

**ADDRESS: 3401 HAMILTON ST**

Proposal: Construct mixed-use building

Review Requested: Final Approval

Owner: 3401 Hamilton LLC

Applicant: Derek Spencer, Gnome Architects LLC

History: Non-historic commercial structure and parking lot

Individual Designation: None

District Designation: Powelton Village Historic District, Non-contributing, 11/10/2022

Staff Contact: Kim Chantry, [kim.chantry@phila.gov](mailto:kim.chantry@phila.gov)

**BACKGROUND:** This application proposes to construct a four-story mixed-use masonry building on a non-contributing property at the corner of N. 34<sup>th</sup> and Hamilton Streets in the newly designated Powelton Village Historic District. The Historical Commission enjoys plenary jurisdiction over this proposal owing to the one-story, non-contributing building, which was on the site at the time of the designation of the historic district. The surrounding context is primarily three-story brick and stone twins and rows with set back from the streets with front yards.

The proposed building lacks any setback from the sidewalk. The fenestration and overall flatness of the facades lacks the rhythm typical of the surrounding residential context.

**SCOPE OF WORK:**

- Construct four-story mixed-use building with pilot houses and deck.

**STANDARDS FOR REVIEW:**

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
  - The proposed construction is in keeping with the general materials and height of the district, but not the setbacks, size, scale, proportion, fenestration, or features of the district, failing to satisfy Standard 9.

**STAFF RECOMMENDATION:** Denial, pursuant to Standard 9.



11.15.2022

Gnome Architects LLC.  
1901 S. 9th Street, RM. 310  
Philadelphia, PA 19148  
gabe@gnomearch.com  
215 279 7531

City of Philadelphia  
Historical Commission  
1515 Arch St.  
13th Floor

RE: 3401 Hamilton St.  
Philadelphia, PA 19104  
Application for Formal Review  
Owner: 3401 Hamilton LLC

To Members of Philadelphia Historical Commission,

Please see the attached application for formal review of a proposed 4 story structure, containing 15 dwelling units and 1 vacant commercial space. Included in the presentation documents are photos, zoning & architectural plans, and elevations/renderings.

Please do not hesitate to contact me should you have any questions.

Best Regards,  
Gabriel Deck RA, LEED AP  
Principal Architect





(1) VIEW ON 34TH ST



(2) VIEW WEST ON HAMILTON ST



(3) VIEW ON HAMILTON ST



(4) VIEW SOUTH ON 34TH ST





(1) 412 N. 34TH ST



(2) 424 N. 34TH ST



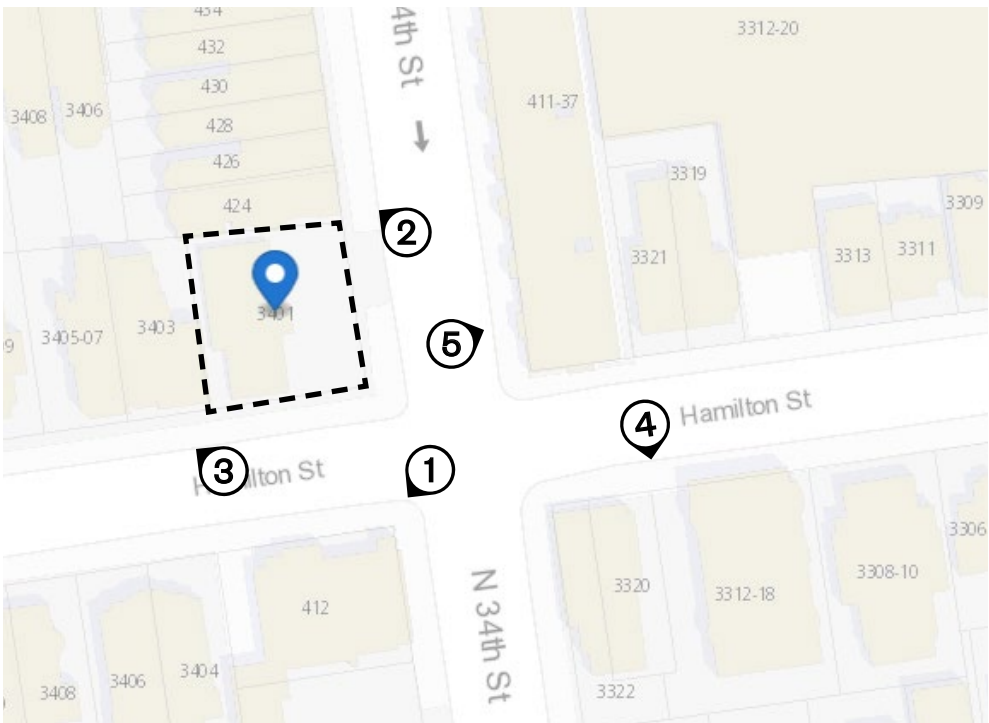
(3) 3403 HAMILTON ST



(4) 3312-18 HAMILTON ST



(5) 411-37 N. 34TH ST





PROJECT ADDRESS

3401 HAMILTON ST.  
PHILADELPHIA PA, 19104

ZONING CLASSIFICATION

CMX-2

SCOPE OF WORK

PROPOSED NEW FOUR STORY (PLUS CELLAR) STRUCTURE WITH A COMMON ROOF DECK ACCESSED BY (2) PILOT HOUSE STRUCTURES. PROPOSED USE INCLUDES VACANT COMMERCIAL USE AT THE FIRST FLOOR AND (15) RESIDENTIAL DWELLING UNITS AND MINIMUM 5 CLASS 1A BICYCLE PARKING SPACES.

PROPOSED LOW INCOME BONUSES HAVE BEEN APPLIED AS PER ZONING TABLE.

[SIZE AND LOCATION AS PER PLANS]

SITE VICINITY MAP- NTS

ZONING DATA

CMX-2 ZONING	REQ'D/ALLOWED	ALLOWED W/ BONUSES	PROPOSED
LOT AREA	N/A		5255.53 SF
USE	COMMERCIAL + 10-UNIT DWELLING	COMMERCIAL + 15-UNIT DWELLING †	COMMERCIAL + 15-UNIT DWELLING
COVERAGE	80% MAX (CORNER)	80% MAX	4197.86 SF (79.9%)
OPEN AREA	20% MIN	20% MIN	1057.67 SF (20.1%)
FRONT YARD	NOT REQ'D	NOT REQ'D	NONE
SIDE YARD	5'-0" IF USED	5'-0" IF USED	NONE
REAR YARD	THE GREATER OF 9FT OR 10% OF LOT DEPTH	THE GREATER OF 9FT OR 10% OF LOT DEPTH	10'-8"
HEIGHT	38'-0" A.G. MAX	45'-0" A.G. MAX ††	NTE 45'-0"

PROPOSED BUILDING INFORMATION

STREET ENCROACHMENTS	1'-0" ARCH. EMBELLISHMENT (7) 3'-0" EGRESS WELL (3) 3'-0" AWNINGS
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PROPOSED BONUS INFORMATION

TYPE OF BONUS	BONUS EARNED	BONUS USED
† LOW INCOME	50% UNIT DENSITY INCREASE [ 5 UNITS ]	5 ADDITIONAL UNITS
†† LOW INCOME	7'-0" HEIGHT INCREASE	7'-0" HEIGHT

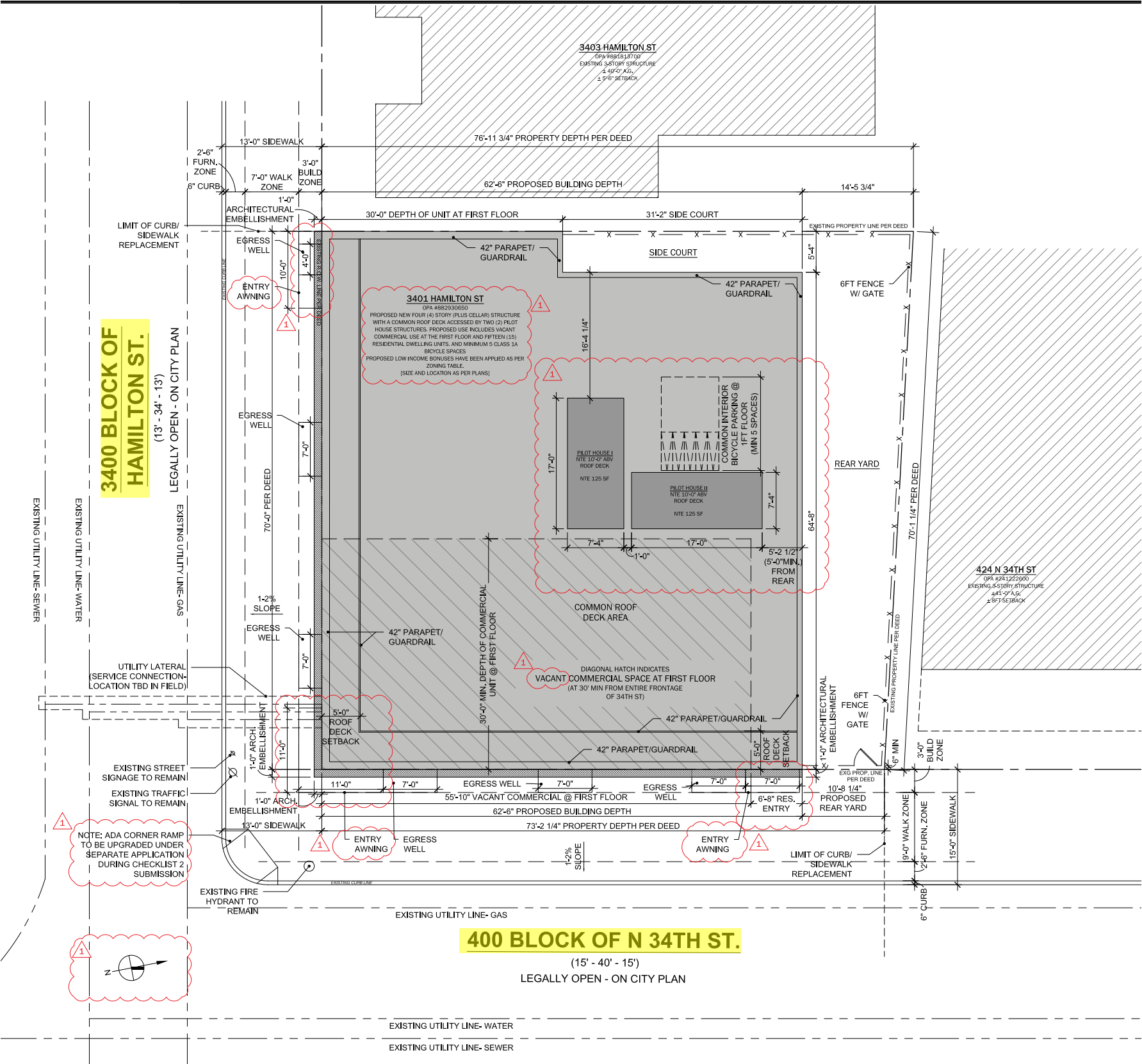
\*\* INTEND TO MAKE PAYMENT TO CITY IN LIEU OF PROVIDING AFFORDABLE HOUSING; ESTIMATED PAYMENT \$265,000 (15 UNITS x \$17,700)

OPEN AREA DIAGRAM

LOT AREA  
5,255.53 SF

COVERAGE  
4,197.86 SF (79.88%)

OPEN AREA  
1,057.67 SF (20.12%)



APPROVED ZONING PLAN  
SCALE: 1/16" = 1'-0"

ZONING PLAN



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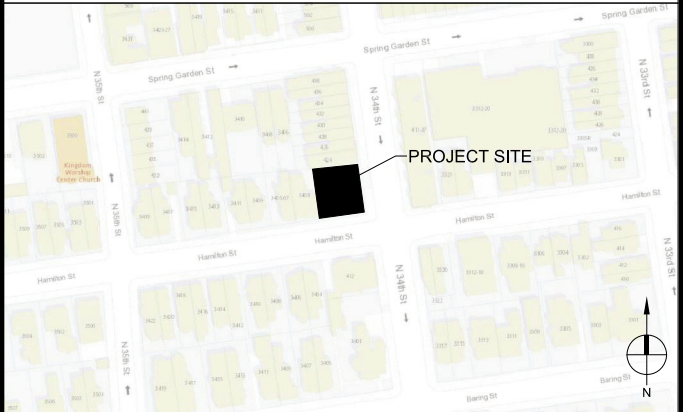
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		(7) 3'-0" EGRESS WELL
		(3) 3'-0" AWNINGS

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OPEN AREA DIAGRAM

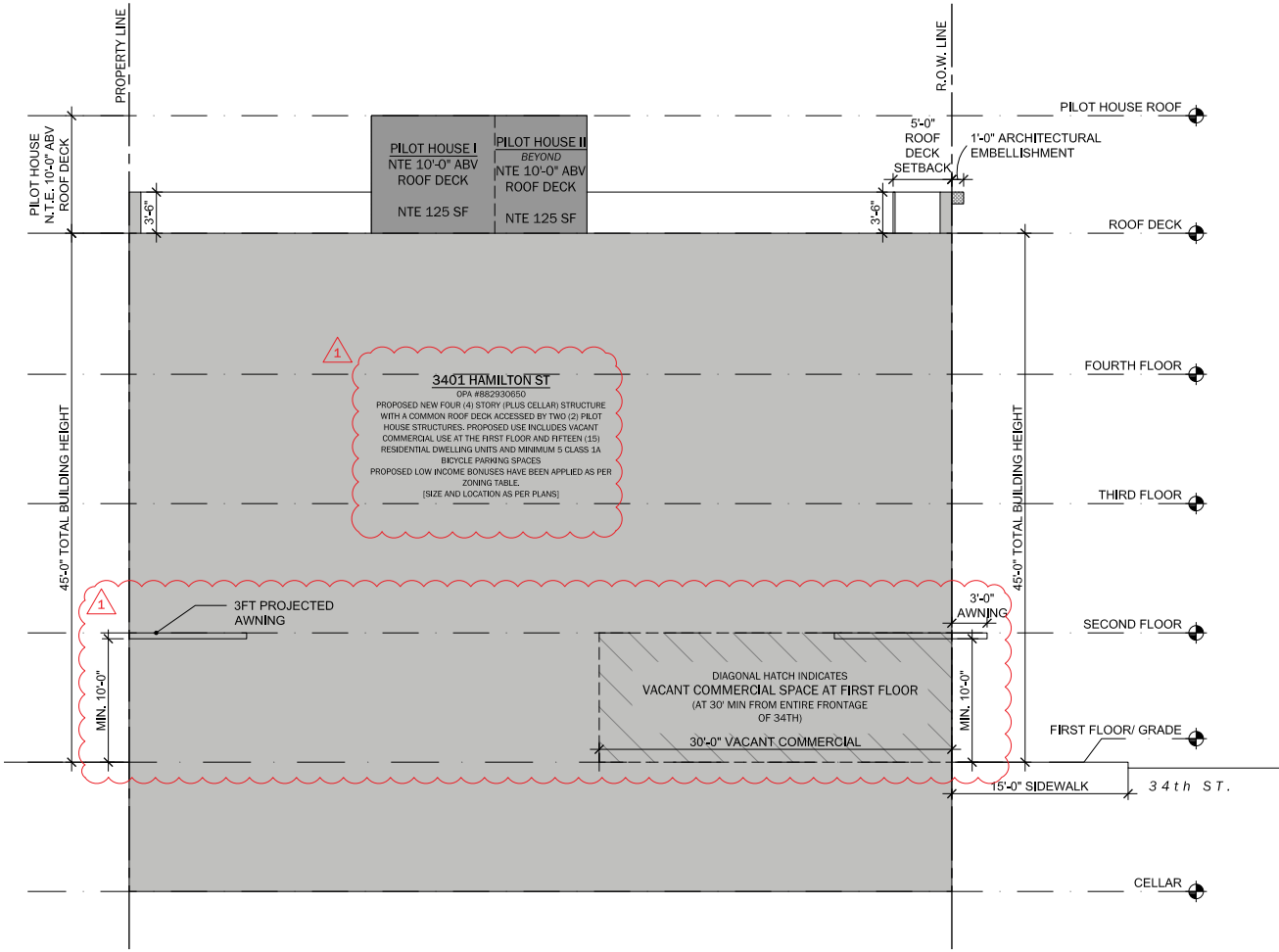
LOT AREA  
5,255.53 SF

COVERAGE  
4,197.86 SF (79.88%)

OPEN AREA  
1,057.67 SF (20.12%)

BUILDING FOOTPRINT  
4,197.86 SF

REAR YARD  
1,057.67 SF



APPROVED ZONING SECTION  
SCALE: 1/16" = 1'-0"

## ZONING SECTION

3401 HAMILTON ST | PHC | PAGE 5





















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REVISIONS

REV#	DATE	DESCRIPTION

PROJECT ISSUE

BID SET	ISSUE DATE
	2022.11.02

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ISSUE DATE: 11.08.2022

CHECKED BY: BM

DRAWN BY: CR

PROJECT NUMBER: 0259

DRAWING TITLE  
EXTERIOR ELEVATIONS

DRAWING NO.

A2.0



1 HAMILTON STREET ELEVATION  
1/4" = 1'-0"

2 HAMILTON BRICK DETAIL DIAGRAM  
3/32" = 1'-0"

BRICK HATCH LEGEND

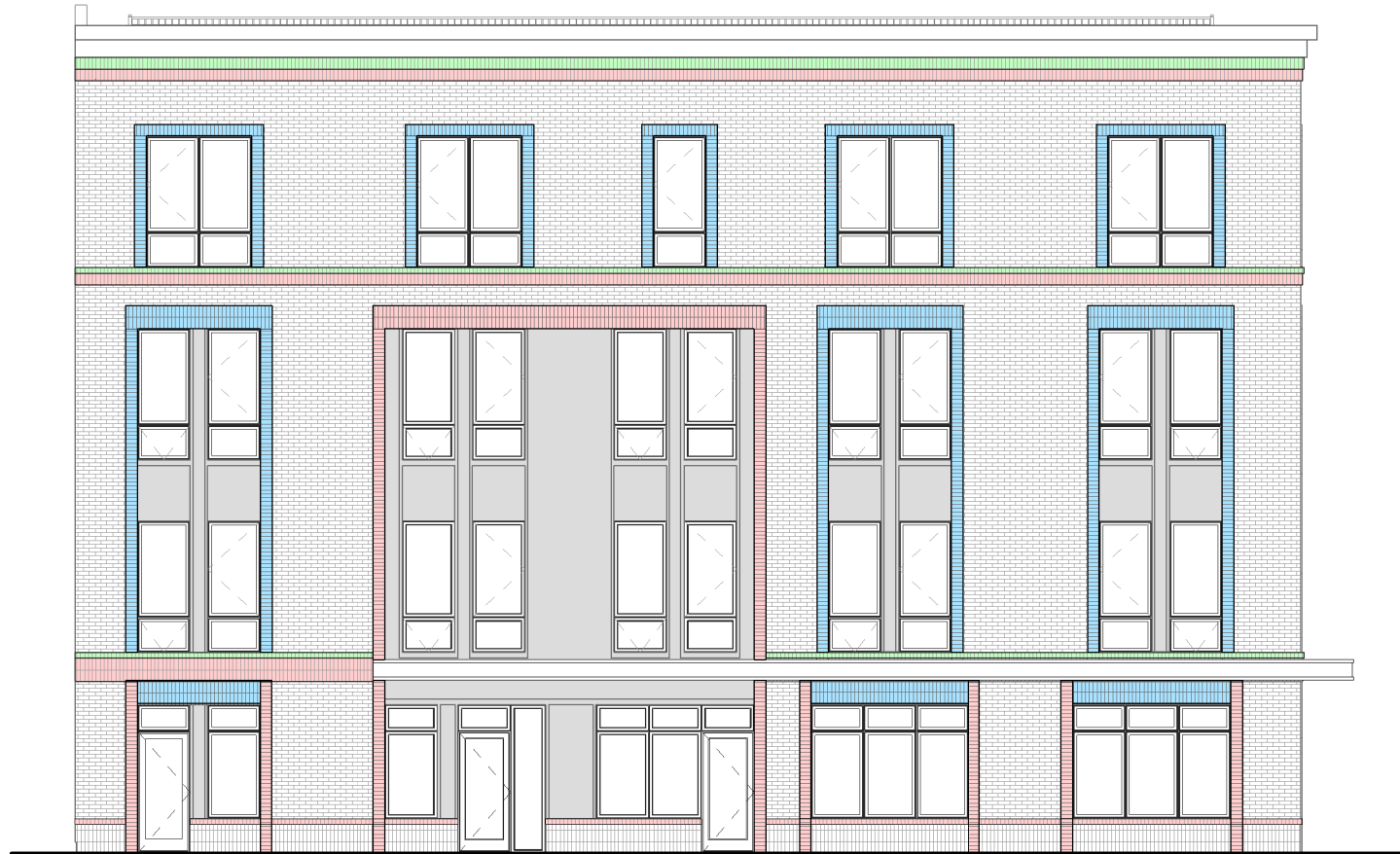
	*1" RECESS FROM FACADE DATUM
	*1" PROJECTION FROM FACADE DATUM
	*2" PROJECTION FROM FACADE DATUM

EXTERIOR ELEVATION KEYNOTES

MARK	MATERIAL	MANUFACTURER	DESCRIPTION
1	FULL WYTHE BRICK VENEER	GLEN GERY	WINGATE BRICK w/ G601 MORTAR. EXPANSION JOINTS TO MATCH MORTAR
2A	ROW LOCK BRICK SILL	GLEN GERY	WINGATE BRICK w/ G601 MORTAR
2B	ROW LOCK BRICK SILL	GLEN GERY	ROMERO, BLACK BRICK w/ G602 MORTAR
3A	8" BRICK SOLDIER COURSE	GLEN GERY	WINGATE BRICK w/ G601 MORTAR
3B	DBL BRICK SOLDIER COURSE	GLEN GERY	WINGATE BRICK w/ G601 MORTAR
3C	8" BRICK FRAME	GLEN GERY	WINGATE BRICK w/ G601 MORTAR
4	BRICK CORBEL	GLEN GERY	WINGATE BRICK w/ G601 MORTAR (SEE SECTION FOR DETAILS)
5A	BRICK VERTICAL STACKBOND	GLEN GERY	WINGATE BRICK w/ G601 MORTAR. EXPANSION JOINTS TO MATCH MORTAR
5B	BRICK VERTICAL STACKBOND	GLEN GERY	ROMERO, BLACK BRICK w/ G602 MORTAR. EXPANSION JOINTS TO MATCH MORTAR
6A	METAL PANEL	ATAS	BLACK: ONE PIECE TIGHT FIT MOLDING w/ REVEAL. PROVIDE MATCHING CAULK AS REQ.
6B	METAL TRIM	TBD	2" BLACK TRIM
6C	METAL TRIM	TBD	4" BLACK TRIM
7	ALUM. WRAPPED CORNICE	---	ALUMINUM WRAPPED STRUCTURE - SEE DETAILS
8	MTL WRAPPED AWNING	NA	SEE DETAILS
9	FIBERGLASS COPING	---	FIBERGLASS COPING
10	FIBER CEMENT LAF SIDING	JAMES HARDIE	SMOOTH LAF. IRON ORE
11	BLACK	NA	ALUM. SCUPPER, OVERFLOW, AND DOWNPOUT

95% PROGRESS SET - 11.08.2022





2 34TH ST BRICK DETAIL DIAGRAM  
3/32" = 1'-0"

BRICK HATCH LEGEND	
	*1" RECESS FROM FACADE DATUM
	*1" PROJECTION FROM FACADE DATUM
	*2" PROJECTION FROM FACADE DATUM



1 34TH STREET ELEVATION  
1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES			
MARK	MATERIAL	MANUFACTURER	DESCRIPTION
1	PULL WYTHE BRICK VENEER	GLEN GERY	WINGATE BRICK w/ G601 MORTAR. EXPANSION JOINTS TO MATCH MORTAR
2A	ROW LOCK BRICK SILL	GLEN GERY	WINGATE BRICK w/ G601 MORTAR
2B	ROW LOCK BRICK SILL	GLEN GERY	ROMERO, BLACK BRICK w/ G602 MORTAR
3A	8" BRICK SOLDIER COURSE	GLEN GERY	WINGATE BRICK w/ G601 MORTAR
3B	DBL BRICK SOLDIER COURSE	GLEN GERY	WINGATE BRICK w/ G601 MORTAR
3C	8" BRICK FRAME	GLEN GERY	WINGATE BRICK w/ G601 MORTAR (SEE SECTION FOR DETAILS)
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8	MTL WRAPPED AWNING	NA	SEE DETAILS
9	FIBERGLASS COPING	—	FIBERGLASS COPING
10	FIBER CEMENT LAP SIDING	JAMES HARDIE	SMOOTH LAP. IRON CRE.
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DRAWING NO.

A2.1





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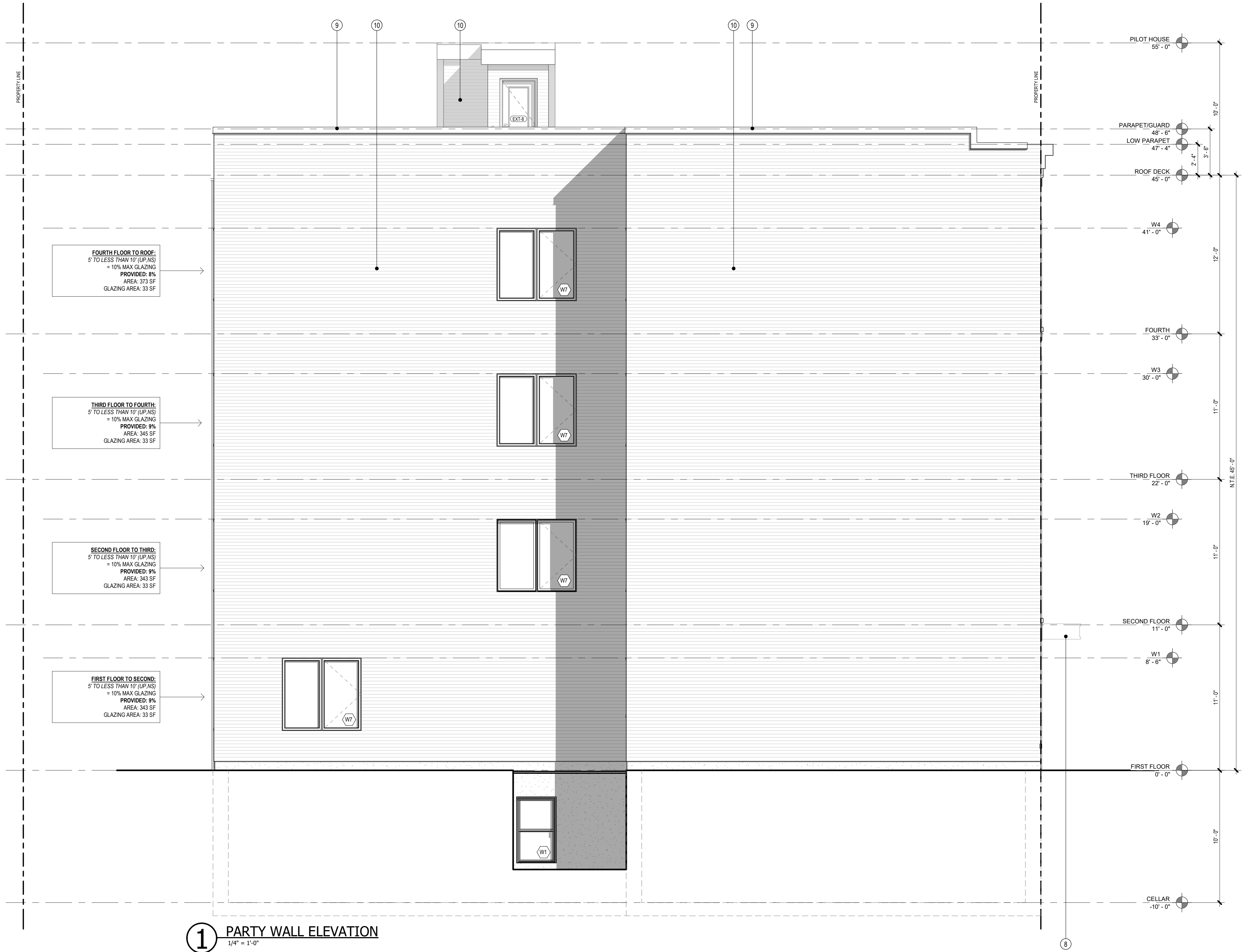
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EXTERIOR ELEVATIONS

DRAWING NO.

A2.2



1 PARTY WALL ELEVATION  
1/4\" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

MARK	MATERIAL	MANUFACTURER	DESCRIPTION
1	FULL WYTHE BRICK VENEER	GLEN GERY	WINGATE BRICK w/ G601 MORTAR. EXPANSION JOINTS TO MATCH MORTAR
2A	ROW LOCK BRICK SILL	GLEN GERY	WINGATE BRICK w/ G601 MORTAR
2B	ROW LOCK BRICK SILL	GLEN GERY	ROMERO, BLACK BRICK w/ G602 MORTAR
3A	8\" BRICK SOLDIER COURSE	GLEN GERY	WINGATE BRICK w/ G601 MORTAR
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6B	METAL TRIM	TBD	2\" BLACK TRIM
6C	METAL TRIM	TBD	4\" BLACK TRIM
7	ALUM. WRAPPED CORNICE	TBD	ALUMINUM WRAPPED STRUCTURE - SEE DETAILS
8	MTL WRAPPED AWNING	NA	SEE DETAILS
9	FIBERGLASS COPING	---	FIBERGLASS COPING
10	FIBER CEMENT LAF SIDING	JAMES HARDIE	SMOOTH LAF. IRON ORE
11	BLACK	NA	ALUM. SCUPPER, OVERFLOW, AND DOWNPOUT

95% PROGRESS SET - 11.08.2022





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EXTERIOR ELEVATIONS

DRAWING NO.

A2.3



1 REAR YARD ELEVATION  
1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

MARK	MATERIAL	MANUFACTURER	DESCRIPTION
1	FULL WHITE BRICK VENEER	GLEN GERY	WINGATE BRICK w/ G601 MORTAR. EXPANSION JOINTS TO MATCH MORTAR
2A	ROW LOCK BRICK SILL	GLEN GERY	WINGATE BRICK w/ G601 MORTAR
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3A	8" BRICK SOLDIER COURSE	GLEN GERY	WINGATE BRICK w/ G601 MORTAR
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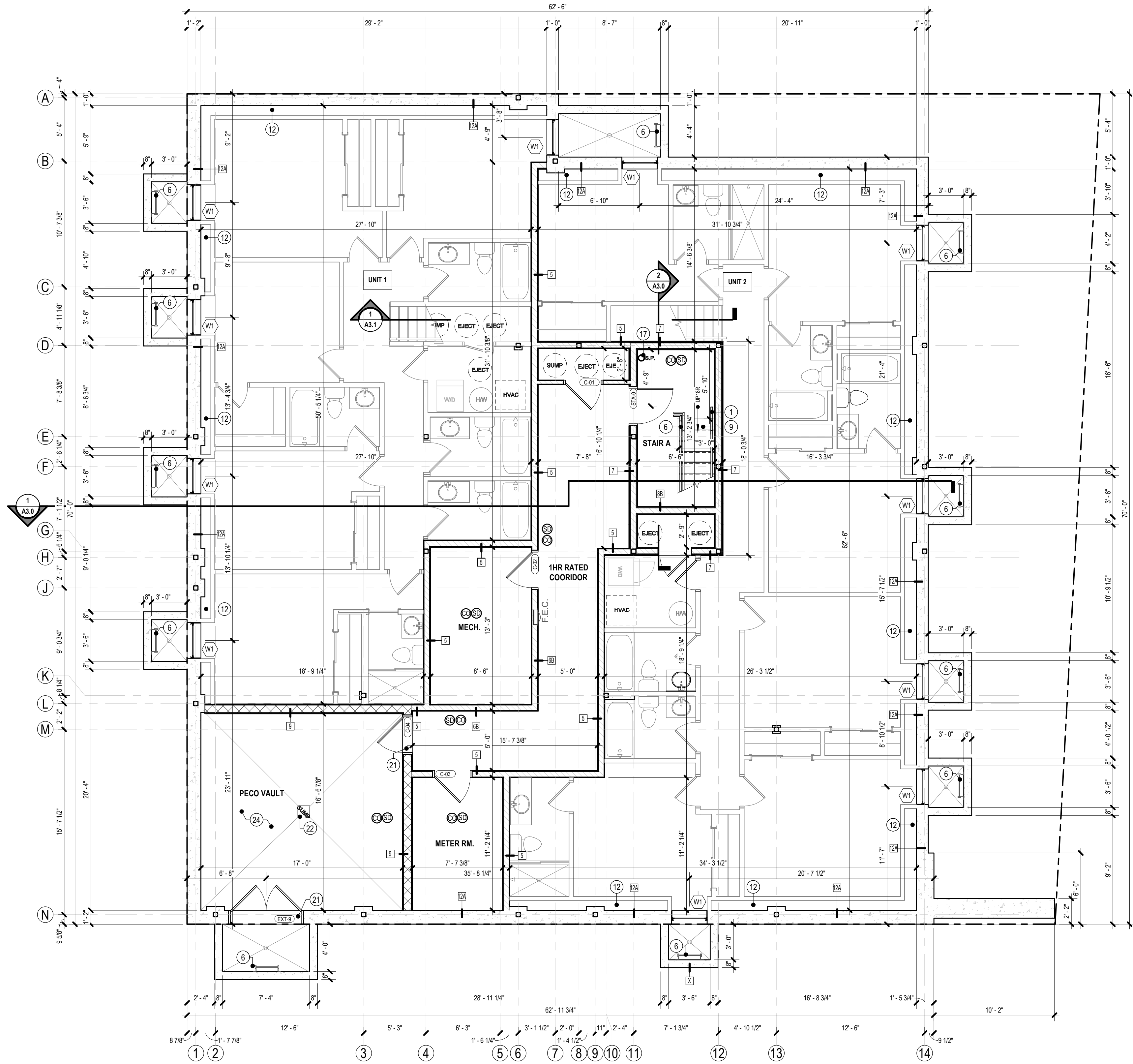
- GENERAL PLAN NOTES**
- REFER TO STRUCTURAL DRAWINGS FOR BRACED WALL PANEL DETAIL INFORMATION.
  - ALL NEW PARTITIONS ARE DIMENSIONED TO FACE OF WALL FINISH. NOTIFY ARCHITECT OF ANY FRAMING DISCREPANCIES BETWEEN STRUCTURAL AND ARCHITECTURAL PLANS.
  - UNTAGGED WALLS ARE TYP. 2x4 NON RATED INTERIOR WALLS. REFER TO PARTITION TYPES FOR ADDITIONAL INFORMATION.
  - REFER TO OVERALL PLANS AND ELEVATIONS FOR WINDOWS. UNIT WINDOW LOCATIONS MAY VARY ACROSS FLOORS.

- PLAN SYMBOL LEGEND**
- WINDOW TAG
- PARTITION TAG
- SMOKE DETECTOR  
ALL UNITS SHALL BE HARD WIRED BATTERY BACKUP AND INTERCONNECTED. SMOKE DETECTORS TO BE INSTALLED IN EACH BEDROOM, HALL AREA, AND IN THE IMMEDIATE VICINITY OF BEDROOMS AND ON EACH FLOOR OF THE DWELLING.
- CARBON MONOXIDE DETECTOR  
REQUIRED WITHIN 15 FEET OF THE ENTRANCE TO EVERY BEDROOM OR WITHIN 15 FEET OF A BED IN SLEEPING AREAS WHERE THERE IS NO ENCLOSED BEDROOM. IT SHALL BE CENTRALLY LOCATED ON A WALL OR THE CEILING BUT NOT DIRECTLY IN FRONT OF A DOOR TO A BATHROOM OR WITHIN 5 FEET OF A COOKING APPLIANCE.
- EXHAUST FAN  
MIN. C.F.M. PER APPLICABLE CODE

- KEYED PLAN NOTES**
- 1 PROVIDE 36" CONTINUOUS HANDRAIL ON BOTH SIDES OF STEPS. HANDRAIL SHALL EXTEND/WRAP 1" PAST LAST RISER PER 1014.6 OF THE I.B.C.
- 2 PROVIDE 36" CONTINUOUS HANDRAIL AT ALL STEPS
- 3 PROVIDE 42" PARAPET (GAURDRAIL (TYP.) FROM HIGHEST POINT OF ROOF SURFACE, INCLUDING ALL RIDGES & CRICKETS
- 4 FIBERGLASS ROOF MEMBRANE SYSTEM w/CLASS B (MIN) ROOF COVERING OVER ROOF STRUCTURE AS PER DETAILS
- 5 PROVIDE F.R.T. PLYWOOD 4'-0" MIN. OFF PROPERTY LINE
- 6 42" GAURDRAIL - REFER TO GENERAL NOTES FOR GAURDRAIL REQUIREMENTS
- 7 PROVIDE 1:48 SLOPED CRICKET- VALLEY TO HAVE 1:96 MIN SLOPE (TYP.)
- 8 MIN. TREAD DEPTH 9" MAX. RISER HIGHT 8" V.I.F. RISER COUNT AS REQ'D
- 9 MIN. TREAD DEPTH 11" MAX. RISER HIGHT 7" V.I.F. RISER COUNT AS REQ'D
- 10 EGRESS WELL W/ WALKABLE FLUSH GRATE AS PER DETAIL
- 11 PROVIDE HARD DUCTED DRYER EXHAUST SYSTEM IN ACCORDANCE WITH IMC 2018 REQUIREMENTS
- 12 M.E.P. CHASE WALL SIZE & LOCATIONS TO BE COORDINATED W/ M.E.P. DRAWING REQUIREMENTS
- 13 EMERGENCY ESCAPE LADDER PER IBC 1029.5.2 (SEE EGRESS WELL DETAIL)
- 14 INTERNAL ROOF DRAIN- PROVIDE OVERFLOW IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS
- 15 THROUGH-WALL SCUPPER & DOWNSPOUT- PROVIDE OVERFLOW IN ACCORDANCE W/ LOCAL REQUIREMENTS
- 16 PROVIDE SWING GATE IN ACCORDANCE WITH IBC SECTION 1023.8
- 17 PROVIDE STANDPIPE IN ACCORDANCE IBC SECTION 905.3.1
- 18 ACCESSIBLE PRIMARY ENTRANCE- PROVIDE MAX 1/2" THRESHOLD IN ACCORDANCE W/ ICC A117.1-2021, SECTION 1004.1.1
- 19 SLOPED METAL WRAPPED AWNING
- 20 ENTRY FOB & INTERCOM
- 21 4" MIN. DOOR CURBS PER PECO REQUIREMENTS
- 22 12X12 SUMP PUMP w/ STL. GRATE PER PECO REQUIREMENTS
- 23 HVAC ON RAISED PLATFORM w/ HOT WATER BELOW
- 24 SLOPE FLOOR TO DRAIN
- 25 LOW PARAPET - SEE DETAILS
- 26 ADA COMMERCIAL BATHROOM PER 2017 ANSI STANDARDS - SEE DETAILS FOR REFERENCE.
- 27 CONDENSER LOCATION, COORD. W/ HVAC REQ. UNDER SEPERATE PERMIT. PROVIDE PAD, DRAINAGE & FALL PROTECTION AS REQ'D.
- 28 PREFAB METAL GRATE STAIR OVER FIBERGLASS DECK. MIN. TREAD DEPTH 11" MAX. RISER HIGHT 7" V.I.F. RISER COUNT AS REQ'D

BUILDING DOOR SCHEDULE						
Mark	DOOR		HEIGHT	RATING	DOOR HARDWARE SET	COMMENTS
	FIRST LEAF	SECOND LEAF				
C-01	3'-0"		6'-8"		SET #9	
C-02	3'-0"		7'-0"	1/3HR	SET #7	
C-03	3'-0"		7'-0"	1/3HR	SET #7	
C-04	3'-0"		7'-0"	3HR	SET #7	
C-05	3'-0"		7'-0"	1/3HR	SET #5	
C-06	3'-0"		7'-0"	1/3HR	SET #5	
C-07	3'-0"		6'-8"		SET #10	
EXT-1	3'-0"		7'-0"		SET #2	
EXT-2	3'-0"		7'-0"		SET #1	
EXT-3	3'-0"	3'-0"	6'-6"		SET #3	
EXT-4	3'-0"		6'-6"		SET #1	
EXT-5	3'-0"		6'-6"		SET #1	
EXT-6	3'-0"		6'-6"		SET #2	
EXT-7	2'-6"		7'-0"		SET #8	
EXT-8	2'-6"		7'-0"		SET #8	
EXT-9	3'-0"	3'-0"	7'-0"		SET #6	
STA-0	3'-0"		7'-0"	90 MIN	SET #5	
STA-1	3'-0"		7'-0"	90 MIN	SET #5	
STA-2	3'-0"		7'-0"	90 MIN	SET #5	
STA-3	3'-0"		7'-0"	90 MIN	SET #5	
STA-4	3'-0"		7'-0"	90 MIN	SET #5	
STB-2	3'-0"		7'-0"	90 MIN	SET #5	
STB-3	3'-0"		7'-0"	90 MIN	SET #5	
STB-4	3'-0"		7'-0"	90 MIN	SET #5	
U-01	3'-0"		7'-0"	1/3HR	SET #4	
U-03	3'-0"		7'-0"	1/3HR	SET #4	
U-04	3'-0"		7'-0"	1/3HR	SET #4	
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U-10	3'-0"		7'-0"	1/3HR	SET #4	
U-11	3'-0"		7'-0"	1/3HR	SET #4	
U-12	3'-0"		7'-0"	1/3HR	SET #4	
U-13	3'-0"		7'-0"	1/3HR	SET #4	
U-14	3'-0"		7'-0"	1/3HR	SET #4	
U-15	3'-0"		7'-0"	1/3HR	SET #4	

PARTITION TYPE REFERENCE		
WALL TYPE 1 -EXTERIOR BRICK WALL -1HR INTERIOR RATING ONLY	WALL TYPE 6A/6B -INTERIOR STUD WALL -1HR RATING	WALL TYPE 11A/11B -INTERIOR STUD WALL -NON RATED
WALL TYPE 2 -EXTERIOR LAP SIDING WALL -1HR INTERIOR RATING ONLY	WALL TYPE 7 -INTERIOR STUD WALL -2 HR RATING	WALL TYPE 12A/12B -EXTERIOR SUBGRADE WALL -NON RATED
WALL TYPE 3 -EXTERIOR LAP SIDING WALL -1HR RATED (BOTH SIDES)	WALL TYPE 8A/8B -INTERIOR STUD WALL -2 HR RATING	WALL TYPE 13 -INTERIOR STUD WALL -1 HR RATING
WALL TYPE 4 -EXTERIOR METAL PANEL WALL -1HR INTERIOR RATING ONLY	WALL TYPE 9 -INTERIOR CMU WALL -3 HR RATING	WALL TYPE 14 -EXTERIOR LAP SIDING WALL -2 HR RATING
WALL TYPE 5 -INTERIOR STUD WALL -1HR RATING	WALL TYPE 10 -EXTERIOR BRICK PRIVACY WALL	



**1 CELLAR FLOOR PLAN**  
3/16" = 1'-0"



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**STRUCTURAL ENGINEER**

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3401 HAMILTON LLC

NEW CONSTRUCTION:  
**HAMILTON MULTIPLEX**  
3401 HAMILTON AVE.  
PHILADELPHIA PA, 19104

REVISIONS		
REV#	DATE	DESCRIPTION

PROJECT ISSUE		ISSUE DATE
BID SET		2022.11.02

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ISSUE DATE:	11.08.2022
CHECKED BY:	BM
DRAWN BY:	CR
PROJECT NUMBER:	0259

DRAWING TITLE  
CELLAR FLOOR PLAN

DRAWING NO.

**A1.0**

95% PROGRESS SET - 11.08.2022



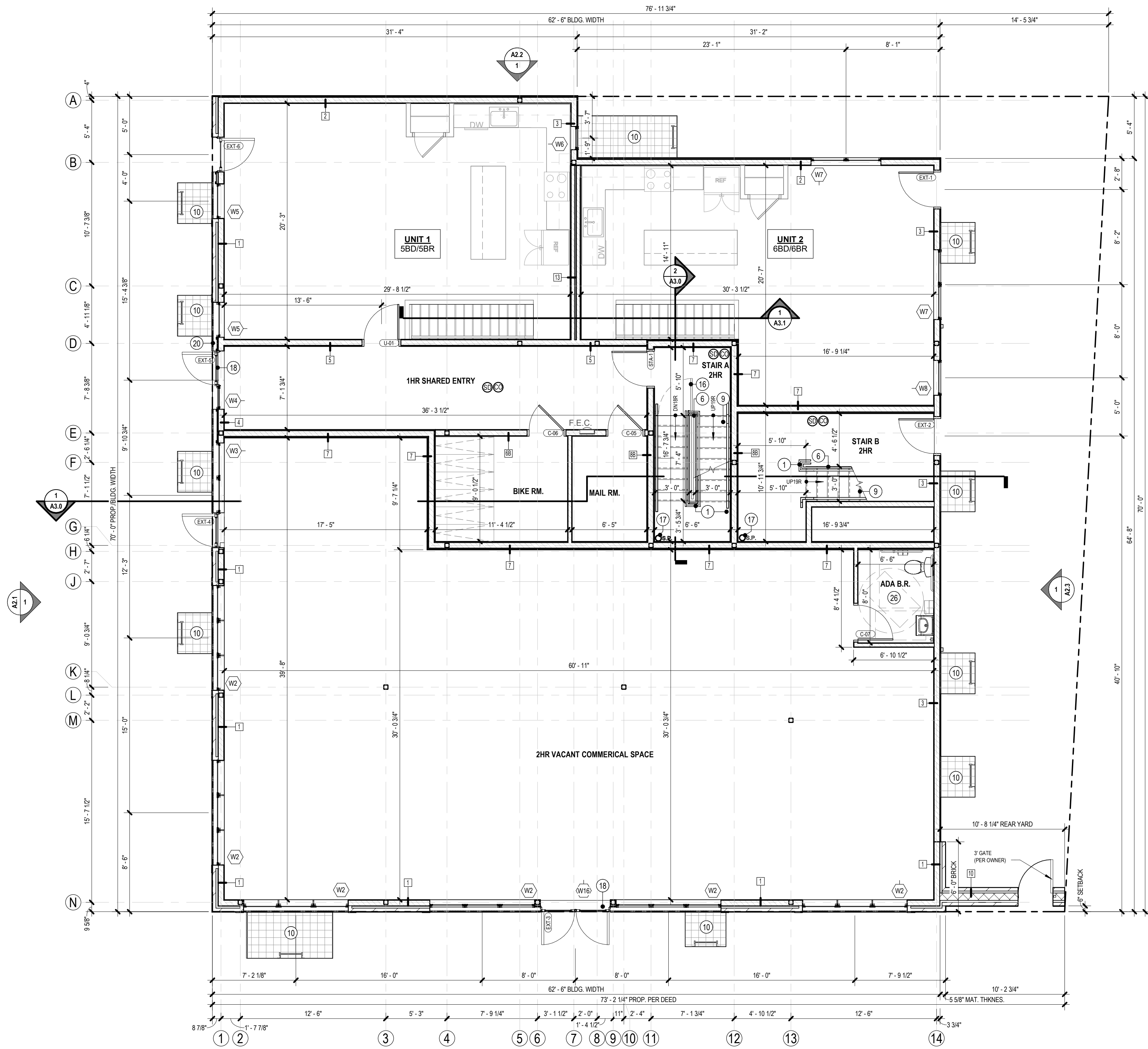
- GENERAL PLAN NOTES**
- REFER TO STRUCTURAL DRAWINGS FOR BRACED WALL PANEL DETAIL INFORMATION.
  - ALL NEW PARTITIONS ARE DIMENSIONED TO FACE OF WALL FINISH. NOTIFY ARCHITECT OF ANY FRAMING DISCREPANCIES BETWEEN STRUCTURAL AND ARCHITECTURAL PLANS.
  - UNTAGGED WALLS ARE TYP. 2x4 NON RATED INTERIOR WALLS. REFER TO PARTITION TYPES FOR ADDITIONAL INFORMATION.
  - REFER TO OVERALL PLANS AND ELEVATIONS FOR WINDOWS. UNIT WINDOW LOCATIONS MAY VARY ACROSS FLOORS.

- PLAN SYMBOL LEGEND**
- WINDOW TAG**
- PARTITION TAG**
- SMOKE DETECTOR**  
ALL UNITS SHALL BE HARD WIRED W/BATTERY BACKUP AND INTERCONNECTED. SMOKE DETECTORS TO BE INSTALLED IN EACH BEDROOM, HALL AREA, AND IN THE IMMEDIATE VICINITY OF BEDROOMS AND ON EACH FLOOR OF THE DWELLING.
- CARBON MONOXIDE DETECTOR**  
REQUIRED WITHIN 15 FEET OF THE ENTRANCE TO EVERY BEDROOM OR WITHIN 15 FEET OF A BED IN SLEEPING AREAS WHERE THERE IS NO ENCLOSED BEDROOM. IT SHALL BE CENTRALLY LOCATED OR ON A WALL OR THE CEILING BUT NOT DIRECTLY IN FRONT OF A DOOR TO A BATHROOM OR WITHIN 5 FEET OF A COOKING APPLIANCE.
- EXHAUST FAN**  
MIN. C.F.M. PER APPLICABLE CODE

- KEYED PLAN NOTES**
1. PROVIDE 36" CONTINUOUS HANDRAIL ON BOTH SIDES OF STEPS. HANDRAIL SHALL EXTEND/WRAP 1" PAST LAST RISER PER 1014.6 OF THE I.B.C.
2. PROVIDE 36" CONTINUOUS HANDRAIL AT ALL STEPS
3. PROVIDE 42" PARAPET (GAUDDRAIL (TYP.) FROM HIGHEST POINT OF ROOF SURFACE, INCLUDING ALL RIDGES & CRICKETS
4. FIBERGLASS ROOF MEMBRANE SYSTEM w/CLASS B (MIN) ROOF COVERING OVER ROOF STRUCTURE AS PER DETAILS
5. PROVIDE F.R.T. PLYWOOD 4'-0" MIN. OFF PROPERTY LINE
6. 42" GAUDDRAIL - REFER TO GENERAL NOTES FOR GAUDDRAIL REQUIREMENTS
7. PROVIDE 1:48 SLOPED CRICKET - VALLEY TO HAVE 1:96 MIN SLOPE (TYP.)
8. MIN. TREAD DEPTH 9" MAX. RISER HIGHT 8" V.I.F. RISER COUNT AS REQ'D
9. MIN. TREAD DEPTH 11" MAX. RISER HIGHT 7" V.I.F. RISER COUNT AS REQ'D
10. EGRESS WELL W/ WALKABLE FLUSH GRATE AS PER DETAIL
11. PROVIDE HARD DUCTED DRYER EXHAUST SYSTEM IN ACCORDANCE WITH IMC 2018 REQUIREMENTS
12. M.E.P. CHASE WALL SIZE & LOCATIONS TO BE COORDINATED w/ M.E.P. DRAWING REQUIREMENTS
13. EMERGENCY ESCAPE LADDER PER IBC 1029.5.2 (SEE EGRESS WELL DETAIL)
14. INTERNAL ROOF DRAIN: PROVIDE OVERFLOW IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS
15. THROUGH-WALL SCUPPER & DOWNSPOUT: PROVIDE OVERFLOW IN ACCORDANCE W/ LOCAL REQUIREMENTS
16. PROVIDE SWING GATE IN ACCORDANCE WITH IBC SECTION 1023.8
17. PROVIDE STANDPIPE IN ACCORDANCE IBC SECTION 905.3.1
18. ACCESSIBLE PRIMARY ENTRANCE: PROVIDE MAX 1/2" THRESHOLD IN ACCORDANCE W/ ICC A117.1-2021, SECTION 1004.1.1
19. SLOPED METAL WRAPPED AWNING
20. ENTRY FOB & INTERCOM
21. 4" MIN. DOOR CURBS PER PECO REQUIREMENTS
22. 12X12 SUMP PUMP w/ STL. GRATE PER PECO REQUIREMENTS
23. HVAC ON RAISED PLATFORM w/ HOT WATER BELOW
24. SLOPE FLOOR TO DRAIN
25. LOW PARAPET - SEE DETAILS
26. ADA COMMERCIAL BATHROOM PER 2017 ANSI STANDARDS - SEE DETAILS FOR REFERENCE.
27. CONDENSER LOCATION, COORD. w/ HVAC REQ. UNDER SEPARATE PERMIT. PROVIDE PAD, DUNAGE, & FALL PROTECTION AS REQ'D.
28. PREFAB METAL GRATE STAIR OVER FIBERGLASS DECK. MIN. TREAD DEPTH 11" MAX. RISER HIGHT 7" V.I.F. RISER COUNT AS REQ'D

BUILDING DOOR SCHEDULE						
Mark	DOOR		HEIGHT	RATING	DOOR HARDWARE SET	COMMENTS
	FIRST LEAF	SECOND LEAF				
C-01	3'-0"		6'-8"		SET #9	
C-02	3'-0"		7'-0"	13HR	SET #7	
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EXT-2	3'-0"		7'-0"		SET #1	
EXT-3	3'-0"	3'-0"	6'-6"		SET #3	
EXT-4	3'-0"		6'-6"		SET #1	
EXT-5	3'-0"		6'-6"		SET #1	
EXT-6	3'-0"		6'-6"		SET #2	
EXT-7	2'-6"		7'-0"		SET #8	
EXT-8	2'-6"		7'-0"		SET #8	
EXT-9	3'-0"	3'-0"	7'-0"		SET #6	
STA-0	3'-0"		7'-0"	90 MIN	SET #5	
STA-1	3'-0"		7'-0"	90 MIN	SET #5	
STA-2	3'-0"		7'-0"	90 MIN	SET #5	
STA-3	3'-0"		7'-0"	90 MIN	SET #5	
STA-4	3'-0"		7'-0"	90 MIN	SET #5	
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U-14	3'-0"		7'-0"	13HR	SET #4	
U-15	3'-0"		7'-0"	13HR	SET #4	

PARTITION TYPE REFERENCE		
<b>WALL TYPE 1</b> -EXTERIOR BRICK WALL -1HR INTERIOR RATING ONLY	<b>WALL TYPE 6A/6B</b> -INTERIOR STUD WALL -1HR RATING	<b>WALL TYPE 11A/11B</b> -INTERIOR STUD WALL -NON RATED
<b>WALL TYPE 2</b> -EXTERIOR LAP SIDING WALL -1HR INTERIOR RATING ONLY	<b>WALL TYPE 7</b> -INTERIOR STUD WALL -2 HR RATING	<b>WALL TYPE 12A/12B</b> -EXTERIOR SUBGRADE WALL -NON RATED
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<b>WALL TYPE 5</b> -INTERIOR STUD WALL -1HR RATING	<b>WALL TYPE 10</b> -EXTERIOR BRICK PRIVACY WALL	



**1 FIRST FLOOR PLAN**  
3/16" = 1'-0"



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REVISIONS		
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ISSUE DATE:	11.08.2022
CHECKED BY:	BM
DRAWN BY:	CR
PROJECT NUMBER:	0259

DRAWING TITLE  
FIRST FLOOR PLAN

DRAWING NO.

**A1.1**

95% PROGRESS SET - 11.08.2022



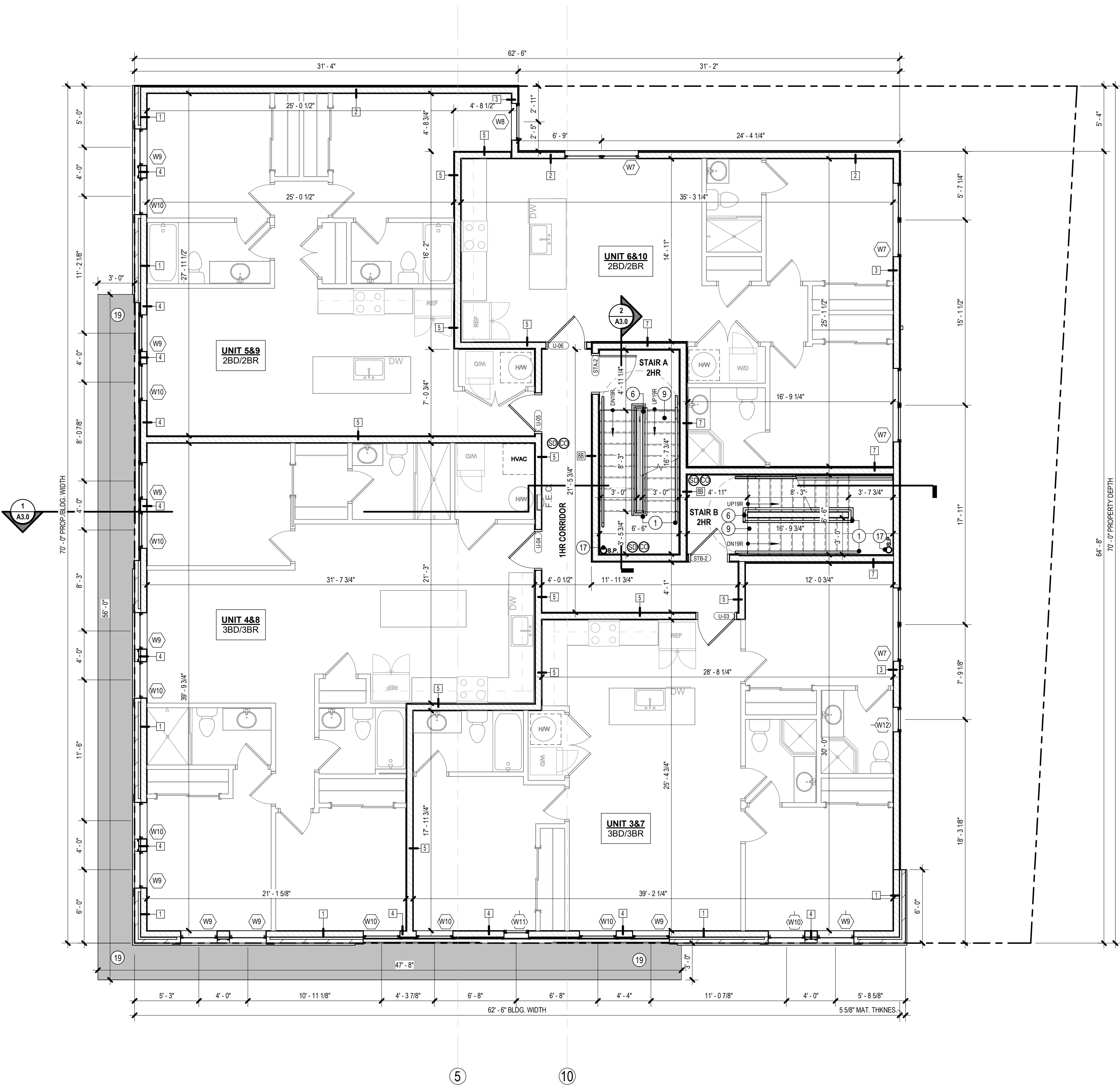
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- PLAN SYMBOL LEGEND**
- WINDOW TAG**
- PARTITION TAG**
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ALL UNITS SHALL BE HARD WIRED W/BATTERY BACKUP AND INTERCONNECTED. SMOKE DETECTORS TO BE INSTALLED IN EACH BEDROOM, HALL AREA, AND IN THE IMMEDIATE VICINITY OF BEDROOMS AND ON EACH FLOOR OF THE DWELLING.
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REQUIRED WITHIN 15 FEET OF THE ENTRANCE TO EVERY BEDROOM OR WITHIN 15 FEET OF A BED IN SLEEPING AREAS WHERE THERE IS NO ENCLOSED BEDROOM. IT SHALL BE CENTRALLY LOCATED OR ON A WALL OR THE CEILING BUT NOT DIRECTLY IN FRONT OF A DOOR TO A BATHROOM OR WITHIN 5 FEET OF A COOKING APPLIANCE.
- EXHAUST FAN**  
MIN. C.F.M. PER APPLICABLE CODE

- KEYED PLAN NOTES**
- | MARK | DESCRIPTION  |
|------|--|
| 1    | PROVIDE 36" CONTINUOUS HANDRAIL ON BOTH SIDES OF STEPS. HANDRAIL SHALL EXTEND/WRAP 1" PAST LAST RISER PER 1014.6 OF THE I.B.C. |
| 2    | PROVIDE 36" CONTINUOUS HANDRAIL AT ALL STEPS   |
| 3    | PROVIDE 42" PARAPET (GAUDDRAIL (TYP.) FROM HIGHEST POINT OF ROOF SURFACE, INCLUDING ALL RIDGES & CRICKETS                      |
| 4    | FIBERGLASS ROOF MEMBRANE SYSTEM w/CLASS B (MIN) ROOF COVERING OVER ROOF STRUCTURE AS PER DETAILS                               |
| 5    | PROVIDE F.R.T. PLYWOOD 4'-0" MIN. OFF PROPERTY LINE  |
| 6    | 42" GAUDDRAIL - REFER TO GENERAL NOTES FOR GAUDDRAIL REQUIREMENTS  |
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| 8    | MIN. TREAD DEPTH 9" MAX. RISER HIGHT 8" V.I.F. RISER COUNT AS REQ'D  |
| 9    | MIN. TREAD DEPTH 11" MAX. RISER HIGHT 7" V.I.F. RISER COUNT AS REQ'D   |
| 10   | EGRESS WELL W/ WALKABLE FLUSH GRATE AS PER DETAIL  |
| 11   | PROVIDE HARD DUCTED DRYER EXHAUST SYSTEM IN ACCORDANCE WITH IMC 2018 REQUIREMENTS  |
| 12   | M.E.P. CHASE WALL SIZE & LOCATIONS TO BE COORDINATED W/ M.E.P. DRAWING REQUIREMENTS  |
| 13   | EMERGENCY ESCAPE LADDER PER IBC 1029.5.2 (SEE EGRESS WELL DETAIL)  |
| 14   | INTERNAL ROOF DRAIN- PROVIDE OVERFLOW IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS   |
| 15   | THROUGH WALL SCUPPER & DOWNSPOUT- PROVIDE OVERFLOW IN ACCORDANCE W/ LOCAL REQUIREMENTS   |
| 16   | PROVIDE SWING GATE IN ACCORDANCE WITH IBC SECTION 1023.8   |
| 17   | PROVIDE STAIRPIPE IN ACCORDANCE IBC SECTION 905.3.1  |
| 18   | ACCESSIBLE PRIMARY ENTRANCE. PROVIDE MAX 1/2" THRESHOLD IN ACCORDANCE W/ ICC A117.1-2021, SECTION 1004.1.1                     |
| 19   | SLOPED METAL WRAPPED AWNING  |
| 20   | ENTRY FOB & INTERCOM   |
| 21   | 4" MIN. DOOR CURB PER PECO REQUIREMENTS  |
| 22   | 12X12 SUBM. PUMP w/ STL. GRATE PER PECO REQUIREMENTS   |
| 23   | HVAC ON RAISED PLATFORM w/ HOT WATER BELOW   |
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| 25   | LOW PARAPET - SEE DETAILS  |
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| 27   | CONDENSOR LOCATION, COORD. W/ HVAC REQ. UNDER SEPARATE PERMIT. PROVIDE PAD, DRAINAGE & FALL PROTECTION AS REQ'D.               |
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BUILDING DOOR SCHEDULE						
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EXT-7	2'-6"		7'-0"		SET #8	
EXT-8	2'-6"		7'-0"		SET #8	
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STA-0	3'-0"		7'-0"	90 MIN	SET #5	
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WALL TYPE 5 -INTERIOR STUD WALL -1HR RATING	WALL TYPE 10 -EXTERIOR BRICK PRIVACY WALL	



**1 SECOND FLOOR**  
3/16" = 1'-0"



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REVISIONS

REV#	DATE	DESCRIPTION

PROJECT ISSUE

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BID SET	2022.11.02

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ISSUE DATE:	11.08.2022
CHECKED BY:	BM
DRAWN BY:	CR
PROJECT NUMBER:	0259

DRAWING TITLE  
SECOND FLOOR PLAN

DRAWING NO.

**A1.2**

95% PROGRESS SET - 11.08.2022



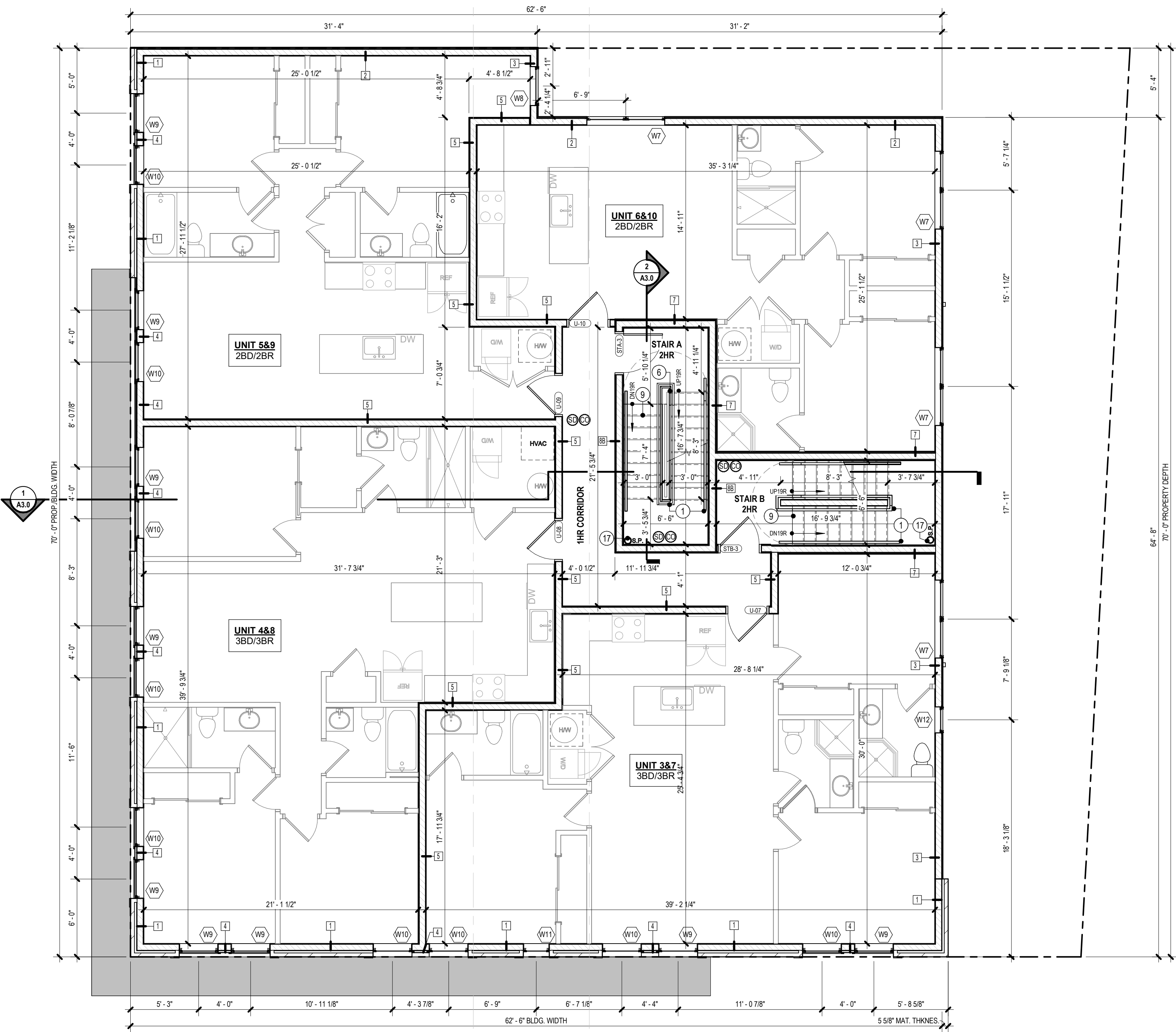
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- PLAN SYMBOL LEGEND**
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- PARTITION TAG
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ALL UNITS SHALL BE HARD WIRED W/BATTERY BACKUP AND INTERCONNECTED. SMOKE DETECTORS TO BE INSTALLED IN EACH BEDROOM, HALL AREA, AND IN THE IMMEDIATE VICINITY OF BEDROOMS AND ON EACH FLOOR OF THE DWELLING.
- CARBON MONOXIDE DETECTOR  
REQUIRED WITHIN 15 FEET OF THE ENTRANCE TO EVERY BEDROOM OR WITHIN 15 FEET OF A BED IN SLEEPING AREAS WHERE THERE IS NO ENCLOSED BEDROOM. IT SHALL BE CENTRALLY LOCATED OR ON A WALL OR THE CEILING BUT NOT DIRECTLY IN FRONT OF A DOOR TO A BATHROOM OR WITHIN 5 FEET OF A COOKING APPLIANCE.
- EXHAUST FAN  
MIN. C.F.M. PER APPLICABLE CODE

- KEYED PLAN NOTES**
- 1 PROVIDE 36" CONTINUOUS HANDRAIL ON BOTH SIDES OF STEPS. HANDRAIL SHALL EXTEND/WRAP 1" PAST LAST RISER PER 1014.6 OF THE I.B.C.
- 2 PROVIDE 36" CONTINUOUS HANDRAIL AT ALL STEPS
- 3 PROVIDE 42" PARAPET (GAURDRAIL (TYP.) FROM HIGHEST POINT OF ROOF SURFACE, INCLUDING ALL RIDGES & CRICKETS
- 4 FIBERGLASS ROOF MEMBRANE SYSTEM w/CLASS B (MIN) ROOF COVERING OVER ROOF STRUCTURE AS PER DETAILS
- 5 PROVIDE F.R.T. PLYWOOD 4'-0" MIN. OFF PROPERTY LINE
- 6 42" GAURDRAIL - REFER TO GENERAL NOTES FOR GAURDRAIL REQUIREMENTS
- 7 PROVIDE 1:48 SLOPED CRICKET- VALLEY TO HAVE 1:96 MIN SLOPE (TYP.)
- 8 MIN. TREAD DEPTH 9" MAX. RISER HIGHT 8" V.I.F. RISER COUNT AS REQ'D
- 9 MIN. TREAD DEPTH 11" MAX. RISER HIGHT 7" V.I.F. RISER COUNT AS REQ'D
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- 13 EMERGENCY ESCAPE LADDER PER IBC 1029.5.2 (SEE EGRESS WELL DETAIL)
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- 15 THROUGH WALL SCUPPER & DOWNSPOUT- PROVIDE OVERFLOW IN ACCORDANCE W/ LOCAL REQUIREMENTS
- 16 PROVIDE SWING GATE IN ACCORDANCE WITH IBC SECTION 1023.8
- 17 PROVIDE STANDPIPE IN ACCORDANCE IBC SECTION 905.3.1
- 18 ACCESSIBLE PRIMARY ENTRANCE. PROVIDE MAX 1/2" THRESHOLD IN ACCORDANCE W/ ICC A117.1-2021, SECTION 1004.1.1
- 19 SLOPED METAL WRAPPED AWNING
- 20 ENTRY FOB & INTERCOM
- 21 4" MIN. DOOR CURBS PER PECO REQUIREMENTS
- 22 12X12 SUBM. PUMP w/ STL. GRATE PER PECO REQUIREMENTS
- 23 HVAC ON RAISED PLATFORM w/ HOT WATER BELOW
- 24 SLOPE FLOOR TO DRAIN
- 25 LOW PARAPET - SEE DETAILS
- 26 ADA COMMERCIAL BATHROOM PER 2017 ANSI STANDARDS - SEE DETAILS FOR REFERENCE.
- 27 CONDENSER LOCATION, COORD. w/ HVAC REQ. UNDER SEPERATE PERMIT. PROVIDE PAD, DUNAGE & FALL PROTECTION AS REQ'D
- 28 PREFAB METAL GRATE STAIR OVER FIBERGLASS DECK. MIN. TREAD DEPTH 11" MAX. RISER HIGHT 7" V.I.F. RISER COUNT AS REQ'D

BUILDING DOOR SCHEDULE						
Mark	DOOR		HEIGHT	RATING	DOOR HARDWARE SET	COMMENTS
	FIRST LEAF	SECOND LEAF				
C-01	3'-0"		6'-8"		SET #9	
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EXT-7	2'-6"		7'-0"		SET #8	
EXT-8	2'-6"		7'-0"		SET #8	
EXT-9	3'-0"	3'-0"	7'-0"		SET #6	
STA-0	3'-0"		7'-0"	90 MIN	SET #5	
STA-1	3'-0"		7'-0"	90 MIN	SET #5	
STA-2	3'-0"		7'-0"	90 MIN	SET #5	
STA-3	3'-0"		7'-0"	90 MIN	SET #5	
STA-4	3'-0"		7'-0"	90 MIN	SET #5	
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U-12	3'-0"		7'-0"	13HR	SET #4	
U-13	3'-0"		7'-0"	13HR	SET #4	
U-14	3'-0"		7'-0"	13HR	SET #4	
U-15	3'-0"		7'-0"	13HR	SET #4	

PARTITION TYPE REFERENCE		
WALL TYPE 1 -EXTERIOR BRICK WALL -1HR INTERIOR RATING ONLY	WALL TYPE 6A/6B -INTERIOR STUD WALL -1HR RATING	WALL TYPE 11A/11B -INTERIOR STUD WALL -NON RATED
WALL TYPE 2 -EXTERIOR LAP SIDING WALL -1HR INTERIOR RATING ONLY	WALL TYPE 7 -INTERIOR STUD WALL -2 HR RATING	WALL TYPE 12A/12B -EXTERIOR SUBGRADE WALL -NON RATED
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WALL TYPE 5 -INTERIOR STUD WALL -1HR RATING	WALL TYPE 10 -EXTERIOR BRICK PRIVACY WALL	



**1 THIRD FLOOR PLAN**  
3/16" = 1'-0"



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**STRUCTURAL ENGINEER**

**STRUCTURE LABS**

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Downtown, PA 19335  
(484) 467-7413

**OWNER**

3401 HAMILTON LLC

NEW CONSTRUCTION:  
**HAMILTON MULTIPLEX**  
3401 HAMILTON AVE.  
PHILADELPHIA PA, 19104

REVISIONS		
REV#	DATE	DESCRIPTION

PROJECT ISSUE		ISSUE DATE
BID SET		2022.11.02

**PROFESSIONAL SEAL**

Gnome Architects LLC  
All ideas, designs, arrangements and plans indicated or represented by this drawing and written material appearing herein constitute the original and unpublished work of Gnome Architects LLC and the same may not be duplicated, used or disclosed to any person, firm or corporation for any purpose whatsoever without the written consent of the architect.

ISSUE DATE:	11.08.2022
CHECKED BY:	BM
DRAWN BY:	CR
PROJECT NUMBER:	0259

DRAWING TITLE  
**THIRD FLOOR PLAN**

DRAWING NO.

**A1.3**

95% PROGRESS SET - 11.08.2022



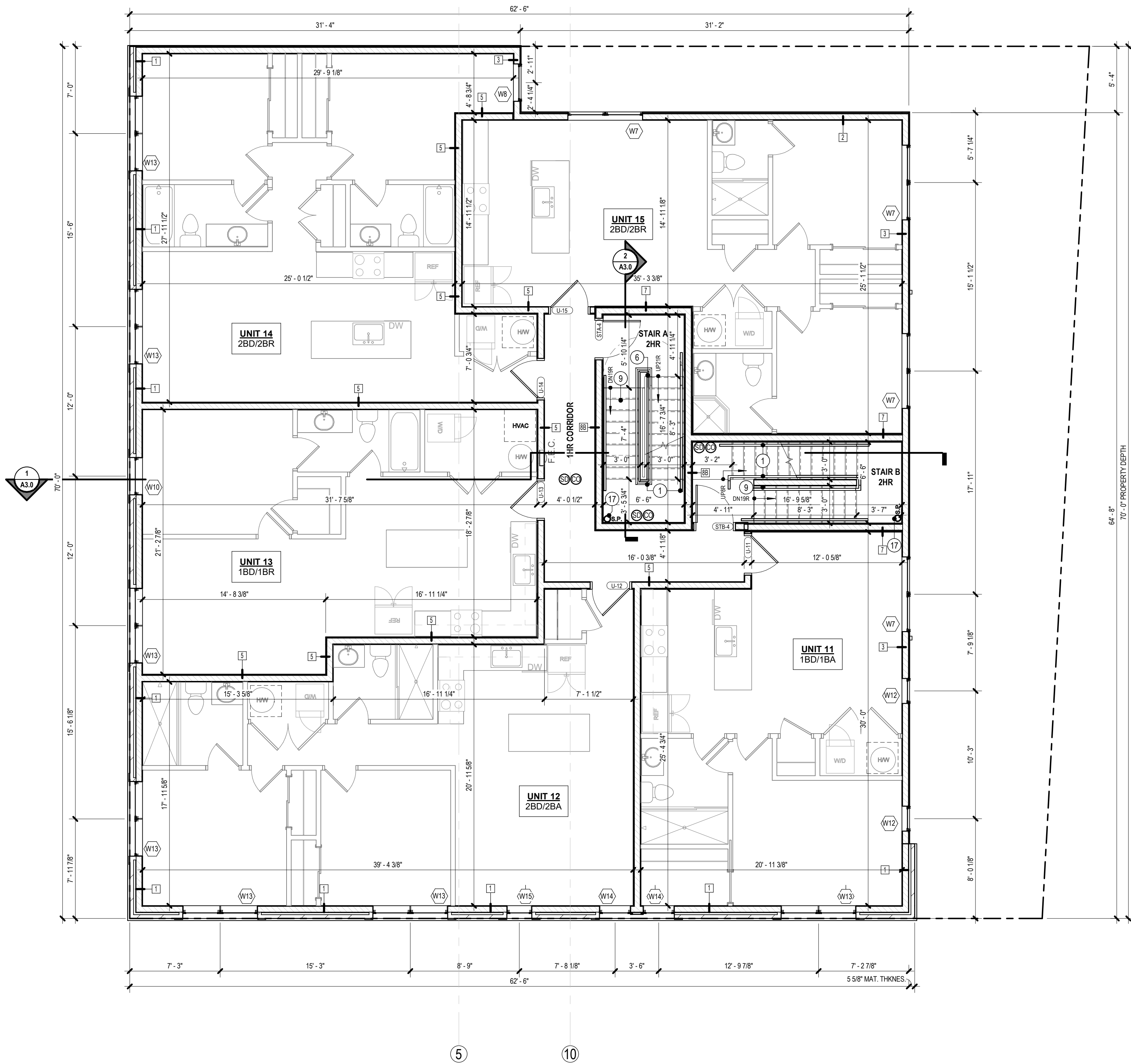
- GENERAL PLAN NOTES**
- REFER TO STRUCTURAL DRAWINGS FOR BRACED WALL PANEL DETAIL INFORMATION.
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- | MARK | DESCRIPTION  |
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**1 FOURTH FLOOR PLAN**  
3/16" = 1'-0"



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**REVISIONS**

REV#	DATE	DESCRIPTION

**PROJECT ISSUE** **ISSUE DATE**

BID SET	2022.11.02

**PROFESSIONAL SEAL**

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ISSUE DATE:	11.08.2022
CHECKED BY:	BM
DRAWN BY:	CR
PROJECT NUMBER:	0259

DRAWING TITLE  
FOURTH FLOOR PLAN

DRAWING NO.

**A1.4**

95% PROGRESS SET - 11.08.2022



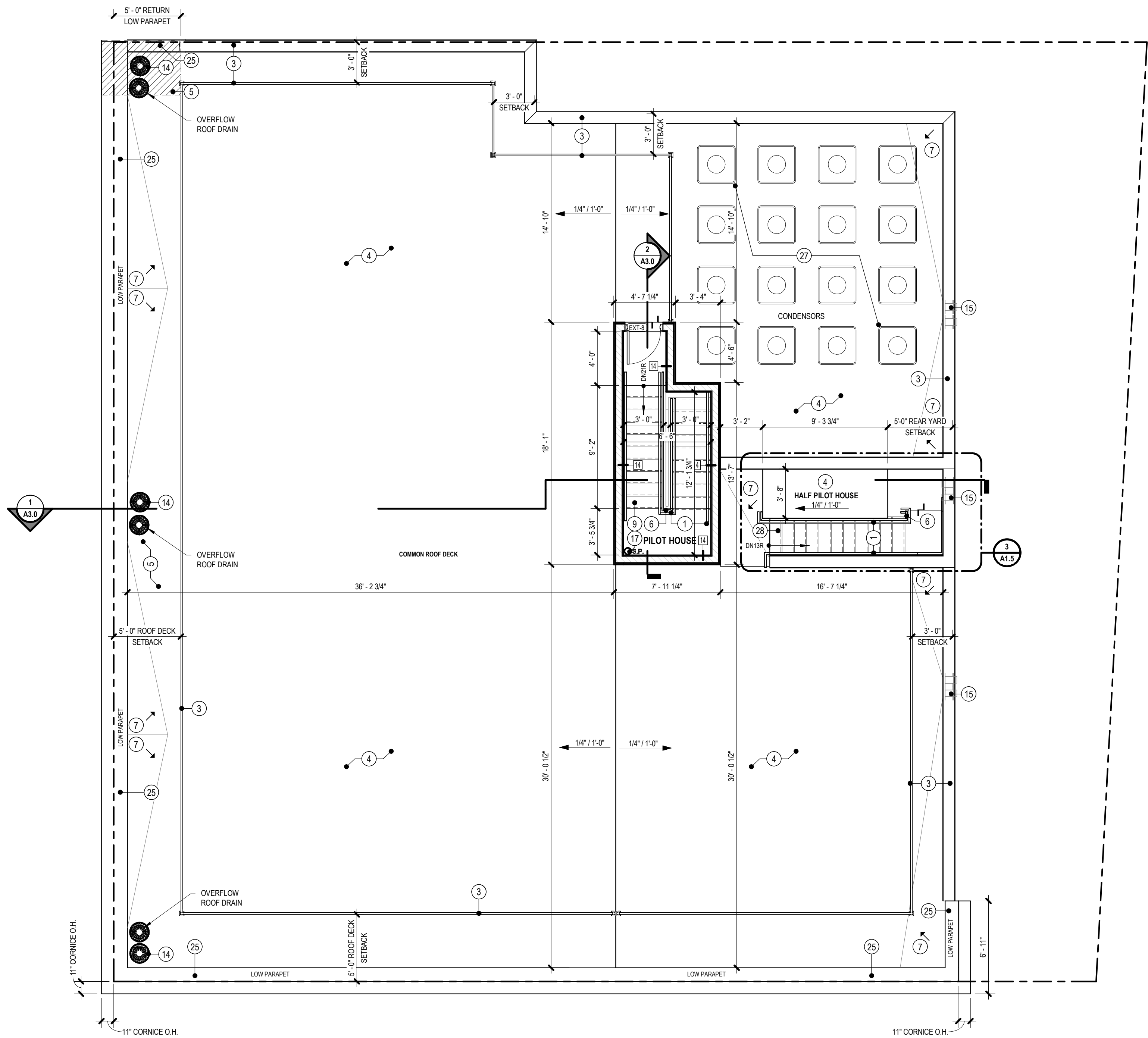
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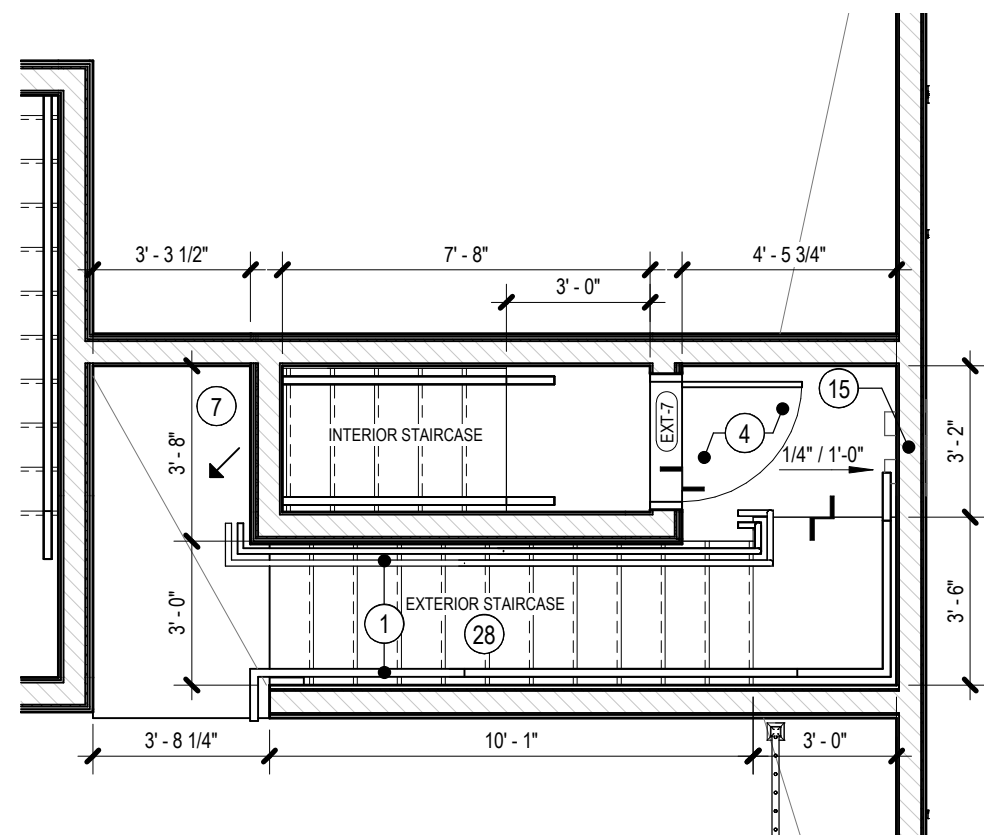
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U-01	3'-0"		7'-0"	1/3HR	SET #4	
U-03	3'-0"		7'-0"	1/3HR	SET #4	
U-04	3'-0"		7'-0"	1/3HR	SET #4	
U-05	3'-0"		7'-0"	1/3HR	SET #4	
U-06	3'-0"		7'-0"	1/3HR	SET #4	
U-07	3'-0"		7'-0"	1/3HR	SET #4	
U-08	3'-0"		7'-0"	1/3HR	SET #4	
U-09	3'-0"		7'-0"	1/3HR	SET #4	
U-10	3'-0"		7'-0"	1/3HR	SET #4	
U-11	3'-0"		7'-0"	1/3HR	SET #4	
U-12	3'-0"		7'-0"	1/3HR	SET #4	
U-13	3'-0"		7'-0"	1/3HR	SET #4	
U-14	3'-0"		7'-0"	1/3HR	SET #4	
U-15	3'-0"		7'-0"	1/3HR	SET #4	

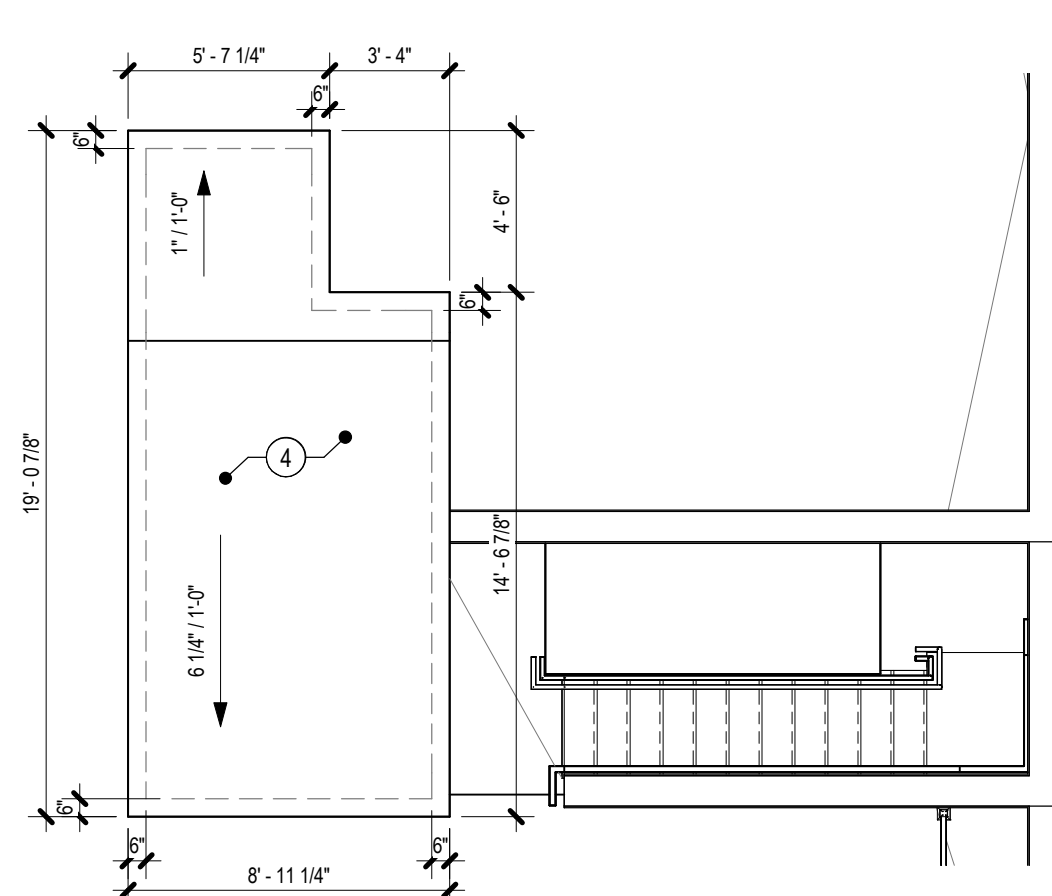
PARTITION TYPE REFERENCE		
WALL TYPE 1 -EXTERIOR BRICK WALL -1HR INTERIOR RATING ONLY	WALL TYPE 6A/6B -INTERIOR STUD WALL -1HR RATING	WALL TYPE 11A/11B -INTERIOR STUD WALL -NON RATED
WALL TYPE 2 -EXTERIOR LAP SIDING WALL -1HR INTERIOR RATING ONLY	WALL TYPE 7 -INTERIOR STUD WALL -2 HR RATING	WALL TYPE 12A/12B -EXTERIOR SUBGRADE WALL -NON RATED
WALL TYPE 3 -EXTERIOR LAP SIDING WALL -1HR RATED (BOTH SIDES)	WALL TYPE 8A/8B -INTERIOR STUD WALL -2 HR RATING	WALL TYPE 13 -INTERIOR STUD WALL -1 HR RATING
WALL TYPE 4 -EXTERIOR METAL PANEL WALL -1HR INTERIOR RATING ONLY	WALL TYPE 9 -INTERIOR CMU WALL -3 HR RATING	WALL TYPE 14 -EXTERIOR LAP SIDING WALL -2 HR RATING
WALL TYPE 5 -INTERIOR STUD WALL -1HR RATING	WALL TYPE 10 -EXTERIOR BRICK PRIVACY WALL	



**1 ROOF DECK PLAN**  
3/16" = 1'-0"



**3 HALF PILOT HOUSE PLAN**  
1/4" = 1'-0"



**2 PILOT HOUSE**  
3/16" = 1'-0"

95% PROGRESS SET - 11.08.2022



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**STRUCTURAL ENGINEER**

**STRUCTURE LABS**

470 Boot Rd  
Downingtown, PA 19335  
(484) 467-7413

**OWNER**

3401 HAMILTON LLC

NEW CONSTRUCTION:  
**HAMILTON MULTIPLEX**  
3401 HAMILTON AVE.  
PHILADELPHIA PA, 19104

**REVISIONS**

REV#	DATE	DESCRIPTION

**PROJECT ISSUE** **ISSUE DATE**

BID SET	2022.11.02

**PROFESSIONAL SEAL**

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ISSUE DATE:	11.08.2022
CHECKED BY:	BM
DRAWN BY:	CR
PROJECT NUMBER:	0259

DRAWING TITLE  
ROOF DECK PLAN

DRAWING NO.

**A1.5**