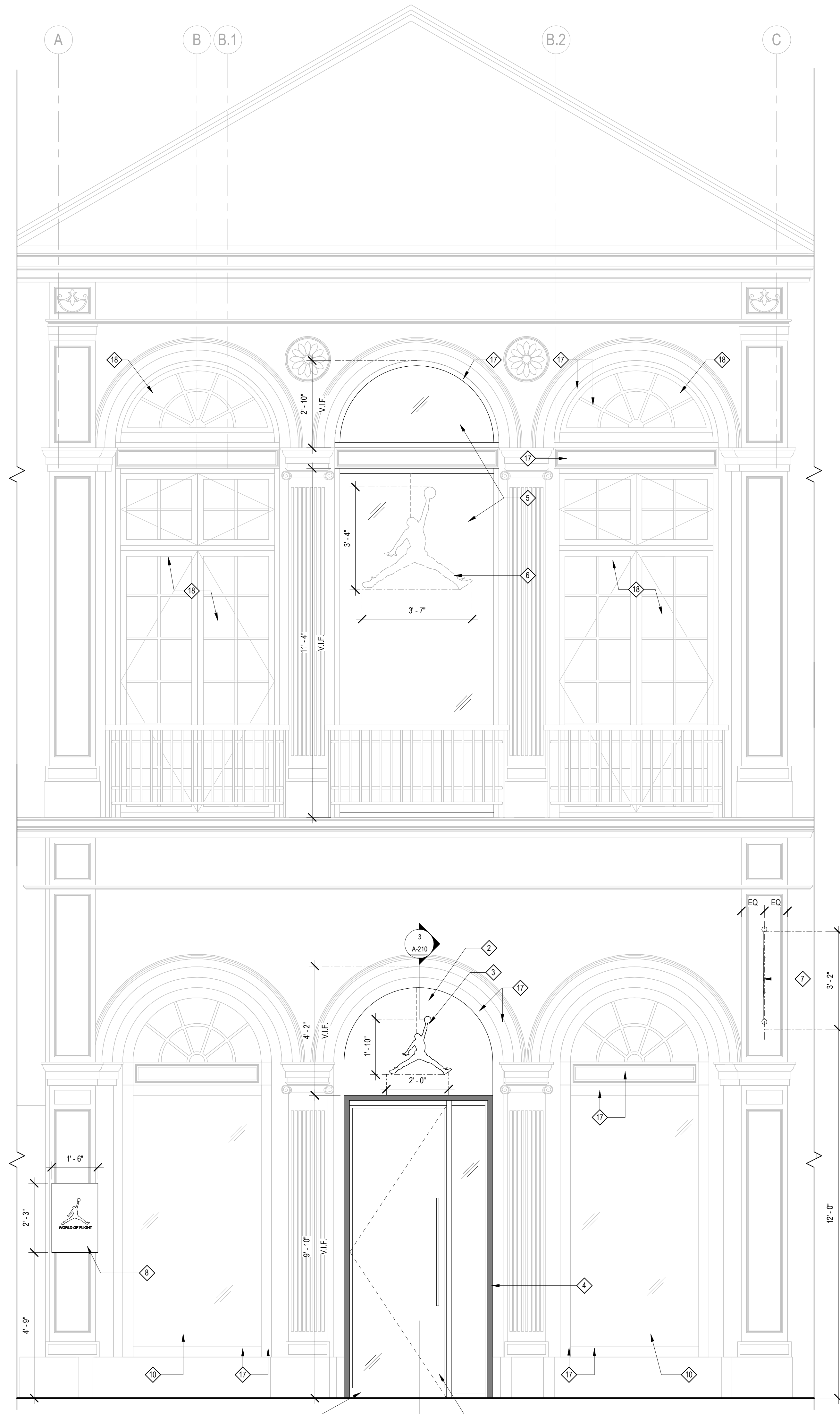
A-200



ENTRY ELEV. WITH SECURITY DOOR CLOSED

SCALE
1/2" = 1'-0"

3

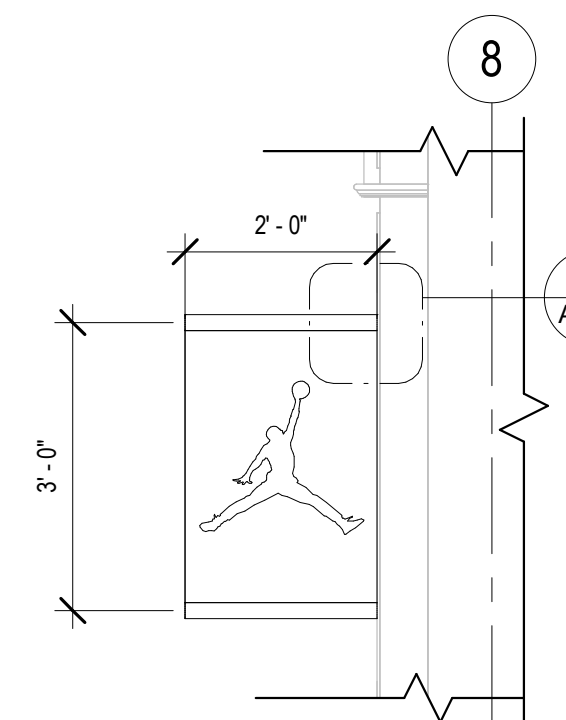


ROLL DOWN SECURITY GRILL IN OPEN POSITION
WOULD NOT BE VISIBLE DURING BUSINESS HOURS

PROPOSED EXTERIOR FRONT ELEVATION

SCALE
1/2" = 1'-0"

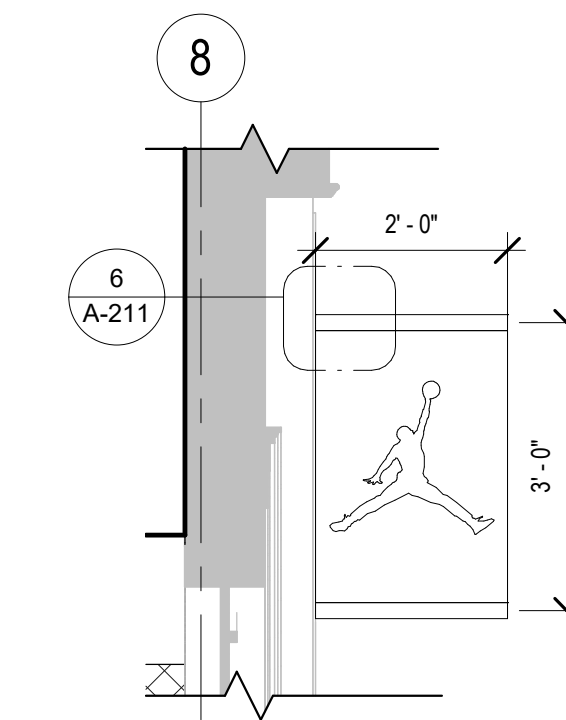
2



FLAG SIGN SIDE ELEVATION 2

SCALE
1/2" = 1'-0"

6



FLAG SIGN SIDE ELEVATION 1

SCALE
1/2" = 1'-0"

5

EXISTING EXTERIOR FRONT ELEVATION

SCALE
1/2" = 1'-0"

1

- 1 NEW GLASS ENTRY DOOR AND WINDOW RECESSED FROM FACADE PLANE. SEE PLAN.
- 2 TRANSOM WINDOW TO BE COVERED WITH STAINLESS STEEL PANEL.
- 3 NEW ILLUMINATED 2' X 2' "JUMPMAN" SIGN.
- 4 NEW STAINLESS STEEL "PORTAL" FRAME IN EXISTING OPENING, PROTRUDING TO ALIGN WITH FACE OF PILASTERS.
- 5 NEW WINDOW IN EXISTING OPENING. NO INTERMEDIATE MULLIONS FINISH TO MATCH (E) BLACK WINDOW MULLIONS.
- 6 NEW ILLUMINATED "JUMPMAN" SIGN BEHIND GLASS. 3'-10" X 3'-10"
- 7 NEW FLAG SIGN, 3' X 2'. SEE ELEVATIONS 5 & 6/A-200.
- 8 NEW STAINLESS STEEL PLATE WITH BRAND INFORMATION, 2'-3" X 1'-7". SEE SHEET A100 & A540 FOR MORE INFORMATION.
- 9 NEW ROLL-DOWN SECURITY DOOR IN STAINLESS STEEL FINISH. DESIGNED TO NOT BE VISIBLE DURING BUSINESS HOURS.
- 10 EXISTING GLASS TO REMAIN. INSTALL CLEAR "RIOT" GLASS TO INSIDE OF WINDOW FRAME.
- 11 (E) DOOR AND TRANSOM WINDOW TO BE REMOVED.
- 12 (E) WINDOW TO BE REMOVED. WIDE HORIZONTAL MULLION TO REMAIN.
- 13 (E) LIMESTONE ON UPPER FLOOR TO REMAIN.
- 14 (E) WINDOWS TO REMAIN OTHERWISE NOTED.
- 15 (E) STUCCO FINISH ON LOWER LEVEL TO REMAIN.
- 16 (E) GRANITE BASE TO REMAIN.
- 17 (E) BLACK TRIM TO REMAIN.
- 18 EXISTING WINDOW AND TRANSOM TO BE REPLACED IN KIND FOR SECURITY AND ENERGY EFFICIENCY.

KEYNOTES

Project Number

Drawn By

MV

Checked By

GK/MK



NIKE INC.
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005



960 Atlantic Ave
Alameda, CA 94501
Tel: 510 865 8663
Fax: 510 865 1611

MBH PROJECT: 56407

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	EXTERIOR PERMIT SET	01-05-2024



EXP. 6/30/2025

1617 WALNUT STREET

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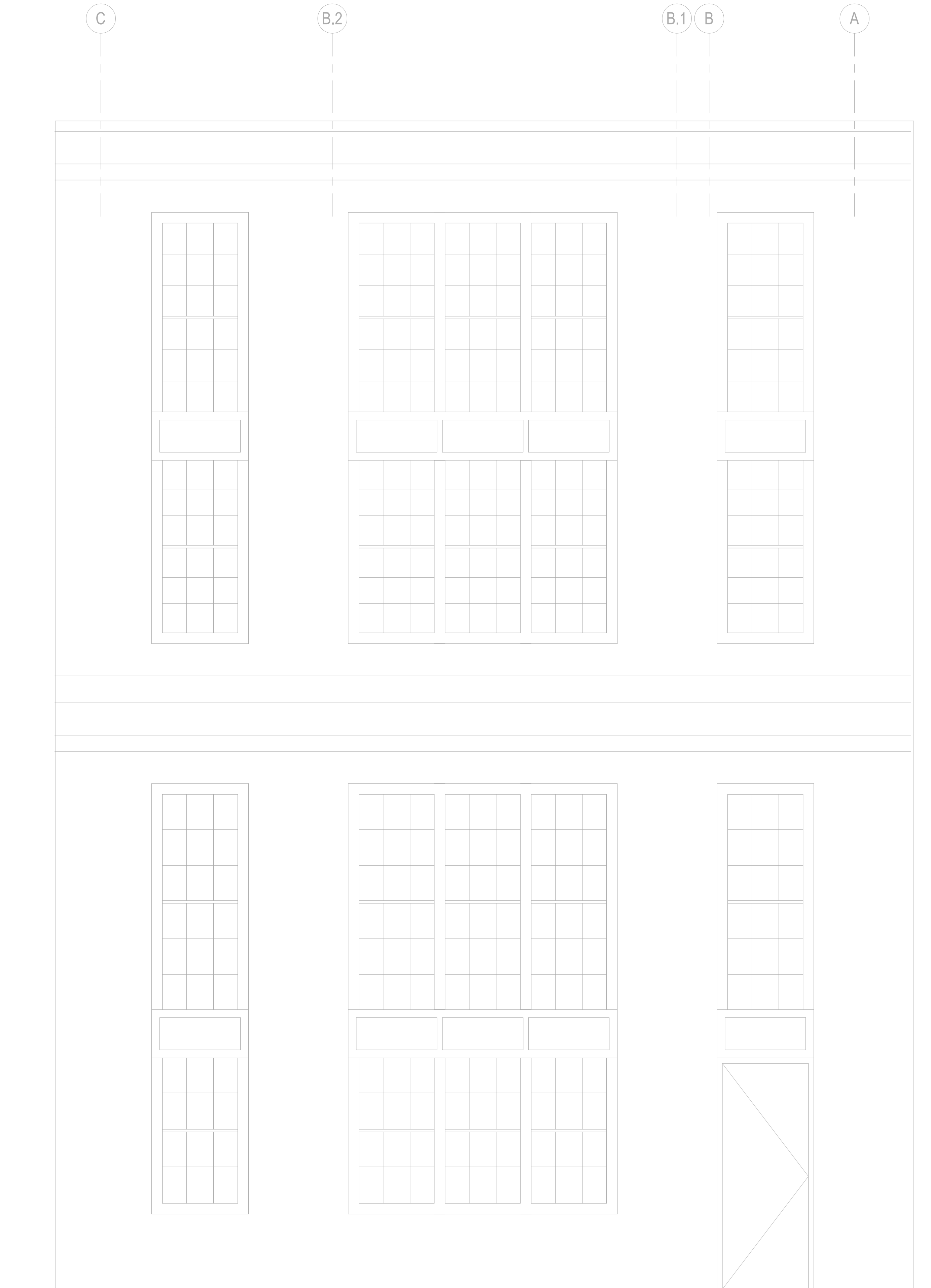
Project Number

Drawn By MV

Checked By GK/MK

REAR EXTERIOR
ELEVATION

A-201



NO SCOPE AT REAR ELEVATION

EXTERIOR REAR ELEVATION - FOR REFERENCE ONLY

SCALE
1/2" = 1'-0"

1



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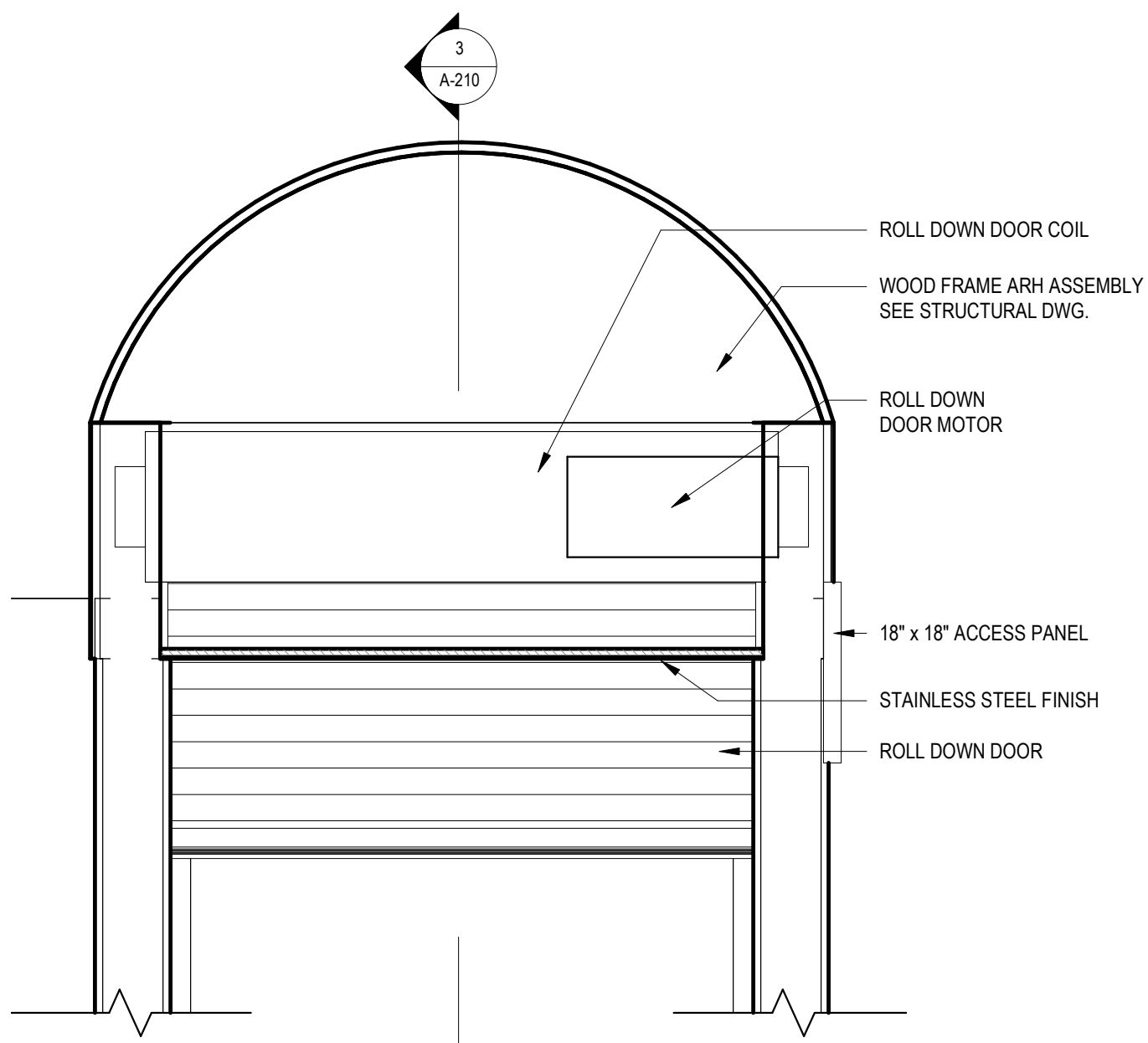
Project Number

Drawn By MV

Checked By GK/MK

ENLARGED PLANS &
SECTIONS - ENTRANCE
PORTAL

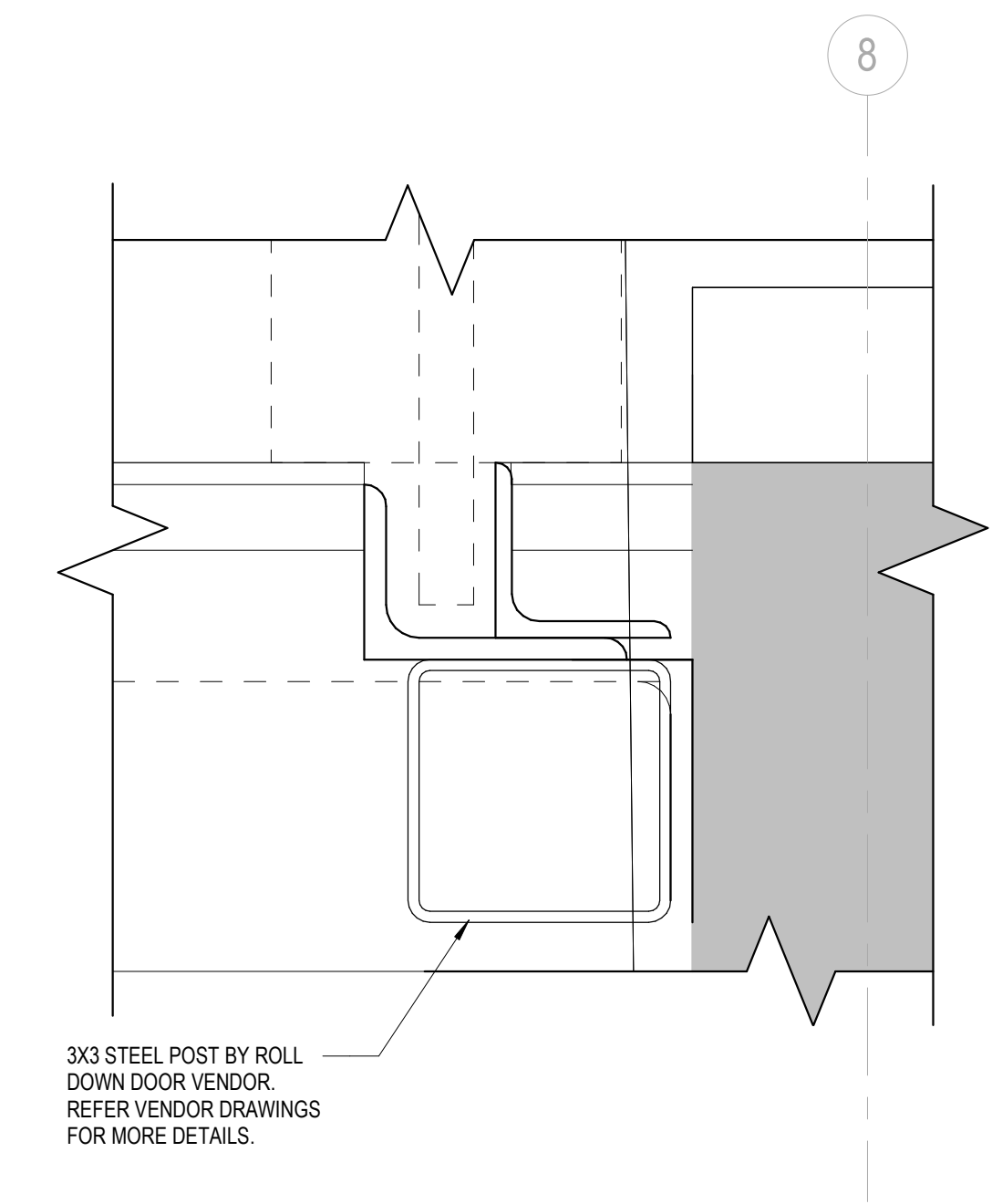
A-210



SECTION AT PORTAL ENTRY

SCALE
3/4" = 1'-0"

5

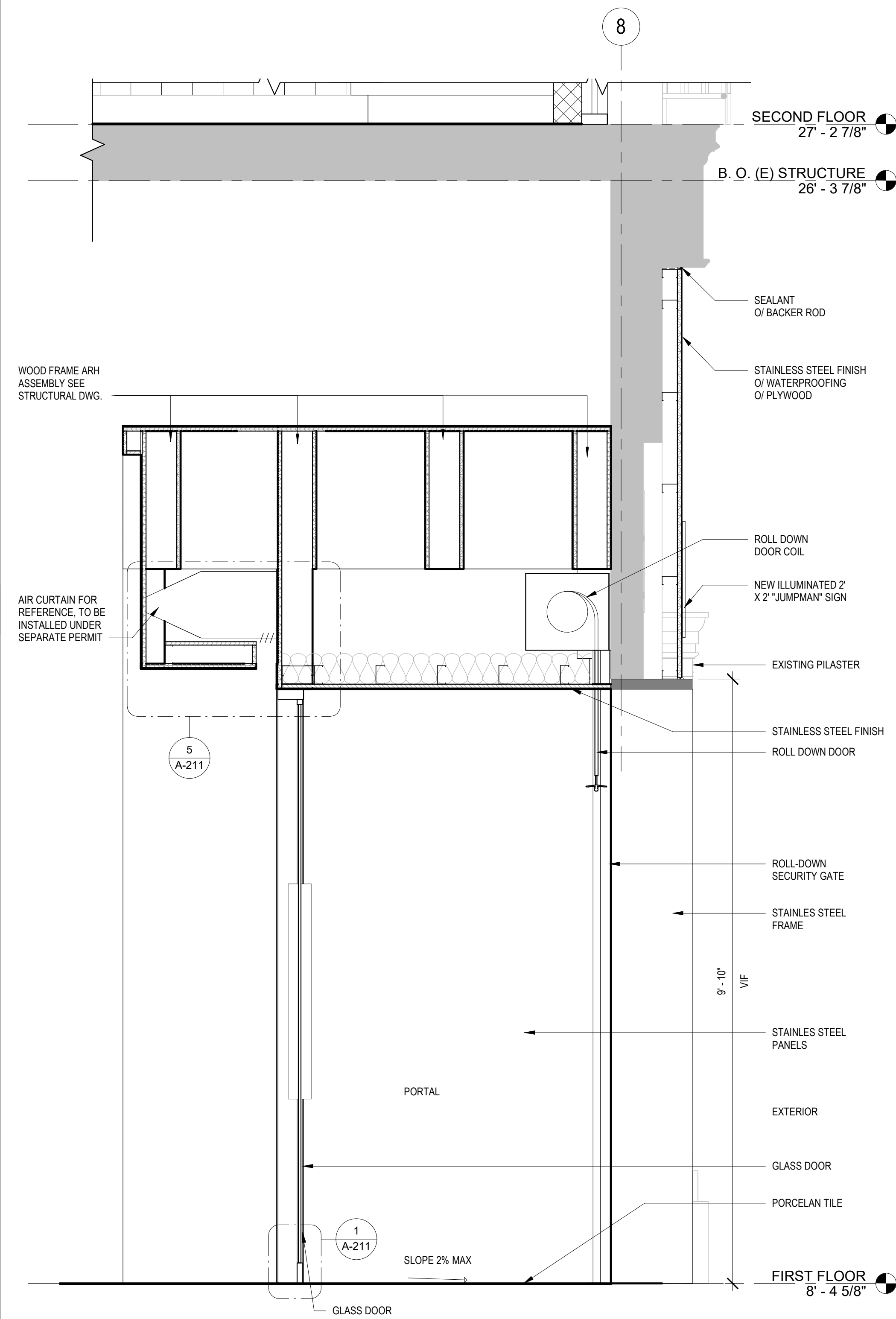


ENLARGED PLAN - ENTRANCE PORTAL

SCALE
6" = 1'-0"

4

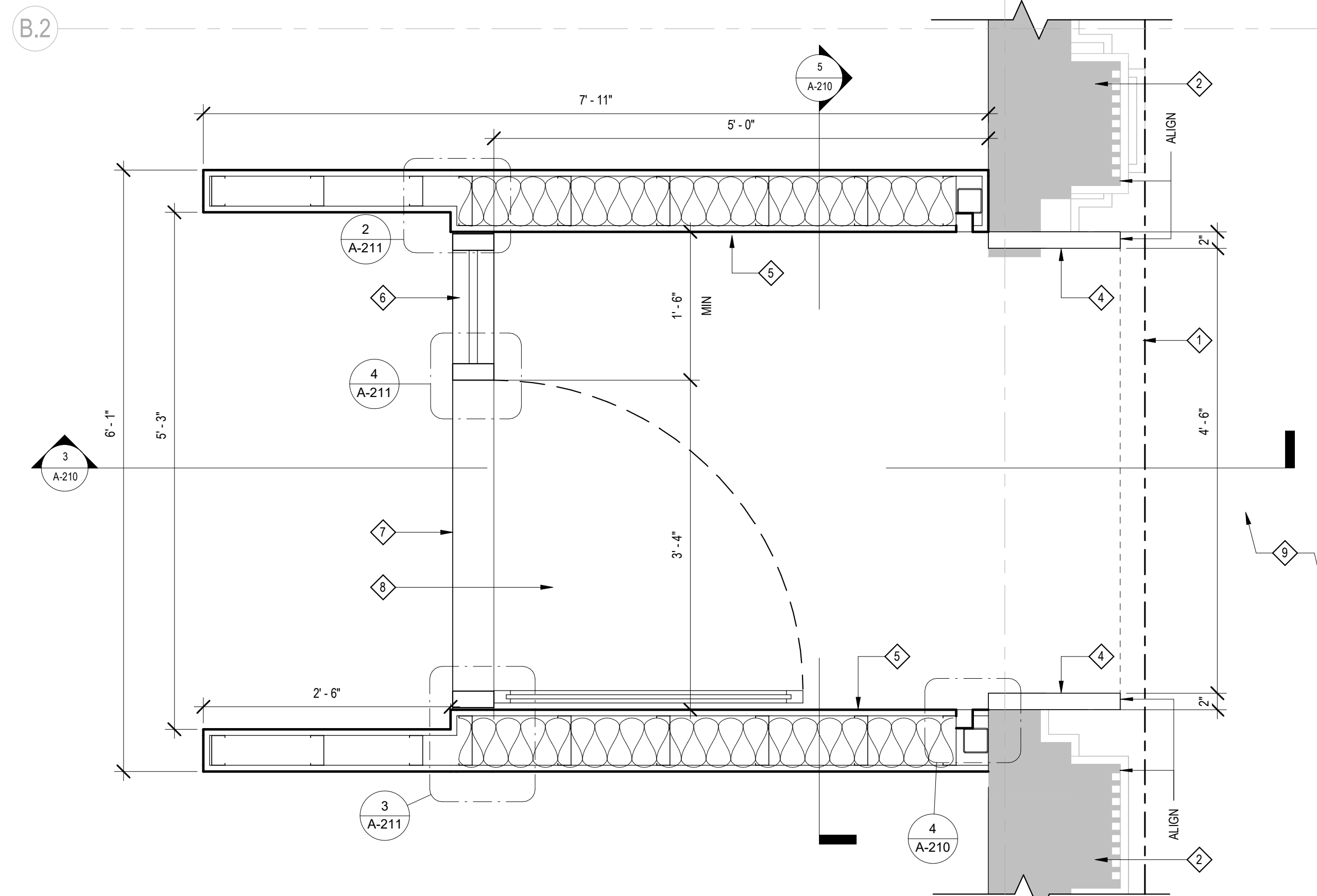
SECTION THROUGH PROPOSED ENTRANCE PORTAL



SCALE
3/4" = 1'-0"

3

ENLARGED PLAN - ENTRANCE PORTAL



SCALE
1" = 1'-0"

2

ENLARGED CEILING PLAN - ENTRANCE PORTAL

SCALE
1" = 1'-0"

2

- 1 PROPERTY LINE
- 2 (E) EXTERIOR WALL TO REMAIN
- 3 NEW ROLL-DOWN SECURITY GATE
- 4 NEW STAINLESS STEEL "PORTAL" FRAME, PROTRUDING TO ALIGN WITH FACE OF PILASTERS.
- 5 NEW WALL WITH STAINLESS STEEL PANEL
- 6 (N) GLASS DOOR AND SIDE WINDOW
- 7 (N) STAINLESS STEEL THRESHOLD
- 8 (N) PORCELAIN TILE
- 9 (E) SIDEWALK CONCRETE PAVEMENT

KEYNOTES



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Drawn By

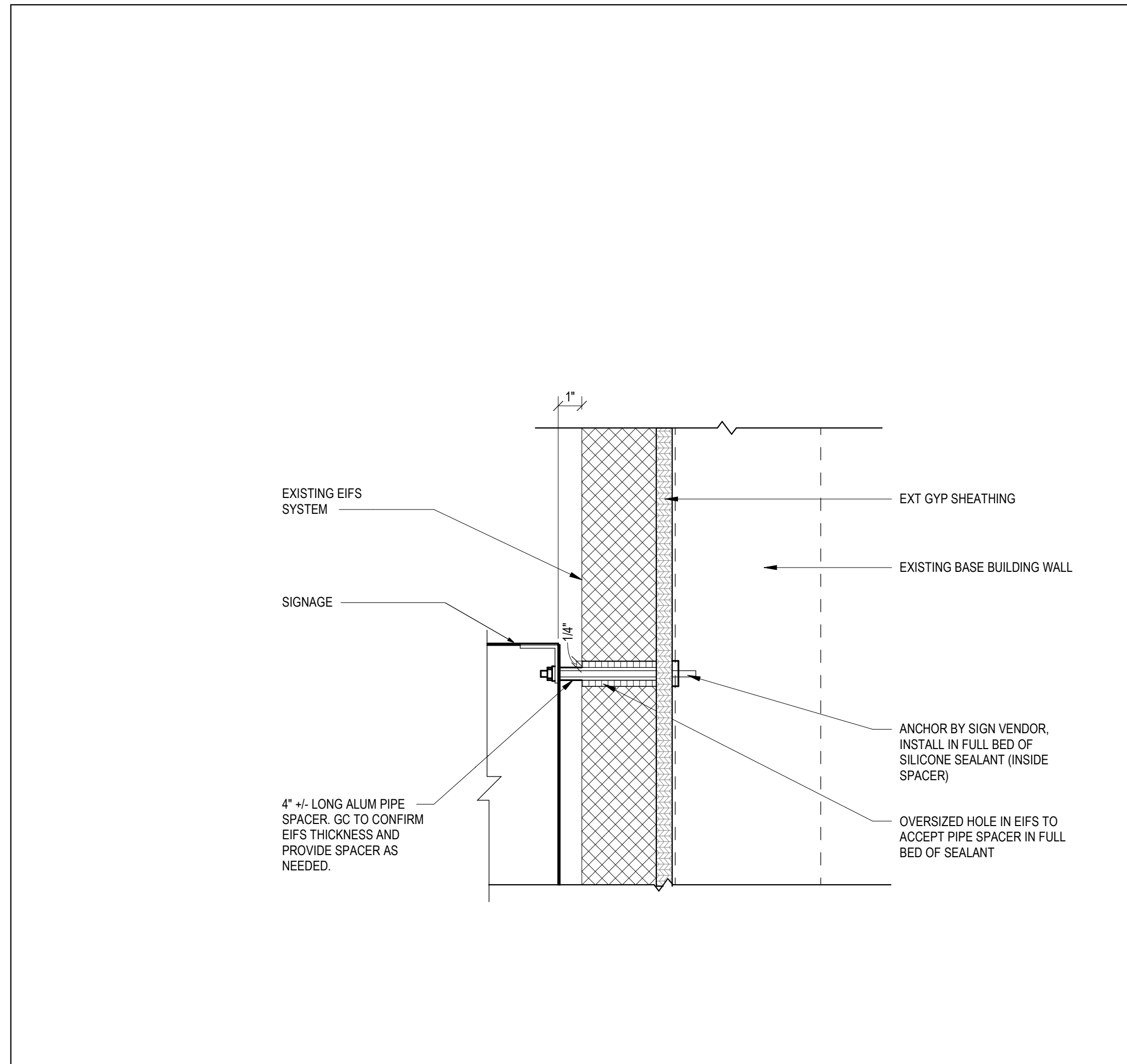
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Checked By

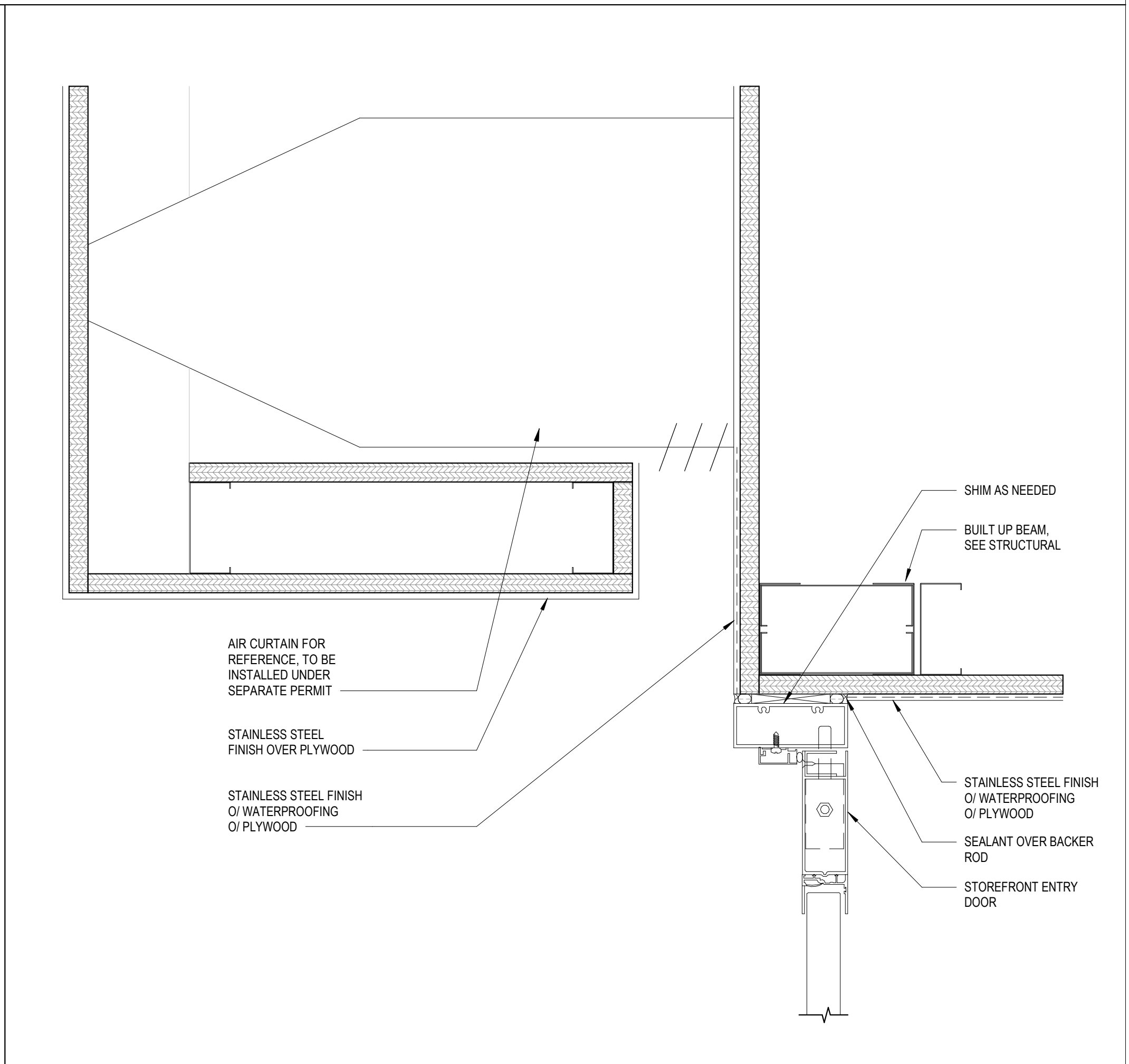
GK/MK

FACADE DETAILS

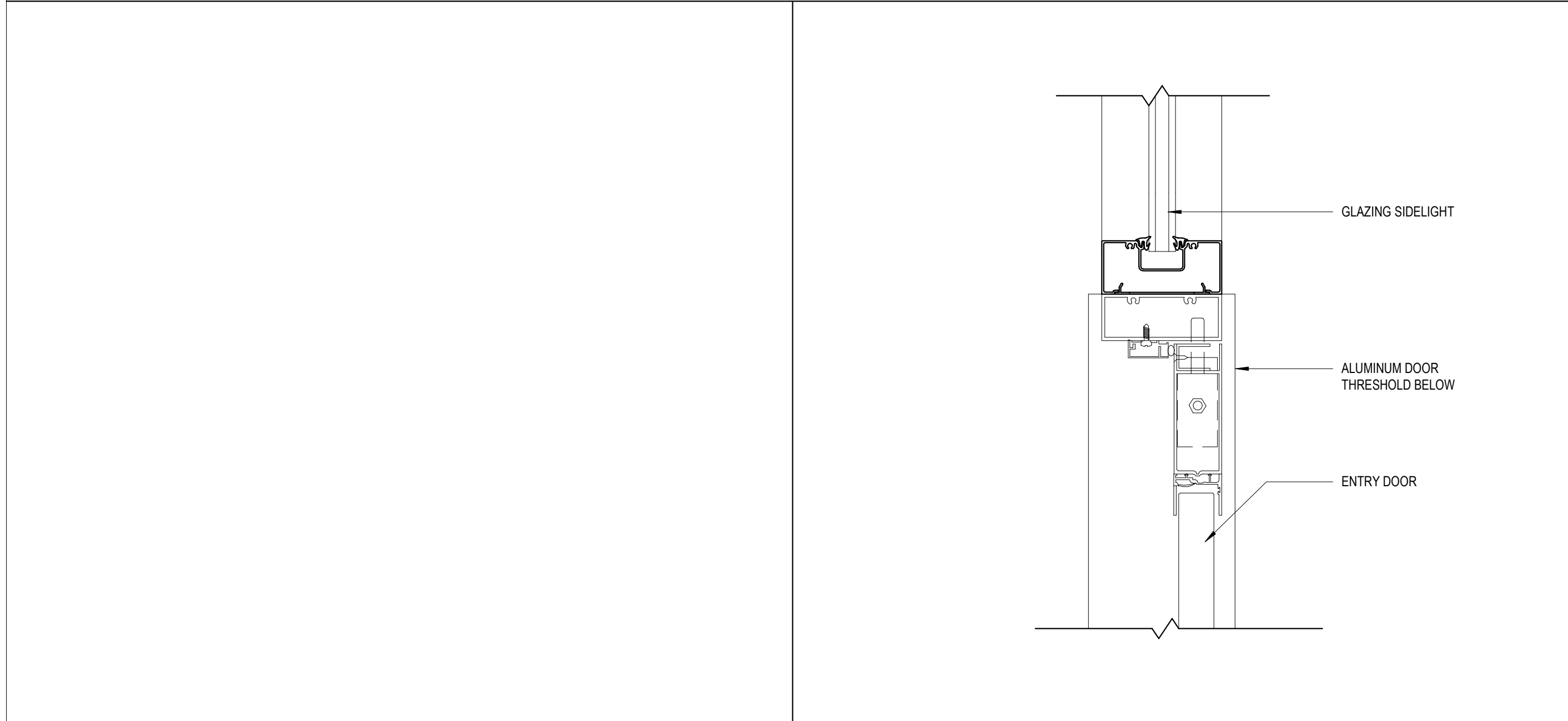
A-211



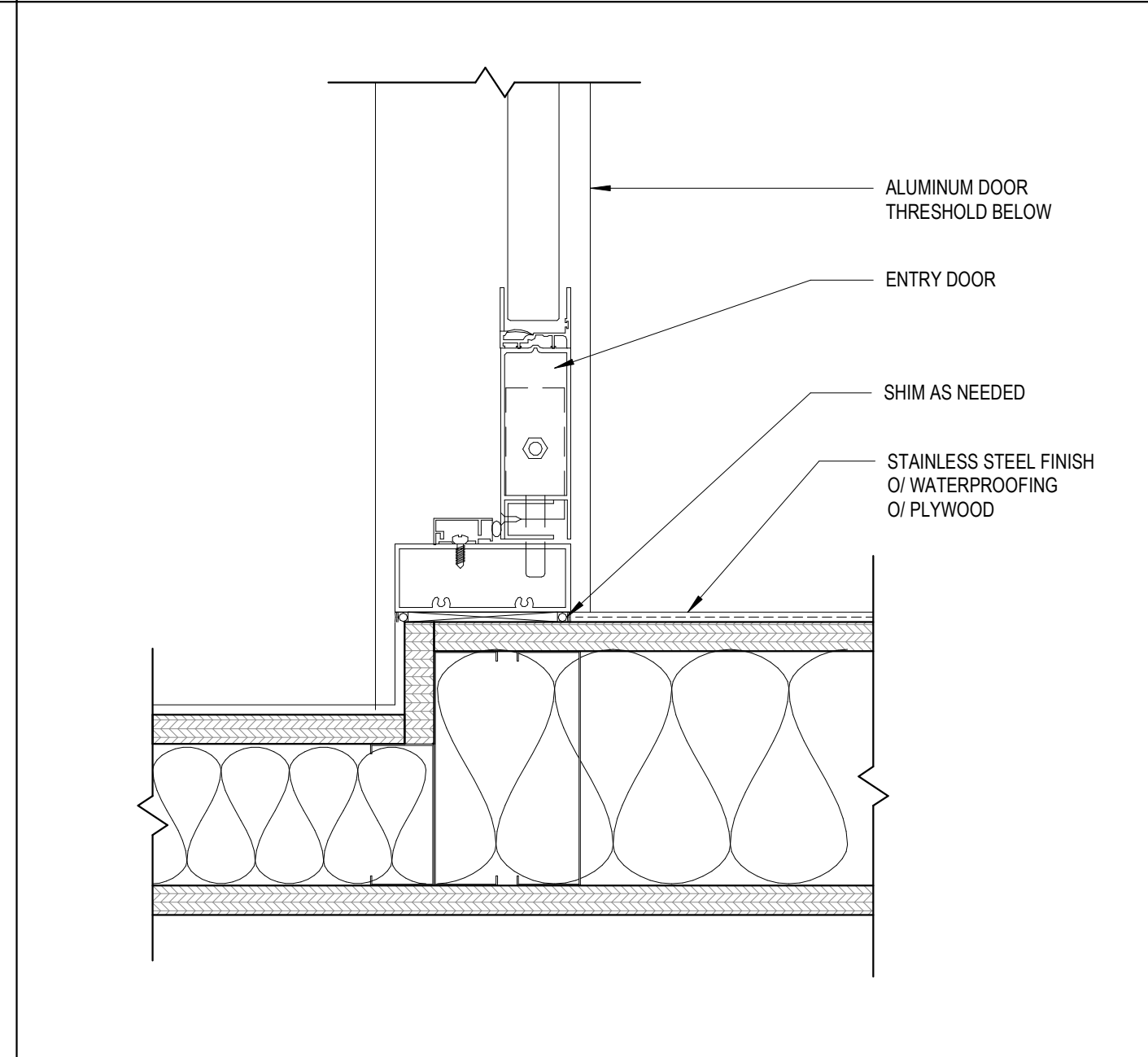
SIGN ANCHORAGE @ EIFS WALL SCALE: 3" = 1'-0"



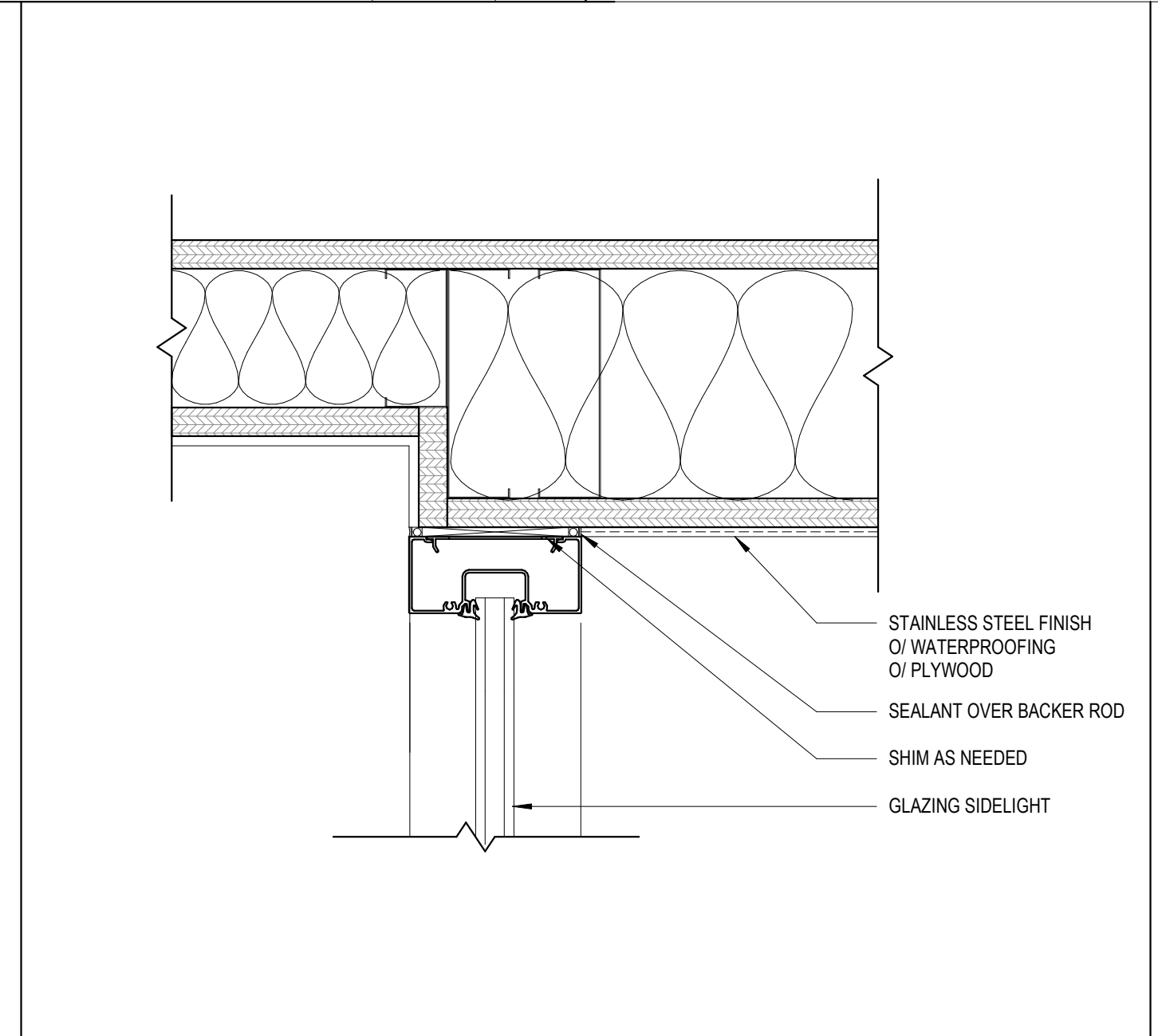
DETAIL AT DOOR HEADER SCALE: 3" = 1'-0"



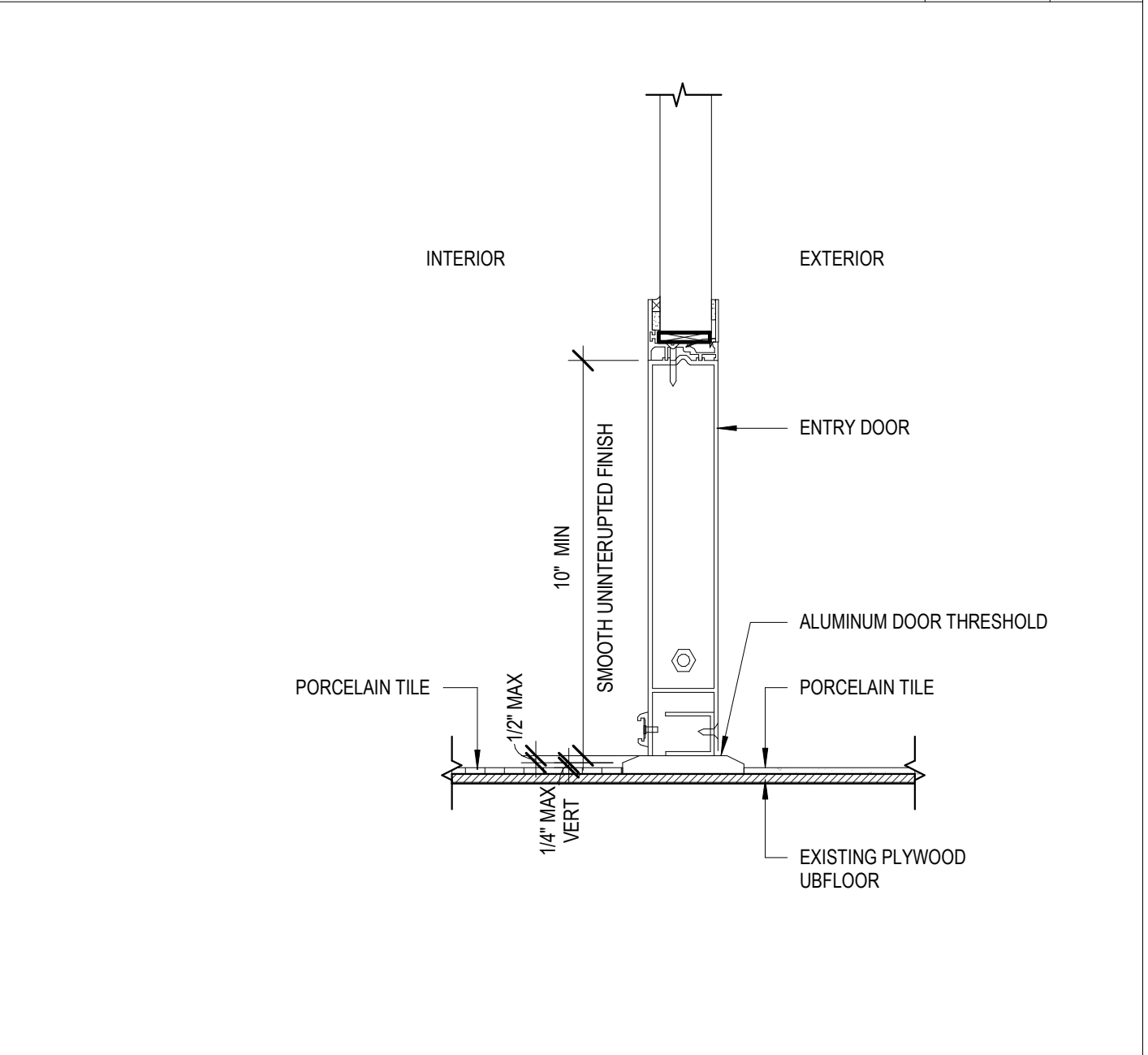
DOOR JAMB AT GLAZING SCALE: 3" = 1'-0"



DOOR JAMB AT WALL SCALE: 3" = 1'-0"



WINDOW JAMB AT WALL SCALE: 3" = 1'-0"



DETAIL AT DOOR SILL SCALE: 3" = 1'-0"

SPECIAL INSPECTIONS

REQUIRED VERIFICATION AND INSPECTION OF LIGHT GAUGE METAL FRAMING CONSTRUCTION

1. SPECIAL INSPECTIONS FOR LIGHT GAUGE METAL FRAMING CONSTRUCTION SHALL BE AS REQUIRED IN THE FOLLOWING TABLE.

VERIFICATION AND INSPECTION	CONTINUOUS PERIODIC	NOT APPLICABLE	REFERENCED STANDARD	IBC REFERENCE	PROJECT SPECIFICATION SECTION
1. SPECIAL INSPECTIONS OF THE FABRICATION PROCESS OF PREFABRICATED LIGHT GAUGE METAL STRUCTURAL ELEMENTS AND ASSEMBLIES.		X		1704.2	
2. SHEAR WALLS, FLOOR DIAPHRAGMS, AND ROOF DIAPHRAGMS:		X		1704.6.1	
a. THE SPECIAL INSPECTOR SHALL INSPECT THE WOOD OR GYPSUM PANEL SHEATHING TO ASCERTAIN WHETHER IT IS OF THE GRADE AND THICKNESS SHOWN ON THE APPROVED BUILDING PLANS.		X		1704.6.1	
b. THE SPECIAL INSPECTOR SHALL VERIFY THE NOMINAL SIZE OF FRAMING MEMBERS AT ADJOINING PANEL EDGES, THE SCREW DIAMETER AND LENGTH, THE NUMBER OF FASTENER LINES AND THAT SPACING BETWEEN FASTENERS IN EACH LINE AND AT EDGE MARKINGS AGREES WITH THE APPROVED BUILDING PLANS.		X		1704.6.1	
3. THE SPECIAL INSPECTOR SHALL VERIFY STUD, BEAM, AND POST SIZE, GAUGE AND ORIENTATION.		X			

STATEMENT OF SPECIAL INSPECTIONS PER IBC 1704

1. INFORMATION ON THIS SHEET IS BEING SUBMITTED IN ACCORDANCE WITH THE SPECIAL INSPECTIONS PROVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE. THIS INFORMATION CONSTITUTES THE SCHEDULE OF SPECIAL INSPECTIONS (SSI) REQUIRED FOR THIS PROJECT.
2. THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED HEREIN. THE GENERAL CONTRACTOR SHALL NOT EMPLOY THE SPECIAL INSPECTORS.
3. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.
4. THE SPECIAL INSPECTOR SHALL FULFILL THE FOLLOWING REPORT REQUIREMENTS:
- SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS.
 - THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE OWNER, THE GENERAL CONTRACTOR, THE STRUCTURAL ENGINEER, AND THE ARCHITECT. IN ADDITION, REPORTS RELATED TO GEOTECHNICAL ISSUES SHALL BE DISTRIBUTED TO THE GEOTECHNICAL ENGINEER. WHEN TESTS OR INSPECTIONS INDICATE THAT THE WORK DOES NOT COMPLY WITH THE CONSTRUCTION DOCUMENTS, THE SPECIAL INSPECTOR SHALL NOTIFY THE OWNER, CONTRACTOR, ARCHITECT AND STRUCTURAL ENGINEER BY PHONE ON THE DAY OF THE TEST OR INSPECTION AND SHALL FOLLOW THAT CALL WITH AN EXPEDITED WRITTEN REPORT WITHIN ONE BUSINESS DAY. ALL OTHER REPORTS SHALL BE SUBMITTED WITHIN 5 BUSINESS DAYS OF THE EVENT DOCUMENTED.
 - REPORTS SHALL INDICATE THAT WORK INSPECTED WAS DONE IN CONFORMANCE TO APPROVED CONSTRUCTION DOCUMENTS.
 - DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION.
 - IF THE DISCREPANCIES ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WITHIN ONE BUSINESS DAY.
 - A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED BY THE SPECIAL INSPECTOR AT A POINT IN TIME AGREED UPON BY THE PERMIT APPLICANT AND THE BUILDING OFFICIAL PRIOR TO THE START OF WORK.
 - THE SPECIAL INSPECTOR'S FINAL REPORT SHALL STATE THE FOLLOWING:
"IN MY PROFESSIONAL OPINION AND TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THE SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT, AS ITEMIZED IN THE STATEMENT OF SPECIAL INSPECTIONS SUBMITTED FOR PERMIT, HAVE BEEN PERFORMED AND ALL DISCOVERED DISCREPANCIES HAVE BEEN REPORTED AND RESOLVED."
5. THE INSPECTIONS LISTED HEREIN ARE IN ADDITION TO THE INSPECTIONS TO BE PERFORMED BY THE BUILDING OFFICIAL AND LISTED IN SECTION 100 OF THE IBC.
6. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION ON QUANTITY, FREQUENCY AND DETAILED INFORMATION ON TESTING, INSPECTION AND REPORTING.
7. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING TO DISCUSS THE SPECIAL INSPECTION REQUIREMENTS WITH ALL INVOLVED PARTIES.
8. THE SPECIAL INSPECTIONS PROGRAM OUTLINED HEREIN, DOES NOT RELIEVE THE CONTRACTOR OR ANY OTHER ENTITY OF ANY CONTRACTUAL DUTIES, INCLUDING QUALITY CONTROL, QUALITY ASSURANCE, OR SAFETY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND JOB SITE SAFETY.
9. THE CONTRACTOR SHALL PAY FOR ENGINEERING SERVICES REQUIRED TO INVESTIGATE AND CORRECT WORK THAT DOES NOT CONFORM TO THE PROJECT DOCUMENTS OR IS FOUND DEFICIENT OR DEFECTIVE.

CONTRACTOR'S ACKNOWLEDGEMENT OF RESPONSIBILITY FOR IMPLEMENTATION OF THE SPECIAL INSPECTIONS PLAN

1. AS PART OF THE SUBMITTAL FOR BUILDING PERMIT, THE GENERAL CONTRACTOR SHALL COMPLETE THE FOLLOWING FORM AS A WRITTEN STATEMENT OF RESPONSIBILITY.

- AS THE GENERAL CONTRACTOR, WE ARE AWARE OF THE REQUIREMENTS FOR SPECIAL INSPECTIONS LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS.
- AS GENERAL CONTRACTOR, WE ACKNOWLEDGE THAT CONTROL MUST BE EXERCISED BY OUR ORGANIZATION TO OBTAIN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE BUILDING OFFICIAL. WE ACKNOWLEDGE OUR RESPONSIBILITY TO DISTRIBUTE UP TO DATE DOCUMENTS, INCLUDING PLANS, SPECIFICATIONS, ADDENDA, CHANGE ORDERS, RESPONSES TO REQUESTS FOR INFORMATION, ARCHITECTURAL SUPPLEMENTAL INSTRUCTIONS, SHOP DRAWINGS, ETC., TO ALL SUBCONTRACTORS AND TO THE SPECIAL INSPECTORS. WE ACKNOWLEDGE OUR RESPONSIBILITY FOR CALLING THE APPROPRIATE SPECIAL INSPECTORS AT APPROPRIATE TIMES TO FULFILL THE REQUIREMENTS IN THE STATEMENT OF SPECIAL INSPECTIONS.
- AS GENERAL CONTRACTOR, WE HAVE DEVELOPED PLANS AND PROCEDURES FOR EXERCISING CONTROL WITHIN OUR ORGANIZATION, FOR THE METHOD AND FREQUENCY OF REPORTING AND FOR THE DISTRIBUTION OF THE REPORTS.
- THE FOLLOWING QUALIFIED INDIVIDUAL(S) WITHIN OUR FIRM WILL BE RESPONSIBLE FOR CONTROLLING THE PLAN, PROCEDURES AND PROCESS OF THE SPECIAL INSPECTIONS PLAN:

Name	Position within firm

2. THE GENERAL CONTRACTOR ACKNOWLEDGES OUR RESPONSIBILITIES AS STATED ABOVE.

Name	Position within firm	Date

IBC 1704.2 INSPECTION OF FABRICATORS PER IBC 1704

1. WHERE FABRICATION OF STRUCTURAL LOAD-BEARING MEMBERS AND ASSEMBLIES IS BEING PERFORMED ON THE PREMISES OF A FABRICATOR'S SHOP, SPECIAL INSPECTION OF THE FABRICATED ITEMS IS REQUIRED.
2. THE SPECIAL INSPECTOR SHALL VERIFY THAT THE FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVIDE A BASIS FOR INSPECTION, CONTROL OF THE WORKMANSHIP, AND THE FABRICATOR'S ABILITY TO CONFORM TO APPROVED CONSTRUCTION DOCUMENTS AND REFERENCED STANDARDS. THE SPECIAL INSPECTOR SHALL REVIEW THE PROCEDURES FOR COMPLETENESS AND ADEQUACY RELATIVE TO THE CODE REQUIREMENTS FOR THE FABRICATOR'S SCOPE OF WORK.
3. SPECIAL INSPECTIONS ARE NOT REQUIRED WHERE THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION. APPROVAL SHALL BE BASED UPON REVIEW OF THE FABRICATOR'S WRITTEN PROCEDURAL AND QUALITY CONTROL MANUALS AND PERIODIC AUDITING OF FABRICATION PRACTICES BY AN APPROVED SPECIAL INSPECTION AGENCY. AT COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL, ENGINEER, AND OWNER STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.

SHOP DRAWING REVIEW AND SUBMITTALS NOTES

1. REFER TO PROJECT SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS.
- SHOP DRAWINGS AND SUBMITTALS WILL BE REVIEWED FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS.
- SUBMITTAL REVIEW WILL NOT BE CONDUCTED FOR THE PURPOSE OF DETERMINING THE ACCURACY AND COMPLETENESS OF OTHER DETAILED INFORMATION SUCH AS DIMENSIONS AND QUANTITIES, OR FOR SUBSTANTIATING INSTRUCTIONS FOR INSTALLATION OR PERFORMANCE OF EQUIPMENT OR SYSTEMS DESIGNED BY THE CONTRACTOR. ALL OF THIS REMAINS THE RESPONSIBILITY OF THE CONTRACTOR.

REVIEW SHALL NOT CONSTITUTE APPROVAL OF SAFETY PRECAUTIONS OR OF ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES.

APPROVAL OF A SPECIFIC ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT.

2. SHOP DRAWINGS AND/OR PRODUCT DATA FOR THE FOLLOWING ITEMS ARE TO BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW. THE ENGINEER'S REVIEW WILL BE LIMITED TO CONFORMANCE WITH DESIGN AND PERFORMANCE CRITERIA SPECIFIED IN THE CONSTRUCTION DOCUMENTS AND THE INTERFACE BETWEEN THESE ITEMS/SYSTEMS AND THE BUILDING STRUCTURE. THIS REVIEW WILL CHECK THE COMPATIBILITY OF LOADS AND POSITIONS OF LOADS IMPARTED ONTO THE BUILDING STRUCTURE, AND COMPATIBILITY OF CONNECTIONS WITH THE BUILDING STRUCTURE. THE MANUFACTURER/SUPPLIER AND ITS SPECIALTY STRUCTURAL ENGINEER RESPONSIBLE FOR THE DESIGN OF THE ITEM/SYSTEM WILL RETAIN ALL RIGHTS AND RESPONSIBILITIES FOR THE DESIGN OF THE PRODUCT AND THE CONNECTIONS TO THE BUILDING STRUCTURE.

A COLD-FORMED METAL FRAMING

NO WORK ON STRUCTURAL ELEMENTS SUPPORTING OR RELATED TO THESE ITEMS IS TO PROCEED UNLESS THE REVIEW STAMP CLEARLY INDICATES "REVIEWED" OR "REVIEWED, SEE COMMENTS" BY THE STRUCTURAL ENGINEER.

3. CONCRETE IS A PRE-ENGINEERED MATERIAL DESIGNED BY THE SUPPLIER TO MEET THE STRENGTH AND PERFORMANCE CRITERIA SPECIFIED IN THE CONTRACT DOCUMENTS. CONCRETE MIX DESIGNS SHALL BE IN CONFORMANCE WITH ACI 318, CHAPTER 5, AND SHALL BE SUBMITTED TO THE INDEPENDENT TESTING LAB WITH APPROPRIATE HISTORICAL TEST DATA AND ANALYSIS FOR REVIEW AND APPROVAL. SUBMIT MIX DESIGNS AND THE TESTING LAB REVIEW TO THE ARCHITECT/ENGINEER FOR REVIEW.

MANY VARIABLES, INCLUDING MIX COMPONENTS AND ENVIRONMENTAL CONDITIONS AFFECT THE QUALITY OF CONCRETE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING VARIABLES AND REQUESTING MIX MODIFICATIONS AND SHALL BE SOLELY RESPONSIBLE FOR THE QUALITY OF CONCRETE DELIVERED AND PLACED ON THE SITE.

4. GENERAL CONTRACTOR SHALL PRE-CHECK ALL SHOP DRAWINGS BEFORE SUBMISSION TO THE ENGINEER FOR REVIEW. ALL SUBMITTAL MATERIALS MUST BEAR AN INITIALED REVIEW STAMP OF THE GENERAL CONTRACTOR. SUBMITTALS WITHOUT THE REVIEW STAMP OF THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW AND SHALL NOT BE CAUSE FOR CLAIMS OF DELAY.

5. GENERAL CONTRACTOR SHALL SCHEDULE SUBMITTALS SUFFICIENTLY IN ADVANCE OF THE DATE REQUIRED TO ALLOW REASONABLE TIME FOR DELIVERY, PROCESSING AND REVIEW BY THE DESIGN TEAM. THIS SHALL INCLUDE A MINIMUM OF TEN WORKING DAYS, EXCLUDING DELIVERY TIME, FOR ENGINEER'S PROCESSING AND REVIEW OF SHOP DRAWINGS. INCLUDE TIME FOR CONTRACTOR'S RESUBMISSION AND SUBSEQUENT REVIEW IF NECESSARY.

SHORTER REVIEW PERIODS WILL ONLY BE HONORED WITH PRIOR WRITTEN CONSENT FROM THE ENGINEER. THESE ACCELERATED SERVICES, AND APPROPRIATE COMPENSATION, MUST BE NEGOTIATED WITH THE ENGINEER AND ARCHITECT IN ADVANCE.

TEN DAY REVIEW PERIODS CAN NOT BE HONORED WHEN LARGE QUANTITIES OF SHOP DRAWINGS ARE SUBMITTED AT ONE TIME. WHEN THIS HAPPENS, THE CONTRACTOR SHALL SUBMIT AN ITEMIZED LIST INDICATING PRIORITIES AND REASONABLE RETURN DATES.

6. THE USE OF REPRODUCTIONS OF THESE CONTRACT DRAWINGS, INCLUDING THE USE OF ELECTRONIC FILES, BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF THE INDEPENDENT PREPARATION OF SHOP DRAWINGS, SIGNIFIES HIS ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT AND OBLIGATES HIMSELF TO ANY JOB EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREON. SUCH USE OF REPRODUCTIONS OF THESE CONTRACT DOCUMENTS WILL NOT BE ALLOWED WITHOUT PRIOR CONSENT FROM THE ENGINEER.

7. WHEN USING ELECTRONIC FORMAT FOR SUBMITTALS, THE CONTRACTOR SHALL PROVIDE ONE PRINTED HARD COPY FOR ENGINEER REVIEW OR EXECUTE AN AGREEMENT FOR REIMBURSING THE ENGINEER FOR PRINTING COSTS FOR ONE COPY.

COLD FORMED METAL FRAMING NOTES

- ALL STUDS AND/OR JOISTS AND ACCESSORIES SHALL BE OF THE TYPE, SIZE, GAUGE AND SPACING SHOWN ON THE DRAWINGS AND CONFORM WITH THE PROPERTIES OF LIGHT GAUGE MEMBERS AS INDICATED IN THE STEEL STUD MANUFACTURER'S ASSOCIATION - PRODUCT TECHNICAL INFORMATION (IC80-4943P).
- ALL STRUCTURAL MEMBERS SHALL BE DESIGNED IN ACCORDANCE WITH AMERICAN IRON AND STEEL INSTITUTE (AISI) "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS" LATEST EDITION.
- ALL FRAMING MEMBERS SHALL BE FORMED FROM CORROSION-RESISTANT STEEL (G90), CORRESPONDING TO THE REQUIREMENTS OF ASTM A653, WITH A MINIMUM YIELD STRENGTH OF 33 KSI FOR 33mil (20 GA) AND 43 mil (18 GA) STUDS, 50 KSI FOR 54 mil AND HEAVIER (16 GA, 14 GA, AND 12 GA) STUDS, AND 33 KSI FOR CR-STYLE RUNNERS.
- FASTENING OF COMPONENTS SHALL BE WITH SELF-DRILLING SCREWS OR WELDING. SCREWS SHALL BE OF SUFFICIENT SIZE TO INSURE THE STRENGTH OF THE CONNECTION. WIRE TYING OF COMPONENTS SHALL NOT BE PERMITTED. ALL WELDS SHALL BE TOUCHED UP WITH A ZINC-RICH PAINT. WIRE TYING OF COMPONENTS SHALL NOT BE PERMITTED.
- TEMPORARY BRACING SHALL BE PROVIDED UNTIL ERECTION IS COMPLETED.
- SPICES IN STUDS SHALL NOT BE PERMITTED.
- PROVIDE AND INSTALL BRIDGING AND OTHER ACCESSORIES REQUIRED FOR A COMPLETE ASSEMBLY IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. AT WALLS THAT DO NOT HAVE SHEATHING ON BOTH FACES, PROVIDE QUANTITY AND TYPE OF BRIDGING TO ADEQUATELY BRIDGE ALL STUDS PER THE MANUFACTURER'S RECOMMENDATIONS.

WOOD FRAMING NOTES

- WOOD SPECIES AND GRADES SHALL BE AS FOLLOWS:
 - HORIZONTAL FRAMING (JOISTS, RAFTERS, BEAMS): #2 SYP OR DFL OR BETTER.
 - STUDS: STUD GRADE SYP OR DFL OR BETTER.
 - TOP PLATES:
 - AT BOTTOM 2 LEVELS PROVIDE WEYERHAEUSER TIMBERSTRAND LSL OR BETTER.
 - ABOVE 2ND LEVEL PROVIDE #2 SYP OR DFL OR BETTER.
 - BOTTOM PLATES:
 - AT BOTTOM 2 LEVELS PROVIDE WEYERHAEUSER TIMBERSTRAND LSL OR BETTER.
 - ABOVE 2ND LEVEL PROVIDE #3 SYP OR DFL OR BETTER.
 - IN CONTACT WITH CONCRETE: PRESSURE TREATED (PT) LSL, WEYERHAEUSER STRANDGUARD TIMBERSTRAND LSL OR EQUIVALENT.
- ALL WOOD SHALL HAVE A MOISTURE CONTENT OF 19% MAXIMUM. SILL PLATES AND ANY OTHER MEMBER BEARING ON CONCRETE SHALL BE PRESSURE TREATED WITH DOT SODIUM BORATE (SBX). THE CONTRACTOR SHALL TAKE SPECIAL CARE TO ENSURE THAT PRESSURE TREATED WOOD IS COVERED DURING TRANSPORT AND STORAGE AT THE JOB SITE.
- PROVIDE BLOCKING OR A BAND BOARD AT ALL JOIST AND RAFTER BEARING LOCATIONS AND IN THE CENTER OF ALL SPANS OVER 8'-0". MAXIMUM DISTANCE BETWEEN BRIDGING AND BEARING SHALL BE 8'-0".
- UNLESS OTHERWISE DETAILED, FLOOR AND ROOF JOIST FLUSH TYPE CONNECTIONS SHALL USE TYPE LU JOIST HANGERS AS MANUFACTURED BY THE SIMPSON COMPANY OR EQUIVALENT. THE TYPE HANGER USED SHALL BE AS RECOMMENDED BY THE MANUFACTURER FOR THE SIZE JOIST SUPPORTED.
- PROVIDE ALL BLOCKING AND FIRE STOPS REQUIRED BY THE BUILDING OFFICIAL, TRUSS MANUFACTURER, AND/OR ARCHITECT OF RECORD.
- PROVIDE FRAMING AND BLOCKING TO SUPPORT ALL EDGES OF OPENINGS IN THE PLYWOOD ROOF DECK.
- UNLESS OTHERWISE NOTED, ALL TIMBER CONNECTIONS SHALL BE NAILED IN CONFORMANCE WITH THE INTERNATIONAL BUILDING CODE, TABLE 2304.10.1 OF THE 2015 IBC.
- UNO ON PLAN FOR BEAMS AND GIRDERS PERPENDICULAR TO WALLS, PROVIDE ONE STUD FOR EACH 1 1/2" OF BEAM WIDTH.
- ALL MEMBERS EXPOSED TO DIRECT SUNLIGHT AND/OR RAIN SHALL BE PRESSURE TREATED ACCORDING TO A.N.P.A. STANDARDS, AND A.I.T.C. STANDARD 109.
- EXTERIOR MEMBERS NOT EXPOSED TO DIRECT SUNLIGHT OR RAIN, AND NOT PRESSURED TREATED SHALL BE PROTECTED WITH A WATER REPELLENT PAINT OR SEALER THAT IS COMPATIBLE WITH ARCHITECTS SPECIFIED APPEARANCE. SUBMIT PROPOSED PAINT AND/OR SEALANT TO ARCHITECT FOR REVIEW AND APPROVAL. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL PROVIDE OWNER WITH PAINT AND/OR SEALANT MANUFACTURERS RECOMMENDATION FOR PERIODIC MAINTENANCE AND RECOMMENDED SCHEDULE FOR REAPPLICATION.
- NO CORING OR NOTCHING OF BEAMS, HEADERS, OR COLUMNS IS ALLOWED.
- NO MORE THAN TWO CONSECUTIVE STUDS SHALL BE HORIZONTALLY CORED/NOTCHED MORE THAN 2" FOR PLUMBING/ELECTRICAL/ETC. WHERE 50% OR MORE OF A STUD IS CORED/NOTCHED PROVIDE AN ADDITIONAL "MAKE UP" STUD AS CLOSE TO THE DAMAGED STUD AS IS PRACTICAL.
- WOOD SHRINKAGE IS ESTIMATED TO BE:

LEVEL	SHRINKAGE (IN)
ROOF	XXX
5TH	XXX
4TH	XXX
3RD	XXX
2ND	XXX

GENERAL NOTES

DESIGN DATA

- THE DESIGN OF THE STRUCTURE AND PARTS THEREOF IS IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE, AS AMENDED AND ADOPTED BY THE CITY OF PHILADELPHIA, PENNSYLVANIA.
- FLOOR LIVE LOAD:

AREA	UNIFORM	CONCENTRATED	IMPACT	LIVE LOAD REDUCTION
RETAIL	100 psf			

3. SNOW LOADS:

SNOW IMPORTANCE FACTOR, I_s	1.0
GROUND SNOW LOAD, P_g	25 psf
FLAT ROOF SNOW LOAD, P_f	20 psf
SNOW EXPOSURE FACTOR, C_e	1.0
THERMAL FACTOR, C_t	1.0

4. WIND DESIGN DATA:

WIND IMPORTANCE FACTOR, I_w	1.0
BASIC WIND SPEED (3 SECOND GUST)	112 mph
WIND EXPOSURE	B
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
COMPONENTS AND CLADDING	PER ASCE 7

5. SEISMIC DESIGN DATA:

SEISMIC IMPORTANCE FACTOR, I_e	1.0	
MAPPED SPECTRAL RESPONSE ACCEL.	$S_s=0.18$	$S_1=0.047$
SITE CLASS	D [DEFAULT]	
SPECTRAL RESPONSE COEFFICIENTS	$S_{DS}=0.192$	$S_{D1}=0.075$
SEISMIC DESIGN CATEGORY	B	

GENERAL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR CONSTRUCTION TESTING AND INSPECTION AS OUTLINED IN THE STATEMENT OF SPECIAL INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL VERIFY THE SIZE, WEIGHT, LOCATION, AND SUPPORT CONDITIONS OF ALL MECHANICAL EQUIPMENT SUPPORTED ON OR SUSPENDED FROM THE ROOF OR SUBTENDED FLOORS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- PRINCIPAL OPENINGS ARE SHOWN ON THESE DRAWINGS. SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR SLEEVES, CURBS, INSERTS AND OTHER OPENINGS NOT SHOWN. IF OPENINGS MUST PENETRATE A STRUCTURAL ELEMENT, THE GENERAL CONTRACTOR SHALL VERIFY THE ADEQUACY OF SUCH MEMBERS PRIOR TO CONSTRUCTION.
- SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS NOT SHOWN AND FOR EXACT LOCATIONS OF ALL SLAB DEPRESSIONS AND CURBS.
- THE CONTRACTOR SHALL COMPARE STRUCTURAL DIMENSIONS AND SECTIONS WITH ARCHITECTURAL DIMENSIONS AND SECTIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT PRIOR TO FABRICATION OR INSTALLATION OF STRUCTURAL MEMBERS.
- THE PROJECT SPECIFICATIONS SHALL BE CONSIDERED AN INTEGRAL PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL REVIEW THE SPECIFICATIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ALL TEMPORARY SHORING AND BRACING OF WALLS AND GRADE BEAMS DURING CONSTRUCTION, PRIOR TO THE COMPLETION OF ALL BRACING ELEMENTS, IS THE RESPONSIBILITY OF THE CONTRACTOR. SHORE ALL WALLS AND GRADE BEAMS DURING THE BRACKLING AND CONSTRUCTION PROCESS.
- THE GENERAL CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH THE CONSTRUCTION OF ADJACENT STRUCTURES. NOTIFY THE ARCHITECT OF ANY CONFLICTING REQUIREMENTS PRIOR TO CONSTRUCTION.
- SELECTION OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND/OR PROCEDURES, AS WELL AS SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES. AS SUCH, ANY REQUIRED CONSTRUCTION ENGINEERING AND/OR DESIGN RESULTING FROM THESE SELECTIONS IS THE RESPONSIBILITY OF THE CONTRACTOR.

- EXAMPLES OF THIS WORK INCLUDE, BUT ARE NOT LIMITED TO, ENGINEERING OF SHORING AND SCAFFOLDING SYSTEMS, LOAD CHECKS AND STRUCTURAL MODIFICATIONS FOR STORAGE, STAGING, AND CONSTRUCTION EQUIPMENT LOADING; MEANS OF EGRESS FOR HEAVY EQUIPMENT; CRANE SELECTION, LOCATION, SUPPORT AND BRACING; TEMPORARY HOISTS, LIFTS AND PLATFORMS, ETC.
- THE CONTRACTOR SHALL ENSURE THAT APPROPRIATE ENGINEERING IS PERFORMED AND AS NECESSARY, SHALL ENGAGE OR CAUSE TO BE ENGAGED BY APPROPRIATE SUB CONTRACTORS, A LICENSED PROFESSIONAL ENGINEER TO PERFORM THE ENGINEERING, CONSULT ON FIELD MODIFICATIONS, SPECIFY APPROPRIATE LEVELS OF INSPECTION OF THE WORK, AND TO REVIEW INSPECTION REPORTS.
- CONSTRUCTION ENGINEERING FEES HAVE NOT BEEN INCLUDED IN THE BASE FEE TO THE OWNER/ARCHITECT. IF REQUESTED, THE EOR MAY CONSIDER PERFORMING CONSTRUCTION ENGINEERING SERVICES AS AN ADDITIONAL SERVICE PAID BY THE CONTRACTOR.

- DIMENSIONS TO EXISTING OR ADJACENT CONSTRUCTION ARE BASED ON THE ORIGINAL CONSTRUCTION DOCUMENTS AND/OR APPROXIMATE FIELD MEASUREMENTS. THEY ARE TO BE USED FOR BID PURPOSES ONLY AND NOT FOR SHOP DRAWING PREPARATION OR CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL FIELD MEASUREMENTS REQUIRED FOR PROPER FIT UP OF MEMBERS FRAMING TO AND AROUND EXISTING CONSTRUCTION.

QUALITY CONTROL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR CONSTRUCTION TESTING AND INSPECTION AS OUTLINED IN THE STATEMENT OF SPECIAL INSPECTIONS THAT CAN BE FOUND FOLLOWING THE GENERAL NOTES PORTION OF THE STRUCTURAL CONSTRUCTION DOCUMENTS.
- THE OWNER SHALL EMPLOY AN INDEPENDENT TESTING LAB WITH ONE OR MORE SPECIAL INSPECTORS TO PROVIDE SPECIAL INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS.
- REFER TO PROJECTS SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING QUANTITY OR FREQUENCY OF TESTS AND INSPECTIONS, REPORTING PROCEDURES, AND OTHER RESPONSIBILITIES.
- PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL PROVIDE THE TESTING LABORATORY A COMPLETE SET OF CONSTRUCTION DOCUMENTS, AND SHALL CONDUCT A PRE-CONSTRUCTION MEETING REGARDING TESTING AND INSPECTION REQUIREMENTS.
- THE CONTRACTOR SHALL PAY FOR ENGINEERING AND ARCHITECTURAL SERVICES REQUIRED TO INVESTIGATE AND CORRECT WORK THAT DOES NOT CONFORM TO THE PROJECT DOCUMENTS OR IS FOUND DEFICIENT OR DEFECTIVE.

MODIFICATIONS OF EXISTING STRUCTURE NOTES

- THE CONTRACTOR SHALL INSPECT THE EXISTING STRUCTURE PRIOR TO FABRICATION AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS OR ANY AREAS ERODED BY RUST, CORROSION, ROT, ETC., WHICH MAY ADVERSELY AFFECT THE RELIABILITY OF NEW CONSTRUCTION.
- DIMENSIONS SHOWN FOR, OR TO, THE EXISTING STRUCTURE ARE BASED ON EITHER THE ORIGINAL CONSTRUCTION DOCUMENTS PREPARED FOR THE EXISTING STRUCTURE OR ON APPROXIMATE FIELD MEASUREMENTS. THEY ARE TO BE USED FOR BID PURPOSES ONLY AND NOT FOR SHOP DRAWING PREPARATION OR CONSTRUCTION. ACTUAL CONDITIONS MAY VARY. THE CONTRACTOR SHALL PROVIDE ALL FIELD MEASUREMENTS REQUIRED FOR PROPER FIT UP OF MEMBERS FRAMING TO AND AROUND EXISTING CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE ADEQUACY OF ALL SHORING (TEMPORARY SUPPORTS) OF THE EXISTING STRUCTURE NECESSARY TO COMPLETE THE CONSTRUCTION AS OUTLINED IN THE STRUCTURAL DRAWINGS. PROVIDE SHORING, BRACES, JACKS, ETC. AS REQUIRED TO COMPLETE THE WORK. ENGINEERING AND DESIGN OF THE TEMPORARY SUPPORTS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, ENGAGED BY THE CONTRACTOR, AND REGISTERED IN THE STATE OF THE PROJECT, WITH EXPERIENCE IN THE DESIGN OF THESE ELEMENTS.

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ONE BOWERMAN DRIVE
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960 Atlantic Ave
Alameda, CA 94501
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Fax 510 865 1611

MBH PROJECT: 66407

REV NO	DESCRIPTION	DATE
1	EXTERIOR PERMIT SET	1/5/2024
2		
3		
4		
5		
6		



01/5/2024

1617 WALNUT STREET

1617 WALNUT STREET
PHILADELPHIA, PA 19103

Project Number
Drawn By Author
Checked By Checker

GENERAL NOTES AND
SPECIAL INSPECTIONS

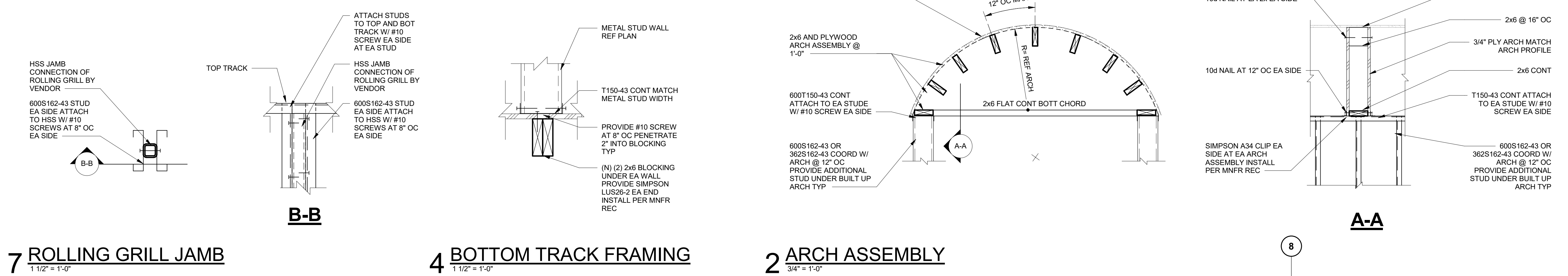
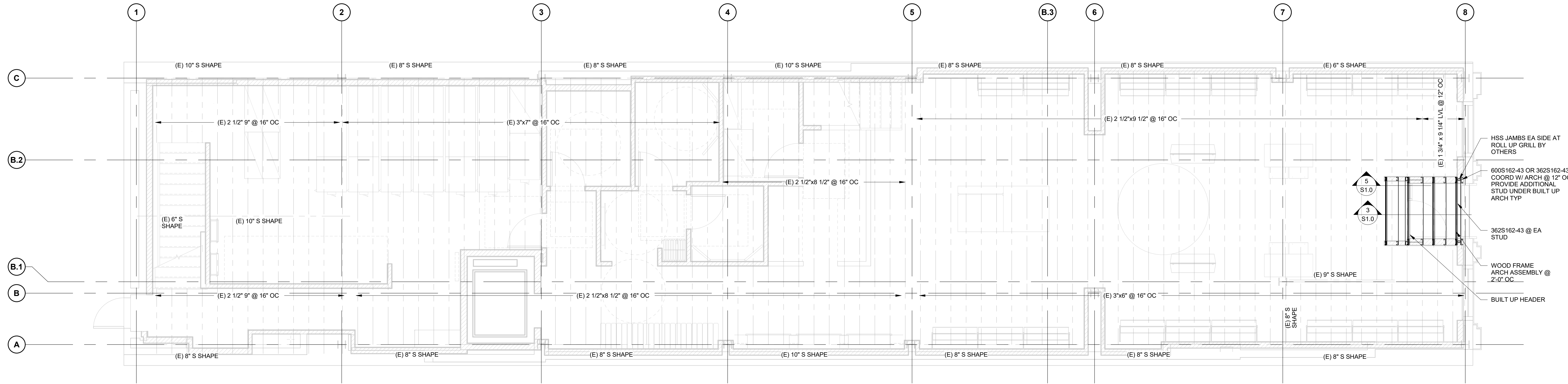
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MBH PROJECT: 56407

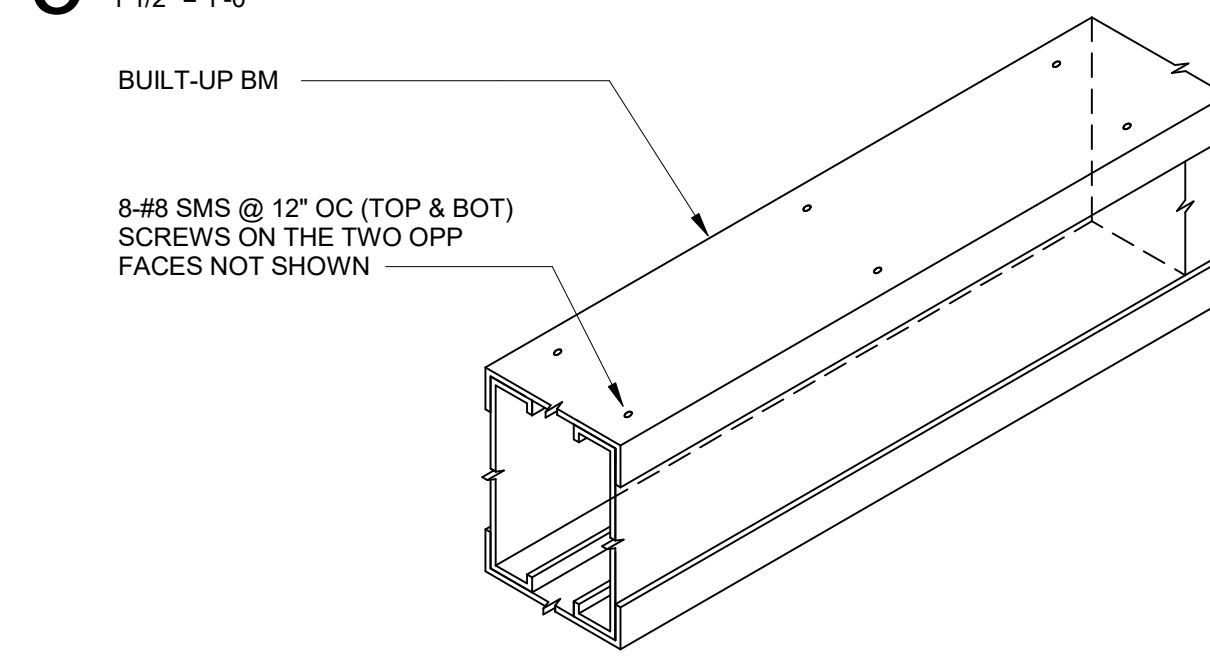


7 ROLLING GRILL JAMB
1 1/2" = 1'-0"

4 BOTTOM TRACK FRAMING
1 1/2" = 1'-0"

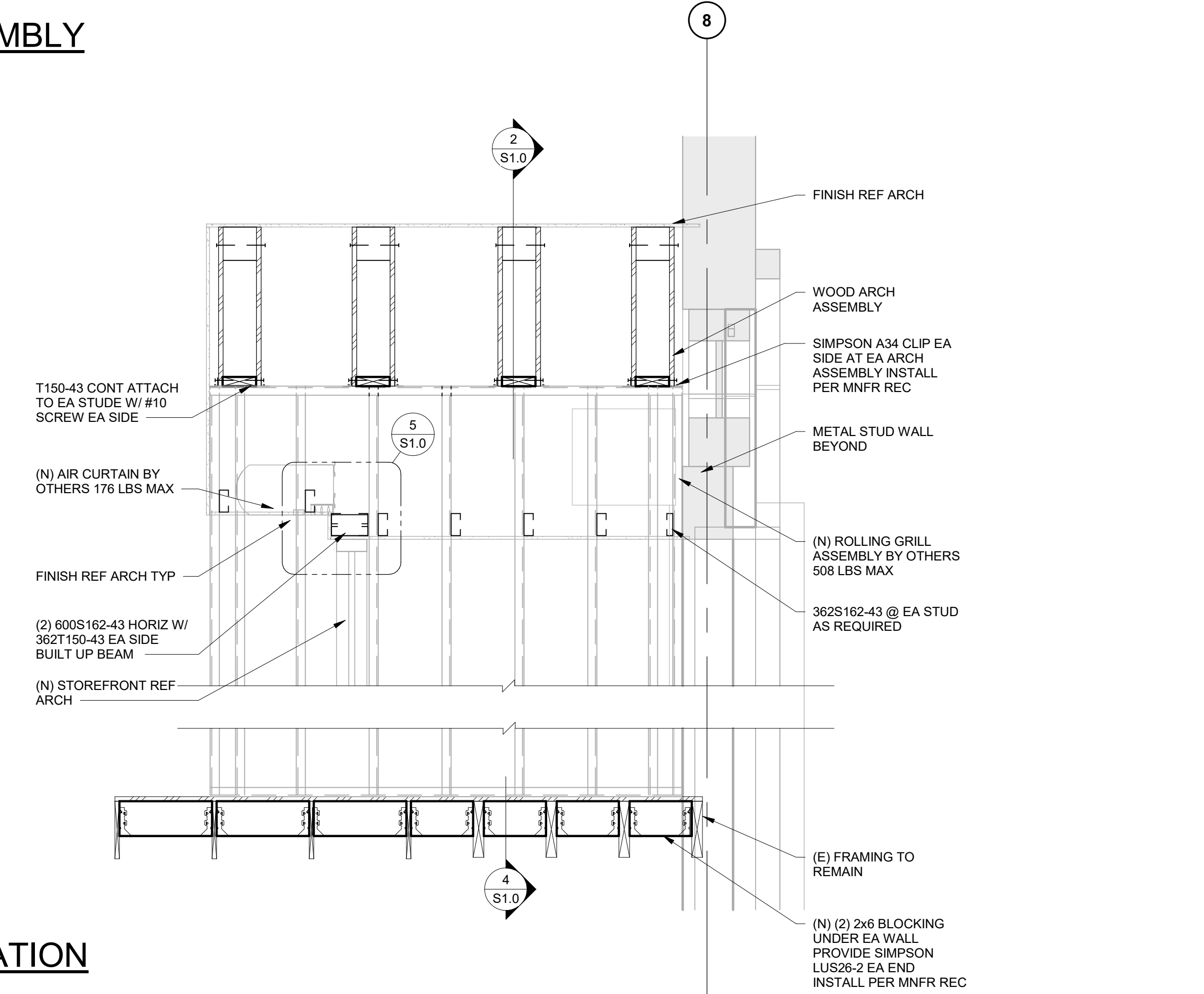
2 ARCH ASSEMBLY
3/4" = 1'-0"

5 BUILT UP BEAM SUPPORT
1 1/2" = 1'-0"



6 BUILT-UP BEAM

3 WALL ELEVATION
3/4" = 1'-0"



REV NO	DESCRIPTION	DATE
1	EXTERIOR PERMIT SET	1/5/2024



01/5/2024

1617 WALNUT STREET
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PHILADELPHIA, PA 19103

Project Number
Drawn By
Checked By

Author
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STRUCTURAL PLANS

S1.0

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