



**KELLY MAIELLO ARCHITECTS**

1420 Walnut Street, 15th Floor  
Philadelphia, PA 19102  
www.kmarchitects.com

November 30, 2022

C. Beige Berryman, AICP, Senior Planner  
The Philadelphia Art Commission  
One Parkway building  
1515 Arch St. 13<sup>th</sup> Floor  
Philadelphia, PA 19102

Re: **REBUILD: Kingsessing Recreation Center Building Renovations and Site Improvements**  
**Request for Art Commission Final Approval**

Dear Ms. Berryman,

Kelly Maiello Architects (KMA) requests the Commission's consideration, review and approval of the above referenced project at its December 14, 2022 meeting.

Exhibits are forthcoming for reference including site plan, floor plans, elevations, existing conditions / context plan and photographs. We will also include a statement from the Public Art Office about the Percent for Art Program.

Located in the Kingsessing section of West Philadelphia, the property occupies a 9.2-acre parcel between Kingsessing Ave., Chester Ave., 49th St. and 51st St. The site houses two structures: a 32,000 SF, two-story + basement recreation center with an auditorium, gymnasiums, public computing center, weight room, locker rooms, multipurpose spaces, offices, mechanical and storage spaces, operated by the City of Philadelphia Parks and Recreation Department; and the library which had been reviewed for final approval at the July Art Commission meeting. Site amenities include playground equipment, baseball and football/soccer fields, basketball and tennis courts, a handball court, community gardens, and a swimming pool.

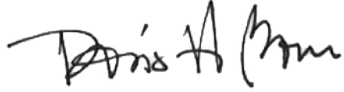
Built in 1916, the Recreation Center is a brick masonry and granite structure, with limestone and terracotta trim elements. The Kingsessing Park and Recreation Center property, including the Library building, was added to the Philadelphia Register of Historic Places in 2009.

The site improvements include site accessibility, stormwater management, new artificial turf fields, new play structures, new or improved connection pathways, development of other community gathering spaces and repair of select site structures. The building improvements include exterior masonry cleaning, pointing and restoration, egress and ADA accessibility upgrades - including new elevator and lifts and accessible restrooms, upgrades to MEP/FP systems, and interior finishes throughout with select areas of reconfiguration.

KMA appreciates your assistance in scheduling this project for the December Art Commission agenda. For this submission we are seeking final approval.

Thank you in advance for your help in this matter. Please do not hesitate to contact me via email at [dbova@kmarchitects.com](mailto:dbova@kmarchitects.com) or at (215) 546-0800 ext. 115 if you have any questions or need further information.

Sincerely,

A handwritten signature in black ink, appearing to read "Doris H. Bova". The signature is fluid and cursive, with the first name "Doris" being the most prominent.

Doris H. Bova, AIA



# KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS



THE PHILADELPHIA ART COMMISSION PRESENTATION  
DECEMBER 14 2022







*User Groups*

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*Community Engagement*

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Portfolio Associates Inc.

*Architect*



*Landscape Architect*



*MEP, Structural, Site Civil*



*LEED Consultant*

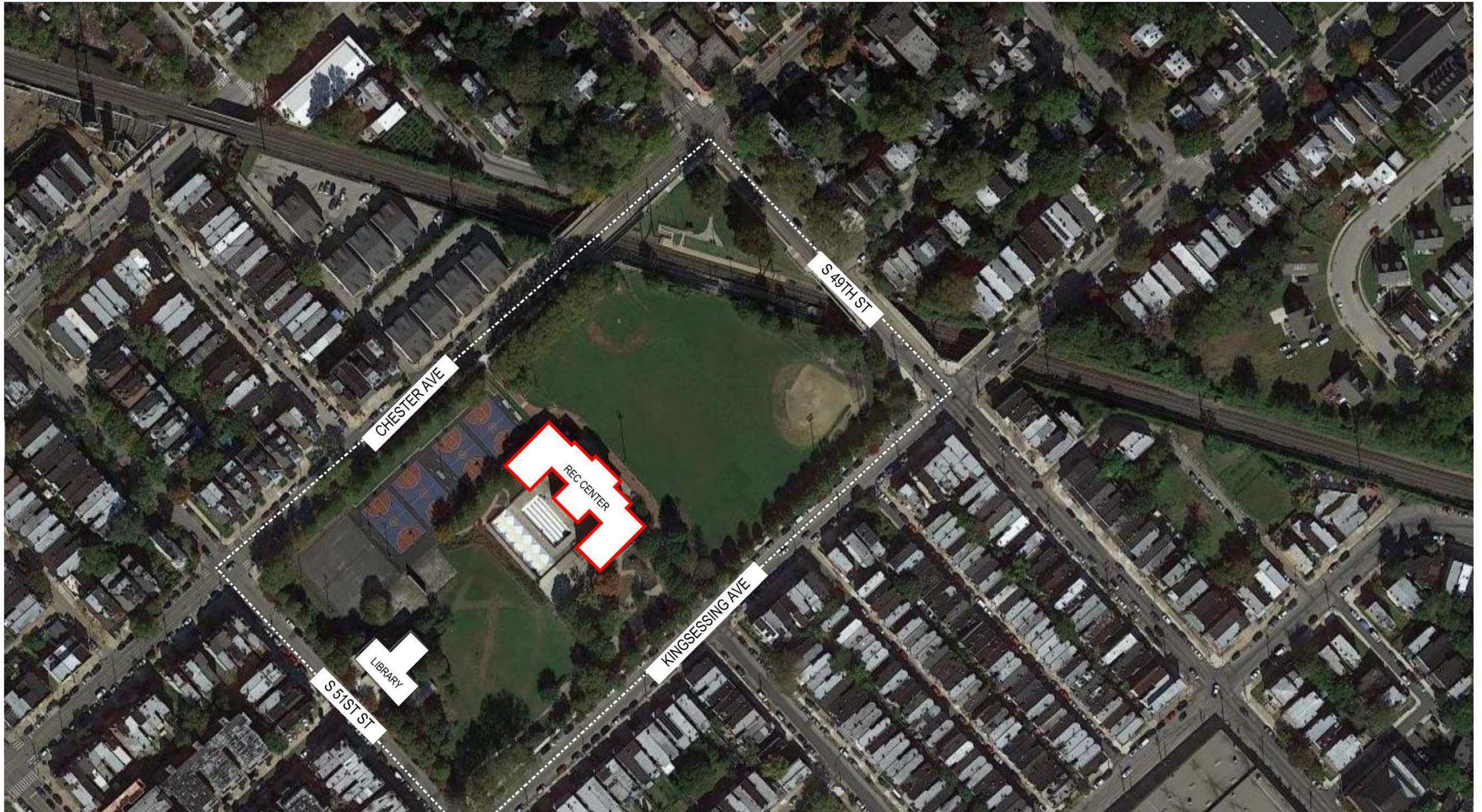


*Cost Estimator*





KINGSESSING RECREATION CENTER  
EXISTING SITE CONTEXT





## SUMMARY OF ENGAGEMENT ACTIVITIES

### Public Meetings

- + May 26<sup>th</sup>, 2021 – Outdoor Open House
- + October 13<sup>th</sup>, 2021 – Outdoor Open House
- + April 27<sup>th</sup>, 2022 – Indoor Open House
- + September 20<sup>th</sup>, 2022 – Outdoor Open House
- + December 8<sup>th</sup>, 2022 – Indoor Open House

### Stakeholder Engagement

- + 12 stakeholder interviews
- + Ongoing meetings with Library & Rec Center staff
- + Participation in Library & Rec Center events
- + Regular updates and meetings with Library Friends and Rec Advisory Council

### Surveys

- + Spring 2021 – Design Kickoff Survey (242 responses)
- + Fall 2021 – Concept Design Survey (101 responses)
- + Spring 2022 – Outdoor Areas Survey (269 responses)
- + 87% of respondents live within 10 blocks of the Kingsessing Library & Rec Center
- + 50% of respondents live within 3 blocks

### ENGAGEMENT PHOTOS



## WHAT WE'VE HEARD

### Key Findings

- + ADA access to rec center building is very important.
- + Improved rec center lobby with better lighting, having an info/bulletin board (event flyers, community resources, job resources).
- + Lower-level improvements and flex space would allow for more programming.
- + Additional/enlarged bathrooms.
- + Improved playground equipment and safety features.
- + More outdoor seating and gathering options for elders and youth in separate areas.

### RECREATION CENTER Ideas for Improvement: What would you like to see in a new...

#### Lounge (2<sup>nd</sup> Floor):

- + Games (ping pong, chess, etc.)
- + Computers with A/V capabilities
- + Comfortable seating options
- + Art representative of community and rec center users

#### Flex/Multi-purpose space:

- + Small group or community meeting space
- + Educational classes
- + Dance or other activities

#### Other building improvements:

- + Roof leaks
- + Upgraded bathrooms
- + Air-conditioning
- + Elevator

#### General features:

- + Brightening up space (lighting, windows, colors, art)
- + Bulletin/information board

### GROUNDS Ideas for Improvement: What would you like to see in a new...

#### Playground:

- + Climbing play equipment (for both 2-5 and 5-12 age groups)
- + Swings (individual swings preferred to group swings)
- + More interactive/imaginative play (music, sensory)
- + Separate play areas for different age groups
- + Safety surface improvements
- + Seating (benches most popular)
- + Preservation of trees and greenery
- + Lighting
- + Vibrant colors

#### Outdoor gathering space:

- + Seating options
- + Shade (trees or structure)
- + Stage (elevated, with electrical outlets)
- + Located between library and rec center, near playground

#### Other outdoor improvements:

- + Walking paths
- + Better trash maintenance
- + More seating options in various locations
- + Need to protect children from unleashed dogs



# EXISTING SITE PLAN DIAGRAM





# EXISTING SITE PHOTOGRAPHS



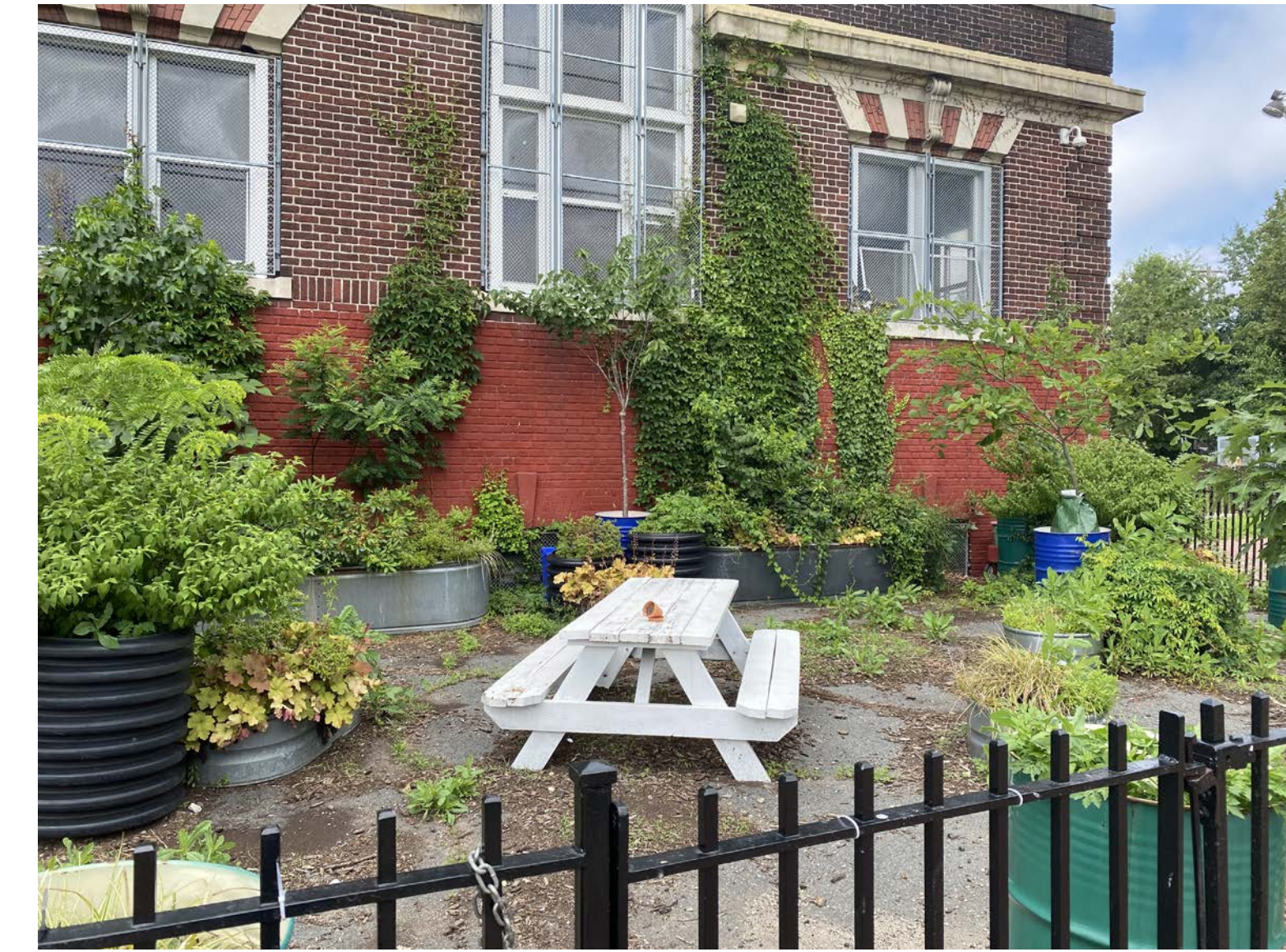
1 EXISTING PLAYGROUND



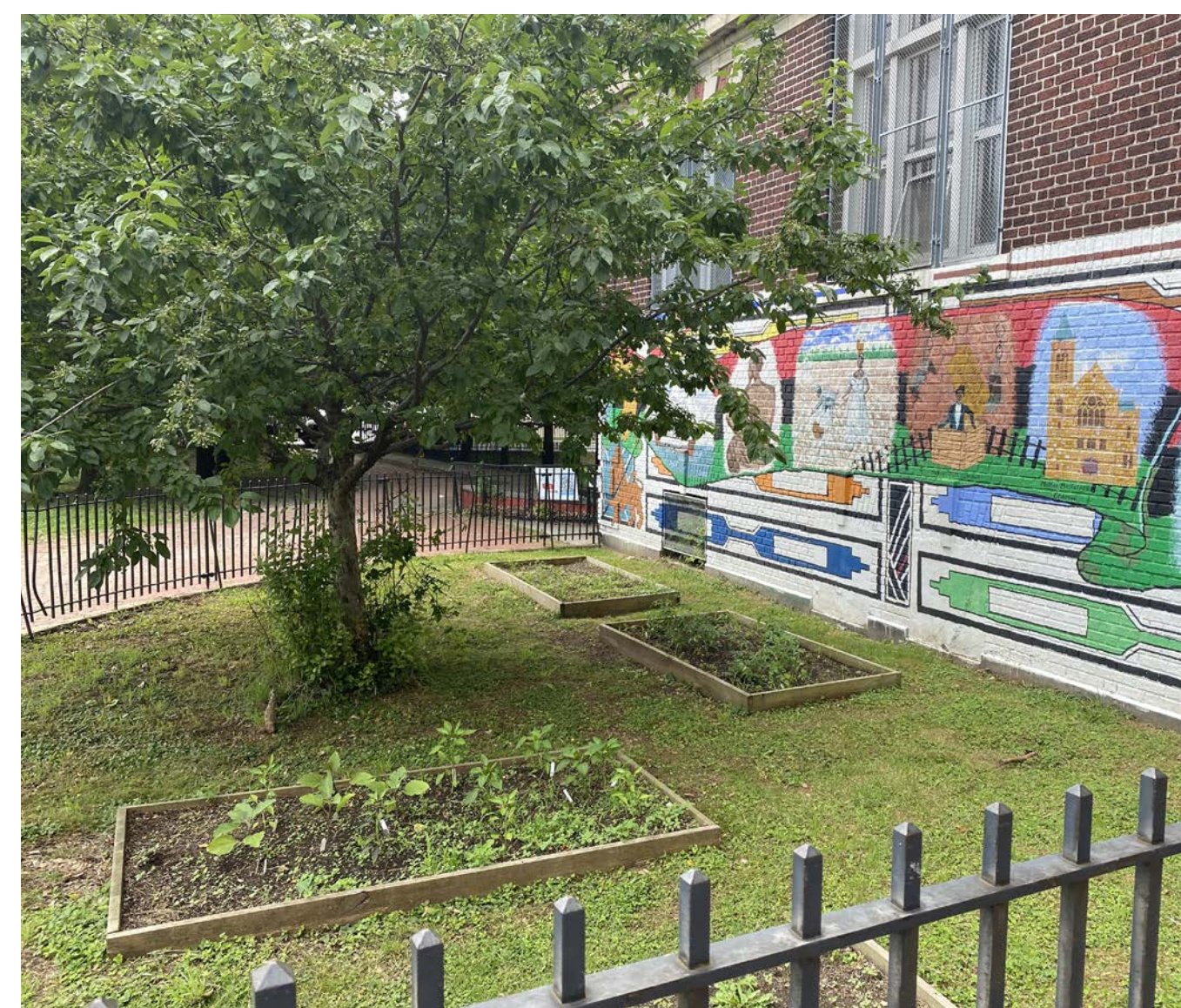
2 DAMAGED PLAYGROUND SURFACING



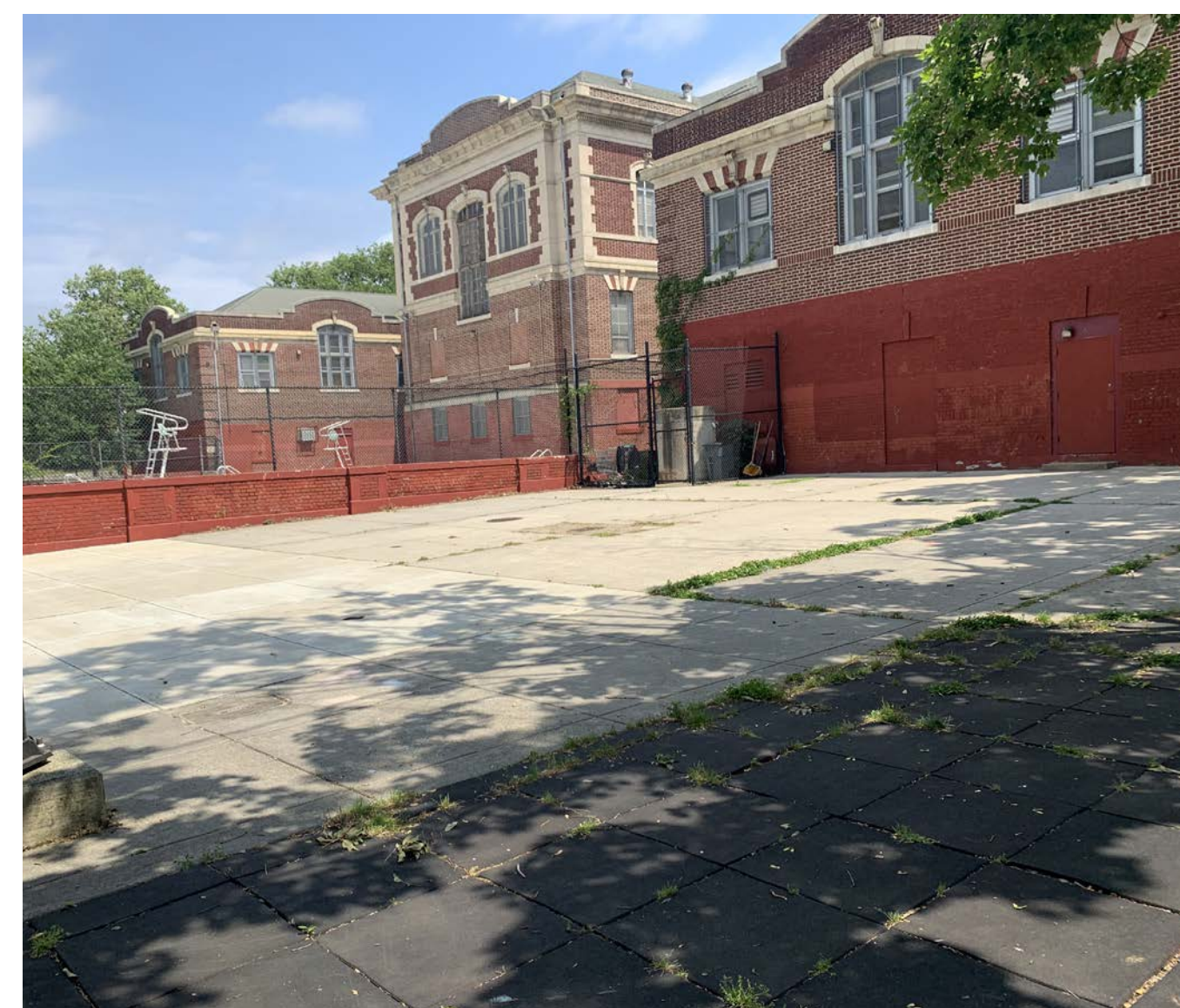
3 CURRENT VEHICULAR ENTRANCE



4 ADD ALTERNATE: NORTH OF REC CENTER



5 ADD ALTERNATE: SOUTH OF REC CENTER



6 ADD ALTERNATE: PICNIC SHADE STRUCTURE



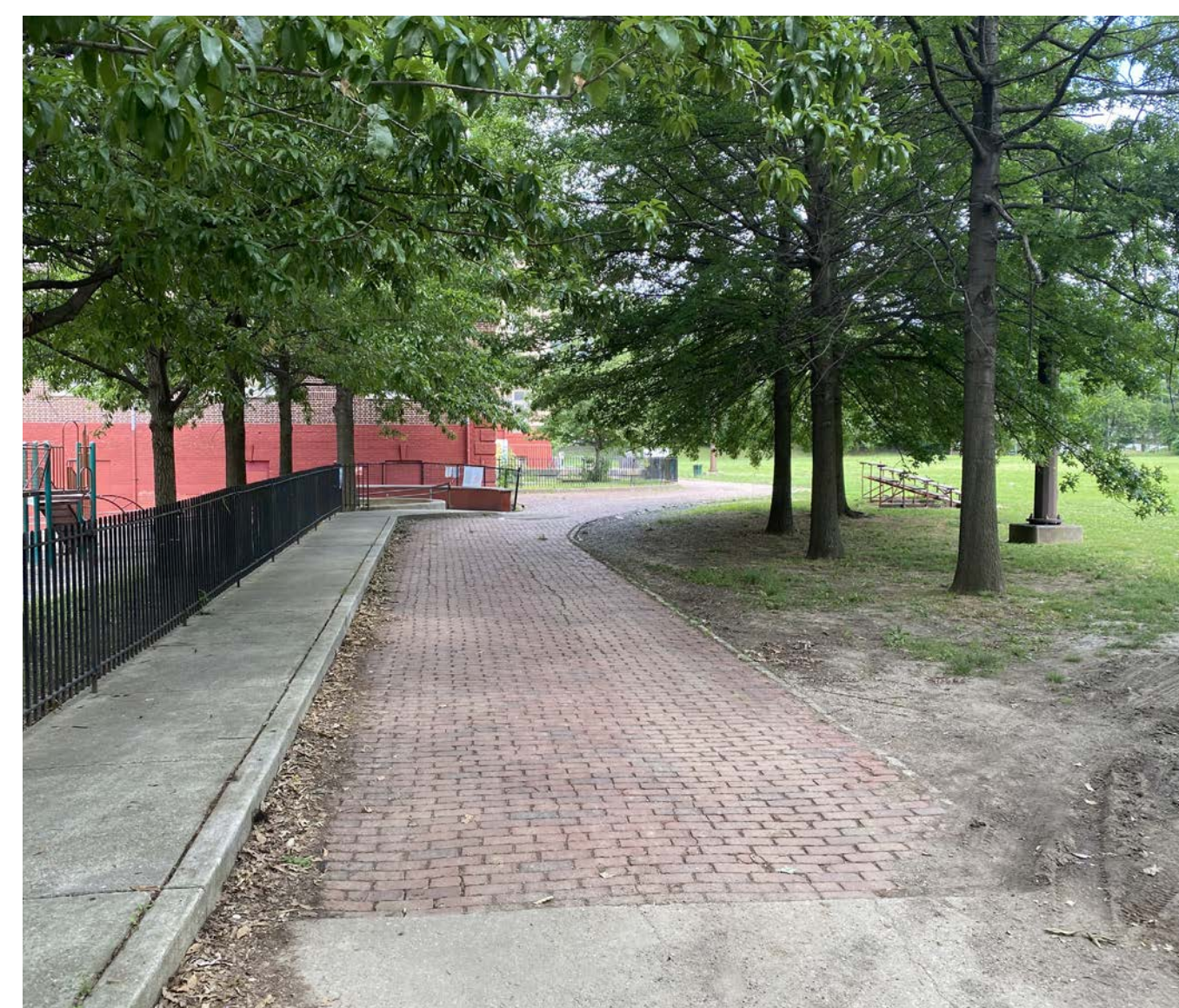
6 ADD ALTERNATE: DIAGONAL PATH



7 ADD ALTERNATE: WALLBALL COURT



8 EXISTING TENNIS COURT SURFACING



9 EXISTING ENTRANCE ALONG KINGSESSING AVENUE



10 EXISTING ENTRANCE ALONG CHESTER AVENUE



10 EXISTING ADA ACCESS TO PLAYGROUND



# PROPOSED SITE PLAN





# KINGSESSING RECREATION CENTER

## SPORTS FIELD LAYOUT

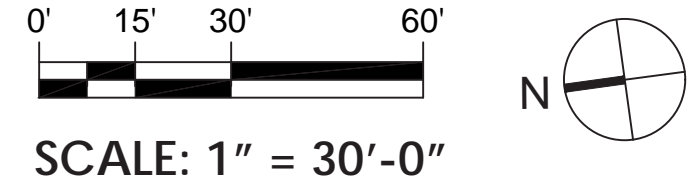
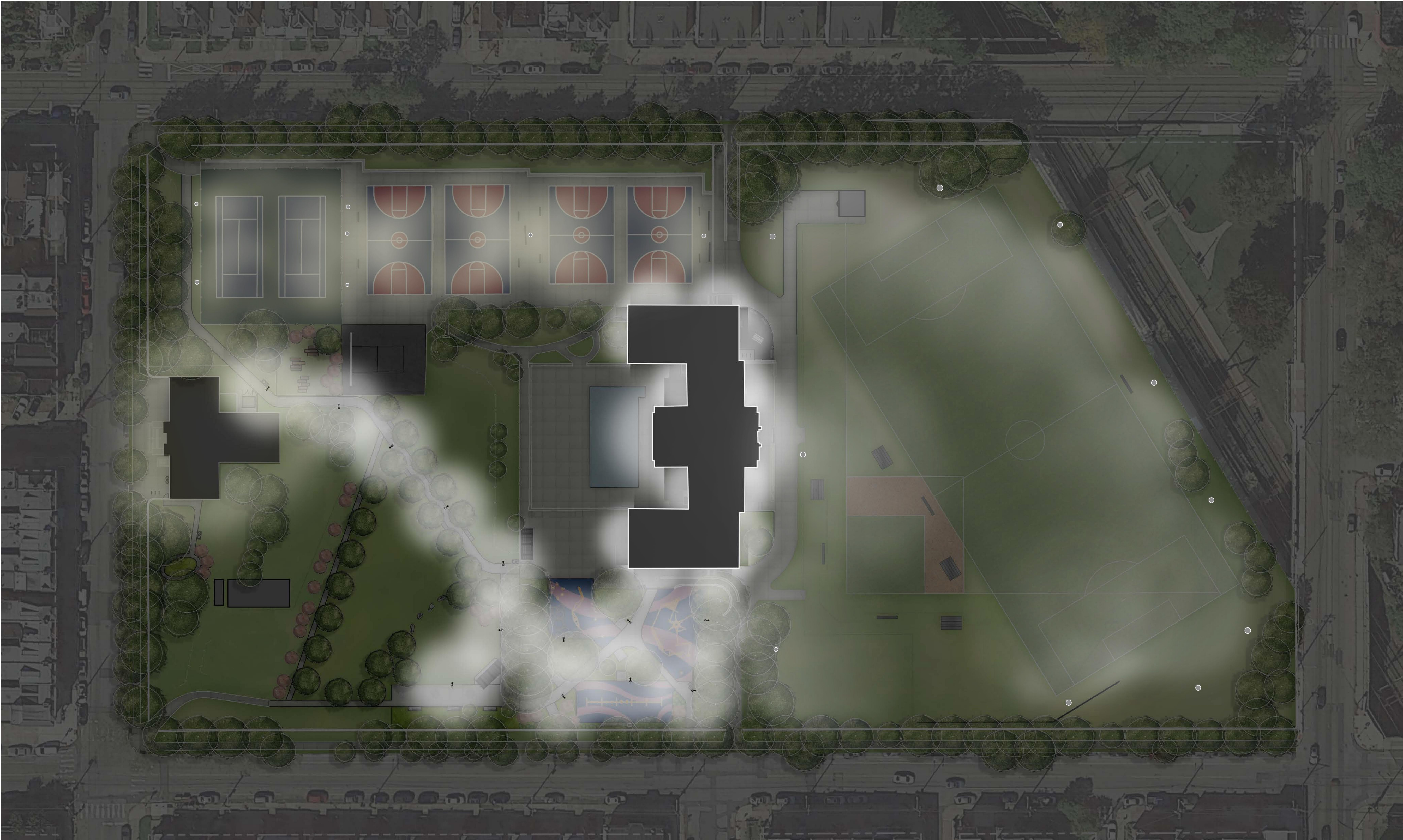


RED = RUGBY  
YELLOW = SOCCER  
WHITE = FOOTBALL  
TEAL = BASEBALL

TURF FIELD  
PERIMETER  
FENCE



# PROPOSED SITE LIGHTING PLAN



**PEDESTRIAN POST LIGHT FIXTURE**

- 'Discera', manufactured by Selux
- PPR standard fixture
- 14' height post
- Black post & fixture head
- LED fixture

**NOTE:**  
 THIS RENDERING IS FOR GRAPHIC PURPOSES ONLY AND DOES NOT REPRESENT ACTUAL NIGHTTIME LIGHTING CONDITIONS

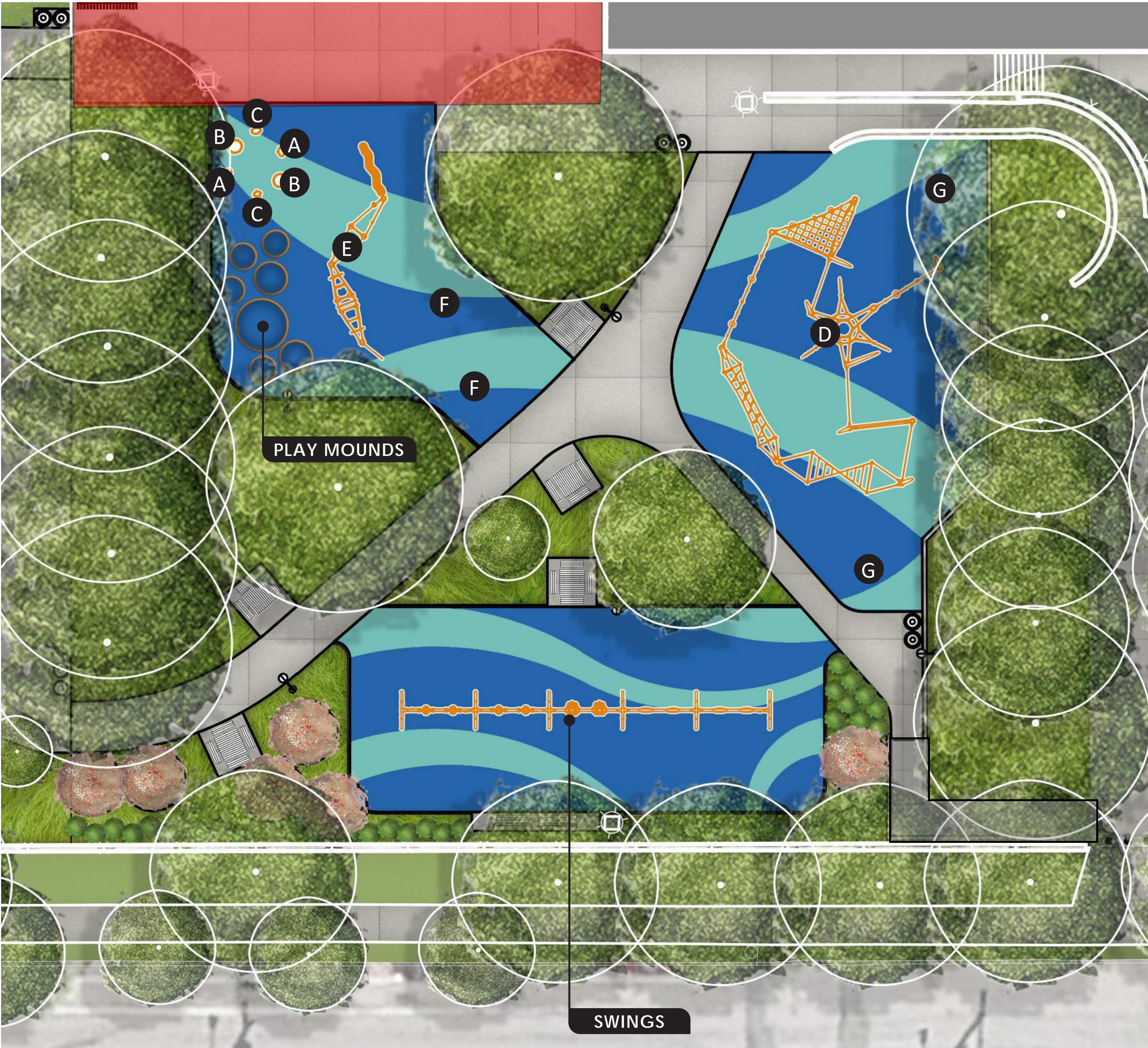
ALL LIGHTING AT SPORTS FIELD IS EXISTING TO REMAIN



# ADDITIONAL SITE SUBMISSION MATERIALS



# PLAYGROUND DETAILS



## MUSIC EQUIPMENT



A GOBLET DRUM



B KETTLE DRUM



C KUNDU DRUM

## PLAY EQUIPMENT

IEWS FOR EQUIPMENT ONLY



D BIG KIDS OBSTACLE COURSE



E LITTLE KIDS OBSTACLE COURSE



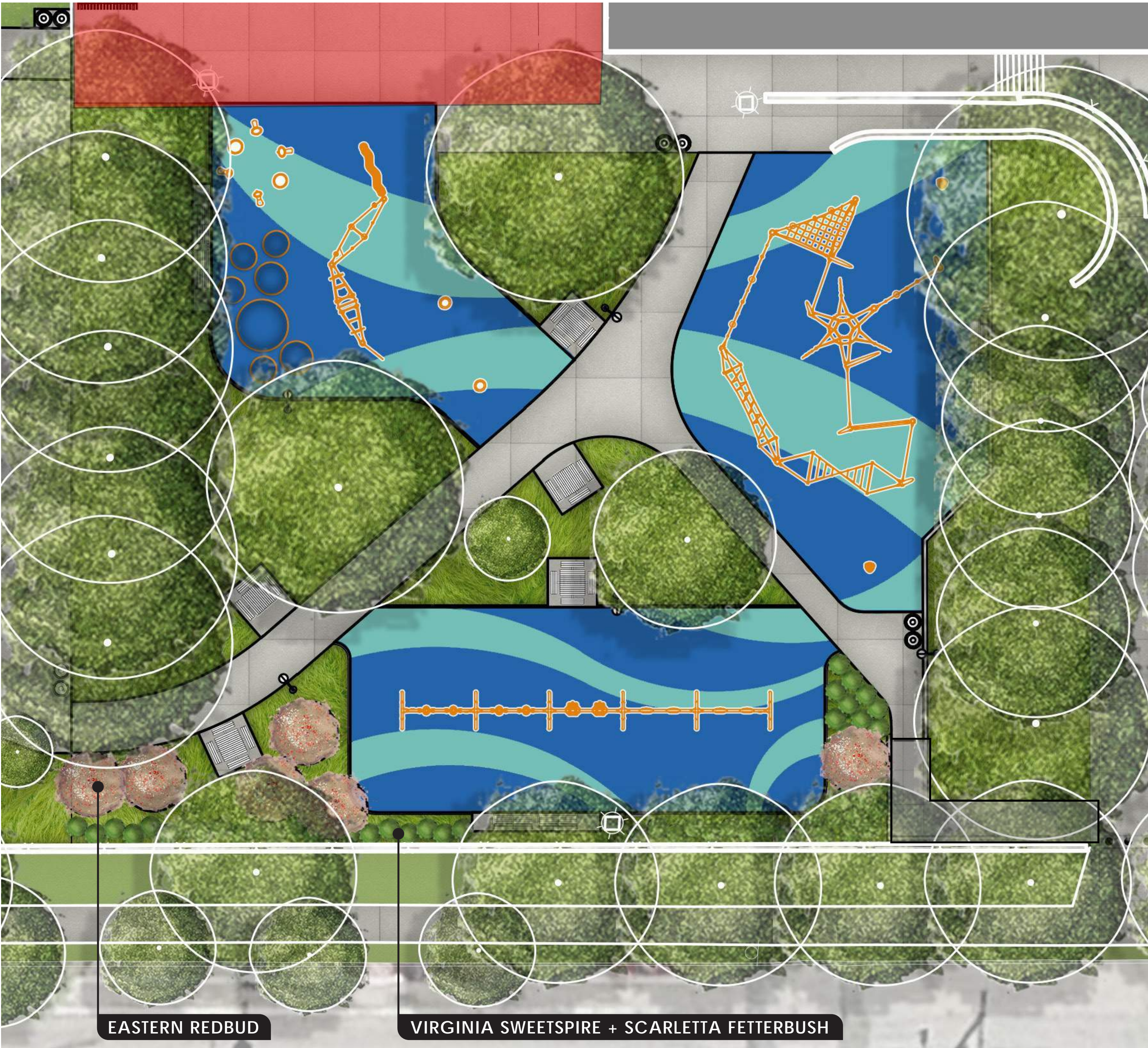
F SPICA SPINNER



G SPINNER BOWL



# PLANTING PLAN



EASTERN REDBUD  
*Cercis canadensis*



SCARLETTA FETTERBUSH  
*Leucothoe fontanesiana 'Zeblid'*



VIRGINIA SWEETSPIRE  
*Itea virginica 'Merlot'*



# SITE PAVEMENT AND FURNISHING DETAILS



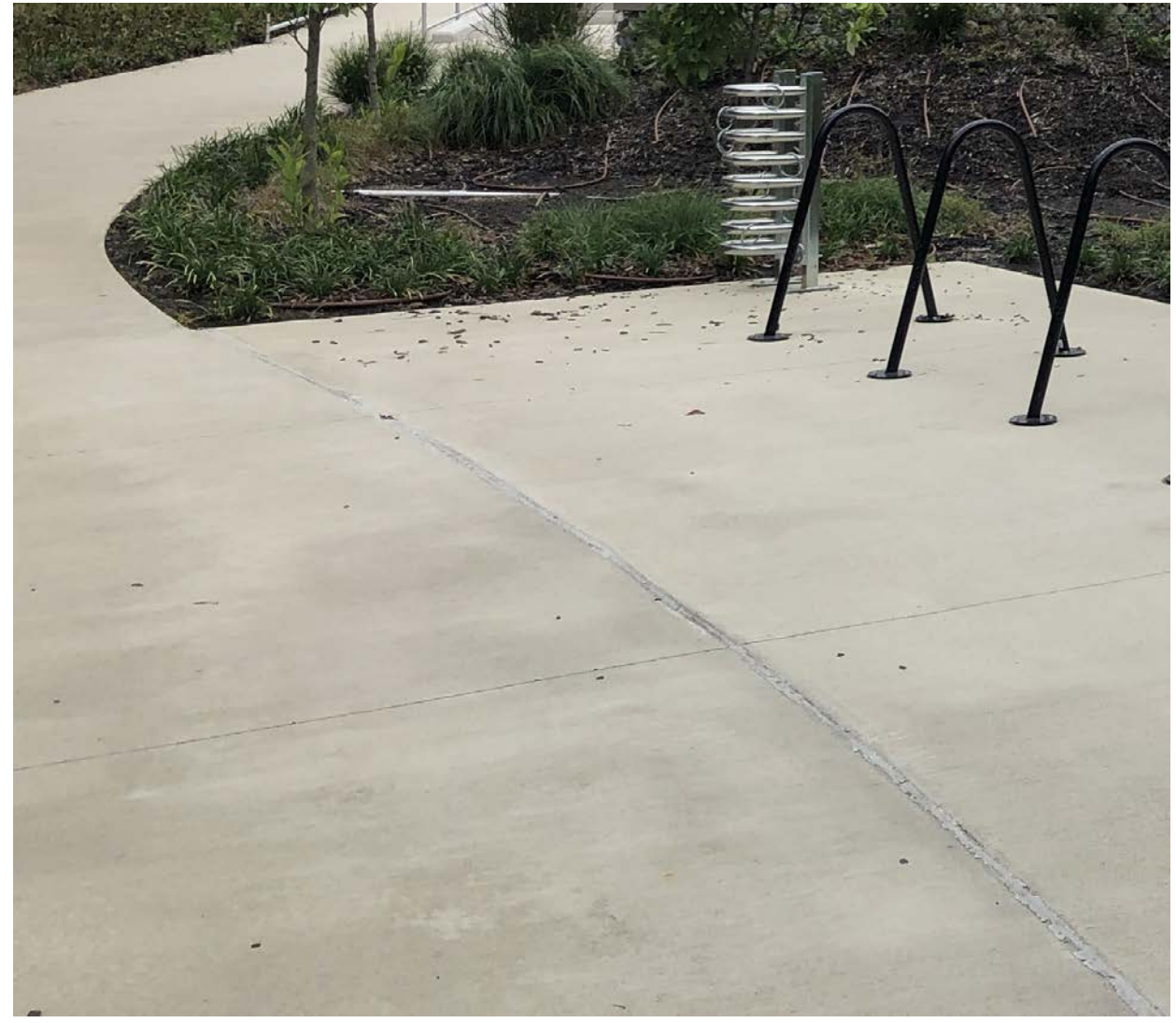
A Backed Bench manufactured by Du Mor



B Poured-In-Place Rubber Safety Surface



C Receptacle manufactured by Du Mor



D Standard Concrete Pavement



E Fixed Pedestal Tables manufactured by Du Mor



KINGSESSING RECREATION CENTER  
BUILDING EXTERIORS



EAST ELEVATION - JULY 1923



WEST ELEVATION - 1970



# KINGSESSING RECREATION CENTER

## EXISTING EXTERIOR CONDITIONS



MAIN ENTRY - EAST ELEVATION (PLAZA, SOUTH)



MAIN ENTRY - EAST ELEVATION



MASONRY CRACKS - SOUTH ELEVATION



POOL SIDE - WEST ELEVATION



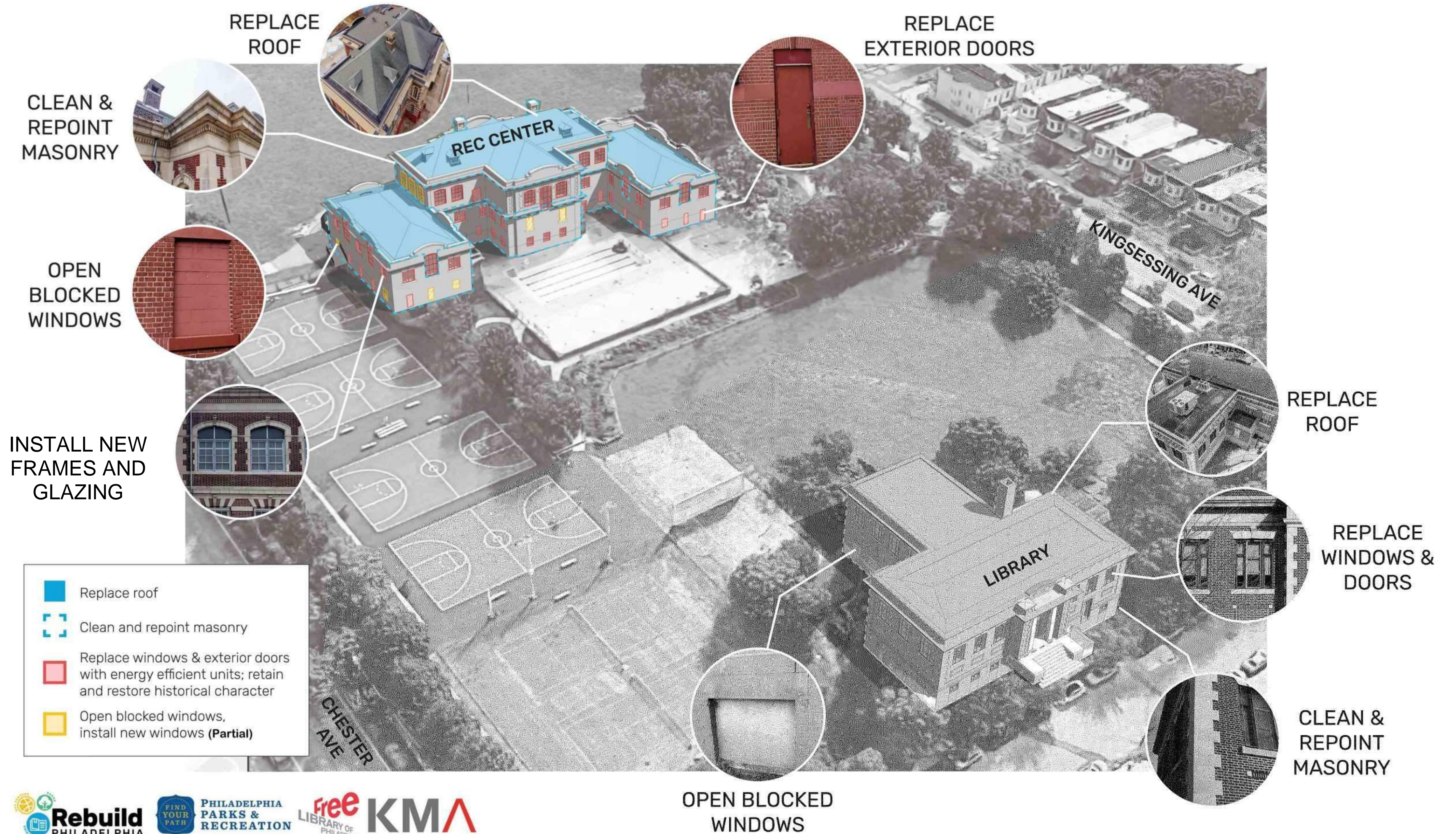
POOL SIDE - WEST ELEVATION



POOL SIDE - WEST ELEVATION

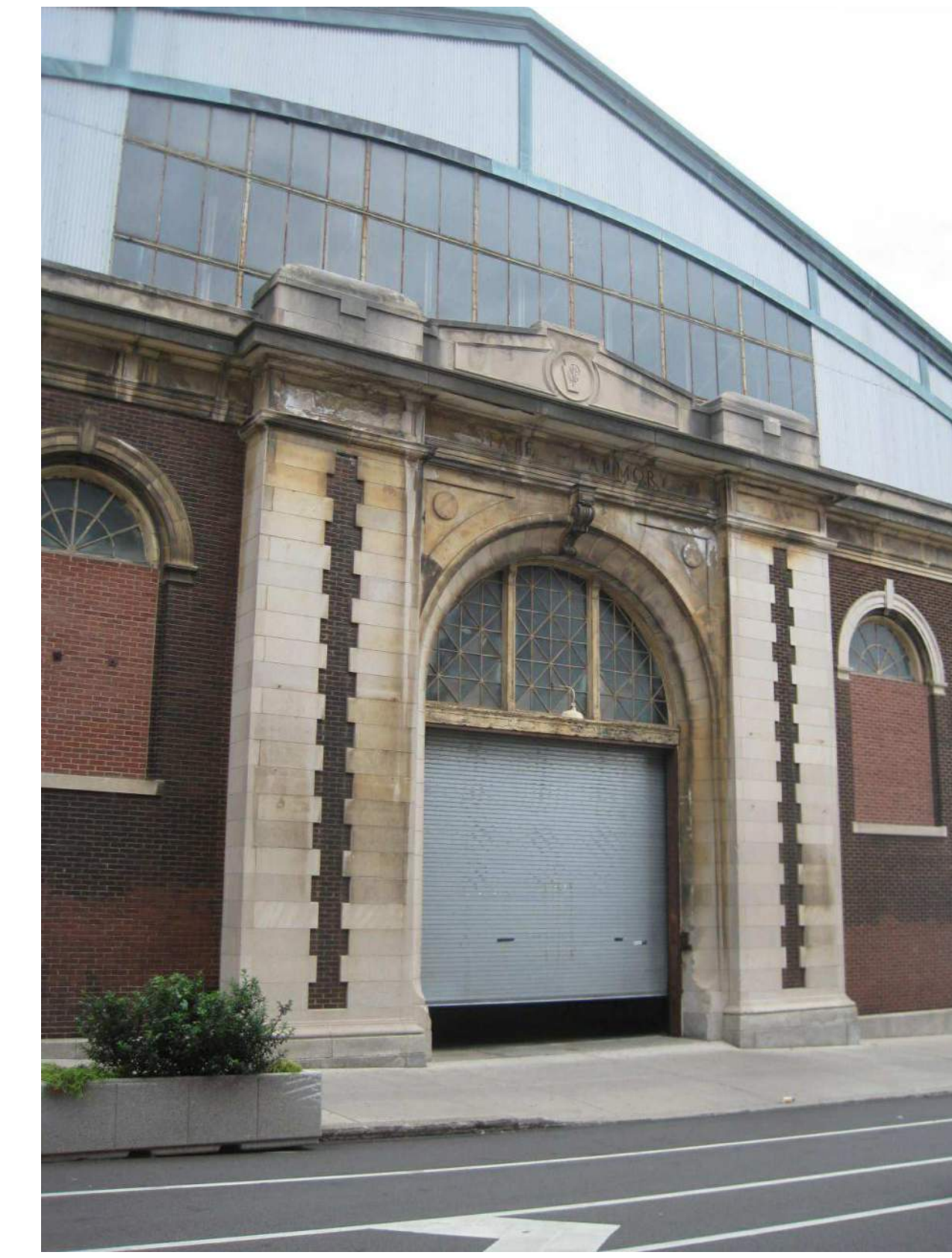


## ANTICIPATED BUILDING EXTERIOR SITE IMPROVEMENTS





KINGSESSING RECREATION CENTER  
EXTERIOR ELEMENTS - PRECEDENT



BEFORE



MASONRY CLEANING & REPAIR  
HISTORICALLY APPROPRIATE  
REPLACEMENT WINDOWS

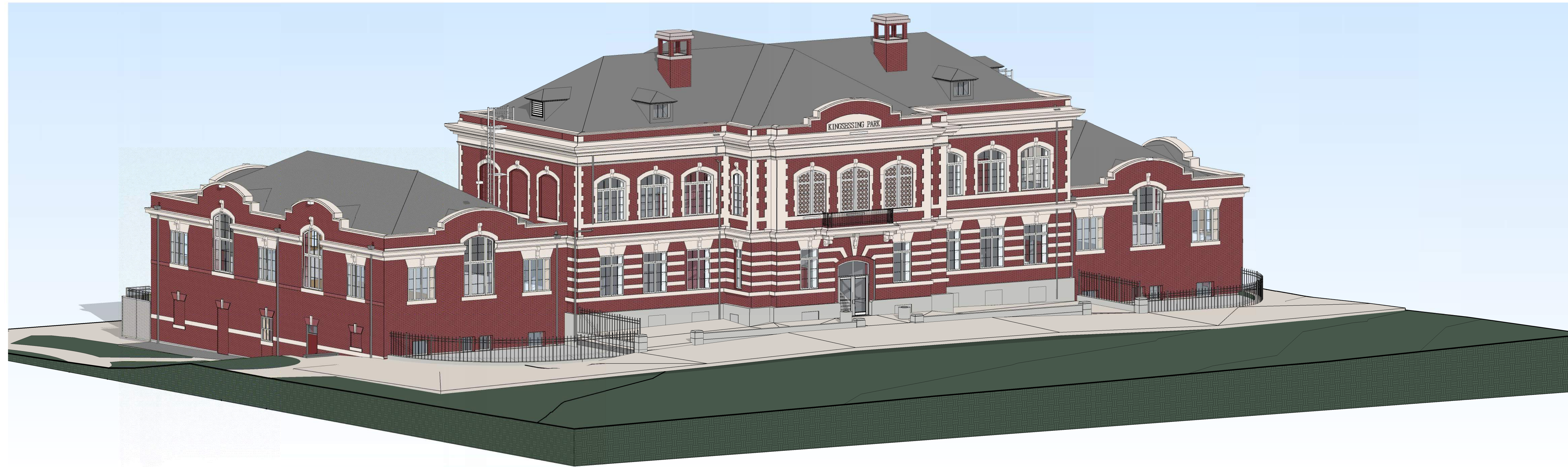


AFTER



# KINGSESSING RECREATION CENTER

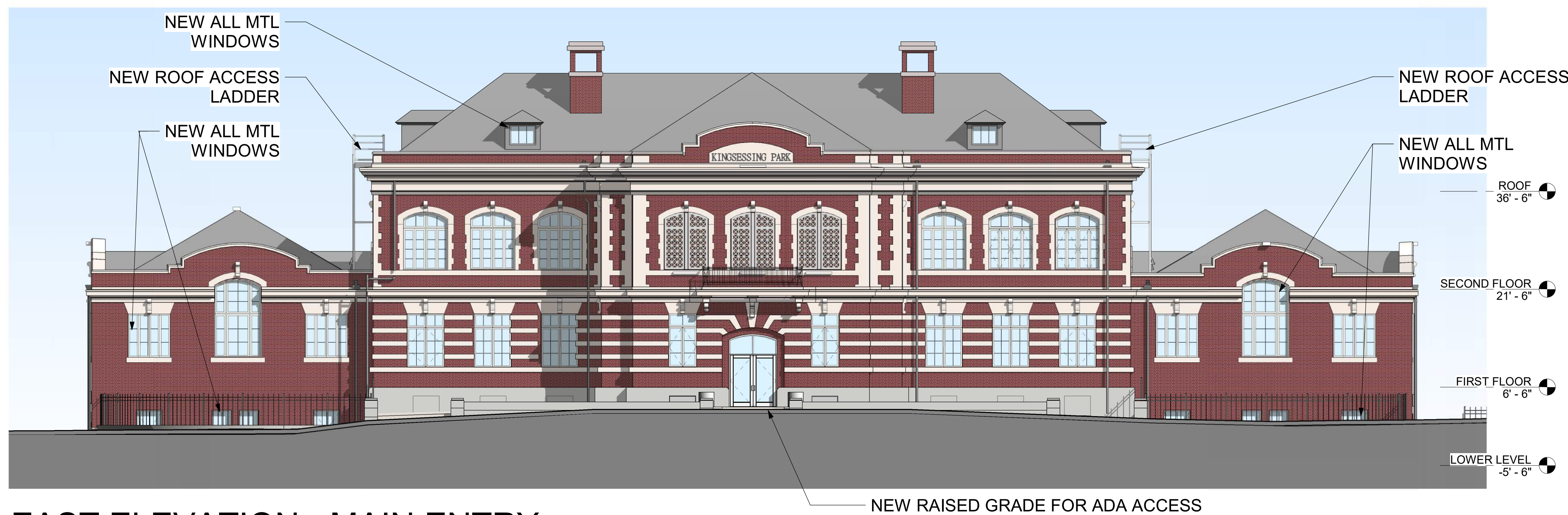
## PROPOSED ELEVATIONS



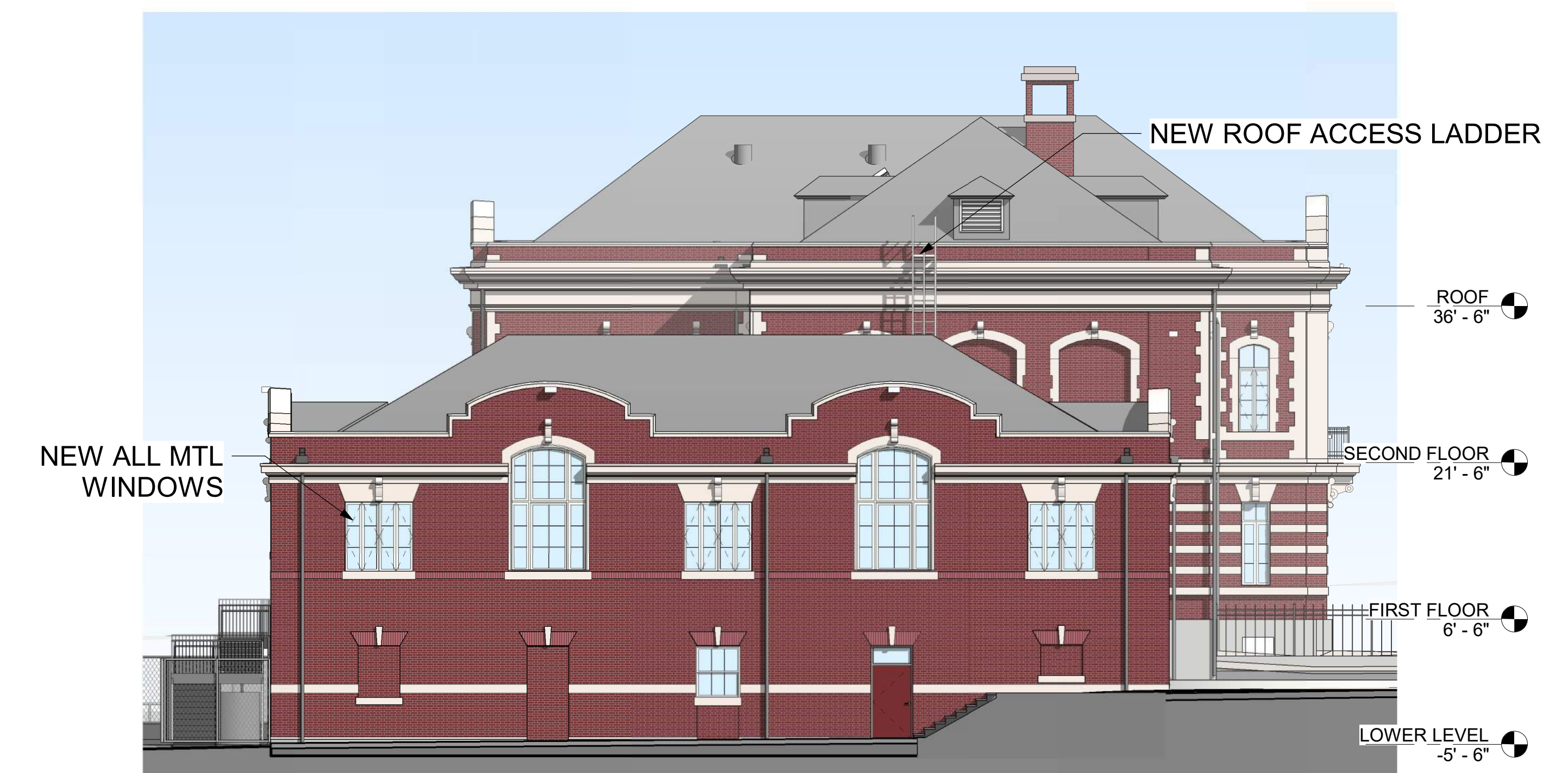
### SCOPE OF WORK:

1. MASONRY REPAIRS & REPOINTING
2. NEW WINDOWS TO MATCH ORIGINAL CONFIGURATION (NEW SECURITY SCREENS AT LOWER LEVEL WINDOWS)
3. NEW ALUMINUM & GLASS ENTRY
4. NEW ASPHALT SHINGLE ROOF TO REPLACE EXISTING ASPHALT ROOF
5. NEW EGRESS STAIRS
6. NEW BALCONY & RAILING TO MATCH ORIGINAL
7. NEW GRFC CORNICE AT HIGH ROOF TO MATCH ORIGINAL IN SIZE, PROFILE, AND COLOR

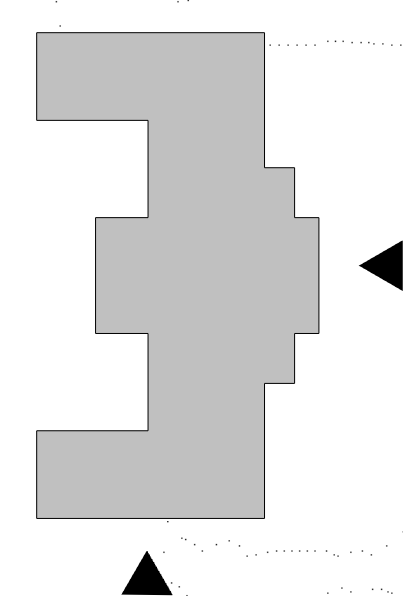
SOUTH EAST VIEW - FRONT



EAST ELEVATION - MAIN ENTRY



SOUTH ELEVATION





# KINGSESSING RECREATION CENTER

## PROPOSED ELEVATIONS



### SCOPE OF WORK:

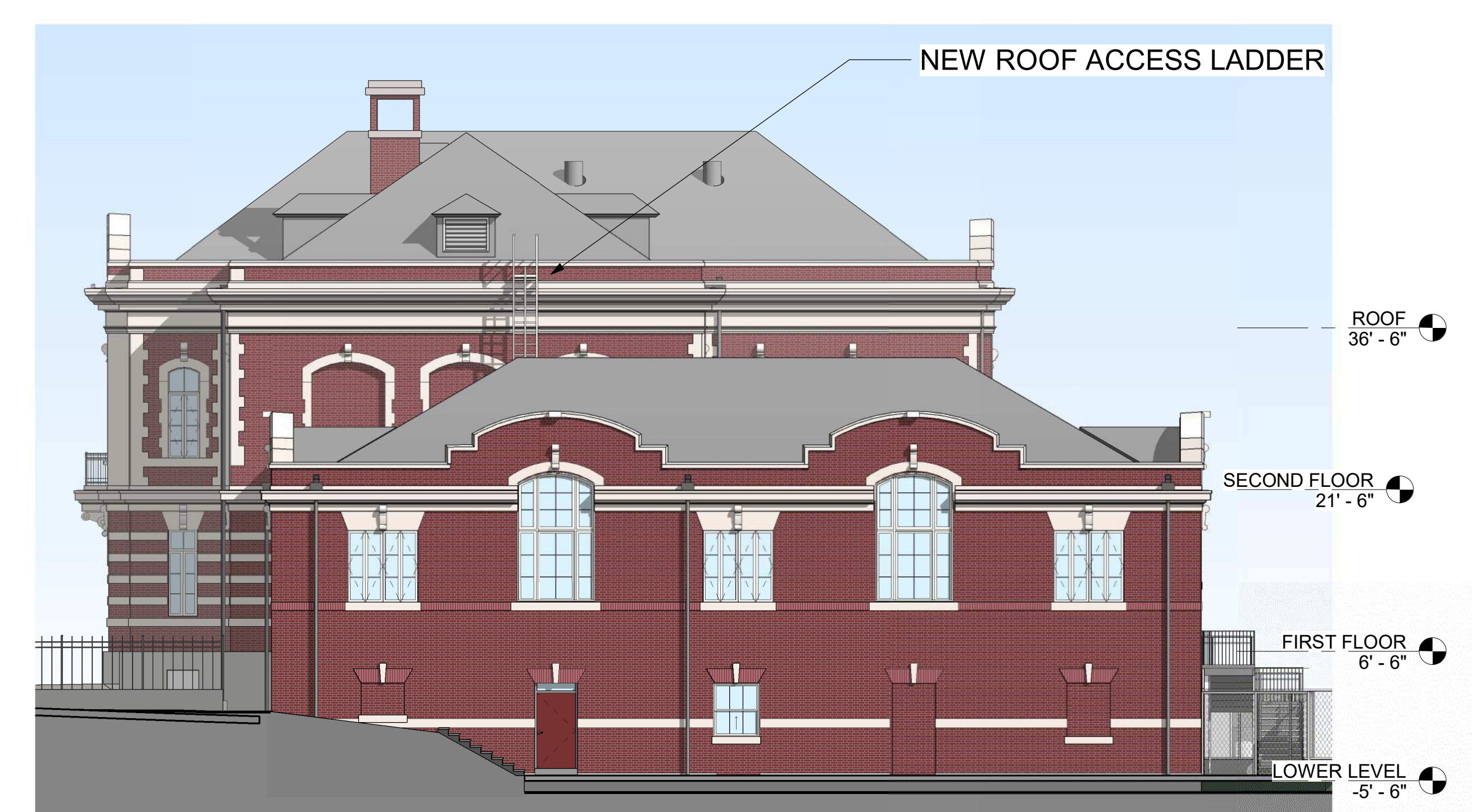
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NORTH EAST VIEW - POOL SIDE

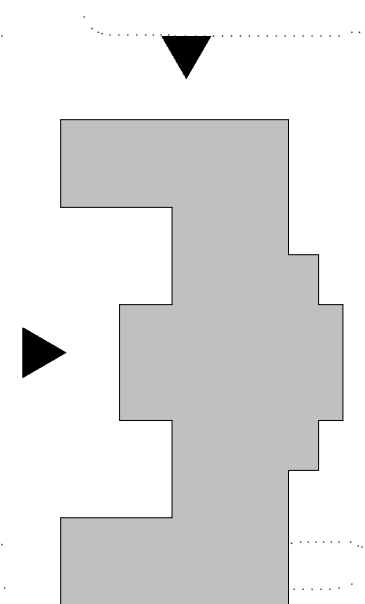


WEST ELEVATION - POOL SIDE

NEW MECH EQUIPMENT AND ENCLOSURES (PPR STANDARD)



NORTH ELEVATION





# KINGSESSING RECREATION CENTER

## ADA ENTRY

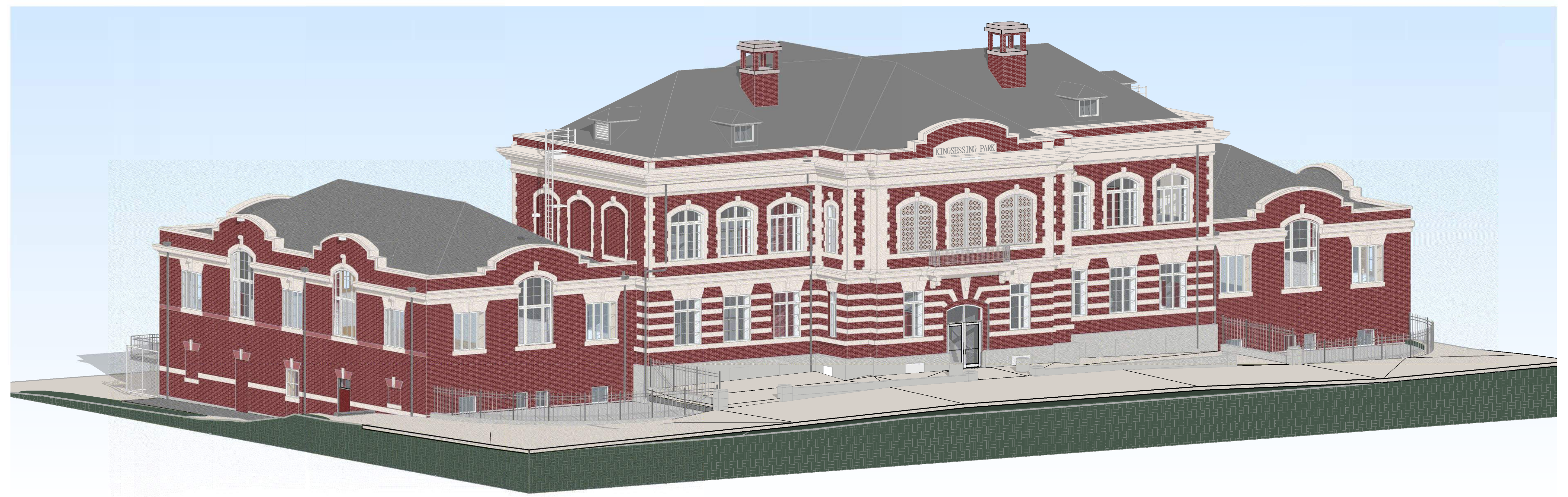


EXISTING ENTRY PLAZA

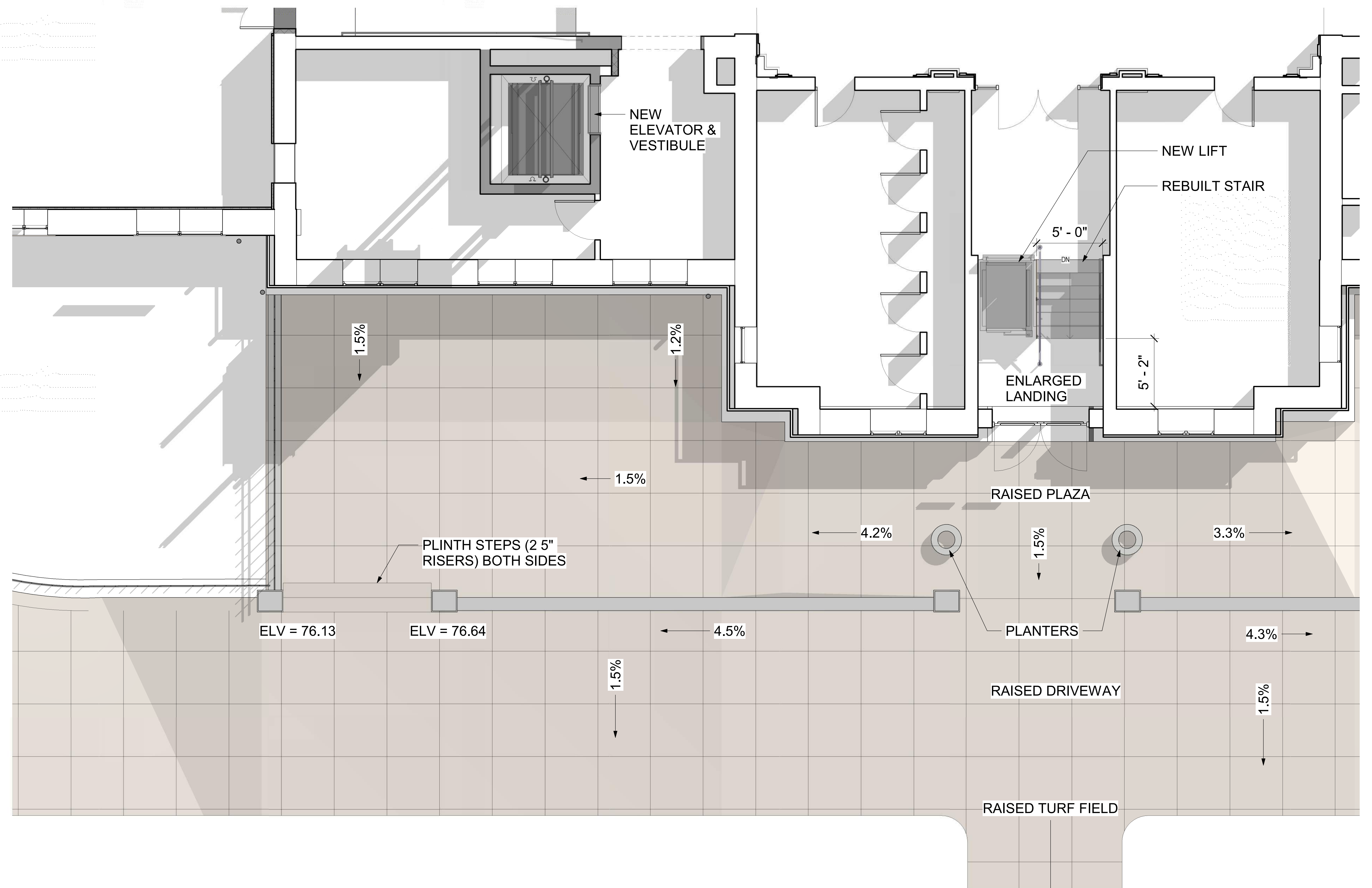
- RAISED GRADE AT PLAZA AND FIELD
- LIFT FROM VESTIBULE (GRADE) TO FIRST FLOOR
- NEW ELEVATOR CONNECTING LOWER LEVEL, 1ST FLOOR, AND 2ND FLOOR



ENTRY LIFT



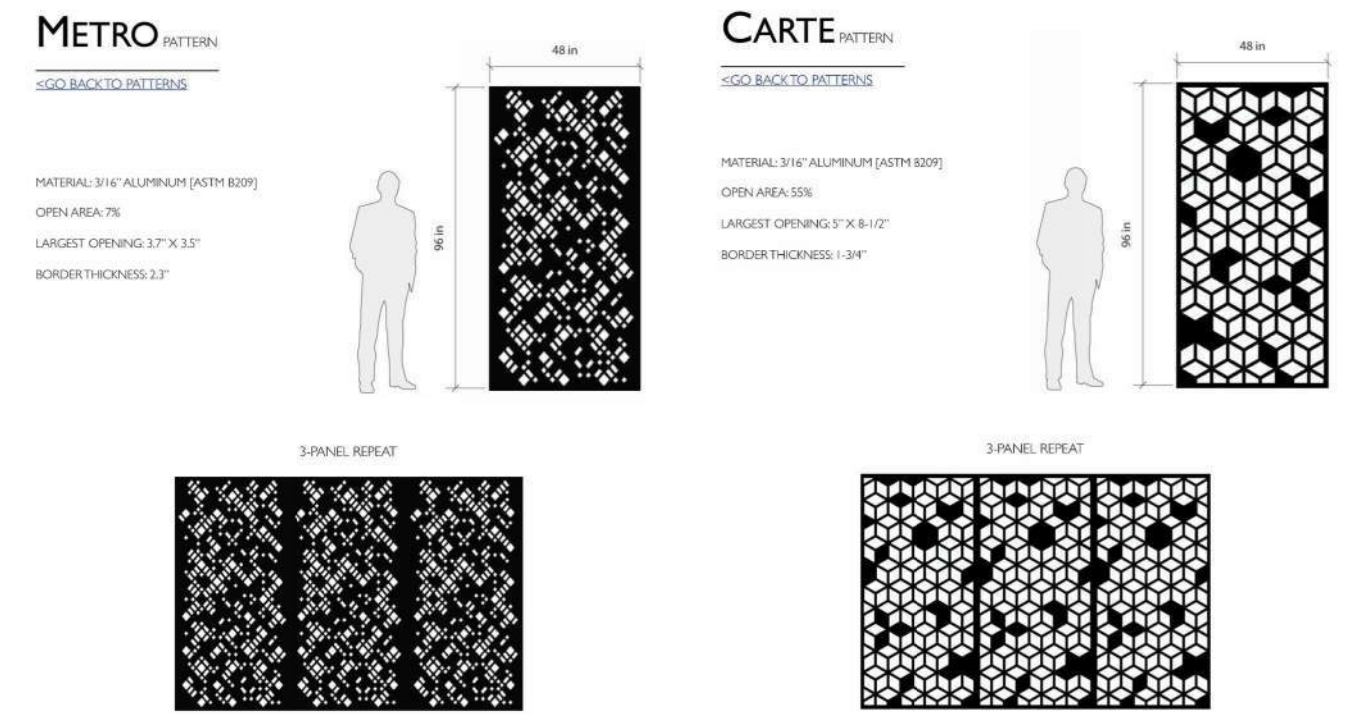
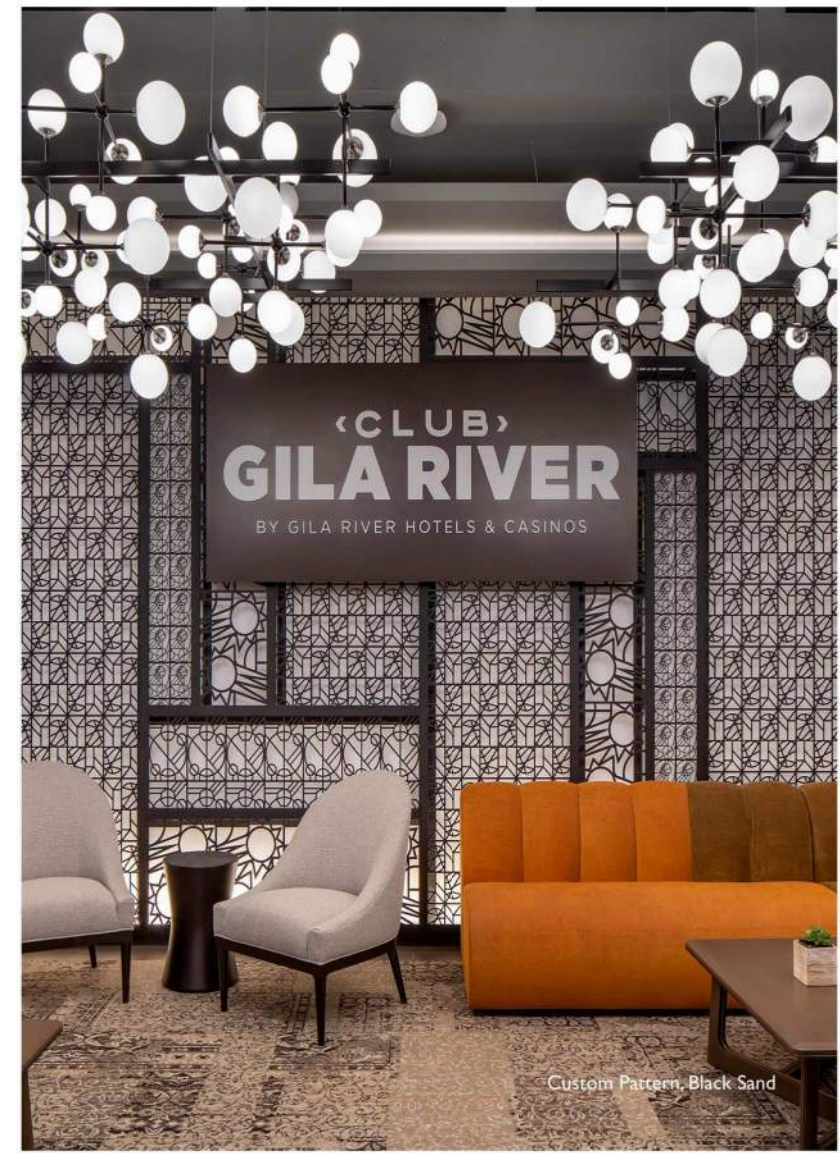
NEW RAISED PLAZA AND ADA ENTRY - OVERALL VIEW





# KINGSESSING RECREATION CENTER

## METAL PANELS



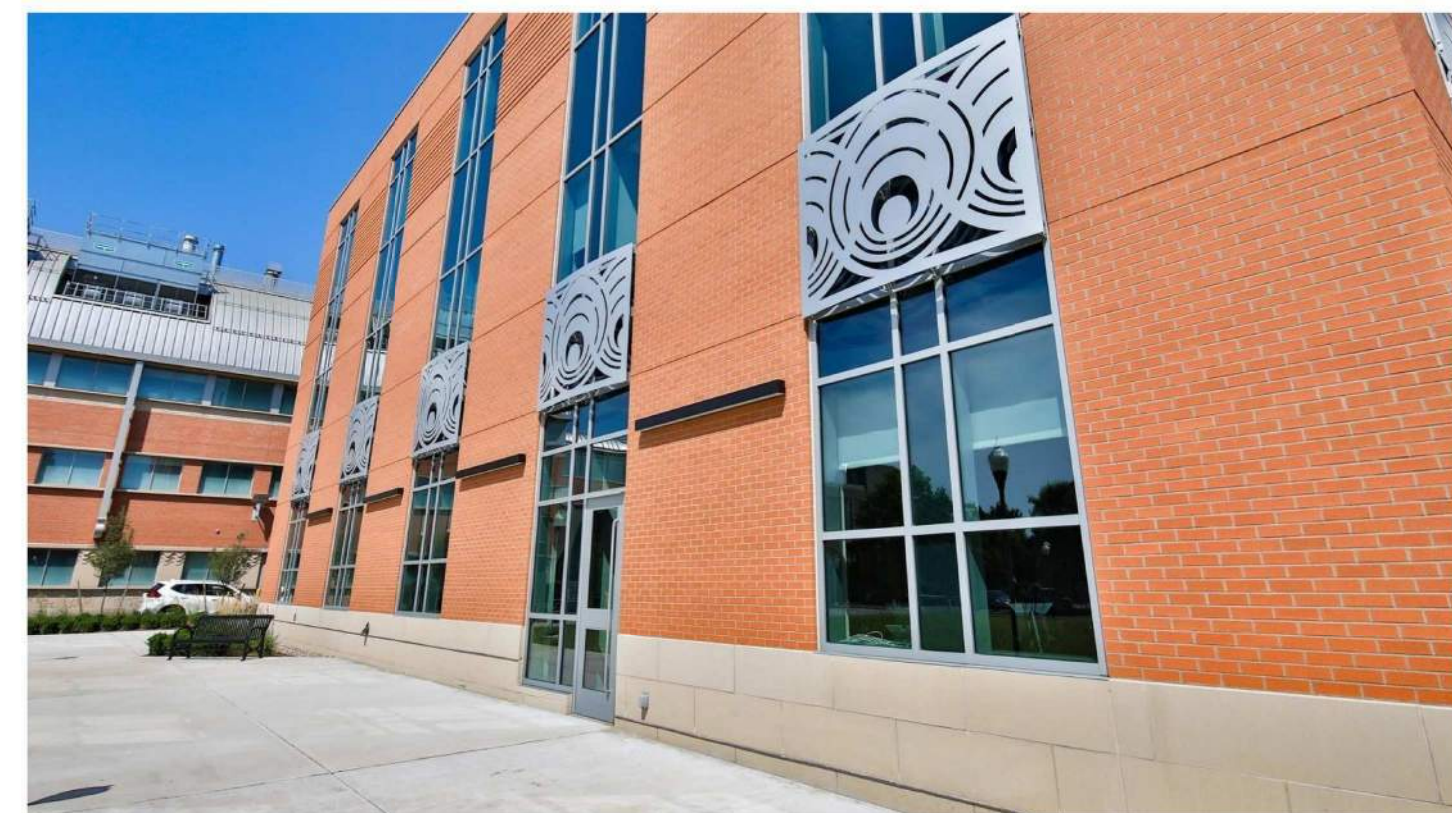
POTENTIAL PATTERN EXAMPLES



OLNEY RECREATION CENTER - CONCEPTUAL DESIGN



THE W HOTEL - PHILADELPHIA



SCSU HEALTH AND HUMAN SERVICES - NEW HAVEN, CT



METAL SPACES - DECORATIVE OUTDOOR - WALL CLAD

EXAMPLES

NEW FACADE LIGHTING AT PANELS

EXISTING CAST STONE INFILL TO REMAIN AT 3 WINDOWS.

NEW TREATMENT: MINERAL SILCATE COATING ON CAST STONE IN CONTRAST / BOLD COLOR; PERFORATED OR LASER-CUT STAINLESS STEEL PANELS ATTACHED TO CAST STONE.

NEW FACADE LIGHTING AT PANELS

NEW BALCONY TO MATCH ORIGINAL SIZE, PROFILES, AND COLOR; NEW RAILING TO MATCH ORIGINAL

NEW FACADE LIGHTING AT ENTRY



ENLARGED EAST ELEVATION - FRONT ENTRY

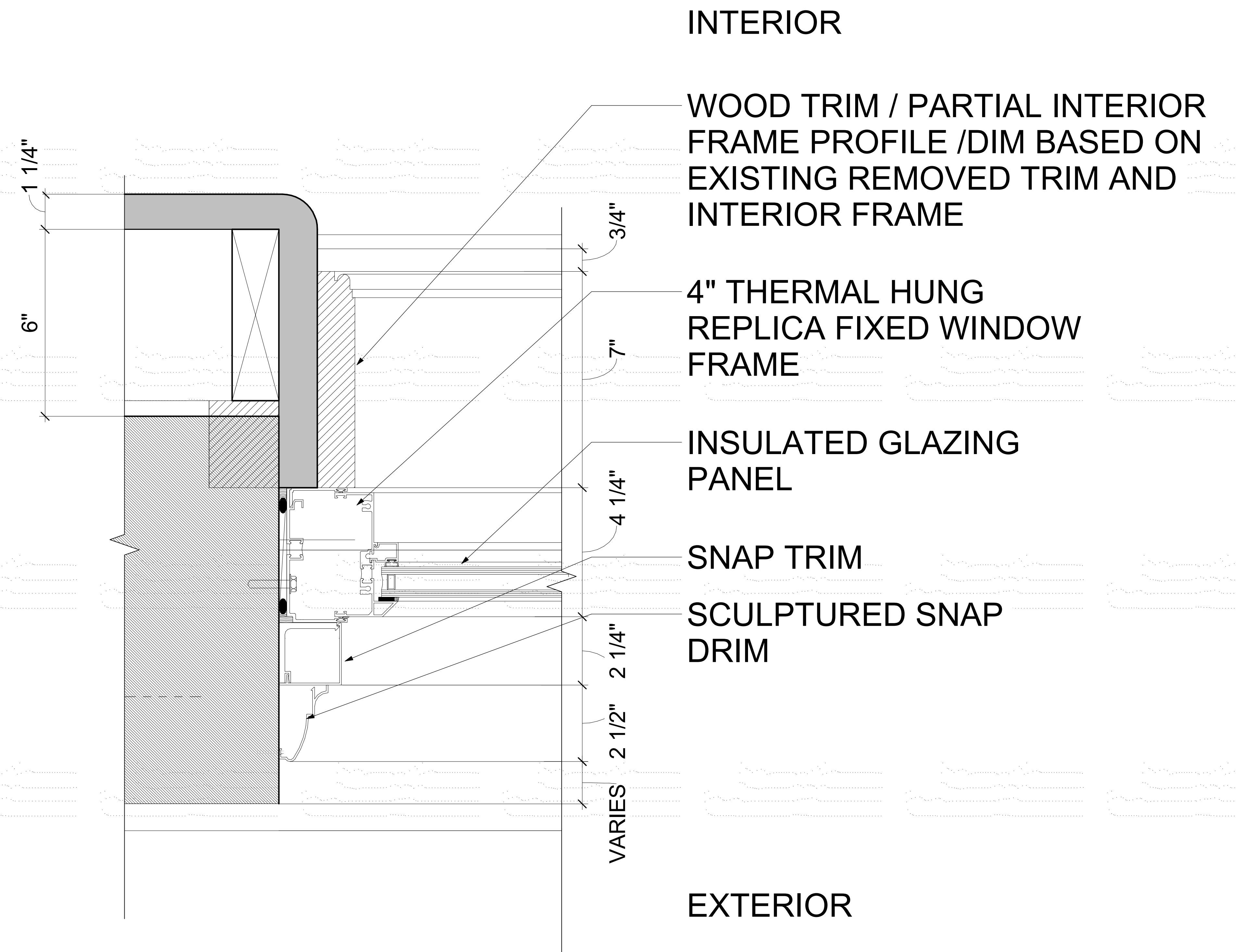
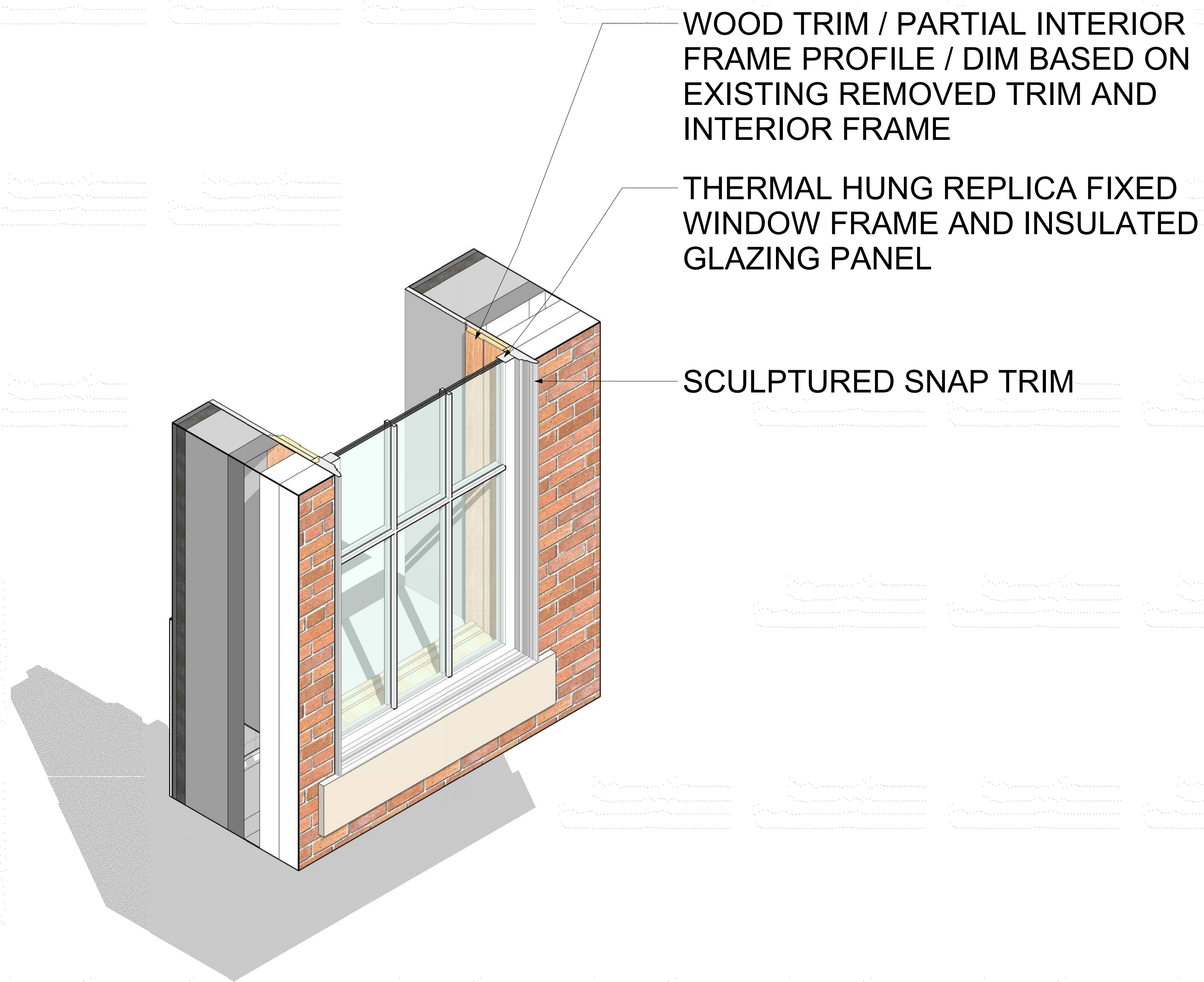


NIGHT VIEW - LIGHTING





KINGSESSING RECREATION CENTER  
WINDOW



TYPICAL WINDOW REPLACEMENT

- REPLACE WOOD SASH AND FRAME WITH NEW ALUMINUM WINDOW
- INTERIOR WOOD TRIM / PARTIAL INTERIOR FRAME PROFILE / DIM BASED ON EXISTING REMOVED TRIM AND INTERIOR FRAME



# APPENDIX

OACCE LETTER OF INTENT  
INTERIORS  
PLANTING / LANDSCAPE  
SITE GRADING  
STORM WATER



July 6, 2022

Beige Berryman  
The Philadelphia Art Commission  
One Parkway, 1515 Arch Street, 13<sup>th</sup> Floor  
Philadelphia, PA 19102



Re: Letter of Intent for Percent for Art at Kingsessing Library and Rec Center

Dear Beige:

The Office of Arts, Culture and the Creative Economy (OACCE) would like to inform the Philadelphia Art Commission that we have initiated a Percent for Art opportunity for the Kingsessing Library and Rec Center in collaboration with our partners at Rebuild. The Kingsessing Library and Rec Center is a Rebuild co-located site at 4901 Kingsessing Ave in Southwest Philadelphia, consisting of upgrades to the recreation center building, library and outdoor site improvements.

OACCE has begun participating in community outreach with Rebuild to introduce community members to the Percent for Art process and start to understand the community's values. We will also participate in future engagement opportunities with the Kingsessing community. We also plan to meet with the Kingsessing project team to review various options for public art on this site in response to the project design and community's goals. Below is an overview of our understanding and anticipated approach for this public art project:

- The Kingsessing Library and Rec Center Percent for Art opportunity will create a beautiful and enduring work of public art that is permanent, site-specific, and reflects the culture, values, and diversity of the Kingsessing community in Southwest Philadelphia. The Art budget will be at least 1% of the total project budget in keeping with the City's Percent for Art guidelines.
- A Kingsessing Percent for Art Committee will be formed to advise the selection of the artist and the art proposal. The Percent for Art Committee will include representatives from: the Kingsessing Design team, community members that utilize the Kingsessing Library and Rec Center; public art artists; staff members of Kingsessing Library and Recreation Center; residents of the Kingsessing community; representatives from Office of Councilwoman Gautier, Rebuild, Parks and Recreation, and OACCE.
- The Artist will be selected through a two-part community driven process, consisting of a Call for Artist Phase 1 where artists submit qualifications, and a subsequent Phase 2 where 4 to 5 semi-finalists will be selected by the Committee to move forward with providing proposals.
- Community involvement will be a critical component, and artist teams will be encouraged to work with the public to align their proposal with the desires and feedback from the community. Community engagement will occur in virtual and/or in-person meetings, and through online surveys.
- OACCE will provide oversight for the Percent for Art process from concept to installation and will work with the project team to ensure the technical details for the artwork are fully coordinated with the site constraints. Once a finalist is selected and the artwork has been developed, OACCE will initiate a separate review process for the Philadelphia Art Commission to approve the artwork.

This co-located site provides an opportunity to provide meaningful, engaging and site-specific public art for Kingsessing residents and visitors to enjoy. We look forward to working with Rebuild, the Kingsessing Design team and all community stakeholders to realize a beautiful public artwork that will be an enduring contribution to the Kingsessing community and the City's renowned collection of public art.

Should you require any additional information please do not hesitate to call me at 215.686.4596.

Sincerely,

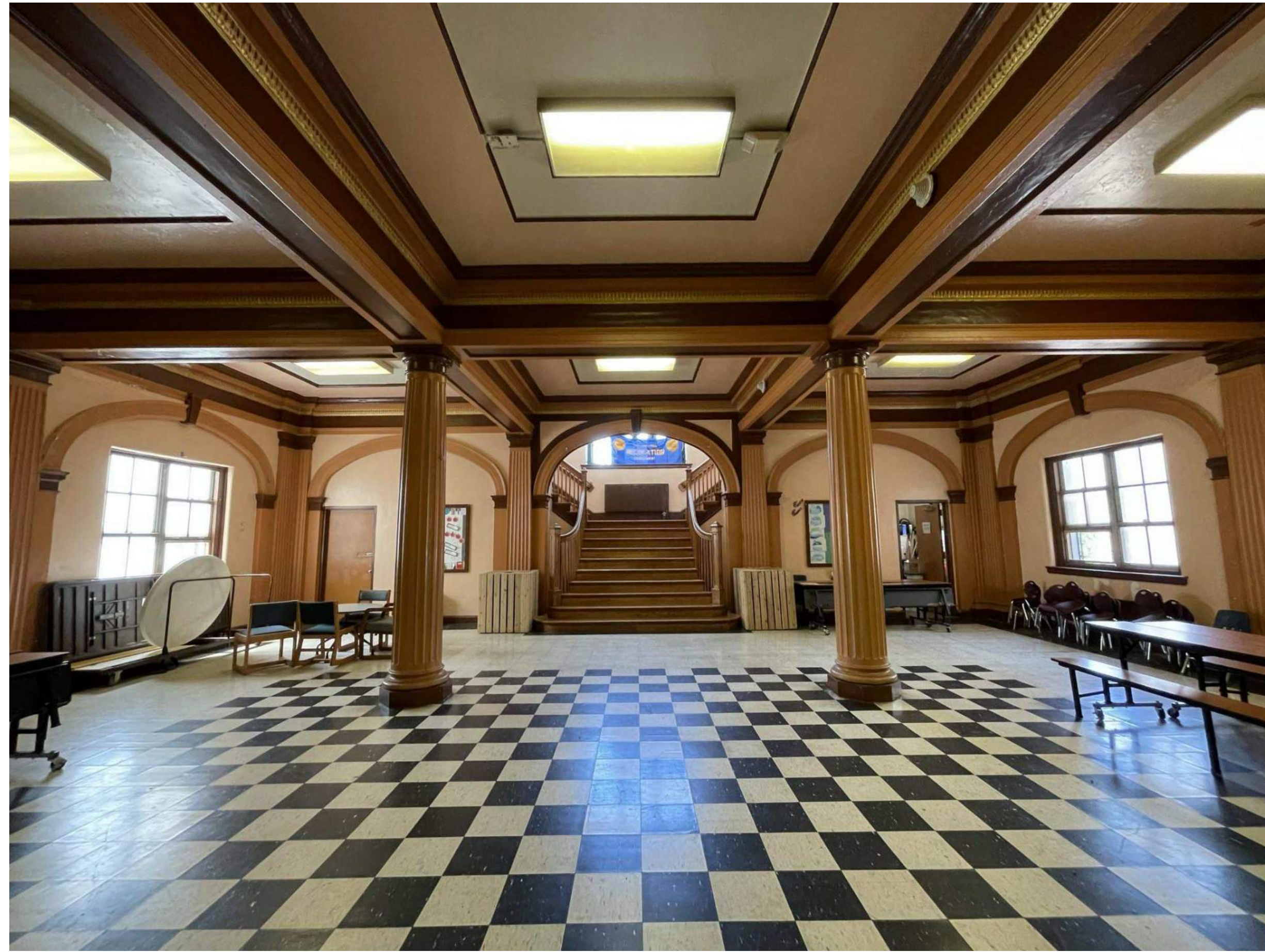
A handwritten signature in black ink, appearing to read "Marguerite Anglin".

Marguerite Anglin, RA, NOMA  
Public Art Director  
Office of Arts, Culture and the Creative Economy



# KINGSESSING RECREATION CENTER

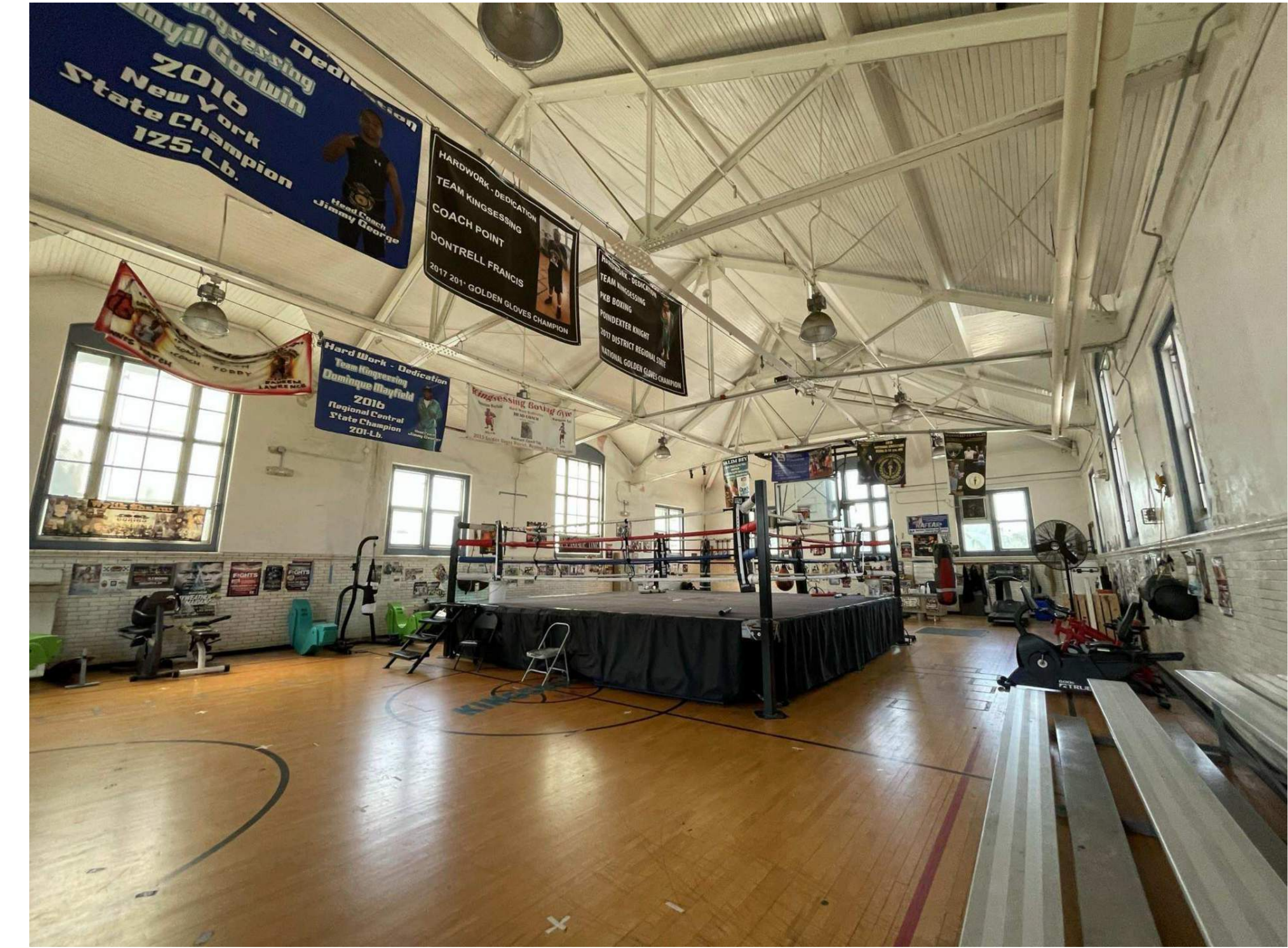
## EXISTING INTERIOR CONDITIONS



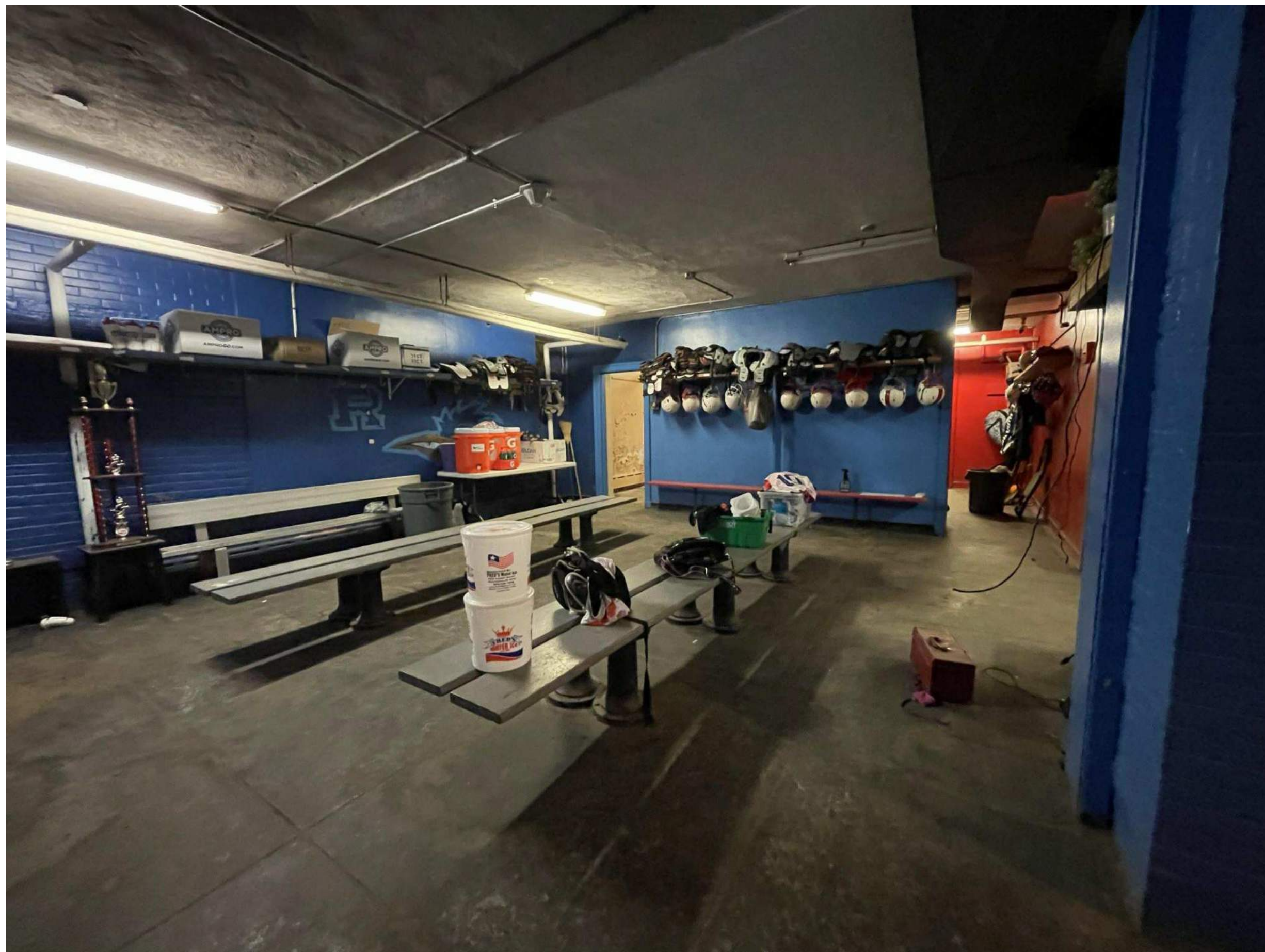
MAIN LOBBY



MAIN LOBBY



BOXING GYM



LOCKER ROOM - LOWER LEVEL



TYPICAL GAME ROOM - 2ND FLOOR



AUDITORIUM - 2ND FLOOR



# KINGSESSING RECREATION CENTER

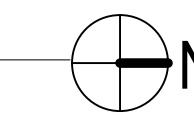
## INTERIOR SCOPE - 1ST FLOOR

### LEGEND

- CIRCULATION, UTILITIES, & OUT OF SERVICE AREAS
- PUBLIC AREAS
- STAFF/NON PUBLIC AREAS

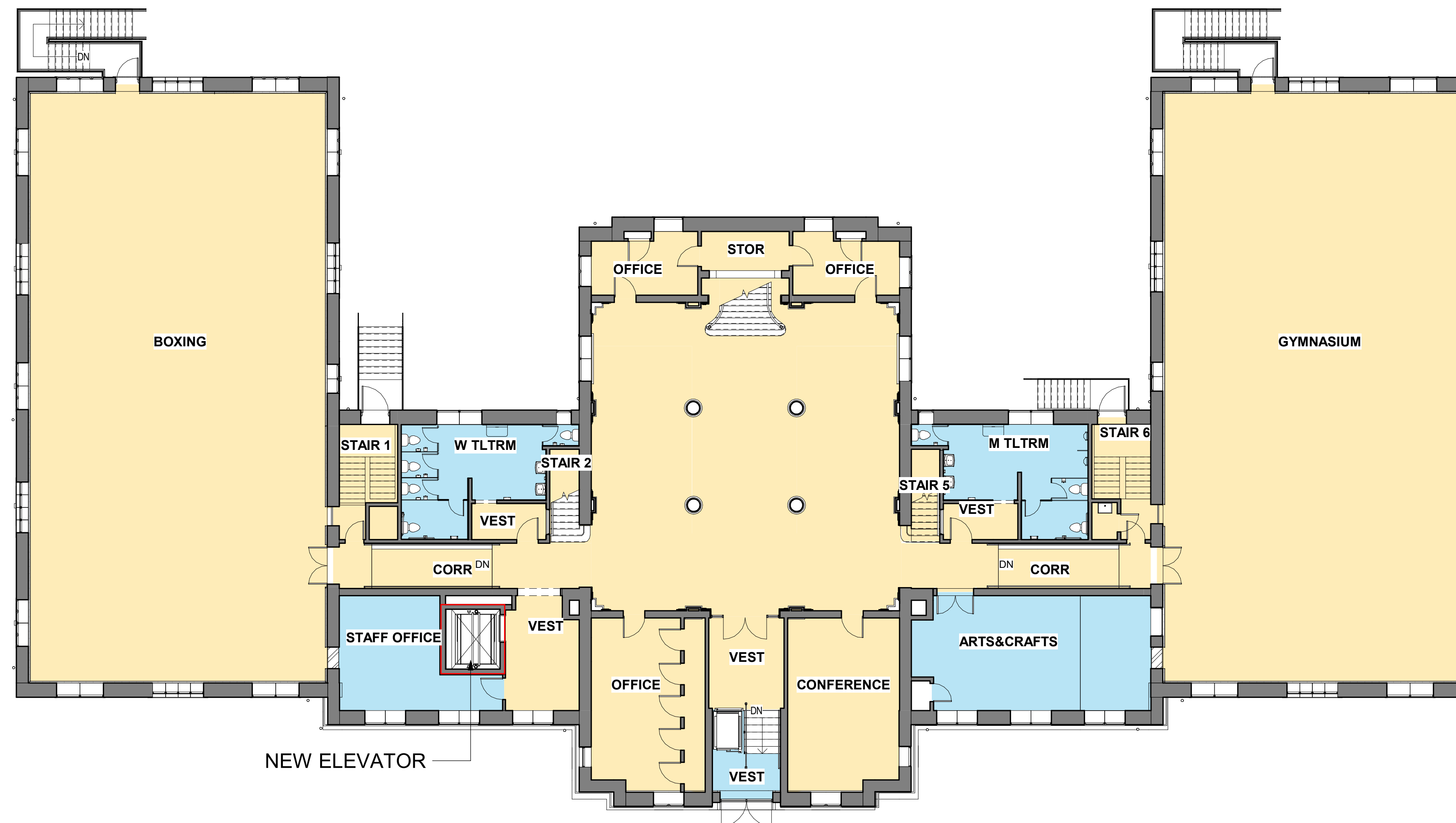


2 EXISTING FIRST FLOOR  
3/32" = 1'-0"

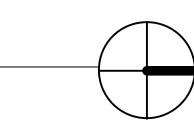


### SCOPE LEGEND

- REFRESH
- RENOVATE



1 PROPOSED FIRST FLOOR  
3/32" = 1'-0"

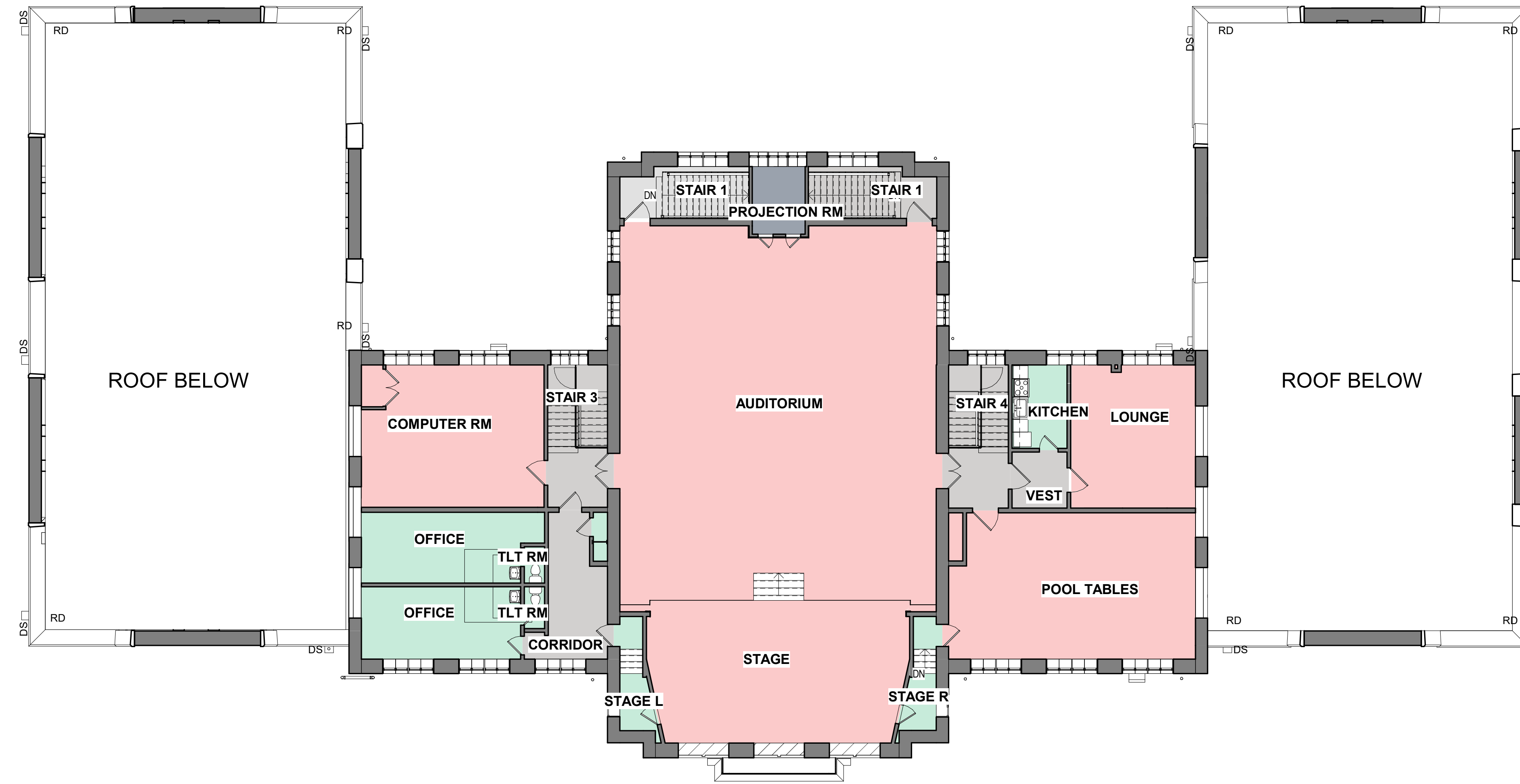


# KINGSESSING RECREATION CENTER

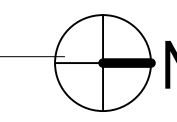
## INTERIOR SCOPE - 2ND FLOOR

### LEGEND

- CIRCULATION & UTILITIES
- CIRCULATION, UTILITIES, & OUT OF SERVICE AREAS
- OUT OF SERVICE
- PUBLIC AREAS
- STAFF/NON PUBLIC AREAS

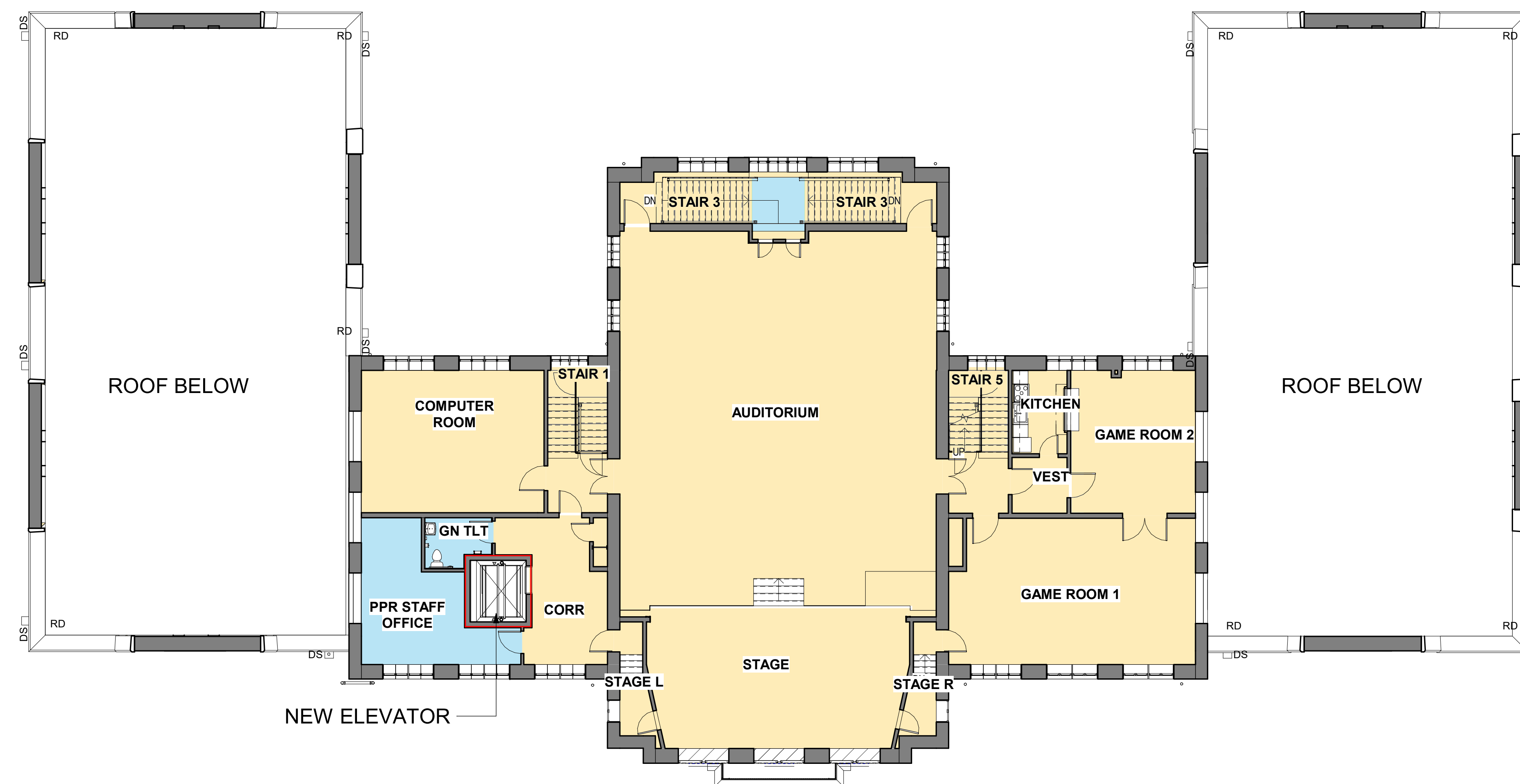


② EXISTING 2ND FLOOR  
3/32" = 1'-0"

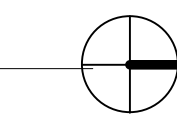


### SCOPE LEGEND

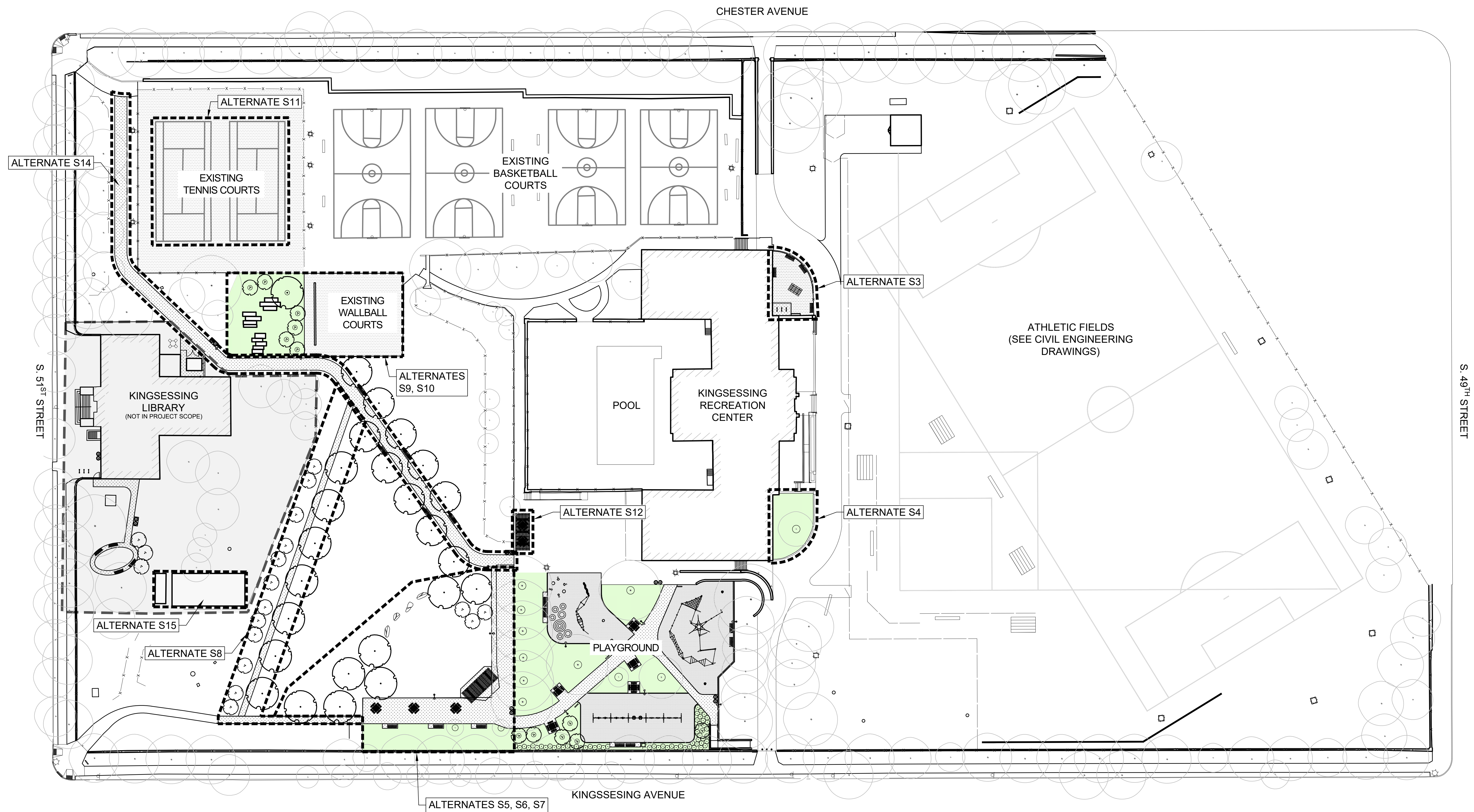
- REFRESH
- RENOVATE



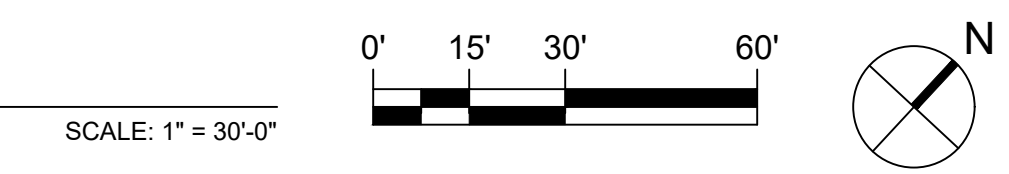
① PROPOSED 2ND FLOOR  
3/32" = 1'-0"







1 OVERALL SITE IMPROVEMENTS PLAN



L-SERIES DRAWING LIST:

- L-100 SITE IMPROVEMENTS OVERVIEW PLAN
- L-101 SITE LAYOUT PLAN - BASE SCOPE
- L-102 SITE MATERIALS PLAN - BASE SCOPE
- L-103 SITE FURNISHINGS AND EQUIPMENT PLAN - BASE SCOPE
- L-104 SITE LIGHTING LAYOUT PLAN - BASE SCOPE
- L-105 SITE PHOTOMETRY PLAN
- L-106 SITE PLANTING PLAN - BASE SCOPE
- L-501 SITE DETAILS
- L-502 PLANTING DETAILS
- L-801 ALTERNATES #1-5
- L-802 ALTERNATES #6-8

OVERALL SITE NOTES & LANDSCAPE SCOPE:

1. SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC TO SALT DESIGN STUDIO ON MAY 10, 2021.
2. SITE IMPROVEMENTS SHOWN ON THIS DRAWING AND NOT DELINEATED AS ALTERNATE SCOPE, SHALL BE CONSIDERED BASE SCOPE.
3. KINGSESSING LIBRARY PROJECT IS NOT INCLUDED IN THIS PROJECT SCOPE. SEE PLAN FOR PROJECT LIMITS.
4. SALT DESIGN STUDIO / LANDSCAPE (L-SERIES) SCOPE INCLUDES THE FOLLOWING:
  - SITE PAVEMENTS (CONCRETE, ASPHALT, POURED-IN-PLACE SAFETY SURFACING), PAVEMENT COATINGS,
  - CONCRETE CURBING,
  - SITE FURNISHINGS, INCLUDING BENCHES, TABLES, BIKE RACKS, RECEPTACLES, SHADE STRUCTURES, AND PPR STANDARD SIGNAGE.
  - LAYOUT OF SITE LIGHTING, IN COORDINATION WITH MEP ENGINEER.
  - PLAYGROUND EQUIPMENT.
  - PLANTING.

STAMP AREA

REVISIONS

ISSUE	DATE	DESCRIPTION
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100% DD SUBMISSION



REVIEWED BY:

PROJECT COORDINATOR

SEALS



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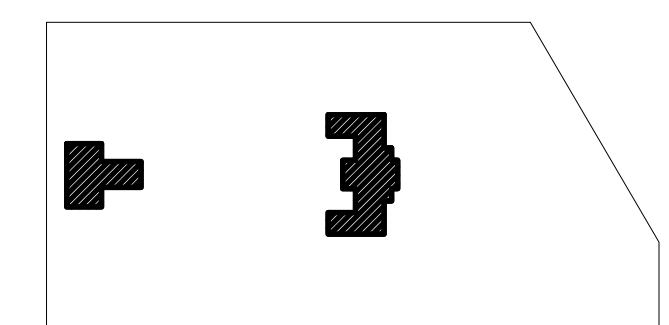
M.E.P./F./SITE CIVIL ENGINEERS:  
**Pennoni Associates**  
 1900 Market Street Suite 300  
 Philadelphia PA 19103  
 www.pennoni.com

LEED CONSULTANT:  
**Verde Architecture Consulting**  
 1635 Market Street Suite 1600  
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CITY OF PHILADELPHIA  
 DEPARTMENT OF PUBLIC PROPERTY  
 1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE  
**KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS**

KEY PLAN



DRAWING TITLE  
**SITE IMPROVEMENTS OVERVIEW PLAN**

KMA PROJECT NO:  
**21070**

DATE  
 09/29/2022

SCALE  
 AS SHOWN

DRAWN BY:  
 RBY/RS

CHECKED BY:  
 SPS

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

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REVISIONS		
ISSUE	DATE	DESCRIPTION

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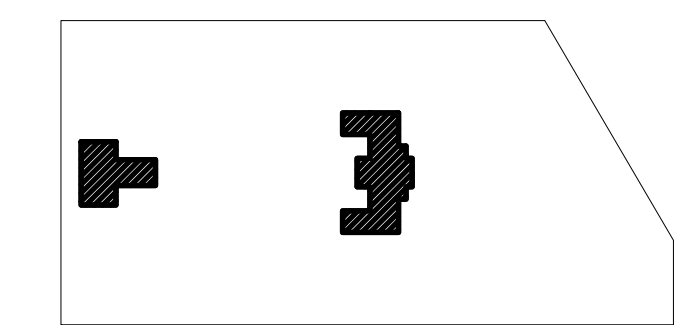
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PHILADELPHIA PENNSYLVANIA

**PROJECT TITLE**  
KINGSSESSING RECREATION  
CENTER BUILDING AND SITE  
IMPROVEMENTS

KEY PLAN

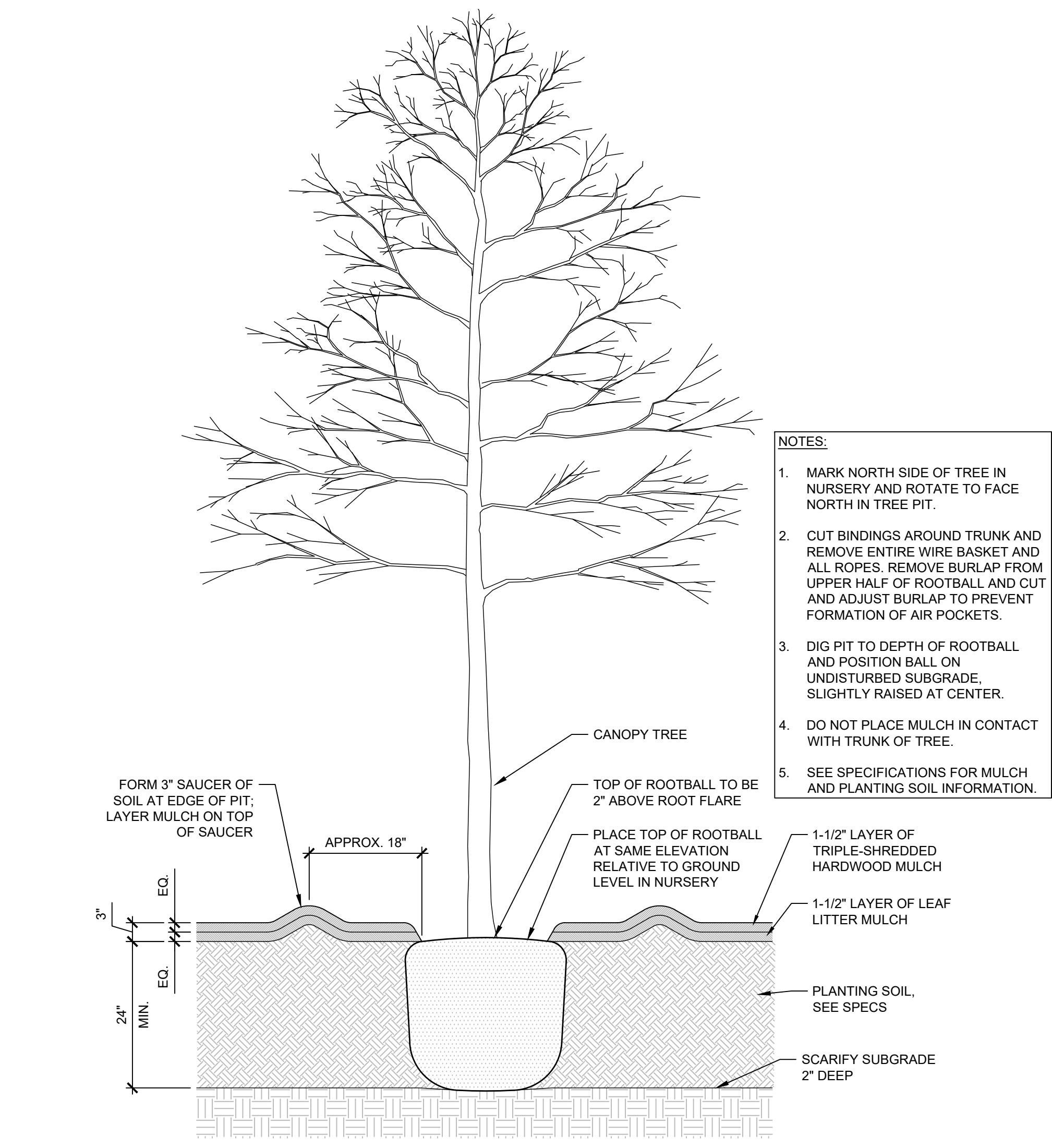


**DRAWING TITLE**  
PLANTING DETAILS

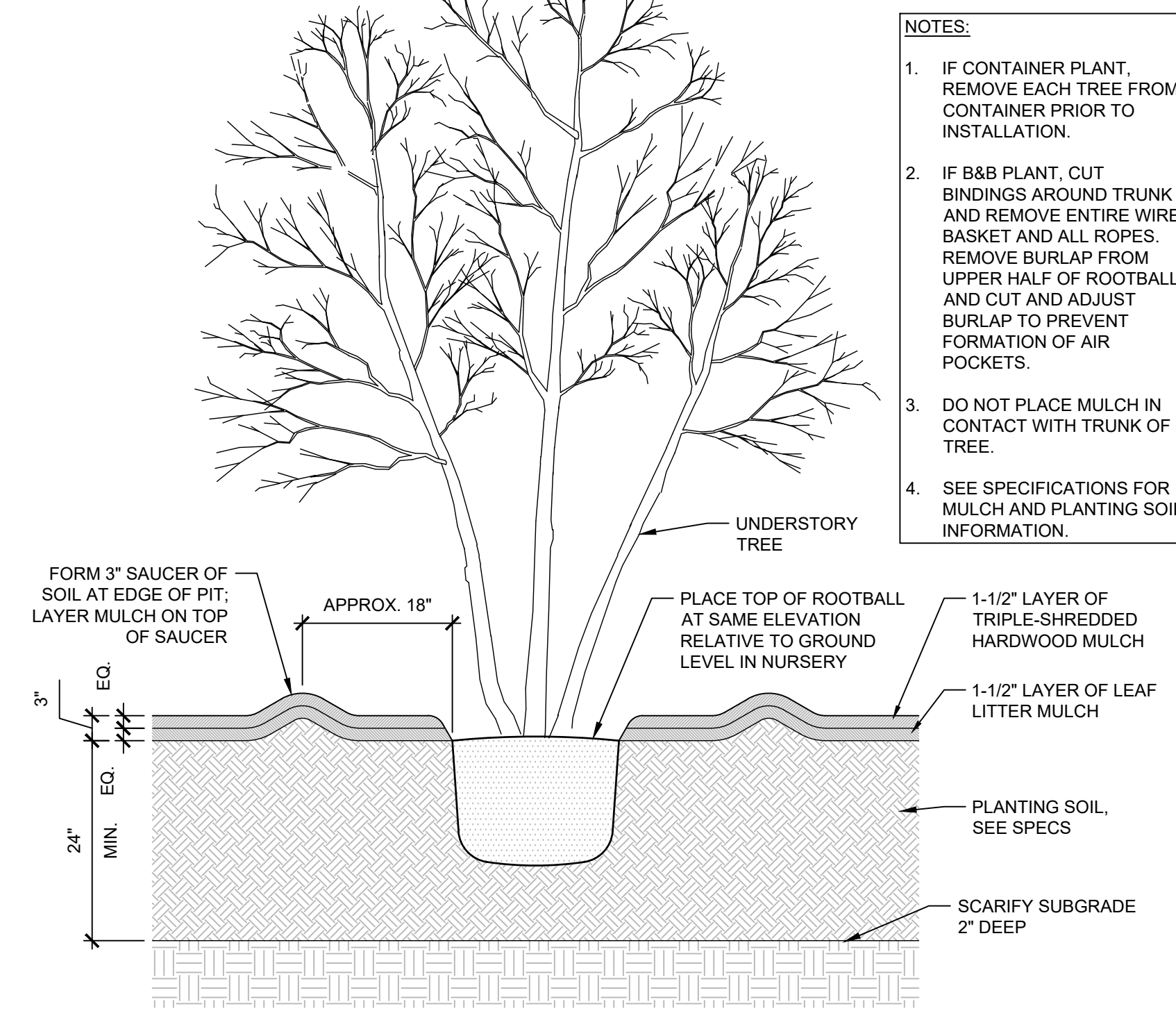
MAIN PROJECT NO. 21070 DATE 09/29/2022 SCALE AS SHOWN DRAWN BY RSU/HPS CHECKED BY SPS	DRAWING NO. <b>L-502</b>
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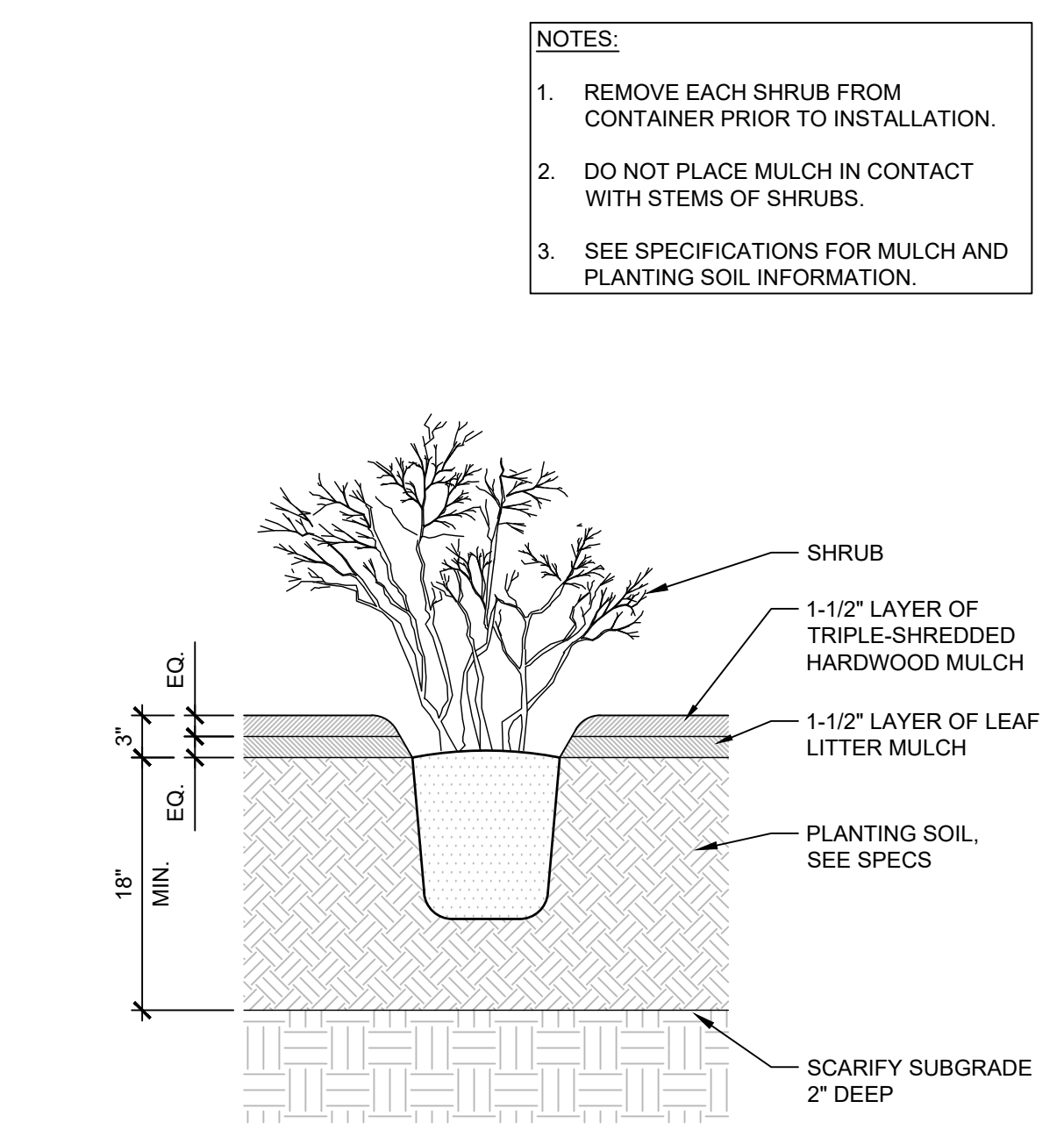
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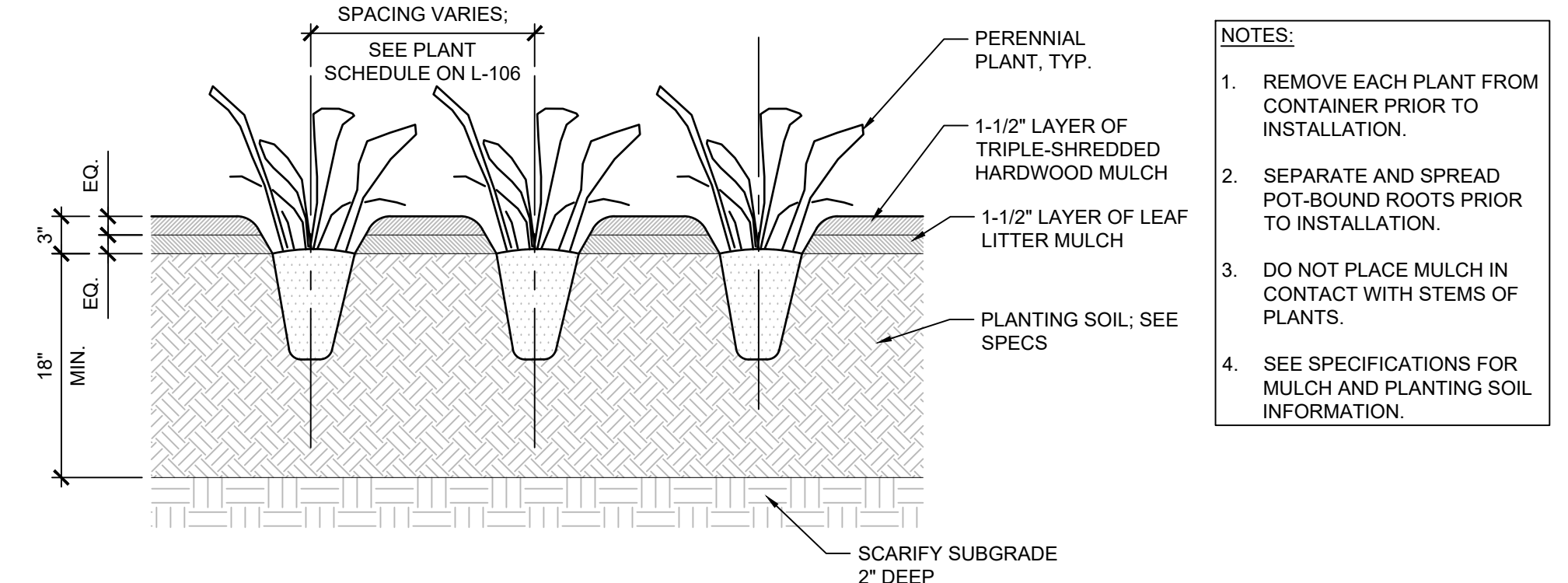
**1 CANOPY TREE** SCALE: 3/4" = 1'-0"



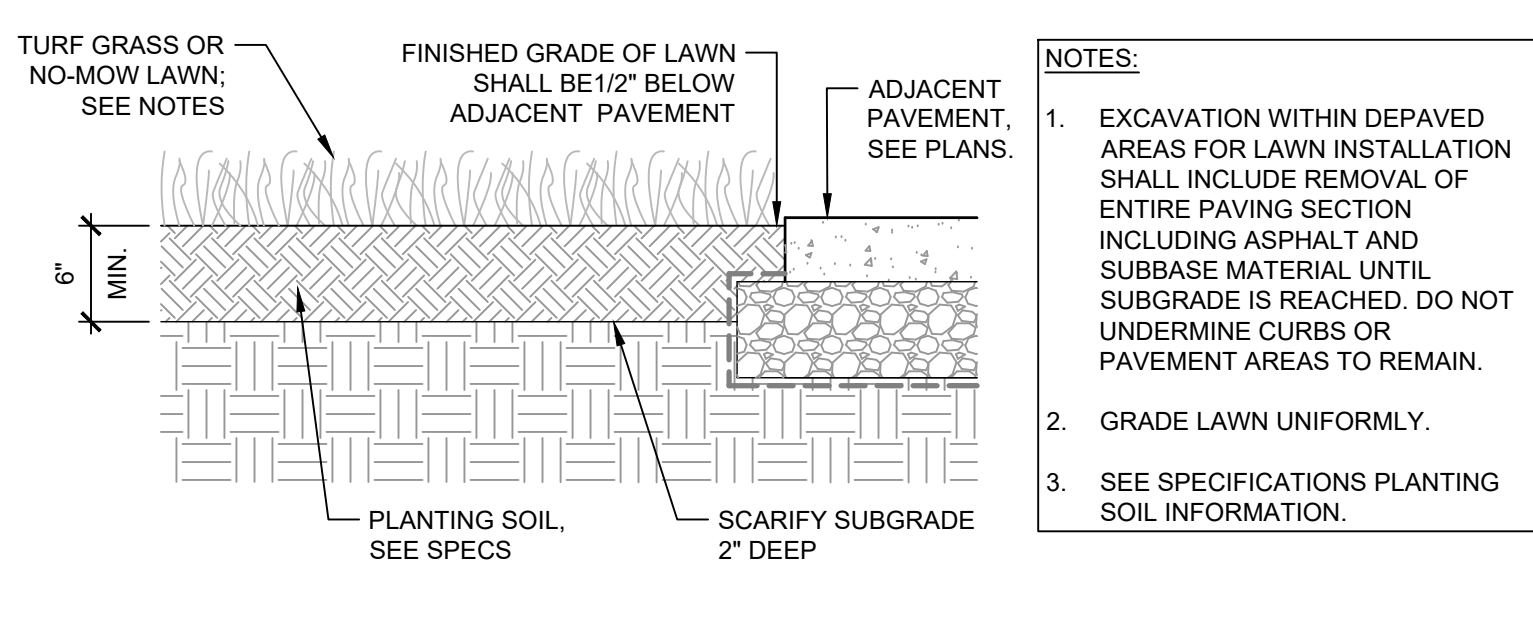
**2 UNDERSTORY TREE** SCALE: 3/4" = 1'-0"



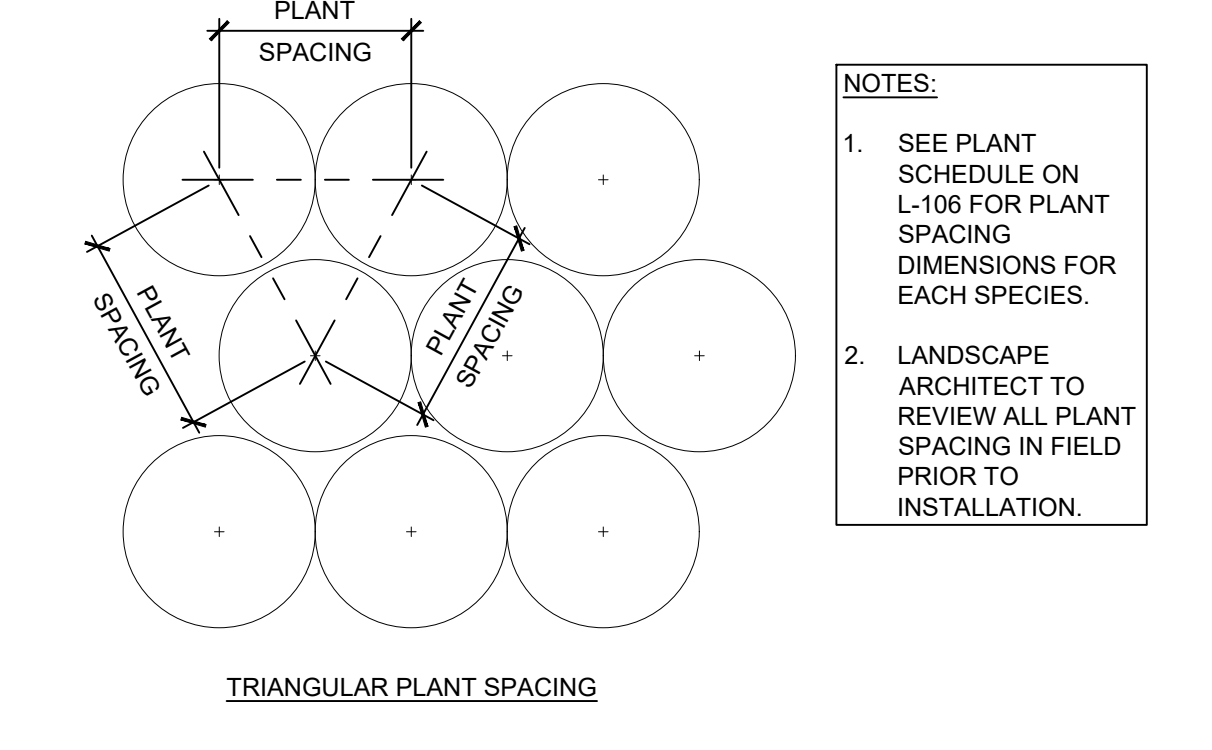
**3 SHRUB** SCALE: 1" = 1'-0"



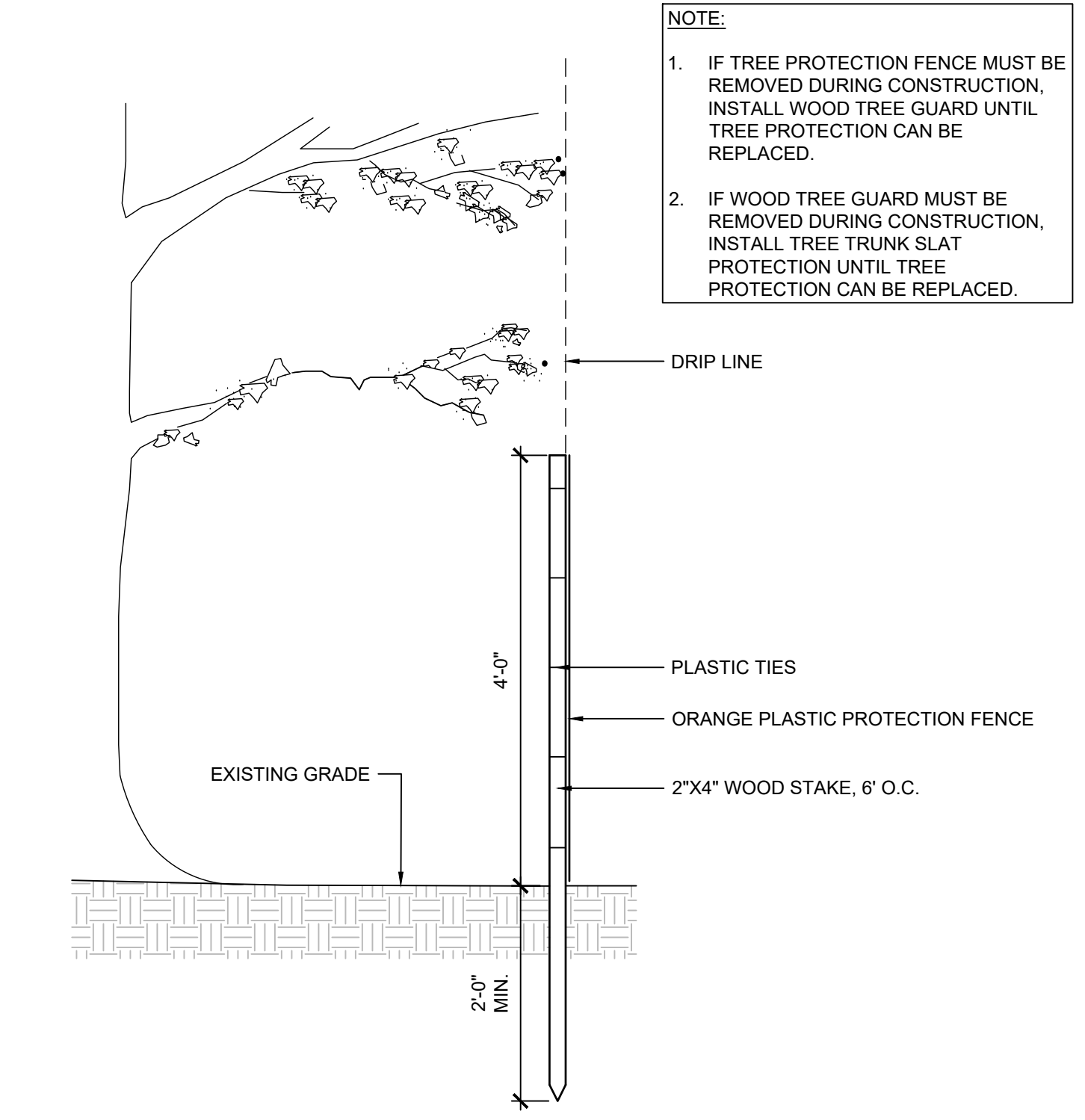
**4 PERENNIALS** SCALE: 1" = 1'-0"



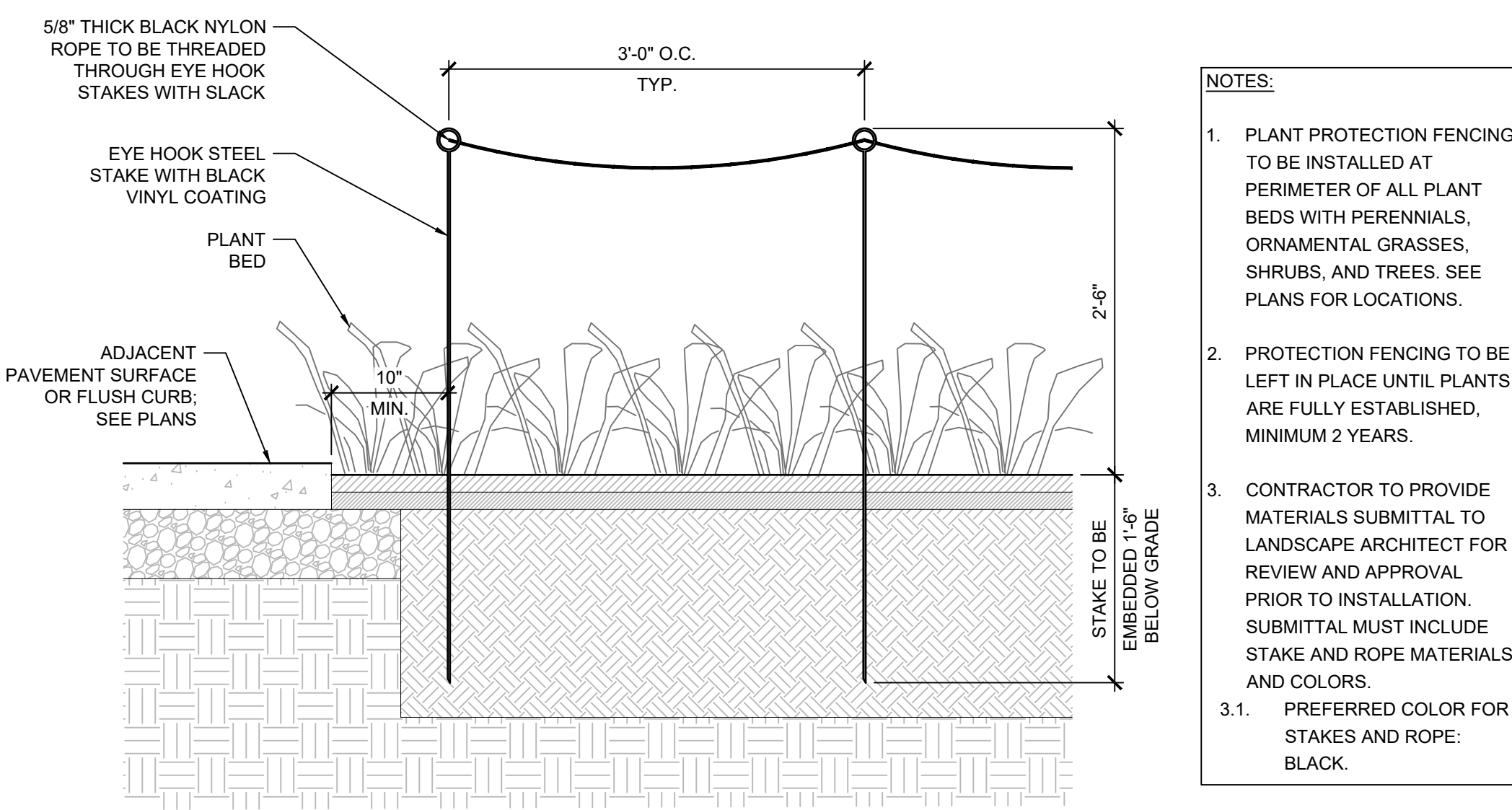
**5 LAWN** SCALE: 1" = 1'-0"



**6 PLANT SPACING** SCALE: 1" = 1'-0"



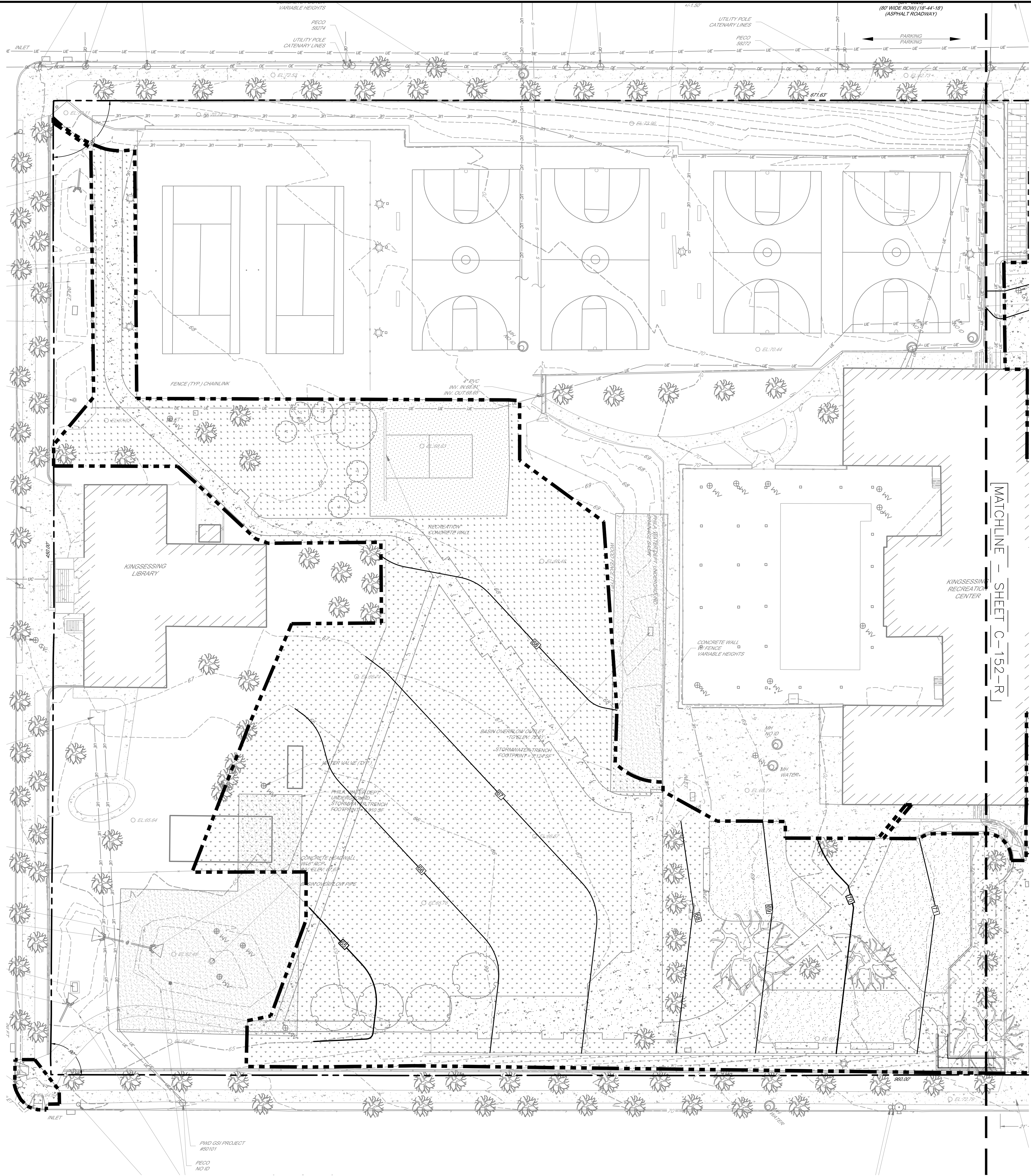
**7 TREE PROTECTION FENCE** SCALE: 3/4" = 1'-0"



**8 TREE PROTECTION FENCE** SCALE: 3/4" = 1'-0"

STAMP AREA





**GRADING AND EARTHWORK NOTES:**

- A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. ALL EXISTING UNDERGROUND UTILITIES SHALL BE REMOVED OR RELOCATED. THE PREPARED SUBGRADE SHALL BE PROOF ROLLED WITH A SMOOTH-DRUM VIBRATING ROLLER TO DELINEATE SOFT/UNSTABLE AREAS AND COMPACT SOILS DISTURBED DURING EXCAVATION OPERATIONS. AREAS WHICH EXHIBIT INSTABILITY SHALL BE UNDERCUT AND REPLACED WITH LOAD BEARING FILL.
- MINIMUM PAVEMENT GRADE SHALL BE 1.0% SLOPE UNLESS NOTED OTHERWISE.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 98% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- MAXIMUM SIDEWALK CROSS SLOPE IS 2% AND MINIMUM SIDEWALK CROSS SLOPE IS 1.0% WITHIN THE CITY RIGHT OF WAY.
- ELEVATIONS ARE BASED ON CITY OF PHILADELPHIA VERTICAL DATUM.
- REFER TO GEOTECHNICAL REPORT FOR BELOW GRADE CONDITIONS AND SITE PREPARATION/ EXCAVATION REQUIREMENTS.
- ALL UTILITY VALVES AND MANHOLE STRUCTURES WITHIN THE SIDEWALKS AND ROADWAYS SHALL BE ADJUSTED TO THE PROPOSED GRADES AS NECESSARY. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY.
- FILL CAN BE REUSED AS A COMPACTED FILL FOR BACKFILL, AS LONG AS IT IS FREE OF TRASH, ENVIRONMENTAL HAZARDS, AND OTHER DELETERIOUS MATERIAL. ADJUSTING MOISTURE CONTENT PRIOR TO FILL PLACEMENT SHOULD BE EXPECTED.
- ALL DIMENSIONS SHOWN ARE IN US SURVEY FEET (US) UNLESS DESIGNATED CITY OF PHILADELPHIA DISTRICT STANDARD MEASURE (DS).
- THE DISTRICT STANDARD FOR CONVERSION IS US = DS X 1.0025.
- DEMOLITION DEBRIS ASSOCIATED WITH THE STRUCTURE TO BE REMOVED CONSISTING OF CONCRETE AND OTHER MASONRY PRODUCTS CAN BE CRUSHED AND REUSED IN NEW LOAD-BEARING FILL, PROVIDED IT IS FREE OF THE LIMITATIONS DESCRIBED IN NOTE #13 ABOVE.
- CONTROLLED/COMPACTED FILL SHALL BE PLACED IN EARLY STAGES OF CONSTRUCTION TO ALLOW FOR SITE SETTLEMENT DURING CONSTRUCTION OF BUILDING.
- ALL SITE PREPARATION AND EARTHWORK OPERATIONS SHALL BE CARRIED OUT IN THE FULL-TIME PRESENCE OF A QUALIFIED REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER.
- WHERE OBSTRUCTIONS SUCH AS CONCRETE, FOUNDATIONS, BRICK, AND WOOD ARE ENCOUNTERED ABOVE THE COMPRESSIBLE LAYERS, PRE-DRILLING FOR THE PVDs WILL BE REQUIRED. THEREFORE, CONSIDERABLE EXTRA COSTS COULD BE INVOLVED AND A CONTINGENCY FOR PRE-DRILLING SHOULD BE CARRIED IN THE CONSTRUCTION BUDGET. THE RUBBLE FROM DEMOLITION SHOULD BE CRUSHED OR STAGED FOR REUSE AND IMPORTED FILL SHOULD NOT CONTAIN EXCESS OVERSIZE MATERIALS THAT WOULD PREVENT THE DIRECT PUSH INSTALLATION OF THE WICK DRAINS.
- GIVEN THE LIMITED WORK AREA, IT WILL BE IMPORTANT TO MAINTAIN POSITIVE DRAINAGE ACROSS THE SITE. A DRAINAGE BLANKET CONSISTING OF GRAVEL OR SAND WITH LESS THAN 10 PERCENT FINES SHOULD BE PLACED ACROSS THE WORK AREA BEFORE PLACING ALL OF THE FILL. THE BLANKET SHOULD BE AT LEAST 12 INCHES THICK AND SHOULD CONVEY WATER TO A PERIMETER DITCH. ALTERNATIVELY, OR IN COMBINATION WITH THE DRAINAGE BLANKET, HORIZONTAL STRIP DRAINS CAN BE ATTACHED TO THE VERTICAL DRAINS.
- ALL FILL MATERIALS, INCLUDING SUBGRADE SOILS, SHOULD BE PLACED IN 8" TO 10-INCH THICK LIFTS AND BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY IN GENERAL ACCORDANCE WITH ASTM D698. THE FILL SOILS SHOULD HAVE AN IN-PLACE WET WEIGHT OF ABOUT 125 TO 135 POUNDS PER CUBIC FOOT TO BE CONSISTENT WITH THE LOADINGS ASSUMED IN OUR ANALYSIS.
- FOLLOWING THE STRIPPING OF ASPHALT AND ORGANIC MATERIALS, IF FILL MATERIALS ARE REQUIRED THE EXPOSED SUBGRADE SOILS SHOULD BE EVALUATED. IDEALLY, THE EVALUATION SHOULD CONSIST OF PROOFROLLING AND COMPACTING THE SOILS TO A DENSE AND UNYIELDING CONSISTENCY BY SEVERAL PASSES OF A LOADED TRIAXIAL DUMP TRUCK, OFF-HIGHWAY DUMP TRUCK, OR LARGE SMOOTH DRUM VIBRATORY COMPACTOR WITH A STATIC DRUM WEIGHT OF AT LEAST TEN TONS, ALTHOUGH SOME OTHER METHOD MAY BE DEEMED MORE APPROPRIATE BY THE GEOTECHNICAL ENGINEER DEPENDING ON THE PREVAILING WEATHER CONDITIONS. SOILS THAT ARE OBSERVED TO BE SOFT OR UNSTABLE DURING THE EVALUATION SHOULD BE SELECTIVELY OVER-EXCAVATED, AND THE RESULTANT EXCAVATIONS SHOULD BE BACKFILLED WITH CONTROLLED COMPACTED FILL.
- UPON SATISFACTORY EVALUATION OF THE SUBGRADE, STRUCTURAL FILL SHOULD BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS REPORT. THE MATERIALS WILL TYPICALLY NEED TO BE WITHIN 2 TO 3 PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT PRIOR TO USE. CONSIDERATION OF OFF-SITE BORROW MEETING OTHER USCS CLASSIFICATIONS WOULD BE MADE BY THE GEOTECHNICAL ENGINEER BASED ON THE LOCATION AND DEPTH TO WHICH THOSE MATERIALS ARE PLACED.
- ALL STRUCTURAL FILL SHOULD BE CONSTRUCTED IN MAXIMUM 8-INCH THICK LOOSE LIFTS AND BE COMPACTED TO 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, WITH MOISTURE CONTENTS WITHIN 3 PERCENTAGE POINTS OF OPTIMUM FOR COMPACTION.
- ALL TEMPORARY SURCHARGE FILL SHALL BE CONSTRUCTED IN MAXIMUM 8-INCH THICK LOOSE LIFT AND BE COMPACTED TO 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, WITH MOISTURE CONTENTS WITHIN 3 PERCENTAGE POINTS OF OPTIMUM FOR COMPACTION.
- FILL SUBGRADES AND EACH LIFT OF FILL SHOULD BE OBSERVED AND TESTED BY A SOILS TECHNICIAN ON A FULL-TIME BASIS, UNDER THE SUPERVISION OF A REGISTERED ENGINEER AS REQUIRED PER THE INTERNATIONAL BUILDING CODE. ALL COMPACTIVE EFFORT SHOULD BE VERIFIED BY IN-PLACE DENSITY TESTING. NEW FILLS CONSTRUCTED ON SLOPES STEEPER THAN 1H:1V (HORIZONTAL) TO VERTICAL SHOULD BE KEPT INTO EXISTING SLOPES FOR STABILITY CONSIDERATIONS. GTA RECOMMENDS THAT ALL PERMANENT SLOPES SHOULD BE GRADED 3H:1V FLATTER. ALL FILL SLOPES STEEPER THAN 3H:1V SHOULD GENERALLY BE PLACED AS STRUCTURAL FILL AND BE CONTROLLED AND COMPACTED TO MINIMUM DENSITIES AS SPECIFIED ABOVE.
- POSITIVE DRAINAGE SHALL BE MAINTAINED ACROSS THE SITE DURING CONSTRUCTION TO PREVENT PONDING OF WATER. SINCE THE EXPOSED SUBGRADES COULD DESTABILIZE IN COMBINATION WITH CONSTRUCTION TRAFFIC AND PRECIPITATION, FURTHERMORE, HEAVY CONSTRUCTION TRAFFIC SHOULD GENERALLY BE RUN ON DESIGNATED HAUL ROADS DURING PERIODS OF WET WEATHER TO REDUCE THE POTENTIAL FOR DESTABILIZATION OF MORE SUBGRADE AREAS THAN NECESSARY. IF THE SUBGRADE IS DISTURBED BY CONSTRUCTION TRAFFIC AND BECOMES UNSTABLE, UNDERCUTTING AND REPLACEMENT OF THESE SUBGRADE MATERIALS WILL LIKELY BE REQUIRED.

**EXISTING LEGEND**

- - - - - EXISTING PROPERTY LINE (APPROXIMATE)
- - - - - EXISTING RIGHT OF WAY LINE (APPROXIMATE)
- - - - - EXISTING BUILDING
- - - - - EXISTING CURB
- - - - - EXISTING SIDEWALK
- - - - - EXISTING EDGE OF MACADAM GRAVEL
- - - - - EXISTING TRAFFIC MARKING
- - - - - EXISTING FENCE
- EXISTING TREE
- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- ▲ EXISTING SIGN
- EXISTING BOLLARD
- EXISTING UTILITY POLE
- EXISTING INLET
- EXISTING SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY STRUCTURES

**PROPOSED LEGEND**

- ▭ PROPOSED BUILDING
- ▭ PROPOSED DOOR
- ▭ PROPOSED CONCRETE PAVEMENT
- ▭ PROPOSED ASPHALT PAVEMENT
- ▭ PROPOSED LANDSCAPED AREA
- ▭ PROPOSED UNIT PAVERS
- ▭ PROPOSED POROUS PLAYGROUND SAFETY SURF
- ▭ PROPOSED SYNTHETIC TURF FIELD
- ▭ PROPOSED ADA RAMP
- ▭ PROPOSED CURB
- ▭ PROPOSED DEPRESSED CURB
- ▭ PROPOSED WALL
- ▭ PROPOSED STOP BAR/PAVEMENT MARKING
- ▭ PROPOSED FENCE
- ▭ PROPOSED SIGN
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT ELEV.
- PROPOSED LOW POINT ELEV.
- PROPOSED TOP OF CURB ELEV.
- PROPOSED BOTTOM OF CURB ELEV.

GRADING PLAN DETAIL SOUTH  
SCALE: 1"=20'-0"

100% DESIGN DEVELOPMENT  
NOT FOR CONSTRUCTION  
09/29/22

PWD TRACKING #FY22-KING-6800-01

**REVISIONS**

ISSUE	DATE	DESCRIPTION



REVIEWED BY: \_\_\_\_\_  
PROJECT COORDINATOR: \_\_\_\_\_  
REALS: \_\_\_\_\_

**KMA**

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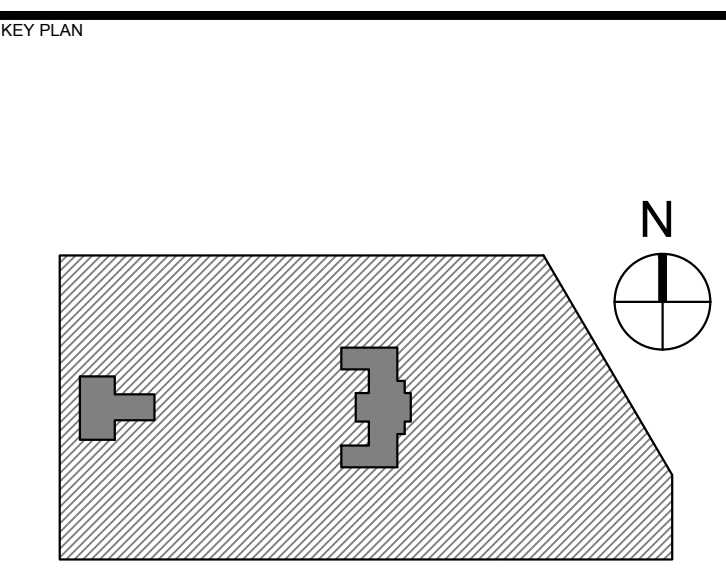
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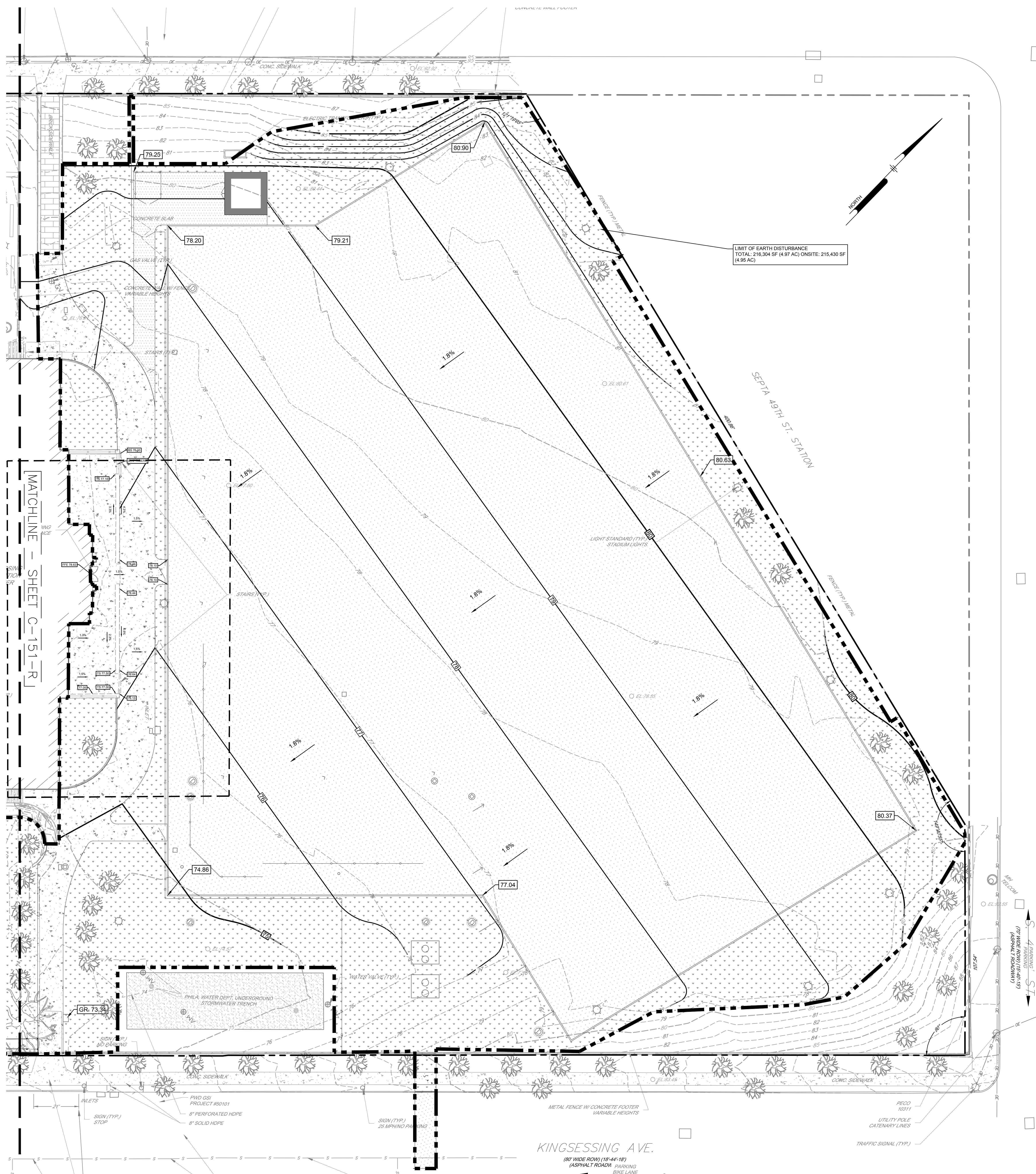
PROJECT TITLE  
**KINGSESSING RECREATION CENTER**



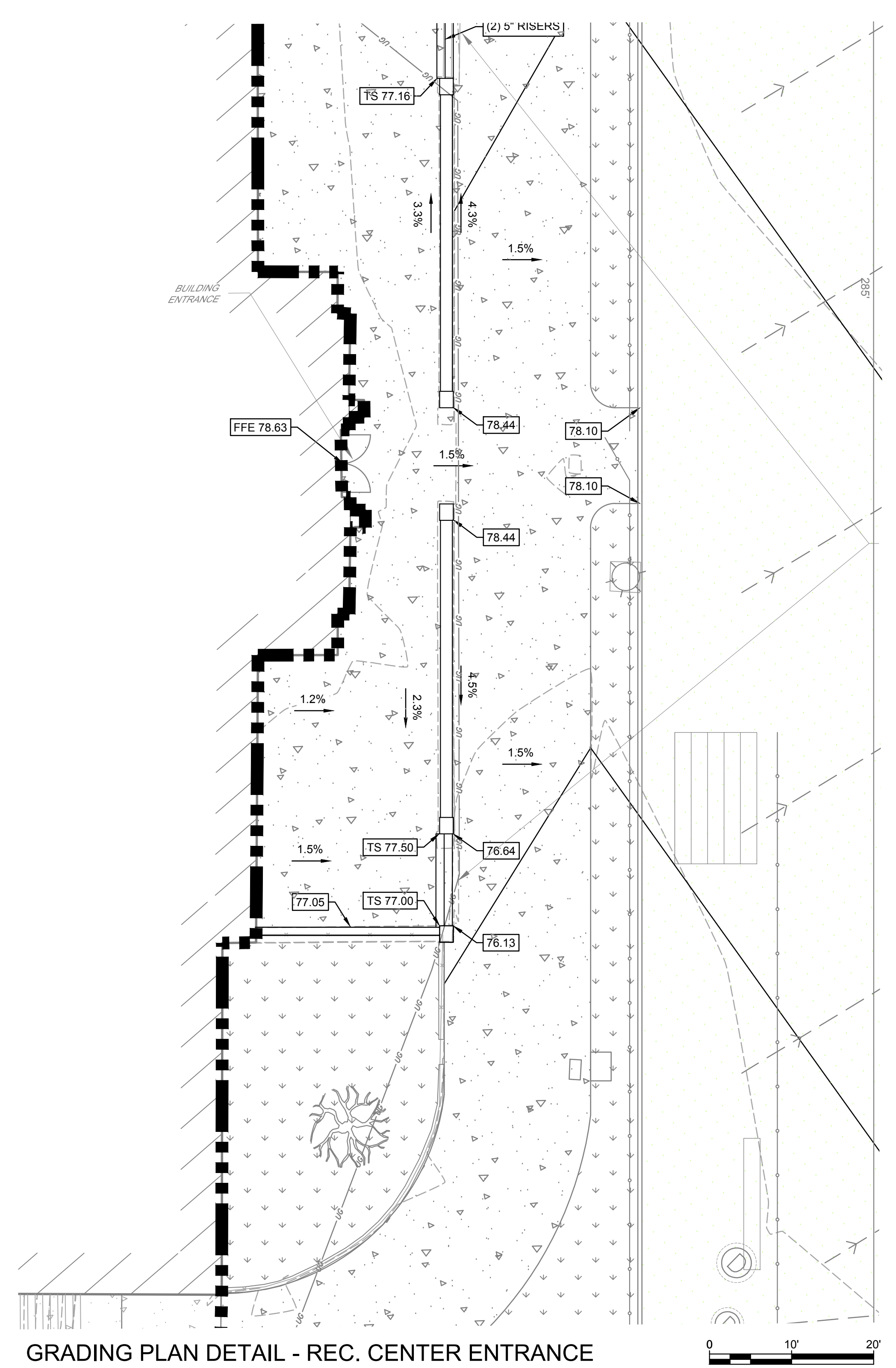
**DETAIL GRADING  
PLAN SOUTH**

PROJECT NO. KLM.LX21003	DRAWING NO. <b>C-151-R</b>
DATE 09/29/22	SCALE AS NOTED
DRAWN BY SDL	CHECKED BY MJM
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	





GRADING PLAN DETAIL - NORTH  
SCALE: 1"=20'-0"



GRADING PLAN DETAIL - REC. CENTER ENTRANCE  
SCALE: 1"=10'-0"

EXISTING LEGEND	PROPOSED LEGEND
--- EXISTING PROPERTY LINE (APPROXIMATE)	▭ PROPOSED BUILDING
--- EXISTING RIGHT OF WAY LINE (APPROXIMATE)	▭ PROPOSED CONCRETE PAVEMENT
▭ EXISTING BUILDING	▭ PROPOSED ASPHALT PAVEMENT
▭ EXISTING CURB	▭ PROPOSED LANDSCAPED AREA
▭ EXISTING SIDEWALK	▭ PROPOSED UNIT PAVERS
▭ EXISTING EDGE OF MACADAM GRAVEL	▭ PROPOSED POROUS PLAYGROUND SAFETY SURF
▭ EXISTING TRAFFIC MARKING	▭ PROPOSED SYNTHETIC TURF FIELD
▭ EXISTING FENCE	▭ PROPOSED ADA RAMP
▭ EXISTING TREE	▭ PROPOSED CURB
▭ EXISTING MAJOR CONTOUR	▭ PROPOSED DEPRESSED CURB
▭ EXISTING MINOR CONTOUR	▭ PROPOSED WALL
▭ EXISTING SIGN	▭ PROPOSED STOP BAR/PAVEMENT MARKING
▭ EXISTING BOLLARD	▭ PROPOSED FENCE
▭ EXISTING UTILITY POLE	▭ PROPOSED SIGN
▭ EXISTING LIGHT	▭ PROPOSED MAJOR CONTOUR
▭ EXISTING INLET	▭ PROPOSED MINOR CONTOUR
▭ EXISTING SEWER	▭ PROPOSED SPOT ELEV.
▭ EXISTING STORM SEWER	▭ LP 6.00
▭ EXISTING WATER LINE	▭ TC 7.50
▭ EXISTING UNDERGROUND TELEPHONE LINE	▭ BC 7.00
▭ EXISTING GAS LINE	
▭ EXISTING UNDERGROUND ELECTRIC	
▭ EXISTING OVERHEAD WIRES	
▭ EXISTING UTILITY STRUCTURES	

REVISIONS

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REVIEWED BY:

PROJECT COORDINATOR:

REALS:



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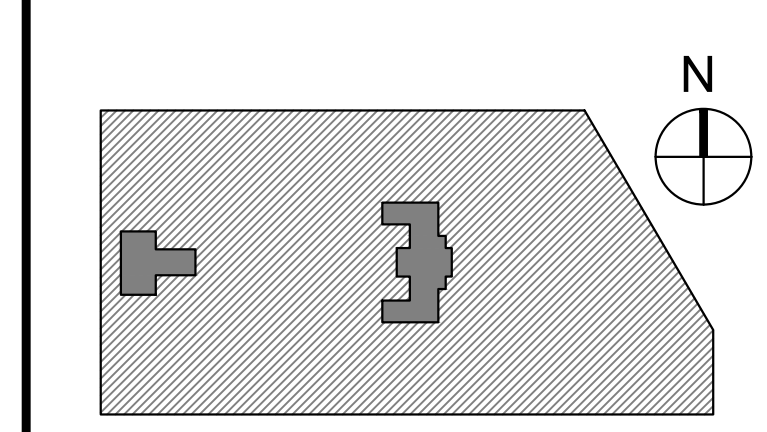
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11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE  
**KINGSESSING RECREATION CENTER**

KEY PLAN



DRAWING TITLE  
**DETAIL GRADING PLAN NORTH**

PROJECT NO. KLMLX21003	DRAWING NO. <b>C-152-R</b>
DATE 10/14/22	
SCALE AS NOTED	
DRAWN BY SDL	
CHECKED BY MJM	

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NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR  
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.  
SERIAL NUMBER(S): 20212583952

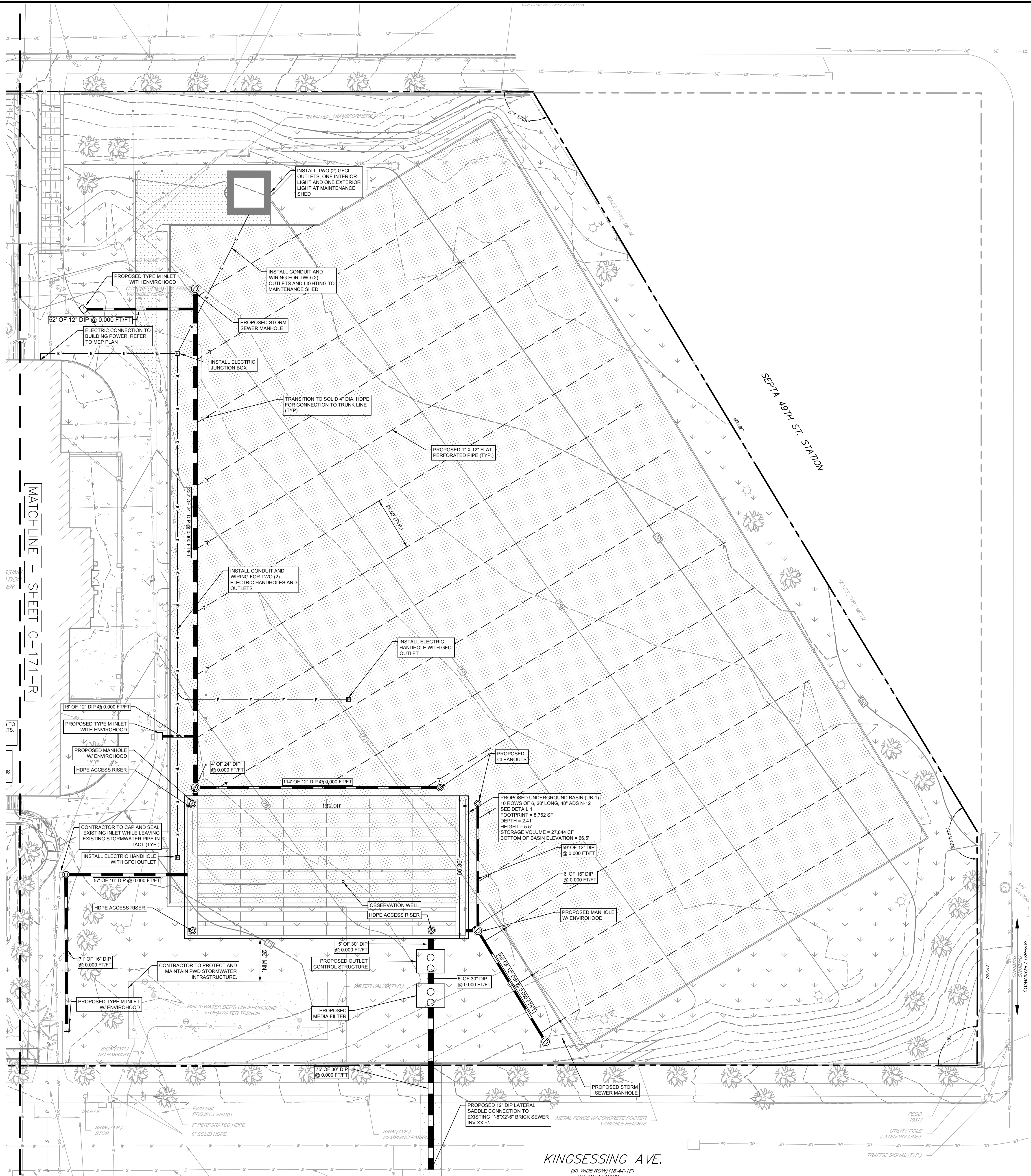
**100% DESIGN DEVELOPMENT**  
**NOT FOR CONSTRUCTION**  
10/14/22

PWD TRACKING #FY22-KING-6800-01









- EXISTING LEGEND**
- EXISTING PROPERTY LINE (APPROXIMATE)
  - EXISTING RIGHT OF WAY LINE (APPROXIMATE)
  - EXISTING BUILDING
  - EXISTING CURB
  - EXISTING SIDEWALK
  - EXISTING EDGE OF MACADAM/GRAVEL
  - EXISTING TRAFFIC MARKING
  - EXISTING FENCE
  - EXISTING TREE
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING SIGN
  - EXISTING BOLLARD
  - EXISTING UTILITY POLE
  - EXISTING LIGHT
  - EXISTING INLET
  - EXISTING SEWER
  - EXISTING STORM SEWER
  - EXISTING WATER LINE
  - EXISTING UNDERGROUND TELEPHONE LINE
  - EXISTING GAS LINE
  - EXISTING UNDERGROUND ELECTRIC
  - EXISTING OVERHEAD WIRES
  - EXISTING UTILITY STRUCTURES

- PROPOSED LEGEND**
- PROPOSED BUILDING
  - PROPOSED DOOR
  - PROPOSED CONCRETE PAVEMENT
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED LANDSCAPED AREA
  - PROPOSED UNIT PAVERS
  - PROPOSED POROUS PLAYGROUND SAFETY SURFACE (DIC)
  - PROPOSED SYNTHETIC TURF FIELD
  - PROPOSED CURB
  - PROPOSED DEPRESSED CURB
  - PROPOSED WALL
  - PROPOSED STOP BAR/PAVEMENT MARKING
  - PROPOSED FENCE
  - PROPOSED SIGN
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED STORM INLET
  - PROPOSED STORM MANHOLE
  - PROPOSED STORM CLEANOUT
  - PROPOSED STORM SEWER
  - PROPOSED SANITARY SEWER
  - PROPOSED WATER LINE
  - PROPOSED FIRE LINE
  - PROPOSED NATURAL GAS LINE
  - PROPOSED CABLE/TELEPHONE LINE
  - PROPOSED ELECTRIC LINE

**REVISIONS**

ISSUE	DATE	DESCRIPTION



REVIEWED BY:  
PROJECT COORDINATOR:  
REALS:



**KELLY MAIELLO ARCHITECTS**  
1420 Walnut Street, 15th Floor  
Philadelphia, PA 19102  
www.kmarchitects.com

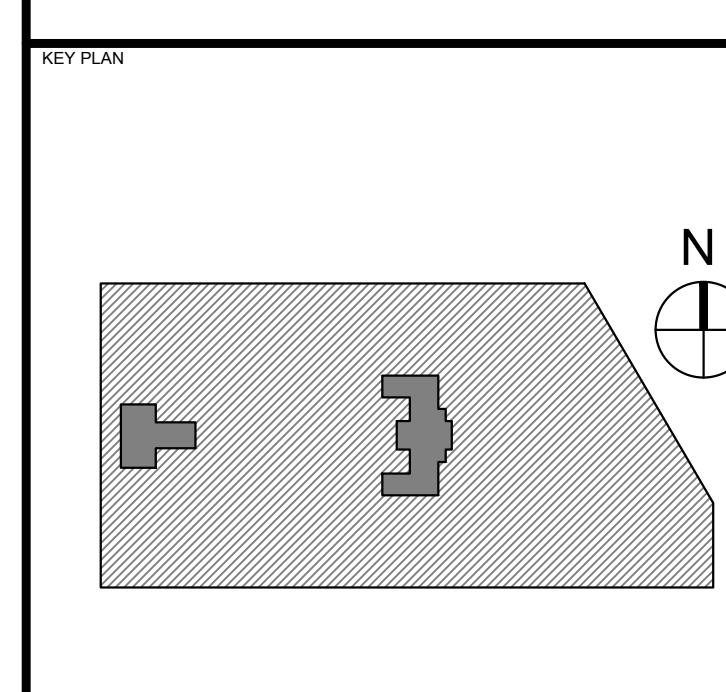
**LANDSCAPE ARCHITECT:**  
Salt Design Studio  
4100 Main Street Suite 200  
Philadelphia PA 19127  
www.saltdesignstudio.com

**M.E.P./F.P./SITE CIVIL ENGINEERS:**  
Pennoni Associates  
1900 Market Street Suite 300  
Philadelphia PA 19103  
www.pennoni.com

**LEED CONSULTANT:**  
Verde Architecture Consulting  
1635 Market Street Suite 1600  
Philadelphia PA 19103

**CITY OF PHILADELPHIA**  
DEPARTMENT OF PUBLIC PROPERTY  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE:  
**KINGSESSING RECREATION CENTER**



DRAWING TITLE:  
**UTILITY PLAN DETAIL - NORTH**

PROJECT NO. KLMLX21003	DRAWING NO. <b>C-172-R</b>
DATE 10/14/22	SCALE 1" = 20'
DRAWN BY SDL	CHECKED BY MJM



**CALL BEFORE YOU DIG**  
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA  
CALL 1-800-242-1776  
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS  
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BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.  
SERIAL NUMBER(S): 20212583952

PWD TRACKING #FY22-KING-6800-01

UTILITY PLAN DETAIL - NORTH  
SCALE: 1"=20'-0"

**KINGSESSING AVE.**  
(80' WIDE ROW) (18'-44'-18")  
ASPHALT PAVEMENT PARKING

