

**ADDRESS: 647 N 16TH ST**

Proposal: Construct four-story addition

Review Requested: Final Approval

Owner: Mike Rodgers

Applicant: Devon Loney, Loney Engineering and Consulting, LLC

History: 1875

Individual Designation: None

District Designation: Spring Garden Historic District, Contributing, 10/11/2000 Staff Contact:

Allyson Mehley, allyson.mehley@phila.gov

**BACKGROUND:**

This application seeks final approval for a four-story rear addition with roof deck and pilot house at 647 N. 16<sup>th</sup> St. The building was constructed circa 1875 as a three-story row home with rear ell. The applicant is proposing to rehabilitate the building and add the addition for future use as a four-family residential property. As part of the scope of work, the rear ell's roof and select areas of the back wall will be demolished. Elements of the proposed scope such as the cleaning and repointing of masonry can be approved administratively by staff.

**SCOPE OF WORK:**

- Construct four-story addition with roof deck and pilot house.

**STANDARDS FOR REVIEW:**

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
  - The massing and scale of the addition is not compatible with the original main block of the building. The new fourth floor rises six feet above the main block to accommodate the new floor of the rear section of the building. Therefore, the proposed new addition does not meet Standard 9.
- *Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment will be unimpaired.*
  - The proposed addition permanently removes the original ell's roof and does not appropriately detail the transition between the historic roofline and the additional new wall; therefore, the application does not meet Standard 10.
- *Roofs Guideline | Recommended: Designing rooftop additions, elevator or stair towers, decks or terraces, dormers, or skylights when required by a new or continuing use so that they are inconspicuous and minimally visible on the site and from the public right-of-way and do not damage or obscure character-defining historic features.*
  - The pilot house is partially located on the front block of the building and is approximately 12 feet in height. If the applicant moves the pilot house back to the rear ell area of the building and lowers the pilot house height, it can meet the Roof Guidelines. If the pilot house is set back further and lowered in height, the deck and pilot house will not be visible from N. 16<sup>th</sup> Street and will be minimally visible from North Street.

**STAFF RECOMMENDATION:** The staff recommends denial, pursuant to Standards 9 and 10, and Roof Guidelines.

**IMAGES:**

**Figure 1:** Aerial view of the existing rear condition of 646 N 16<sup>th</sup> St. CONNECTExplorer, 2020.



**Figure 2:** Aerial view looking south. CONNECTExplorer, 2020.



**Figure 3: View along North Street toward rear of 646 N 16<sup>th</sup> Street. Photo by PHC staff.**



647 N. 16th St  
Philadelphia Historical Commission  
January/February 2023



January 9, 2023

**Recipients:**

Philadelphia Historical Commission  
1515 Arch St., 13<sup>th</sup> Floor  
Philadelphia, PA 19102  
Email: [preservation@phila.gov](mailto:preservation@phila.gov)

Mike Rodgers (Owner)  
647 N. 16<sup>th</sup> St  
Philadelphia, PA 19130  
[M\\_Rodgers37@yahoo.com](mailto:M_Rodgers37@yahoo.com)

**Subject:** 647 N. 16<sup>th</sup> St, Philadelphia, PA 19130 (CP-2022-007217) – Proposal Description

To Whom It May Concern:

Loney Engineering & Consulting, LLC (LEC) is providing this summary description of the proposed rehabilitation project at 647 N. 16<sup>th</sup> St in concurrence with the Commission's Rules & Regulations for an application review. LEC previously submitted this application via eClipse and was later directed to submit this information via email to [preservation@phila.gov](mailto:preservation@phila.gov).

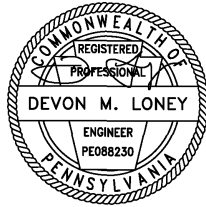
The existing property is a 3-story, 2-family attached residence with brick masonry exterior walls and wood floor/roof framing. Photos of the existing front façade from the public right-of-way are provided in Attachment 1. The scope of work includes a rear 3-story addition, pilot house, roof deck, and interior alterations to provide for the 4-family use (LEC notes that Zoning plans for the proposed use and addition dimensions were approved by L&I under application ZP-2022-012848). To accommodate the addition, the entire roof structure at the rear of the existing property will be demolished, and the rear wall will be partially demolished in select locations to provide access from the existing building and the proposed addition. The rear masonry side walls will remain mostly intact, except for select locations to be demolished for access passageways as indicated in the plans. The proposed addition and pilot house will be located approximately 28-ft and 22-ft, respectively, from the front façade. As such, we do not anticipate these elements being visible from the public right-of-way. Additionally, the front 22-ft of the existing roof will remain unchanged. The front façade, windows, and doors will remain and are not proposed to be replaced under this application. The existing brick will be power washed and repointed with mortar matching the existing mortar of the façade. This mortar mix will include lime, with a typical ratio of 1 part Portland cement, 2-2.5 parts lime, and 6 parts sand. A sample shall be provided to the Commission after the permit is issued. The existing window/door trims, cornices, and garage door shall remain and will only be restored with new finish paint matching the existing conditions. Paint samples shall also be provided to the Commission after the permit is issued.

The remainder of the scope of work is located on the interior of the existing structure and within the rear of the property, which is not visible from the public right-of-way due to the attached nature of the buildings. This is also demonstrated in the photos in Attachment 1.

If you have any questions or concerns, please feel free to contact us directly at the information below. Thank you for your consideration!



Respectfully,



Devon Loney, P.E.  
**Loney Engineering & Consulting, LLC**  
President | Lead Engineer  
Email: [info@loneyengineering.com](mailto:info@loneyengineering.com)  
Phone: (445) 895-1666

Attachments:

1. Photos from Public Right-of-Way
2. Building Permit Application
3. Architectural/Structural Plans



Photo 1: Front Facade from ROW



Photo 2: Front Facade from ROW



Photo 3: Existing Rear Yard (Future Addition above existing rear portion (walls to remain, rear roof to be demolished). New extension from rear wall to limits in plan.



Photo 4: Existing Rear Sidewall (Wall Structure to Remain)





Photo 5: New Addition from the Rear of this Existing Wall to the Rear of the Building. All existing walls shown will remain.



Photo 6: View from Existing 3rd-Floor Window Looking to Rear (Subject Property to the Right). Brick wall to remain, Roof to be Demolished for new Addition above



647 N. 16TH ST  
PHILADELPHIA, PA 19130

PROJECT INFORMATION:

OPA ACCOUNT NO. - 084116500

ZONING DESIGNATION - RESIDENTIAL MULTY-FAMILY- 1 (RM-1)

PROJECT DESCRIPTION - NEW ADDITION AND MULTI-FAMILY ALTERATION WITHIN EXISTING 3-STORY RESIDENTIAL STRUCTURE. SCOPE INCLUDES FIT-OUT OF FOUR (4) DWELLING UNITS, NEW REAR 3-STORY ADDITION WITH REAR BALCONIES, ROOF DECK AND ACCESS STRUCTURE (PILOT HOUSE), AND APPLICABLE FIXTURES AND FINISHES. FRONT FACADE, AND +/- 28'-0" OF ROOF STRUCTURE TO REMAIN UNCHANGED TO PROTECT PUBLIC VIEWS OF THE HISTORICAL PROPERTY. BRICK POINTING AND POWER WASHING AT FRONT FACADE SHALL MEET HISTORICAL COMMISSION STANDARDS.

CONSTRUCTION DOES NOT EXTEND INTO PUBLIC RIGHT OF WAY.

SPECIAL INSPECTIONS REQUIRED - SEE ASSOCIATED STATEMENT SPECIAL INSPECTION FORMS.

AREA OF EARTH DISTURBANCE: - 394 SQ. FT.

LOT AREA - 2022 SQ. FT

OCCUPANCY: RM-2 (ALL FLOORS)

GENERAL NOTES:

- THIS SET OF DOCUMENTS CONTAINS MULTIPLE NOTES AND DETAILS OF SPECIFIC AREAS. IF ANY OF THE NOTES OR DETAILS CONFLICT WITH OR CONTRADICT ANOTHER NOTE OR DETAIL, THE G.C. SHALL CALL THE CONSTRUCTION MANAGER AND ARCHITECT(FOR ARCHITECTURAL SHEETS) OR THE ENGINEER (FOR M.E.P. SHEETS) BEFORE BEGINNING WORK TO OBTAIN WRITTEN CLARIFICATION OR CORRECTION FROM THE ARCHITECT OR ENGINEER. IF THE G.C. FAILS TO REQUEST CORRECTION FROM THE ARCHITECT OR ENGINEER AND OBTAIN OWNER APPROVAL BEFORE DOING THE WORK AND IF THAT WORK NEEDS TO BE REDONE, IT SHALL BE REDONE BY THE G.C. AT THE G.C.'S EXPENSE. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR USING STANDARD INDUSTRY CONSTRUCTION PRACTICES
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK. ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE NOMINALLY ADJUSTED AS NEEDED IN THE FIELD TO PERFORM THE WORK.
- CONTRACTOR SHALL USE MATERIALS THAT CONFORM TO APPLICABLE SECTIONS OF 2018 IBC OR AS OTHERWISE SPECIFIED HEREIN.
- CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS, INCLUDING, BUT NOT LIMITED TO:
  - TEMPORARY SUPPORTS TO PROTECT EXISTING AND ADJACENT STRUCTURES
  - SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS TO BE DEMOLISHED.
- MAINTAINING SAFE AND CODE-COMPLIANT ACCESS DURING CONSTRUCTION,
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM AND FOR ENSURING THAT ALL WORK CONFORMS TO THE GOVERNING CODES AND DESIGNS PROVIDED BY THE ELECTRICAL ENGINEER UNDER SEPARATE APPLICATION. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE DESIGN OF THE ELECTRICAL SYSTEM.
- THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE HVAC SYSTEM. THE MECH. CONTRACTOR SHALL COORDINATE W/ THE GENERAL CONTRACTOR IN PERFORMING HIS WORK AND CONFORMING TO DESIGNS PROVIDED BY THE MECHANICAL ENGINEER UNDER SEPARATE APPLICATION. THE STRUCTURAL FRAMING MEMBERS, BEAMS AND COLUMNS SHALL NOT BE ALTERED IN ANY WAY WITHOUT APPROVAL OF A STRUCTURAL ENGINEER.
- THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE PLUMBING SYSTEM. THE PLUMBING CONTRACTOR SHALL COORDINATE W/ THE GENERAL CONTRACTOR IN PERFORMING HIS WORK AND CONFORMING TO DESIGNS PROVIDED BY THE MECHANICAL ENGINEER UNDER SEPARATE APPLICATION. THE STRUCTURAL FRAMING MEMBERS, BEAMS AND COLUMNS SHALL NOT BE ALTERED IN ANY WAY WITHOUT APPROVAL OF A STRUCTURAL ENGINEER.
- DETAILING OF INTERIOR AND EXTERIOR FINISHES IE: MILL WORK, TRIM, BUILT-INS, CASE WORK, ETC., SHALL BE THE RESPONSIBILITY OF THE GC

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CONSTRUCTION TYPE - VB (ALL FLOORS)

REQUIRED CONSTRUCTION RATINGS:  
DWELLING UNIT SEPARATIONS - 1-HR  
DWELLING UNIT DOORS - 1-HR  
EXIT STAIRS/CORRIDORS - 1-HR  
EXTERIOR SIDE WALLS - 1-HR

NFPA-13R SPRINKLER SYSTEM TO BE INSTALLED IN ENTIRE BUILDING (DESIGN BY OTHERS)

PROPOSED INTERIOR BUILDING AREA -  
BASEMENT 870 SQ. FT  
FIRST FLOOR 1245 SQ. FT  
SECOND FLOOR 1245 SQ. FT  
THIRD FLOOR 1245 SQ. FT  
MAZZANINE FLOOR 804 SQ. FT  
TOTAL 5209 SQ. FT.

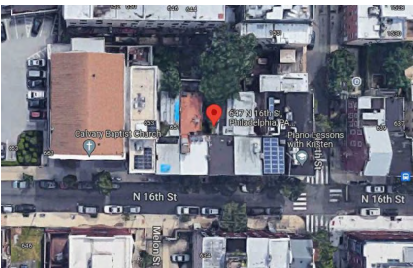
APPLICABLE CODES:  
2018 INTERNATIONAL RESIDENTIAL CODE  
2018 INTERNATIONAL EXISTING BUILDING CODE

DESIGN OCCUPANT LOADS:

DESIGN TEMP = 14 DEGREES  
WIND SPEED = 115 MPH  
SNOW LOAD = 30 PSF  
STAIRS LIVE LOAD = 40 PSF  
LIVING AREA FLOOR LIVE LOAD = 40 PSF  
ROOF LIVE LOAD = 40 PSF  
ROOF DEAD LOAD = 10 PSF  
GUARD/HANDRAIL LIVE LOAD = 200LB (CONCENTRATED)  
SEISMIC DESIGN = B

PROJECT TEAM

OWNER:	<b>MIKE RODGERS</b> 8176 18TH ST PHILADELPHIA, PA 19138 CONTACT: XXXX EMAIL: XXXX@gmail.com
ARCHITECT / STRUCTURAL ENGINEER	<b>LONEY ENGINEERING &amp; CONSULTING</b> 3502 SCOTT'S LANE SUITE 1101 PHILADELPHIA, PA 19129 CONTACT: DEVON LONEY EMAIL: INFO@LONEYENGINEERING.COM
GENERAL CONTRACTOR	
MEP ENGINEER / CONSULTANT	<b>TBD</b> SEPARATE PERMIT APPLICATIONS



PROJECT LOCATION

MATERIALS

	CONCRETE MASONRY UNIT (CMU)		BRICK (ELEVATION)
	WOOD SHEATHING		STONE FINISH
	CONCRETE		SIDING
	EARTH		CRUSHED STONE
	BATT INSULATION		GLASS
	RIGID INSULATION		STUCCO
	ROUGH WOOD		METAL PANEL

DRAWING INDEX:

DRAWING #	DRAWING TITLE	DATE	REVISION	
G-100	COVER SHEET AND PROJ INFO	12/15/22		
AD-100	DEMOLITION PLANS	12/15/22		
A-000	EGRESS PLAN	12/15/22		
A-100	PROPOSED FLOOR PLANS 1	12/15/22		
A-101	PROPOSED FLOOR PLANS 2	12/15/22		
A-200	BUILDING ELEVATIONS	12/15/22		
A-300	BUILDING SECTION	12/15/22		
A-400	ENLARGED PLANS	12/15/22		
A-500	ARCHITECTURAL DETAILS	12/15/22		
S-000	STRUCTURAL NOTES	12/15/22		
S-100	STRUCTURAL FRAMING PLANS 1	12/15/22		
S-100	STRUCTURAL FRAMING PLANS 2	12/15/22		
S-101	LATERAL BRACING PLANS	12/15/22		
S-500	STRUCTURAL DETAILS 1	12/15/22		
S-501	STRUCTURAL DETAILS 2	12/15/22		

DRAWING SYMBOLS:

	COLUMN REFERENCE GRID		WINDOW NUMBER
	SECTION MARK		DOOR NUMBER
	ELEVATION MARK		ROOM NUMBER
	DETAIL MARK		REVISION MARK
	PARTITION TYPE		CEILING MATERIAL & HEIGHT
	MATCH LINE		SMOKE/CO DETECTOR
	DOOR TYPE		BUILDING MATERIAL

GENERAL NOTES - NEW WORK

- CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ENCOUNTERED PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL NEW CONSTRUCTION TO MEET FEDERAL, STATE AND LOCAL CODE REGULATIONS AS REQUIRED BY GOVERNING BODIES AND AGENCIES HAVING JURISDICTION OVER PROJECT.
- CONTRACTOR SHALL PATCH AND REPAIR ALL AREAS THAT WERE DAMAGED AS A RESULT OF MODIFICATIONS AS PER THE CONTRACT DOCUMENTS, PATCH AND REPAIR TO MATCH EXISTING FINISH
- CONTRACTOR TO COORDINATE WITH OWNER FOR INSTALLATION OF ALL APPLIANCES.
- ALL WALLS AND CEILINGS TO BE 5/8" OR 1/2" GWB.
- V.L.F. ALL PLUMBING FIXTURE LOCATIONS PRIOR TO ROUGH-IN.
- PROVIDE CEMENT BOARD SUBSTRATE AT TILE AREAS.
- HINGE SIDE DOOR JAMBS ARE TO BE 4" OFF ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
- STRUCTURAL PLANS SHALL TAKE PRECEDENCE OVER ARCHITECTURAL LAYOUTS, WHERE A CONFLICT OCCURS, INSTALL PER STRUCTURAL PLANS AND NOTIFY THE ARCHITECT.

NOTES LEGEND

- 1-HR FIRE RATED DOOR - SELF CLOSING & LATCHING
- NEW STAIR

PARTITION LEGEND

	2X4 DF STUD @ 16" O.C. W/ NEW 1/2" GYP. BD. ON EA. SIDE, USE MOLD RESIST. GWB IN WET AREAS.		2X4 WOOD STUD @ 16" O.C. W/ NEW R-13 CAVITY INSULATION AND (1) LAYER 1/2" GYP. BD. EXISTING MASONRY WALL. MOLD RESISTANT GWB AND INSULATION, AND PT. BOT. PLATE IN BASEMENT.
	2X4 DF STUD @ 16" O.C. W/ 5/8" TYPE 'X' GWB. ON EA. SIDE TIGHT TO DICK, 1" FIBER REINFL. RESISTENT CHANNELS @ 16" O.C. ON ONE SIDE, 1-HR RATED UL D311 AND STC-52.		2X6 DF STUD @ 16" O.C. W/ EXTERIOR - BASE LAYER 7/16" STRUCTURAL PANELS (GWB) WITH WEATHER BARRIER (OR ZIP BRAND WOOD SHEATHING). FINISH PER ELEVATIONS AND WALL DETAIL. INTERIOR - 5/8" TYPE X GWB, MIN. R-20 INSULATION, 1-HR RATED PER IBC TABLE 721.1(2) ITEM 15-1.12.
	2X6 DF STUD @ 16" O.C. W/ EXTERIOR - 5/8" TYPE X EXTERIOR RATED GWB, VAPOR BARRIER. FINISH PER ELEVATIONS AND WALL DETAIL. INTERIOR - 5/8" TYPE X GWB, MIN. R-19 MINERAL FIBER INSULATION, 1-HR RATED PER IBC TABLE 721.1(2) ITEM 15-1.12.		EXPOSED BRICK WALL, FILL ALL VOIDS WITH MORTAR AND APPLY FINISH COAT FOR AIR BARRIER



Designed	D. LONEY
Drawn	D. LONEY
Checked	D. LONEY

647 N 16TH ST  
PHILADELPHIA, PA 19130  
MULTI-FAMILY ALTERATION AND ADDITION

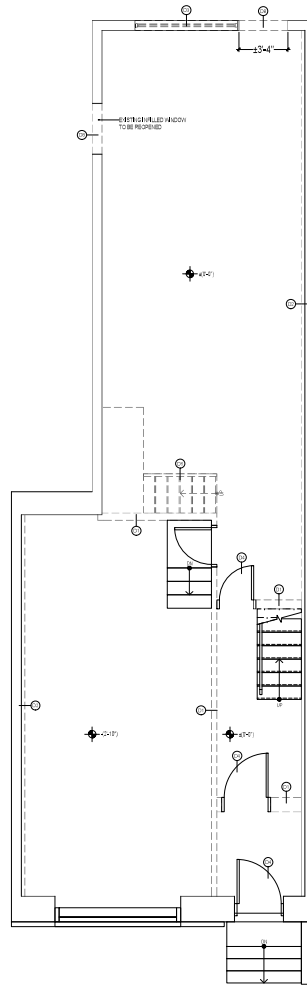
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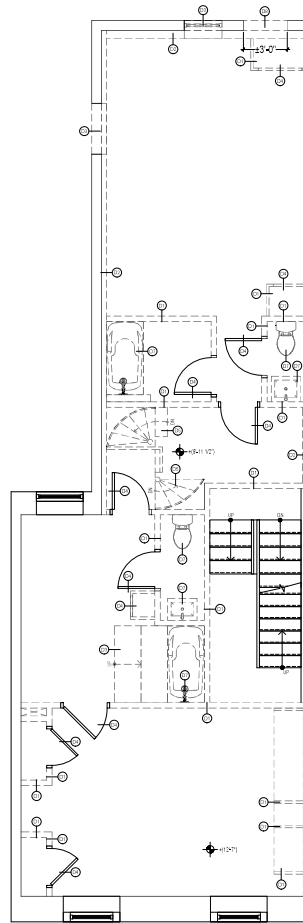
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G-100-00  
SHEET 1 OF 15

- (D1) REMOVE INTERIOR WALL AS INDICATED.
- (D2) REMOVE INTERIOR WALL STUDS AND FINISH AS INDICATED.
- (D3) REMOVE WINDOW AS INDICATED.
- (D4) REMOVE DOOR AND FRAME IN IT'S ENTIRETY.
- (D5) REMOVE STAIR.
- (D6) REMOVE CASEWORK.
- (D7) REMOVE PLUMBING FIXTURE AND ASSOCIATED PLUMBING.
- (D8) DEMOLISH PORTION OF EXTERIOR WALL FOR ACCESS
- (D9) DEMOLISH PORTION OF ROOF

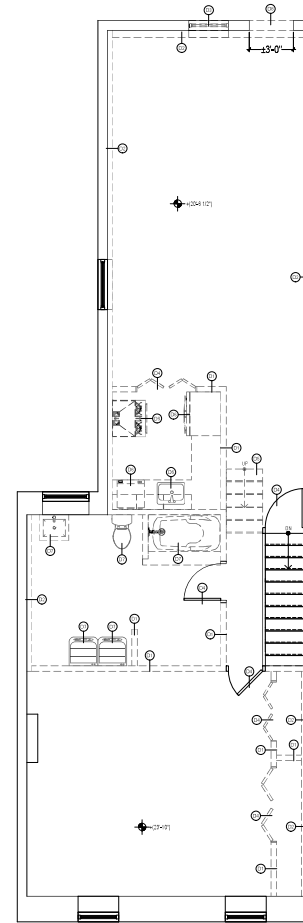
1. REMOVE ALL ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT, UNLESS OTHERWISE NOTED.
2. REMOVE ALL INTERIOR FINISHES, INCLUDING FLOORING WALL PANELING, CEILINGS, ETC.



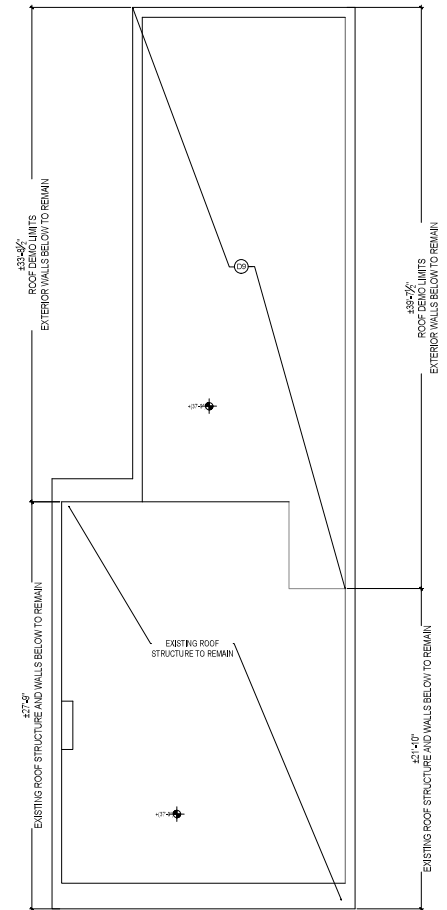
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2 SECOND FLOOR PLAN-DEMOLITION  
1/4" = 1'-0"



3 THIRD FLOOR PLAN-DEMOLITION  
1/4" = 1'-0"



4 ROOF PLAN-DEMOLITION  
1/4" = 1'-0"



6184 RIDGE AVE., #35119  
PHILADELPHIA, PA 19128  
INFO@BLONEYENGINEERING.COM  
215-203-6924

Drawn	D. LONEY
Checked	D. LONEY

047 N 10TH ST  
PHILADELPHIA, PA 19130

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MULTI-FAMILY ALTERATION AND ADDITION

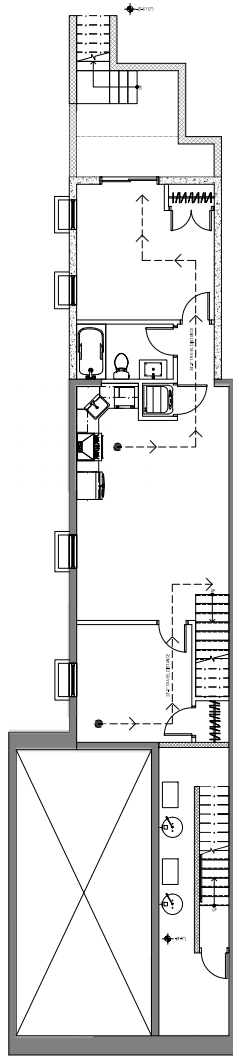
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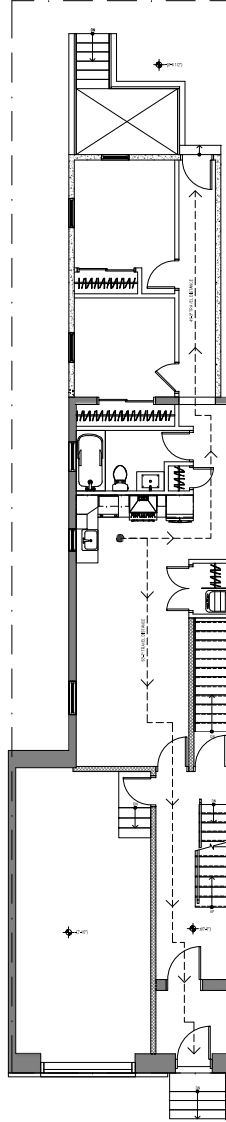
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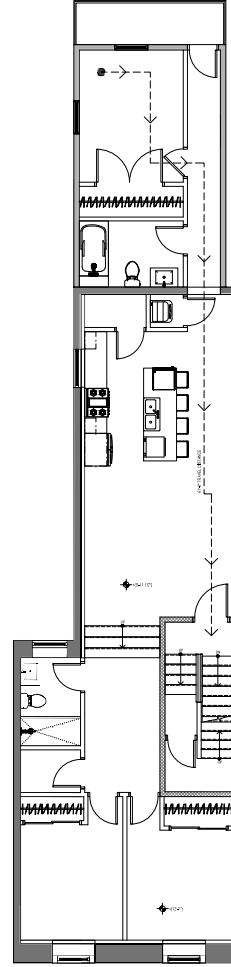
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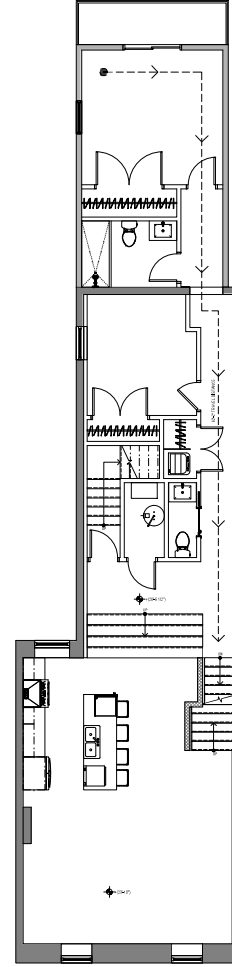
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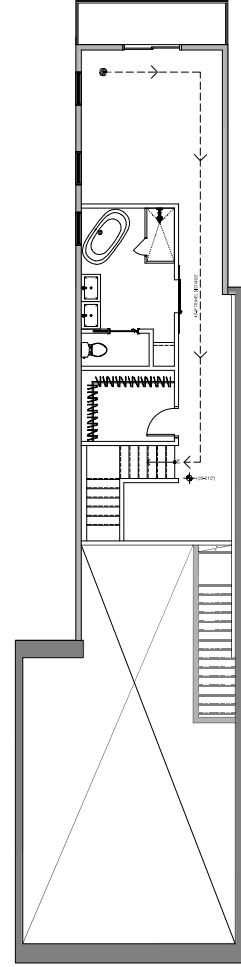
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3/16" = 1'-0"



2 SECOND FLOOR - LIFE SAFETY  
3/16" = 1'-0"



3 THIRD FLOOR - LIFE SAFETY  
3/16" = 1'-0"



4 MEZZANINE - LIFE SAFETY  
3/16" = 1'-0"



Designed	D. LONEY
Drawn	D. LONEY
Checked	D. LONEY

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MULTI-FAMILY ALTERATION AND ADDITION

NO.	REVISIONS	DATE
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DRAWING TITLE  
EGRESS PLAN

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A-000-00

SHEET 3 OF 15





Drawn	D. LONEY
Checked	D. LONEY

647 N 10TH ST  
PHILADELPHIA, PA 19130

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MULTI-FAMILY ALTERATION AND ADDITION

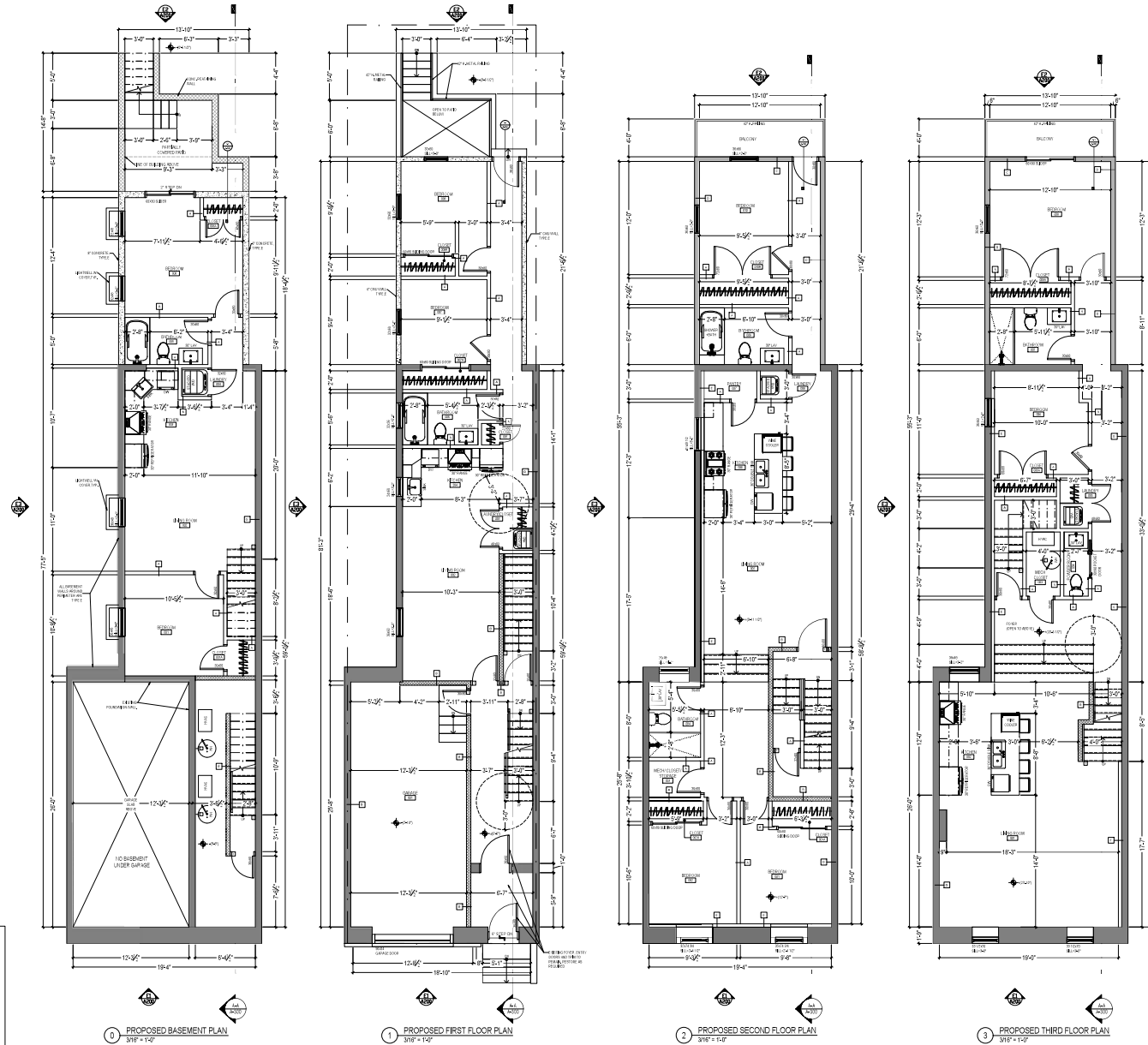
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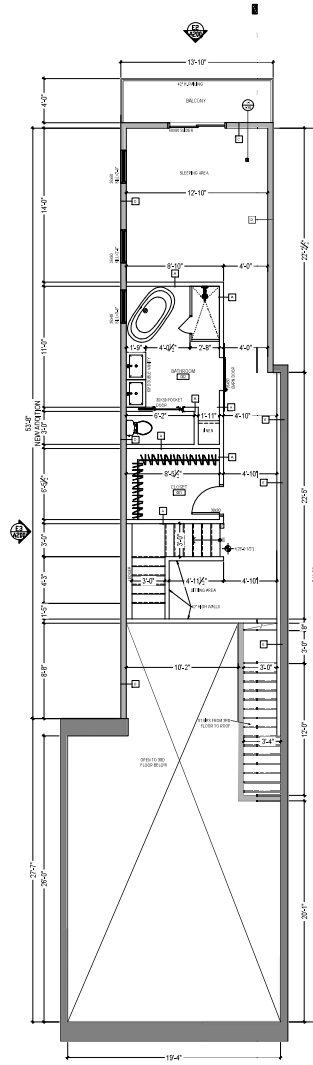
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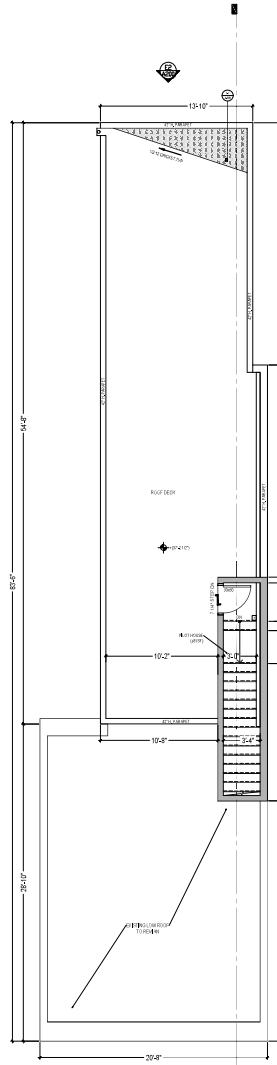
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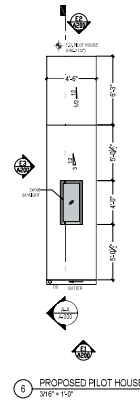
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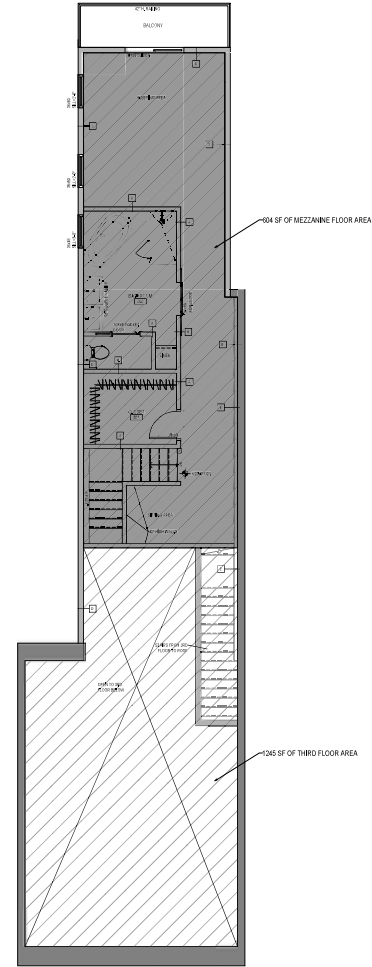
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5 PROPOSED ROOF PLAN  
3/16\" = 1'-0"



6 PROPOSED PILOT HOUSE  
3/16\" = 1'-0"



7 THIRD FLOOR & MEZZANINE AREA PLAN  
3/16\" = 1'-0"



Designed	D. LONEY
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Checked	D. LONEY

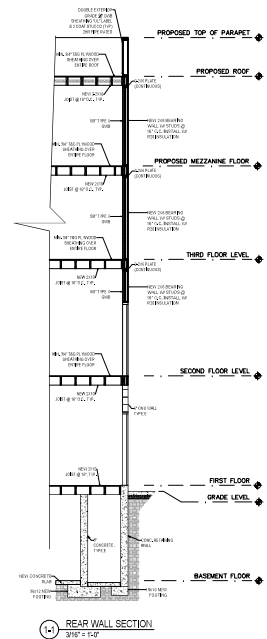
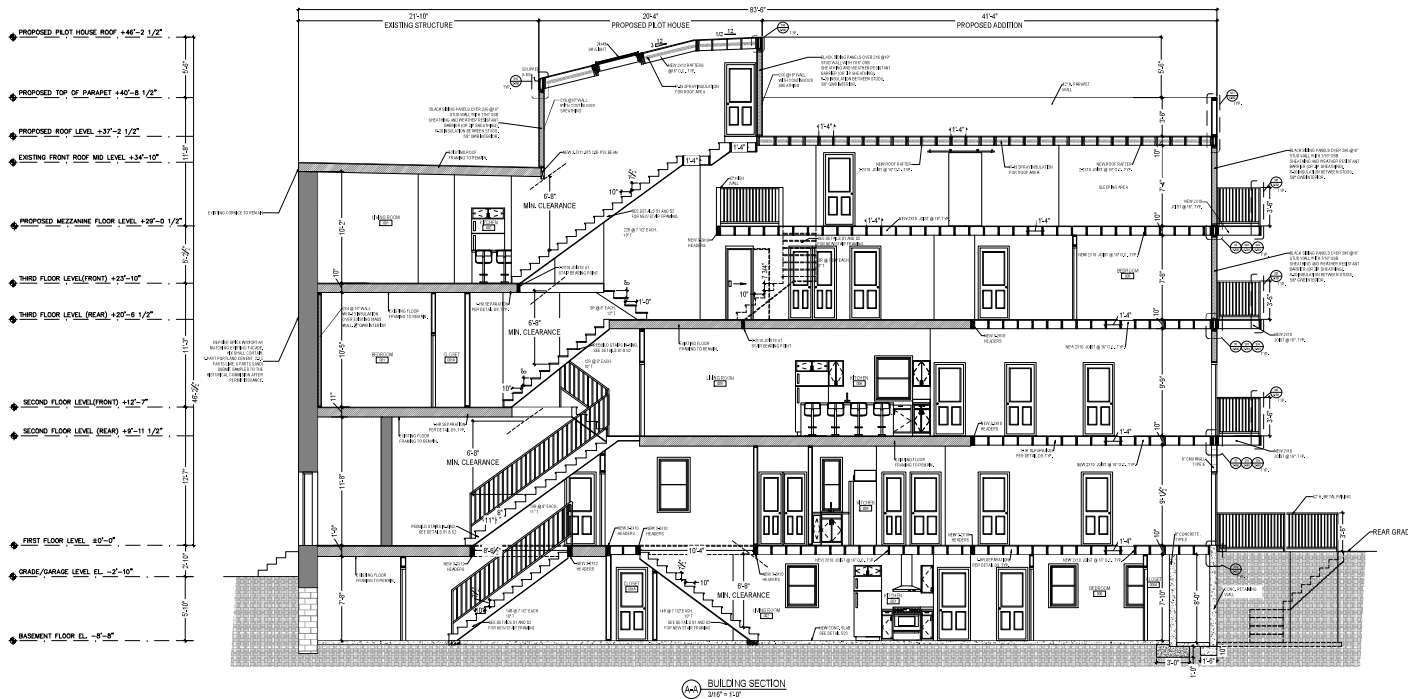
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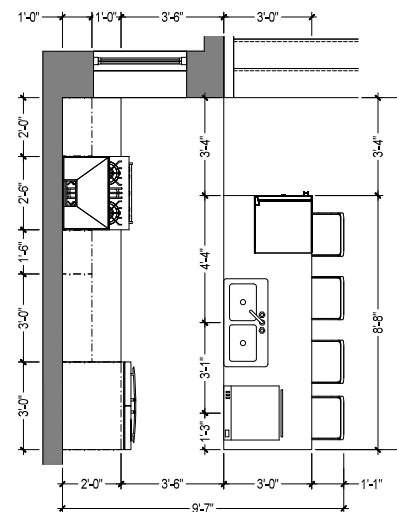
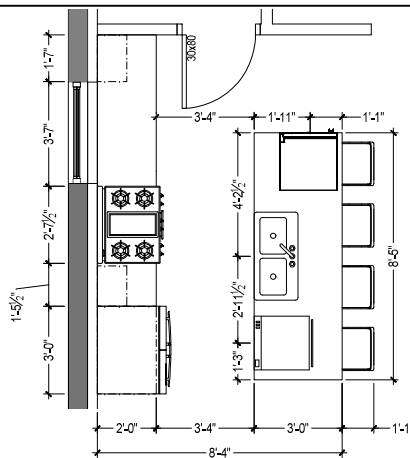
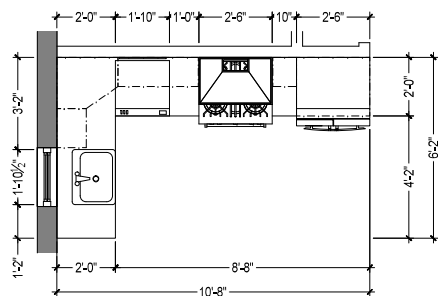
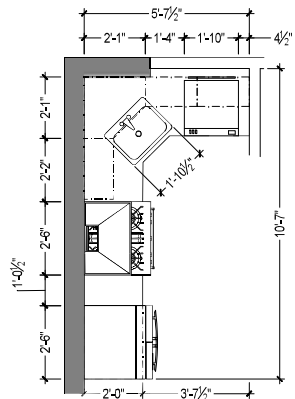








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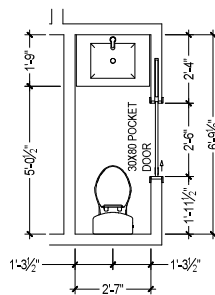
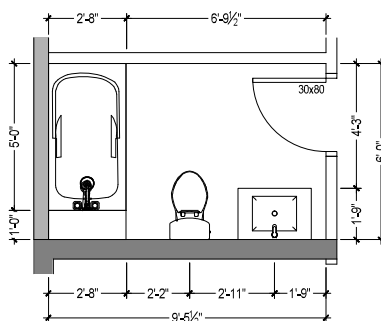
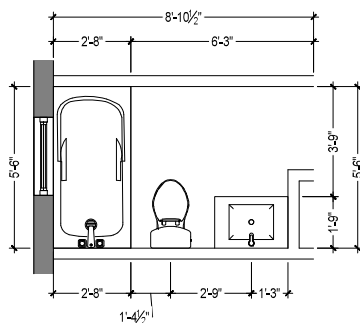
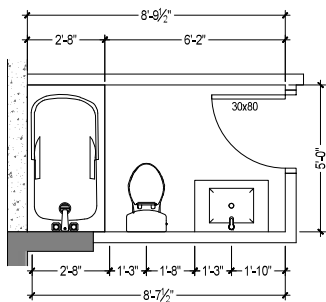


**A KITCHEN ENLARGED PLAN**  
1/2" = 1'-0"

**B KITCHEN ENLARGED PLAN**  
1/2" = 1'-0"

**C KITCHEN ENLARGED PLAN**  
1/2" = 1'-0"

**D KITCHEN ENLARGED PLAN**  
1/2" = 1'-0"

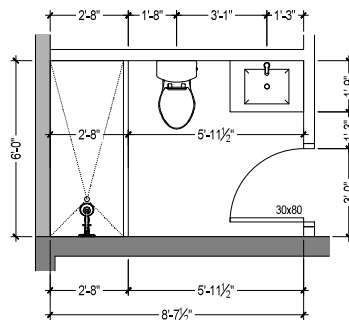


**E BATHROOM 5**  
1/2" = 1'-0"

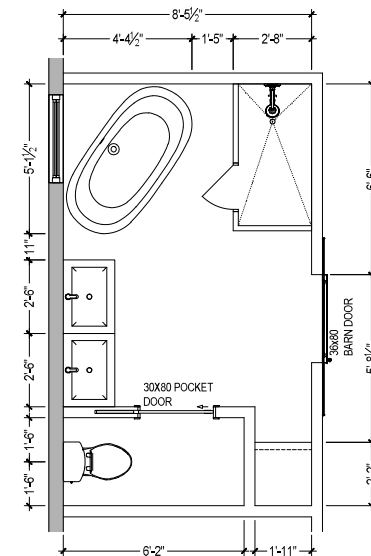
**F BATHROOM 6**  
1/2" = 1'-0"

**G BATHROOM 9**  
1/2" = 1'-0"

**H POWDER ROOM 4**  
1/2" = 1'-0"



**I BATHROOM 7**  
1/2" = 1'-0"



**J BATHROOM 2**  
1/2" = 1'-0"

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4181 BODE AVE. #2110  
PHILADELPHIA, PA 19128  
PHOTOGRAPHY BY LONEY  
215-351-8824

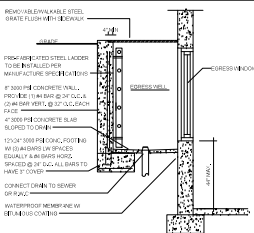
Designed	D. LONEY
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Checked	D. LONEY

647 N 16TH ST  
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MULTI-FAMILY ALTERATION AND ADDITION

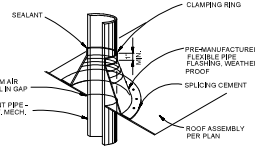
REVISIONS	DATE
DESCRIPTION	12/19/22
SUBMIT FOR APPROVAL	
NO.	0



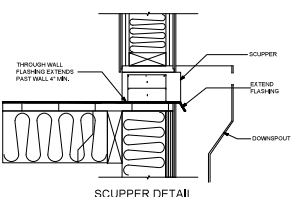
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**ENLARGED PLANS**  
DRAWING NO.  
**A-400-00**  
SHEET **8** OF **15**



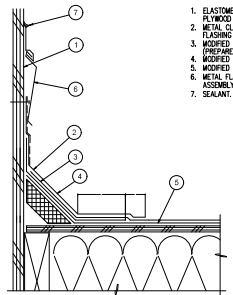
**D1** TYPICAL EGRESS WELL DETAIL  
NOT TO SCALE



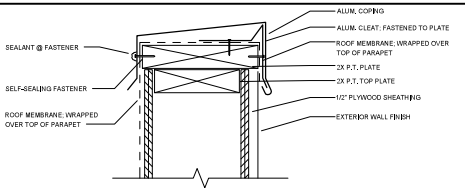
**D2** VENT THRU ROOF DETAIL 2  
NOT TO SCALE



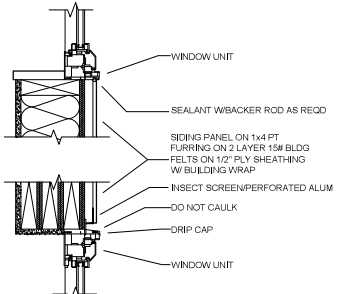
**D3** ROOF SCUPPER AND DRAIN DETAIL  
NOT TO SCALE



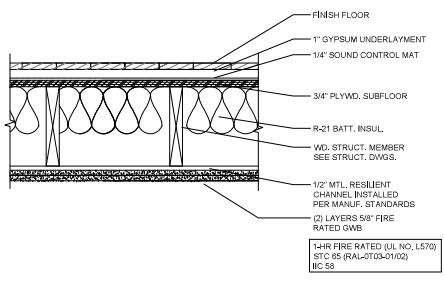
**D4** WALL-ROOF INTERFACE FLASHING  
NOT TO SCALE



**D5** PARAPET DETAIL  
NOT TO SCALE

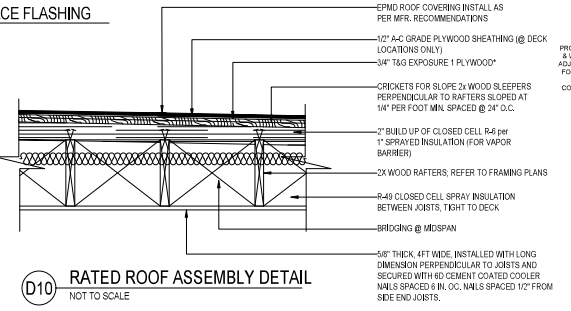


**D7** SIDING FLASHING DETAIL  
NOT TO SCALE

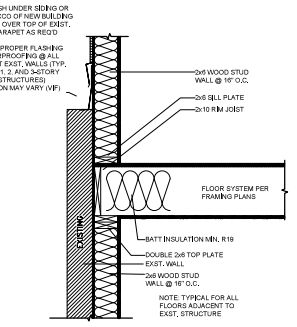


**D9** TYPICAL 1-HR FLOOR ASSEMBLY BETWEEN UNITS  
UL DESIGN NO. L570

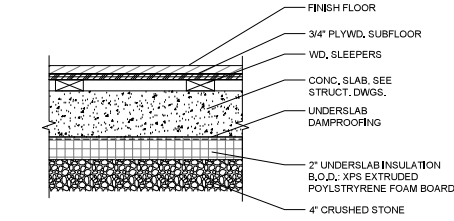
**ALTERNATE INSULATION METHOD:**  
INSTALL MIN. R-49 FG, BATT INSULATION IN CEILING JOISTS; ENSURE MIN. 1" AIRSPACE ABV. INSULATION FOR VENTING USING 2X SLEEPERS. PLEASE NOTE THAT USING THIS METHOD WILL REQUIRE THE INSTALLATION OF ROOF VENTS, AURA VENTILATORS @ TOP OF SLOPE, AND POP VENTS @ BOTTOM OF SLOPE. REFER TO MANUF. FOR SIZE & QUANTITY REQUIREMENTS.



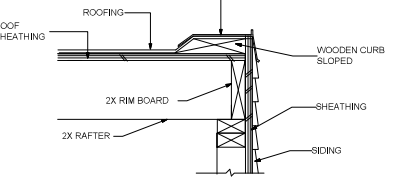
**D10** RATED ROOF ASSEMBLY DETAIL  
NOT TO SCALE



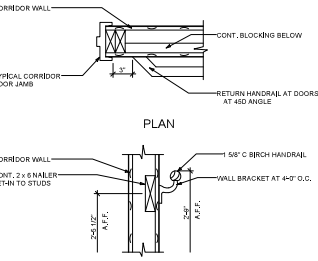
**D12** NEW WALL @ ADJACENT BUILDING  
VERIFY IN FIELD-AB WALL OPTION



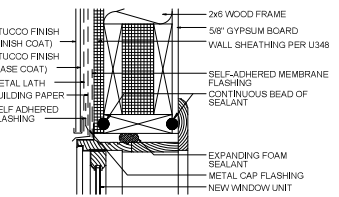
**D11** TYPICAL BASEMENT FLOOR DETAIL  
NOT TO SCALE



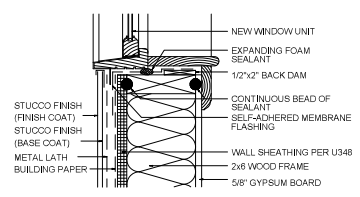
**D13** CURBED ROOF DETAIL  
NOT TO SCALE



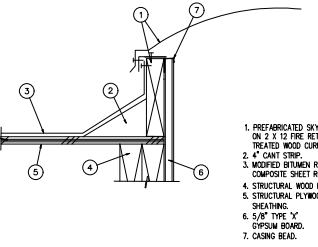
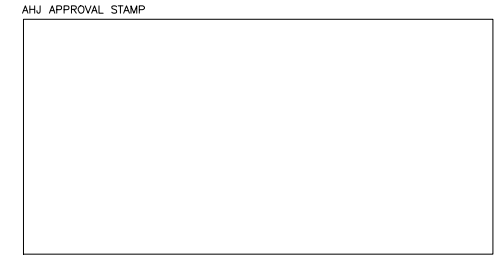
**D15** HANDRAIL CONNECTION DETAIL  
NOT TO SCALE



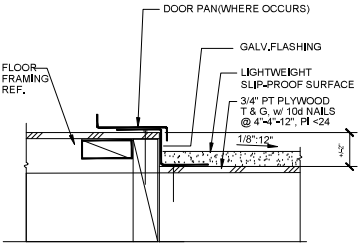
**D16** STUCCO FLASHING DETAIL (ABOVE OPENING)  
NOT TO SCALE




**D17** STUCCO FLASHING DETAIL (BELOW OPENING)  
NOT TO SCALE



**D22** SKYLIGHT CURB DETAIL  
NOT TO SCALE - SEE MANUFACTURERS INSTRUCTIONS




**D23** BALCONY THRESHOLD DETAIL  
NOT TO SCALE



818 W. BODE AVE., #2110  
PHILADELPHIA, PA 19128  
PH: 215-588-8800  
FAX: 215-588-8804

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	Drawn		D. LONEY	

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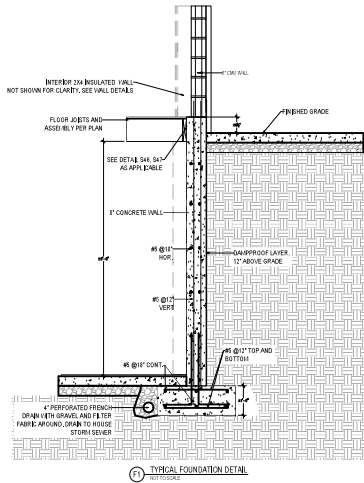
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**ARCHITECTURAL DETAILS**

DRAWING NO.  
**A-500-00**

SHEET **9** OF **15**



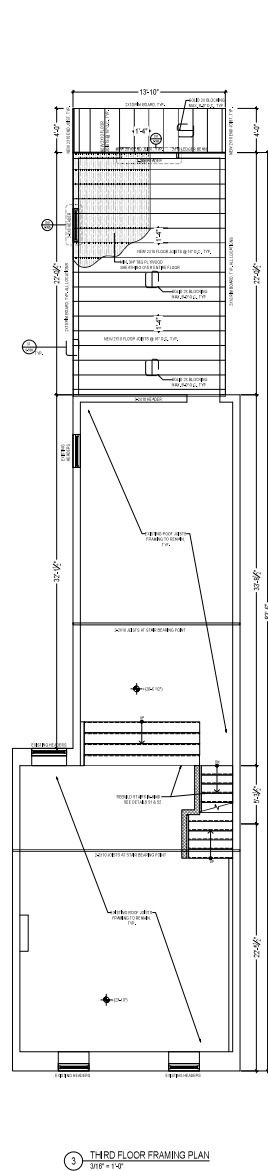
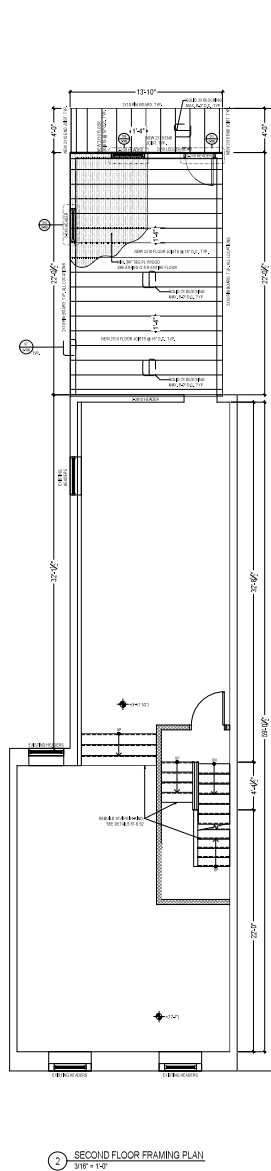
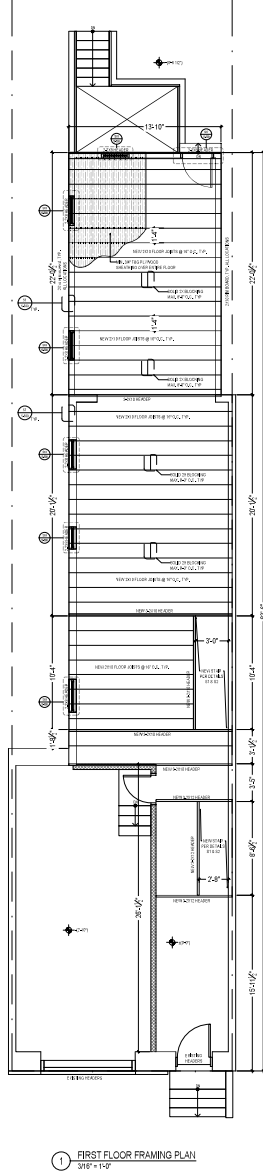
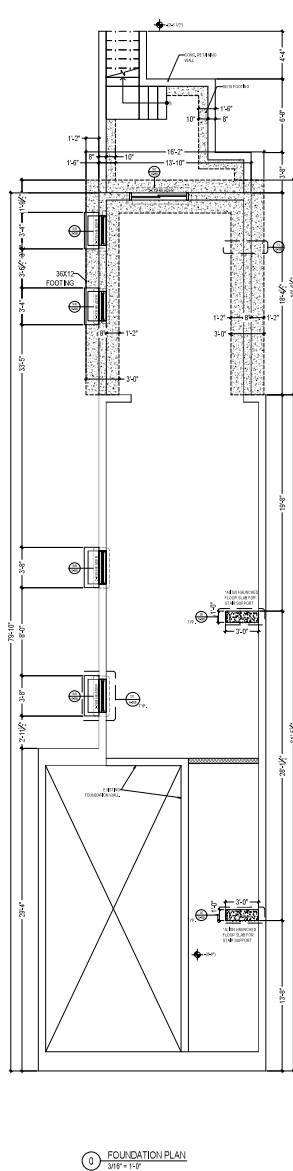




**JOIST REPLACEMENT ANALYSIS:**  
 PROPOSED NEW/ALTERED JOISTS : 167  
 EXISTING JOISTS TO REMAIN : 136  
 TOTAL JOIST COUNT : 303  
 PERCENTAGE OF JOISTS BEING REPLACED 55.1% < 65% --> ALTERATION OF EXISTING BUILDING.

FLOOR LEVEL	EXIST. JOISTS	NEW JOISTS	TOTAL JOISTS	% OF NEW
FIRST	21	43	64	67.2%
SECOND	47	17	64	26.6%
THIRD	47	17	64	26.6%
MEZZANINE	0	35	35	100%
ROOF	21	43	64	67.2%
PILOT ROOF	0	12	12	100%
TOTAL	136	167	303	55.1%

AHU APPROVAL STAMP



DESIGNED BY: D. LONEY  
 DRAWN BY: D. LONEY  
 CHECKED BY: D. LONEY

647 N 16TH ST  
 PHILADELPHIA, PA 19130  
 MULTI-FAMILY ALTERATION AND ADDITION

REVISIONS  
 NO. 0  
 DATE 12/19/22  
 DESCRIPTION SUBMIT FOR APPROVAL



DRAWING TITLE  
 STRUCT. FRAMING PLANS 1  
 DRAWING NO.  
 S-100-01  
 SHEET 11 OF 15

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Checked	D. LONEY




647 N 16TH ST  
PHILADELPHIA, PA 19130

REVISIONS		
NO.	DESCRIPTION	DATE
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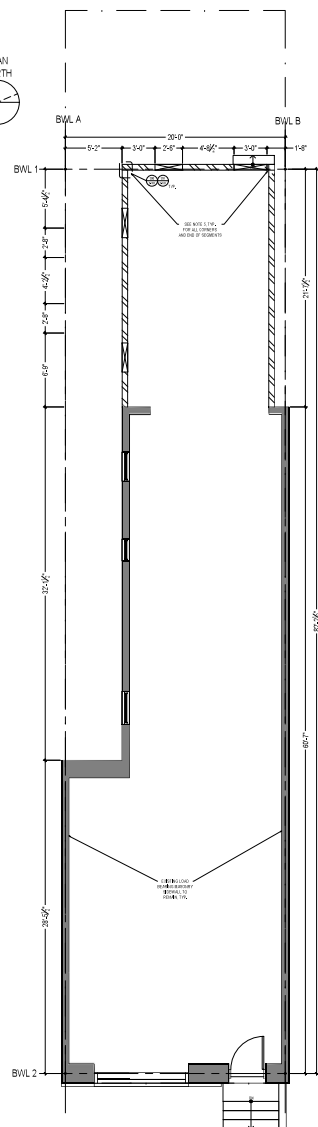


DRAWING TITLE
<b>STRUCT. FRAMING PLANS 2</b>
DRAWING NO.
<b>S-100-00</b>
SHEET <b>12</b> OF <b>15</b>

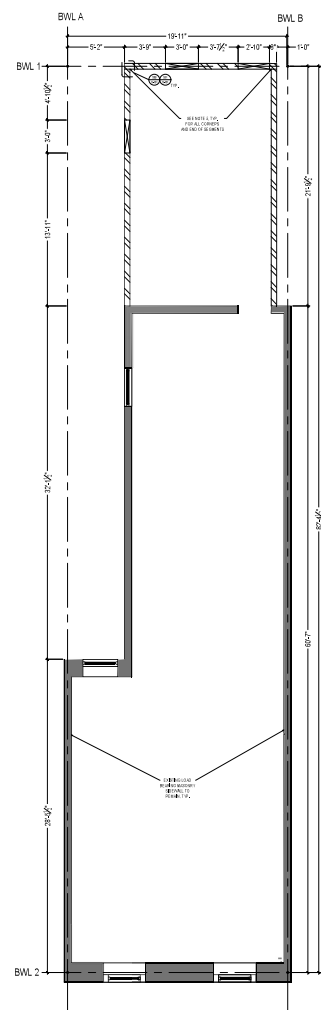
1. GIVEN THAT THE EXISTING REMAINING MASONRY WALLS ARE NOT DISTURBED AND INTERNALLY BRACED, THE EXISTING LATERAL BRACING CAPACITY IS NOT AFFECTED BY THE REAR ADDITION.
2. THE BRACING ANALYSIS HEREIN IS AN PRESCRIPTIVE DESIGN BASED ON THE PROVISIONS OF 2018 AISC WFCM TABLE 3.1.7A, THE 2015 IRC, AND ARE HEREBY SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA IN THE CATEGORY OF PENALTY ENGINEERING. IT IS NOTED THAT THIS METHOD IS ADEQUATE TO RESIST LATERAL LOADS PRESCRIBED BY CODE AND LOCAL ORDINANCES.
3. BRACED WALL LINE LENGTH REQUIREMENTS FOR BRACED WALL LINES 1 AND 2 WERE ADJUSTED PER TABLE AISC WFCM TABLE 3.1.7A FOOTNOTE 4, WHERE THE REQUIRED VALUES FOUND IN TABLE 3.1.7A WERE MULTIPLIED BY APPLICABLE ADJUSTMENT FACTORS DUE TO A FLAT ROOF CONDITION.
4. ALL NEW WALLS SHALL BE CONSTRUCTED AND FASTENED IN ACCORDANCE WITH THESE PLANS AND THE FASTENING SCHEDULE IS PROVIDED HEREIN. THE FASTENING CODE SHALL BE THE FASTENING CODE.
5. AT EACH SEGMENT OR AT THE END OF A PERFORATED SHEAR WALL, HOLD-DOWNS WITH A MIN. CAPACITY OF 4.63 KIPS SHALL BE INSTALLED. LOAD SHALL BE TABULATED FOR EACH STORY AND THE SUM TRANSFERRED SECURELY TO THE FOUNDATION. A SINGLE HOLD DOWN MAY BE INSTALLED AT SHEAR WALL CORNERS WHEN INSTALLED IN ACCORDANCE WITH FIGURE 3.5.8.4 OR 3.5.8.5.
6. TEMPORARY BRACE WALLS UNDER CONSTRUCTION IN ACCORDANCE WITH OSHA REQUIREMENTS AND SAFE CONSTRUCTION PRACTICES.

WALL BRACING SCHEDULE			
SYMBOL	BRACING TYPE	SHEATHING DETAIL	MIN. PANEL SIZE
	CS-WSP	MIN. 7/16" OSB CONTINUOUSLY SHEATHED. INSTALL BLOCKING BETWEEN STUDS	2'-6"
	GB	2 LAYERS OF 5/8" GYPSUM PANEL	4'-0"
	EXISTING WALL	EXISTING MASONRY WALL	N/A

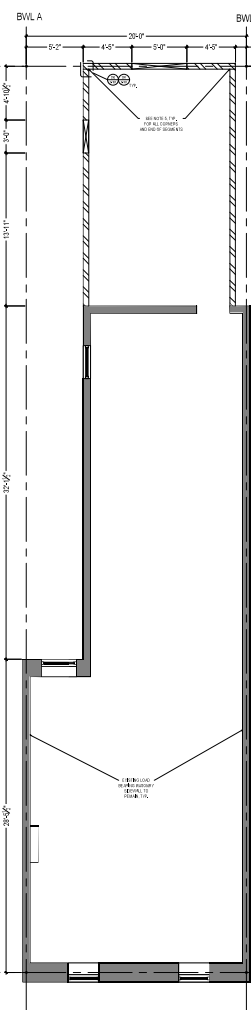
WALL BRACING ANALYSIS (REAR ADDITION)				
<u>BRACED WALL LINE</u>	FLOOR	REQUIRED BRACING K/FT	BRACING PROVIDED K/FT	ENGINEER REMARKS
A	1	2'-6"	6'-9"	ADEQUATE BRACING
B	1	2'-6"	21'-7"	ADEQUATE BRACING
1	1	3'-0"	4'-6"	ADEQUATE BRACING
2	1	EXISTING	EXISTING	EXISTING
A	2	3'-0"	13'-11"	ADEQUATE BRACING
B	2	2'-6"	21'-9"	ADEQUATE BRACING
1	2	3'-0"	3'-9"	ADEQUATE BRACING
2	2	EXISTING	EXISTING	EXISTING
A	3	3'-0"	3'-11"	ADEQUATE BRACING
B	3	2'-6"	21'-9"	ADEQUATE BRACING
1	3	5'-0"	4'-5"	ADEQUATE BRACING
2	3	EXISTING	EXISTING	EXISTING
A	4	2'-6"	35'-11"	ADEQUATE BRACING
B	4	2'-6"	21'-6"	ADEQUATE BRACING
1	4	5'-0"	4'-5"	ADEQUATE BRACING
2	4	EXISTING	EXISTING	EXISTING

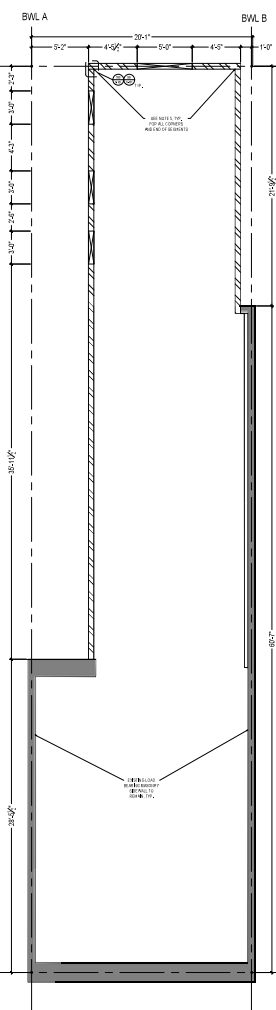
1 FIRST FLOOR BRACING PLAN  
20'0" = 1" (1/8")



2 SECOND FLOOR BRACING PLAN  
3/16/87 - 11/05



3 THIRD FLOOR BRACING PLAN  
3/16/87 - 5' 0"



4 MEZZANINE BRACING PLAN  
3/10" = 1' 0"



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215-203-6924

Designed	D. LONEY
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647 N 16TH ST  
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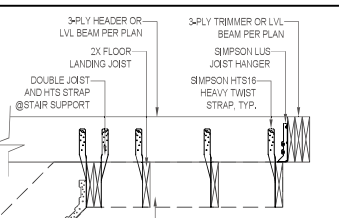


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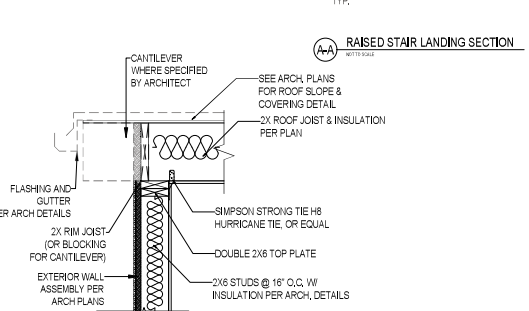
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**S-101-00**

SHEET 13 OF 15

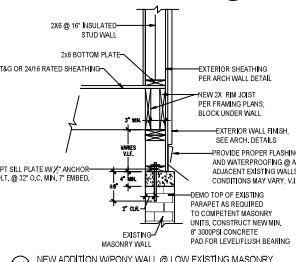




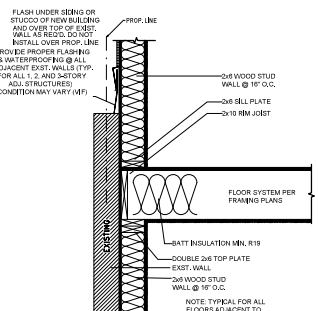
**(S6A) TYPICAL RAISED STAIR LANDING CONNECTION**  
NOT TO SCALE



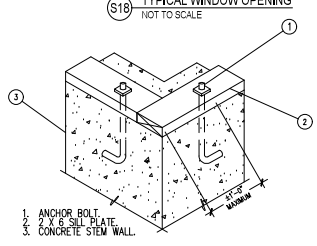
**(S10) TYPICAL FLAT ROOF CONNECTION**



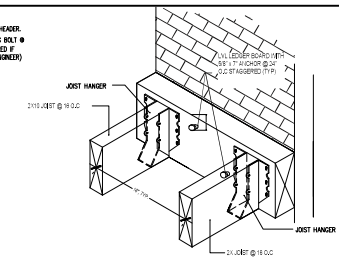
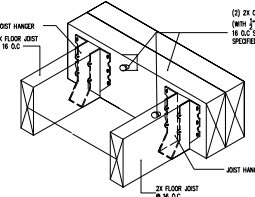
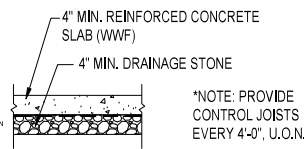
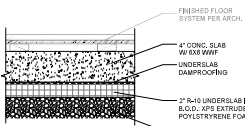
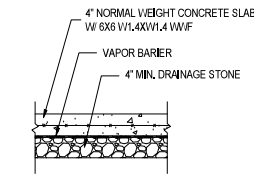
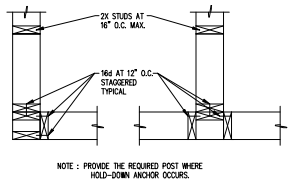
**S144 NEW ADDITION WIPONY WALL @ LOW EXISTING MASONRY**  
THIS IS SUBJECT TO THE FOUNDATION WORKING UNDER THE EXISTING



(S16) NEW WALL @ ADJACENT BUILDING



**S20 2X6 SILL PLATE CORNER DETAIL**  
NOT TO SCALE - TYPE CL AT WALL CORNERS



**S21** STUD WALL INTERSECTION & CORNER CONNECTIONS  
TYPICAL AT ALL NEW WALL CORNERS

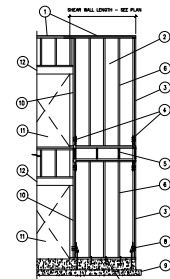
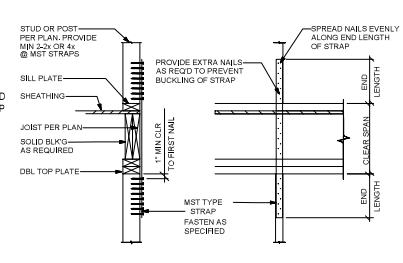
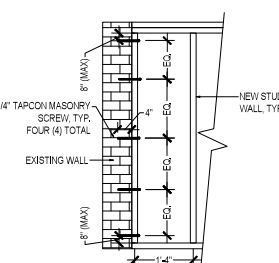
**S23** TYPICAL SLAB DETAIL 1  
NOT TO SCALE - INSULATED

**S23A** TYPICAL SLAB DETAIL 2  
NOT TO SCALE - INSULATED

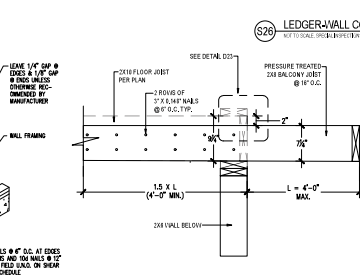
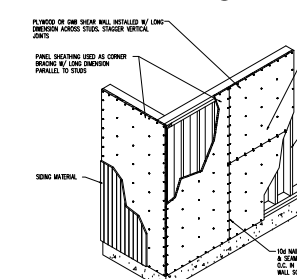
**S24** TYPICAL EXTERIOR SLAB  
NOT TO SCALE

**S25** JOIST - BEAM CONNECTION W/ HANGERS  
NOT TO SCALE - SEE MANUFACTURER'S

**S26** LEDGER/WALL CONNECTION DETAIL  
NOT TO SCALE - SEE MANUFACTURER'S



1. DAPHAUSE BOUNDARY NAILING
2. CROWN BULGING ON PLYWOOD
3. SHEAR WALL - SEE SCHEDULE
4. WALL CORNER REINFORCEMENT - SEE AT OPEN CORNER, PROVIDE TIES AT EACH CORNER
5. FLOOR JOIST - SEE PLAN
6. 2x STUDS AT 16\"/>
- 7. ALL PLATE AND ANCHOR BOLTS PER SCHEDULE
- 8. TYPING USE AND REINFORCING PER PLAN
- 9. DOUBLE END OF COLUMN - SEE PLAN
- 10. DOUBLE END OF COLUMN - SEE PLAN
- 11. DOUBLE END OF COLUMN - SEE PLAN
- 12. DOUBLE END OF COLUMN - SEE PLAN



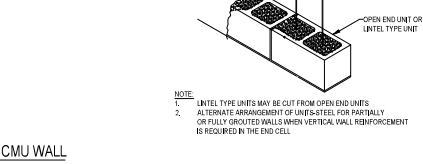
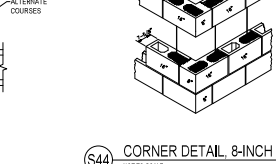
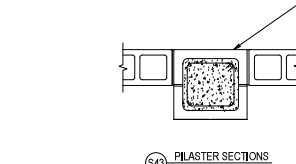
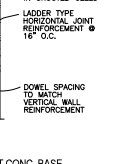
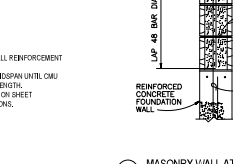
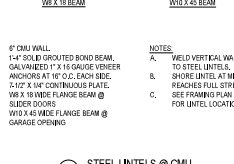
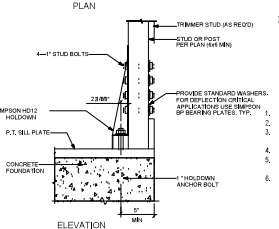
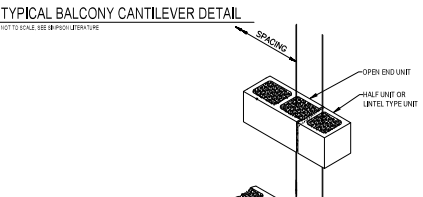
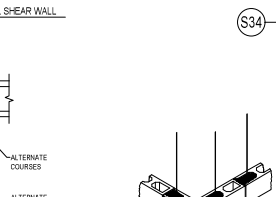
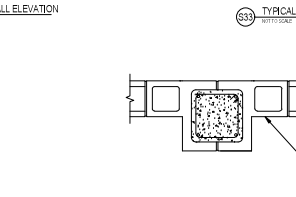
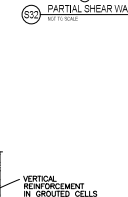
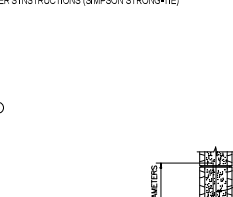
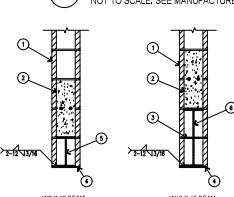
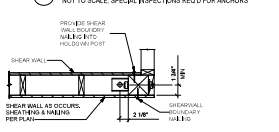
**S27** NEW STUD WALL-EXISTING MASONRY DETAIL  
NOT TO SCALE. SPECIAL INSPECTIONS REQ'D FOR ANCHORS

**S31** TYPICAL FLOOR-FLOOR HOLD DOWN DETAIL  
NOT TO SCALE. SEE MANUFACTURER'S INSTRUCTIONS (SIMPSON STRONG-TIE)

**S32** PARTIAL SHEAR WALL ELEVATION  
NOT TO SCALE

**S33** TYPICAL SHEAR WALL  
NOT TO SCALE

**S34** TYPICAL BALCONY CANTILEVER DETAIL  
NOT TO SCALE. SEE MANUFACTURER'S



**S30** TYPICAL SHEAR WALL CORNER HOLD DOWN  
SIMPSON STRONG-TIE - HOTS, OR EQUAL

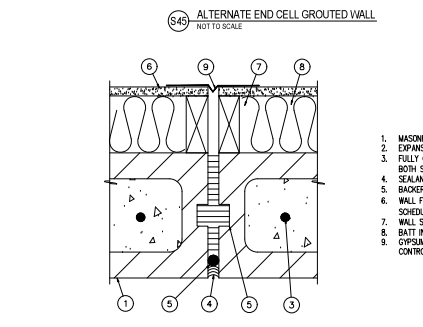
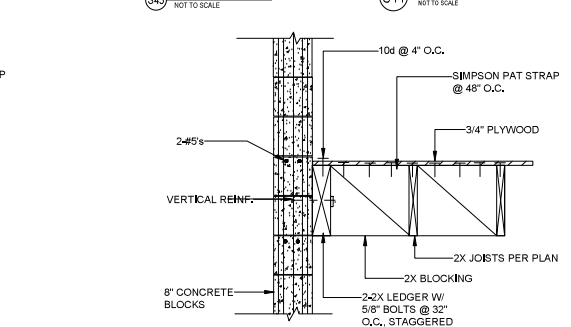
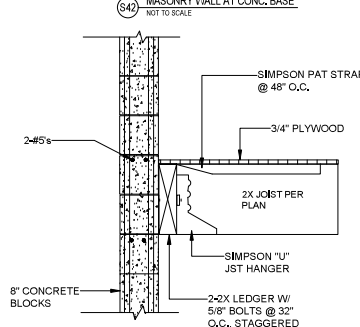
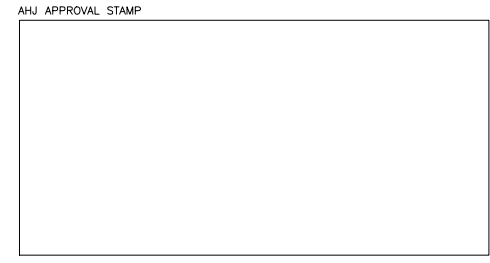
**S41** STEEL UNTELS @ CMU  
NOT TO SCALE

**S42** MASONRY WALL AT CONC. BASE  
NOT TO SCALE

**S43** PLASTER SECTIONS  
NOT TO SCALE

**S44** CORNER DETAIL, 8-INCH CMU WALL  
NOT TO SCALE

**S46** ALTERNATE END CELL GROUDED WALL  
NOT TO SCALE



**S46** CONC. BLKS TO LEDGER  
NOT TO SCALE

**S47** CONC. BLKS TO LEDGER  
NOT TO SCALE

**S48** MASONRY CONTROL JOINT  
NOT TO SCALE