ADDRESS: 647 N 16TH ST

Proposal: Construct four-story addition Review Requested: Final Approval

Owner: Mike Rodgers

Applicant: Devon Loney, Loney Engineering and Consulting, LLC

History: 1875

Individual Designation: None

District Designation: Spring Garden Historic District, Contributing, 10/11/2000 Staff Contact:

Allyson Mehley, allyson.mehley@phila.gov

BACKGROUND:

This application seeks final approval for a four-story rear addition with roof deck and pilot house at 647 N. 16th St. The building was constructed circa 1875 as a three-story row home with rear ell. The applicant is proposing to rehabilitate the building and add the addition for future use as a four-family residential property. As part of the scope of work, the rear ell's roof and select areas of the back wall will be demolished. Elements of the proposed scope such as the cleaning and repointing of masonry can be approved administratively by staff.

SCOPE OF WORK:

Construct four-story addition with roof deck and pilot house.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
 - The massing and scale of the addition is not compatible with the original main block of the building. The new fourth floor rises six feet above the main block to accommodate the new floor of the rear section of the building. Therefore, the proposed new addition does not meet Standard 9.
- Standard 10: New additions and adjacent or related new construction will be undertaken
 in such a manner that, if removed in the future, the essential form and integrity of the
 historic property and its environment will be unimpaired.
 - The proposed addition permanently removes the original ell's roof and does not appropriately detail the transition between the historic roofline and the additional new wall; therefore, the application does not meet Standard 10.
- Roofs Guideline | Recommended: Designing rooftop additions, elevator or stair towers, decks or terraces, dormers, or skylights when required by a new or continuing use so that they are inconspicuous and minimally visible on the site and from the public rightof-way and do not damage or obscure character-defining historic features.
 - The pilot house is partially located on the front block of the building and is approximately 12 feet is height. If the applicant moves the pilot house back to the rear ell area of the building and lowers the pilot house height, it can meet the Roof Guidelines. If the pilot house is set back further and lowered in height, the deck and pilot house will not be visible from N. 16th Street and will be minimally visible from North Street.

STAFF RECOMMENDATION: The staff recommends denial, pursuant to Standards 9 and 10, and Roof Guidelines.

IMAGES:

Figure 1: Aerial view of the existing rear condition of 646 N 16th St. CONNECTExplorer, 2020.



Figure 2: Figure 2: Aerial view looking south. CONNECTExplorer, 2020.



Figure 3: View along North Street toward rear of 646 N 16th Street. Photo by PHC staff.





January 9, 2023

Recipients:

Philadelphia Historical Commission 1515 Arch St., 13th Floor Philadelphia, PA 19102 Email: preservation@phila.gov

Mike Rodgers (Owner) 647 N. 16th St Philadelphia, PA 19130 M. Rodgers 37@yahoo.com

Subject: 647 N. 16th St, Philadelphia, PA 19130 (CP-2022-007217) – Proposal Description

To Whom It May Concern:

Loney Engineering & Consulting, LLC (LEC) is providing this summary description of the proposed rehabilitation project at 647 N. 16th St in concurrence with the Commission's Rules & Regulations for an application review. LEC previously submitted this application via eClipse and was later directed to submit this information via email to preservation@phila.gov.

The existing property is a 3-story, 2-family attached residence with brick masonry exterior walls and wood floor/roof framing. Photos of the existing front façade from the public right-of-way are provided in Attachment 1. The scope of work includes a rear 3-story addition, pilot house, roof deck, and interior alterations to provide for the 4-family use (LEC notes that Zoning plans for the proposed use and addition dimensions were approved by L&I under application ZP-2022-012848). To accommodate the addition, the entire roof structure at the rear of the existing property will be demolished, and the rear wall will be partially demolished in select locations to provide access from the existing building and the proposed addition. The rear masonry side walls will remain mostly intact, except for select locations to be demolished for access passageways as indicated in the plans. The proposed addition and pilot house will be located approximately 28-ft and 22-ft, respectively, from the front façade. As such, we do not anticipate these elements being visible from the public right-of-way. Additionally, the front 22-ft of the existing roof will remain unchanged. The front façade, windows, and doors will remain and are not proposed to be replaced under this application. The existing brick will be power washed and repointed with mortar matching the existing mortar of the façade. This mortar mix will include lime, with a typical ratio of 1 part Portland cement, 2-2.5 parts lime, and 6 parts sand. A sample shall be provided to the Commission after the permit is issued. The existing window/door trims, cornices, and garage door shall remain and will only be restored with new finish paint matching the existing conditions. Paint samples shall also be provided to the Commission after the permit is issued.

The remainder of the scope of work is located on the interior of the existing structure and within the rear of the property, which is not visible from the public right-of-way due to the attached nature of the buildings. This is also demonstrated in the photos in Attachment 1.

If you have any questions or concerns, please feel free to contact us directly at the information below. Thank you for your consideration!



Respectfully,

Devon Loney, P.E.

Loney Engineering & Consulting, LLC

DEVON M. LONEY

President | Lead Engineer

Email: info@loneyengineering.com

Phone: (445) 895-1666

Attachments:

1. Photos from Public Right-of-Way

- 2. Building Permit Application
- 3. Architectural/Structural Plans





Photo 1: Front Facade from ROW



Photo 3: Existing Rear Yard (Future Addition above existing rear portion (walls to remain, rear roof to be demolished). New extension from rear wall to limits in plan.



Photo 2: Front Facade from ROW



Photo 4: Existing Rear Sidewall (Wall Structure to Remain)





Photo 5: New Addition from the Rear of this Existing Wall to the Rear of the Building. All existing walls shown will remain.



Photo 6: View from Existing 3rd-Floor Window Looking to Rear (Subject Property to the Right). Brick wall to remain, Roof to be Demolished for new Addition above

647 N. 16TH ST PHILADELPHIA, PA 19130

OPA ACCOUNT NO. - 084116500

ZONING DESIGNATION - RESIDENTIAL MULTY-FAMILY-1 (RM-1)

PROJECT DESCRIPTION - NEW ADDITION AND MULTI-FAMILY ALTERATION WITHIN EXISTING 3-STORY RESIDENTIAL STRUCTURE. SCOPE INCLUDES HT-OUT OF FOUR (4) DWELLING UNITS, NEW REAR 3-ADDITION WITH REAR BALCOMIES, ROOF DECK AND ACCESS STRUCTURE (FUL) HOUSE), AND APPLICABLE FIXTURES AND FINISHES. FRONT FACADE, AND +/- 28'-0" OF ROOF STRUCTURE TO REMAIN UNCHANGED TO PROTECT PUBLIC VIEWS OF THE HISTORICAL PROPERTY, BRICK POINTING AND POWER WASHING AT FRONT FACADE SHALL MEET HISTORICAL COMMISSION STANDARDS

CONSTRUCTION DOES NOT EXTEND INTO PUBLIC RIGHT OF WAY.

SPECIAL INSPECTIONS REQUIRED - SEE ASSOCIATED STATEMENT SPECIAL INSPECTION FORMS.

AREA OF EARTH DISTURBANCE: - 394 SQ. FT.

LOT AREA - 2022 SQ. FT

OCCUPANCY: RM-2 (ALL FLOORS)

ALLI ADDDOVAL STAND

- 1. THIS SET OF DOCUMENTS CONTAINS MULTIPLE NOTES AND DETAILS OF SPECIFIC AREAS, IF ANY OF THE NOTES OR DETAILS CONFLICT WITH OR CONTRADICT ANOTHER NOTE OR DETAIL, THE G.C. SHALL CALL THE CONSTRUCTION MANAGER AND ARCHITECT(FOR ARCHITECTURAL SHEETS) OR THE ENGINEER (FOR M.E.P. SHEETS) BEFORE BEGINNING WORK TO OBTAIN WRITTEN CLARIFICATION OR CORRECTION FROM THE ARCHITECT OR ENGINEER. IF THE G.C. FAILS TO REQUEST CORRECTION FROM THE ARCHITECT OR ENGINEER AND OBTAIN OWNER APPROVAL BEFORE DOING THE WORK AND IF THAT WORK NEEDS TO BE REDONE. IT SHALL BE REDONE BY THE G.C. AT THE G.C.'S EXPENSE, ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR USING STANDARD INDUSTRY CONSTRUCTION PRACTICES
- 2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK, ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE NOMINALLY ADJUSTED AS NEEDED IN THE FIELD TO PERFORM THE WORK
- 3. CONTRACTOR SHALL USE MATERIALS THAT CONFORM TO APPLICABLE SECTIONS OF 2018 IBC OR AS OTHERWISE SPECIFIED HEREIN.
- 4. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS, INCLUDING, BUT NOT
- TEMPORARY SUPPORTS TO PROTECT EXISTING AND ADJACENT STRUCTURES SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS TO BE DEMOLISHED.
- 5. MAINTAINING SAFE AND CODE-COMPLIANT ACCESS DURING CONSTRUCTION,
- 6. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM AND FOR ENSURING THAT ALL WORK CONFORMS TO THE GOVERNING CODES AND DESIGNS PROVIDED BY THE ELECTRICAL ENGINEER UNDER SEPARATE APPLICATION. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ELECTRICAL SYSTEM.
- THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE HVAC SYSTEM. THE MECH, CONTRACTOR SHALL COORDINATE W. THE GENERAL CONTRACTOR IN PERFORMING HIS WORK AND CONFORMING TO DESIGNS PROVIDED BY THE MECHANICAL ENGINEER UNDER SEPARATE APPLICATION. THE STRUCTURAL FRAMING MEMBERS, BEAMS AND COLUMNS SHALL NOT BE ALTERED IN ANY WAY WITHOUT APPROVAL OF A STRUCTURAL ENGINEER.
- THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE PLUMBING SYSTEM. THE PLUMBING CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR IN PERFORMING HIS WORK AND CONFORMING TO DESIGNS PROVIDED BY THE MECHANICAL ENSIREE UNDER SEPARATE APPLICATION. THE STRUCTURAL FRAMING MEMBERS, BEAMS AND COLUMNS SHALL NOT BE ALTERED IN ANY WAY WITHOUT APPROVAL OF A STRUCTURAL ENGINEER
- 9. DETAILING OF INTERIOR AND EXTERIOR FINISHES IE: MILL WORK, TRIM, BUILT-INS, CASE WORK, ETC... SHALL BE THE RESPONSIBILITY OF THE GO

REQUIRED CONSTRUCTION RATINGS REQUIRED CONSTRUCTION RATE DWELLING UNIT SEPARATIONS -DWELLING UNIT DOORS -EXIT STAIRS/CORRIDORS -EXTERIOR SIDE WALLS -

PROPOSED INTERIOR BUILDING AREA -

BASEMENT FIRST FLOOR SECOND FLOOR MAZZANINE FLOOR

SEISMIC DESIGN = F

APPLICABLE CODES: 2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL EXISTING BUILDING CODE DESIGN OCCUPANT LOADS:

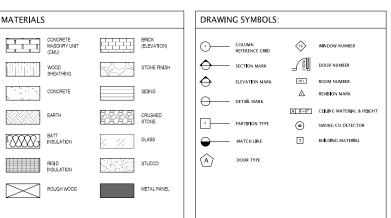
DESIGN TEMP = 14 DEGREES WIND SPEED = 115 MPH SNOW LOAD = 30 PSF STAIRS LIVE LOAD = 40 PSF LIVING AREA FLOOR LIVE LOAD = 40 PSE ROOF LIVE LOAD = 40 PSF ROOF DEAD LOAD = 10 PSF GUARD/HANDRAIL LIVE LOAD = 200LB (CONCENTRATED)

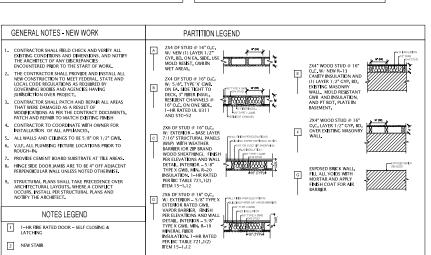
	PHILADELPHÍA, PA 19130 CONTACT: XXX EMAIL: XXX@gmail.com
ARCHITECT/ STRUCTURAL ENGINEER:	LONEY ENGINEERING & CONSULTING 3502 SCOTTS LANE SUITE 1101, PHILADELPHIA, PA 19129 CONTACT. DEVON LONEY EMAIL INFO@LONEYENGINEERING.COM
GENERAL CONTRACTOR	
MEP ENGINEER/ CONSULTANT	TBD SEPARATE PERMIT APPLICATIONS



PROIECT LOCATION

DRAWING#	DRAWING TITLE	DATE	REVISION
G-100	COVER SHEET AND PROJ INFO	12/15/22	
AD-100	DEMOLITION PLANS	12/15/22	
A-000	EGRESS PLAN	12/15/22	
A-100	PROPOSED FLOOR PLANS 1	12/15/22	
A-101	PROPOSED FLOOR PLANS 2	12/15/22	
A-200	BUILDING ELEVATIONS	12/15/22	
A-300 BUILDING SECTION		12/15/22	
A-400	A-400 ENLARGED PLANS		
A-500	A-500 ARCHITECTURAL DETAILS		
S-000	STRUCTURAL NOTES	12/15/22	
S-100	STRUCTURAL FRAMING PLANS 1	12/15/22	
S-100	S-100 STRUCTURAL FRAMING PLANS 2		
S-101	LATERAL BRACING PLANS	12/15/22	
S-500	STRUCTURAL DETAILS 1	12/15/22	
S-501	STRUCTURAL DETAILS 2	12/15/22	

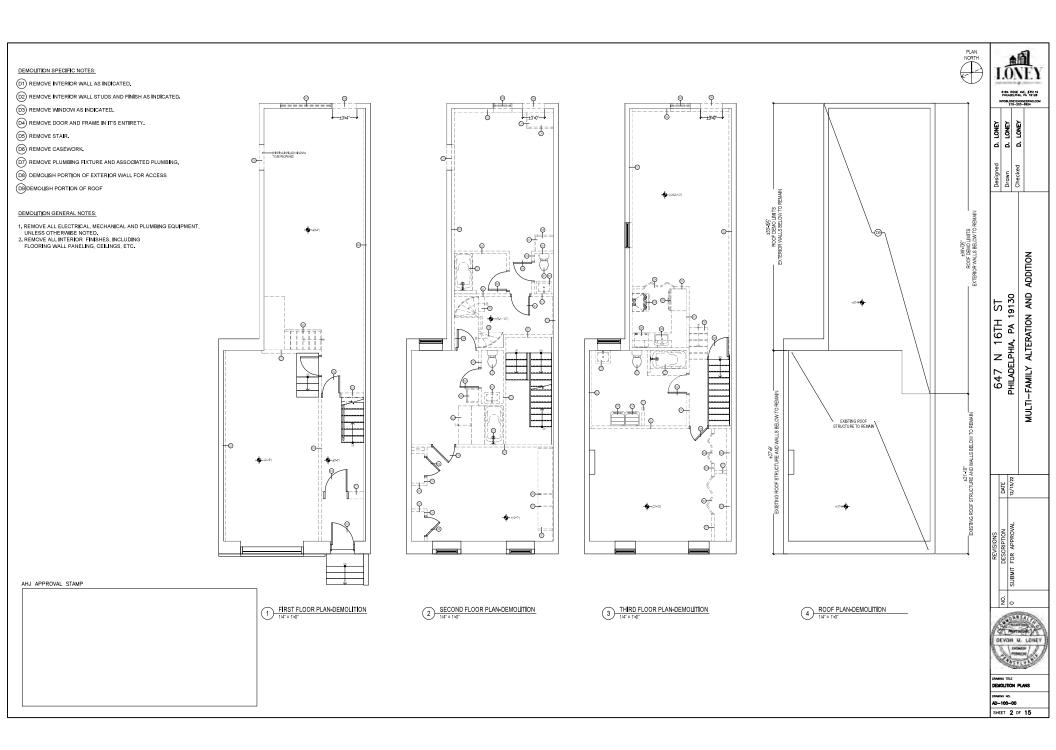




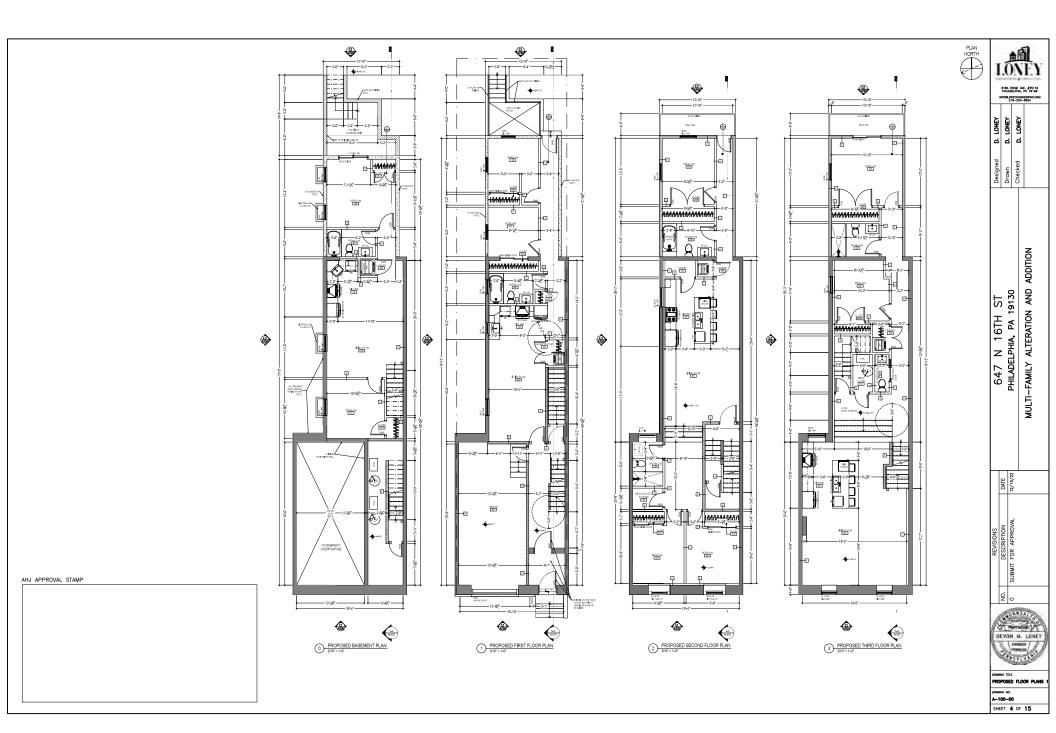


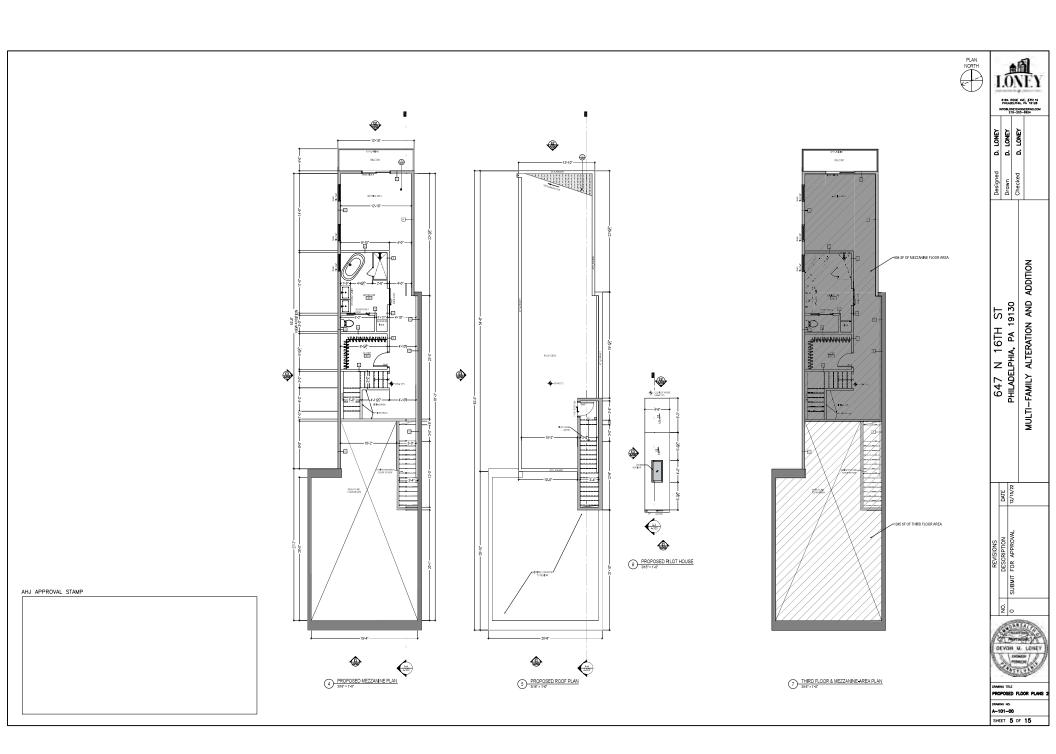
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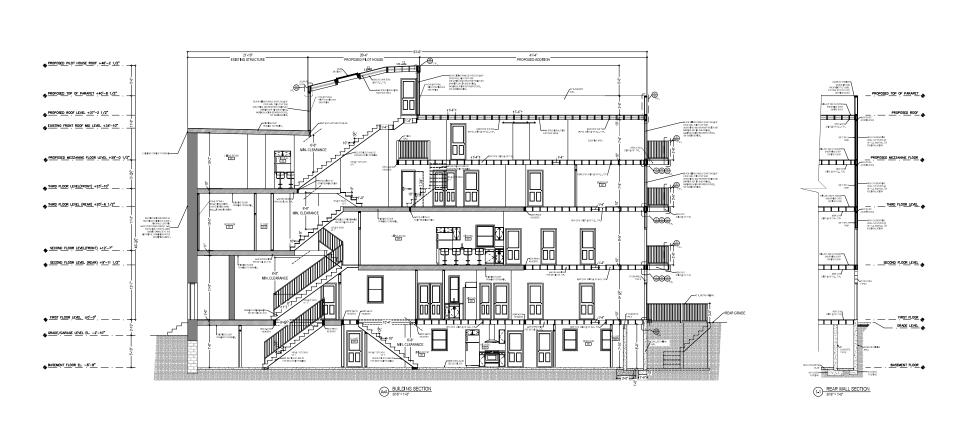












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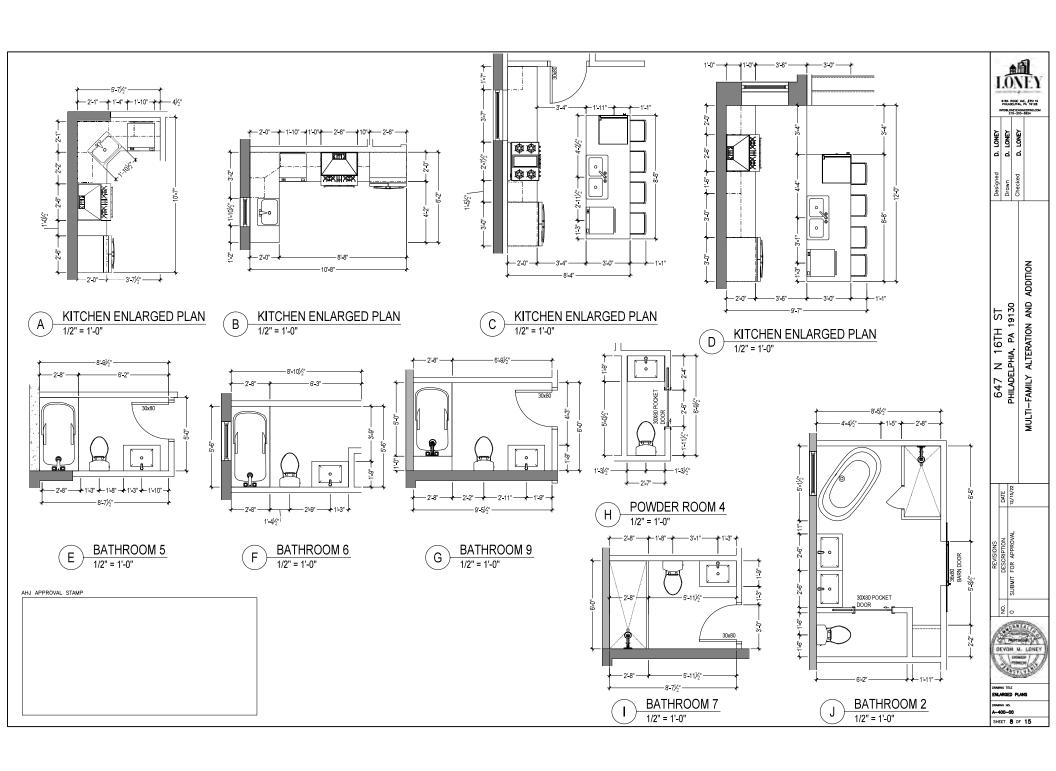
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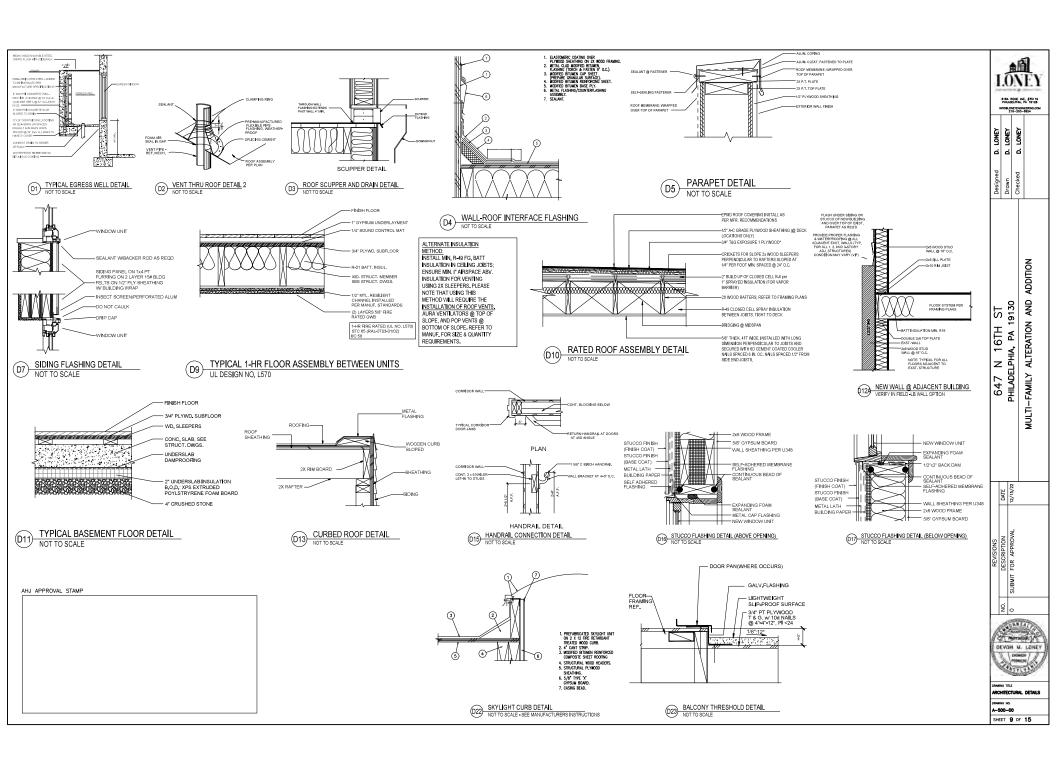
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BUILDING SECTION

A-300-00 SHEET **7** OF **15**





1 GENERAL REQUIREMENTS ONTRACT DOCUMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, BUT DO NOT NOUT ON THE STRUCTURAL DRAWINGS, VENDOR DRAWINGS, OR MATERIAL PREPARED AND SUBMITTED BY THE CONTRACTOR. B. CONTRACT DOCUMENTS SHALL GOVERN IN THE EVENT OF A CONFLICT WITH THE CODE OF PRACTICE OR SPECIFICATIONS OF ACI, PCI, ASC, SI OR OTHER STANDARDS. WHERE A CONFLICT OCCURS WITHIN THE CONTRACT DOCUMENTS, THE STRICTEST REQUIREMENT SHALL GOVERN C. NO PROVISION OF ANY REFERENCED STANDARD SPECIFICATION, MANUAL OR CODE (WHETHER OR NOT SPECIFICALLY INCORPORATED IN OPPOSITION OF ANY REPREMEED STANDARD SPECIFICATION, MAINLY, OR COCK (WHETHER OR NOT SPECIFICALLY INCONOMINATE OR REPREMEER IN THE OWNINGEN COLUMNIST OF ANY AND ALL IS PERCENTED FOR ANALY THE DUTIES AND ASSOCIATIONS OF THE OWNING. OWNINGED COLUMNIST, AND ASSALL IT IS EFFECTIVE TO ASSOCIATION OF STRUCTURAL ROWLERS OF RECORDS ON ANY OF THE STRUCTURAL ROBINGED OF ECORDS COSMILISTAN, AGAINS, OR BENEFORE SAN UNDIT OR ALTHORITY TO UNDERTAKE RESPONSIBILITIES ON THE THE PROVISIONS OF THE CONTINACTION CHARMS. D. THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE LOADS AND MATERIALS IND ON THE DRAWINGS. THE STRUCTURAL ENGINEER HAS ONLY REVIEWED STABILITY OF THE STRUCTURE IN ITS COMPLETED FO E. CONTRACTOR HAS SOLE RESPONSIBILITY FOR MEANS AND METHODS, SAFETY, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION CONTRACTOR HAS SOLE RESPONSIBILITY TO COMPLY WITH ALL COMPRESSIONS.

- DETERMINATION OF ALLOWABLE CONSTRUCTION LOADS AND DESIGN OF CONSTRUCTION FALSEWORK, FORMWORK, STAGING, BRACING, SHEETING AND SHORING, ETC. IS SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- F. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR USING STANDARD INDUSTRY CONSTRUCTION PR
- G. ALL ARCHITECTURAL PLANS BY OTHERS. ENGINEER IS NOT RESPONSIBLE FOR NON-STRUCTURAL CODE REQUIREMENTS. WHERE PLA READ "SEE ARCHITECTURAL PLANS, SEE ARCH PLANS, BY OTHERS, OR SIMILAR, SUCH DETAILS SHALL BE PROVIDED OTHER ENTITY AS
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- I. THE STRUCTURE IS STABLE ONLY IN ITS COMPLETED FORM. TEMPORARY SUPPORTS REQUIRED FOR STABILITY DURING ALL INTERMEDIATE STAGES OF CONTRICTION SHALL BE DESIGNED. RURNING BY. AND INSTALLED BY THE CONTRACTOR CONTRACTOR RESPONSIBLE FOR CONSTRUCTION OF FALSIVORS RESPONSIBLE FOR CONSTRUCTION OF FALSIVORS TEMPORARY BRACING, ETC. CONTRACTOR IS SOLLLY RESPONSIBLE FOR IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION.
- J. EXISTING BUILDING INFORMATION SHOWN IS AS INDICATED ON EXISTING BUILDING DRAWINGS PROVIDED BY OTHERS, FIELD VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, UTILITIES, ETC.) AND NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- . WHERE A SECTION OR DETAIL IS SHOWN OR DETAILED FOR ONE CONDITION, IT SHALL APPLY TO ALL SIMILAR AND LIKE CONDITIO THE CONTRACTOR SHALL CONSIDER ALL OF THE CONTRACT DOCUMENTS OF ALL DISCIPLINES IN DETERMINING SIMILAR AND LIKE
- L. DO NOT SCALE DRAWINGS OR MEASURE OBJECTS IN ELECTRONIC FILES TO DETERMINE DIMENSIONS. NOTIFI-ARCHITECT/STRUCTURAL ENGINEER OF ANY DISCPREPANCIES OR REQUIREMENTS FOR ADDITIONAL DIMENS
- MLONEY ENSINEERING & CONSULTING, LIC DOES NOT PROVIDE ANY WARRANTY, EXPRESSED OR IMPUED, FOR CAD OR BIM FILE PROVIDED TO THE CONTRACTOR NOR ANY GUARANTEE OF THE ACCURACY OF INFORMATION FURNISHED VIA ELECTRONIC FOI ALL CASS, THE HARD COPY OF THE STRUCTURAL CONTRACT DOCUMENTS SUPERSIDES ANY AND ALL CAD OR BIM FILES.

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL REQUIRED SAFETY PLANS TO OBTAIN DEMOLTION PERMITS AS REQUIRED BY THE LOCAL JURISDICTION. CONTRACTOR SHALL DEVILOP FULL SAFETY PLAN FOR THE DEMOLTION OF THE EXISTING STRUCTURE AND PROTECTION OF REMAINING AND DAJACENT STRUCTURES.
- B. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR TEMPORARY FENCING, SIDEWALK/STREET CLOSURES, AND OTHER APPROVALS AS REQUIRED BY THE SCOPE OF WORK.
- C. CONTACTOR SHALL DESIGN AND PROVIDE TEMPORARY BRACING AND SUPPORT SYSTEMS TO PROTECT EXISTING STRUCTURES TO REMAIN AND ADJACENT STRUCTURES AS REQUIRED BY THEIR MEANS AND METHODS FOR DEMOLITION.
- D. PRIOR TO DEMOLITION OF EXISTING BEARING WALLS, EXISTING TO REMAIN JOISTS SHALL BE TEMPORARILY SUPPORTED WITH 2X4 PRIOR IT DEMOLITION. PERSINS RESERVING WALLS, ESSINING TO REMAIN JOINS SHALL BE INTURVABINE SUPPORTED WITH AN SMIGE IT ON-BOTTOM PLATE WALLS. TEMPORARY WALLS SHALL BE INSTALLED ON EACH FLOOR LEVEL, INCLUDING THE BASEMENT TO PROVIDE A CONTINUOUS LOAD PATH TO THE BASEMENT SIAS, LIVE LOADS ON THE FLOOR JOINTS SHALL BE LIMITED TO 20 PS WHILE TEMPORARIY SUPPORTED. CONTRACTOR TO PROVIDE LATERAL BRACING AS NECESSARY.

- UILDING CODE / PESIGNE VISICEM.

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- THE 2019 INTERNATIONAL BUILDING CODE INCLUDING ALL BUILDETING AND AMENDMENTS TO DATE DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES", ASCE 7-16 AMERICAN SOCIETY OF CIVIL ENGINEERS
- II "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", ACL 318-11 AMERICAN CONCRETE INSTITUT w. "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES". ACI 530/ASCE 5/TMS 402-11. AMERICAN CONCRETE INSTITUTE.
- AMERICAN SOCIETY OF CIVIL ENGINEERS, AND THE MASONRY SOCIETY
- "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS", ANSI/AISC 360-16, AMERICAN INSTITUTE OF STEEL CONSTRUCTIO
- VL"CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", ANSI/AISC 303-16, AMERICAN INSTITUTE OF STEE

- GMAYITY COMDS: 1. SUPERIMPOSED DEAD LOADS IIN ADDITION TO STRUCTURE SELF-WEIGHT); 1. FLOORS: FLOOR/CEILING FINISHES/SOUNDPROOFING/MEP SYSTEMS 1. ROOFS: ROOFING/CEILING FINISHES/MEP SYSTEMS
- ii. UNIFORM FLOOR LIVE LOADS (REDUCED AS ALLOWED BY THE BUILDING CODE) (1) CORRIDORS - FIRST FLOOR (2) CORRIDORS - ABOVE FIRST FLOOR
- (3) FIRST FLOOR (4) SECOND/THIRD FLOORS (5) ROOF 40 PSF 40 PSF (6) GENERAL AREAS

(7) STAIRS 40 PS

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ii. UNIFORM ROOF LIVE LOADS (REDUCED AS ALLOWED BY THE BUILDING CODE);
(1) ROOF 40 PSF (NON-REDUCIBLE)

(1) ROOF (2) SNOW

- C. WIND LOADS FOR MAIN WIND FORCE RESISTING SYSTEM

 L. ULTIMATE DESIGN WIND SPEED (3 SECOND GUST): 115 MPH

 B. NOMINAL DESIGN WIND SPEED (3 SECOND GUST): 93 MPH

 B. BULLIONER RESIST CATEGORY: 11

 **A WIND EMPOURE CATEGORY: 8

 **A WIND EMPOURE CATEGORY: 5

 **A. COMPONENTS AND CLADDING: SEE DETAILS 3 & 4/5002

- D. SEISMIC LOADS

 I. MAPPED SPECTRAL RESPONSE ACCELERATION:

 (1) SHORT PERIOD. Ss = 0.168
- (1) SHORT PERIOD, Ss = 0.168 (2) 1-SECOND PERIOD, S1 = 0.060 I. SOIL SITE CLASS: C II. SPECTRAL RESPONSE COEFFICIENTS:
- III. SPECTRAL RESPONSE COFFICIENTS:

 (1) SHORT PERIOD, Sd. = 0.213

 (2) 1-SECOND PERIOD, Sd. = 0.095

 IN. BUILDING RISK CATEGORY: II

 V. SESMIC IMPORTANCE FACTOR, Ie = 1.0

 VI. LONG-PERIOD, TRANSTION PERIOD, TL = 5

 VIII. SEISMIC DESIGN CATEGORY: 8

- II. BASIC SEISMIC FORCE RESISTING SYSTEM: STEEL SYSTEM NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE, EXCLUDING CANTILEVER COLUMN SYSTEMS; WOOD FRAMED SHEAR WALLS WITH CONTINUOUS SHEATHING.
- ix. RESPONSE MODIFICATION FACTOR, R = 6.5 (X DIR.), 3.5 (Z DIR.)
- x. SEISMIC RESPONSE COEFFICIENT, Cs = 0.033 (X DIR), 0.061 (Z DIR)
- XI.DEFLECTION AMPLIFICATION FACTOR, Cd = 3
 XII. DESIGN BASE SHEAR: 27.83 KIPS
 XIII. ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE

E. MAXIMUM ESTIMATED MEMBER DEFLECTIONS ARE AS FOLLOWS: LIVE LOAD. DEAD+LIVE LOAD. FLOOR MEMBERS L/360 L/240 POOF MEMBERS L/360 L/240

WHERE L = SPAN LENGTH (IN INCHES) OF MEMBER BETWEEN CENTERLINES OF SUPPORTS. (FOR CANTILEVERS, L IS TWICE THE LENGTH OF THE CANTILEVER).

- SPECIAL INSPECTIONS ARE REQUIRED PER IBC AND AS SPECIFIED IN THE SPECIAL INSPECTION STATEMENT AND PROJECT SPECIFICATIONS
- IL SPECIAL INSPECTION REPORTS SHALL BE FURNISHED TO THE BUILDING OFFICIAL, ARCHITECT, AND STRUCTURAL ENGINEER, DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR, AND, IF NOT CORRECTED, SHALL BE REPORTED TO THE BUILDING OFFICIAL ASHITECT, AND STRUCTURAL PRINTERS.
- III. SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT STATING THAT THE STRUCTURAL WORK WAS, TO THE BEST OF THEIR KNOWLEDGE, PERFORMED IN ACCORDANCE WITH THE APPROVED DRAWINGS. SPECIFICATIONS, AND THE BUILDING CODI
- G. STRUCTURE HAS BEEN DESIGNED TO ACCOMMODATE A VERTICAL EXPANSION AS ILLUSTRATED BY THE ARCHETECURAL PLANS.

THE FOLLOWING ASTM STANDARDS AND DESIGN STRESSES SHALL BE USED FOR THE APPROPRIATE MATERIALS USED IN THE CONSTRUCTION OF THIS PROJECT.

A. CEMENT: ASTM C150; TYPE I OR III

- B. BLENDED HYDRAULIC CEMENT (CEMENT SUBSTITUTES):
- i. ASTM C595, TYPE IS ILIMIT TO 35% MAX OF CEMENTITIOUS CONTENT BY WEIGHT)

C. AGGREGATES: ASTM C33 (NORMAL WEIGHT) ASTM C330 (STRUCTURAL LIGHTWEIGHT)

D. ADMIXTURES: AIR ENTRAINING ADMIXTURES ASTM C260 CHEMICAL ADMIXTURES

- CONCRETE MIXES SHALL BE DESIGNED BASED ON THE MINIMUM 28-DAY COMPRESSIVE STRENGTH (I'C), MAX WATER-CEMENT (W/C) RATIO, EXPOSURE CATEGORY, AND AIR ENTRAINMENT REQUIREMENTS OF ACI-318-16
- II CONCRETE CHALL BE NORMAL WEIGHT LINLESS SPECIEIEN OTHERWISE MORMAL WEIGHT CONCRETE CHALL HAVE A LINIT WEIGHT CONLINE SHALL BE MORRAIL WIGHT UNLESS SPECIFIED IT HERWISE MORRAIL VERSHI CONCRETE SHALL HAVE A UNIT WHEN TO OF 145 FEET 5 PCF, UNLESS OTHERWISE REQUIRED, LIGHTYNEEMT CONCRETE SHALL HAVE A UNIT WHENT OF 122 PCF 4 PCF COMTRACTOR TO REVIEW UL FIRE RATING ASSEMBLIES, AS SPECIFIED BY THE ARCHITECT, FOR MORE DETAILED REQUIREMENTS PERLANING TO CONCRETE DENSITY AND EXTRAINED ARE.

F. REINFORCEMENT:

- LUBLOWNER DEFINITION BEINFORCHING BARS
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- v. ADHESIVE REINFORCING BAR HILTI HIT HY-200 SAFE SET DOWELING SYSTEMS SYSTEM OR EQUAL

- ALL DIMENSIONAL WOOD FRAMING SHALL BE NO. 2 OR BETTER DOUGLAS FIR-LARCH.
- II. ALL TJI MEMBERS SHALL BE APA PERFORMANCE RATED I-JOISTS PROVIDED BY APPROVED MANUFACTURERS.
- III. ALL ENGINEERED LUMBER SHALL BE 2.0E PARALLAM PSL DF MEMBERS PER ICC-ES ESR-1387. DESIGN BASED ON WAYERHAEUSER'S PARALLAM PSL PRODUCTS.
- ix. ALL JOIST STRINGER HANGERS BASED ON SIMPSON STRONG-TIE CONNECTORS FOR SPECIFIC APPLICATIONS. FASTEN IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- v. ALL OTHER WOOD FRAMING SHALL BE FASTENED IN ACCORDANCE WITH 2018 AWC WOOD FRAME CONSTRUCTION OF THE PROPERTY OF THE PROPERT
- A. TRIMMER JOISTS AND DOUBLE HEADERS SHALL BE FASTERED TO EACH OTHER WITH 10D BOX NAILS & 16" O.C. AT TOP ANI BOTTOM, STAGGERED ON DPPOSITE SIDES [FACE NAIL]. 3-100 NAILS SHALL BE INSTALLED AT EACH END [FACE NAIL). BEAN! ALSO BE FASTENED WITH 1/2" THUR BOLTS STAGGERED @ 24" O.C.
- II. FLOOR SHEATHING AND REPETITIVE MEMBERS NOT ENTIRELY SHOWN FOR CLARITY AND SHALL BE MIN. 1" T&G PLYWOOD, WOOD STRUCTURAL PANEL, OR AS OTHERWISE NOTED ON PLANS.
- SIGN USES MIN 18 GA. GALVANIZED STEEL FASTENERS PRODUCED BY SIMPSON STRONG-TIE OR APPROVED EQUAL FOR EACH FIC APPLICATION, NUMBER, SIZE, AND TYPE OF FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS OR AS SHOWN HEREIN.
- N. END STUDS ON NEW STUD WALL SHALL BE FASTENED TO THE EXSTING MASONRY EXTEROR WALLS USING MIN. 3 EA. 1/2" DIA ANCHOR BOLTS SPACED EQUALLY IN THE VERTICAL DIRECTION AND ALISINED WITH THE CENTERLINE OF THE STUD. ANCHOR BI SHALL BE WEDGE TYPE OR STET INTO THE MASONRY WITH HITH TH'S OF PROY OR EQUAL, SPECIAL INSPECTIONS SHALL BE COMDUCTED BY AN AGENCY LICENSED WITHIN THE CITY OF PHILADELPHIA.
- I. BOTTOM WALL PLATES SHALL BE FASTENID TO THE EXISTING FOUNDATION WALLS USING MINE, 1/2" (DIA. AICHOR BILDTS BEMERODED MIN. 8" FIOT FOUNDATION AND SARCE 8" of "OMITAL SOLTS PER PLATE MEMBER, ANGEN BILTS SHALL BE WEDGE TYPE OR SET MITO THE MASDING WITH HILT HY 200 PEDVY OR EQUIAL. SPECIAL INSPECTIONS SHALL BE CONDUCTED BY AN AGENCY LICENSED WITHIN THE CITY OF PRILADELPHIA.
- XI. ALE EXTEROR WALL SHEATHING SHALL BE MIN. 7/16" OR 15/32" OSB (ZIP BRAND OR OTHERWISE PROTECTED FROM MOISTURE IN ACCORDANCE WITH ARCHITECTURAL DETAILS), CONTINUOUSLY SHEATHED AND FASTENED TO STUDS IN ACCORDANCE WITH THE LATERAL BRANCH REPORT PROVIDED WITH THESE FLANS. REPER TO LATERAL BRANCHOE, PLANS PROVIDED HEREN.

XII. SHEAR WALLS SHALL BE FASTENED TO SUPPORTING MEMBERS ADEQUATELY TO TRANSFER LOADS INTO THE EXISTING OR NEW FOLLOWS THE STATE OF THE

xij. GROUT

- WIDE FLANGE SHAPES AND TEES
- ASTM AS3, GRADE B. FY=35 KSI III ROUND HOLLOW STRUCTURAL ASTM ASOD, GRADE C, FY=50 KSI SHAPES (HSS) OR ASTM A1085
 ASTM ASOD, GRADE C, FY=50 KSI STRUCTURAL SHAPES (HSS) OR ASTM A1085 V. SQUARE OR RECTANGULAR HOLLOW
- V OTHER STRUCTURAL SHAPES AND PLATES. ASTM A36 VI HIGH STRENGTH BOLTS
- ASTM F3125 GRADE A325 OR F1852 ANCHOR ROOS ASTM F1554, GRADE 36 U.N.O.
- VIII. SMOOTH AND THREADED ROD ASTM A36 AWS D1.1, CLAUSE 7, TYPE B, ASTM A29
- x. HEADED SHEAR STUDS x. WELDING ELECTRODES AWS A5.1 OR A5.5, E70XX WITH MIN, CVN TOUGHNESS OF 20 FT-LBF AT 20" F xi. EXPANSION BOLTS ITW RAMSET/REDHEAD TRU-BOLT WEDGE ANCHOR, HILTI KWIK-BOLT TZ OR APPROVED EQ. ADHESIVE ANCHORING SYSTEM ITW RAMSET/REDHEAD EPCON SYSTEM. HILTI HIT-HY 200 SAFE SET SYSTEM ED.

ASTM C1107, NON-SHRINK, NON-METALLIC F'c = 6000 PSI

D. MASONRY

- . MADDINY .

 CONCRETE MASCHINY UNITS: LIGHT WEIGHT, HOLLDW ASTM GIG. MINIMUM COMPRESSVE STRENGTH OF CRICKETE MASCHINY .

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- 5. FOUNDATIONS.
 A CHORATION HAVE BETAIN DESIGNED IN ACCORDANCE WITH THE RECOMMENDATIONS INCLUDED IN THISISOTECHNICAL REPORT BY OTHERS SHAWITTED WITH THIS PRIMAL PARTICATION, INCURDATION DESIGNS HEREIN MAY FOR EX AUGUST THE RECOMMENDATIONS IN THAT REPORT REST OF TALOUDON THIS PREPARE SHEETS, TEXT AT PREPARE TO READ/TIONAL RECOMMENDATIONS, INCLUDING BUT HOT LIMITED TO RECOMMENDATIONS FOR DECAMATION, PREPARATION OF THE FOUNDATION AND BACKFORE THE REPORT LIMITED.
- B. SELECT EXISTING FOUNDATIONS ARE DESIGNED TO REMAIN IN-PLACE. DESIGN ASSUMES A MIN. 28" THICK FOOTING UNDER EXISTING FOUNDATION WALLS. THE CONTRACTOR SHALL INSPECT EXISTING FOUNDATIONS AND REPORT DEFICIENCIES TO THE ENGINEER PRIOR TO THE START OF WORK
- C. EXCAVATION FOR THE NEW 4"BASEMENT SLAS SHALL NOT PROCEED BELOW THE DEPTH OF THE EXSTING FOOTING UNDER ANY GREUMSTANCES. DOCAVATION SHALL NOT PROCEED BELOW BOTTOM OF EXSTING FOUNDATION WITHOUT APPROVED UNDERPHANNED BOSID AND SPECIAL INSPECTIONS. UNDERPHANING DESIGN AND SPECIAL INSPECTIONS ARE NOT INCLUDED IN THE SCOPE OF THESE STRUCTURAL PLANS.
- D. DETERMINATION OF FINAL BEARING ELEVATIONS AND FIELD VERFICATION OF ALLOWABLE BEARING PRESSURE FOR A FOUNDATIONS SHALL BE MADE BY AN EXPERIENCED, QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO PLACING FOUNDATIONS.
 NOTIFY STRUCTURAL ENGINEER OF RECORD WHEN ADDITIONAL EXCAVATION IS REQUIRED TO REACH SUITABLE BEARING MATERIAL
- E. SHALLOW SPREAD FOOTING FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL AT ELEVATIONS INDICATED FOR A NET ALLOWABLE BEARING PRESSURE OF 2,000 PSF.
- F. DRILLED PIERS (CAISSONS): DESIGN BASED ON 20 KSF MAXIMUM NET ALLOWABLE END BEARING PRESSURE AND 1.25 KSF MAXIMUM OFFICE OF THE STORY OF THE STATE OF T
- G. FIELD VERIFY SIZE, LOCATION, AND DEPTH OF EXISTING UTILITIES SHOWN ON THE CIVIL DRAWINGS. CONSULT 811 FOR UTILITY LOCATIONS PRIOR TO EXCAVATION.
- H. REFER TO PLUMBING DRAWINGS FOR PERIMETER DRAIN AND UNDERFLOOR DRAINAGE SYSTEM.
- I. DO NOT PLACE UTILITY LINES THROUGH OR BELOW FOOTINGS UNLESS SHOWN OTHERWISE ON THE STRUCTURAL DRAWINGS
- J. BEAR FOUNDATIONS A MINIMUM OF 36" INCHES BELOW GRADE UNLESS OTHERWISE INDICATED
- K. THE SLOPE BETWEEN THE LOWER EDGES OF ADJACENT FOOTINGS NOT TO EXCEED 1.5 HORIZONTAL TO 1.0 VERTICA
- L. PLACE CONCRETE FOR FOUNDATIONS OR MUD SLABS ON THE SAME DAY SUBGRADE APPROVAL IS GIVEN BY THE GEOTECHNICAL ENGINEER.
- M.PROTECT CONCRETE FOUNDATIONS FROM FREEZING DURING PLACING AND FOR A PERIOD OF NOT LESS THAN 5 DAYS
- N. PROVIDE CONTINUOUS WATERSTOP AT ALL HORIZONTAL AND VERTICAL CONSTRUCTION JOINTS IN BASEMENT WALLS AND ALL FLYGTOR PIT AND OTHER PIT WALLS.
- O. BACKFILL: USE BACKFILL MATERIAL CONSISTING OF BANK RUN GRAVEL, CRUSHED STONE AND/OR MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER, WITH OPTIMUM MOISTURE CONTENT FOR COMPACTING AND FREE OF ANY DEBRIS.

- THE FOUNDATION SYSTEM AS SHOWN MAY REQUIRE THE PLACEMENT OF STRUCTURAL FILL ON PORTIONS OF THE SITE. REFER TO SPECIFICATIONS AND GEOTECHNICAL REPORT RECOMMENDATIONS FOR COMPACTED STRUCTURAL FILL. LOCATION AND DITENT OF AREA TO RECEIVE STRUCTURAL FILL SHALL BE PER THE GEOTECHNICAL REPORT UNLESS OTHERWISE DIRECTED BY A QUALIFIED GEOTISTICAL ROWNER.
- :II. INSPECTION OF THE PLACEMENT OF COMPACTED STRUCTURAL FILL SHALL BE BY AN EXPERIENCED, QUALIFIED GEOTECHNICAL
 FINGINEFR.

A. COMPLY WITH REQUIREMENTS OF "SPECIFICATIONS FOR STRUCTURAL CONCRETE" (ACI 301) EXCEPT AS MODIFIED BY THESE NOTES AND THE PROJECT SPECIFICATIONS.

- PRODUE MINIMAN CLEAR COVER TO REPROFERENCE AS FOLLOWS UNLESS C.

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 (2)
- 1%" C. SPLICE REINFORCEMENT AS DETAILED. MAKE BARS CONTINUOUS AROUND CORNERS. SPLICES SHALL BE MADE BY CONTACT TENSION LAP SPLICES, UNLESS OTHERWISE NOTED.
- D. WELDING OF REINFORCING IS NOT PERMITTED UNLESS OTHERWISE NOTED
- F. FIFED BENDING OF REINFORCING PARTIALLY EMBEDDED IN CONCRETE IS NOT PERMITTED UNLESS OTHERWISE NOTED.
- F. SUPPLY WELDED WIRE FABRIC REINFORCEMENT IN SHEETS, LAP TWO FULL MESH LENGTHS AT SPLICES AND WIRE TOGETHER
- G. FURNISH ALL ACCESSORIES, CHAIRS, SPACE BARS, SUPPORTS, ETC. NECESSARY TO SECURE REINFORCING.
- H. PLACE SLAB-ON-GRADE ON A VAPOR RETARDER OR VAPOR BARRIER OVER A MINIMUM 4" LAYER OF CLEAN, WELL-GRADED GRAVEL OR CRUSHED STONE OVER COMPACTED SUBGRADE, UNLESS OTHERWISE NOTED. REINFORCE WITH 6X6 W2.0Xw2.0 WELDED WIRE
- . ARRANGE CONSTRUCTION JOINTS AND CONTRACTION JOINTS IN SLABS-ON-GRADE TO LIMIT MAXIMUM AREA BETWEEN JOINTS TO 225 S.F. APPROXIMATELY SQUARE, ALLOW A MINIMUM OF 48 HOURS TIME BETWEEN PLACEMENT OF ADJACENT SECTIONS.
- . PROVIDE ADDITIONAL BARS AT RE-ENTRANT CORNERS AND AROUND ALL WALL AND SLAB OPENINGS AS INDICATED IN DETAILS. PROVIDE A MINIMUM OF 246 x 61-01 AT EACH CORNER.
- K. CAST IN PLACE INSERTS AND SLEEVES WHENEVER FEASIBLE.

M.F.INISH CONCRETE SLABS ON STEEL DECK TO A UNIFORM THICKNESS AS INDICATED ON THE PLANS

- IORIZONTAL CONDUIT EMBEDDED IN CONCRETE SLABS ON STEEL DECK IS NOT PERMITTE
- D. THE SLAB ON GRADE IS DESIGNED AS A STRUCTURAL DIAPHRAGM
- 7. STRUCTURAL STEEL
- A. SLIRMIT CERTIFIED CODIES OF MILL TEST REPORTS TO THE STRUCTURAL ENGINEER OF RECORD.
- B. PROVIDE ACCESS FOR INSPECTION OF ALL SHOP AND FIELD CONNECTIONS FOR PROPER MATERIALS AND WORKMANSHIP
- C. MAINTAIN CURRENT EVIDENCE OF WELDERS PASSING THE APPROPRIATE AWS QUALIFICATION TESTS. SUCH EVIDENCE MAY BE REQUESTED AT ANY TIME DURING THE PROJECT.
- D. PERMANENT FRAMING AND FINAL CONNECTION DETAILS ARE SHOWN ON THE DRAWINGS. THE FABRICATOR AND ERECTOR ARE RESPONSIBLE FOR THE DESIGN OF TEMPORARY BRACING AND RECOMMENDED ERECTION PROCEDURES.
- E. SELECT CONNECTIONS FOR REACTIONS SHOWN ON PLANS AND AS DETAILED AND SCHEDULED
- SELECT COMMETIONS FOR REACTIONS SHOWN ON PLANS AND AD STEFALED AND SCHOOL OF THE TO TOMERSION OF THE BEAM TO BE SMALE SHARE COMMETIONS SHALE HAVE AN IMMUNIANCE COMMETION DETTHIN OF DEHEALT THE TOMERSION OF THE BEAM TO BE ALL ALTERNATE COMMETIONS THAT ARE BOTT TABLESTED IN THE HIGH CONSTRUCTION MANUAL SHALL OWN FAR ALLOWED WITH PRIOR APPROVED ON THE STRUCTURE MERGERS OF RECORD IS ADD APPROVING A GRANINED, BESING ALL CONSTRUCTION OF NOT BE ACCIDENCE WITH THE CONTINUED COMMETERS FAR RECORD BEDEBOOK UNDER THE DIRECT SUPERVISION OF AN AND SHALLOWS OF THE PRIOR OF THE STRUCTURE AND ADDRESS OF THE STRUCTURE STRUCTURE AND ADDRESS OF THE STRUCTURE STRUCTURE STRUCTURE.
- III. WHERE EXTENDED PLATE SHEAR TABS ARE USED AT CONNECTIONS TO COLUMN WEBS, PROVIDE HORIZONTAL STIFFENERS TOP
- PROVIDE BRACING CONNECTIONS AS DETAILED ON THE DRAWINGS. CONNECTIONS THAT REQUIRE DESIGN SHALL BE DESIGNED
 UNDER THE DIRECT SUPERVISION OF AN ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION. IF NO BRACE FORCE IS SHOWN DESIGN THE CONNECTIONS TO FULLY DEVELOP THE BRACING MEMBER IN TENSION. SUBMIT SHOP DRAWINGS AND CALCULATION BEARING ENGINEER'S SEAL AND SIGNATURE FOR ALL SUCH BRACING CONNECTIONS.
- PROVIDE HIGH STRENGTH BOLTS OR WELDS FOR ALL SHOP AND FIELD CONNECTIONS. USE HIGH STRENGTH BOLTS AND NUTS WITH CLEAR MARKINGS AS REQUIRED BY AISC SPECIFICATIONS. CONNECTIONS MADE WITH UNMARKED BOLTS AND NUTS WILL BE
- TIGHTEN ALL F3125 BOLTS TO THE "SNUG TIGHT" CONDITION DEFINED AS THE TIGHTNESS ATTAINED BY A FEW IMPACTS OF A IMPACT WRENCH OR THE FULL EFFORT OF A MAIN USING AN ORBINARY SPUD WRENCH, UNLESS OTHERWISE NOTED, THE SNL TIGHT CONDITION MUST ENSURE THAT THE PLUS OF THE CONNECTED AMERIEN, HAVE BEEN BROUGHT INTO SNUG CONTACT.
- PRE-TENSION ALL F3125 BOLTS SUBJECT TO DIRECT TENSION OR DESIGNATED AS SC (SUP-CRITICAL) IN ACCORDANCE WITH ONE OF THE FOLLOWING METHODS AS DESCRIBED IN THE AIS: "STEEL CONSTRUCTION MANUAL": TURN-OF-NUT TISHTENING, CALIBRATED WRINCH TISHTENING. OR DIRECT TENSION INDICATOR TISHTENING.
- J. WELDS DEPICTED AS FIELD WELDS ON THE CONTRACT DRAWINGS MAY BE MADE IN THE FIELD OR SHOP AT THE CONTRACTOR'S DISCRETION. WELDS DEPICE AS SHOP WELDS ON THE CONTRACT DRAWINGS SHALL BE MADE IN THE SHOP UNLESS SPECIFICALLY APPROVED OTHERWISE BY THE STRUCTURAL RIGINIZER OF REAL PROPERTY. THE SHOP UNLESS SPECIFICALLY K. PROVIDE TWO (2) COATS OF BITUMINOUS PAINT OR 3" MINIMUM CONCRETE COVER FOR ALL STEEL IN CONTACT WITH SOIL.
- . PRIMING OF STRUCTURAL STEEL IS NOT REQUIRED EXCEPT FOR STEEL EXPOSED TO WEATHER OR LOCATED IN UNCONDITIONED SPACE. COORDINATE PAINTING REQUIREMENTS WITH THE ARCHITECT. M FOR CONCRETE SLABS THAT ARE PART OF A COMPOSITE FLOOR FRAMING SYSTEM, CONCRETE SHALL ACHIEVE 2B DAY DESIGN COMPRESSIVE STRENGTH PRIOR TO THE APPLICATION OF ANY SUPERIMPOSED LOADS SUCH AS CURTAIN WALLS, MASONRY VEWEERS, STARS, ETC.
- N. NOTIFY THE STRUCTURAL ENGINEER OF RECORD OF ANY FABRICATION OR ERECTION ERRORS OR DEVIATIONS. WRITTEN APPROVAL IS REQUIRED BEFORE ANY FIELD CORRECTIONS ARE MADE.
- O. REPLACE OR REINFORCE ANY STRUCTURAL STEL DAMAGED IN WELDING AS ACCEPTABLE TO THE STRUCTURAL ENGINEER OF RECORD
- P. STRUCTURAL STEEL MEMBERS HAVE NOT BEEN DESIGNED FOR TORSION RESULTING FROM ECCENTRIC LOADS DUE TO PRECAST PANELS, CURTAIN WALL SYSTEMS, LIGHT GALDGE METAL FRAMING, ETC UNLESS NOTED OTHERWISE. SUPPLIERS OF SUCH SYSTEMS SHALL PROMOE SUPPLEMENTARY BRACING AS REQUIRED TO ELIMINATE BAY TORSION.
- Q. ALL LATERAL LOAD RESISTANCE AND STABILITY IN THE COMPLETED STRUCTURE IS PROVIDED BY VERTICAL MOMENT FRAMES AND/OR BRACED FRAMES AS DETAILED IN THE DRAWNINGS. THE ROOR AND BOOF SYSTEMS SERVE AS HORIZONTAL DIAPPRAGED THAT OSTRIBUTE HE LATERAL FORCE HORIZONTALLY TO THE VERTICAL LATERAL LOAD RESISTING MEMBERS, WHICH TRANSF THE LOADS TO THE BUILDING FOUNDATIONS.
- A. ALL MASONBY CONSTRUCTION TO BE INSTALLED IN RUNNING BOND PATTERN UNLESS SPECIFICALLY SHOWN OTHERWISE
- B. SUBMIT GROUT MIX DESIGN AND MASONRY UNIT CERTIFICATIONS FOR APPROVAL.
- C. IN GROUTED AND/OR REINFORCED MASONRY WALLS, USE MASONRY UNITS WITH CORES THAT ALIGN VERTICALLY AND PROVIDE CONTINUOUS UNOBSTRUCTED CELLS FOR GROUTING AND REINFORCING STEEL PLACEMENT.
- D. PLACE SINGLE VERTICAL BARS IN THE CENTER OF THE MASONRY CORE UNLESS SHOWN OTHERWISE. PLACE DOUBLE VERTICAL BARS OFF-CENTER OF CORE TOWARDS FACE OF BLOCK BUT MAINTAIN 1-1/2" MINIMUM COVER. ALL VERTICAL BARS SHALL BE SECURED IN PLACE.
- E. PROVIDE STANDARD WEIGHT (W1.7, 9 GAGE) GALVANIZED HORIZONTAL JOINT REINFORCEMENT IN ALL STAIR & ELEVATOR WALLS AT 16" O.C. UNIESS OTHERWISE NOTED.
- 10 CHRAFTAIC
- . ALL SHOP DRAWINGS MUST BE REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTAL. SUBMITTAL WITHOUT CONTRACTOR REVIEW WILL RESULT IN DELAYS. THE CONTRACTOR SHALL CONFIRM THAT SHOP DRAWINGS HAVE BEEN COMPLETED AND CHECKED BY THE SUPPURE PRIOR TO SUBMISSION.
- C. SHOP DRAWING SUBMITTAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE STRUCTURAL SPECIFICATIONS, CHANGES OR SHOP UNAWING SUBMITTAL REQUIREMENTS SHALL BE IN ALCODOMANCE WITH INDICATED, AND THE PURPOSE OF THE RESUBBITTAL
 ADDITIONS MADE ON RESUBBITTED SHOP DRAWINGS SHALL BE CLEAR IN INDICATED, AND THE PURPOSE OF THE RESUBBITTAL
 SHALL BE NOTED ON THE TRANSMITTAL. REVIEW OF RESUBMITTED SHOP DRAWINGS SHALL BE LIMITED SPECIFICALLY TO THE ITEMS
 NOTED FOR CORRECTION ON THE PREVIOUS SUBMITS.
- D. THE GENERAL CONTRACTOR SHALL SUBMIT FOR STRUCTURAL ENGINEER REVIEW SHOP DRAWINGS FOR THE FOLLOWING ITEMS:
- THE GENERAL CONTRACTOR

 I. CONCRETE MIX DESIGNS

 II. REINFORCING STEEL

 IV. STRUCTURAL STEEL
- E. THE NOTATIONS FOLLOWING SUBMITTAL ITEMS INDICATE THE FOLLOWING
- CALCULATIONS AND SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF INCLUDE A CERTIFICATE OF COMPLIANCE WITH CONTRACT DOCUMENTS SIGNED AND SEALED BY THE PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF PENNISYLVANIA RESPONSIBLE FOR THE DESIGN.
- E. THE ENGINEER'S REVIEW OF SHOR DRAWINGS IS FOR GENERAL CONFORMANCE OF THE DESIGN CONCERT. CONTRACTOR SHALL THE ENGINEER'S REVIEW OF SHOP OF SHOP DEAVINGS FOR GENERAL CONFIDENMENT OF THE DESIGN CONCEPT, CONTRACTOR SHALL SUMMET AS CHELDED OF SHOP DEAVINGS MISSINGTERS THAT IS ACCEPTABLE TO BOTH OFFICE OF AND INCREMENT OF AND INSTRUCTOR AND INSTRUCTOR AND INSTRUCTOR AND INSTRUCTOR AND INSTRUCTOR OF ALL SUBMITTALS. FOR CHARLES SUMMET AS A PROPERTY OF THE CHARLES SUMMET AS A PROPERTY OF THE SHOP DEAVINGS FOR SHOP DEAVINGS FOR SHOP THE EXTEND THE REVIEW PROCESS AND TIME FRAME NECESSARY TO POPPORE REVIEW OF ALL SUMMITTAL.
- G. REPRODUCTION OF THESE CONTRACT DOCUMENTS BY ANYONE FOR USE IN SHOP DRAWINGS SHALL SIGNEY THER ACCEPTANCE OF ALL INFORMATION SHOWN AS BEING CORRECT, LOINEY REWINEERING & CONSULTING, LIC SHALL SE INDIRMINED AND HELD HARMLESS FROM LAMING DAMAGES, LOSSES, DEPRESED RIL MIGHTS OF ANY TION, INCIDION AT TORNEY FEST EX-CONTRACTOR IS RESONOBLE FOR PROPER CHECKING AND CONDENDATING OF DETAILS, DIMERSIONS, SZES AND QUANTITIES AS REQUIRED TO COMPETE AND ACCURATE THEREOLOGY.



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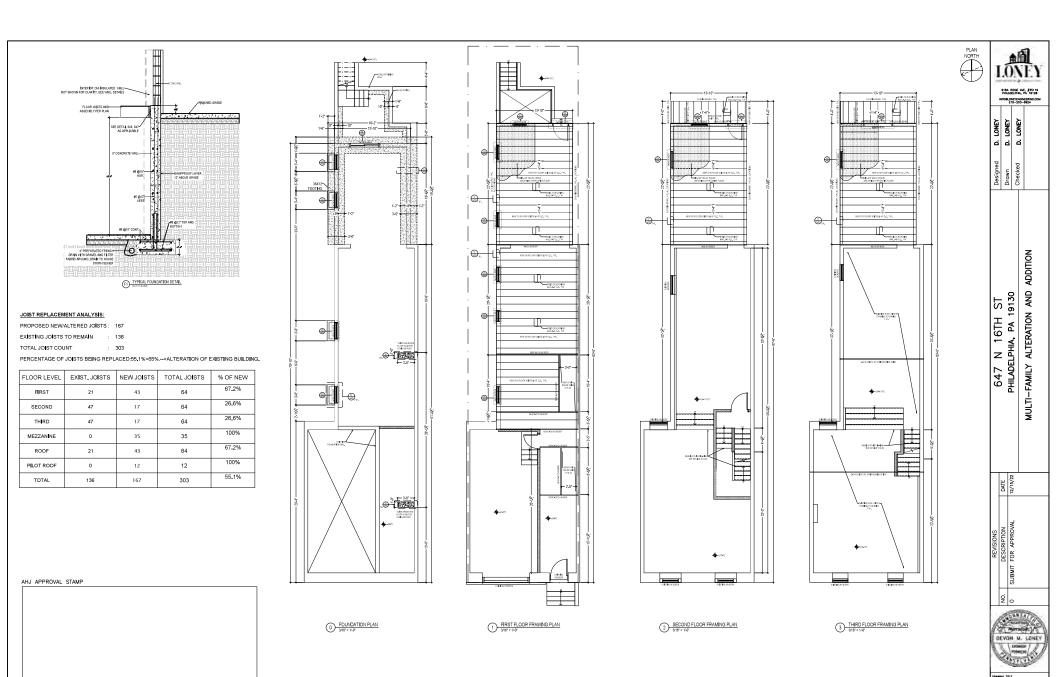
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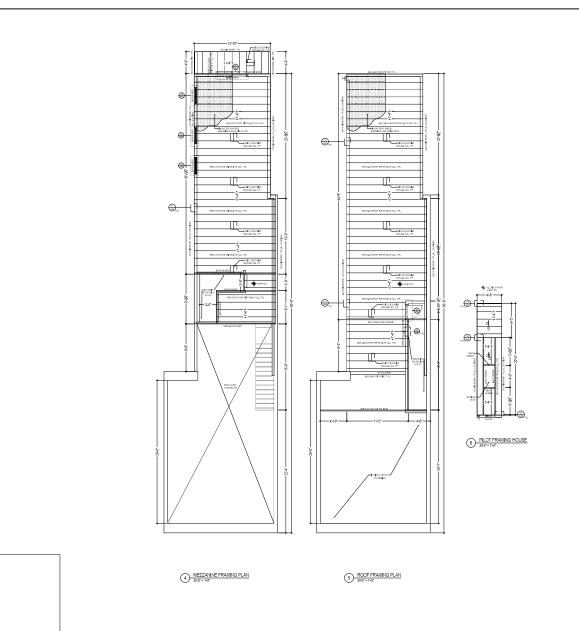
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No. DEVON W. LONEY PERMITED COTT LE

> TRUCTURAL NOTES ------HEET 10 OF 15



STRUCT. FRAMING PLANS
DEMANDS NO.
S-100-01
SHEET 11 OF 15



AHJ APPROVAL STAMP



LONEY

6184 RIDGE AVE, §35119 PHILADELPHA, PA 19128 INFOBLONEYENGINEERING.COM 215-203-6924

D. LONEY D. LONEY D. LONEY

Designed Drawn Checked

647 N 16TH ST		PHILADELPHIA, PA 19130	MULTI-FAMILY ALTERATION AND ADDITION
	DATE	12/15/22	•
REVISIONS	DESCRIPTION	SUBMIT FOR APPROVAL	
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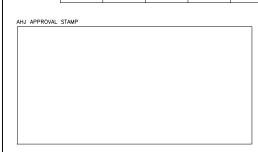
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S-100-00
SHEET 12 OF 15

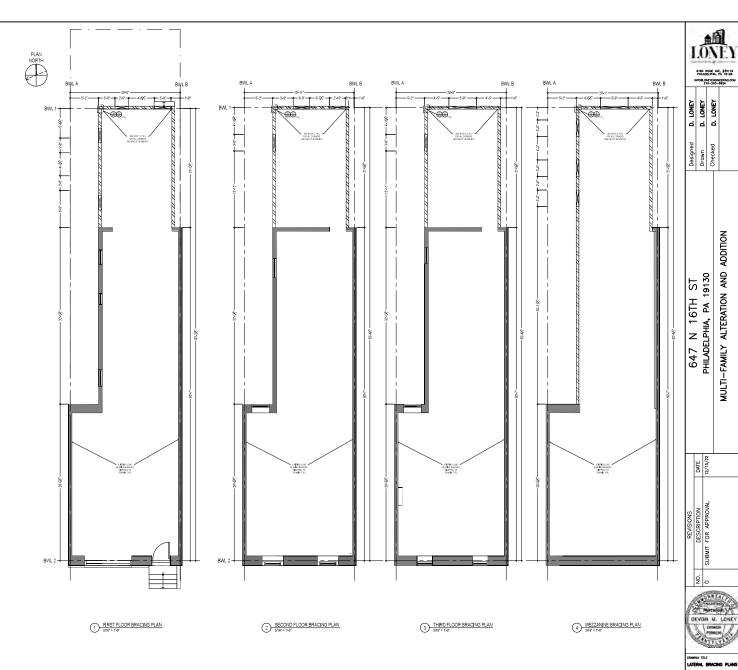
BRACING NOTES:

- GIVEN THAT THE EXISTING REMAINING MASONRY WALLS ARE NOT DISTURBED AND INTERNALLY BRACED, THE
 EXISTING LATERAL BRACING CAPACITY IS NOT AFFECTED BY THE REAR ADDITION.
- 2. THE BRACHIG ANALYSIS HERBIN BIA IN PRESCRIPTIVE DESIGN BASED ON THE PROJECTION OF 2018 AND VIEW THE IS AT THE GET SITE, AN ARE HERBERY SHEEP AND SPACED OF A PROPERSIONAL BORNIER REGISTERED IN THE COMMONINGATH OF PERNISTLAND. BY COME AND LOCAL OPENIANCES.
 ATTEMPT AND PRESCRIBED OF COME AND LOCAL OPENIANCES.
- BRACED WALL LINE LENGTH REQUIREMENTS FOR BRACED WALL LINES 1 AND 2 WERE ADJUSTED PER TABLE AWC WFCM TABLE 3.174 FOOTNOTE 4. WHERE THE REQUIRED VALUES FOUND IN TABLE 3.174 WERE MULTIPLIED BY APPLICABLE ADJUSTMENT FACIORS DUE TO A FLAT ROOF CONDITION.
- ALL NEW WALLS SHALL BE CONSTRUCTED AND FASTENED IN ACCORDANCE WITH THESE PLANS AND THE FASTENING SCHEDULE PROVIDED IN THE 2015 INTERNATIONAL RESIDENTIAL CODE.
- AT EQUIPED WEST OF AT THE END OF A PERFORATED SHEAR WALL HOLD CONNEX WITH A MIN. CHARGITY OF ASS MPS SHALL BE INSTALLED. LOAD SHALL BET ROUNTED FOR TAXON STOWN AND THE SIM TRANSPERSOR SECURELY TO THE FOUNDATION A SINGLE HOLD DOWN MAY BE INSTALLED AT SHEAR WALL CORNERS WHEN INSTALLED IN ACCORDANCE WITH FIGURE 3A OR A TO.
- TEMPORARILY BRACE WALLS UNDER CONSTRUCTION IN ACCORDANCE WITH OSHA REQUIREMENTS AND SAFE CONSTRUCTION PRACTICES.

WALL BRACING SCHEDULE					
SYMBOL	BRACING TYPE	SHEATHING DETAIL	MIN. PANEL SIZE		
	CS-WSP	MIN. 7/16" OSB CONTINUOUSLY SHEATHED. INSTALL BLOCKING BETWEEN STUDS	2'-6"		
	GB	2 LAYERS OF 5/8" GYPSUM PANEL	4'-0"		
	EXISTING WALL		N/A		

WALL BRACING ANALYSIS (REAR ADDITION)					
BRACED WALL LINE	FLOOR	REQUIRED BRACING K/FT	BRACING PROVIDED K/FT	ENGINEER REMARKS	
А	1	2'-8"	6'-9"	ADEQUATE BRACING	
В	1	2'-6"	21'-7"	ADEQUATE BRACING	
1	1	3'-0"	4'-6"	ADEQUATE BRACING	
2	1	EXISITNG	EXISTING	EXISTING	
Α	2	3'-0"	13'-11"	ADEQUATE BRACING	
В	2	2'-6"	21'-9"	ADEQUATE BRACING	
1	2	3'-0"	3'-9"	ADEQUATE BRACING	
2	2	EXISTING	EXISTING	EXISTING	
Α	3	3'-0"	3'-11"	ADEQUATE BRACING	
В	3	2'-6"	21'-9"	ADEQUATE BRACING	
1	3	5'-0"	4'-5"	ADEQUATE BRACING	
2	3	EXISTING	EXISTING	EXISTING	
Α	4	2'-6"	35'-11"	ADEQUATE BRACING	
В	4	2'-6"	21'-9"	ADEQUATE BRACING	
1	4	5'-0"	4'-5"	ADEQUATE BRACING	
2	4	EXISTING	EXISTING	EXISTING	





S-101-00 SHEET 13 OF 15

