

*Ez Signs, LLC*  
*1839 Bustleton Pike*  
*Feasterville, PA 19053*  
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*service@signsinstall.com*

**EZ SIGNS INC**  
**1 (866) FIX-LIGHT**

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January 21, 2024

Re: Sunglass Hut Sign Install 1705 Chestnut St

The scope of work includes:

Install one (1) 2'-4"H x 13'-5"W (31.3sf) accessory storefront flush mounted  
statically internally illuminated channel letters sign.

If you have any questions, please feel free to contact me anytime!

***Natalya Atroshyna***  
***EZ SIGNS LLC***  
***1839 Bustleton Pike***  
***Feasterville, PA 19053***  
***p. 267-406-0273***  
***e. [permits@signsinstall.com](mailto:permits@signsinstall.com)***

Project Address:  
Sunglass Hut  
Philadelphia, PA

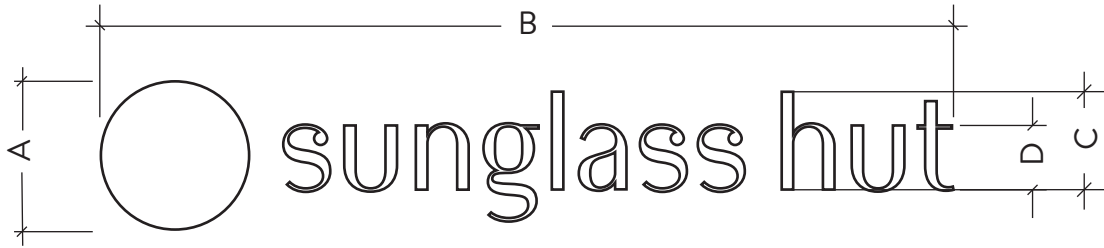
SPI WO #: 71495  
Issue Date: 8/4/23

Salesperson: Lori Madigan  
Designer: BSA

DRAWINGS ARE NOT TO SCALE  
UNLESS OTHERWISE NOTED

Notes:  
BSA - 1/10/2024 - Rv. 1  
BSA - 1/18/2024 - Rv. 2

Revisions:

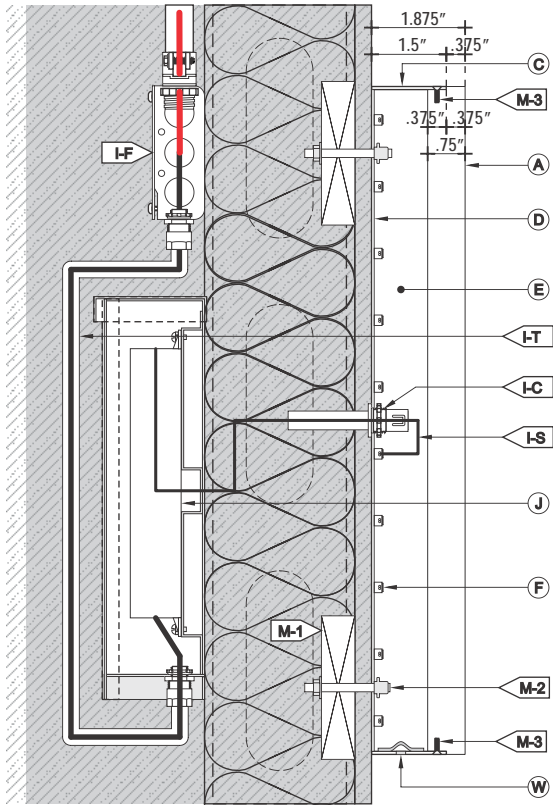


3 Reference Elevation **SGH-6.0-FL-EL-WB**  
Scale: NTS

| SIGN CODE                             | HEIGHT A | LENGTH B   | CAP HEIGHT C | X HEIGHT D |
|---------------------------------------|----------|------------|--------------|------------|
| * SGH-6.0-FL-EL-WB-16                 | 1'-4"    | 7'-8"      | 10 1/2"      | 7"         |
| SGH-6.0-FL-EL-WB-18                   | 1'-6"    | 8'-7 1/2"  | 11 7/8"      | 8"         |
| SGH-6.0-FL-EL-WB-20                   | 1'-8"    | 9'-7"      | 1'-1 1/4"    | 9"         |
| SGH-6.0-FL-EL-WB-24                   | 2'-0"    | 11'-6"     | 1'-3 7/8"    | 10 3/4"    |
| SGH-6.0-FL-EL-WB-28                   | 2'-4"    | 13'-5"     | 1'-6 1/2"    | 1'-0 1/2"  |
| SGH-6.0-FL-EL-WB-32                   | 2'-8"    | 15'-4 1/8" | 1'-9 1/8"    | 1'-2 1/4"  |
| SGH-6.0-FL-EL-WB-36                   | 3'-0"    | 17'-3 1/8" | 1'-11 3/4"   | 1'-4 1/8"  |
| * SGH-6.0-FL-EL-WB-16 - Minimum size. |          |            |              |            |

The purpose of the size charts shown on this page is to provide guideline information in selecting the size that meets the needs of each individual condition. The chart is not a restriction for the only sizes available, but a quick reference to evaluate which sign size best satisfies constraints from the survey data.

**NOTE:** Fabricator is responsible for the proper installation of the specified LEDs. LEDs must be installed in a manner to allow for even illumination. Hot spots, shadows, dim areas or uneven illumination will not be tolerated. Fabricator is responsible for field verification, confirmation, and engineering of all attachment methods, conditions, and necessary blocking for proper installation.



4 Section View Detail  
Scale: NTS

|                        |   |
|------------------------|---|
| <b>A</b> FACE          |   |
| MATERIAL:              | .75" THK. #2447 WHITE ACRYLIC W/ .375" EXPOSED AND .375" INSET INTO LETTER CAN.                 |
| <b>C</b> RETURN        |   |
| DEPTH:                 | 1.5" (1.875" OVERALL W/ INSET LETTER FACE).   |
| MATERIAL:              | .063 ALUMINUM.  |
| COLOR/ FINISH:         | BLACK - RAL 9005  |
| <b>D</b> BACK          |   |
| MATERIAL:              | .063 ALUMINUM.  |
| <b>E</b> INSIDE OF CAN |   |
| FINISH:                | FINISHED WHITE.   |
| <b>F</b> ILLUMINATION  |   |
| TYPE:                  | 3000K   |
| COLOR:                 | WHITE.  |
| <b>I</b> WIRING        |   |
| I-F:                   | SEE ELEC. NOTE. 120V PRIMARY IN J-BOX BY OTHERS.  |
| I-T:                   | 14awg FEED IN 1/2" SEAL-TITE w/ CONNECTORS.   |
| I-S:                   | U/L APPROVED CLASS II LOW VOLTAGE WIRING.   |
| I-C:                   | 7/8"Ø HOLE @ LEXAN w/ 1/2"Ø PAIGE WALL BUSTER CONNECTOR & CONDUIT.                              |
| <b>J</b> POWER SUPPLY  |   |
| TYPE:                  | REMOTE LED POWER SUPPLY & DISCONNECT SWITCH IN FRONT ACCESS WEATHER-PROOF LED POWER SUPPLY BOX. |
| VOLTAGE:               | 120V.   |
| <b>M</b> MOUNTING      |   |
| M-1:                   | SEE MOUNTING NOTE. REQ'D. BLOCKING BY OTHERS.   |
| M-2:                   | 10-24 ALL-THREAD, NUT & WASHER INTO BLOCKING.   |
| M-3:                   | FLUSH FITTING COUNTER-SUNK SCREW @ TOP & BOTTOM.  |
| <b>W</b> WEEP HOLES    |   |
| TYPE:                  | 1/4"Ø w/ COVERS.  |

Note: W eep holes only necessary for signage on exterior-facing locations.

Preferred sign type for both interior and exterior locations with dark colored facades.

Customer Approval: ☐ APPROVED ☐ APPROVED AS NOTED ☐ REVISE & RESUBMIT

PRINT

SIGN

DATE

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**SIGN PRO**  
signpro-usa.com

60 Westfield Drive  
Plantsville, CT 06479  
860.229.1812



SIGN TYPE  
**FL-EL-WB-28**  
Face-Lit/Edge-Lit Letters  
Page  
2 of 4



Project Address:  
Sunglass Hut  
Philadelphia, PA

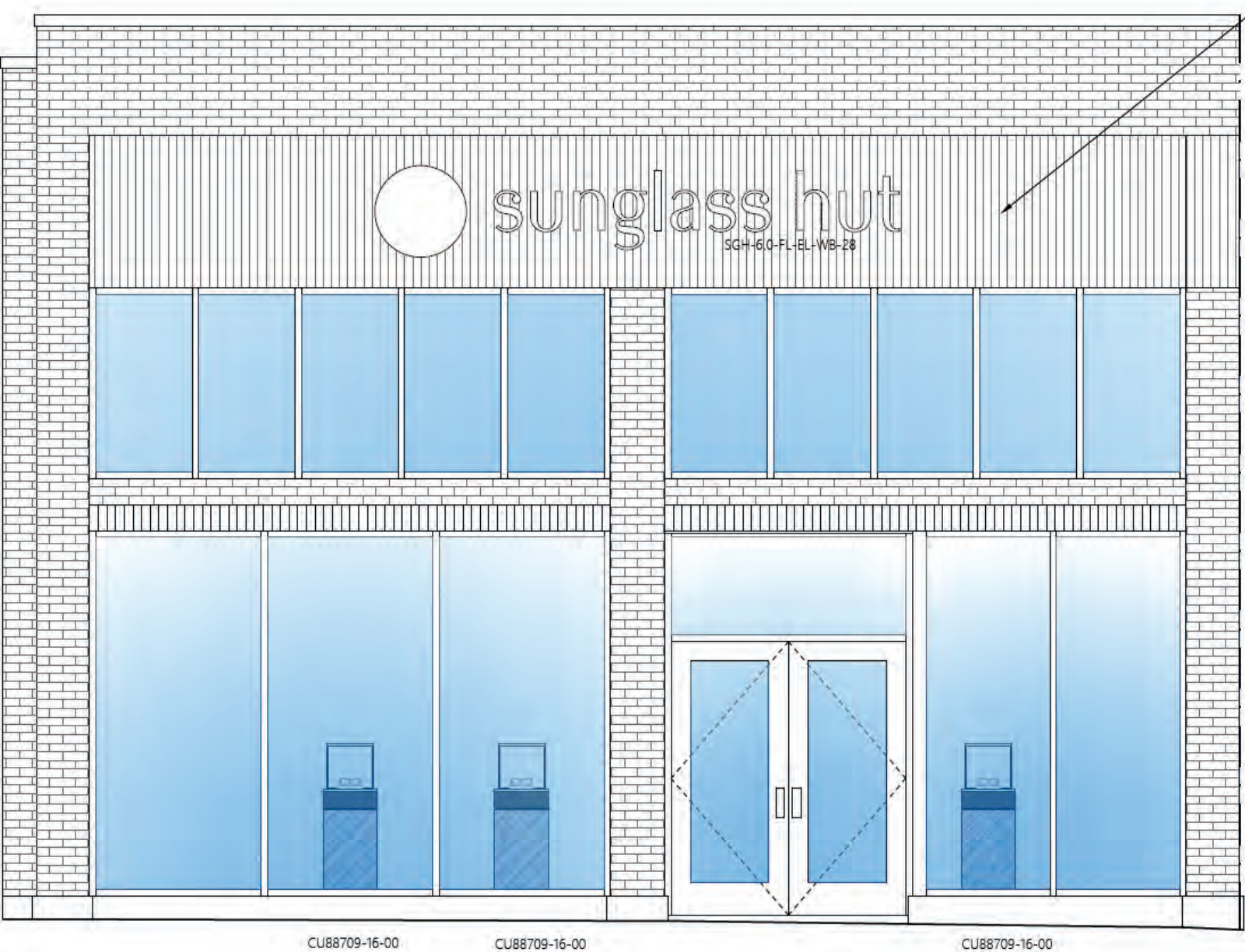
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Revisions:



PROPOSED STOREFRONT RENDERING  
LANDLORD WILL DELIVER THE FACADE AND THE STOREFRONT PER THE RENDERINGS SHOWN AND PRIOR TO TENANT TAKING POSSESSION SUBJECT TO ADDITIONAL COMMENT FROM THE LOCAL PHILADELPHIA ARTS COMMISSION AND/OR OTHER GOVERNMENTAL AUTHORITY



EXISTING STOREFRONT PHOTO

Customer Approval: ☐ APPROVED ☐ APPROVED AS NOTED ☐ REVISE & RESUBMIT

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SIGN TYPE  
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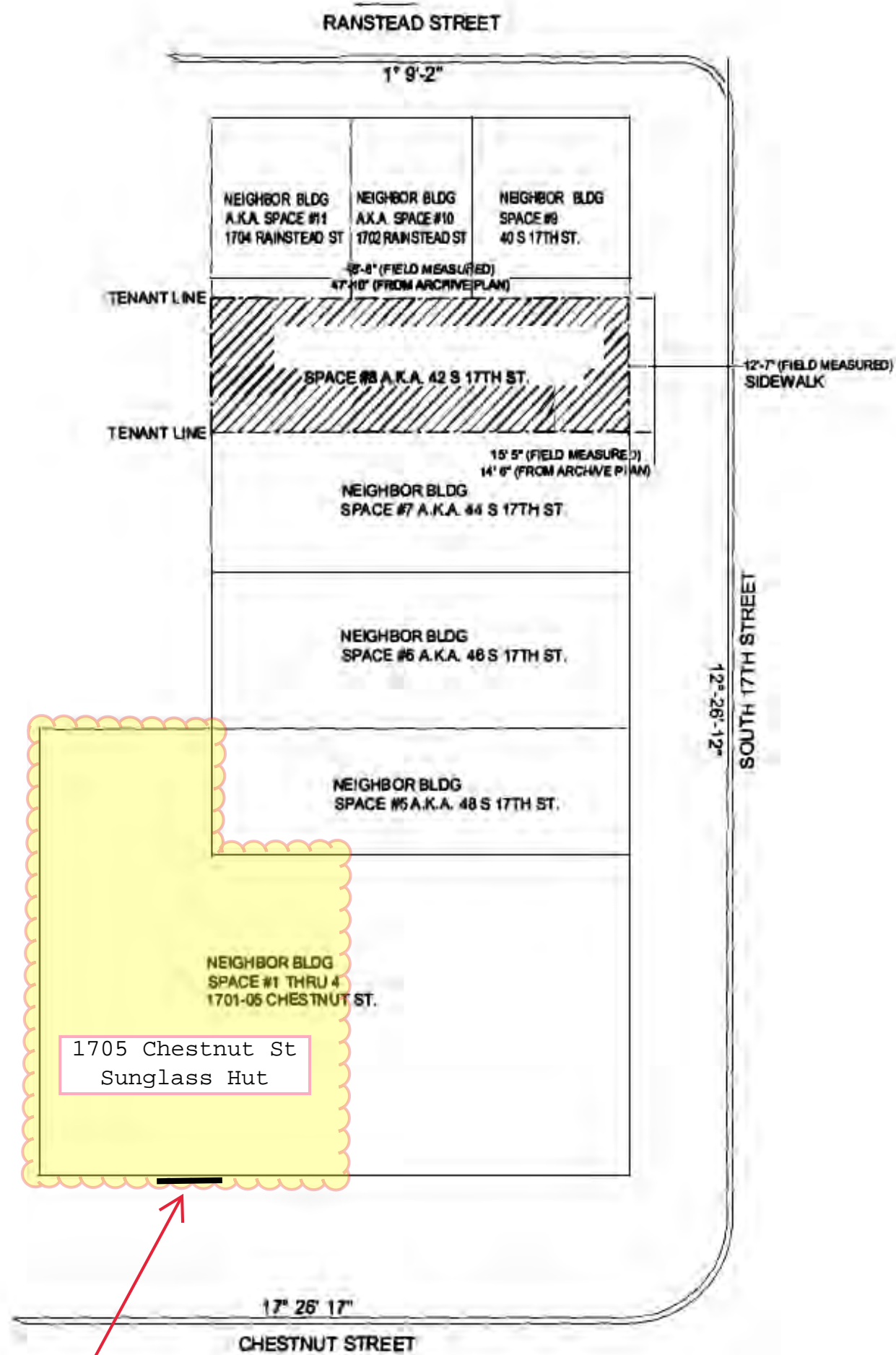
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Proposed to install one (1) accessory statically illuminated wall sign 31.3 SQ FT

**KEY PLAN**  
SCALE : 1/16"=1'-0"





| 1   | GENERAL NOTES |
|---|---------------|
| <p>A. DOCUMENTS: AS USED HEREIN, SHALL COMPRISE THE ENTIRE INTEGRATED SET OF ALL WRITTEN INSTRUMENTS RELATED TO THE PROJECT, INCLUSIVE OF, BUT NOT EXCLUSIVE TO, ALL CONTRACTS, SUBCONTRACTS, DRAWINGS, SKETCHES, MEMORANDA, ADDENDA, SPECIFICATIONS, MANUALS, POLICIES, RULES AND REGULATIONS, LANDLORD DESIGN CRITERIA, SUBMITTALS, SHOP DRAWINGS, PERMITS, APPROVALS, REGULATIONS AND CODES. PROJECT, AS USED HEREIN, SHALL REFER TO THE ENTIRE SCOPE OF PROVIDING A FINISHED FACILITY, READY AND USEABLE FOR ITS INTENDED PURPOSE. GC SHALL BE RESPONSIBLE TO VISIT THE SITE PRIOR TO SUBMISSION OF BID. ANY DISCREPANCIES FROM PLANS SHALL BE CONVEYED TO THE NEXTORE PROJECT MANAGER PRIOR TO BID SUBMISSION. SUBMISSION OF BID SHALL CONSTITUTE ACKNOWLEDGEMENT AND ACCEPTANCE OF EXISTING CONDITIONS.</p> <p>B. ALL MATERIALS AND/OR LABOR FOR THE PROJECT WHICH IS SHOWN ON THE DRAWINGS AND SPECIFICATIONS OR IS REASONABLY INFERRABLE THEREIN AS BEING NECESSARY TO PRODUCE A FINISHED PROJECT, SHALL BE PROVIDED BY GENERAL CONTRACTOR, WHETHER OR NOT THE WORK IS EXPRESSLY COVERED IN THE DOCUMENTS. THIS APPLIES TO ALL WORK, WITH THE EXCEPTION OF THOSE ITEMS INDICATED N.I.C. ("NOT IN CONTRACT") OR BY OTHERS. THE DESIGN INTENT OF THE DRAWINGS SHALL ALWAYS BE THE GOAL.</p> <p>C. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN SUBCONTRACTORS, SUPPLIERS, VENDORS OR ANY OTHER PARTIES SUPPLYING GOODS OR SERVICES TO THE PROJECT. NO EXTRA COMPENSATION WILL BE GIVEN TO ANY PARTY WHO HAS BID FROM AN INCOMPLETE SET OF DOCUMENTS OR WITH INSUFFICIENT FAMILIARITY WITH THE PROJECT OR THE SPECIFIC REQUIREMENTS THEREOF. IN THE EVENT OF INCONSISTENCIES OR DISCREPANCIES BETWEEN THE DOCUMENTS, CODES, CRITERIA OR REQUIREMENTS, THE MOST STRINGENT SHALL APPLY. THE GENERAL CONTRACTOR SHALL NOTIFY THE NEXTORE PROJECT MANAGER IMMEDIATELY OF SUCH DISCREPANCIES OR INCONSISTENCIES.</p> <p>D. IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY BOTH EXISTING SITE CONDITIONS AND DIMENSIONS WITHIN 24 HOURS OF STARTING ANY PROJECT. THE G.C. SHALL NOTIFY THE CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO INITIATING CONSTRUCTION.</p> <p>E. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL INDICATE ON THESE PLANS ALL APPROVED CHANGES TO THE WORK. THIS SET OF DRAWINGS SHALL BE UPLOADED VIA PROJECT READY IN PDF FORMAT TO THE NEXTORE PROJECT MANAGER UPON COMPLETION OF THE PROJECT. THESE DRAWINGS SHALL BE MARKED UP TO REFLECT A COMPLETE AND ACCURATE SET OF AS-BUILT AND ANY APPROVED CHANGES SHALL BE NOTED ON SAID PLANS. PROVIDE MARKED UP PLANS TO NEXTORE PROJECT MANAGER AT PUNCH.</p> <p>F. IF ANY ERRORS, DISCREPANCIES OR OMISSIONS APPEAR OR ARE EVIDENT ON ANY OF THE DOCUMENTS, THE GENERAL CONTRACTOR, SUBCONTRACTOR, VENDOR OR SUPPLIER SHALL IMMEDIATELY NOTIFY THE NEXTORE PROJECT MANAGER.</p> <p>G. NO MATERIAL SUBSTITUTIONS WILL BE ALLOWED UNLESS SUBMITTED IN WRITING AND APPROVED IN WRITING BY THE NEXTORE PROJECT MANAGER.</p> <p>H. THE GENERAL CONTRACTOR SHALL, ON OR BEFORE THE SOONER OF: WITHIN 10 WORKING DAYS OF CONTRACT AWARD OR THE START OF THE PROJECT, PROVIDE TO NEXTORE AND KEEP CURRENT, A LIST OF ALL SUBCONTRACTORS TO BE USED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL ALSO PROVIDE A COPY OF THIS LIST TO THE NEXTORE PROJECT MANAGER AT CONSTRUCTION COMPLETION, AND A COPY IS TO BE INCLUDED IN THE CLOSEOUT PACKAGE FROM THE GENERAL CONTRACTOR.</p> <p>I. THE GENERAL CONTRACTOR SHALL INSPECT, VERIFY AND INVENTORY ALL SHIPMENTS OF NEXTORE SUPPLIED MATERIALS, INCLUDING THOSE OFF SITE WAREHOUSE FACILITIES. THIS INCLUDES VERIFYING PACKING LISTS AGAINST ORDER FORMS AND BILLS OF LADING, AND NOTING AND REPORTING ANY DAMAGES OR SHORTAGES TO THE NEXTORE PROJECT MANAGER, IF NOT DONE WITHIN 24 HOURS OF DELIVERY. THE GENERAL CONTRACTOR SHALL BEAR ANY AND ALL ASSOCIATED COSTS, INCLUDING EXPEDITED FREIGHT CHARGES, TO MEET THE CONSTRUCTION SCHEDULE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FLUNG DAMAGE REPORTS AND MAINTAINING PACKING MATERIALS FOR RETURN SHIPMENT OF DAMAGED ITEMS.</p> <p>J. THE GENERAL CONTRACTOR SHALL KEEP ALL HANDBOOKS, MANUALS, WARRANTY DOCUMENTS AND MISCELLANEOUS PAPERWORK, INCLUDING ALL BRACING SLIPS, IN A MARKED BINDER. THIS BINDER IS TO BE TURNED OVER TO THE STORE GENERAL MANAGER AT PROJECT COMPLETION. COPIES OF THOSE ITEMS AND DOCUMENTS REQUIRED FOR INCLUSION IN THE CLOSEOUT PACKAGE SHALL BE MADE BY THE GENERAL CONTRACTOR AS NEEDED FOR THIS SUBMISSION.</p> <p>K. THE GENERAL CONTRACTOR SHALL DELIVER TO THE NEXTORE PROJECT MANAGER A COPY OF THE CERTIFICATE OF OCCUPANCY (C OF O), LIEN WAIVERS, WARRANTIES, GUARANTEES AND EQUIPMENT OPERATION MANUALS. THE ORIGINAL CERTIFICATE OF OCCUPANCY IS TO BE LEFT WITH THE STORE GENERAL MANAGER.</p> <p>L. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP AND DISPOSAL OF ALL TRASH AND DEBRIS GENERATED BY ALL TRADES. GC, TO REMOVE/DISPOSE OF ALL BOXES/CRATES/TRASH OF TENANT SUPPLIED AND INSTALLED ITEMS, INCL. DISPLAY FIXTURES &amp; HARDWARE. DAILY CLEAN REQUIRED.</p> <p>M. THESE CONSTRUCTION DOCUMENTS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.</p> <p>N. THESE DRAWINGS ARE NOT TO BE ALTERED IN ANY WAY WITHOUT THE WRITTEN AUTHORIZATION FROM NEXTORE OR NEXTORE'S ARCHITECT.</p> <p>O. THE GENERAL CONTRACTOR SHALL MAINTAIN EGRESS AT ALL TIMES DURING STORE OPERATION / CONSTRUCTION.</p> <p>P. THE GENERAL CONTRACTOR SHALL COORDINATE CONSTRUCTION TIMES AND NOISE REQUIREMENTS WITH LANDLORD PRIOR TO CONSTRUCTION START. NO EXTRA COSTS WILL BE ALLOWED TO ACCOMMODATE ANY RESTRICTIONS OR LIMITATIONS.</p> <p>Q. UPON COMPLETION OF CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CLEAN ALL SURFACES, FIXTURES PER MANUFACTURER'S INSTRUCTIONS AND TO EMPLOY THE SERVICES OF A PROFESSIONAL CLEANING COMPANY TO ASSURE DELIVERY TO THE TENANT OF AN ABSOLUTELY CLEAN STORE. (2) CLEANINGS REQUIRED: (1) PRIOR TO TURN-KEY &amp; (1) AT TURN-OVER. THE FINAL CLEANING IS TO BE PERFORMED NO MORE THAN ONE DAY PRIOR TO THE TURN-OVER. ANY LINTY OR RESIDUE IS TURNED OVER, NEXTORE RESERVES THE RIGHT WITHOUT NOTICE TO THE GENERAL CONTRACTOR, TO EMPLOY PROFESSIONAL CLEANING SERVICES AND DEDUCT THE COST PLUS 15% FROM THE BALANCE OF THE GENERAL CONTRACTOR.</p> <p>R. THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR ALL EQUIPMENT, FINISHES, MERCHANDISE, CARPET, ETC., INCLUDING THE WORK OF OTHERS, THROUGHOUT THE DURATION OF THE PROJECT.</p> <p>S. THE GENERAL CONTRACTOR SHALL COORDINATE ALL ACTIVITIES WITH THE LANDLORD PRIOR TO THE START OF CONSTRUCTION, AND COORDINATE THE LANDLORD'S, ALL INTERRUPTION OF SERVICES. ANY SHUT DOWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.</p> <p>T. THE GENERAL CONTRACTOR SHALL INSTALL A LANDLORD AND CODE COMPLIANT TEMPORARY BARRICADE AS REQUIRED BY THE LANDLORD OR NEXTORE PROJECT MANAGER, UNLESS THE PLANS SPECIFICALLY CALL OUT FOR THIS WORK TO BE BY OTHERS.</p> <p>U. THE GENERAL CONTRACTOR SHALL INSTALL A TEMPORARY ENTRANCE WITH DOORS, FRAMES AND LOCKS, UNLESS THE PLANS SPECIFICALLY CALL OUT FOR OTHERS.</p> <p>V. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES, THE LANDLORD'S TENANT DESIGN CRITERIA, THE LANDLORD'S CONSTRUCTION RULES AND REGULATIONS, NEXTORE STANDARD SPECIFICATIONS, NEXTORE'S STANDARD CONSTRUCTION CRITERIA AND ACCEPTED BEST CONSTRUCTION PRACTICES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FILE ANY NEEDED "NOTICE OF COMMENCEMENT" OR OTHER FILINGS RELATED TO THE PROJECT IN THE APPROPRIATE OFFICES AND SHALL BE RESPONSIBLE TO POST SUCH NOTICES AT THE JOB SITE.</p> <p>W. ALL WOOD CONSTRUCTION, INCLUDING BLOCKING, SHALL BE FIRE RESISTANT TREATED (FRT). ALL NEW FRAMING AT THE STOREFRONT AND /OR ABOVE THE CEILING SHALL BE NON-COMBUSTIBLE.</p> <p>X. THE GENERAL CONTRACTOR SHALL, PRIOR TO BEGINNING ANY WORK, COORDINATE WITH THE LANDLORD OR ANY AUTHORITY HAVING JURISDICTION, AND BEAR THE COSTS FOR, ALL EXPLORATIONS / X-RAYS REQUIRED FOR CUTTING/CORING OF THE SLAB OR EXCAVATING.</p> <p>Y. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL THEIR WORK AND THE WORK OF THEIR SUBCONTRACTORS WITH THE STRUCTURE AND SHELL BUILDING ELEMENTS. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE NEXTORE PROJECT MANAGER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE BUILDING SHELL.</p> <p>Z. THE GENERAL CONTRACTOR SHALL PROVIDE ALL FIRE EXTINGUISHERS, CONCEALED BLOCKING AND SIGNAGE FOR SAME AS REQUIRED. QUANTITIES, SIZES AND LOCATIONS SHOWN IN THE DRAWINGS ARE ONLY SUGGESTED QUANTITIES, SIZES AND LOCATIONS. THE MOST STRINGENT REQUIREMENT OF ANY BODY HAVING JURISDICTION SHALL PREVAIL.</p> <p>AA. THE GENERAL CONTRACTOR SHALL DESIGN, INSTALL, LOCATE, RELOCATE, RECONFIGURE THE FIRE SPRINKLER AND FIRE ALARM SYSTEMS AS REQUIRED BY THE INTERSECTION OF THE DOCUMENTS OR ANY CODE OR BODY HAVING JURISDICTION OVER THE WORK. ALL FIRE SPRINKLER AND FIRE ALARM SYSTEM WORK SHALL BE "DESIGN BUILD" BY THE GENERAL CONTRACTOR, UNLESS CALLED OUT TO BE PERFORMED SPECIFICALLY BY OTHERS IN THE DOCUMENTS (SEE FIRE SPRINKLER SYSTEM / FIRE ALARM SYSTEM NOTES). GC TO COORDINATE WITH LANDLORD REQUIRED VENDOR.</p> <p>AB. THE GENERAL CONTRACTOR SHALL, WITHOUT EXCEPTION, PROVIDE AND INSTALL ANY AND ALL DUST PROTECTION, REQUIRED DURING CONSTRUCTION.</p> <p>AC. GENERAL CONTRACTOR TO PROVIDE ALL FLOOR PREPARATION AS NEEDED TO ASSURE COMPLIANCE WITH FINISHED FLOORING MANUFACTURER SPECIFICATIONS.</p> <p>AD. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL CEILING WORK WITH THE MEP DRAWINGS.</p> <p>AE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL LIGHTING WITH THE ELECTRICAL DRAWINGS / REFLECTED CEILING PLAN.</p> <p>AF. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL LIGHT FIXTURES SUPPORTS, INCLUDING ANY AND ALL SEISMIC REQUIREMENTS.</p> <p>AG. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING REQUIRED FIRE RATINGS AND FIRE PROOFING IN ALL INSTANCES.</p> <p>AH. ALL PENETRATIONS OF DEMISING WALLS, ROOF AND FLOOR SHALL BE FIRE SAFE / PROOF PER CODES / LANDLORD REQUIREMENTS, THE MOST STRINGENT REQUIREMENT SHALL PREVAIL.</p> <p>AI. THE GENERAL CONTRACTOR SHALL RECEIVE, UNLOAD, AND PROVIDE SAFE STORAGE OF ALL NEXTORE / NEXTORE SUPPLIED AND / OR INSTALLED MATERIAL. TRASH REMOVAL OF ALL BOXES / CRATES CONTAINING NEXTORE / NEXTORE SUPPLIED AND / OR INSTALLED MATERIAL, INCLUDING BUT NOT LIMITED TO FLOORING, MILLWORK, LIGHTING, HARDWARE, ACCESSORIES, EQUIPMENT, ETC. SHALL BE BY THE GENERAL CONTRACTOR.</p> <p>AJ. NOTICE OF INCIDENT: THE GENERAL CONTRACTOR SHALL, VIA ELECTRONIC MEDIUM AND NEXTORE STANDARD NOTIFICATION AND REPORTING FORMS, IMMEDIATELY NOTIFY THE NEXTORE PROJECT MANAGER OF ANY INCIDENT INVOLVING THE PROJECT, WHICH RESULTS IN CONTACT WITH ANY FEDERAL, STATE OR LOCAL GOVERNMENT AGENCY OR AS CALLED OUT IN NEXTORE'S OR THE LANDLORDS RULES, REGULATIONS OR POLICIES.</p> <p>AK. WEEKLY PROGRESS PHOTOS, DAILY REPORTS, SAFETY INSPECTIONS, SCHEDULE UPDATES, CHANGE ORDER LOGS, RFI LOGS, AND TOOL BOX TOPICS SHALL BE SUBMITTED TO THE NEXTORE PROJECT MANAGER VIA PROJECT READY AS REQUIRED IN THE DOCUMENTS OR DIRECTED BY THE NEXTORE PROJECT MANAGER.</p> <p>AL. FOR THOSE PROJECTS THAT ARE "OPEN REMODELS", STORES WILL REMAIN OPEN DURING REGULAR BUSINESS HOURS WHILE CONSTRUCTION IS IN PROGRESS. ALL DISTURBANCES TO SURROUNDING BUSINESSES AND AREAS WILL BE KEPT TO A MINIMUM. WORK DURING AN OPEN REMODEL IS TYPICALLY PERFORMED "AFTER NORMAL OPERATING HOURS." GC MUST COORDINATE WITH NEXTORE PROJECT MANAGER AND OR STORE OPERATIONS MANAGER PRIOR TO CONSTRUCTION START. THERE SHALL BE NO UP-CHARGE SUBMITTED, ALLOWED, OR CONSIDERED FOR ANY SUCH AFTER HOURS WORK.</p> <p>SAFETY:<br/>SAFETY OF ALL EMPLOYEES, ASSOCIATES AND CUSTOMERS SHALL BE THE NUMBER ONE PRIORITY FOR ALL CONTRACTORS ON ANY NEXTORE PROJECT. OSHA REQUIREMENTS SHALL BE INCORPORATED INTO THE SCOPE OF WORK EVEN THOUGH THEY MAY NOT BE LISTED SEPARATELY. CONTRACTOR SHALL MAINTAIN A COPY OF THEIR SITE SPECIFIC SAFETY PLAN ON SITE AT ALL TIMES</p> |               |
| 1-SGH4.5-G001-REV00   |               |

| 2  | GENERAL CONTRACTOR NOTES |
|--|--------------------------|
| <p>1. BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY:<br/>A. THE GC SHALL CONTACT THE NEXTORE P.M. OR THE PERMIT EXPEDITOR TO SECURE THE PERMIT. PERMIT SHALL BE MOUNTED IN A VISIBLE, LOCATION AT THE SITE. PERMITS SHALL BE PAID FOR BY THE GC AND SUBMITTED TO TENANT AS A NET COST.<br/>B. THE GC SHALL ARRANGE FOR ALL REQUIRED INSPECTIONS.<br/>C. THE GC SHALL DETERMINE IF THE INSPECTORS WILL BE CHECKING LAB / LENS PROCESSING ROOM EQUIPMENT FOR UL OR ETL LABELS AND NOTIFY THE CONSTRUCTION MANAGEMENT TEAM NO LATER THAN 4 WEEKS BEFORE "PUNCH".<br/>D. IF REQUIRED, A "TEMPORARY C OF O" OR BUILDING DEPARTMENT APPROVAL SHALL BE RECEIVED TO SET DOWN EQUIPMENT.</p> <p>2. DIMENSIONS:<br/>THE WORD "HOLD" REFERS TO A CRITICAL DIMENSION AND MUST BE ADHERED TO. IF THESE DIMENSIONS CAN NOT BE MET, SUBMIT IN WRITING &amp; CALL NEXTORE P.M. FOR DIRECTION.</p> <p>3. ON-SITE COMMUNICATION:<br/>A. THE GC SHALL CONTACT THE NEXTORE P.M. TO RESOLVE ALL FIELD ISSUES.<br/>B. GC TO HAVE CELL PHONE WITH VOICEMAIL CAPABILITIES.<br/>C. GC TO HAVE LAPTOP ON SITE WITH WIFI CAPABILITIES.<br/>D. GC TO HAVE PRINTER ON SITE.</p> <p>4. CHANGE ORDERS:<br/>NO ADDITIONAL COSTS OR DESIGN CHANGES WILL BE ACCEPTED WITHOUT THE WRITTEN APPROVAL OF THE NEXTORE P.M. AND THE EXECUTION OF THE NEXTORE CHANGE ORDER PROCEDURE. PRIOR TO THE COMMENCEMENT OF SUCH WORK, CHANGE ORDER WORK COMPLETED WITHOUT SIGNED APPROVAL TO DO SAME, IS DONE SO AT THE GC'S RISK.</p> <p>5. SUBCONTRACTOR COORDINATION:<br/>THE GC MUST BE PRESENT AT ALL TIMES FOR THE DURATION OF CONSTRUCTION. THE GC SHALL GIVE SUBCONTRACTORS APPROPRIATE NOTICE BEFORE REQUIRING THEM ON SITE, COORDINATE INSTALLATION DATES, AND COMMUNICATE SITE SPECIFIC DETAILS. THE GC SHALL COORDINATE THE INSTALLATION SCHEDULE AND DIVISION OF WORK WITH THE NEXTORE P.M. SUBCONTRACTORS SHOULD CONTACT THE GC FOR SCHEDULE CLARIFICATIONS.</p> <p>MILLWORK / CASEWORK: GC SHALL COORDINATE CRITICAL DIMENSIONS PRIOR TO WALL CONSTRUCTION AND HAVE THE AREA READY PRIOR TO FIXTURE DELIVERY. READY SHALL BE DEFINED AS FLOORING DOWN THRU-OUT THE RETAIL AND OPTOMETRIC (DOCTOR ID) RECEPTION, LIGHTING SCOFFITS BUILT OUT, DRYWALLED, FINISHED, PAINTED AND LIGHTING FIXTURES INSTALLED. ALL WALLS IN THE RETAIL AND OD RECEPTION MUST BE FINISHED AND PAINTED. ALL ELECTRICAL AND MECHANICAL ROUGH-OUTS MUST BE COMPLETED, STORE MUST BE SECURED FROM THE OUTSIDE. ONCE THE PRE-CONSTRUCTION MILLWORK DROP / INSTALL DATE HAS BEEN ESTABLISHED, ANY CHANGES TO THE ESTABLISHED DATE MUST BE COMMUNICATED AT LEAST 7 DAYS PRIOR.</p> <p>6. DATA-POS / PHONES:<br/>A. NEW T.I. &amp; RELO STORES: BACKBOARD TO BE INSTALLED WITHIN 7 CALENDAR DAYS OF THE CONSTRUCTION START DATE. ACCESS TO BACKBOARD SHALL BE AFFORDED TO ALL TENANT VENDORS, TELEPHONE, ELECTRIC AND DATA CABLING INSTALLED ONE WEEK BEFORE "PUNCH" FOR HARDWARE INSTALLATION AND TESTING. CONTACT NEXTORE P.M. IF NEEDED.<br/>B. REMODEL STORES: GC TO COORDINATE ALL TEMPORARY AND PERMANENT DATA AND PHONE CABLING DURING THE OPEN REMODEL. KEEPING STORE POS AND PHONE SYSTEMS ON LINE AND ACTIVATED AT ALL TIMES. COORDINATE WORK WITH TENANT LOW VOLTAGE VENDOR.</p> <p>7. ELECTRICAL AND LIGHTING DELIVERIES<br/>GC SHALL BE RESPONSIBLE FOR THE COORDINATION OF DELIVERIES, FOR THE OFF-LOADING OF SAME, AND TO VERIFY / REPORT ANY DAMAGE AND FOR THE SAFE STORAGE OF ALL MATERIALS RECEIVED. THE GC SHALL VERIFY THE VOLTAGE AND COMPATIBILITY OF ALL EQUIPMENT, FIXTURES AND MILLWORK PRIOR TO CONNECTION.</p> <p>8. METER INSTALLATION (WATER / ELECTRIC / GAS):<br/>UTILITY ACCOUNT TRANSFER / SETUP (FOR CORPORATE NEW AND RELOCATION STORES ONLY):<br/>GC SHALL CONTACT THE NEXTORE RETAIL STORE MAINTENANCE HOTLINE (537)65-3500 UPON ARRIVAL AT THE SITE. GC WILL NOT BE RESPONSIBLE FOR ANY UTILITY COSTS DURING CONSTRUCTION. GC TO CONTACT NEXTORE TO CONVERT METERS TO NEXTORE NAME IMMEDIATELY UPON CONSTRUCTION START UP. GC TO PROVIDE THE FOLLOWING INFORMATION WHEN CALLING:<br/>A. STORE ADDRESS AND SPACE #<br/>B. UTILITY COMPANY (S) NAME AND PHONE # (I.E., GAS, ELECTRIC, WATER AND POSSIBLY SEWER)<br/>C. METER AND SOCKET # (IF USED)<br/>D. EXPECTED "PUNCH" DATE (TIMING FOR NEW INSTALLATION OR UTILITY ACCOUNT TRANSFER WILL BE EXECUTED ON/OR BEFORE THE "PUNCH" DATE).</p> <p>9. TURNOVER PROCEDURE:<br/>A. THE GC SHALL CALL THE THE NEXTORE P.M. TO CONFIRM THE TURNOVER DATE NO LATER THAN 10 WORKING DAYS BEFORE TURNOVER.<br/>B. ALL CONSTRUCTION ITEMS, INCLUDING ITEMS ON THE INSTALLATION SCHEDULE ARE TO BE COMPLETED BEFORE TURNOVER DAY.<br/>C. THE GC AND NEXTORE P.M. TO CONDUCT THE PUNCH WALKTHROUGH, NOTING ALL DEFICIENCIES AND TIMING FOR RESOLUTION.<br/>D. A "SUBSTANTIAL COMPLETION" DOCUMENT WILL BE DISTRIBUTED TO THE GC. THE GC SHALL REMAIN ON SITE UNTIL ALL "PUNCH LIST" ITEMS ARE COMPLETE AND THE NEXTORE PM HAS APPROVED ITEMS CONFIRMING COMPLETION OF THE "PUNCH LIST" BY GC.<br/>E. A COPY OF THE "CONFIRMED COMPLETION OF PUNCH LIST" WILL BE GIVEN TO THE NEXTORE P.M. BY THE GC.</p> <p>10. SETDOWN FOR NEW CORPORATE STORES:<br/>NEXTORE'S NEW STORE TEAM WILL DELIVER ALL REMAINING OWNER FURNISHED ITEMS TO THE STORE ON THE EVENING OF "TURNOVER" DAY. THE GC SHALL BE ON SITE ON THE DAY AFTER "TURNOVER", WITH ONE (1) PLUMBER AND ONE (1) ELECTRICIAN TO ASSIST THE SETDOWN TEAM TO RESOLVE ANY ISSUES. THE GC SHALL SUPPLY DUMPSTER FOR REMOVAL OF SETDOWN DEBRIS.</p> <p>11. SOUND SYSTEM:<br/>A. THE GC SHALL BE RESPONSIBLE TO CONTACT NEXTORE PROJECT MANAGER 4 WEEKS PRIOR TO THE SCHEDULED DATE TO ARRANGE FOR INSTALLATION.<br/>B. REMODELS AND RELOCATIONS: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, STORAGE AND REINSTALLATION OF SYSTEM (INCLUDING CD PLAYERS AND SPEAKERS) AT NEXTORE STORES DURING DURATION OF CONSTRUCTION.</p> <p>12. SECURITY ALARM TRANSFER/MODIFICATION<br/>A. ALARM TRANSFER / MODIFICATION - GC SHALL CONTACT THE SECURITY VENDOR DURING ANY POINT IN CONSTRUCTION THE GC DETERMINES THEY WILL NEED TO DISABLE OR RELOCATE ANY ALARM SYSTEM COMPONENTS. GC SHALL AWAIT INSTRUCTIONS FROM THE "NEXTORE SECURITY LIAISON" BEFORE TAKING ANY ACTION ON THE SECURITY SYSTEM.<br/>B. CAMERAS - GC SHALL CONTACT THE "NEXTORE LOSS PREVENTION MANAGER" TO COORDINATE THE REINSTALLATION OF SECURITY CAMERAS ON REMODEL OR RELOCATION STORES THAT ALREADY HAVE CAMERAS IN PLACE AND ARE BEING DISTURBED DURING CONSTRUCTION.</p> <p>13. AIR BALANCE REPORTS:<br/>G.C. RESPONSIBLE TO OBTAIN CERTIFIED AIR BALANCING REPORT FROM A VENDOR INDEPENDENT FROM THE HVAC CONTRACTOR.</p> |                          |
| 2-SGH4.5-G001-REV00  |                          |

| 4                   | JOB SITE ADDRESS       |
|---------------------|------------------------|
| NAME                | SUNGLASS HUT           |
| STREET ADDRESS      | 1705 CHESTNUT STREET   |
| CITY, STATE, ZIP    | PHILADELPHIA, PA 19103 |
| 4-SGH4.5-G001-REV00 |                        |

| 5                 | STORE INFO.            |
|-------------------|------------------------|
| STORE CONTACT     | SUNGLASS HUT           |
| STREET ADDRESS    | 1705 CHESTNUT STREET   |
| CITY, STATE, ZIP  | PHILADELPHIA, PA 19103 |
| PHONE             | -                      |
| EMAIL             | -                      |
| 5-SGH4.5-G001-REV |                        |

| 6                 | LANDLORD'S ADDRESS               |
|-------------------|----------------------------------|
| LANDLORD          | MIDWOOD INVESTMENT & DEVELOPMENT |
| SR. TENANT COORD. | JOHN DELUTIS                     |
| STREET ADDRESS    | 430 PARK AVENUE                  |
| CITY, STATE, ZIP  | NEW YORK, NY 10022               |
| PHONE             | (908)319-1569                    |
| EMAIL             | jdelutis@midwoodid.com           |
| 6-SGH4.5-G001-REV |                                  |

| 7                 | JURISDICTION  |
|-------------------|---|
| DEPARTMENT        | CITY OF PHILADELPHIA<br>DEPARTMENT OF LICENSES AND INSPECTIONS<br>CENTRAL WEST DISTRICT |
| STREET ADDRESS    | 2401 WALNUT STREET, SUITE 502   |
| CITY, STATE, ZIP  | PHILADELPHIA, PA 19103  |
| PHONE             | (215) 685-3789  |
| 7-SGH4.5-G001-REV |   |

| 8  | CODE INFORMATION   |
|--|--|
| CONSTRUCTION TYPE:                                       | V B, FULLY SPRINKLED   |
| EXISTING OCCUPANCY:                                      | M (MERCANTILE) 1354 SQ. FT.                                      |
| PROPOSED OCCUPANCY:                                      | M (MERCANTILE) 1354 SQ. FT.                                      |
| BUILDING:  | 2018 INTERNATIONAL BUILDING CODE                                 |
| MECHANICAL:  | 2018 INTERNATIONAL MECHANICAL CODE                               |
| FIRE:  | 2018 PHILADELPHIA FIRE CODE                                      |
| PLUMBING:  | 2018 INTERNATIONAL PLUMBING CODE                                 |
| ELECTRICAL:  | 2017 NATIONAL ELECTRIC CODE                                      |
| ENERGY:  | 2018 INTERNATIONAL ENERGY CONS. CODE                             |
| ACCESSIBILITY CODE:                                      | ACCESSIBILITY PROVISIONS OF 2018 IRC                             |
| ADDITIONAL CODES   | -  |
| SPRINKLERED: YES, NEW                                    |  |
| FIRE ALARM: YES, NEW                                     |  |
| FIRE EXTINGUISHERS: YES, NFPA 10 / NEW                   |  |
| EGRESS: OCCUPANT LOAD: TABLE 1004.1.2                    |  |
| SALES AREAS  | 1095 S.F. / 60 = 18  |
| NON SALES AREAS  | 259 S.F. / 100 = 3   |
| TOTAL AREA   | 1354 S.F. GROSS 21 OCCUPANTS                                     |
| EGRESS WIDTH PER OCCUPANT:                               | 1005.3.2 - 0.15 INCHES PER PERSON (SPRINKLERED)                  |
| 1) EGRESS COMPONENTS (SPRINKLERED)                       | 0.15 INCHES PER OCCUPANT * 21 OCCUPANTS = 3.15 INCHES (REQUIRED) |
| 2) ACTUAL WIDTH PROVIDED:                                | DOUBLE DOORS 72" CLEAR   |
| TOTAL EGRESS WIDTH PROVIDED:                             | = 72" CLEAR  |
| SECTION 1014 EXIT ACCESS                                 |  |
| TABLE 1014.3   |  |
| MAX TRAVEL: 75 FEET SPRINKLERED                          |  |
| SECTION 1015 EXIT AND EXIT ACCESS DOORWAYS               |  |
| TABLE 1015.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY |  |
| OCCUPANCY: M MAX OCCUPANT LOAD = 49                      |  |
| 8-SGH4.5-G001-REV00                                      |  |

| 9                   | COMMENTS |
|---------------------|----------|
| 9-SGH4.5-G001-REV00 |          |

| 10                   | KEY PLAN |
|----------------------|----------|
|                      |          |
| 10-SGH4.5-G001-REV00 |          |

| 13                   | VICINITY PLAN |
|----------------------|---------------|
|                      |               |
| 13-SGH4.5-G001-REV00 |               |

| 11   | PROJECT DIRECTORY |
|--|-------------------|
| <p>NEXTORE<br/>420 5th AVENUE<br/>NEW YORK, NY 10018<br/>860.431.9700</p> <p>DESIGN AND CONSTRUCTION MANAGEMENT</p> <p>NOTE:<br/>ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS SHOULD BE DIRECTED TO THE NEXTORE PROJECT PLANNER FOR APPROPRIATE DIRECTION OF COMMUNICATION.</p> <p>NEXTORE PROJECT MGR. NEXTORE PROJECT PLANNER<br/>SHERRI LESSARD<br/>860-431-9668<br/>slessard@nextoreretail.com</p> <p>NEXTORE STORE DESIGNER PERMIT EXPEDITOR<br/>VALENTINA ROCCO<br/>valentinavera.rocco@luxottica.com</p> <p>7 PLUMBING CODE<br/>21 OCCUPANTS 10 MALE 11 FEMALE<br/>MINIMUM PLUMBING FIXTURES<br/>CHAPTER 4, SECTION 403, TABLE 403.1 (MERCANTILE OCCUPANCY)<br/>1) WATER CLOSETS:<br/>REQUIRED: FEMALE 1 PER 500<br/>REQUIRED: MALE 1 PER 500<br/>EXISTING PROVIDED: 1 UNISEX<br/>2) LAVATORIES:<br/>REQUIRED: FEMALE 1 PER 750<br/>REQUIRED: MALE 1 PER 750<br/>EXISTING PROVIDED: 1 UNISEX<br/>3) DRINKING FOUNTAIN:<br/>REQUIRED: NOT REQUIRED<br/>PROVIDED: NOT REQUIRED<br/>4) SERVICE SINK:<br/>REQUIRED: 1<br/>PROVIDED: 1<br/>403.2 - SEPARATE FACILITIES -EXCEPTION #3:<br/>SEPARATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 100 OR FEWER</p> |                   |
| 11-SGH4.5-G001-REV00   |                   |

| 12   | SCOPE OF WORK |
|--|---------------|
| <ul style="list-style-type: none"><li>COMPLETE REMODELING OF EXISTING SPACE IN BUILDING.</li><li>2 DIFFERENT SPACE WILL BE MERGED IN A NEW SINGLE STORE.</li><li>NEW FLOORING FINISHES: SALES AREA AND BACK OF HOUSE.</li><li>NEW GYP BOARD CEILING IN SALES AREA.</li><li>NEW ACT CEILING IN BACK OD HOUSE.</li><li>EXISTING MEZZANINE AND STAIRS TO BE REMOVED BY LANDLORD.</li><li>STOREFRONT: LANDLORD WILL PROVIDE NEW FACADE.</li><li>COMPLETELY NEW ELECTRICAL AND HVAC SYSTEM.</li><li>NEW MOP SINK IN BACK OF HOUSE.</li><li>NEW PAINT ALL WALLS.</li></ul> |               |
| 12-SGH4.5-G001-REV00   |               |

Drawings for:



# sunglass hut

A Subsidiary of the Luxottica Group

420 5th. Ave. New York, NY 10018

## 1705 CHESTNUT STREET PHILADELPHIA, PA

13

VICINITY PLAN

13-SGH4.5-G001-REV00

DIRECTORY

|   |
|---|
| 18  |
| ON MANAGEMENT   |
| CTION DOCUMENTS SHOULD BE<br>FOR APPROPRIATE DIRECTION OF                 |
| KTOR PROJECT PLANNER<br>RI LESSARD<br>431-9668<br>ard@nextorerealtail.com |
| MIT EXPEDITOR   |
| 11-SGH4.5-G001-REV00  |
| F WORK  |
| IN BUILDING,<br>AY SINGLE STORE,<br>ACK OF HOUSE.                         |
| OVED BY LANDLORD.<br>FACADE<br>STEM.                                      |

14

DRAWING INDEX

| SHEET #                        | DRAWING TITLE                             | ACTIVE REVISION # |
|--------------------------------|---|-------------------|
| ARCHITECTURAL                  |   |                   |
| G001                           | GENERAL INFORMATION / COVER SHEET         | -                 |
| G002                           | RESPONSIBILITY SCHEDULE                   | -                 |
| G003-G006                      | SPECIFICATIONS                            | -                 |
| AD100                          | EX. FLOOR PLAN / DEMOLITION               | -                 |
| AD200                          | EX. CEILING PLAN / DEMOLITION             | -                 |
| A100                           | FIXTURE FLOOR PLAN AND LIFE SAFETY PLAN   | -                 |
| A101                           | CONSTRUCTION - FLOOR PLAN                 | -                 |
| A102                           | REFLECTED CEILING PLAN                    | -                 |
| A103                           | FINISH PLAN AND SCHEDULE                  | -                 |
| A104                           | RECEPACLE LOCATION PLAN                   | -                 |
| A200                           | INTERIOR ELEVATIONS                       | -                 |
| A300                           | STOREFRONT SECTIONS & DETAILS             | -                 |
| A400                           | SECTIONS & DETAILS                        | -                 |
| A401a                          | SECTIONS & DETAILS                        | -                 |
| A401b                          | SECTIONS & DETAILS                        | -                 |
| A402                           | SECTIONS & DETAILS                        | -                 |
| A404                           | CEILING DETAILS                           | -                 |
| MECHANICAL, ELECTRIC, PLUMBING |   |                   |
| M001                           | MECHANICAL, SCHEDULES, NOTES & SPECS      | -                 |
| M002                           | MECHANICAL DETAILS                        | -                 |
| M003                           | MECHANICAL SPECS                          | -                 |
| M200                           | MECHANICAL PLANS                          | -                 |
| E001                           | ELECTRICAL DETAILS                        | -                 |
| E002                           | ELECTRICAL DETAILS                        | -                 |
| E100                           | ELECTRICAL DEMO PLAN                      | -                 |
| E200                           | ELECTRICAL POWER/SYSTEM PLAN              | -                 |
| E201                           | ELECTRICAL LIGHTING PLAN                  | -                 |
| E300                           | ELECTRICAL DIMENSION PLAN/ ROUGH IN ELEV. | -                 |
| E301                           | ELECTRICAL ROUGH IN ELEV.                 | -                 |
| P001                           | PLUMBING DETAIL                           | -                 |
| P200                           | PLUMBING PLAN                             | -                 |
| 14-SGH4.5-G001-REV00           |   |                   |

| 15                   | DEFERRED SUBMITTALS |
|----------------------|---------------------|
| 15-SGH4.5-G001-REV00 |                     |

DESIGN & CONSTRUCTION MANAGEMENT:



## STORE #3850

1705 Chestnut Street  
Philadelphia, PA 19103

Construction for:



## sunglass hut

A Subsidiary of the Luxottica Group  
4000 Luxottica Place Mason, Ohio 45040

Revisions:

| Mark | Date | By |
|------|------|----|
| △    |      |    |
| △    |      |    |
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| △    |      |    |
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| △    |      |    |

Architect of Record



Carapella Architecture  
Carmine Carapella r.a.  
425 Cochran Rd.  
Pittsburgh PA 15228

Seal



Architect / Engineer Job No.:

Nextore Store Design Revision No.:

## 11

Nextore project Number 88709

Brand Design Type:  
SGH 4.5 PLATINUM DESIGN

ISSUED FOR:  
☐ Construction

Title

## GENERAL INFORMATION COVER SHEET

| Date       | Sheet |
|------------|-------|
| 5/11/2023  |       |
| Drawn By   |       |
| Checked By | TC    |
|            | CC    |
|            | G001  |











