

ADDRESS: 3701-03 N BROAD ST

Proposal: Construct addition

Review Requested: Final Approval

Owner: 3701 North Broad LLC

Applicant: Stuart Rosenberg, SgRA Architecture

History: 1927; National Bank of North Philadelphia, Beury Building; William Harold Lee, architect

Individual Designation: 11/27/1985

District Designation: None

Staff Contact: Allyson Mehley, allyson.mehley@phila.gov

BACKGROUND:

This application seeks final approval for an eight-story addition at 3701-03 N. Broad Street. Constructed in 1927, the Art Deco Style building historically served as a bank and offices. After decades of vacancy, the building is currently undergoing conversion to a hotel. The original rehabilitation and conversion project was approved by the Historical Commission on 8 September 2017. A building permit was issued by the Department of Licenses and Inspections in December 2021.

This proposed addition would be connected along the rear north wall of the historic building. The proposed addition would be open at the ground floor to provide vehicular access to a surface parking area. The addition would include seven levels of hotel rooms above the open parking access area. The exterior cladding materials would be masonry, with a mix of light-colored buff brick and stucco, and is intended to be compatible with the limestone, brick, and terra cotta of the historic building. The proposed window openings would be of a comparable size to the windows on the 1927 building.

The demolition on the north wall was previously approved by PHC staff in March 2022. This targeted demolition was also approved by the Pennsylvania Historic and Museum Commission and National Park Service, as the overall project is seeking Historic Tax Incentives. It should be noted that this demolition was originally intended to accommodate the construction crane and create a fire stair.

SCOPE OF WORK:

- Construct eight-story addition.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The proposed addition is compatible in its massing, size, materials, and scale. The staff recommends adding more screening and architectural detail to the first-level accessway to meet Standard 9.
- *Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment will be unimpaired.*

- The proposed addition could be removed from the historic building in the future, leaving the historic building intact; therefore, the proposal meets Standard 10.

STAFF RECOMMENDATION: The staff recommends approval, pursuant to Standards 9 and 10.

November 7, 2022

Allyson Mehley
Historic Preservation Planner
Philadelphia Historical Commission

**RE: HISTORICAL NARRATIVE
"THE BEURY BUILDING"
3701 NORTH BROAD STREET
PHILADELPHIA, PA 19140**

Dear Allyson,

We would like to amend our previous historical application for the Beury Building with a Formal Review of the following proposed building addition:

An eight-story addition at the northeast corner of the building, 1,728 square feet per floor for a total of 13,824 square feet, beginning above ground level on the third floor, and reaching the bottom of the eleventh floor. We are proposing to use a light stucco for the material of the base (podium levels on floors one through three), and a light brick for the upper stories, in colors to complement the buff brick of the existing building.

Please note, a previous design for this building was proposing an exterior stair tower in this same location, and was approved on the condition that the stair tower not conceal the existing quoining and decorative brick arches above the eleventh floor. Our design intends to preserve these exterior elements as well.

For this project, the Philadelphia Historical Commission has already approved a building permit submission with a request to review future exterior material samples; an elevator penthouse addition to allow for elevator access to the fourteenth floor of the building; and several openings in the exterior wall on the northeast façade (in the same location as our proposed northeast addition) for access to each floor via hoist during construction. The approval form for the hoist openings is included as part of this submission for your reference.

Thank you for your time. We look forward to hearing your feedback on the addition mentioned above.

Sincerely,

Stuart Rosenberg

3701-03 NORTH BROAD STREET, PHILADELPHIA, PA 19140

PHILADELPHIA HISTORICAL COMMISSION

Architect of Record

Stuart G. Rosenberg Architects

230 S. Broad Street
Mezzanine Suite M30
Philadelphia, PA 19102
T: (215) 564-1007
www.sgra.com

Historical Photograph (SW Facade)

Location Map



SgRA

STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T.215.564.1007
T.215.564.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER RA-010532-X

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
COVER SHEET

SGRA Project No.: 18-964

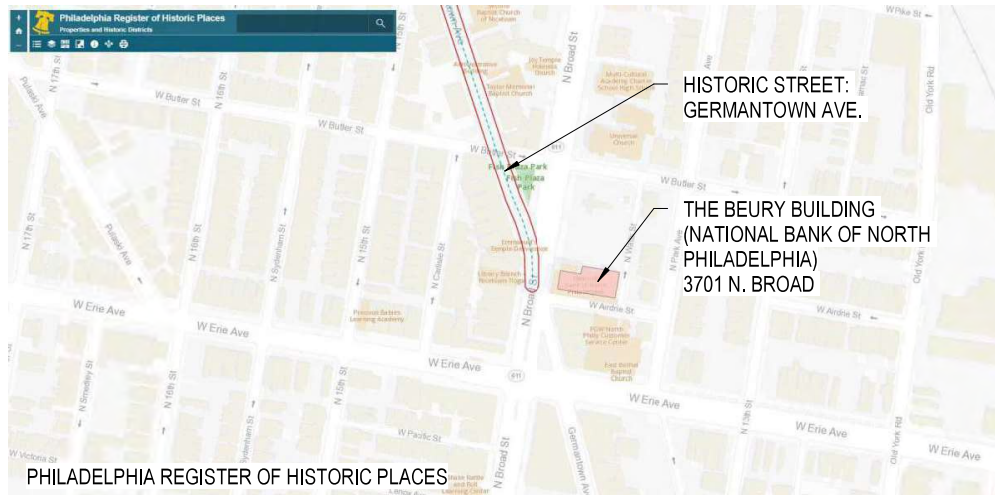
Drawn by _____ Author _____

Checked by _____ Checker _____

Scale 12" = 1'-0"

Drawing Number:

PHC-00



STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010332-4

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
HISTORIC MAPS

SGRA Project No.: 18-964

Drawn by Author

Checked by Checker

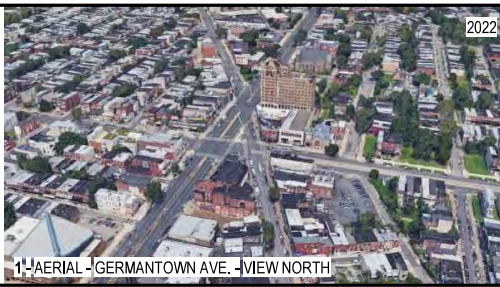
Scale

Drawing Number:

PHC-01



1939



2022

1-AERIAL -GERMANTOWN AVE. -VIEW NORTH



1942



2022

2-N. BROAD ST. W. ERIE AVE. & GERMANTOWN AVE INTERSECTION -VIEW NORTH



1957



2022

3-N. BROAD ST & W. AIRDRIE ST -VIEW NORTH-EAST



1957

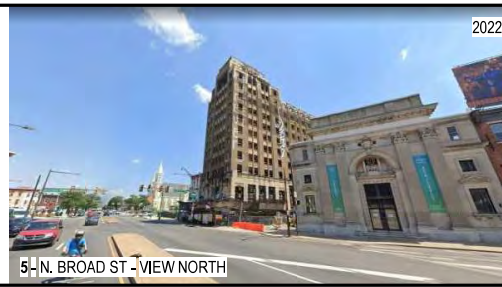


2022

4-N. WATTS ST & W. AIRDRIE ST -VIEW NORTH-WEST



1978



2022

5-N. BROAD ST -VIEW NORTH



1978

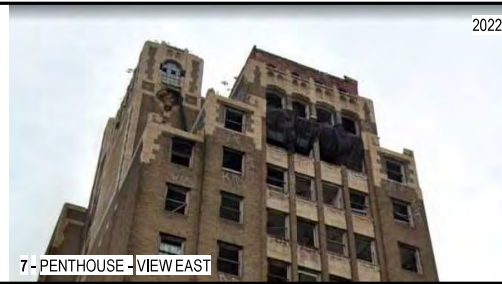


2022

6-N. BROAD ST & GERMANTOWN AVE -VIEW NORTH-EAST



1978



2022

7-PENTHOUSE -VIEW EAST



SgRA

**STUART G. ROSENBERG
ARCHITECTS, P.C.**

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010532-4

**PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022**

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
**HISTORIC PHOTOS AND
SITE CONTEXT**

SGRA Project No.: 18-964

Drawn by Author

Checked by Checker

Scale

Drawing Number:

PHC-02

**PHILADELPHIA
HISTORICAL COMMISSION**
11.07.2022

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
**SURROUNDING
DEVELOPMENTS**

SGRA Project No.: 18-964

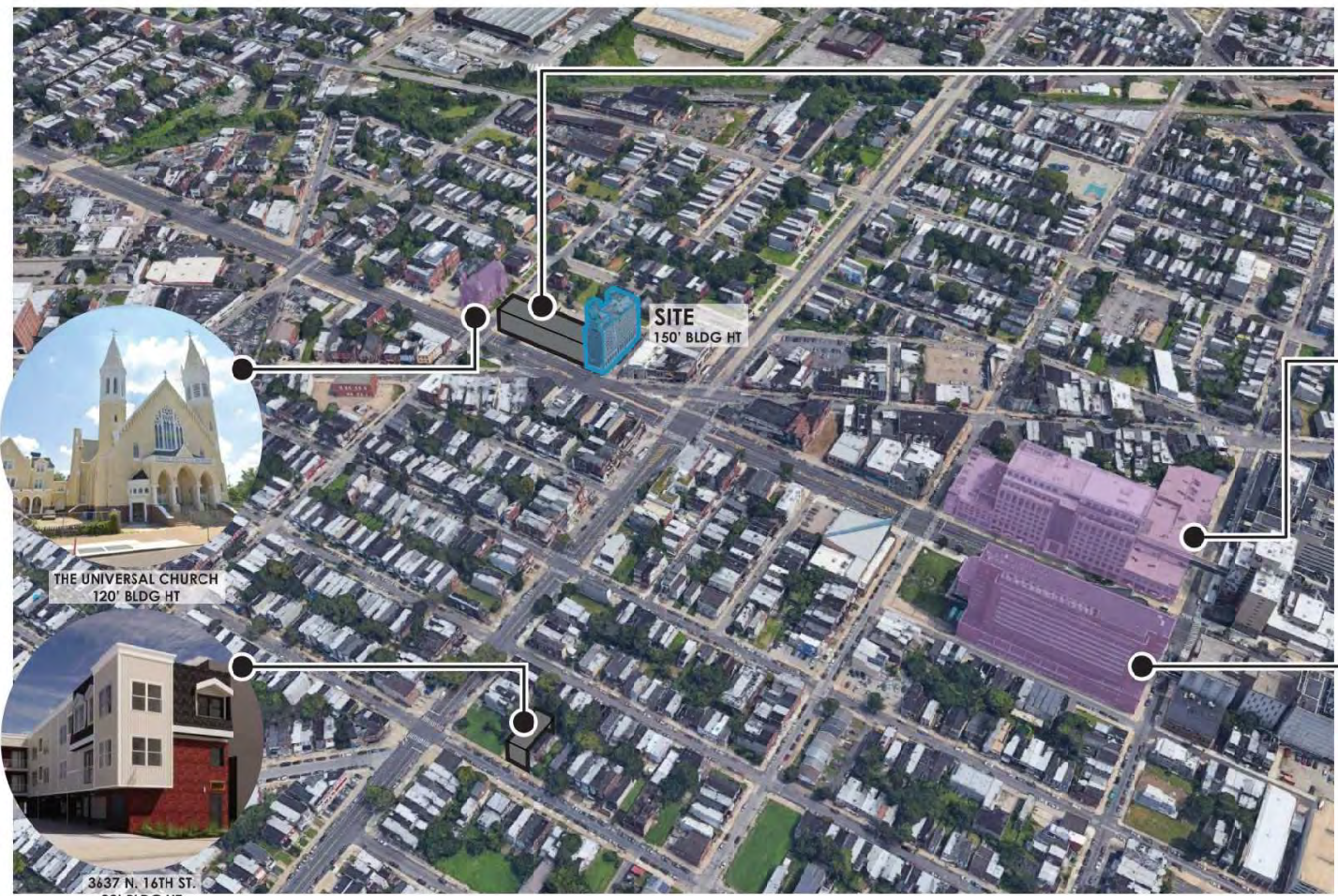
Drawn by Author

Checked by Checker

Scale

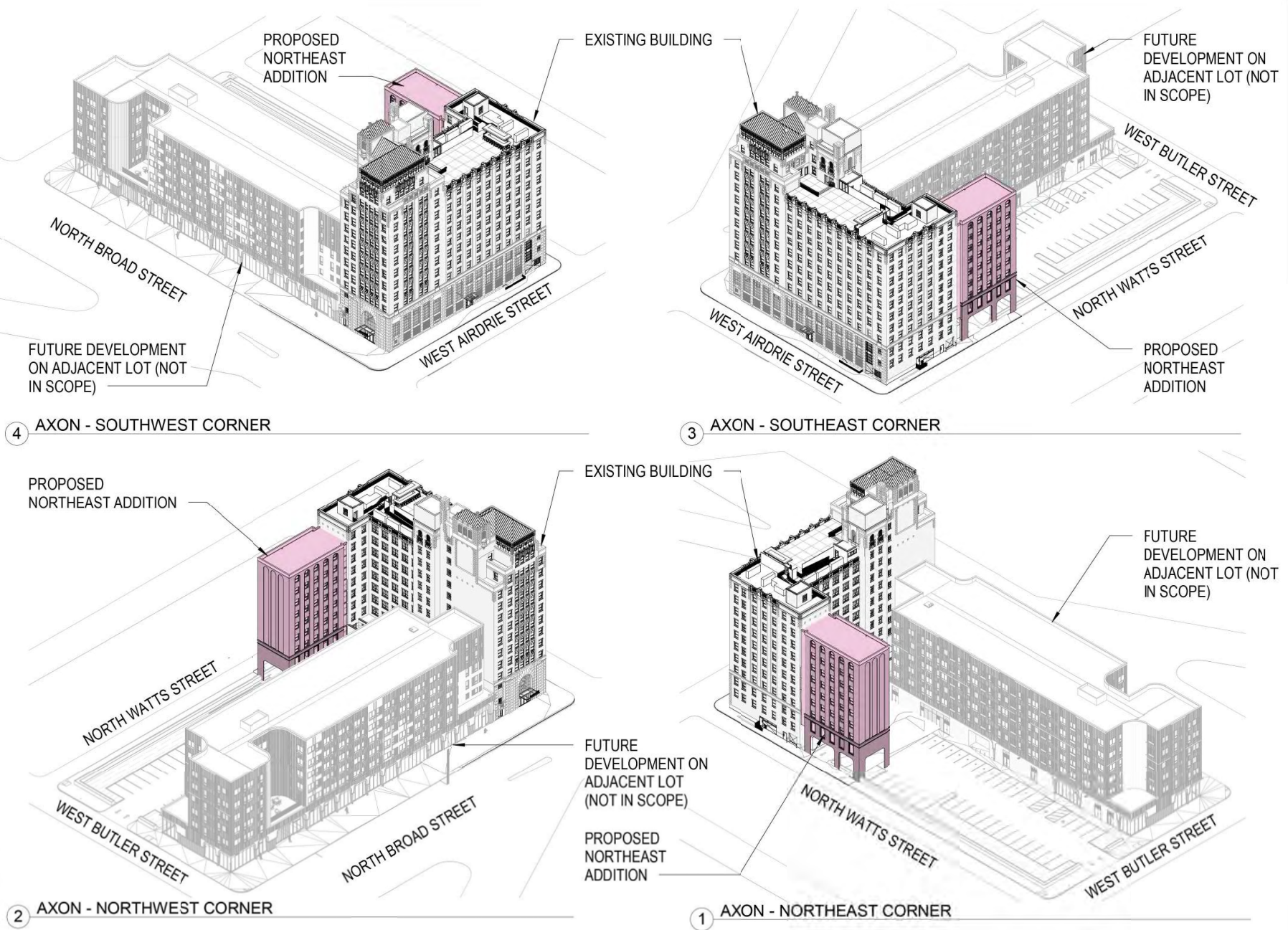
Drawing Number:

PHC-03



PROPOSED DEVELOPMENT
EXISTING DEVELOPMENT







CURRENT SITE CONDITION



CURRENT SITE CONDITION

EXISTING STAIR ROOF DECK
ACCESS STRUCTURE TO BE
REBUILT AND CLAD IN BUFF
BRICK TO MATCH (E) BRICK

EXISTING PRECAST
STONE QUOIN TO REMAIN
TYP. EA. SIDE

NEW CAST STONE BAND
TO MATCH EXISTING

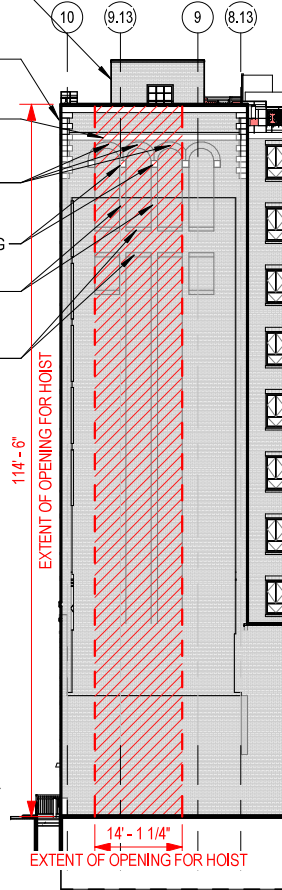
NEW BRICK FLUSH BLIND
ARCH TO MATCH EXISTING

NEW PRECAST STONE
IMPOSTS TO MATCH EXISTING

NEW FLUSH PILASTERS TO
MATCH EXISTING

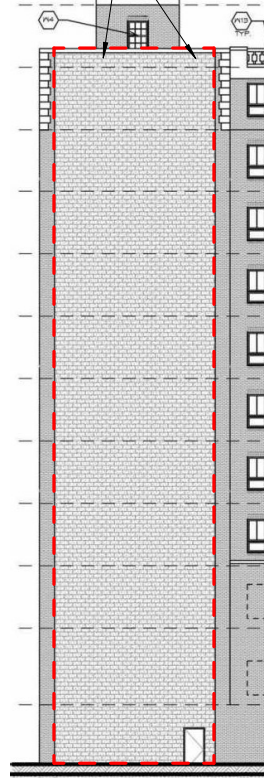
NEW BRICK SOLDIER
COURSES TO MATCH
EXISTING

NOTE: HOIST OPENING
APPROVED BY PHC
3/10/2022. APPROVAL
LETTER ATTACHED.

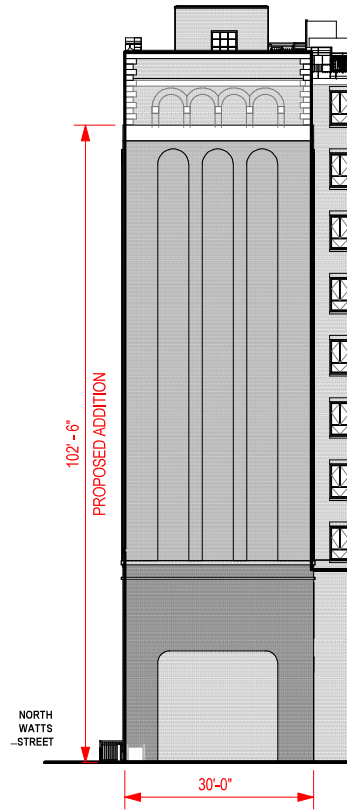


1 NORTH ELEVATION - CONSTRUCTION
HOIST REPAIR
1" = 20'-0"

PREVIOUS DESIGN FOR 11-
STORY EXTERIOR ADDITION
BY KITCHEN & ASSOCIATES
ARCHITECTS, APPROVED
BY PHC, SHPO, NPS IN 2017.



NORTH ELEVATION - PREVIOUSLY
APPROVED DESIGN
N.T.S.



2 NORTH ELEVATION - PROPOSED
1" = 20'-0"

SgRA

STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010532-1

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
NORTHEAST ADDITION

SGRA Project No.: 18-964

Drawn by Author

Checked by Checker

Scale 1" = 20'-0"

Drawing Number:

PHC-05



STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010332-1

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
PROPOSED 1ST FLOOR
PLAN

SGRA Project No.: 18-964

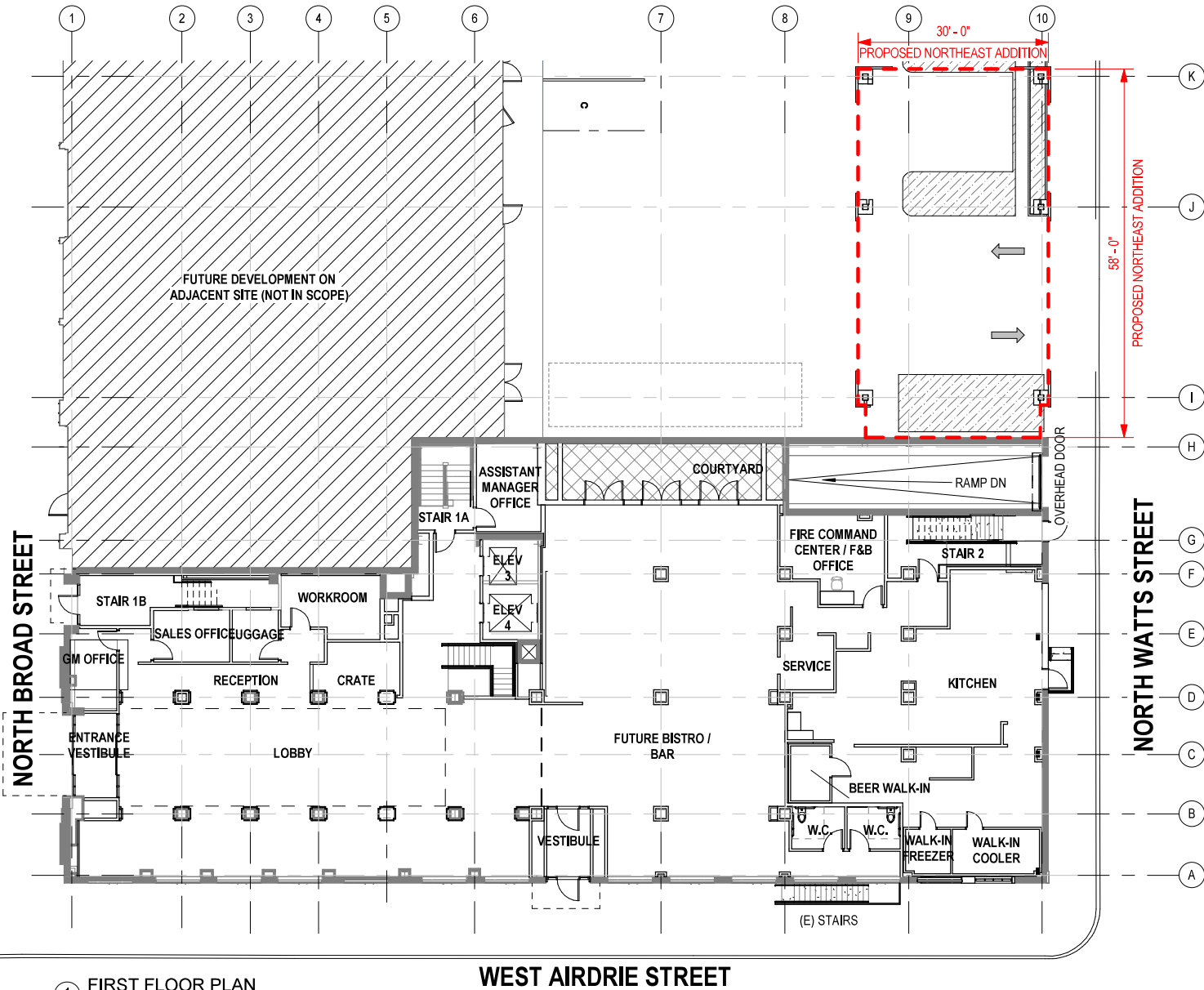
Drawn by Author

Checked by Checker

Scale 1/16" = 1'-0"

Drawing Number:

PHC-06.1

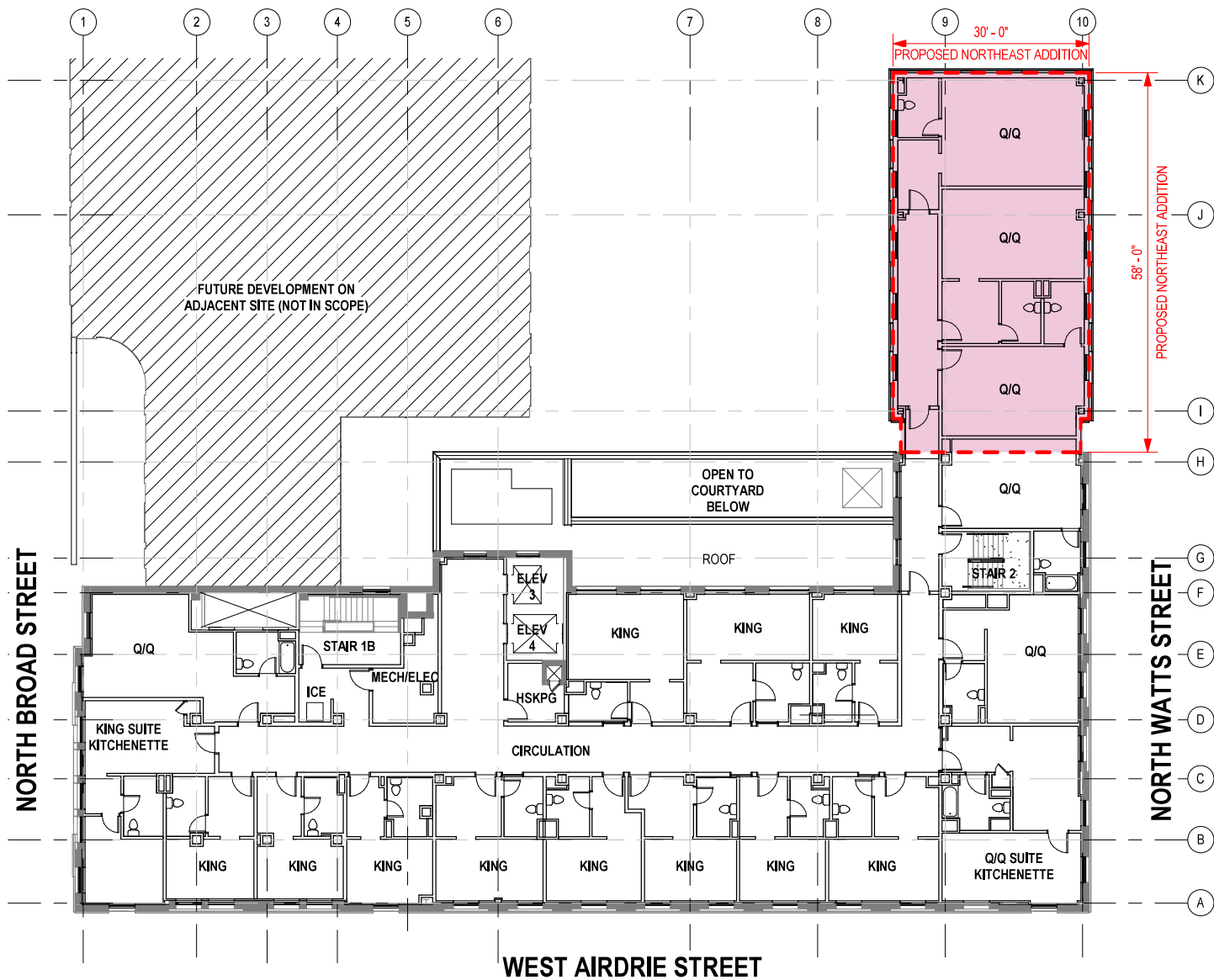


1 FIRST FLOOR PLAN
1/16" = 1'-0"

WEST AIRRIE STREET

NORTH BROAD STREET

NORTH WATTS STREET



① TYPICAL FLOOR PLAN - 4TH - 6TH
1/16" = 1'-0"

SgRA

**STUART G. ROSENBERG
ARCHITECTS, P.C.**

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010332-4

**PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022**

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
**PROPOSED TYPICAL
FLOOR PLAN**

SGRA Project No.: 18-964

Drawn by Author

Checked by Checker

Scale 1/16" = 1'-0"

Drawing Number:

PHC-06.4



1 11TH FLOOR PLAN
1/16" = 1'-0"



STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010332-1

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
PROPOSED 11TH FLOOR
PLAN

SGRA Project No.: 18-964

Drawn by Author

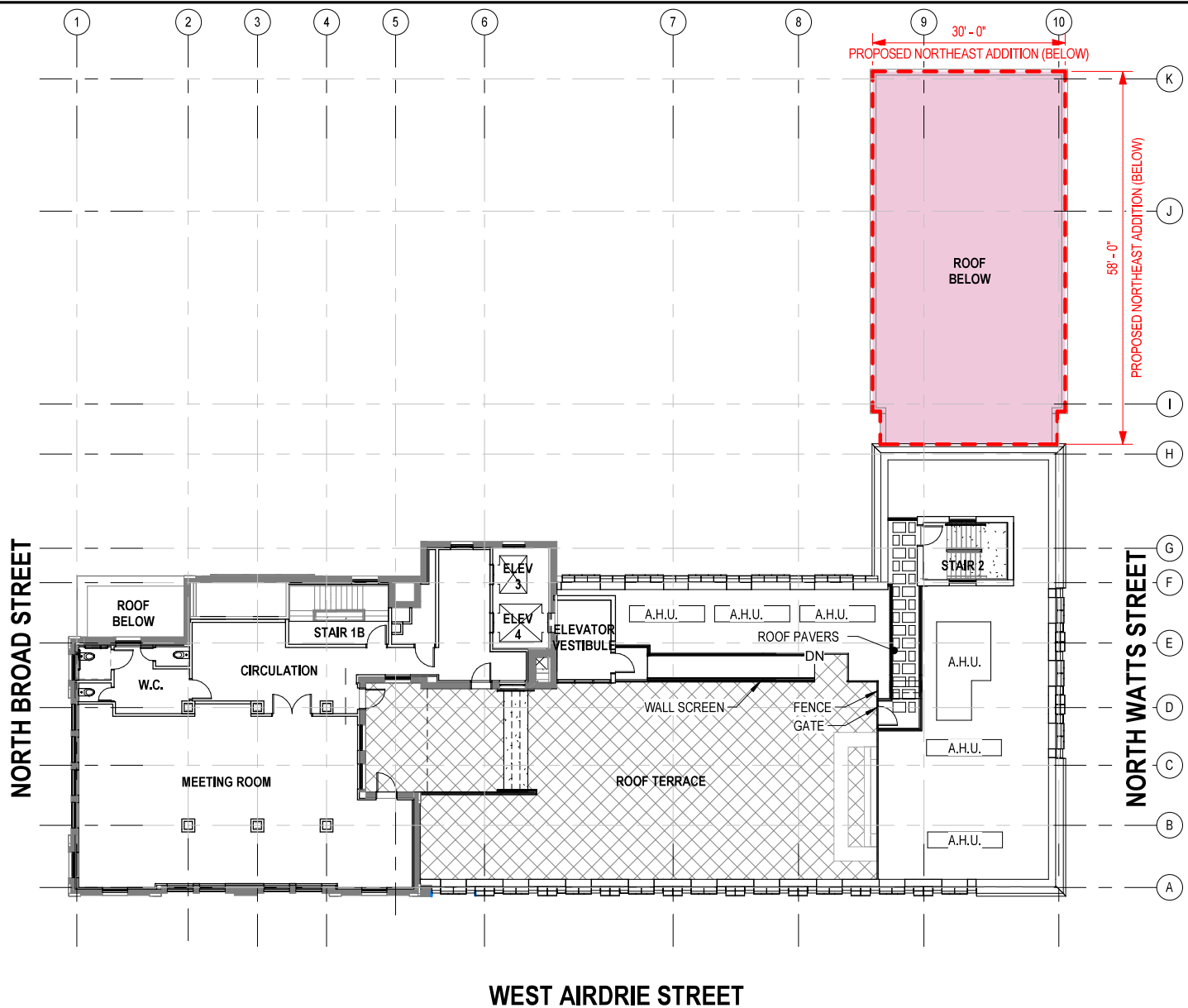
Checked by Checker

Scale 1/16" = 1'-0"

Drawing Number:

PHC-06.11

11/17/2022 12:23:24 PM



SgRA

**STUART G. ROSENBERG
ARCHITECTS, P.C.**

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010333-1

**PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022**

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
PROPOSED 12TH FLOOR
PLAN

SGRA Project No.: 18-964

Drawn by Author

Checked by Checker

Scale 1/16" = 1'-0"

Drawing Number:

PHC-06.12



STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T 215.564.1007
T 215.564.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER RA-010532-X

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
EXTERIOR ELEVATIONS

SGRA Project No.: 18-964

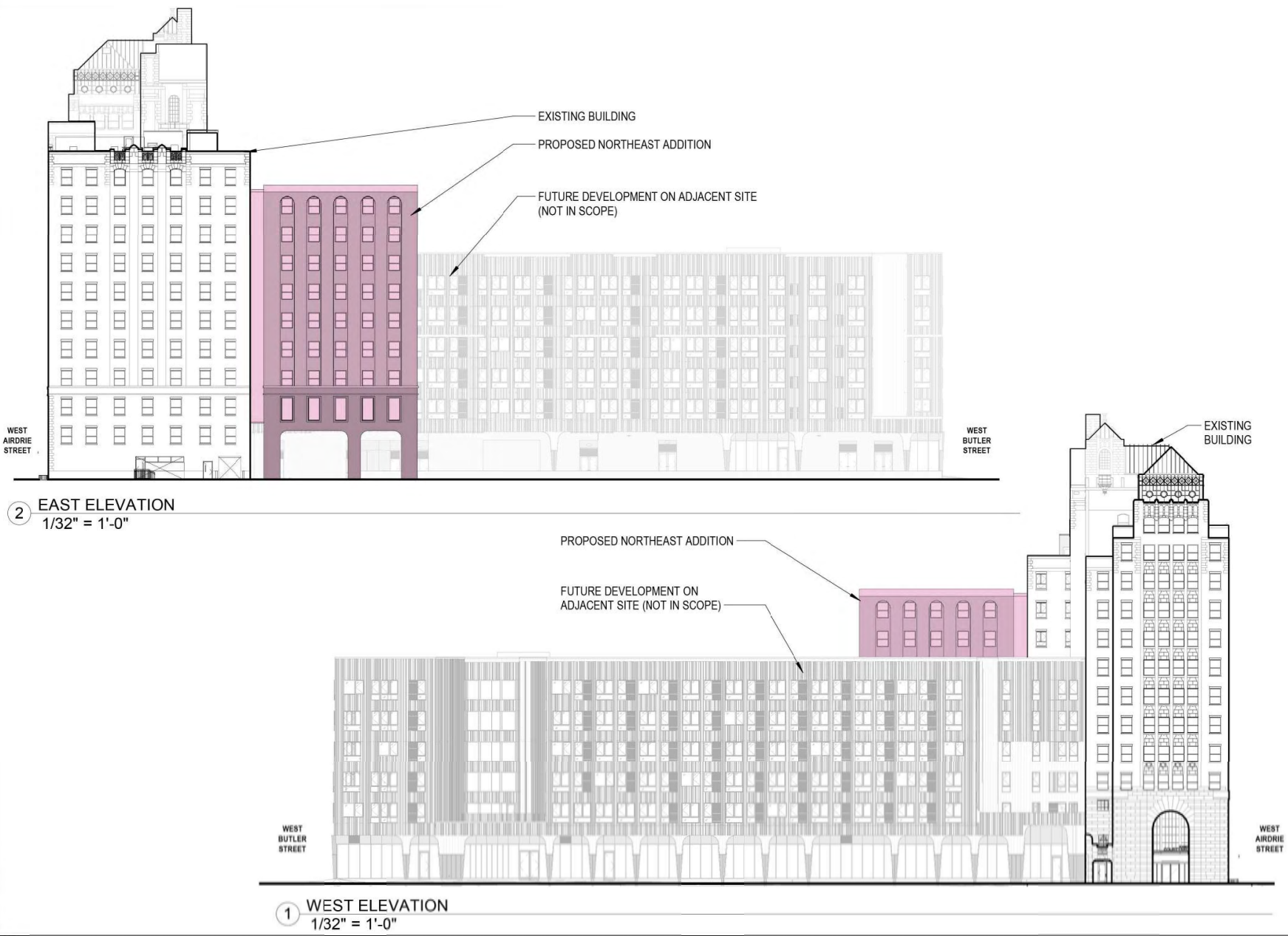
Drawn by Author

Checked by Checker

Scale 1/32" = 1'-0"

Drawing Number:

PHC-07



2 EAST ELEVATION
1/32" = 1'-0"

1 WEST ELEVATION
1/32" = 1'-0"

11/14/2022 2:57:00 PM
11"x17"



STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102
T 215.584.1007
T 215.584.3011
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER RA-010532-X

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:

3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:

THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:

EXTERIOR ELEVATION -
WEST

SGRA Project No.: 18-964

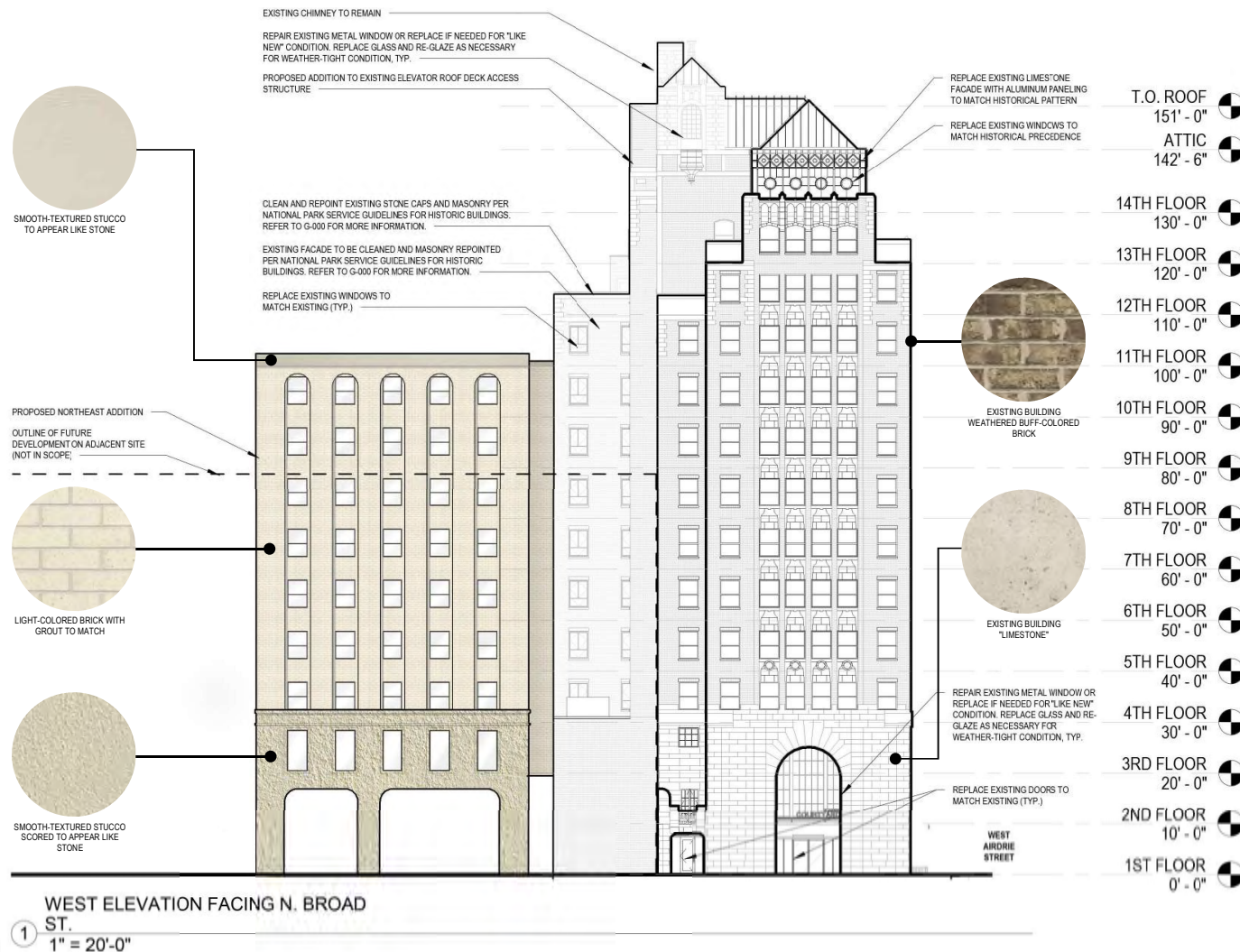
Drawn by Author

Checked by Checker

Scale 1" = 20'-0"

Drawing Number:

PHC-07.1



WEST ELEVATION FACING N. BROAD

1 ST.
1" = 20'-0"



STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010532-4

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
EXTERIOR ELEVATION -
SOUTH

SGRA Project No.: 18-964

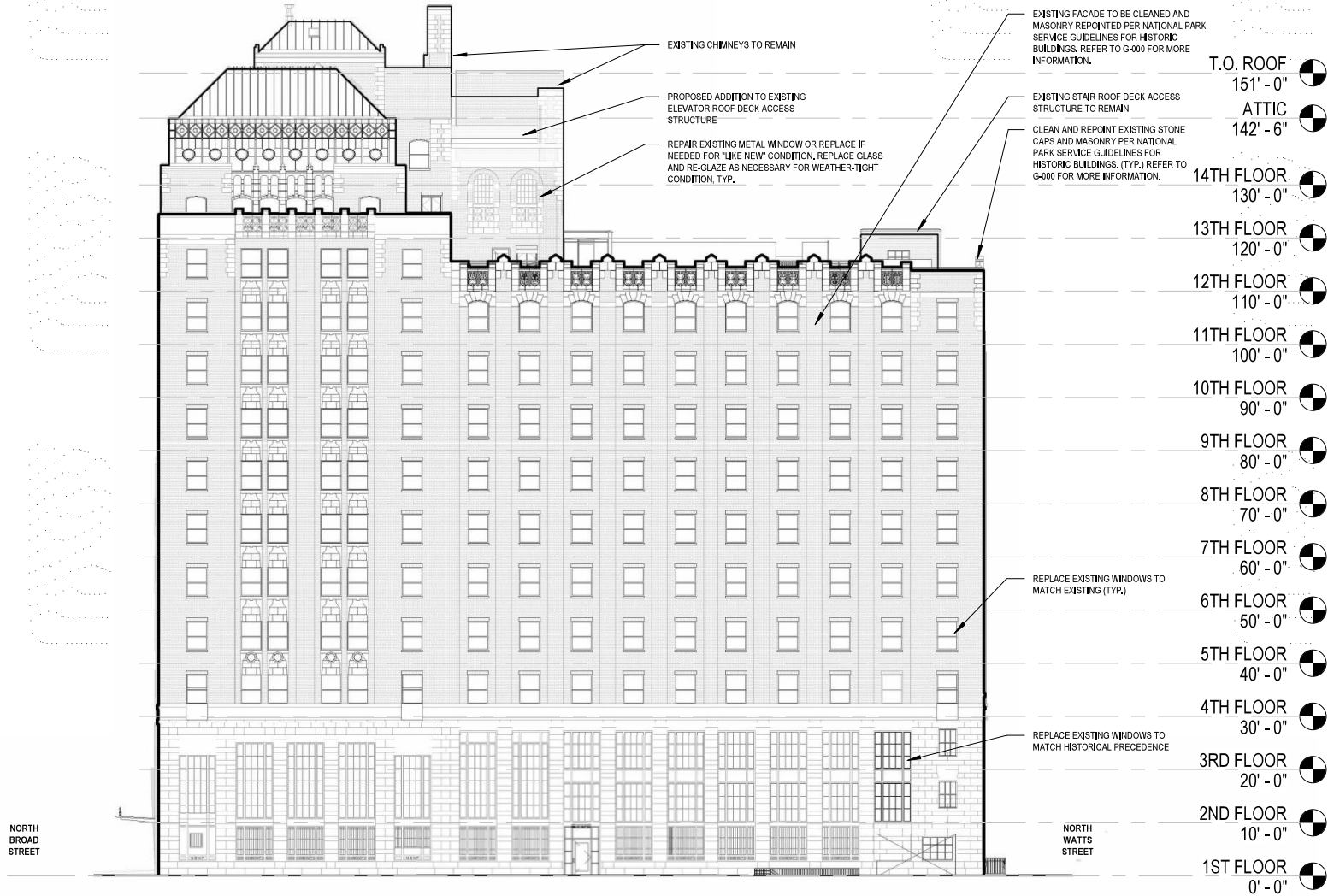
Drawn by Author

Checked by Checker

Scale 1" = 20'-0"

Drawing Number:

PHC-07.2



1 SOUTH ELEVATION FACING W. AIRDRIE ST.
1" = 20'-0"



STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102
T 215.584.1007
F 215.584.3811
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER RA-010532-X

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:

3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:

THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:

EXTERIOR ELEVATION -
EAST

SGRA Project No.: 18-964

Drawn by Author

Checked by Checker

Scale 1" = 20'-0"

Drawing Number:

PHC-07.3



SMOOTH-TEXTURED STUCCO
TO APPEAR LIKE STONE



EXISTING BUILDING
WEATHERED BUFF-COLORED
BRICK



LIGHT-COLORED BRICK WITH
GROUT TO MATCH



EXISTING BUILDING
"LIMESTONE"



SMOOTH-TEXTURED STUCCO
SCORED TO APPEAR LIKE
STONE

CLEAN AND REPOINT EXISTING STONE
CAPS AND MASONRY PER NATIONAL
PARK SERVICE GUIDELINES FOR
HISTORIC BUILDINGS. (TYP.) REFER TO
G-000 FOR MORE INFORMATION.

REPLACE EXISTING WINDOWS TO MATCH
EXISTING (TYP.)

EXISTING FACADE TO BE CLEANED AND
MASONRY REPOINTED PER NATIONAL
PARK SERVICE GUIDELINES FOR HISTORIC
BUILDINGS. (TYP.) REFER TO G-000 FOR
MORE INFORMATION.

EXISTING CMU INFILL TO BE REPLACED WITH
BRICK VENEER TO MATCH EXISTING
SURROUNDING FACADE

PROPOSED DOOR TO FUTURE KITCHEN

WEST
AIRDRIE
STREET

EXISTING CHIMNEYS TO REMAIN

PROPOSED ADDITION TO EXISTING ELEVATOR ROOF
DECK ACCESS STRUCTURE

REPAIR EXISTING METAL WINDOW OR REPLACE IF
NEEDED FOR "LIKE NEW" CONDITION. REPLACE GLASS
AND RE-GLAZE AS NECESSARY FOR WEATHER-TIGHT
CONDITION. TYP.

EXISTING STAIR ROOF DECK ACCESS STRUCTURE TO
REMAIN

PROPOSED
NORTHEAST
ADDITION

FUTURE
DEVELOPMENT
ON ADJACENT
SITE (NOT IN
SCOPE)

T.O. ROOF
151' - 0"
ATTIC
142' - 6"

14TH FLOOR
130' - 0"

13TH FLOOR
120' - 0"

12TH FLOOR
110' - 0"

11TH FLOOR
100' - 0"

10TH FLOOR
90' - 0"

9TH FLOOR
80' - 0"

8TH FLOOR
70' - 0"

7TH FLOOR
60' - 0"

6TH FLOOR
50' - 0"

5TH FLOOR
40' - 0"

4TH FLOOR
30' - 0"

3RD FLOOR
20' - 0"

2ND FLOOR
10' - 0"

EXISTING ENTRANCE TO EXISTING RAMP TO REMAIN
REPLACE EXISTING DOOR TO MATCH EXISTING

1 EAST ELEVATION FACING N. WATTS ST.
1" = 20'-0"



STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102
T 215.584.1007
T 215.584.3011
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER RA-010532-X

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:

3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:

THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:

EXTERIOR ELEVATION -
NORTH

SGRA Project No.: 18-964

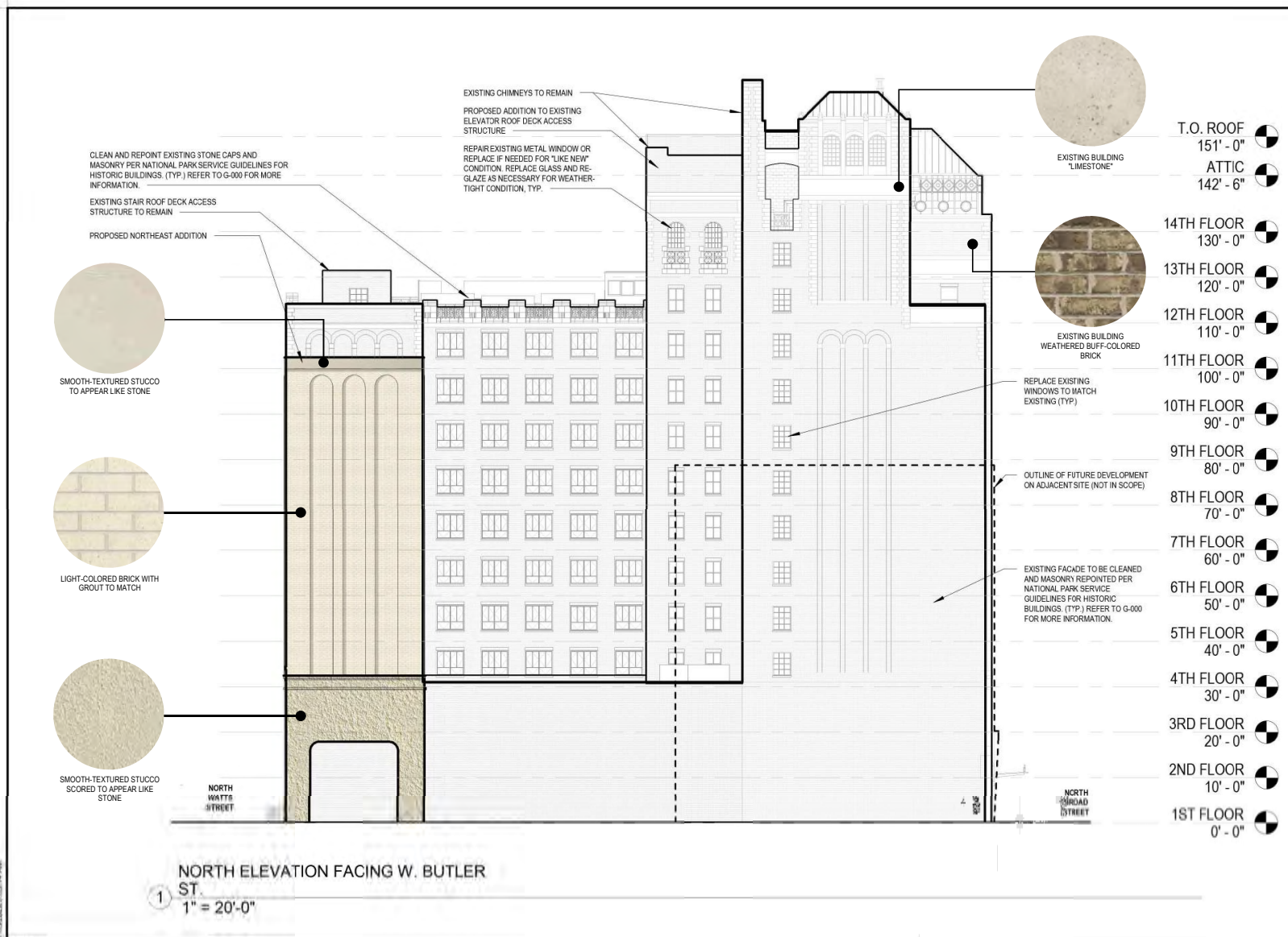
Drawn by Author

Checked by Checker

Scale 1" = 20'-0"

Drawing Number:

PHC-07.4





STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010333-1

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
BUILDING SECTION

SGRA Project No.: 18-964



















Drawn by Author

Checked by Checker

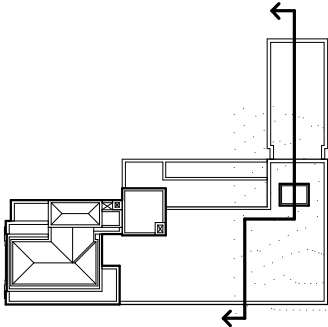
Scale As indicated

Drawing Number:

PHC-08

- T.O. ROOF 151' - 0" 
ATTIC 142' - 6" 
14TH FLOOR 130' - 0" 
13TH FLOOR 120' - 0" 
12TH FLOOR 110' - 0" 
11TH FLOOR 100' - 0" 
10TH FLOOR 90' - 0" 
9TH FLOOR 80' - 0" 
8TH FLOOR 70' - 0" 
7TH FLOOR 60' - 0" 
6TH FLOOR 50' - 0" 
5TH FLOOR 40' - 0" 
4TH FLOOR 30' - 0" 
3RD FLOOR 20' - 0" 
2ND FLOOR 10' - 0" 
1ST FLOOR 0' - 0" 
BASEMENT -10' - 6" 
SUB-BASEMENT -24' - 8" 

1 BUILDING SECTION LOOKING WEST
1" = 20'-0"



KEY PLAN (NOT TO SCALE)



VIEW LOOKING NORTHEAST FROM NORTH BROAD STREET
AND WEST AIRDRIE STREET



**STUART G. ROSENBERG
ARCHITECTS, P.C.**

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010532-4

**PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022**

Revisions:

Owner Information:
**3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103**

Project Information:
**THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140**

Drawing Title:
RENDERINGS

SGRA Project No.: 18-964

Drawn by: Author

Checked by: Checker

Scale

Drawing Number:

PHC-09



STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010332-X

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
RENDERINGS

SGRA Project No.: 18-964

Drawn by Author

Checked by Checker

Scale

Drawing Number:

PHC-10



VIEW NORTHEAST LOOKING FROM NORTH BROAD STREET
AND WEST AIRDRIE STREET CLOSE UP



AERIAL VIEW OF PROPOSED TWELFTH FLOOR
ROOF TERRACE LOOKING NORTH



**STUART G. ROSENBERG
ARCHITECTS, P.C.**

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010533-X

**PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022**

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
RENDERINGS

SGRA Project No.: 18-964

Drawn by: Author

Checked by: Checker

Scale:

Drawing Number:

PHC-11



STUART G. ROSENBERG
ARCHITECTS, P.C.

ARCHITECTURE AND DESIGN

230 SOUTH BROAD STREET
MEZZANINE SUITE 30
PHILADELPHIA, PA 19102

T: 215.584.1007
T: 215.584.3311
WWW.SGRA.COM

STUART G. ROSENBERG, ARCHITECTS, P.C.
PA REGISTRATION NUMBER 18-010332-4

PHILADELPHIA
HISTORICAL COMMISSION
11.07.2022

Revisions:

Owner Information:
3701 NORTH BROAD LLC
1650 MARKET STREET
SUITE 3600
PHILA., PA 19103

Project Information:
THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

Drawing Title:
RENDERINGS

SGRA Project No.: 18-964

Drawn by Author

Checked by Checker

Scale

Drawing Number:

PHC-12



VIEW OF FUTURE DEVELOPMENT ON ADJACENT SITE (NOT
IN SCOPE) FROM NORTH BROAD STREET AND BUTLER
STREET LOOKING SOUTHEAST

PHC, PHMC, and NPS approval
of north wall removal at 3701 N. Broad Street
(select pages from approvals)



Historic Property – Approval Documentation Form

This form must accompany any eCLIPSE application for a historic property that does not require drawings.

Project Address & Scope

Applicant: Enter the location of work and scope for the permit. Then email form to Historical Commission staff at preservation@phila.gov

State the legal address of the historically designated property and describe the proposed work in detail. Attach additional sheets if needed.

1

Address: 3701 N. Broad St. Philadelphia, PA 19140

Project Scope: Requesting historical approval to locate a double hoist on the east side of the north facade. This hoist will require a 15'-0" wide opening in the existing wall, on each of the 11 stories of the building. Once the hoist is no longer required for construction, these openings will be infilled with buff-colored brick to match existing brick. We will maintain the existing coining on the corners of this facade; and preserve some of the ornamental flush brick details on this wall, as well as the precast stone bands and impost blocks, as outlined on sheet "A-HOIST".

Applicant Declaration & Signature

By submitting this form, the undersigned hereby agrees to comply with all conditions selected by PHC staff below. Failure to comply may result in processing delays or permit revocation.

Name: Stuart G. Rosenberg (please print) Title: Architect/Principal

Signature: Stuart G. Rosenberg Date: 3/10/2022

PHC Conditions (for PHC staff use only)

Each selected condition is a requirement for this permit application.

Conditions must be complied with before issuance of any Certificate of Approval or Certificate of Occupancy.

Where review of shop drawings or a field sample is required the responsible party must coordinate review with Historical Commission staff by emailing preservation@phila.gov.

2

Restrictions & Limitations:

- ☐ No exterior work permitted as part of this permit.
- ☐ No work to the windows and / or exterior doors as part of this permit.
- ☒ No work to the front façade as part of this permit.

PHC Staff Review of the following required for final approval:

- ☐ Window shop drawings
- ☐ Door shop drawings
- ☐ Shutter shop drawings
- ☐ Roof specifications and sample
- ☐ Cornice details and shop drawings
- ☒ Brick, stone or other masonry sample required in the field
- ☒ Masonry pointing sample required in the field
- ☐ Masonry cut-out sample required in the field
- ☐ Masonry cleaning sample required in the field
- ☐ Paint removal sample (3 ft x 3 ft) required in the field
- ☐ Signage, awning structure and / or light fixture details.
- ☐ _____ specifications.
- ☐ _____ to be salvaged and re-installed.
- ☐ Other:

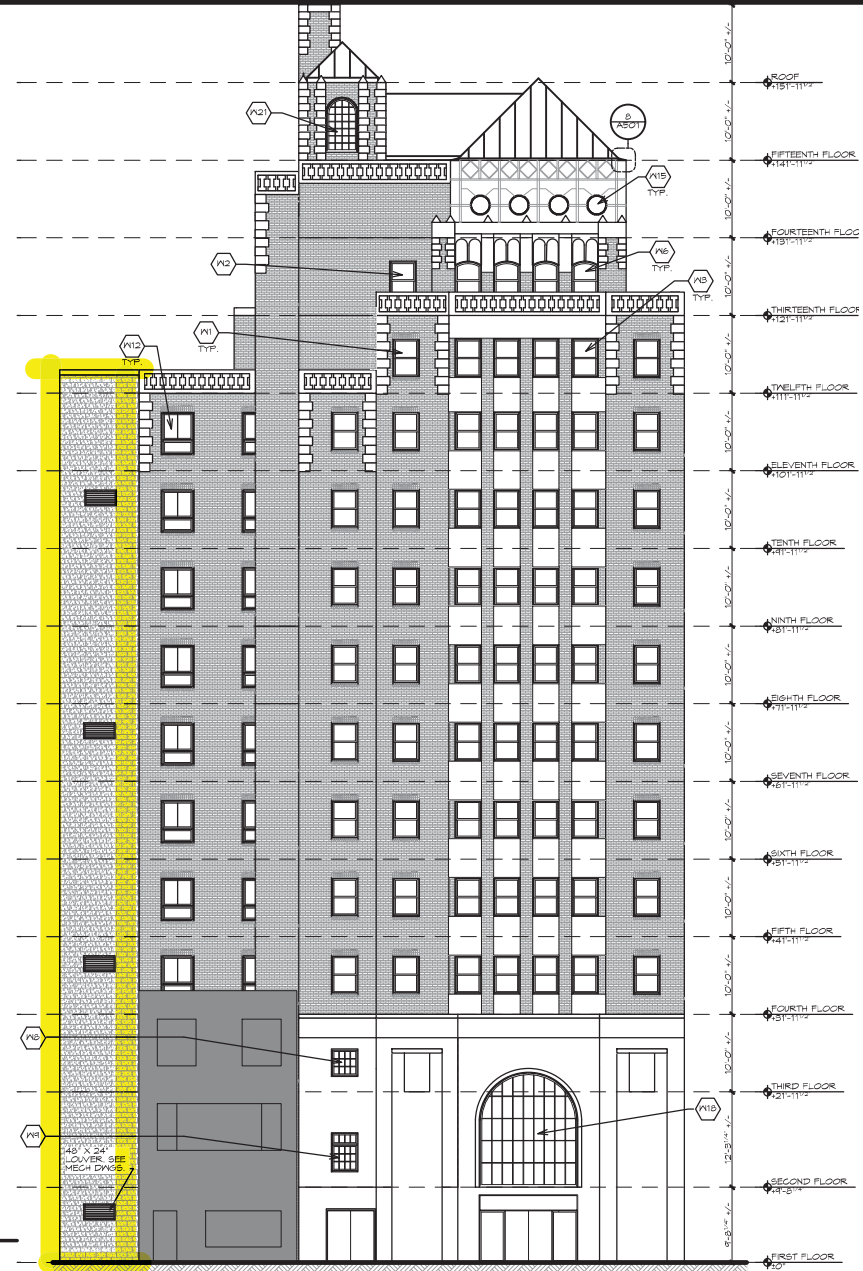
Philadelphia Historical Commission Approval (for PHC staff use only)

Signature: 

Approval Date: 3/10/2022

SEE DOCUMENTS PREPARED BY JOSEPH B. CALLAGHAN, INC CONSULTING ENGINEERS FOR MASONRY REPAIR AND ALL EXTERIOR FACADE SCOPE OF WORK.

1 WEST ELEVATION (FRONT)
SCALE: 1/16" = 1'-0"



Date:	08-08-2017
Job #:	14106
Drawn:	
Mngr:	
Revision	Date

PHC SUBMISSION - AUGUST 2017
BEURY BUILDING - SHIFT CAPITAL
3701 NORTH BROAD STREET
PHILADELPHIA, PA 19140

HC.12
FRONT (WEST)
ELEVATION

HISTORIC PRESERVATION
CERTIFICATION APPLICATION - PART 2

The Beury Building
Property Name
3701-03 North Broad Street, Philadelphia, PA
Property Address

NPS Project Number: _____

other floors there are dedicated elevator lobbies extending north from the main corridor on each floor. Again, it was not possible to survey the interior of the elevator cabs but it is likely they have been heavily damaged or destroyed.

Photograph(s): 20, 22, 29, 52, 53, 69, 89, 95, 101, 102, 113 Drawing(s): E.1 – E.14, A.1 – A.9

Work Description: The existing stair configuration does not meet code, mainly due to the lack of a fire rated path to connect the stairways #2 and #3 (as described above, stairway #2 only provides access between the basement and 2nd floor while stairway #3, which rises nearly the full height of the building beginning at the 2nd floor, does not continue down to the 1st floor). Because it is not possible to build a code-mandated fire rated path to connect these two stairways due to the presence of the adjacent elevator shaft, both will be removed and a new stair will be built in the location of stairway #3. The new stairway will rise from the basement to the 13th floor, providing a single, continuous means of egress for all floors. It was decided to replace the entire stair – rather than simply extending the existing stairway downward to the basement – because the existing stair is significantly damaged in many areas as seen in photos #54, 103, and 115. As the new stair will extend down to the basement, stairway #1, which provides access only between the 1st floor and basement, will be removed to create additional leasable square footage in the commercial space on the 1st floor.

Additionally, stairway #4 (the existing utilitarian concrete stair near the northeast corner of the building) will be removed to create an additional one-bedroom apartment (without removing the stair, this additional unit would not be possible). As the stair consists only of concrete treads and risers and the surrounding walls have been largely destroyed, its removal will not negatively affect the integrity of the building's circulation plan.

In order to provide the code-mandated second means of egress, a new stair tower will be constructed on the exterior at the far east end of the north elevation. This location was chosen due to the fact that the existing corridor plan will not have to be altered to connect to the stair, because it is one of the least visible parts of the building, and because there are no existing windows on this part of the north elevation. The new stair tower, which will be clad in buff brick to match the existing brick, will measure approximately 12'8" by 26'4" and will rise an additional story above the 11th floor. The additional story is required so that the stair can serve as the second means of egress for the 12th floor units at the west end of the building (as described in *Section 8: Roof*, an enclosed corridor will be constructed on the 12th floor roof to connect these units to the new stair). On the east side, the stair tower will be recessed from the east elevation by several feet to differentiate the new construction from the old.

The larger of the two elevator shafts (toward the center of the north elevation) will be retained and two new elevator cabs with associated machinery will be installed. The elevators will have brushed aluminum doors and casing on all floors. As the other elevator shaft (near the west end of the north elevation) is too small to serve a modern residential building of this size, and because it occupies valuable floor space, it will be removed. Without removing this secondary elevator shaft, it would not be possible to create a one-bedroom unit in this part of the plan.

12. HVAC

Description: Little evidence of the original heating system can be found, but due to the period in which it was constructed, it is likely the building was originally heated by radiators which have all been removed by scavengers over the year. In some locations, a modern exposed ducted system was installed, but this is not a typical treatment. It does not appear that the building ever had an air conditioning system.

Photograph(s): N/A

Drawing(s): A.3, A.10



Pennsylvania State Historic Preservation Office

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION

January 23, 2017

Attn: Ms. Maria Sourbeer
3701 North Broad LLC
3525 I Street
Philadelphia, PA 19134

Re: Part 2 Review
Beury Building
Philadelphia, PA

Dear Ms. Sourbeer:

Thank you for your submission. PHMC has completed our review of your Part 2 Application submitted for the above referenced project. Your project was forwarded to the National Park Service with a recommendation of Approval. A copy of our review sheet is attached for your review. Please remember that our review is a recommendation and the National Park Service determines whether the proposed rehabilitation meets the Secretary of the Interior's *Standards for Rehabilitation*.

The National Park Service review should take at least 30 days. NPS cannot review your Part 2 application until the review fee is paid. Upon receipt of the Part 2 application, NPS will send the fee invoice electronically to the Applicant email address. Payment is made through Pay.gov, the Department of the Treasury's electronic payment system. Upon the completion of their review, NPS will send you a letter regarding their decision. If you have any questions concerning the review sheet, please contact me at (717) 783-6012 or midoyle@pa.gov.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Scott Doyle', is positioned above the printed name.

Scott Doyle
Pennsylvania State Historic Preservation Office
Pennsylvania Historical and Museum Commission

Enclosure

Cc: Robert Powers, Powers and Company, Inc.
Jonathan Farnham, Philadelphia Historical Commission
Cory Kegerise, PHMC

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

CONDITIONS SHEET
Historic Preservation Certification Application

Property name: Beury Building

Project Number: 35538

Property address: 3701 North Broad Street, Philadelphia, PA

Page 2 of 2

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation only if the following condition(s) is/are met:

Conditions and comments added by the NPS

New stair tower. The distinctive projecting terra cotta corner detail at the roofline and at least one of the decorative terra cotta panels directly to the east of it must remain visible and not be covered by the new stair tower. The stair tower will likely need to be minimized or shifted to the east in order to meet this condition.

Rooftop catwalk. The catwalk must be an unobtrusive feature that does not impact the building's distinctive, character-defining roofline. The Part 2 describes it only as "glass" and "enclosed" and provides no details on its total height (enclosure and any platform raised above the roof), materials, and details. We cannot determine whether this condition will be met because we cannot evaluate the impact of the catwalk on the historic building's roofline.

Perimeter walls. The total increase in the depth of the walls due to furring may not exceed three inches, in order to retain the relationship between the windows and the walls.

Penthouse cladding. We concur that buff brick is a reasonable choice for cladding the penthouse. Metal cladding is unlikely to meet the Standards because it would introduce a new, incompatible material. Replicating the entirely missing terra cotta is not a requirement for certification of the rehabilitation.

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing prior to execution to ensure that the proposed project continues to meet the Standards.

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed in the box above are met.

3/6/2017
Date

Shirley A. Saffner
National Park Service Signature

NPS







[illegible]

THE BEURY BUILDING
3701 N. BROAD ST.
PHILA., PA 19140

2004 Fingerprint	18
Drawn by	Ad
Checked by	Chad
Scale	252" x 7"
Drawing Number	



NOT FOR CONSTRUCTION