



Memorandum

To: Beige Berryman, Director Art Commission
From: Priyanka Malik, Capital Project Manager, PPR
Date: December 27, 2023
Re: Request for Art Commission Review

We respectfully request to be included on the Art Commission agenda for January 10th, 2024 for Final Approval for Nicetown Park improvements.

A brief description of the project follows, and drawings will be submitted by the deadline on Wednesday January 3rd.

Nicetown Park located at 4301 Germantown Ave. in the Nicetown Tioga neighborhood, was established in the early 70's as a park after the construction of the Roosevelt Blvd thruway. Original playground features included paths, walls, and a steep cobble slope with slides as well as a small play area in the upper northeast section of the park off of 17th St. A modern playground was added in 1985 and updated in 1999. Supported and maintained by Nicetown CDC in partnership with Philadelphia Parks and Rec, estimated project cost is \$3.2M and renovations include:

- Removal of existing original play equipment and safety surface,
- Widening, enhancement and repaving of existing asphalt walks,
- Installation of code compliant exterior stairs and handicapped accessible ramp to the upper northern section of the park,
- Reconstruction of 18th Street Walkway,
- New lighting, canopy trees, benches and trash receptacles,
- Construction and installation of a permanent stage with shade structure,
- One plumbed and accessible prefabricated restroom facility to serve the community and visitors during summer events,
- Salvaged cobblestone planters to deter vehicle encroachment and beautify park entrance.

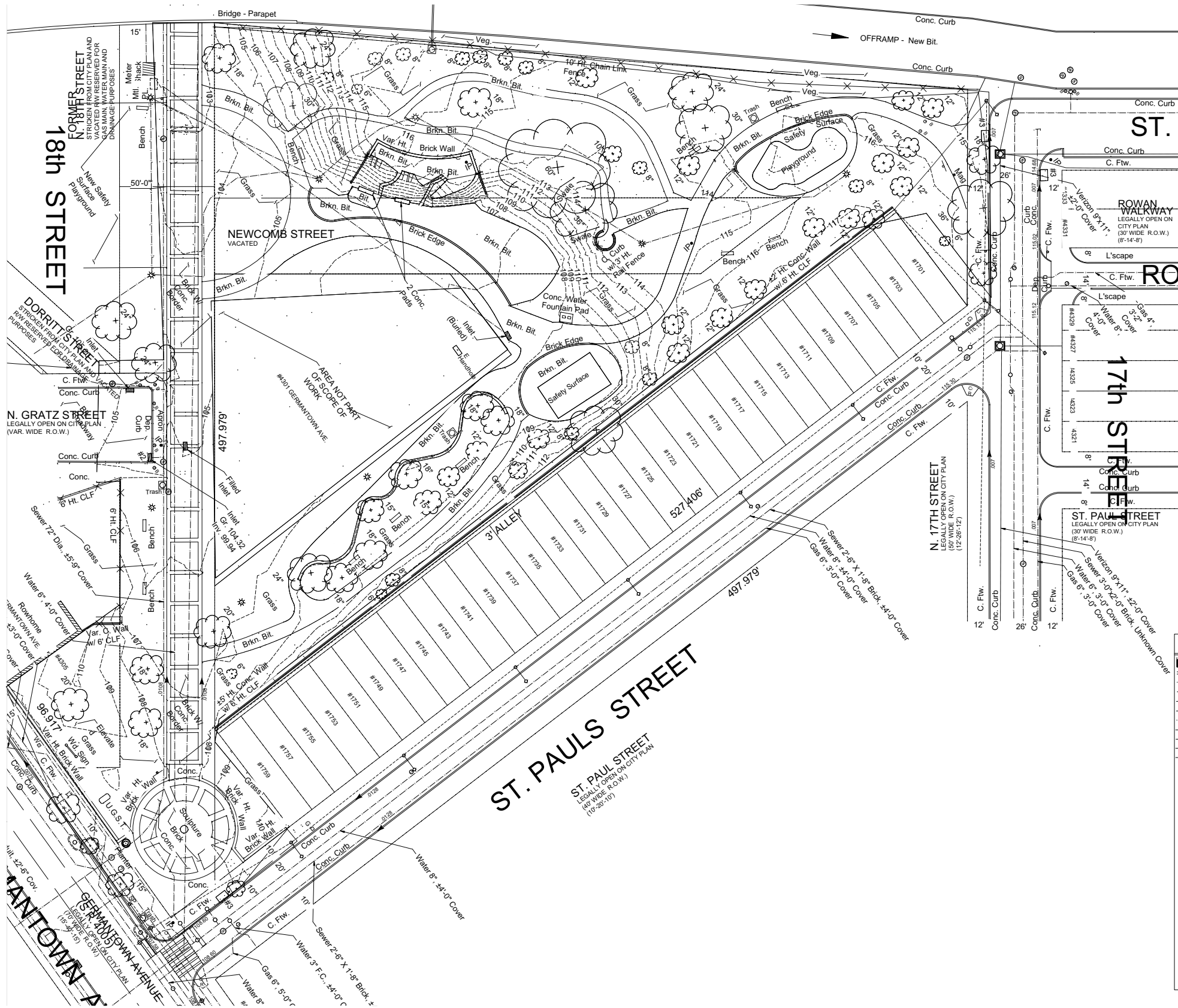
Thank you for your attention. Please inform me directly if you need more information.

cc: Aparna Palantino, Deputy Commissioner, PPR
Francesco Cerrai, Project Director
Priyanka Malik, Project Manager, priyanka.malik@phila.gov

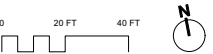


NICETOWN PARK

JANUARY 10, 2024



EXISTING LEGEND	
	BUILDING
	CONCRETE CURB
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	GAS LINE
	WATER
	SANITARY SEWER
	TELECOMMUNICATION CONDUIT
	OVERHEAD ELECTRICAL
	ELECTRIC
	FENCE
	UNKNOWN MANHOLE
	TELEPHONE MANHOLE
	SANITARY MANHOLE
	STORM MANHOLE
	STORM/SANITARY MANHOLE
	ELECTRIC MANHOLE
	WATER MANHOLE
	WATER VALVE
	GAS VALVE
	UNKNOWN VALVE
	SEWER VENT
	FIRE HYDRANT
	UTILITY POLE/STREET LIGHT
	LIGHT POLE
	TRAFFIC LIGHT
	SIGN
	TREE
	UNDER GROUND STORAGE UNIT
	CITY INLET
	GRATE INLET
	PROPERTY LINE
	EASEMENT LINE



EXISTING CONDITIONS PLAN



LOOKING NORTHWEST TOWARD SLIDE STRUCTURE



PLAYGROUND AT NORTHEAST CORNER OF PARK



SOUTHEAST PERIMETER WALK AND WALL



LOOKING NORTHEAST TOWARD HILLSIDE



LOOKING SOUTH TOWARD SEATWALL



PAVING AND SAFETY SURFACE



SLIDE STRUCTURE

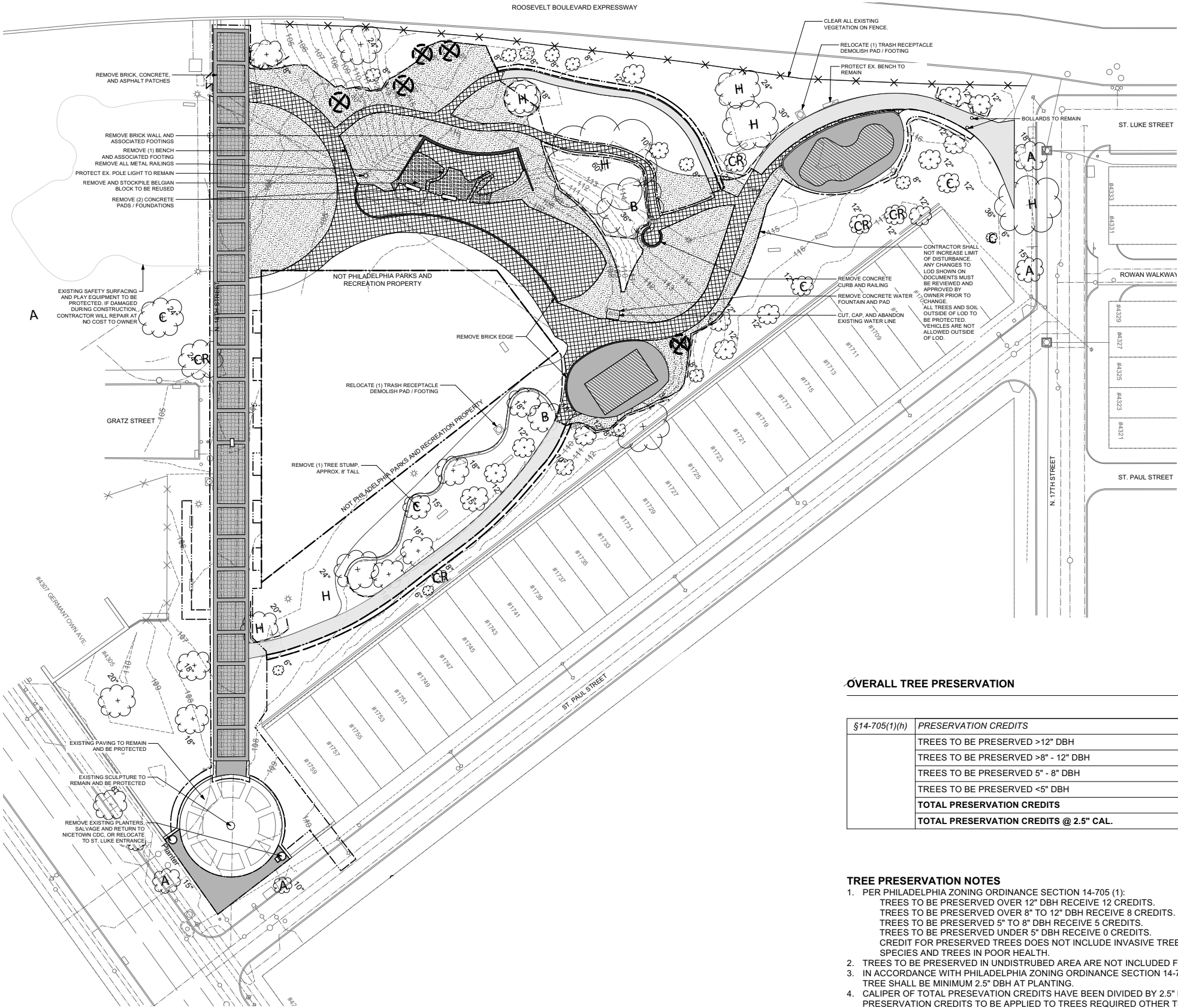


LOOKING NORTH ALONG N. 18TH STREET WALK



ENTRANCE PLAZA

EXISTING CONDITIONS PHOTOS



DEMOLITION LEGEND

- ASPHALT PAVEMENT TO BE REMOVED
- CONCRETE PAVEMENT TO BE REMOVED
- MILL AND OVERLAY
- SAFETY SURFACE TO BE REMOVED
- BELGIAN BLOCK TO BE SALVAGED
- BRICK PAVERS TO BE SALVAGED / REMOVED
- CLEAR AND GRUB VEGETATION
- CLEAR AND GRUB VEGETATION ON FENCE

TREE PROTECTION LEGEND

- LIMIT OF DISTURBANCE
- TREE PROTECTION FENCE, REFER TO 1/L-6.5

OVERALL LANDSCAPE REPLACEMENT REQUIREMENTS

§14-705(1)(d)	LANDSCAPE BUFFERING REQUIREMENTS (8-FT WIDE, 1 TREE, 3 SHRUBS/ 20 LF)	QTY.	LF.
	BUFFER ZONE	N/A	N/A
	REQUIRED TOTAL BUFFERING SHRUBS	N/A	N/A
	REQUIRED TOTAL BUFFERING TREES (50% EVERGREEN)	N/A	N/A
§14-705(1)(e)	YARD TREE REQUIREMENTS (1 TREE/1,600SF. OPEN SPACE)	QTY.	SF.
	OPEN SPACE	102,500	-
	REQUIRED TOTAL YARD TREES	64	-
§14-705(2)	STREET TREE REQUIREMENTS (1 TREE/ 35 LF.)	QTY.	LF.
	STREET FRONTAGE	N/A	N/A
	REQUIRED TOTAL STREET TREES	N/A	N/A
§14-803(5)(c)	PERIMETER SCREENING FROM ABUTTING RESIDENTIAL □ LOT > 5,000 SF.: 8-FT WIDE, 1 TREE, 4 SHRUBS/ 20 LF. □ LOT < 5,000 SF.	QTY.	LF.
	SCREENING ZONE	N/A	N/A
	REQUIRED SCREENING SHRUBS	N/A	N/A
	REQUIRED TOTAL SCREENING TREES (50% EVERGREEN)	N/A	N/A
§14-803(5)(d)	PERIMETER SCREENING FROM PUBLIC STREETS (ALL PARCELS: 5-FT WIDE, 1 SHADE TREE, 4 SHRUBS/ 20 LF.) □ PARCEL > 50,000 SF.: 10-FT WIDE □ PARCEL < 50,000 SF.	QTY.	LF.
	SCREENING ZONE	N/A	N/A
	REQUIRED SCREENING SHRUBS	N/A	N/A
	REQUIRED TOTAL SCREENING TREES (50% EVERGREEN)	N/A	N/A
§14-803(5)(e)	INTERIOR PARKING LOTS & OFF-STREET LOADING □ LOT > 5,000 SF.: 1 SHADE TREE, 3 SHRUBS, 15 PERENNIALS OR GROUND COVER/ 200 SF. □ LOT < 5,000 SF.: 1 SHADE TREE/ 5 PARKING SPACES	QTY.	SF.
	PARKING LOT &/OR OFF-STREET LOADING ZONE	N/A	N/A
	REQUIRED INTERIOR SHRUBS	N/A	N/A
	REQUIRED INTERIOR PERENNIALS OR GROUND COVER	N/A	N/A
	REQUIRED TOTAL INTERIOR TREES	N/A	N/A
	TOTAL TREES REQUIRED (FROM SECTIONS ABOVE)	64	-
	TOTAL TREES REQUIRED MINUS PRESERVATION CREDITS	0	-
§14-705(1)(g)	TREE REPLACEMENT REQUIREMENTS	QTY.	CALIPER (IN.)
	EXISTING NON-HERITAGE TREES TO BE REMOVED	4	52
	EXISTING HERITAGE TREES TO BE REMOVED	0	-
		-	-
		-	-
	TOTAL TREES TO BE REPLACED	4	52
	PROPOSED REPLACEMENT TREES @ 2.5" CAL.	21	-
	TOTAL PROPOSED REPLACEMENT TREES @ 2.5" CAL.	21	

LANDSCAPE REPLACEMENT NOTES

- 4 EXISTING TREES TO BE REMOVED ARE DEAD OR IN POOR HEALTH AND EXCLUDED FROM THE CALIPER TOTALS FOR TREE REPLACEMENT REQUIREMENTS.

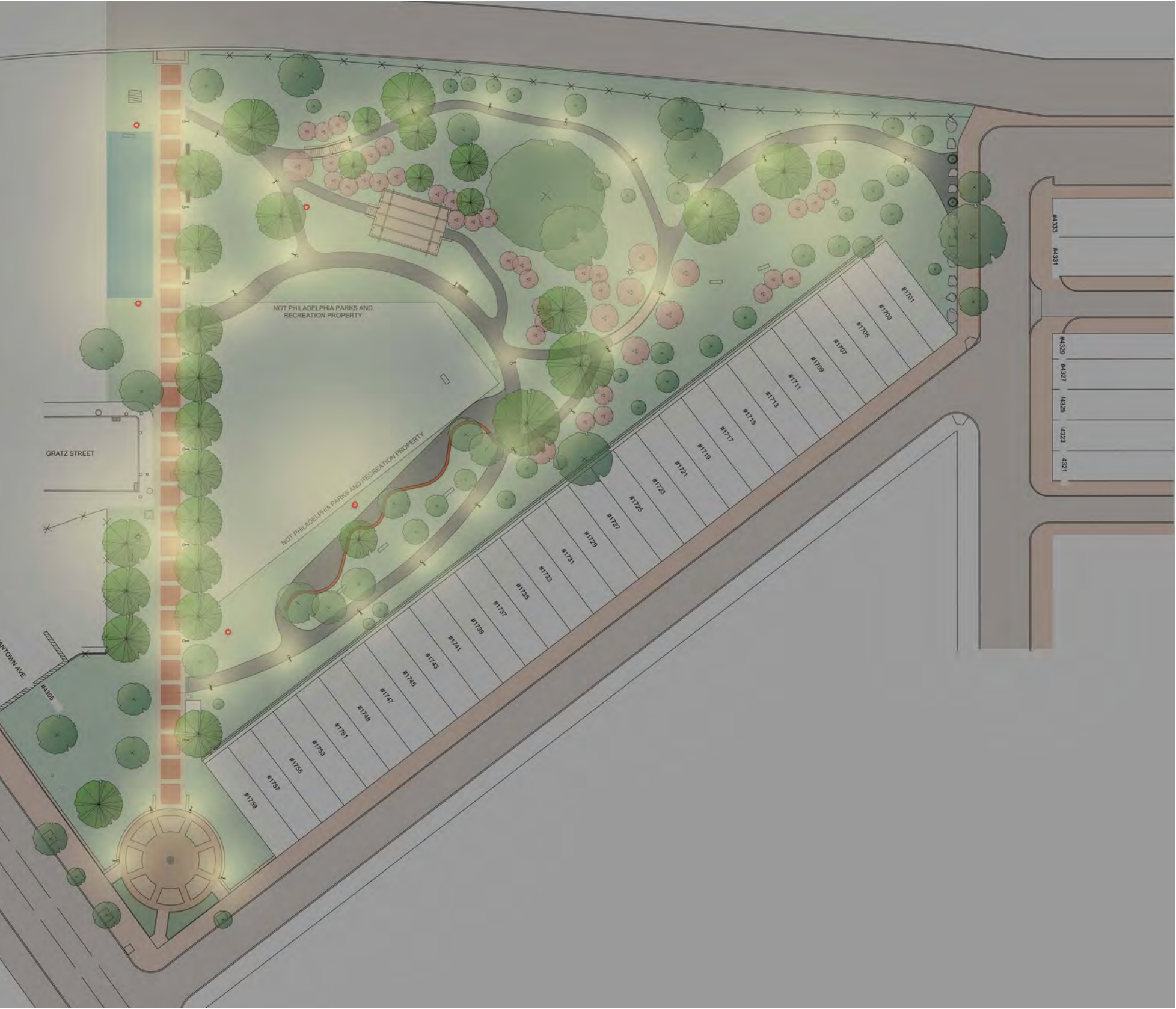
OVERALL TREE PRESERVATION

§14-705(1)(h)	PRESERVATION CREDITS	TREE QTY.	CALIPER (IN.)
	TREES TO BE PRESERVED >12" DBH	24	288
	TREES TO BE PRESERVED >8" - 12" DBH	20	160
	TREES TO BE PRESERVED 5" - 8" DBH	13	65
	TREES TO BE PRESERVED <5" DBH	0	0
	TOTAL PRESERVATION CREDITS	57	513
	TOTAL PRESERVATION CREDITS @ 2.5" CAL.	205	

TREE PRESERVATION NOTES

- PER PHILADELPHIA ZONING ORDINANCE SECTION 14-705 (1): TREES TO BE PRESERVED OVER 12" DBH RECEIVE 12 CREDITS. TREES TO BE PRESERVED OVER 8" TO 12" DBH RECEIVE 8 CREDITS. TREES TO BE PRESERVED 5" TO 8" DBH RECEIVE 5 CREDITS. TREES TO BE PRESERVED UNDER 5" DBH RECEIVE 0 CREDITS. CREDIT FOR PRESERVED TREES DOES NOT INCLUDE INVASIVE TREE SPECIES AND TREES IN POOR HEALTH.
- TREES TO BE PRESERVED IN UNDISTURBED AREA ARE NOT INCLUDED FOR PRESERVATION CREDITS
- IN ACCORDANCE WITH PHILADELPHIA ZONING ORDINANCE SECTION 14-705 (1)(g): EACH REPLACEMENT TREE SHALL BE MINIMUM 2.5" DBH AT PLANTING.
- CALIPER OF TOTAL PRESEVATION CREDITS HAVE BEEN DIVIDED BY 2.5" DBH TO ASSUME QUANTITY OF PRESERVATION CREDITS TO BE APPLIED TO TREES REQUIRED OTHER THAN THOSE UNDER SECTION 14-705(1)(g).

TREE PROTECTION & DEMOLITION PLAN



Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CIRCLE - GRATZ STEET	+	2.6 fc	6.2 fc	0.3 fc	20.7:1	8.7:1
PATH	+	2.8 fc	6.1 fc	0.2 fc	30.5:1	14.0:1
WALKWAY - GRATZ ST	+	3.1 fc	6.3 fc	1.0 fc	6.3:1	3.1:1

Schedule							
Symbol	Label	QTY	Casing Number	Description	Lamp	Number Lamps	Lumens per Lamp
+	A	36	DSC4LxR2-XX-SG350-30-XX-XX-UV			1	3355
+	(E)	9	DSC4LxR5R-XX-SG900-30-XX-XX-UV			1	8147



PPR PEDESTRIAN LIGHTING STANDARD :
SELUX DISCERA 4 FOOTCANDLE

EXISTING FLOOD LIGHTS



RENDERED GLOW PLAN



PPR BENCH STANDARD : DUMOR 160 SERIES (6')



REINFORCED CONCRETE BOLLARD



PPR TRASH RECEPTACLE STANDARD : DUMOR 157 SERIES

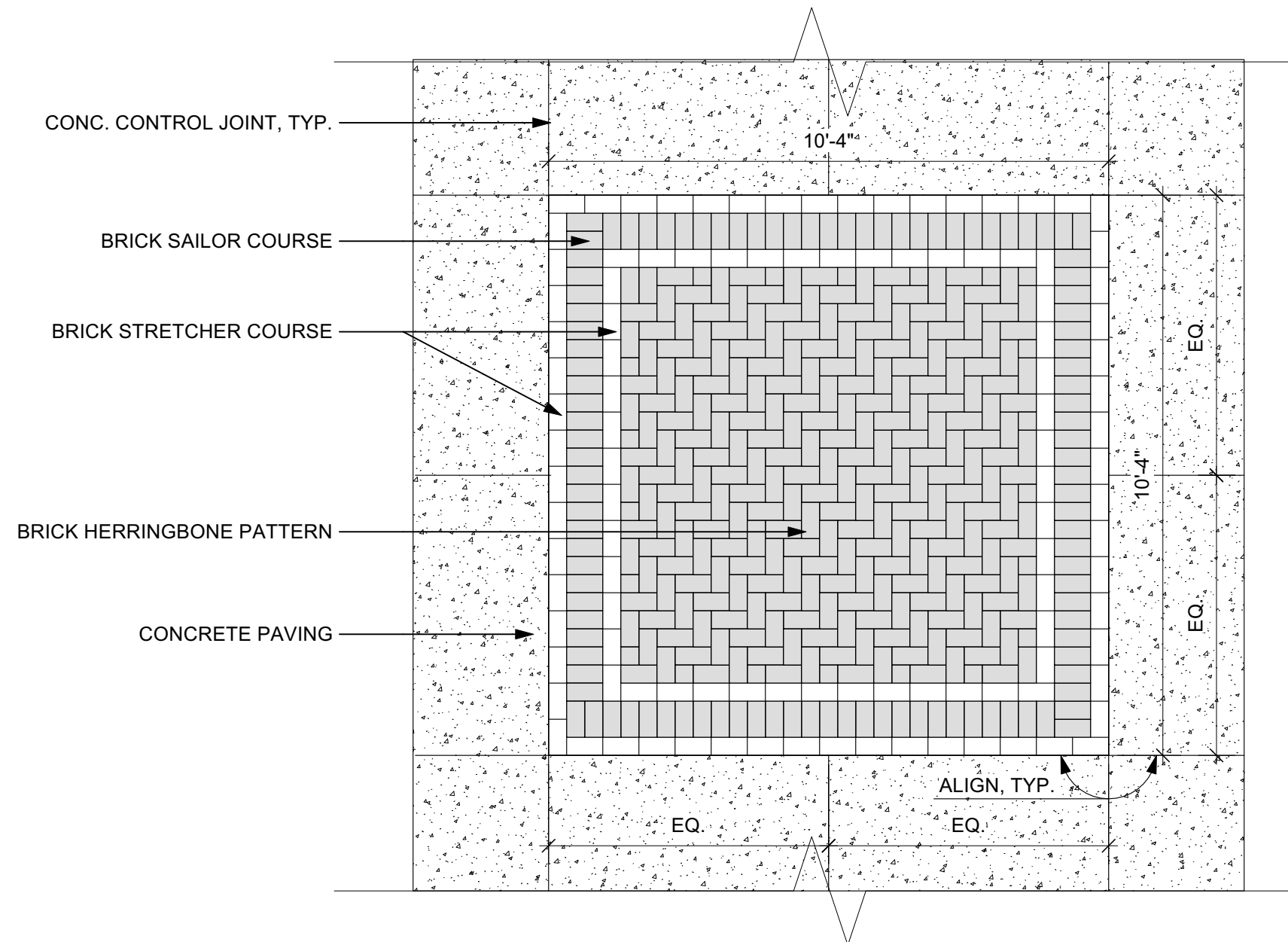


PPR BOLLARD STANDARD : DUMOR 400-36/S-1SL

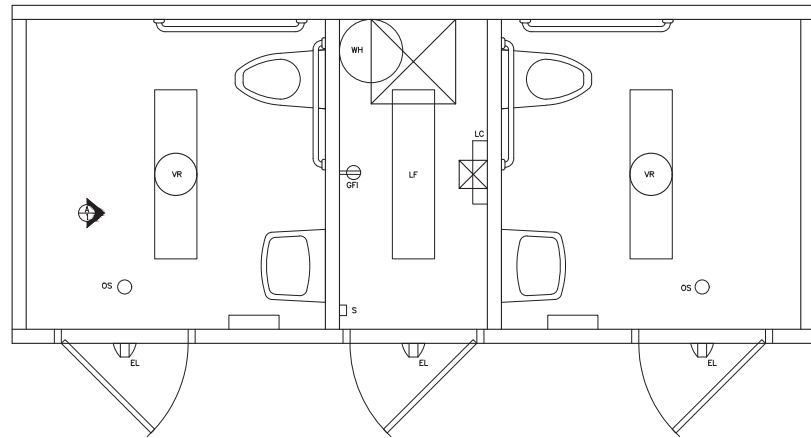


PPR PEDESTRIAN LIGHTING STANDARD : SELUX DISCERA 4

SITE FURNISHING



NORTH 18TH STREET WALKWAY PAVERS



Electrical Plan View

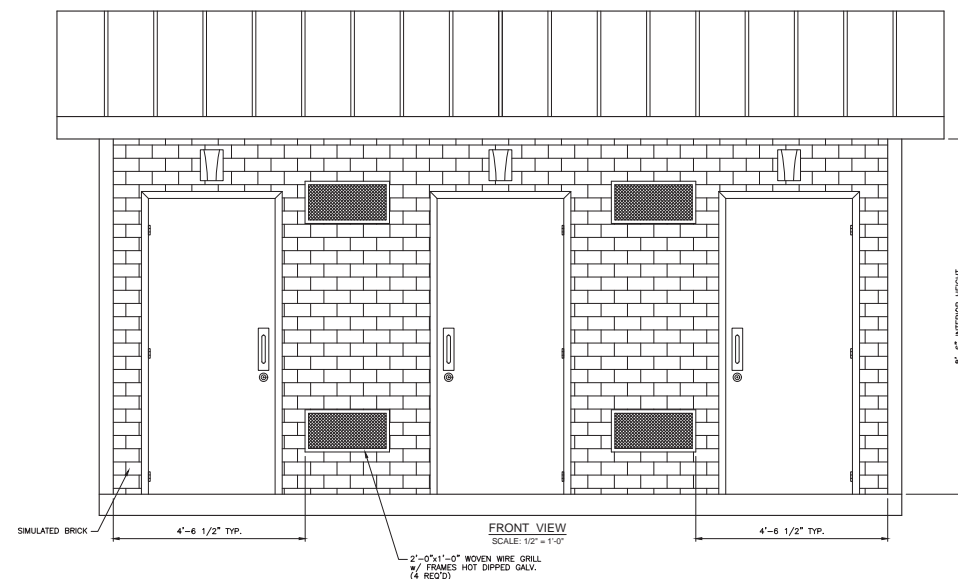


Painted Concrete Walls

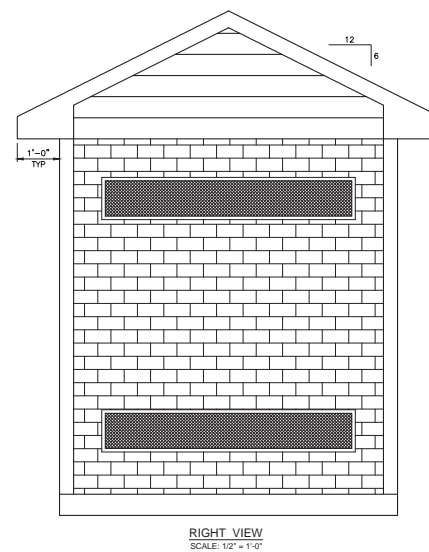


BUCKSKIN

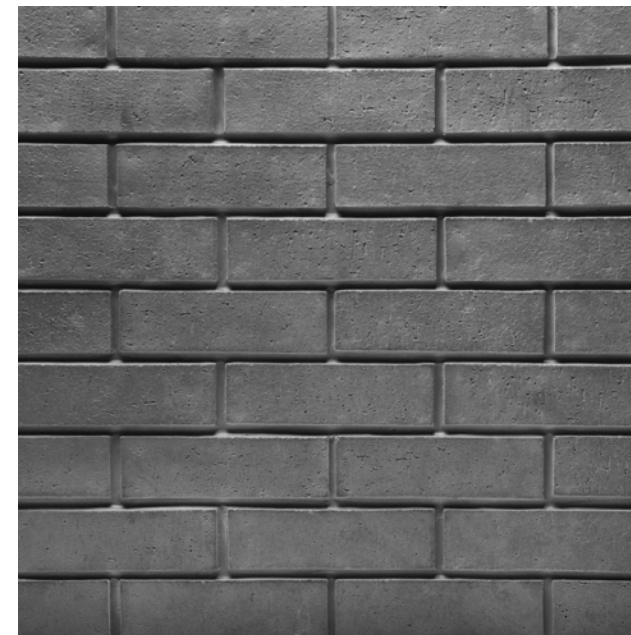
Metal Roof



Front View



Right View



Concrete Wall Form
112-S Modular Brick





TYPICAL CANOPY STRUCTURE : COVERWORX

POWDER COAT COLOR PALETTE



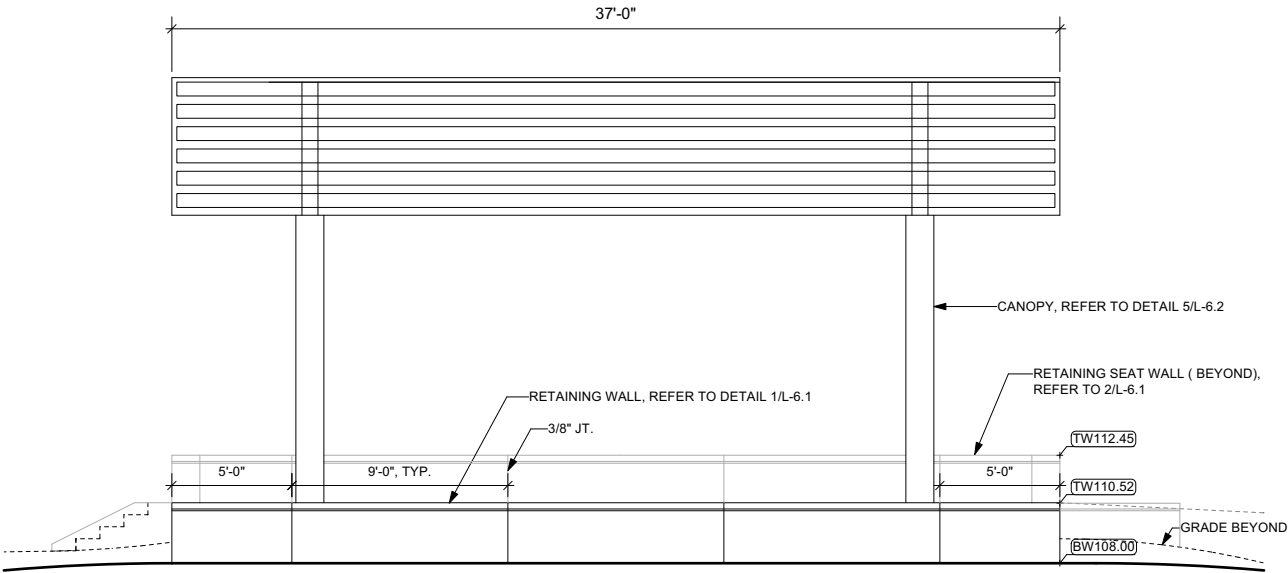
Buckskin



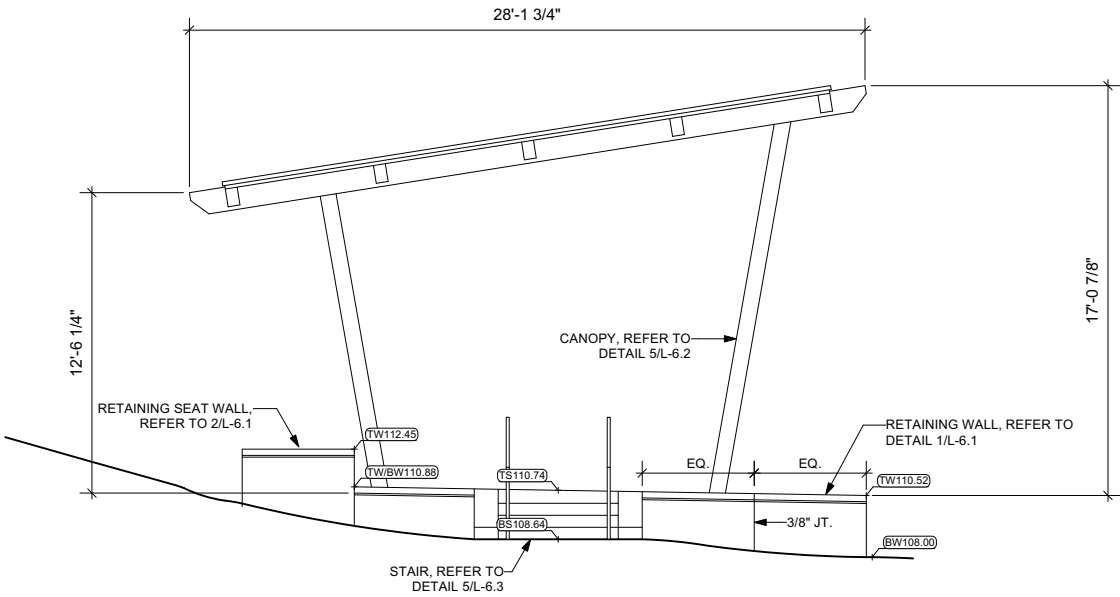
Matte Black

ROOF FINISH

FRAME FINISH

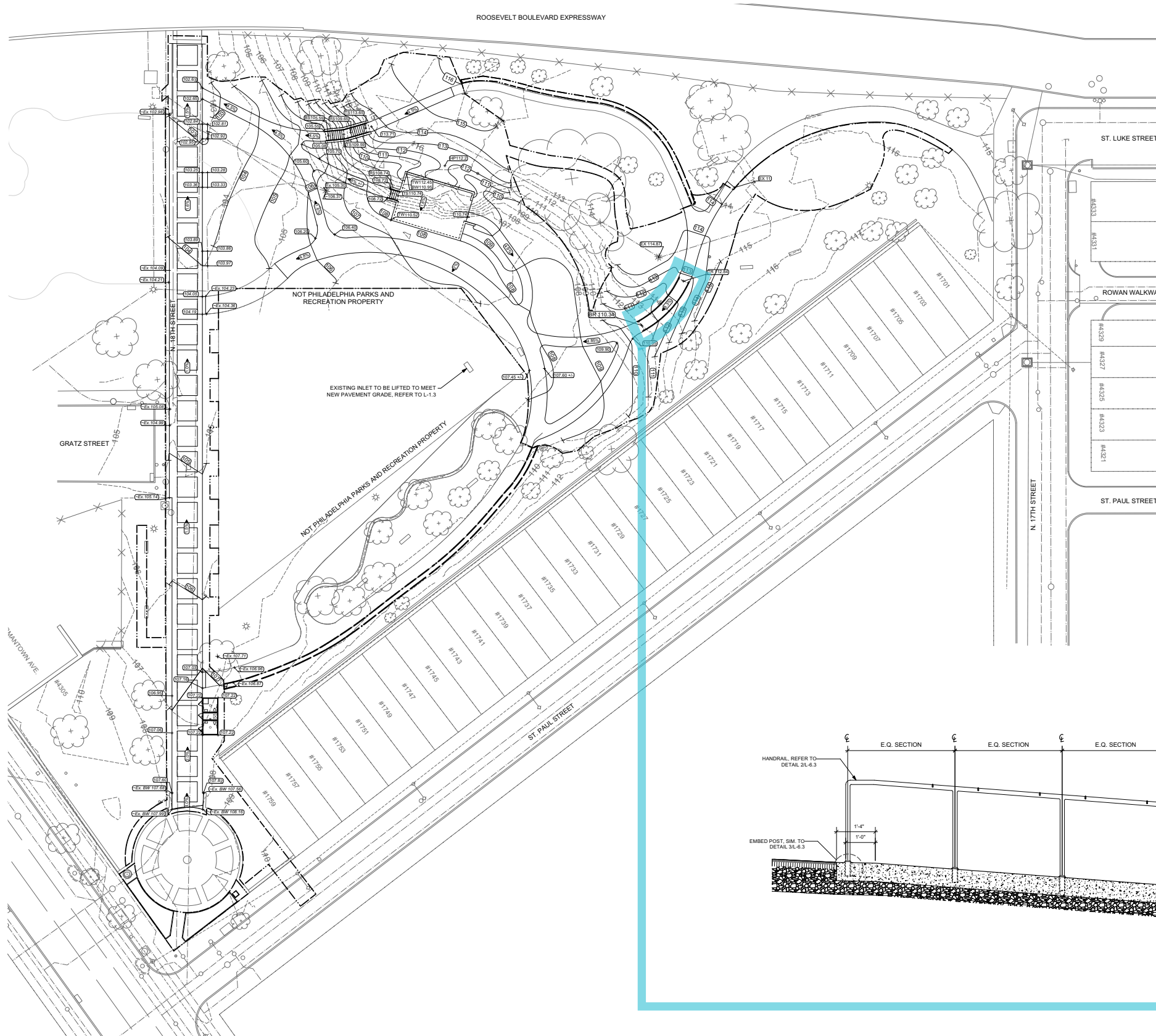


3 FRONT STAGE WALL ELEVATION LOOKING NORTH
L-6.1 Scale: 1/4" = 1'-0"



7 SIDE STAGE ELEVATION LOOKING EAST
L-6.1 Scale: 1/4" = 1'-0"

STAGE AND CANOPY



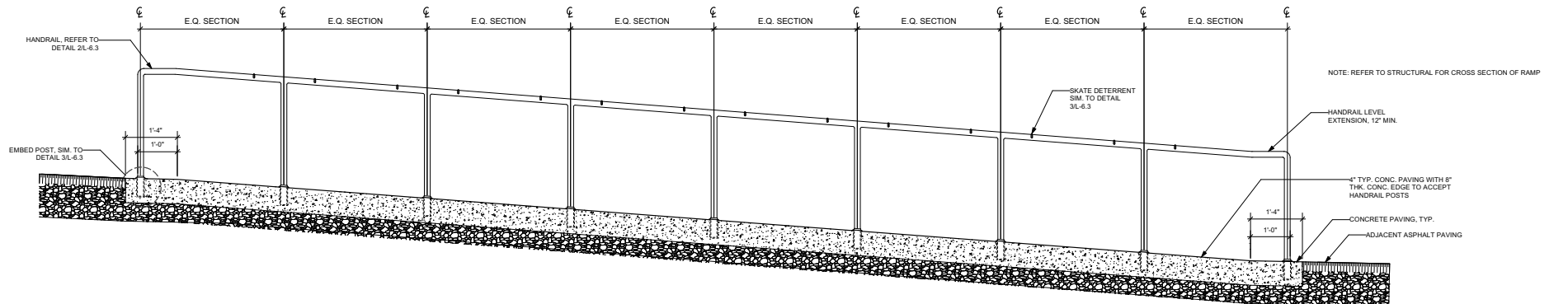
GRADING LEGEND

—	LIMIT OF WORK
×0.00	EXISTING SPOT ELEVATION
+0.00	PROPOSED SPOT ELEVATION
+TW0.00	TOP OF WALL
+BW0.00	BOTTOM OF WALL
+TW0.00	TOP OF STEP
+BS0.00	BOTTOM OF STEP
+HP0.00	HIGH POINT
0.0%	PERCENT SLOPE
0	CONTOUR
V.I.F.	VERIFY IN FIELD

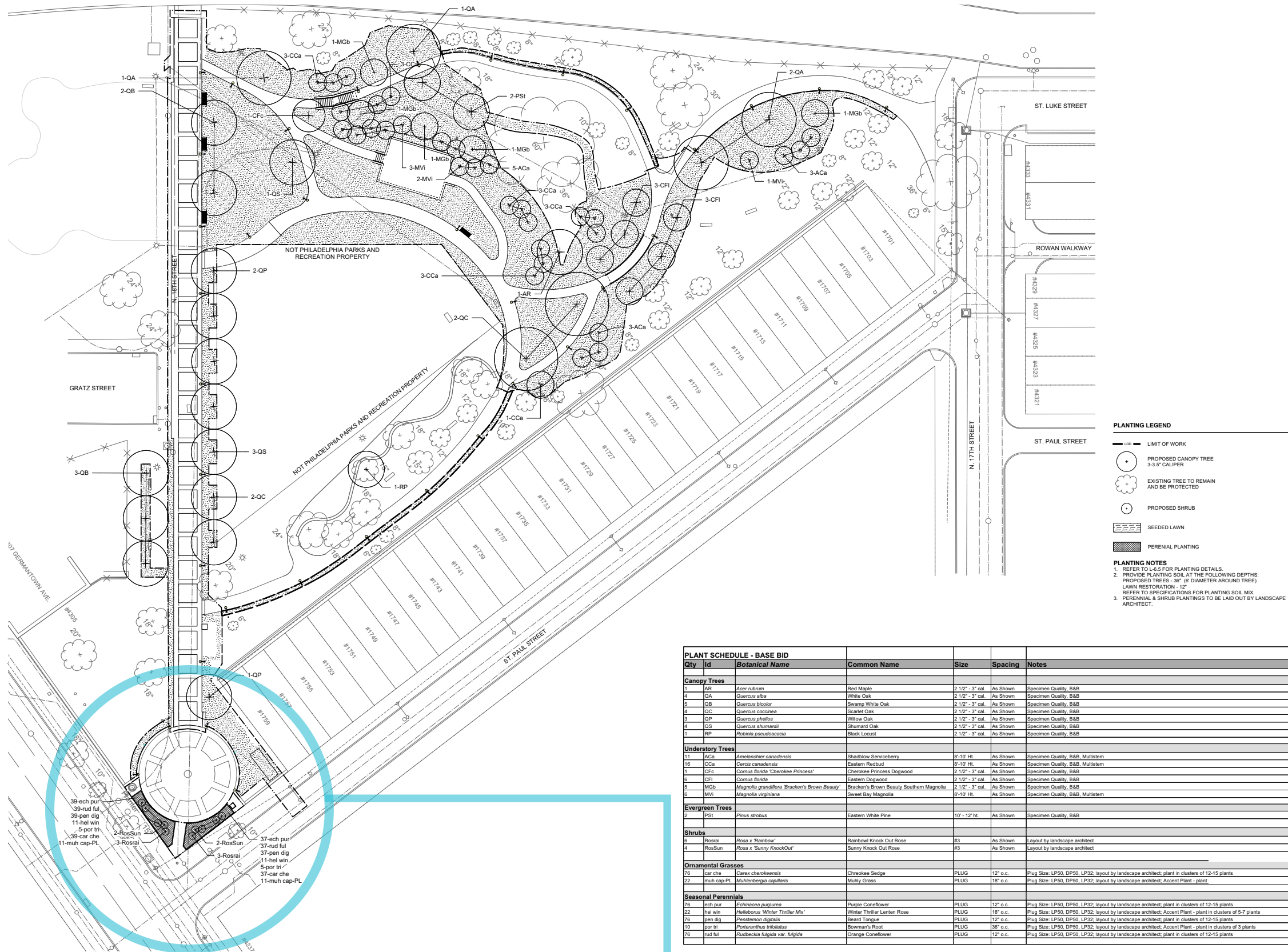
GRADING NOTES

1. ANY DISCREPANCY BETWEEN FIELD CONDITIONS AND DOCUMENTED EXISTING OR PROPOSED CONDITIONS SHALL BE REPORTED TO OWNER IN WRITING.
2. ADJUST EXISTING AND PROPOSED UTILITIES TO MEET FINAL DESIGN CONDITIONS AS NECESSARY.
3. ADJUST TOPS OF ALL MANHOLE LIDS, EXISTING UTILITY STRUCTURES, ETC. TO MEET PROPOSED GRADES.
4. FINISH GRADES OF PAVEMENTS AND SOIL ALONG BOTTOM OF CURBS AND WALLS SHALL HAVE A CONSTANT SLOPE UNLESS INDICATED BY SPOT ELEVATIONS.

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GRADING PLAN



ENTRANCE PLAZA PLANTING



PLANTING PLAN



Acer rubrum
Red Maple

*Canopy Tree



Quercus shumardii
Shumard Oak

*Canopy Tree



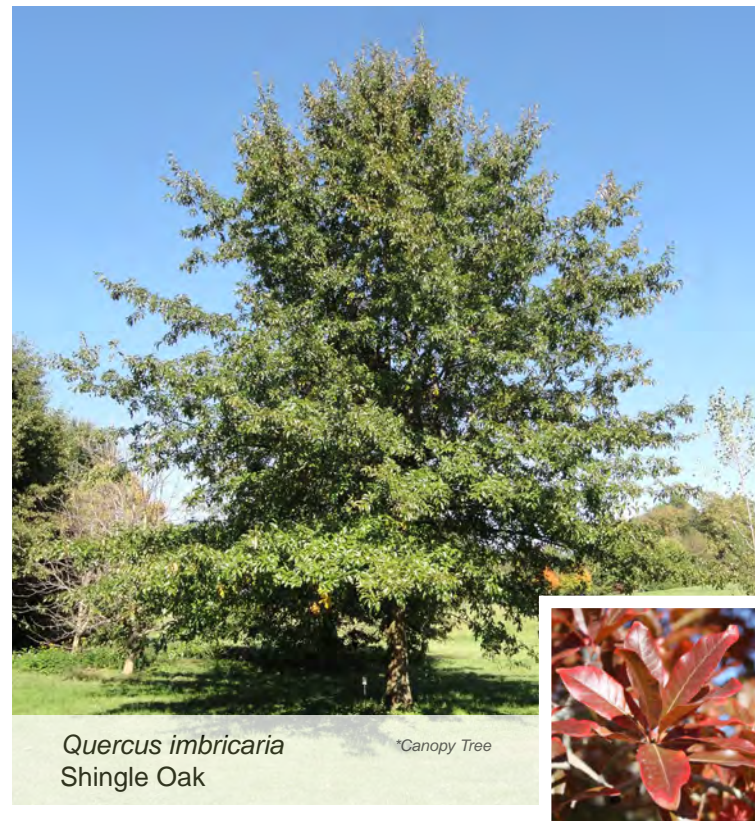
Quercus alba
White Oak

*Canopy Tree



Quercus coccinea
Scarlet Oak

*Canopy Tree



Quercus imbricaria
Shingle Oak

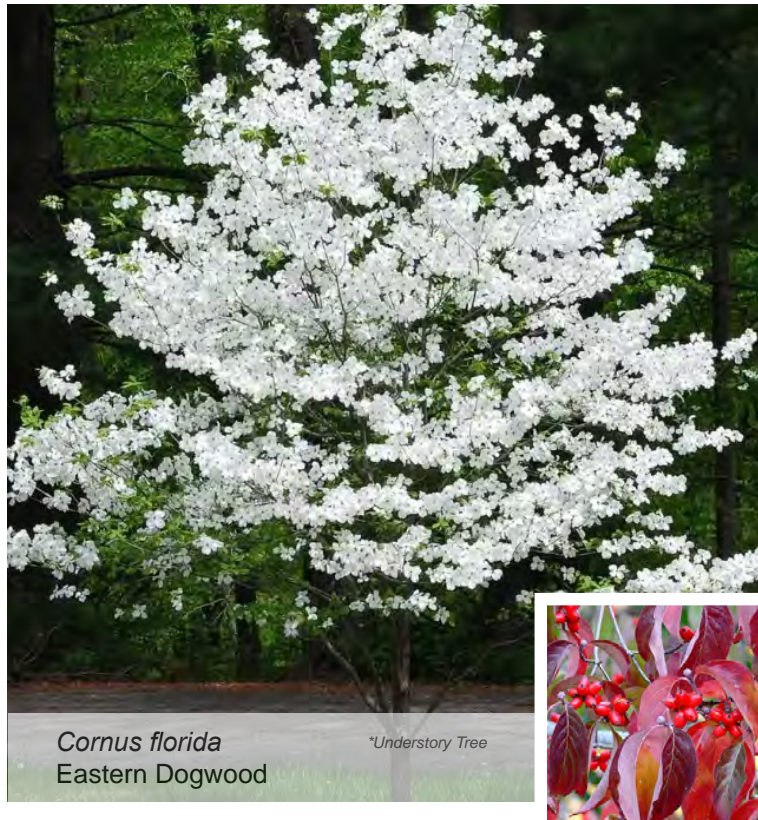
*Canopy Tree



Robinia pseudoacacia
Black Locust

*Canopy Tree

PROPOSED PLANTING



PROPOSED PLANTING



PERSPECTIVE : ENTRANCE PLAZA



PERSPECTIVE : RESTROOM PAST ENTRANCE PLAZA



PERSPECTIVE : N. 18TH STREET WALK



PERSPECTIVE : STAGE AND CANOPY



PERSPECTIVE : STAGE AND CANOPY

