ADDRESSES: 705, 711, 713, AND 717 PINE ST

Proposal: Construct rear additions, replace windows

Review Requested: Final Approval Owner: 705 717 Pine Street Associates

Applicant: Carolina Pena, Parallel Architecture Studio

History: 1835

Individual Designations: 4/30/1957

District Designations: Society Hill Historic District, Contributing, 3/10/1999

Staff Contact: Kim Chantry, kim.chantry@phila.gov

OVERVIEW:

This application proposes to construct rear additions, replace windows, and install new roofing at 705, 711, 713, and 717 Pine Street. The roofing scope can be approved by the staff. The staff can also approve window replacement, provided shop drawings accurately depict the new windows within the existing masonry openings. The front façade windows and any windows at the rears or sides that are visible from the public right-of-way should match the appearance of the historic windows.

The rear ell of 705 Pine Street is not visible from Delancey Street, which runs along the rears of these properties, but it is visible from S. 7th Street at the side (Figure 5). The scope of work proposed for 705 Pine Street includes removal of the existing rear ell roof and the construction of a one-story addition on the ell and a three-story addition at the rear of the ell, with vinyl or fiberglass windows. Work to the main block includes wood window replacement and roofing.

The properties at 711, 713, and 717 Pine Street run through to Delancey Street at the rear. A similar scope is proposed for all three properties. Three-story additions would be constructed at the rears of the Pine Street buildings. The existing garage and roll-up doors fronting Delancey Street would be retained. The existing rear garages are all later construction. Windows and roofing would be replaced at these three properties as well.

SCOPE OF WORK:

- Construct rear additions on four properties.
- Replace windows on four properties.
- Install new roofing on four properties.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
 - Replacement of front façade features dating to a 1973 renovation, such as window sash to match the historic appearance, satisfies Standard 6.
- Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

 The proposed rear additions are incompatible with the streetscape in massing, size, scale, and architectural features. The proposed rear additions do not satisfy Standard 9.

STAFF RECOMMENDATION: Denial, pursuant to Standard 9.

ADDITIONAL DOCUMENTATION:

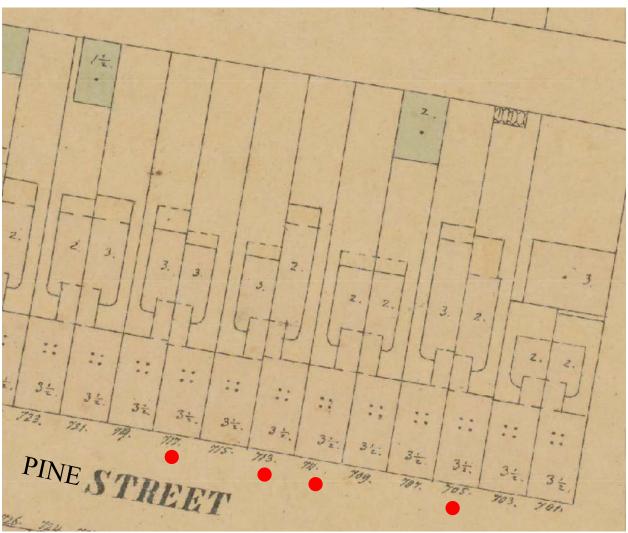


Figure 1. 1858-1860 Hexamer & Locher Philadelphia Atlas, showing historic configuration of buildings.



Figure 2. Aerial showing location of 705 Pine Street.

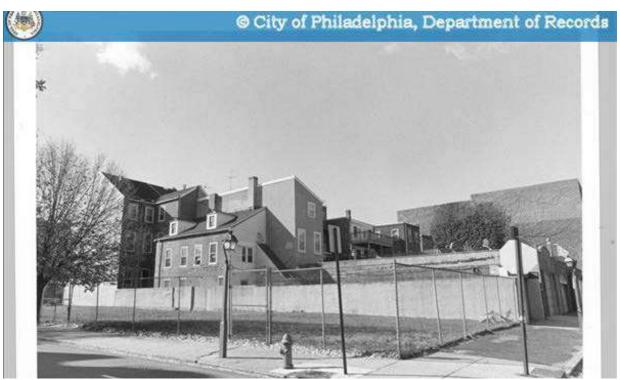


Figure 3. 705 Pine Street, rear view in 1999 from S. 7th Street. Note that this view is no longer available owing to new construction.



Figure 4. 705 Pine Street, front façade.



Figure 5. View from S. 7th Street of the historic rear ell at 705 Pine Street.



Figure 6. Aerial showing location of 711 Pine Street.



Figure 7. View of 711 Pine Street at rear on Delancey Street.



Figure 8. 711 Pine Street, front façade.



Figure 9. Aerial showing location of 713 Pine Street.



Figure 10. View of 713 Pine Street at rear on Delancey Street.

705, 711, 713, and 717 Pine Street Philadelphia Historical Commission September/October 2022



Figure 11. 713 Pine Street, front façade.



Figure 12. Aerial showing location of 717 Pine Street.



Figure 13. View of 717 Pine Street at rear on Delancey Street.

705, 711, 713, and 717 Pine Street Philadelphia Historical Commission September/October 2022



Figure 14. 717 Pine Street, front façade.



Figure 15. 717 Pine Street, 1941.



Figure 16. Overall view of project locations along Delancey Street.



September 9, 2022

Philadelphia Historical Commission

RE: 705 Pine Street CP-2022-004785

To Whom it May Concern,

We are pleased to present to you the application for your approval for window replacement, interior renovation and rear addition to the historically designated site at 705 Pine Street, Philadelphia PA 19106 located in the Society Hill Historic District.

Property Owner: 705 717 Pine Associates

Contact: Robert Donatucci rdrd@comcast.net cell: 610-883-0800

> Carolina Pena (Architect) Parallel Architecture Studio 230 S Broad Street 17 floor, Philadelphia PA 19102

office@prll.studio cell: 267-271-5799

This structure is currently a multi-family house that will be fully renovated and include an addition to house a total of 6-families.

We are proposing to upgrade the majority of the existing windows to make them compliant with the current energy code. The windows in the front facade will be replaced with wood windows with mullions and trim mimicking the existing historical windows. The windows on the rear and sides will of modern materials in a color complimentary to the front windows. We look to the Historical Commission for guidance on grille patterns and trim requirements.

The proposed 3-story rear addition will not be visible from Pine or Delancey Street since there are abutting buildings on the sides and the rear. We look to the Historical Commission for guidance on the rear addition finishes.

Please feel free to reach out for any questions or recommendation you may have. Office@prll.studio 267-271-5799

Respectfully,

Carolina Peña, AIA

GENERAL NOTES

GENERAL NOTES:

- 1. ALL WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, & LOCAL BUILDING CODES.
- 2. ALL CONTRACTOR(S) PERFORMING WORK SHALL HAVE APPLICABLE LICENSES.
- 3. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING BUILDING PERMITS UNLESS NOTED OTHERWISE (U.N.O.).
- 4. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING MECHANICAL, ELECTRICAL, PLUMBING & SPRINKLER PERMITS U.N.O.
- 5. CONTRACTOR(S) IS TO HAVE APPLICABLE INSURANCE AS REQUIRED BY THE BUILDING OWNER AND MUNICIPALITY.
- 6. CONTRACTOR(S) IS RESPONSIBLE FOR NOTIFYING THE BUILDING INSPECTOR A MINIMUM OF 24 HOURS PRIOR TO COMMENCING WORK. CONTRACTOR(S) IS RESPONSIBLE FOR CONTACTING THE BUILDING INSPECTOR FOR ANY / ALL REQUIRED INSPECTIONS FOR THE DURATION OF THE PROJECT.
- 7. CONTRACTOR(S) IS TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK, NOTIFY ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND ARCHITECTURAL DOCUMENTS.
- 8. DO NOT SCALE DRAWINGS.
- 9. CONTRACTOR(S) IS RESPONSIBLE FOR PROVIDING REQUIRED SITE FENCING AROUND PERIMETER OF JOB SITE AS PER OSHA AND MUNICIPALITY REQUIREMENTS AND GUIDELINES.
- 10. CONTRACTOR(S) IS RESPONSIBLE TO ACQUIRE ANY / ALL STREET & SIDEWALK CLOSURE PERMITS AS WELL AS ANY REQUIRED DUMPSTER PERMITS.
- 11. PROVIDE PORTABLE JOB TOILET AND SECURITY FOR THE DURATION OF THE PROJECT (AS REQUIRED BY OWNER).
- 12. CONTRACTOR(S) TO PROVIDE DAILY CLEAN-UP TO SITE DUMPSTER.
- 13. CONSTRUCTION INDICATED AS FIRE RATED SHALL CONFORM TO MATERIALS AND METHODS OF TESTED SYSTEMS.
- 14. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR(S) MEANS AND METHODS OF CONSTRUCTION (UNDERPINNING, SHORING, SCAFFOLDING ETC.).

SITE WORK:

- 1. USE OF THE PENNSYLVANIA ONE-CALL SYSTEM, INC. IS REQUIRED PRIOR TO ANY SITE WORK / EXCAVATION.
- 2. CONTRACTOR IS TO OBTAIN A SEALED COPY OF THE GEOTECHNICAL REPORT FOR THE PROJECT SITE, CONTACT ARCHITECT IMMEDIATELY IF A COPY IS NOT PROVIDED.
- 3. EXCAVATION IS TO BE DONE IN ACCORDANCE WITH ARCHITECTURAL SEALED DRAWINGS AND THE SITE'S GEOTECHNICAL REPORT.
- 4. DO NOT EXCAVATE BELOW ADJACENT FOUNDATIONS AND / OR FOOTINGS UNLESS UNDERPINNING HAS BEEN SPECIFIED AND PERMITTED. CONTRACTOR SHALL FOLLOW UNDERPINNING SEQUENCES AND DIMENSION(S) AS INDICATED IN THE PERMIT DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE STRUCTURAL ENGINEER BEFORE AND DURING UNDERPINNING(S) FOR OBSERVATION.
- 5. SOIL BEARING STRENGTH TO BE IN ACCORDANCE WITH THE SITE'S GEOTECHNICAL REPORT.
- 6. CONTRACTOR(S) IS TO PROVIDE ALL SHEETING & SHORING AS REQUIRED.
- 7. CONTRACTOR(S) IS TO PROVIDE FINAL GRADING AWAY FROM NEW BUILDING AT A MINIMUM OF 8" BELOW ALL WOOD
- 8. PROTECT EXISTING SHRUBS & TREES WITHIN AREAS OF WORK. NOTIFY OWNER OF ANY POTENTIAL HARM TO VEGETATION PRIOR TO COMMENCING WORK.
- 9. VERIFY WITH OWNER CONSTRUCTION STAGING & CONSTRUCTION DELIVERY LOCATIONS CONTRACTOR(S) TO INSURE PROPER PERMITS ARE OBTAINED FOR UTILIZING THE RIGHT OF WAY.

WEATHER BARRIERS AND FLASHING

- 1. ENTIRE BUILDING ENVELOPE SHALL BE COVERED WITH AN APPROVED WEATHER BARRIER. THE BARRIER SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION; ENSURE PROPER LAPPING OF MATERIAL SECTIONS.
- 2 ALL WINDOW AND FXTFRIOR DOOR ASSEMBLIES SHALL RECEIVE BOTH HEAD FLASHING AND SILL FLASHING AND OR SILL PANS. CONTRACTOR SHALL USE FLASHING MATERIALS THAT ARE COMPATIBLE WITH ADJACENT BUILDING MATERIALS. NOTE: APPLYING BUTYLE TAPE(S) AROUND THE PERIMETER OF DOOR AND WINDOW ASSEMBLIES DOES NOT QUALIFY AS INSTALLING FLASHING(S). CONTRACTOR SHALL INSURE THAT WHEN INSTALLING FLASHING THAT ADJACENT MATERIALS ARE PROPERLY LAPPED WITH INSTALLED FLASHING MEMBERS.
- 3. THE CONTRACTOR(S) SHALL INSURE THAT ALL WINDOW AND DOOR ASSEMBLIES ARE INSTALLED PER THE MANUFACTURERS INSTALLATION GUIDES AND RECOMMENDATIONS

INTERIOR FINISHES:

- 1. ALL INTERIOR FINISH TO BE 1/2" GYPSUM WALL BOARD U.N.O. (IE. @ RATED ASSEMBLIES) FILL, SPACKLE, SAND AND PRIME ALL NEW DRYWALL WORK IN PREPARATION FOR FINAL FINISH.
- 2. FINISH PAINT TO BE M.A.B., OR APPROVED EQUAL, ACRYLIC LATEX. ALL NEW INTERIOR AND EXTERIOR WALLS AND CEILINGS TO RECEIVE ONE COAT PRIMER AND MINIMUM 2 COATS FINISH.
- 3. PROVIDE CEMENTITIOUS BACKER-BOARD AS REQ'D AT ALL AREAS OF MARBLE/GRANITE/ TILE WORK.
- 4. ALL BATHROOMS AND OTHER WET AREAS TO RECEIVE MOISTURE / MILDEW RESISTANT GYPSUM WALL BOARD.

707 PINE ST

(NOT IN THE SCOPE OF WORK)

66' - 10''

705 PINE ST

EXISTING 3-STORY + ATTIC & BASEMENT BUILDING

50' - 3"

701 PINE ST

(NOT IN THE

SCOPE OF WORK)

- 5. VERIFY ALL CARPETING AND PADDING WITH OWNER. PROVIDE SAMPLES AS REQUIRED.
- 6. VERIFY ALL HARDWOOD FINISH SPECIFICATIONS WITH OWNER.
- 7. OWNER TO APPROVE ALL FINAL FINISHES AND COLORS.

EXISTING STEPS

11' - 2"

TO REMAIN

EXTERIOR FINISHES

- 1. ALL EXTERIOR FINISHES SHALL PROVIDE FOR DRAINAGE AT THE LOWEST POINT OF THE FINISH SYSTEM/ MATERIAL. INSURE PROPER LAPPING AND FLASHING(S) BETWEEN FINISH SYSTEM(S)
- 2. NEW MASONRY FINISH TO BE AS PER CONSTRUCTION DOCUMENT NOTES & DETAILS; VERIFY FINISH STYLE, TYPE & COLOR WITH OWNER.
- 3. NEW EXTERIOR TRIM WORK TO BE AS PER CONSTRUCTION DOCUMENT NOTES AND DETAILS.
- 4. NEW WINDOWS SHALL BE COORDINATED WITH THE CONSTRUCTION DOCUMENTS, NOTES AND DETAILS. NOTE: PURCHASED WINDOW(S) AND EXTERIOR DOOR(S) SHALL BE COORDINATED WITH THE DIMENSIONS ON THE CONSTRUCTION DOCUMENTS. ALL GLAZING(S) IN DOORS AND EXTERIOR WINDOWS SHALL BE INSULATED WITH A LOW E COATING(S).
- 5. ALL EXTERIOR CEILINGS TO HAVE BATT INSULATION MINIMUM R-38. ALL EXTERIOR STUD WALLS TO HAVE BATT INSULATION MINIMUM R19.
- 6. ROOFING SHALL BE ENERGY STAR RATED, HIGHLY REFLECTIVE.

BATHROOMS:

- 1. CERAMIC TILE FLOOR(S) SET IN MASTIC ON 3/8" CEMENT BD. ON 3/4" PLY-WD. SUB FLR., FLASH PATCH CEMENT BD. SUBSTRATE FOR PROPER CERAMIC CONDITIONS, PROVIDE GROUT SEALER(S)
- 2. ALL GYPSUM BD. USED IN TOILET ROOM LOCATION SHALL BE MIN. 1/2" MOISTURE RESISTANT GYP. BD. W/ ANTI-FUNGAL PAINT FINISH

ROOFING:

- ROOF SHEATHING TO BE 3/4" EXTERIOR GRADE T&G PLYWOOD SHEATHING. HOLD SHEATHING 2" CLEAR AT VENTING LOCATIONS.
- PROVIDE ALUMINUM "H" CLIPS AS REQUIRED.
- LOW PITCH ROOF SYSTEM(S) TO BE MODIFIED BITUMINOUS 3- PLY BUILT-UP ROOF SYSTEM W/ SEMI-GRANULAR CAP SHEET UNO. SYSTEM TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
- PROVIDE ICE AND SNOW SHIELD'S MIN. 48" FROM ALL EAVES, ALL VALLEYS W/ MIN. 30" LAP FROM VALLEY, ALL INTERSECTIONS OF ROOF DECK AND VERTICAL SURFACES.
- ROOF CONTRACTOR TO PROVIDE MIN. .04" ALUM. FLASHING AS INDICATED IN DETAILS AND AT ALL ROOF DECK AND VERTICAL SURFACES, VALLEYS, PENETRATIONS THRU ROOF/ DECK
- ROOFING CONTRACTOR TO BE RESPONSIBLE FOR SEALING ALL PENETRATIONS THRU THE ROOF DECK FOR MECHANICAL PURPOSES
- ROOFING CONTRACTOR TO PROVIDE .04" PRE-FINISHED ALUM. COPING SYSTEM AS INDICATED. PROVIDE ALL ASSOCIATED HARDWARE AND COMPONENTS WITH NON CORROSIVE FASTENERS. ROOFING SHALL BE ENERGY STAR RATED AS HIGHLY REFLECTIVE MODIFIED BITUMEN

HVAC / PLUMBING / ELECTRICAL:

AND FIRE SUPPRESSION WORK.

121' - 9 1/2"

EXISTING STAIR TO

-EXISTING BASEMENT

ACCESS TO REMAIN 53' - 6 1/2"

DN REMAIN

- A SEPARATE PERMIT MUST BE OBTAINED FOR ALL NEW HVAC/PLUMBING AND ELECTRICAL WORK REQUIRED TO COMPLETE THE PROJECT & OBTAIN FINAL C.O.
- LICENSED AND INSURED HVAC CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL. CONTRACTOR TO SUBMIT DESIGN AND SPECIFICATIONS TO BOTH OWNER AND ARCHITECT FOR REVIEW AND APPROVALS. CONTRACTOR TO COORDINATE WITH ARCHITECT REQUIRED CHASES FOR NEW AND RELOCATED SYSTEM(S) PRIOR TO FRAMING PHASE(S). CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS.
- LICENSED AND INSURED PLUMBING CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NEW PLUMBING INDICATED IN RENOVATIONS, AND SHALL PROVIDE REQUIRED DEMOLITION AND COORDINATION OF EXISTING SYSTEMS. CONTRACTOR TO PROVIDE RISER DIAGRAM INDICATING TYPE AND SIZE OF PIPPING. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF OWNERS FINISH (WET) FIXTURES. CONTRACTOR SHALL INFORM BOTH OWNER AND ARCHITECT OF ANY PARTS/ EQUIPMENT REQUIRED FOR INSTALLATION OF ANY UNIT. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS.
- LICENSED AND INSURED ELECTRICAL CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL CONTRACTOR TO BE RESPONSIBLE FOR PROVIDING SERVICE DURING AND POST DEMOLITION. CONTRACTOR TO PROVIDE DESIGN AND SPECIFICATIONS OF ALL MATERIALS/DEVICES/ FIXTURES AND COMPONENTS WITH PROPOSAL. CONTRACTOR TO BE RESPONSIBLE FOR RECESSED (CAN) LIGHTING INCLUDING FINISH TRIM KITS. VERIFY W/ OWNER COLOR AND STYLE OF FINISH KIT. CONTRACTOR TO PROVIDE CIRCUIT DESIGN TO ARCHITECT. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS.

CODE SUMMARY					
BUILDING CODE	PHILADELPHIA BUILDING CODE 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL EXISTING BUILDING CODE				
ENERGY EFFICIENCY	2018 INTERNATIONAL ENERGY CONSERVATION CODE				
MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE				
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (PER IBC 2018)				
PLUMBING CODE	2018 INTERNATIONAL PLUBMING CODE				
FIRE CODE	2018 INTERNATIONAL FIRE CODE				
LIFE SAFETY CODE	2018 NFPA 101				
*SEPARATE PERMITS ARE REQ	UIRED FOR MECHANICAL, PLUMBING ELECTRICAL				

183' - 3"

29' - 0 1/2"

EXISTING 3-STORY + **BASEMENT BUILDING**

NEW 3RD

FLOOR ROOF

375.89 SF

GENERAL CONTRACTOR RESPONSIBILITY

- 1. GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- 2. NOTIFY THE ARCHITECT IN WRITING OF ANY UNEXPECTED CONDITIONS THAT ARE UNCOVERED AFTER BEGINNING WORK.
- 3. GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE INDICATED.
- 4. CONTRACTOR TO ENSURE THAT ALL WINDOWS ARE PROPERLY CAULKED AND BUILDING IS WATER AND AIR SEALED.
- 5. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- 6. GENERAL CONTRACTOR SHALL OBTAIN CONSTRUCTION PERMIT, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE, AND ASSIST WITH THE CERTIFICATE OF OCCUPANCY AS REQUIRED UNLESS OTHERWISE NOTED.
- 7. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS OTHER THAN GENERAL BUILDING PERMITS REQUIRED FOR SUCH WORK SHOWN ON THE DRAWINGS. SUCH PERMITS SHALL BE OBTAINED BEFORE STARTING THE WORK. SEPARATE PERMITS ARE REQUIRED FOR THE INSTALLATION OF ALL EXTERIOR SIGNAGE. THE CONTRACTOR SHALL ACQUIRE THESE PERMITS AND PAY ALL REQUIRED FEES PRIOR TO THE SIGNAGE INSTALLATION.
- 8. GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY FACILITIES DURING CONSTRUCTION FOR THE COMPLETE BUILDINGS OPERATION. THIS SHALL BE TEMPORARY ACCESS, EXIT, CORRIDORS, LIGHTING, FIRE PROTECTION, MAIN CORRIDOR PROTECTION, A/C & ALL INFRASTRUCTURE REQUIRED DURING THE FINAL STORE OPERATION.
- 9. GENERAL CONTRACTOR SHALL REMOVE ALL TEMPORARY ITEMS AT THE COMPLETION OF WORK AS REQUIRED.
- 10. GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS
- 11. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND REQUIREMENTS DURING CONSTRUCTION.
- 12. AFTER COMPLETION, GENERAL CONTRACTOR SHALL CLEAN WHERE EVER SUCH CLEANING IS REQUIRED, INCLUDING AREAS OF THE BUILDING MADE DIRTY BY CONSTRUCTION WORK. REMOVE FROM THE PREMISES ALL TRASH, TOOLS, EQUIPMENT AND EXCESS CONSTRUCTION MATERIALS.
- 13. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE TO COMPLETE THE WORK OUTLINED IN THESE DOCUMENTS. INCLUDING ITEMS WITHIN THE SPACE ABOVE THE CEILINGS (STRUCTURAL, CONDUITS, MECHANICAL DUCTS, INSULATION, RECESSED LIGHT FIXTURES, AND CEILING CONSTRUCTION DIMENSIONS, ETC.) THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE FINISHED CEILING HEIGHT ABOVE THE FLOOR AS INDICATED IN THESE DRAWINGS FOR THE VARIOUS ROOMS AND AREAS.
- 14. GENERAL CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS HAVING JURISDICTION WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS.
- 15. CONTRACTOR WILL VERIFY WITH THE CITY AND THE PUBLIC WORKS DEPARTMENT THE LOCATION OF ALL INFRASTRUCTURE, EVEN IF THEY ARE NOT SHOWN ON THE DRAWINGS.
- 16. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY PARTITION WALLS IF THEY ARE REQUIRED DURING THE CONSTRUCTION PROCESS.
- 17. GENERAL CONTRACTOR SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, TOOLS, LABOR AND SERVICES NECESSARY FOR THE COMPLETION OF THE PROJECT.
- 18. GENERAL CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS HAVING JURISDICTION, WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS.
- 19. SHOP DRAWINGS:
- A. SUBMIT A SCHEDULE OF SHOP DRAWINGS PRIOR TO COMMENCING WORK.
- B. SUBMIT SHOP DRAWINGS FOR ARCHITECTS REVISION WHERE REQUIRED BY PLANS AND SPECIFICATIONS, WITH AMPLE TIME TO REVIEW AND APPROVE.
- C. ALL SHOP DRAWINGS, INCLUDING EQUIPMENT AND MATERIALS, SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO ORDERING OF FABRICATION.
- 20. GENERAL CONTRACTOR TO SUBMIT TIMEFRAME & CONSTRUCTION PHASES SCHEDULE.
- 21. GENERAL CONTRACTOR TO PROVIDE OWNER WITH ONE COMPLETE SET OF ACCURATE, FULL-SIZED AS-BUILT RECORD DRAWINGS FOR PERMANENT RECORD.
- 22. FULLY WARRANTY ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FOR 1 YEAR FROM DATE OF ACCEPTANCE. REPAIR OR REPLACE WITHOUT CHARGE TO THE OWNER ALL ITEMS FOUND DEFECTIVE DURING WARRANTY PERIOD. EXTEND ALL MANUFACTURER'S WARRANTIES TO THE OWNER.

DRAWING INDEX					
SHEET NO.	SHEET NAME				
.CS	COVER SHEET				
A000	FIRE & LIFE SAFETY				
A001	ARCHITECTURAL DETAILS				
A002	ARCHITECTURAL DETAILS				
A003	WINDOW & DOOR SCHEDULES				
A100	FLOOR PLANS				
A200	SECTIONS				
A300	ELEVATIONS				
A400	DEMOLITION PLANS				
EC1	ENERGY CONSERVATION				
EC2	ENERGY CONSERVATION				
Н	HISTORICAL - WINDOWS				

50' - 11"

EXISTING 3' ALLEY @GRADE LEVEL

702 DELANCEY ST (NOT IN THE

SCOPE OF WORK)

PROPOSED REAR YARD

OPEN AREA

316 S 7TH ST

(NOT IN THE

SCOPE OF WORK)

17' - 2 1/2"

PROPOSED 3-

STORY ADDITION

- BUILDING LINE @

1ST FLOOR

18' - 0'' 1ST-3RD FLOORS REAR ADDITIÓN

318 S 7TH ST

(NOT IN THE

SCOPE OF WORK)

1ST - 3RD FLOORS REAR ADDITION

CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL



POCS SERIAL NUMBER 2022-1242150

705 PINE ST ADDRESS: PHILADELPHIA, PA 19106

ZONING: RM-1

LOT AREA: 2,911.56 SF OCCUPANCY TYPE: R-2 (MULTI-FAMILY)

CONSTRUCTION TYPE: VB

SCOPE OF WORK: -DEMOLITION AS SHOWN INTHE PLANS. -6 FAMILY DWELLING. -INTERIOR RENOVATION OF EXISTING BUILDING.

-NEW REAR ADDITION 1ST-3RD FLOORS. -NEW REAR DECK @ 2ND & 3RD FLOORS.

BUILDING AREA:

BASEMENT = 1,788.7 SF1ST FLOOR = 2,183.7 SF

2ND FLOOR = 2,183.7 SF

3RD FLOOR = 2,183.7 SF

= 6,551.1 SF GROSS FLOOR AREA: 6,551.1 SF

LIMIT OF DISTURBANCE: 771 SF

PROJECT OWNER/ SITE GOVERNANCE: 705 717 PINE STREET ASSO 2228 HILLTOP VIEW RD

UNIONVILLE PA 19375 ROBERT DONATUCCI

rdrd@comcast.net

610-883-0800 ARCHITECT:

PARALLEL ARCHITECTURE STUDIO 230 S BROAD STREET 17TH FLR PHILADELPHIA PA 19102

CONTACT NAME: CAROLINA PENA AIA. 267-271-5799

STRUCTURAL ENGINEER STRUCTURED

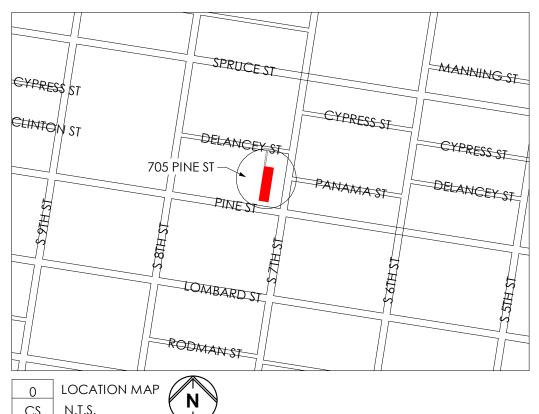
OFFICE@PRLL.STUDIO

CONTACT NAME: ED CAHAN 215-470-9566 ed.structured@gmail.com

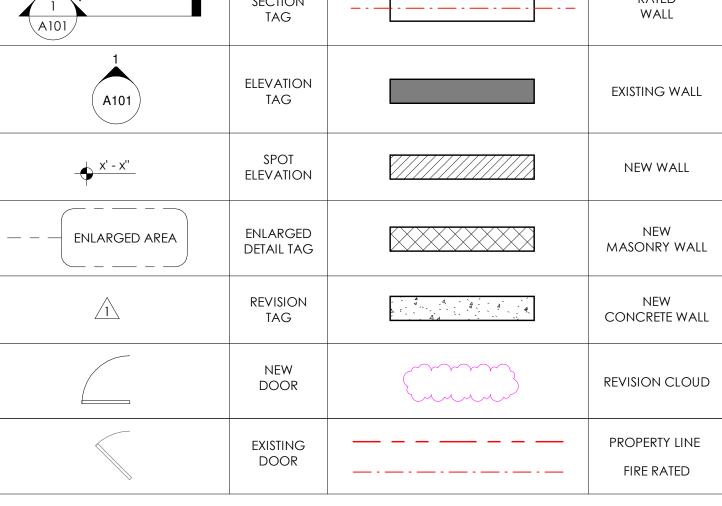
MEP ENGINEER: UR ENGINEERING

CONTACT NAME YANG GAO

267-225-0832 URENGINEERINGLLC@gmail.com



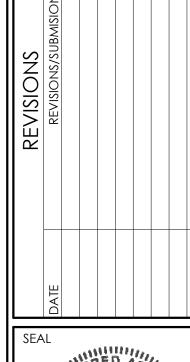
CS N.T.S. SYMBOLS LEGEND **SMOKE DETECTOR** 1 View Name DRAWING (s) (co)CARBON MONOXIDE |A101 | scale DETECTOR (101) **WINDOW** EXHAUST FAN MARK 101-1 **PARTITION** DOOR TYPE UNIT NUMBER RATED SECTION _ - - - - - - - -WALL **ELEVATION** A101 TAG

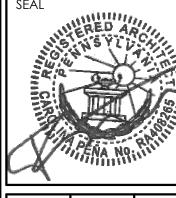


APPROVALS



ARCHITECTURE STUDIO, LLC 230 S. BROAD ST. 17TH FLOOR PHILADELPHIA, PA 19102 OFFICE@PRLL.STUDIO | 215.888.8407





MK ISSUED: 2022-08-23

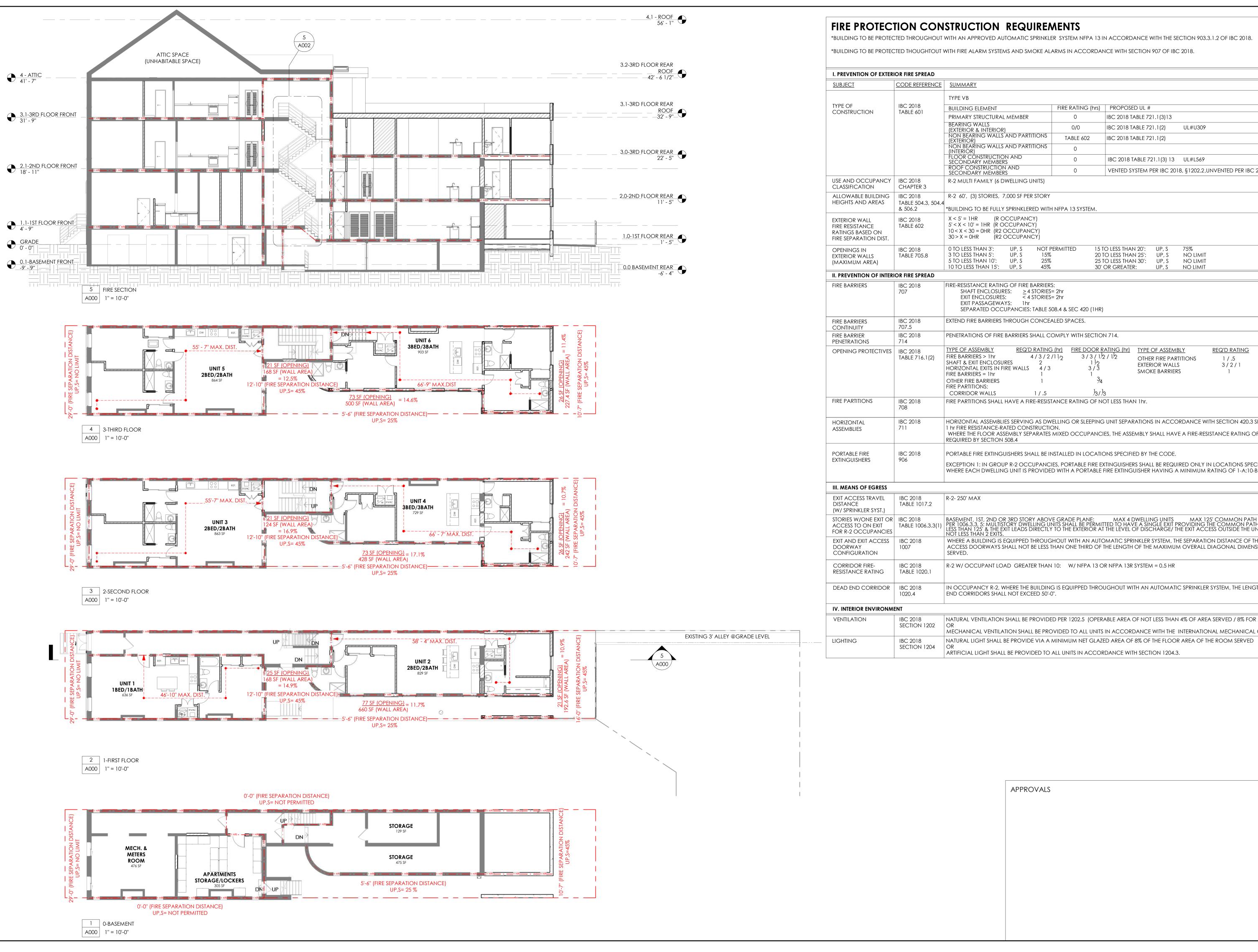
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DRAWING TITLE

COVER SHEET

0/2022 1:38:03 PM

1 Site Plan CS .CS | 1" = 10'-0"



FIRE PROTECTION CONSTRUCTION REQUIREMENTS

*BUILDING TO BE PROTECTED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM NFPA 13 IN ACCORDANCE WITH THE SECTION 903.3.1.2 OF IBC 2018.

*BUILDING TO BE PROTECTED THOUGHTOUT WITH FIRE ALARM SYSTEMS AND SMOKE ALARMS IN ACCORDANCE WITH SECTION 907 OF IBC 2018.

<u>SUBJECT</u>	CODE REFERENCE	SUMMARY					
		TYPE VB					
TYPE OF	IBC 2018	BUILDING ELEMENT	FIRE RATING (hrs)	PROPOSED UL #			
CONSTRUCTION	TABLE 601	PRIMARY STRUCTURAL MEMBER	0	IBC 2018 TABLE 721.1(3)13		,	
		BEARING WALLS (EXTERIOR & INTERIOR)	0/0	IBC 2018 TABLE 721.1(2)	UL#U309		
		NON BEARING WALLS AND PARTITIONS (EXTERIOR)	TABLE 602	IBC 2018 TABLE 721.1(2)			
		NON BEARING WALLS AND PARTITIONS	0				
		(INTERIOR) FLOOR CONSTRUCTION AND	0	IBC 2018 TABLE 721.1(3) 13	B UL#L569		
		SECONDARY MEMBERS ROOF CONSTRUCTION AND	0	. ,	018, §1202.2,UNVENTED PER IBC 2018 PER IBC 20		
USE AND OCCUPANCY CLASSIFICATION	IBC 2018 CHAPTER 3	SECONDARY MEMBERS R-2 MULTI FAMILY (6 DWELLING UNITS)	0	VEIVIED STOTEM LIKE IDC 2	010, § 1202.2,014 ENTED I ENTED 2010 I ENTED 20	7103	
ALLOWABLE BUILDING	IBC 2018	R-2 60', (3) STORIES, 7,000 SF PER STORY					
HEIGHTS AND AREAS	TABLE 504.3, 504.4 & 506.2	*BUILDING TO BE FULLY SPRINKLERED WITH	NIEDA 12 CVCTEAA				
EVIEDIOD WALL	IBC 2018	X < 5' = 1HR (R OCCUPANCY)	INITA ISSISILM.				
EXTERIOR WALL FIRE RESISTANCE RATINGS BASED ON FIRE SEPARATION DIST.	TABLE 602	5' < X < 10' = 1HR (R OCCUPANCY) 10 < X < 30 = 0HR (R2 OCCUPANCY) 30 > X = 0HR (R2 OCCUPANCY)					
OPENINGS IN	IBC 2018			O LESS THAN 20': UP, S	75%		
EXTERIOR WALLS (MAXIMUM AREA)	TABLE 705.8	3 TO LESS THAN 5': UP, S 15% 5 TO LESS THAN 10': UP, S 25%		O LESS THAN 25': UP, S O LESS THAN 30': UP, S	NO LIMIT NO LIMIT		
<u> </u>		10 TO LESS THAN 15': UP, S 45%		OR GREATER: UP, S	NO LIMIT		
II. PREVENTION OF INTER	I						
FIRE BARRIERS	IBC 2018 707	FIRE-RESISTANCE RATING OF FIRE BARRIERS: SHAFT ENCLOSURES: EXIT ENCLOSURES: EXIT PASSAGEWAYS: SEPARATED OCCUPANCIES: TABLE 50	: 2hr : 2hr				
FIRE BARRIERS CONTINUITY	IBC 2018 707.5	EXTEND FIRE BARRIERS THROUGH CONCEA					
FIRE BARRIER PENETRATIONS	IBC 2018 714	PENETRATIONS OF FIRE BARRIERS SHALL COMPLY WITH SECTION 714.					
OPENING PROTECTIVES	IBC 2018 TABLE 716.1(2)	TYPE OF ASSEMBLY FIRE BARRIERS > 1 hr SHAFT & EXIT ENCLOSURES HORIZONTAL EXITS IN FIRE WALLS FIRE BARRIERS = 1 hr OTHER FIRE BARRIERS CORRIDOR WALLS REQ'D RATING 4 / 3 / 2 / 4 / 3 / 2 / 5 / 3 / 2 / 1 / .5		OTHER FIRE PA EXTERIOR WAI SMOKE BARRI	RETITIONS 1 / .5 $\frac{1}{3}/\frac{3}{4}$ LS 3 / 2 / 1 $\frac{1}{2}/\frac{1}{2}/\frac{1}{2}$	4 -	
FIRE PARTITIONS	IBC 2018 708	FIRE PARTITIONS SHALL HAVE A FIRE-RESISTA					
HORIZONTAL ASSEMBLIES	IBC 2018 711	1 hr FIRE RESISTANCE-RATED CONSTRUCTIO	N.		ORDANCE WITH SECTION 420.3 SHALL BE NOT LE		
PORTABLE FIRE	IBC 2018	PORTABLE FIRE EXTINGUISHERS SHALL BE IN	STALLED IN LOCATIO	ONS SPECIFIED BY THE CODI	<u>.</u>		
EXTINGUISHERS	906		ES, PORTABLE FIRE EX	TINGUISHERS SHALL BE REG	uired only in locations specified by the Co	ODE,	
III. MEANS OF EGRESS							
exit access travel distance (w/ sprinkler syst.)	IBC 2018 TABLE 1017.2	R-2- 250' MAX					
STORIES W/ONE EXIT OR ACCESS TO ON EXIT FOR R-2 OCCUPANCIES	IBC 2018 TABLE 1006.3.3(1)	BASEMENT, 1ST, 2ND OR 3RD STORY ABOVE PER 1006.3.3, 5: MULTISTORY DWELLING UN LESS THAN 125' & THE EXIT LEADS DIRECTLY NOT LESS THAN 2 EXITS.	GRADE PLANE: ITS SHALL BE PERMIT TO THE EXTERIOR AT	MAX 4 DWELLING UNITS TED TO HAVE A SINGLE EXIT THE LEVEL OF DISCHARGE/	MAX 125' COMMON PATH OF EGRESS TRAPPROVIDING THE COMMON PATH OF TRAVEL DITHE EXIT ACCESS OUTSIDE THE UNIT PROVIDES A	AVEL ISTAN ACCES	
EXIT AND EXIT ACCESS DOORWAY CONFIGURATION	IBC 2018 1007	WHERE A BUILDING IS EQUIPPED THROUGH	HOUT WITH AN AUTO	MATIC SPRINKLER SYSTEM,	THE SEPARATION DISTANCE OF THE EXIT DOORS JM OVERALL DIAGONAL DIMENSION OF THE AR	OR EX	
CORRIDOR FIRE- RESISTANCE RATING	IBC 2018 TABLE 1020.1	R-2 W/ OCCUPANT LOAD GREATER THAN	10: W/ NFPA 13 O	R NFPA 13R SYSTEM = 0.5 HI	?		
DEAD END CORRIDOR	IBC 2018	IN OCCUPANCY R-2. WHERE THE BUILDING	S IS FOUIPPED THROU	JGHOUT WITH AN AUTOMA	TIC SPRINKLER SYSTEM, THE LENGTH OF THE DEAL		

MECHANICAL VENTILATION SHALL BE PROVIDED TO ALL UNITS IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE

APPROVALS

NATURAL VENTILATION SHALL BE PROVIDED PER 1202.5 (OPERABLE AREA OF NOT LESS THAN 4% OF AREA SERVED / 8% FOR ADJOINING SPACES)

PARALLEL ARCHITECTURE

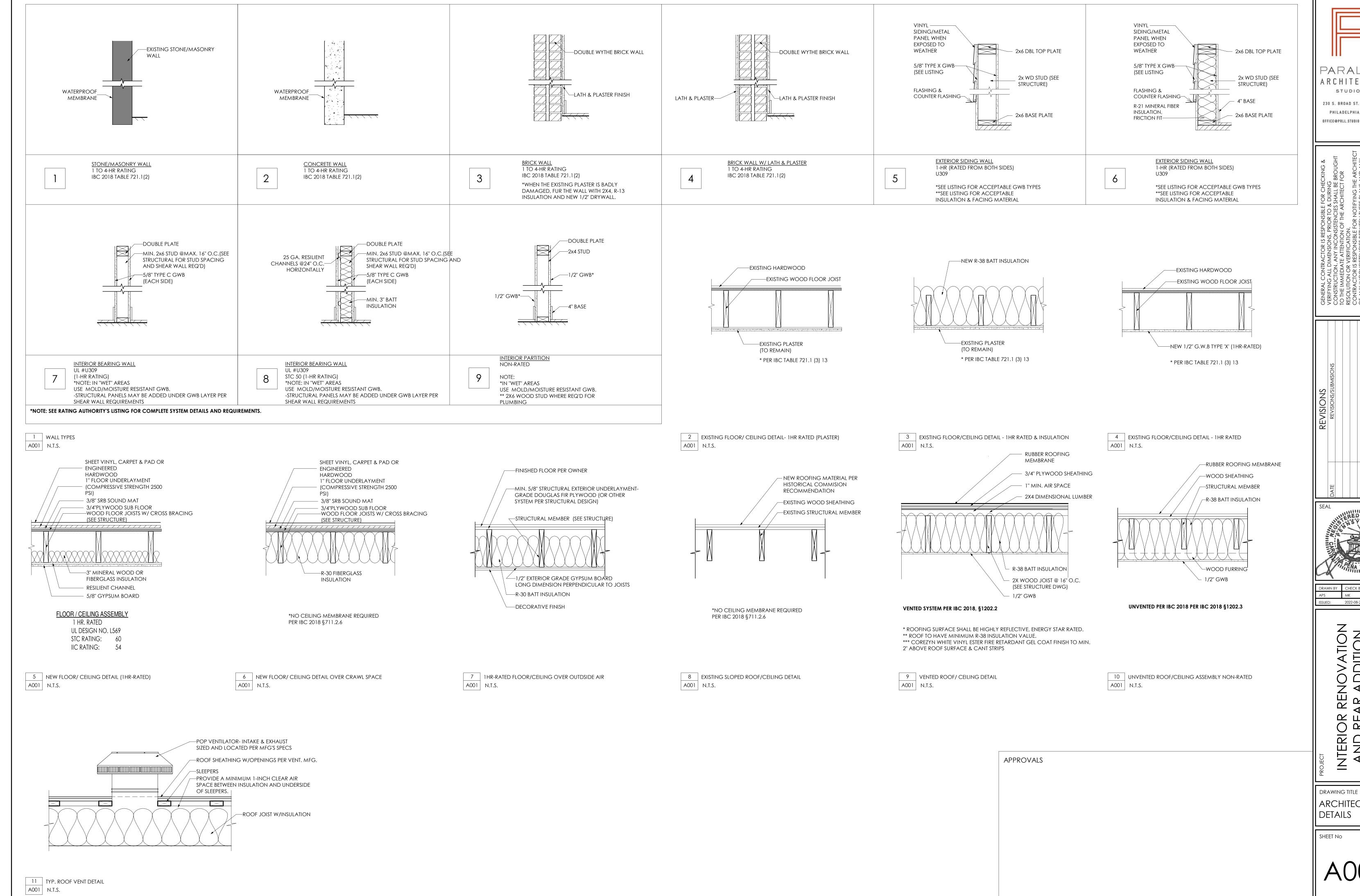
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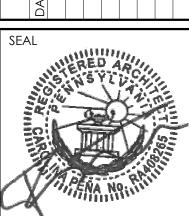
INTERIOR R AND REA 705

DRAWING TITLE FIRE & LIFE SAFETY



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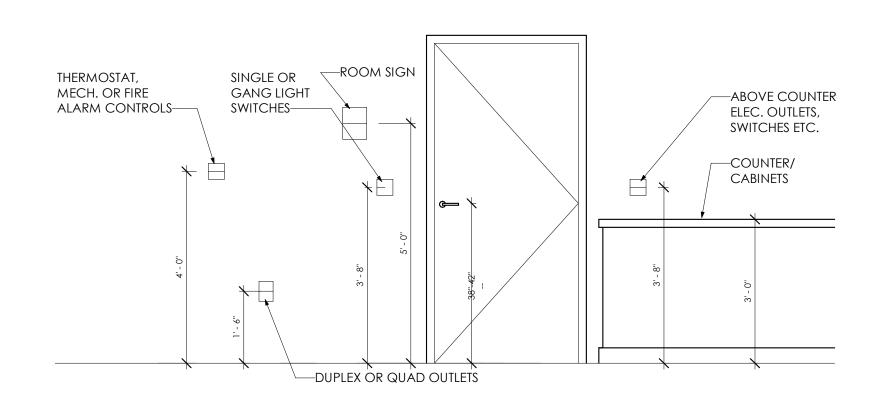


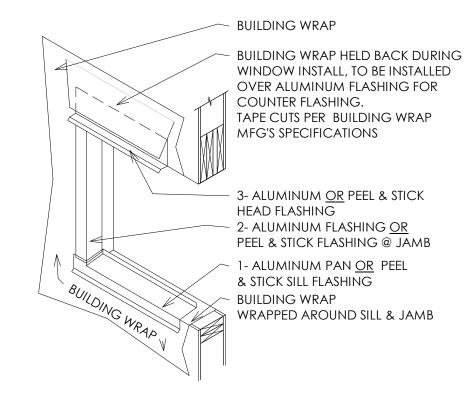
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ARCHITECTURAL

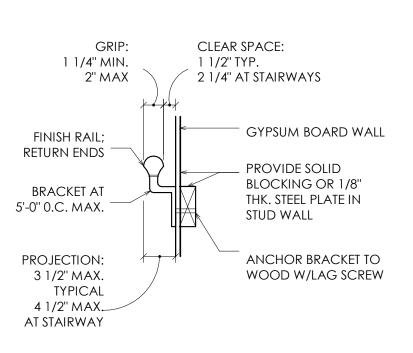
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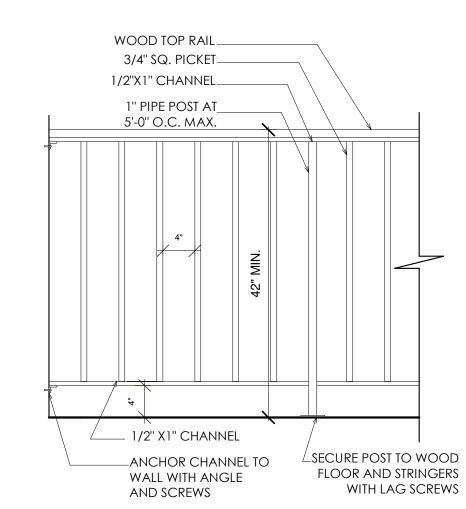
2 WINDOW FLASHING DETAIL

A002 N.T.S.



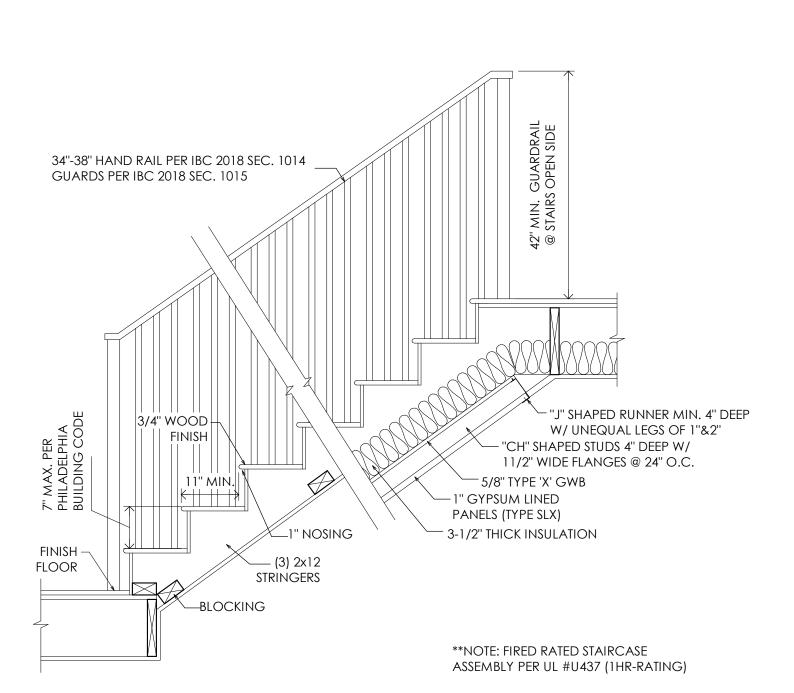
3 HANDRAIL DETAIL

A002 N.T.S.

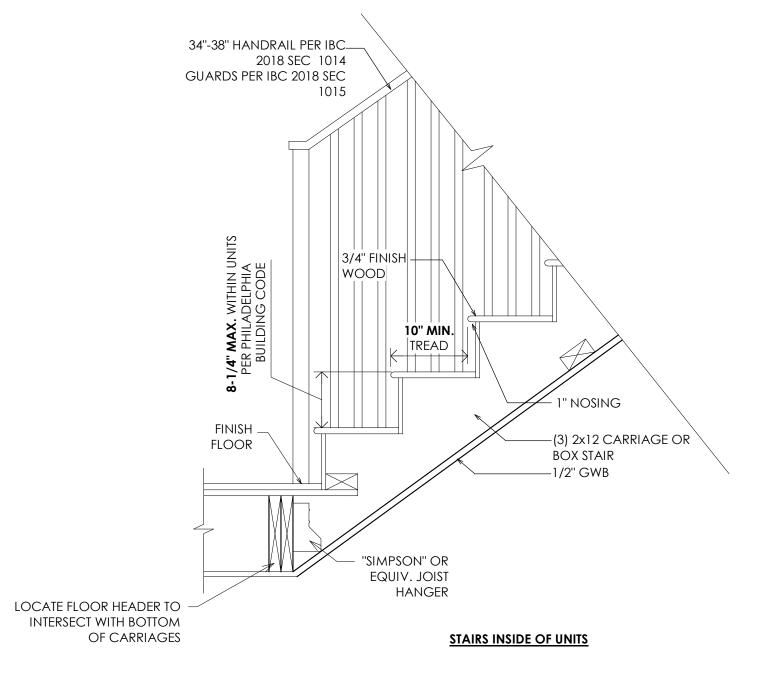


4 GUARD DETAIL A002 N.T.S.

1 STANDARD HEIGHTS A002 N.T.S.



5 STAIR DETAIL (MAIN STAIRS) A002 N.T.S.



6 STAIR DETAILS N.T.S.

APPROVALS

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ARCHITECTURE
STUDIO, LLC

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PHILADELPHIA, PA 19102

ECKING & G G BROUGHT T FOR HE ARCHITECT S AND ANY S. CT (10) DAY SUMS OR

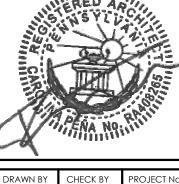
VERIFYING ALL DIMENSIONS. PRIOR TO & DURING CONSTRUCTION. ANY INCONSISTENCIES SHALL BE BROUG TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION OR VERIFICATION.

CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCH OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND ANGOVERNING BUILDING CODES OR ORDINANCES.

CONTRACTOR SHALL CHECK WITH THE ARCHITECT (10) DARIOR TO START OF ONSTRUCTION FOR ADDENDUMS OR

PATE REVISIONS/SUBMISIONS

REALISIONS/SUBMISIONS



DRAWN BY CHECK BY PROJECT NO
APS MK 202202-01
ISSUED: 2022-08-23

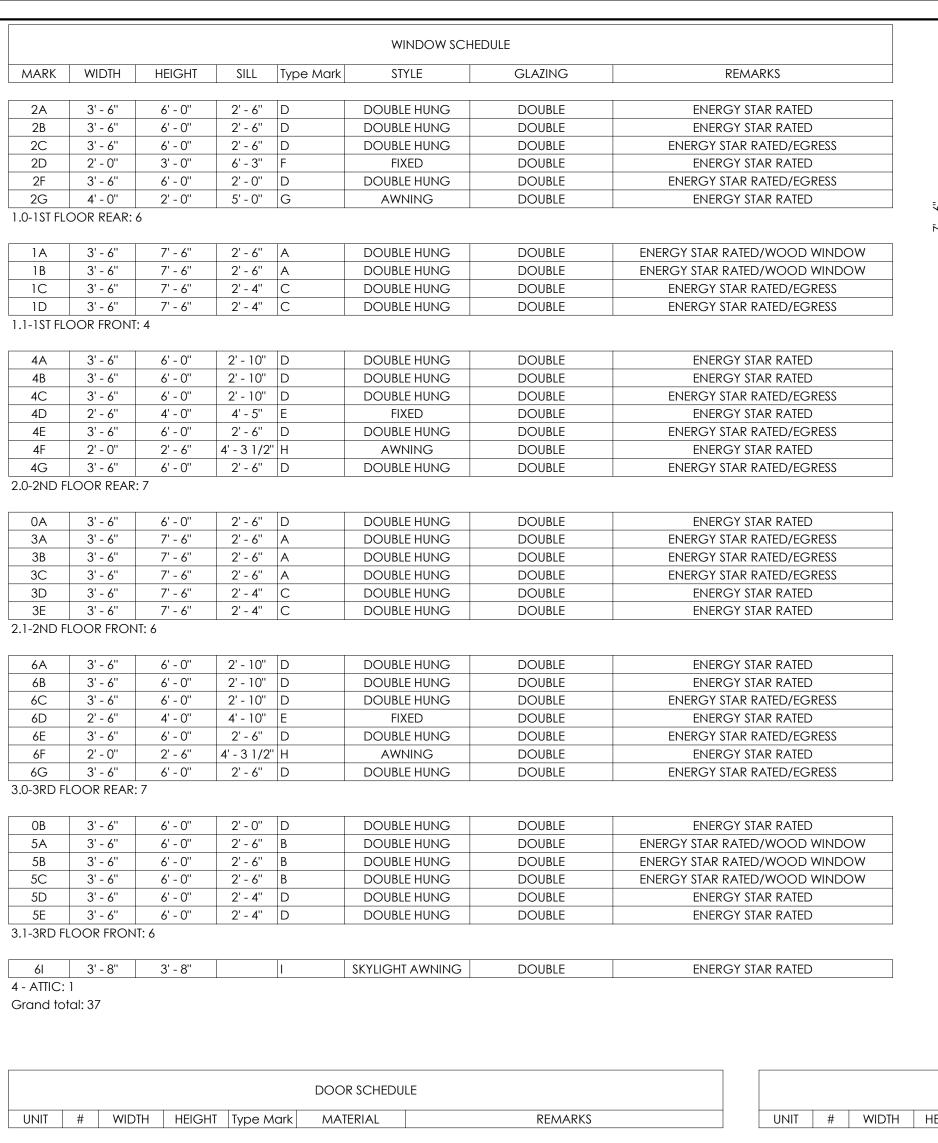
INTERIOR RENOVATION AND REAR ADDITION 705 PINE ST

DRAWING TITLE
ARCHITECTURAL
DETAILS

SHEET NO

A002

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METAL 60 MIN. RATED/ SELF-CLOSING & SELF-LATCHING

WOOD

WOOD

WOOD

WOOD WOOD

WOOD

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WOOD

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WOOD

METAL

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POCKET

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WOOD

WOOD

1" UNDERCUT

60 MIN. RATED/ SELF-CLOSING

1" UNDERCUT

1" UNDERCUT

METAL 60 MIN. RATED/ SELF-CLOSING

1" UNDERCUT

1" UNDERCUT

1" UNDERCUT

1" UNDERCUT

METAL 60 MIN. RATED/ SELF-CLOSING & SELF-LATCHING

METAL 60 MIN. RATED/ SELF-CLOSING

POCKET 1" UNDERCUT

WOOD 1" UNDERCUT

POCKET 1" UNDERCUT

POCKET 1" UNDERCUT

POCKET 1" UNDERCUT

POCKET | 1" UNDERCUT

60 MIN. RATED/ SELF-CLOSING & SELF-LATCHING

0 | 1A | 3'-0" | 6'-8" | A

2 | 1A | 3'-0" | 6'-8" | A

2 | 1B | 3' - 0" | 6' - 8"

2 2A 2'-6" 6'-8" B

2 | 2B | 2' - 6" | 6' - 8" | B

2 2C 5'-0" 6'-8"

2 | 2D | 5' - 0" | 6' - 8" 2 | 3A | 2'-6" | 6'-8" | E

2 4A 2'-6" 6'-8" B

2 | 5A | 2'-6" | 6'-8" | D

1 | 1A | 3'-0" | 6'-8" | A

1 1B 3'-0" 6'-8"

1 2A 2'-6" 6'-8" E

1 2B 4'-0" 6'-8" C 1 2C 4'-0" 6'-8" G

1 3A 2'-6" 6'-8" B

4 | 1A | 3'-0" | 6'-8" | A

4 | 1B | 4'-0" | 6'-8" | H

4 2A 2'-6" 6'-8" B

4 | 2B | 2' - 6" | 6' - 8" | E 4 3A 2'-6" 6'-8" E

4 3B 2'-8" 6'-8"

4 | 4A | 2' - 6" | 6' - 8" | E

4 | 4C | 4' - 0" | 6' - 8" | C

4 5A 2'-6" 6'-8" E

4 6A 2'-6" 6'-8" E

4 6B 3' - 0" 6' - 8"

2.0-2ND FLOOR REAR: 12

2.1-2ND FLOOR FRONT: 9

4 7A 2'-6" 6'-8" D

3 | 1A | 3'-0" | 6'-8" | A

3 | 1B | 3' - 0" | 6' - 8" |

3 2A 2'-6" 6'-8" B

3 2B 5'-0" 6'-8"

3 3A 2'-4" 6'-8"

3 | 4A | 2'-6" | 6'-8" | E

3 | 4B | 5' - 0" | 6' - 8" | F 3 | 5A | 2' - 4" | 6' - 8" | E

3 | 5B | 2' - 4" | 6' - 8" | C

6 | 1A | 3'-0" | 6'-8" | A

6 1B 4'-0" 6'-8" H

6 2A 2'-6" 6'-8" I

6 | 2B | 3' - 0" | 6' - 8"

6 3A 2'-6" 6'-8" D

6 4A 2'-6" 6'-8" E

6 4C 4'-0" 6'-8" (

6 5A 2'-6" 6'-8" D

6 | 5B | 2' - 6" | 6' - 8" | B

6 | 6A | 2' - 6" | 6' - 8" | B

6 7A 2'-6" 6'-8" D

5 1A 3'-0" 6'-8" A

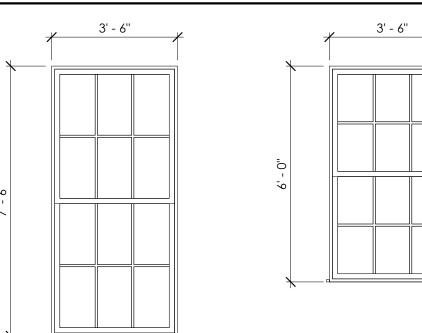
6 6B 3'-0" 6'-8"

3.0-3RD FLOOR REAR: 12

0.1-BASEMENT FRONT: 1

1.0-1ST FLOOR REAR: 9

1.1-1ST FLOOR FRONT: 6



DOUBLE HUNG

- WOOD WINDOWS TO

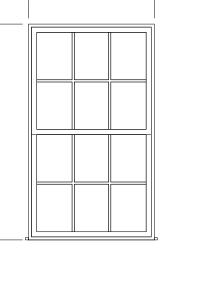
MATCH EXISTING FRAME

-U-FACTOR 0.32 OR BETTER

-SHGC 0.36 OR BETTER

-LOW E-COATING

- DOUBLE PANE



DOUBLE HUNG

 $\langle B \rangle$

- WOOD WINDOWS TO

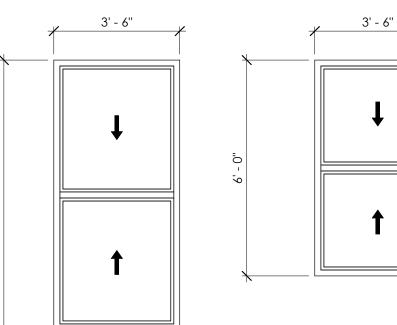
-LOW E-COATING

- DOUBLE PANE

MATCH EXISTING FRAME

-U-FACTOR 0.32 OR BETTER

-SHGC 0.36 OR BETTER



DOUBLE HUNG

- VINYL/FIBERGLASS FRAME

-U-FACTOR 0.32 OR BETTER

-SHGC 0.36 OR BETTER

-LOW E-COATING

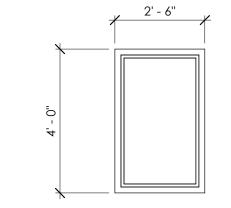
DOUBLE HUNG

-LOW E-COATING

- VINYL/FIBERGLASS FRAME

-U-FACTOR 0.32 OR BETTER

-SHGC 0.36 OR BETTER



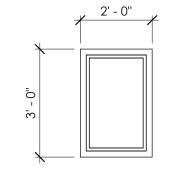
FIXED

- VINYL/FIBERGLASS FRAME

-U-FACTOR 0.32 OR BETTER

-SHGC 0.36 OR BETTER

-LOW E-COATING



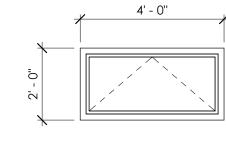
FIXED

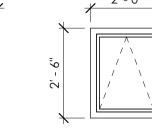
- VINYL/FIBERGLASS FRAME

-U-FACTOR 0.32 OR BETTER

-SHGC 0.36 OR BETTER

-LOW E-COATING





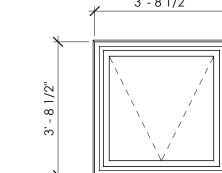
AWNING

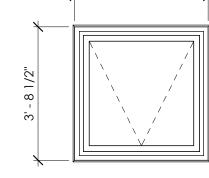
-LOW E-COATING

- VINYL/FIBERGLASS FRAME

-U-FACTOR 0.32 OR BETTER

-SHGC 0.36 OR BETTER





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 $\langle 1 \rangle$ - VINYL/FIBERGLASS FRAME -LOW E-COATING -U-FACTOR 0.32 OR BETTER -SHGC 0.36 OR BETTER

SKYLIGHT

WINDOW AND DOOR NOTES:

VERIFY IN FIELD, SIZE OF EXISTING DOOR & WINDOW OPENINGS. VERIFY/ COORDINATE ALL DOORS AND WINDOWS SIZES WITH CHOSEN MANUFACTURER ROUGH OPENING SIZES AS PER MANUFACTURER SPECIFICATIONS.

AWNING

- VINYL/FIBERGLASS FRAME

-U-FACTOR 0.32 OR BETTER

-SHGC 0.36 OR BETTER

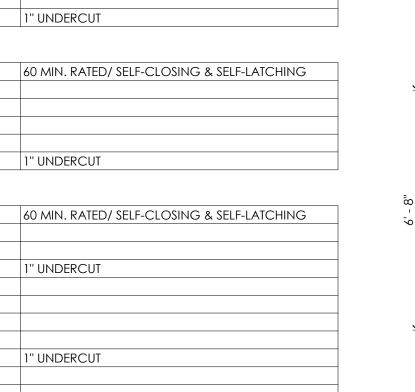
-LOW E-COATING

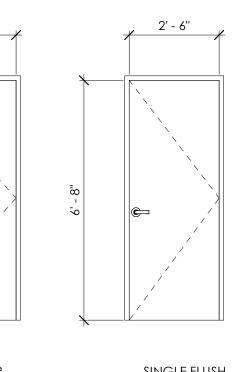
- ALL WINDOWS TO BE INSULATED LOW-E ENERGY STAR RATED OWNER TO VERIFY SIZE/ TYPE/ STYLE/ COLOR OF ALL WINDOWS
- VERIFY ALL NEW WINDOW/ DOOR ASSEMBLIES ARE PROPERLY FLASHED/ CAULKED AT ALL HEADS/ SILL/ JAMBS(TYP.)
- ALIGN ALL WINDOW AND DOOR HEADERS HORIZONTAL (PER FLOOR)
- ALL GLAZING WITHIN 18" OF FIN. FLOOR TO BE TEMPERED WINDOWS MULLED AS PER ELEVATION.
- ALL EXTERIOR DOORS SHOULD BE INSULATED AND ENERGY STAR RATED
- ALL BATHROOM DOORS SHOULD BE UNDERCUT 1" PER IBC 2018 1030 ALL BEDROOM WINDOWS & BASEMENT EGRESS WINDOW SHALL HAVE THE FOLLOWING:
 - 1. SILL HEIGHT NOT TO EXCEED 44" A.F.F.
 - 2. MINIMUM NET CLEAR OPENING OF 5.7 SF SECOND FLOOR; 5.0 SF GROUND FLOOR.
 - 3. MINIMUM NET CLEAR HEIGHTS DIMENSION OF 24". 4. MINIMUM NET CLEAR OPENING WIDTH OF 20".

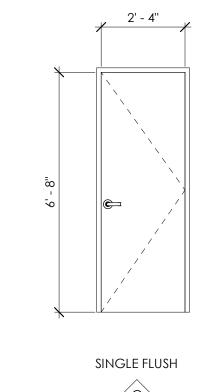
THE DWELLING SHALL HAVE A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM, AND ARTIFICIAL LIGHTING CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOTCANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 ABOVE THE FLOOR.

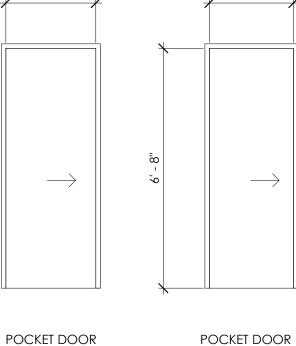
UNIT	#	WIDTH	HEIGHT	Type Mark	MATERIAL	REMARKS
				1 / 1		
5	1B	3' - 0''	6' - 8''	I	WOOD	
5	2A	2' - 6"	6' - 8''	В	WOOD	
5	2B	5' - 0''	6' - 8''	F	WOOD	
5	3A	2' - 4''	6' - 8''	E	POCKET	1" UNDERCUT
5	4A	2' - 6"	6' - 8''	В	WOOD	
5	5A	2' - 4"	6' - 8''	E	POCKET	1" UNDERCUT
5	5B	2' - 4''	6' - 8''	С	WOOD	1" UNDERCUT
5	5B	5' - 0''	6' - 8''	F	WOOD	

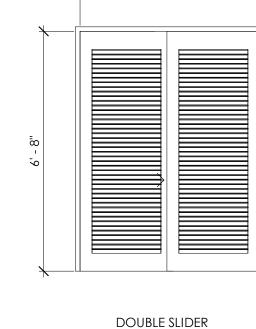
Grand total: 58

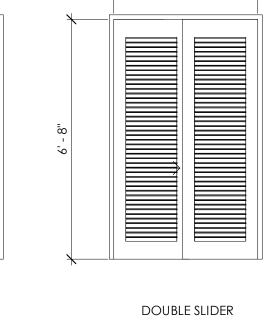


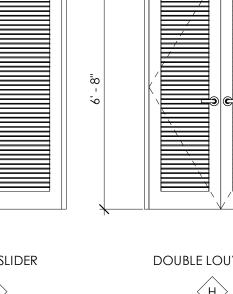


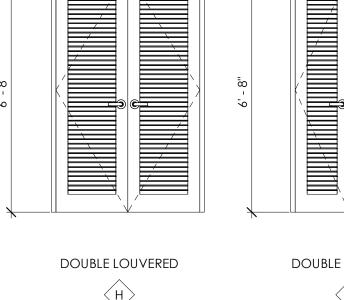


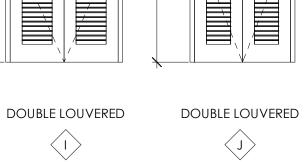


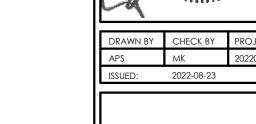








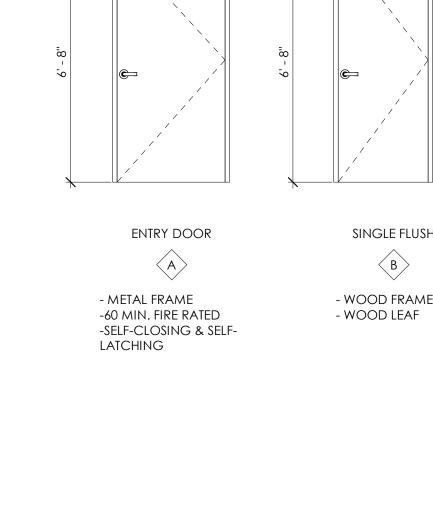




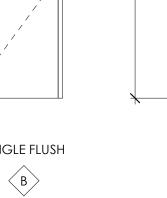
VATION DITION ST RENO AR ADI 5 PINE 5 5 INTERIOR AND RE, 70

WINDOW & DOOR **SCHEDULES**

& SELF-LATCHING	.8 - 8
	K
	- ME
& SELF-LATCHING	-60 N -SELF LATC
	LAIC
& SELF-LATCHING	



SINGLE FLUSH

















G - WOOD FRAME

- WOOD LOUVERS

 $\langle H \rangle$ - WOOD FRAME - WOOD LOUVERS

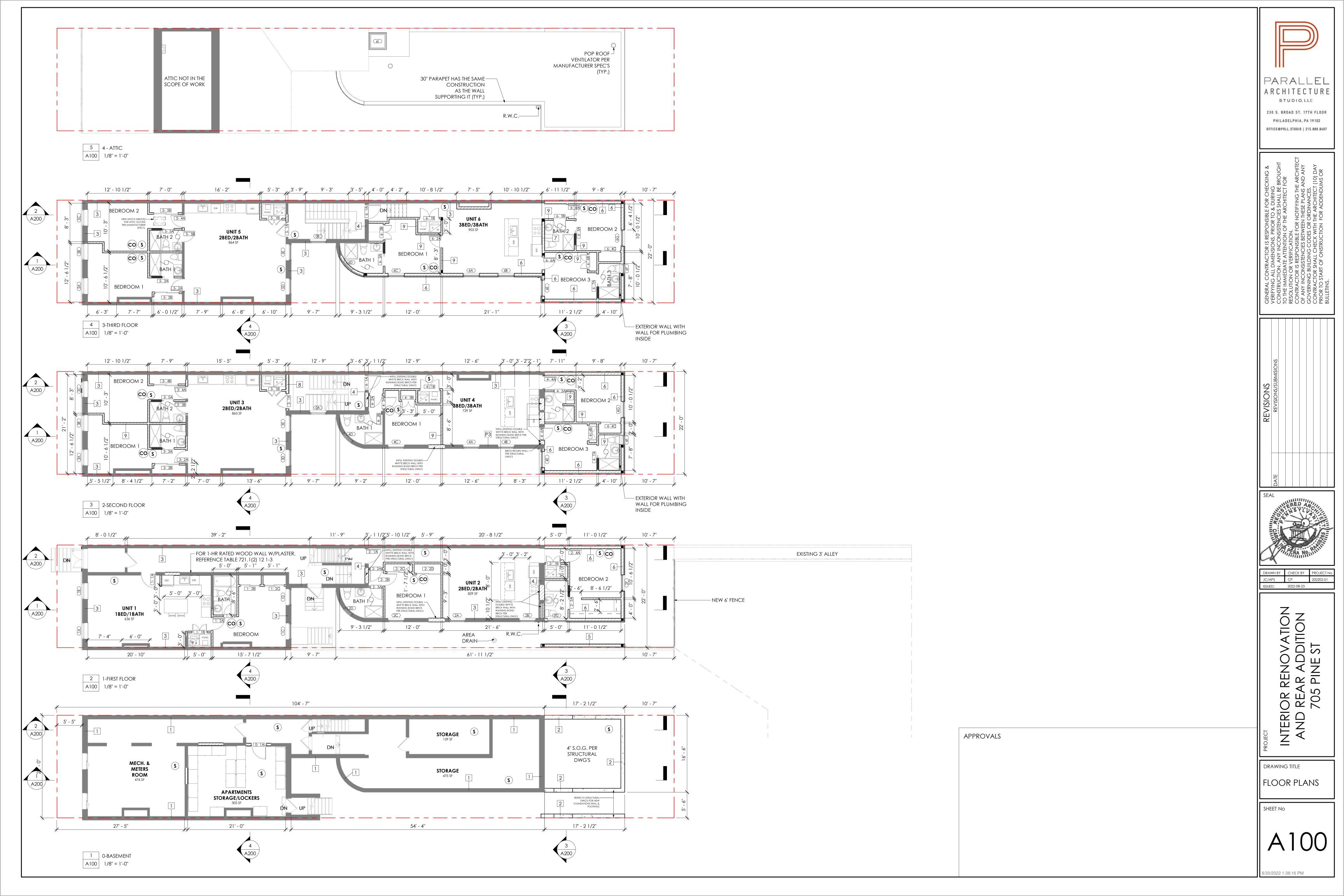
- WOOD FRAME - WOOD LOUVERS

- WOOD FRAME

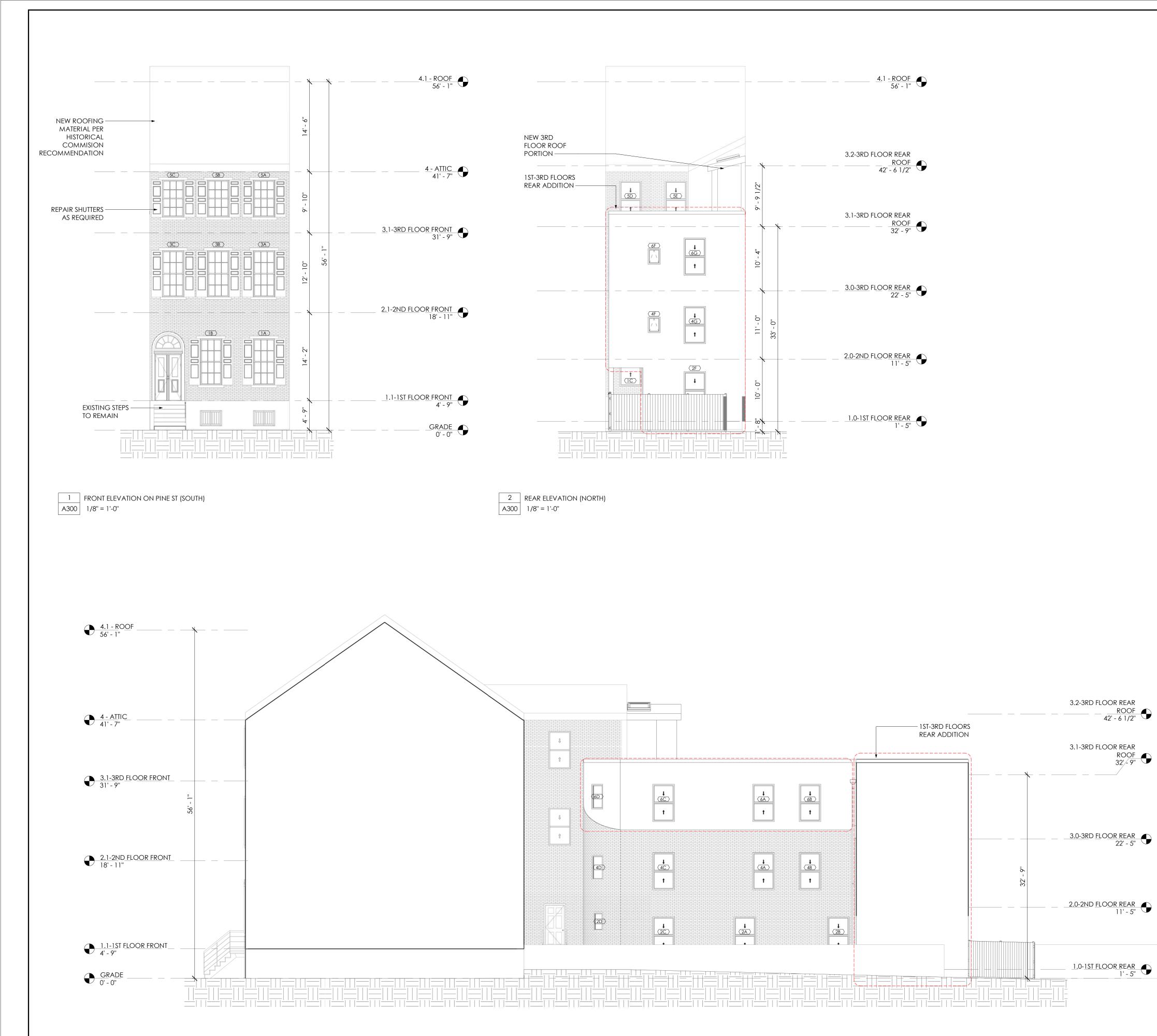
- WOOD LOUVERS

APPROVALS

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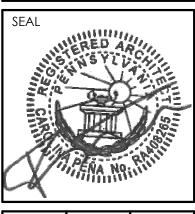


3 SIDE ELEVATION (EAST) A300 1/8" = 1'-0"

APPROVALS

PARALLEL ARCHITECTURE STUDIO, LLC 230 S. BROAD ST. 17TH FLOOR

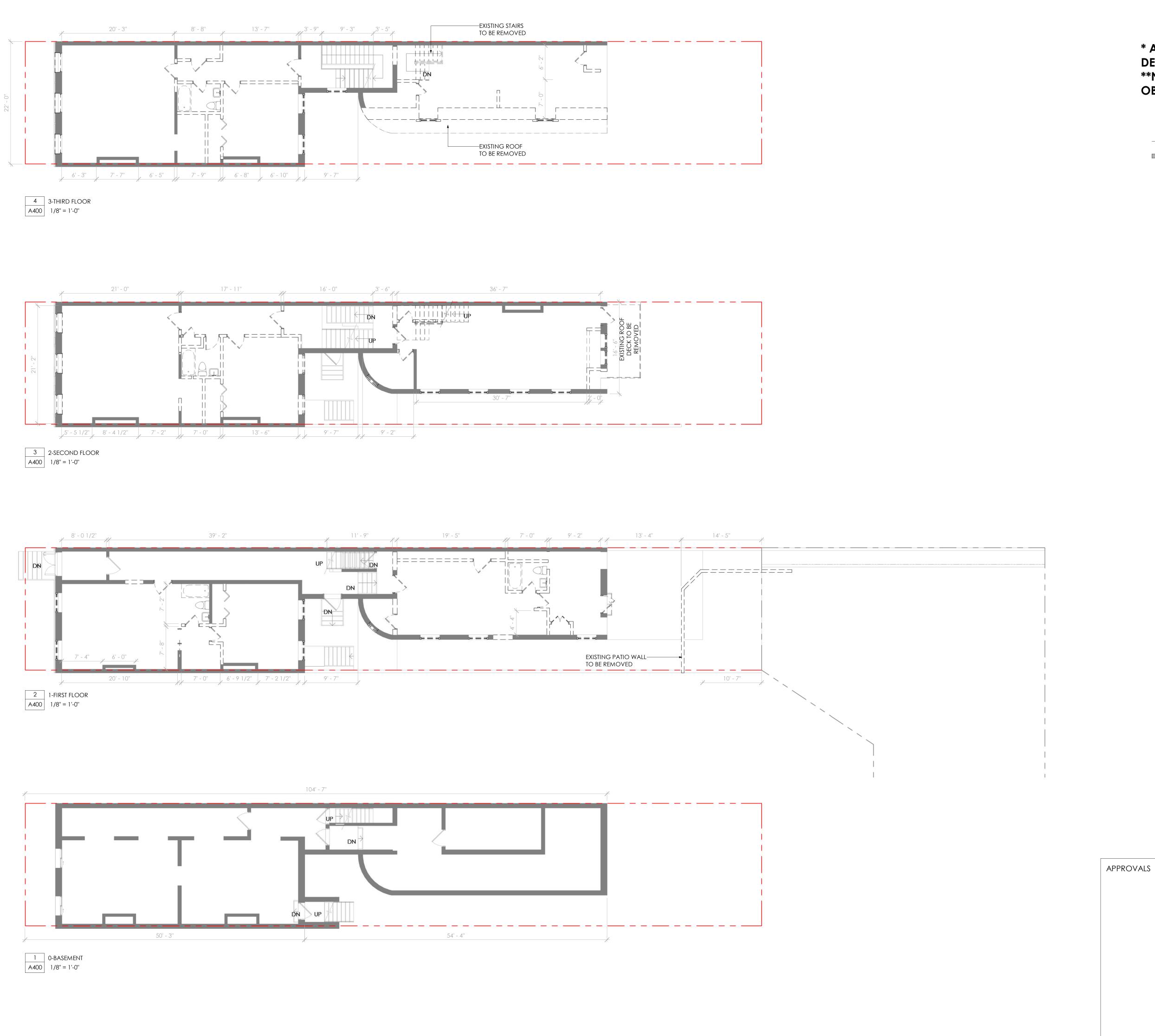
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RENOVATION AR ADDITION 5 PINE ST INTERIOR RI AND REAF 705 F

DRAWING TITLE

ELEVATIONS



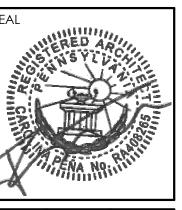
* ASBESTOS REMOVAL NECCESSARY PRIOR TO DEMO/RENOVATION. **NEW ASBESTOS INSPECTION REPORT SHOULD BE **OBTANIED PRIOR TO COMMENCING WORK.**

__ _ _ _ _ _ _ _ _ WALL OR PORTION TO BE DEMOLISHED WALL OR PORTION TO REMAIN



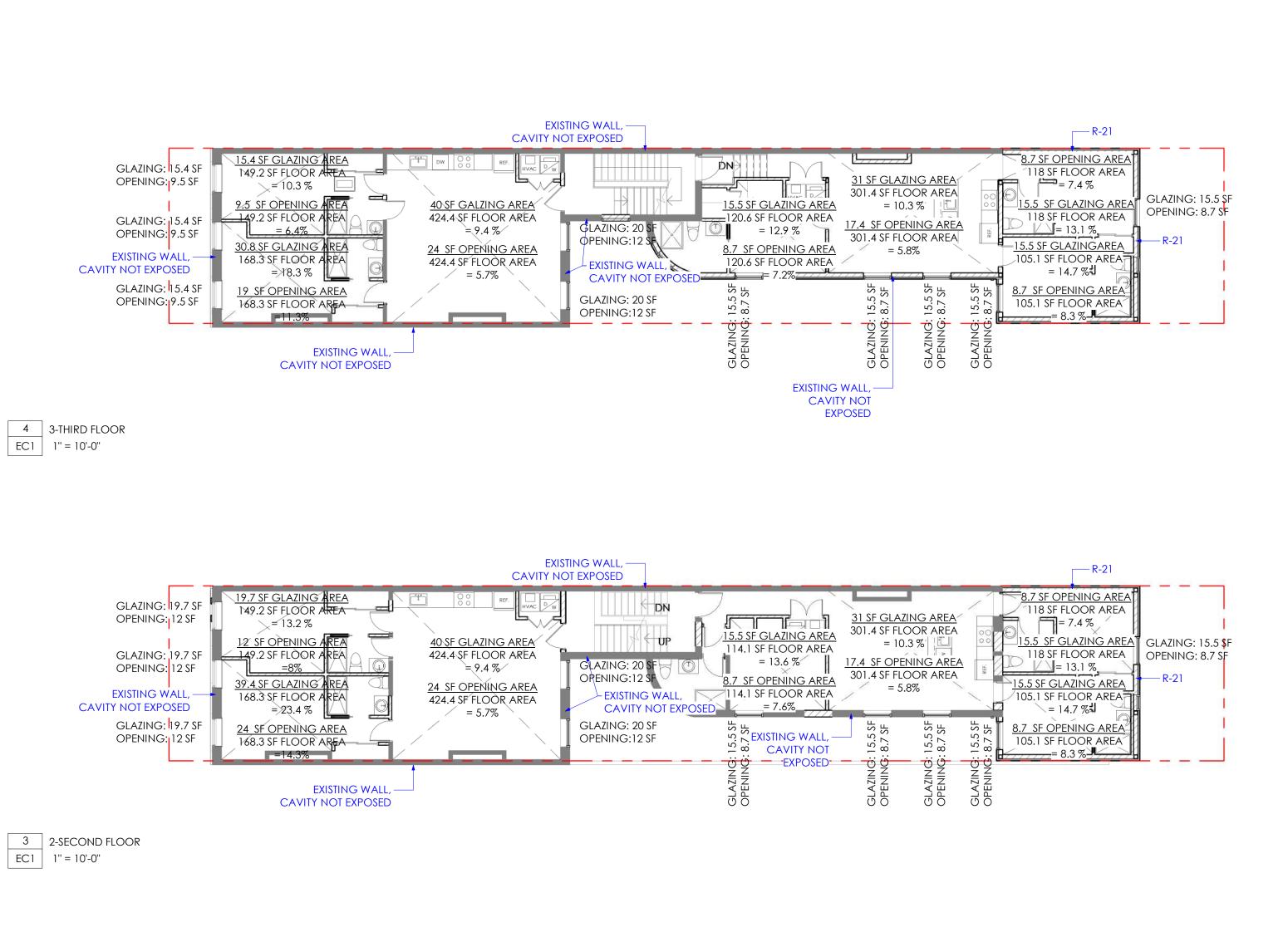
PHILADELPHIA, PA 19102

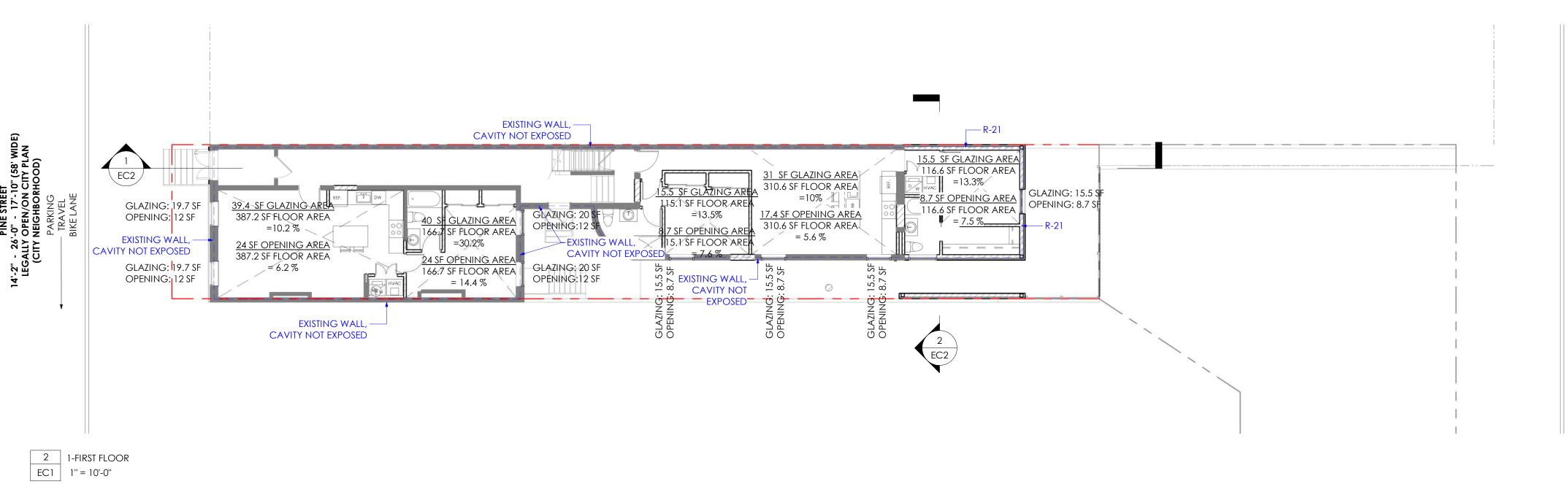
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INTERIOR R AND REA 705 I

DRAWING TITLE DEMOLITION PLANS





APPROVALS

PROJECT
NOTENAND
NOTE

ISSUED: 2022-08-23

RENOVATION AR ADDITION 5 PINE ST

PARALLEL

ARCHITECTURE

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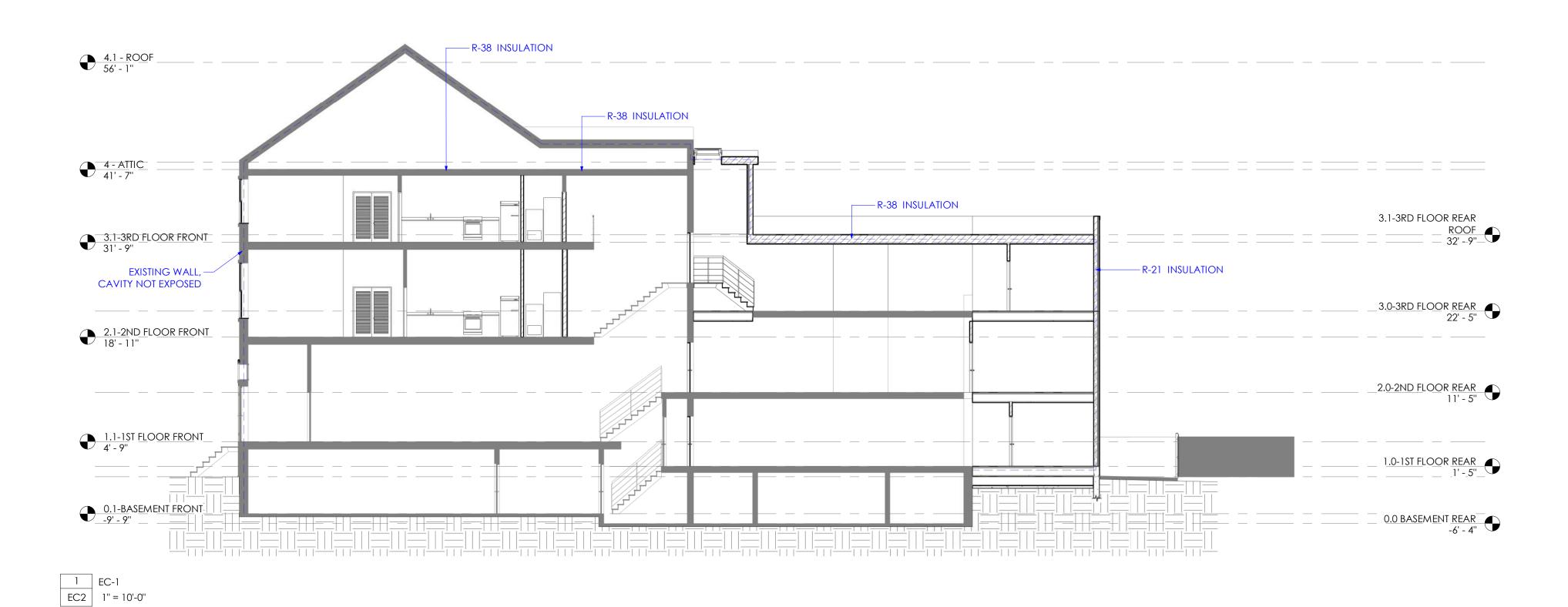
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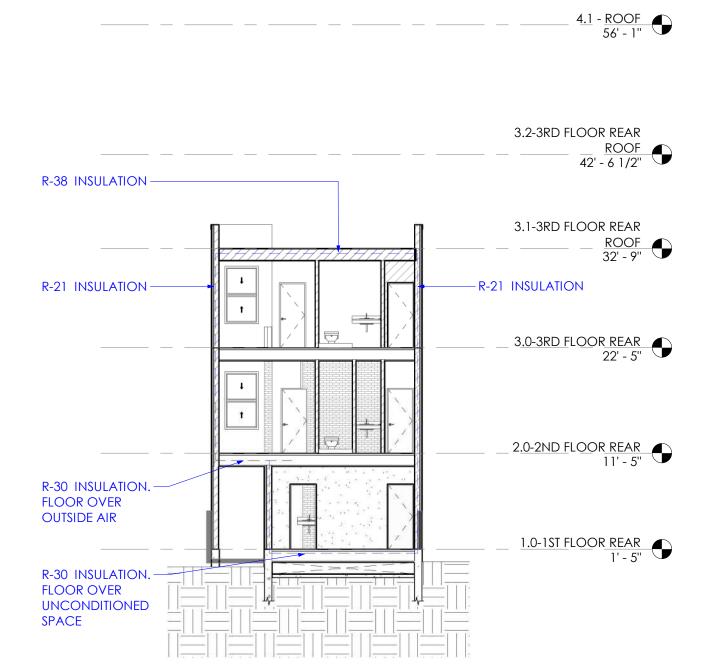
SHEET No



8/30/2022 1:38:30 P

1 0-BASEMENT EC1 1" = 10'-0"



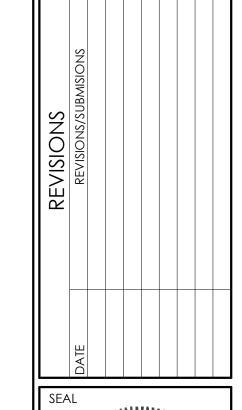


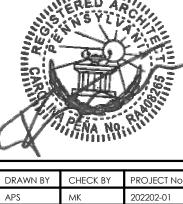
2 EC-2 I" = 10'-0"

APPROVALS

PARALLEL ARCHITECTURE STUDIO, LLC 230 S. BROAD ST. 17TH FLOOR

PHILADELPHIA, PA 19102





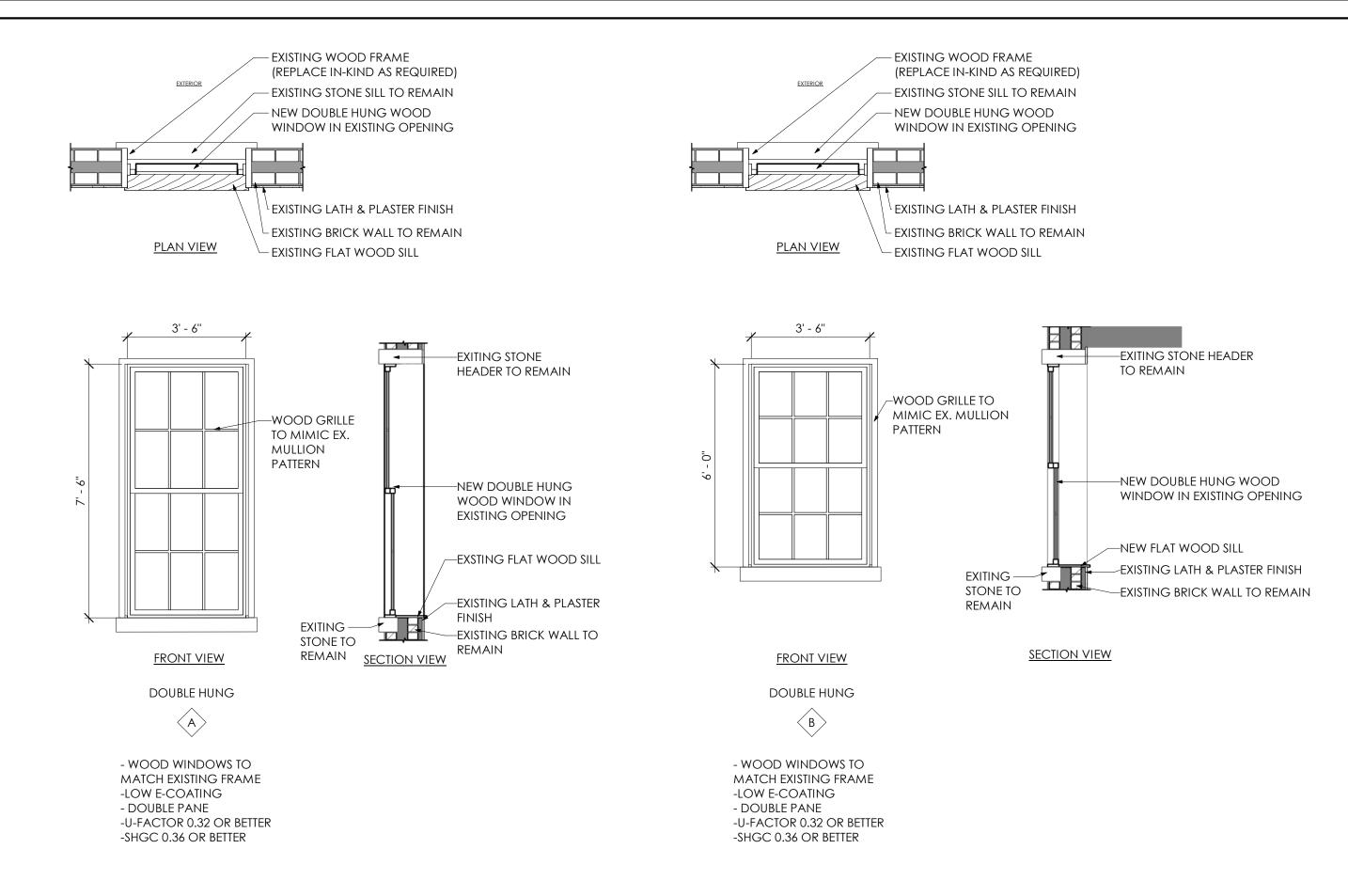
APS MK
ISSUED: 2022-08-23

INTERIOR RENOVATION AND REAR ADDITION 705 PINE ST

DRAWING TITLE ENERGY CONSERVATION

	WINDOW SCHEDULE							
MARK	WIDTH	HEIGHT	SILL	TYPE	STYLE	GLAZING	REMARKS	
1A	3'-6"	7'-6''	2'-6"	Α	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
1B	3'-6"	7'-6''	2'-6"	Α	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
3A	3'-6"	7'-6''	2'-6"	Α	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
3B	3'-6"	7'-6"	2'-6"	Α	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
3C	3'-6"	7'-6''	2'-6"	Α	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
5A	3'-6"	6'-0''	2'-6"	В	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
5B	3'-6"	6'-0''	2'-6"	В	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
5C	3'-6"	6'-0''	2'-6"	В	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	

*WINDOWS IN OTHER FACADES, NEW OR REPLACED, PER GENERAL BUILDING PERMIT



PARALLEL

ARCHITECTURE

STUDIO, LLC

230 S. BROAD ST. 17TH FLOOR
PHILADELPHIA, PA 19102
OFFICE@PRIL.STUDIO | 215.888.8407

RENOVATION AR ADDITION 5 PINE ST

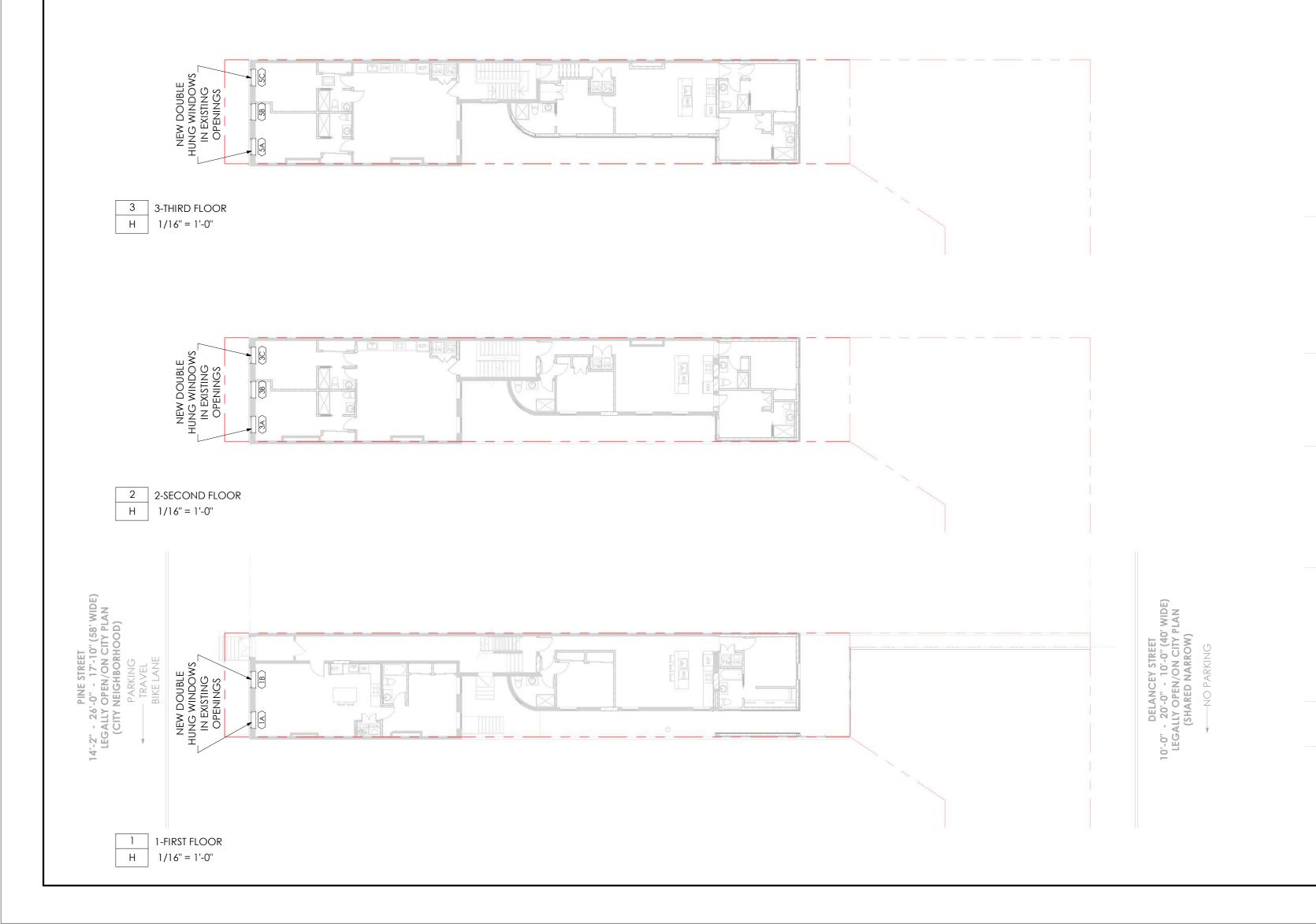
INTERIOR R AND REAI 705 I

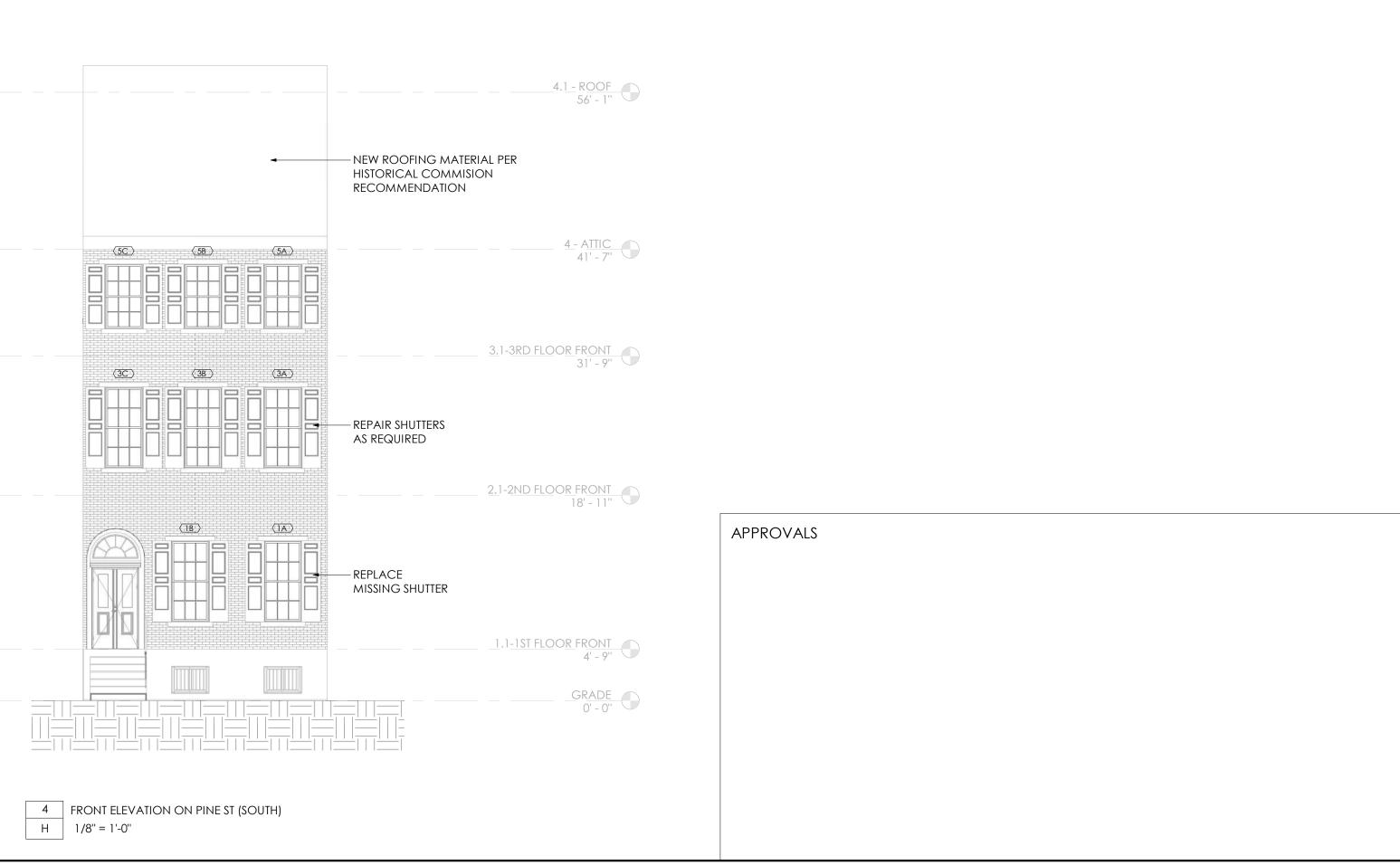
DRAWING TITLE

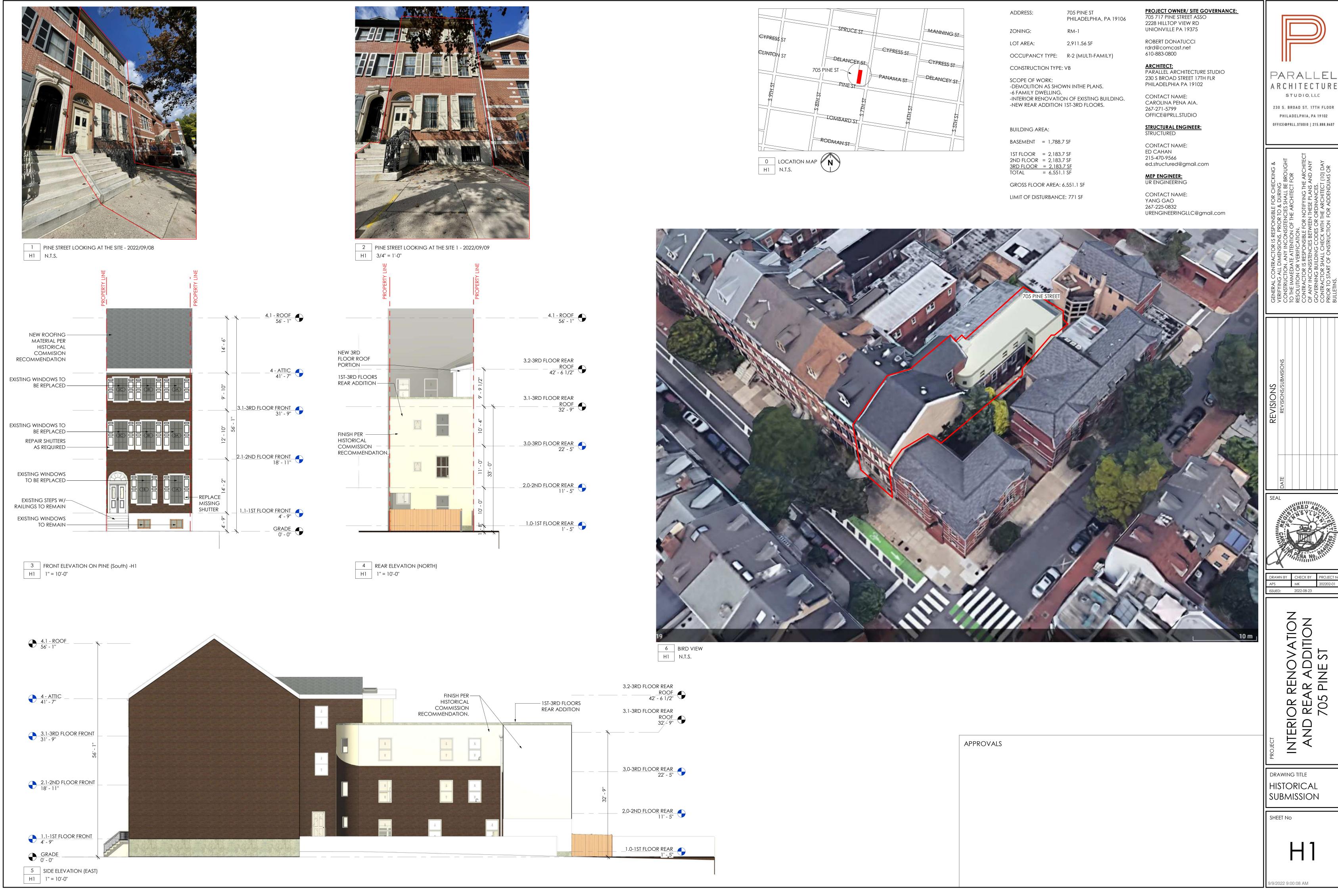
WINDOWS

HISTORICAL -

*WINDOW SHOP DRAWINGS TO BE PROVIDED BY WINDOW MANUFACTURER & SUBMITTED TO HISTORICAL COMMISSION FOR APPROVAL PRIOR TO INSTALLATION.







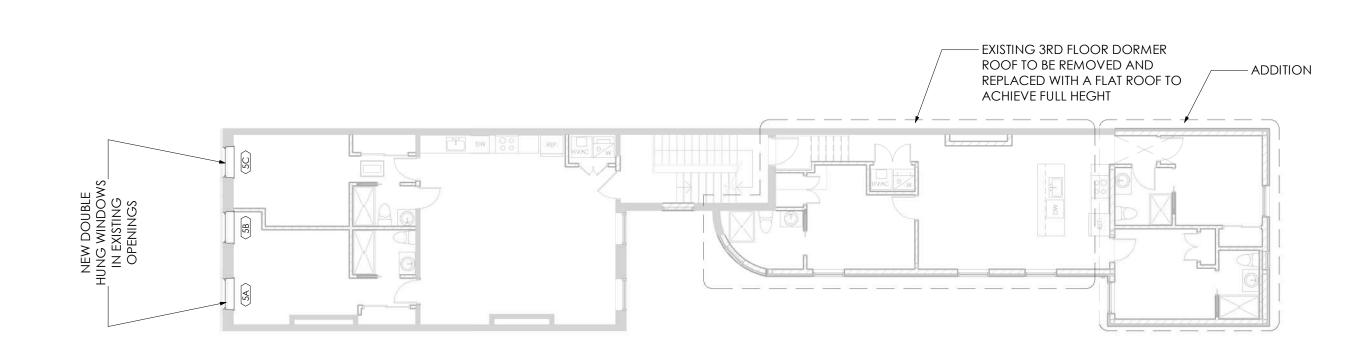
RENOVATION AR ADDITION 5 PINE ST

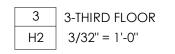
HISTORICAL SUBMISSION

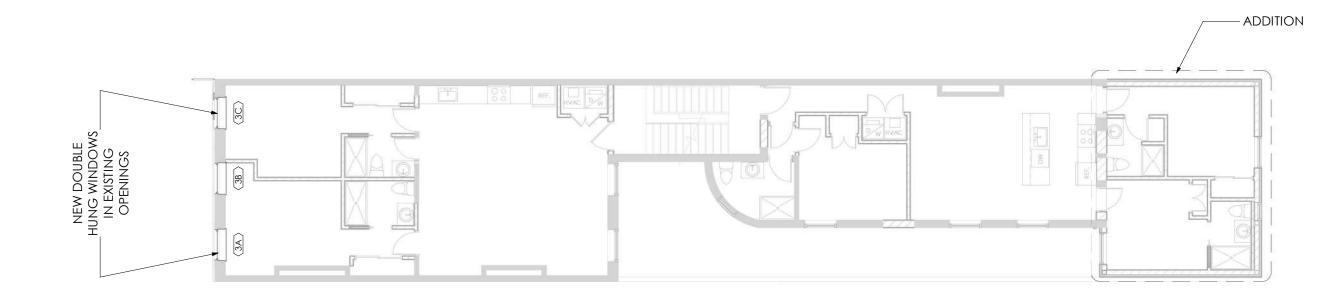


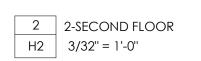
	WINDOW SCHEDULE							
MARK	MARK WIDTH HEIGHT SILL TYPE STYLE GLAZING REMARKS							
1A	3'-6"	7'-6''	2'-6"	Α	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
1B	3'-6"	7'-6''	2'-6"	Α	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
3A	3'-6"	7'-6''	2'-6"	Α	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
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5A	3'-6"	6'-0''	2'-6"	В	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
5B	3'-6"	6'-0''	2'-6"	В	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	
5C	3'-6"	6'-0''	2'-6"	В	DOUBLE HUNG	DOUBLE	ENERGY STAR RATED/WOOD WINDOW	

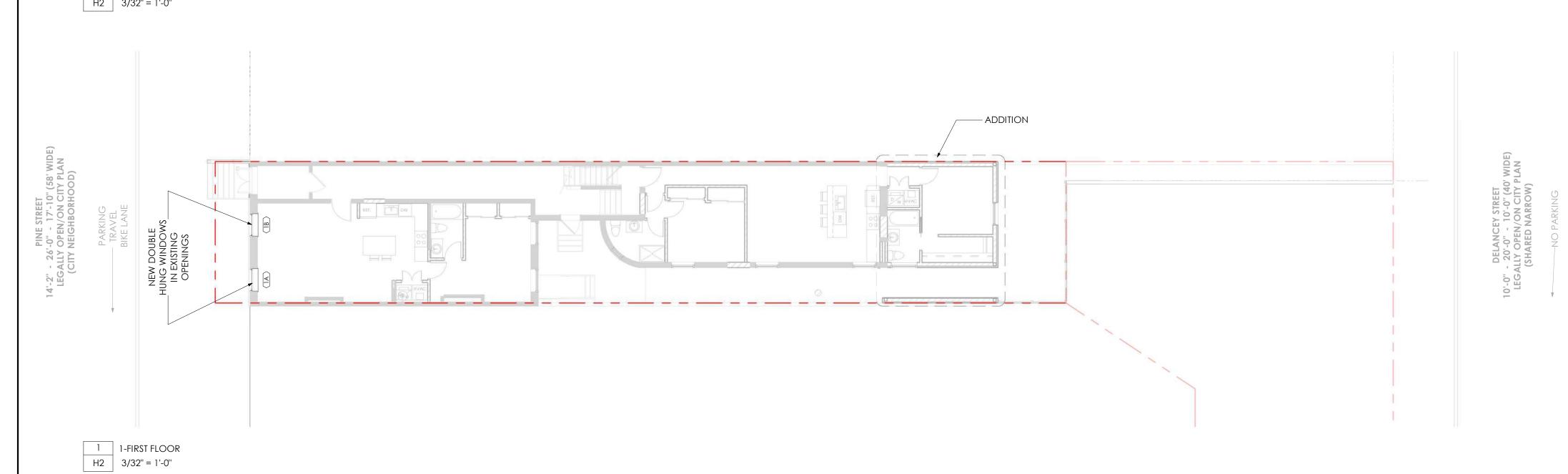
*WINDOWS IN OTHER FACADES, NEW OR REPLACED, PER GENERAL BUILDING PERMIT

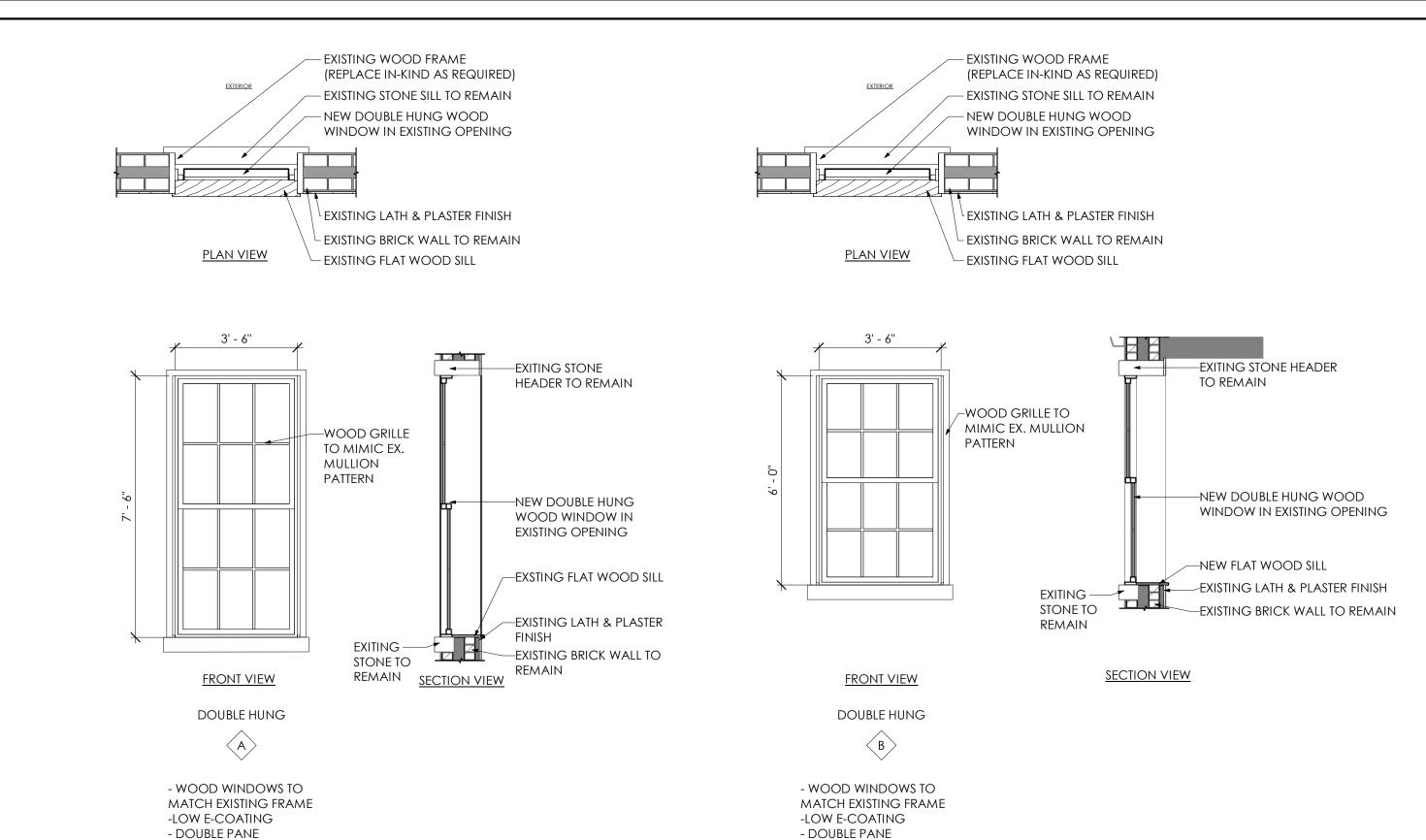












*WINDOW SHOP DRAWINGS TO BE PROVIDED BY WINDOW MANUFACTURER & SUBMITTED TO HISTORICAL COMMISSION FOR APPROVAL PRIOR TO INSTALLATION.

-U-FACTOR 0.32 OR BETTER -SHGC 0.36 OR BETTER -U-FACTOR 0.32 OR BETTER

APPROVALS

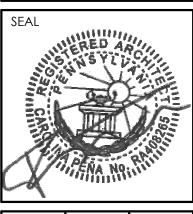
-SHGC 0.36 OR BETTER



230 S. BROAD ST. 17TH FLOOR
PHILADELPHIA, PA 19102
OFFICE@PRLL.STUDIO | 215.888.8407

RAL CONTRACTOR IS RESPONSIBLE FOR CHECKING & TING ALL DIMENSIONS. PRIOR TO & DURING
TRUCTION. ANY INCONSISTENCIES SHALL BE BROUGHT
EIMMEDIATE ATTENTION OF THE ARCHITECT FOR
UTION OR VERIFICATION.
RACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT
IY INCONSISTENCIES BETWEEN THESE PLANS AND ANY
RACTOR SHALL CHECK WITH THE ARCHITECT (10) DAY
RACTOR SHALL CHECK WITH THE ARCHITECT (10) DAY

DATE REVISIONS/SUBMISIONS



RAWN BY CHECK BY PROJECT
PS MK 202202-0
GUED: 2022-08-23

Interior renovation and rear addition 705 pine St

DRAWING TITLE
HISTORICAL WINDOWS

SHEET No

H2

9/9/2022 9:00:12 AM



September 9, 2022

Philadelphia Historical Commission

RE: 711 Pine Street CP-2022-005107

To Whom it May Concern,

We are pleased to present to you the application for your approval for window replacement, interior renovation and rear addition to the historically designated site at 711 Pine Street, Philadelphia PA 19106 located in the Society Hill Historic District.

Property Owner: 705 717 Pine Associates

Contact: Robert Donatucci rdrd@comcast.net cell: 610-883-0800

Carolina Pena (Architect)
Parallel Architecture Studio
230 S Broad Street 17 floor, Philadelphia PA 19102
office@prll.studio

cell: 267-271-5799

This structure is currently a multi-family house that will be fully renovated and include an addition to house a total of 9-families.

We are proposing to upgrade the majority of the existing windows to make them compliant with the current energy code. The windows in the front facade will be replaced with wood windows with mullions and trim mimicking the existing historical windows. The windows on the rear and sides will of modern materials in a color complimentary to the front windows. We look to the Historical Commission for guidance on grille patterns and trim requirements.

The proposed 3-story rear addition with basement will be partially visible from Delancey Street. We are proposing to keep the existing rear wall with a roll-up garage door facing Delancey Street. There is currently a flat slab man door adjacent the roll up door. We look to the Historical Commission for guidance on the rear addition finishes and visible door style.

Please feel free to reach out for any questions or recommendation you may have. Office@prll.studio 267-271-5799

Respectfully,

Carolina Peña, AIA

GENERAL NOTES

GENERAL NOTES:

- 1. ALL WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, & LOCAL BUILDING CODES.
- 2. ALL CONTRACTOR(S) PERFORMING WORK SHALL HAVE APPLICABLE LICENSES.
- 3. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING BUILDING PERMITS UNLESS NOTED OTHERWISE (U.N.O.).
- 4. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING MECHANICAL, ELECTRICAL, PLUMBING & SPRINKLER PERMITS U.N.O.
- 5. CONTRACTOR(S) IS TO HAVE APPLICABLE INSURANCE AS REQUIRED BY THE BUILDING OWNER AND MUNICIPALITY.
- 6. CONTRACTOR(S) IS RESPONSIBLE FOR NOTIFYING THE BUILDING INSPECTOR A MINIMUM OF 24 HOURS PRIOR TO COMMENCING WORK. CONTRACTOR(S) IS RESPONSIBLE FOR CONTACTING THE BUILDING INSPECTOR FOR ANY / ALL
- REQUIRED INSPECTIONS FOR THE DURATION OF THE PROJECT.

 7. CONTRACTOR(S) IS TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK, NOTIFY ARCHITECT

IMMEDIATELY REGARDING ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND ARCHITECTURAL DOCUMENTS.

- 8. DO NOT SCALE DRAWINGS.
- 9. CONTRACTOR(S) IS RESPONSIBLE FOR PROVIDING REQUIRED SITE FENCING AROUND PERIMETER OF JOB SITE AS PER OSHA AND MUNICIPALITY REQUIREMENTS AND GUIDELINES.
- 10. Contractor(s) is responsible to acquire any / all street & sidewalk closure permits as well as any required dumpster permits.
- 11. PROVIDE PORTABLE JOB TOILET AND TELEPHONE ON SITE FOR THE DURATION OF THE PROJECT (AS REQUIRED BY OWNER).
- 12. CONTRACTOR(S) TO PROVIDE DAILY CLEAN-UP TO SITE DUMPSTER.
- 13. CONSTRUCTION INDICATED AS FIRE RATED SHALL CONFORM TO MATERIALS AND METHODS OF TESTED SYSTEMS.
- 14. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR(S) MEANS AND METHODS OF CONSTRUCTION.

SITE WORK:

- 1. USE OF THE PENNSYLVANIA ONE-CALL SYSTEM, INC. IS REQUIRED PRIOR TO ANY SITE WORK / EXCAVATION.
- 2. CONTRACTOR IS TO OBTAIN A SEALED COPY OF THE GEOTECHNICAL REPORT FOR THE PROJECT SITE, CONTACT ARCHITECT IMMEDIATELY IF A COPY IS NOT PROVIDED.
- 3. EXCAVATION IS TO BE DONE IN ACCORDANCE WITH ARCHITECTURAL SEALED DRAWINGS AND THE SITE'S GEOTECHNICAL REPORT.
- 4. DO NOT EXCAVATE BELOW ADJACENT FOUNDATIONS AND / OR FOOTINGS UNLESS UNDERPINNING HAS BEEN SPECIFIED AND PERMITTED. CONTRACTOR SHALL FOLLOW UNDERPINNING SEQUENCES AND DIMENSION(S) AS INDICATED IN THE PERMIT DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE STRUCTURAL ENGINEER BEFORE AND DURING UNDERPINNING(S) FOR OBSERVATION.
- 5. SOIL BEARING STRENGTH TO BE IN ACCORDANCE WITH THE SITE'S GEOTECHNICAL REPORT.
- 6. CONTRACTOR(S) IS TO PROVIDE ALL SHEETING & SHORING AS REQUIRED.
- 7. CONTRACTOR(S) IS TO PROVIDE FINAL GRADING AWAY FROM NEW BUILDING AT A MINIMUM OF 8" BELOW ALL WOOD FRAMING.
- 8. PROTECT EXISTING SHRUBS & TREES WITHIN AREAS OF WORK. NOTIFY OWNER OF ANY POTENTIAL HARM TO VEGETATION PRIOR TO COMMENCING WORK.
- 9. VERIFY WITH OWNER CONSTRUCTION STAGING & CONSTRUCTION DELIVERY LOCATIONS CONTRACTOR(S) TO INSURE PROPER PERMITS ARE OBTAINED FOR UTILIZING THE RIGHT OF WAY.

WEATHER BARRIERS AND FLASHING

- 1. ENTIRE BUILDING ENVELOPE SHALL BE COVERED WITH AN APPROVED WEATHER BARRIER. THE BARRIER SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION; ENSURE PROPER LAPPING OF MATERIAL SECTIONS.
- 2. ALL WINDOW AND EXTERIOR DOOR ASSEMBLIES SHALL RECEIVE BOTH HEAD FLASHING AND SILL FLASHING AND OR SILL PANS. CONTRACTOR SHALL USE FLASHING MATERIALS THAT ARE COMPATIBLE WITH ADJACENT BUILDING MATERIALS. NOTE: APPLYING BUTYLE TAPE(S) AROUND THE PERIMETER OF DOOR AND WINDOW ASSEMBLIES DOES NOT QUALIFY AS INSTALLING FLASHING(S). CONTRACTOR SHALL INSURE THAT WHEN INSTALLING FLASHING THAT ADJACENT MATERIALS ARE PROPERLY LAPPED WITH INSTALLED FLASHING MEMBERS.
- 3. THE CONTRACTOR(S) SHALL INSURE THAT ALL WINDOW AND DOOR ASSEMBLIES ARE INSTALLED PER THE MANUFACTURERS INSTALLATION GUIDES AND RECOMMENDATIONS

INTERIOR FINISHES:

1. ALL INTERIOR FINISH TO BE 1/2" GYPSUM WALL BOARD U.N.O. (IE. @ RATED ASSEMBLIES) FILL, SPACKLE, SAND AND PRIME ALL NEW DRYWALL WORK IN PREPARATION FOR FINAL FINISH.

SCOPE OF WORK)

- 2. FINISH PAINT TO BE M.A.B., OR APPROVED EQUAL, ACRYLIC LATEX. ALL NEW INTERIOR AND EXTERIOR WALLS AND
- CEILINGS TO RECEIVE ONE COAT PRIMER AND MINIMUM 2 COATS FINISH.
- 3. PROVIDE CEMENTITIOUS BACKER-BOARD AS REQ'D AT ALL AREAS OF MARBLE/GRANITE/ TILE WORK.
- 4. ALL BATHROOMS AND OTHER WET AREAS TO RECEIVE MOISTURE / MILDEW RESISTANT GYPSUM WALL BOARD.
- 5. VERIFY ALL CARPETING AND PADDING WITH OWNER. PROVIDE SAMPLES AS REQUIRED.
- 6. VERIFY ALL HARDWOOD FINISH SPECIFICATIONS WITH OWNER.
- 7. OWNER TO APPROVE ALL FINAL FINISHES AND COLORS.

EXTERIOR FINISHES:

- 1. ALL EXTERIOR FINISHES SHALL PROVIDE FOR DRAINAGE AT THE LOWEST POINT OF THE FINISH SYSTEM/MATERIAL. INSURE PROPER LAPPING AND FLASHING(S) BETWEEN FINISH SYSTEM(S)
- 2. NEW MASONRY FINISH TO BE AS PER CONSTRUCTION DOCUMENT NOTES & DETAILS; VERIFY FINISH STYLE, TYPE & COLOR WITH OWNER.
- 3. NEW EXTERIOR TRIM WORK TO BE AS PER CONSTRUCTION DOCUMENT NOTES AND DETAILS.
- 4. NEW WINDOWS SHALL BE COORDINATED WITH THE CONSTRUCTION DOCUMENTS, NOTES AND DETAILS. NOTE: PURCHASED WINDOW(S) AND EXTERIOR DOOR(S) SHALL BE COORDINATED WITH THE DIMENSIONS ON THE CONSTRUCTION DOCUMENTS. ALL GLAZING(S) IN DOORS AND EXTERIOR WINDOWS SHALL BE INSULATED WITH A LOW E COATING(S).
- 5. ALL EXTERIOR CEILINGS TO HAVE BATT INSULATION MINIMUM R-38. ALL EXTERIOR STUD WALLS TO HAVE BATT INSULATION MINIMUM R19.
- 6. ROOFING SHALL BE ENERGY STAR RATED, HIGHLY REFLECTIVE.

BATHROOM

- 1. CERAMIC TILE FLOOR(S) SET IN MASTIC ON 3/8" CEMENT BD. ON 3/4" PLY-WD. SUB FLR., FLASH PATCH CEMENT BD. SUBSTRATE FOR PROPER CERAMIC CONDITIONS, PROVIDE GROUT SEALER(S)
- 2. ALL GYPSUM BD. USED IN TOILET ROOM LOCATION SHALL BE MIN. 1/2" MOISTURE RESISTANT GYP. BD. W/ANTI-FUNGAL PAINT FINISH

ROOFING:

- 1. ROOF SHEATHING TO BE 3/4" EXTERIOR GRADE T&G PLYWOOD SHEATHING. HOLD SHEATHING 2" CLEAR AT VENTING LOCATIONS.
- 2. PROVIDE ALUMINUM "H" CLIPS AS REQUIRED.
- 3. LOW PITCH ROOF SYSTEM(S) TO BE MODIFIED BITUMINOUS 3- PLY BUILT-UP ROOF SYSTEM W/ SEMI-GRANULAR CAP SHEET UNO. SYSTEM TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
- 4. PROVIDE ICE AND SNOW SHIELD'S MIN. 48" FROM ALL EAVES, ALL VALLEYS W/ MIN. 30" LAP FROM VALLEY, ALL INTERSECTIONS OF ROOF DECK AND VERTICAL SURFACES.
- 5. ROOF CONTRACTOR TO PROVIDE MIN. .04" ALUM. FLASHING AS INDICATED IN DETAILS AND AT ALL ROOF DECK AND VERTICAL SURFACES, VALLEYS, PENETRATIONS THRU ROOF/ DECK
- 6. ROOFING CONTRACTOR TO BE RESPONSIBLE FOR SEALING ALL PENETRATIONS THRU THE ROOF DECK FOR MECHANICAL PURPOSES
- 7. ROOFING CONTRACTOR TO PROVIDE .04" PRE-FINISHED ALUM. COPING SYSTEM AS INDICATED. PROVIDE ALL ASSOCIATED HARDWARE AND COMPONENTS WITH NON CORROSIVE FASTENERS.

ROOFING SHALL BE ENERGY STAR RATED AS HIGHLY REFLECTIVE MODIFIED BITUMEN

HVAC / PLUMBING / ELECTRICAL:

- 1. A SEPARATE PERMIT MUST BE OBTAINED FOR ALL NEW HVAC/PLUMBING AND ELECTRICAL WORK REQUIRED TO COMPLETE THE PROJECT & OBTAIN FINAL C.O.
- 2. LICENSED AND INSURED HVAC CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL. CONTRACTOR TO SUBMIT DESIGN AND SPECIFICATIONS TO BOTH OWNER AND ARCHITECT FOR REVIEW AND APPROVALS. CONTRACTOR TO COORDINATE WITH ARCHITECT REQUIRED CHASES FOR NEW AND RELOCATED SYSTEM(S) PRIOR TO FRAMING PHASE(S). CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS
- 3. LICENSED AND INSURED PLUMBING CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NEW PLUMBING INDICATED IN RENOVATIONS, AND SHALL PROVIDE REQUIRED DEMOLITION AND COORDINATION OF EXISTING SYSTEMS. CONTRACTOR TO PROVIDE RISER DIAGRAM INDICATING TYPE AND SIZE OF PIPPING. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF OWNERS FINISH (WET) FIXTURES. CONTRACTOR SHALL INFORM BOTH OWNER AND ARCHITECT OF ANY PARTS/ EQUIPMENT REQUIRED FOR INSTALLATION OF ANY UNIT. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS.
- 4. LICENSED AND INSURED ELECTRICAL CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL. CONTRACTOR TO BE RESPONSIBLE FOR PROVIDING SERVICE DURING AND POST DEMOLITION. CONTRACTOR TO PROVIDE DESIGN AND SPECIFICATIONS OF ALL MATERIALS/DEVICES/FIXTURES AND COMPONENTS WITH PROPOSAL. CONTRACTOR TO BE RESPONSIBLE FOR RECESSED (CAN) LIGHTING INCLUDING FINISH TRIM KITS. VERIFY W/ OWNER COLOR AND STYLE OF FINISH KIT. CONTRACTOR TO PROVIDE CIRCUIT DESIGN TO ARCHITECT. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS.

GENERAL CONTRACTOR RESPONSIBILITY

- 1. GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- 2. NOTIFY THE ARCHITECT IN WRITING OF ANY UNEXPECTED CONDITIONS THAT ARE UNCOVERED AFTER BEGINNING WORK.
- 3. GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE INDICATED.
- 4. CONTRACTOR TO ENSURE THAT ALL WINDOWS ARE PROPERLY CAULKED AND BUILDING IS WATER AND AIR SEALED.
- 5. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- 6. GENERAL CONTRACTOR SHALL OBTAIN CONSTRUCTION PERMIT, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE, AND ASSIST WITH THE CERTIFICATE OF OCCUPANCY AS REQUIRED UNLESS OTHERWISE NOTED.
- 7. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS OTHER THAN GENERAL BUILDING PERMITS REQUIRED FOR SUCH WORK SHOWN ON THE DRAWINGS. SUCH PERMITS SHALL BE OBTAINED BEFORE STARTING THE WORK. SEPARATE PERMITS ARE REQUIRED FOR THE INSTALLATION OF ALL EXTERIOR SIGNAGE. THE CONTRACTOR SHALL ACQUIRE THESE PERMITS AND PAY ALL REQUIRED FEES PRIOR TO THE SIGNAGE INSTALLATION.
- 8. GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY FACILITIES DURING CONSTRUCTION FOR THE COMPLETE BUILDINGS OPERATION. THIS SHALL BE TEMPORARY ACCESS, EXIT, CORRIDORS, LIGHTING, FIRE PROTECTION, MAIN CORRIDOR PROTECTION, A/C & ALL INFRASTRUCTURE REQUIRED DURING THE FINAL STORE OPERATION.
- 9. GENERAL CONTRACTOR SHALL REMOVE ALL TEMPORARY ITEMS AT THE COMPLETION OF WORK AS REQUIRED
- 10. GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA.
- 11. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND REQUIREMENTS DURING CONSTRUCTION.
- 12. AFTER COMPLETION, GENERAL CONTRACTOR SHALL CLEAN WHERE EVER SUCH CLEANING IS REQUIRED, INCLUDING AREAS OF THE BUILDING MADE DIRTY BY CONSTRUCTION WORK. REMOVE FROM THE PREMISES ALL TRASH, TOOLS, EQUIPMENT AND EXCESS CONSTRUCTION MATERIALS.
- 13. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE TO COMPLETE THE WORK OUTLINED IN THESE DOCUMENTS. INCLUDING ITEMS WITHIN THE SPACE ABOVE THE CEILINGS (STRUCTURAL, CONDUITS, MECHANICAL DUCTS, INSULATION, RECESSED LIGHT FIXTURES, AND CEILING CONSTRUCTION DIMENSIONS, ETC.) THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE FINISHED CEILING HEIGHT ABOVE THE FLOOR AS INDICATED IN THESE DRAWINGS FOR THE VARIOUS ROOMS AND AREAS.
- 14. GENERAL CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS HAVING JURISDICTION WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS.
- 15. CONTRACTOR WILL VERIFY WITH THE CITY AND THE PUBLIC WORKS DEPARTMENT THE LOCATION OF ALL INFRASTRUCTURE, EVEN IF THEY ARE NOT SHOWN ON THE DRAWINGS.
- 16. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY PARTITION WALLS IF THEY ARE REQUIRED DURING THE
- CONSTRUCTION PROCESS.

17. GENERAL CONTRACTOR SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, TOOLS, LABOR AND SERVICES

- NECESSARY FOR THE COMPLETION OF THE PROJECT.

 18. GENERAL CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS HAVING JURISDICTION. WHETHER
- 18. GENERAL CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS HAVING JURISDICTION, WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS.

19. SHOP DRAWINGS:

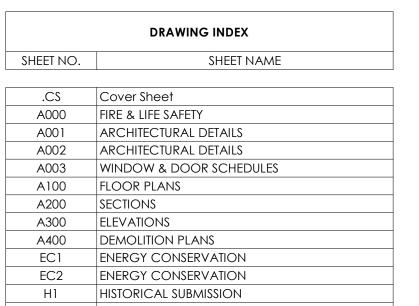
- A. SUBMIT A SCHEDULE OF SHOP DRAWINGS PRIOR TO COMMENCING WORK.
- B. SUBMIT SHOP DRAWINGS FOR ARCHITECTS REVISION WHERE REQUIRED BY PLANS AND SPECIFICATIONS, WITH AMPLE
- TIME TO REVIEW AND APPROVE.

 C. ALL SHOP DRAWINGS, INCLUDING EQUIPMENT AND MATERIALS, SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT
- PRIOR TO ORDERING OF FABRICATION.
- 20. GENERAL CONTRACTOR TO SUBMIT TIMEFRAME & CONSTRUCTION PHASES SCHEDULE.21. GENERAL CONTRACTOR TO PROVIDE OWNER WITH ONE COMPLETE SET OF ACCURATE, FULL-SIZED AS-BUILT RECORD

AND FIRE SUPPRESSION WORK.

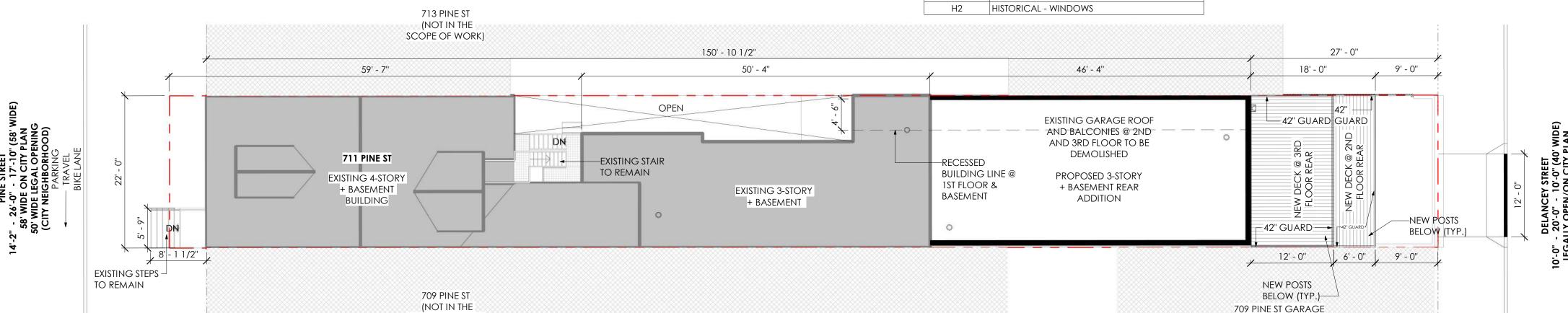
(NOT IN THE SCOPE OF WORK)

- DRAWINGS FOR PERMANENT RECORD.
- 22. FULLY WARRANTY ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FOR 1 YEAR FROM DATE OF ACCEPTANCE. REPAIR OR REPLACE WITHOUT CHARGE TO THE OWNER ALL ITEMS FOUND DEFECTIVE DURING WARRANTY PERIOD. EXTEND ALL MANUFACTURER'S WARRANTIES TO THE OWNER.



CODE SUMMARY						
BUILDING CODE	PHILADELPHIA BUILDING CODE 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL EXISTING BUILDING CODE					
ENERGY EFFICIENCY	2018 INTERNATIONAL ENERGY CONSERVATION CODE					
MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE					
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (PER IBC 2018)					
PLUMBING CODE	2018 INTERNATIONAL PLUBMING CODE					
FIRE CODE	2018 INTERNATIONAL FIRE CODE					
LIFE SAFETY CODE	2018 NFPA 101					

*SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, PLUMBING ELECTRICAL



ADDRESS: 711 PINE ST PHILADELPHIA, PA 19106

ZONING: RM-1

LOT AREA: 4,031.5 SF

-1 ADA VAN ACCESSIBLE PARKING.

OCCUPANCY TYPE: R-2 (MULTI-FAMILY)

SCOPE OF WORK:

-DEMOLITION AS SHOWN IN THE PLANS.

-9 FAMILY DWELLING.

-INTERIOR RENOVATION OF EXISTING BUILDING.

-NEW REAR ADDITION 1ST-3RD FLOORS.

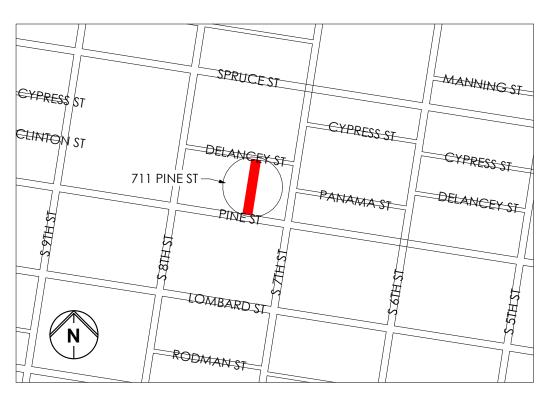
-NEW REAR DECK @ 2ND & 3RD FLOORS.

PROJECT AREA:

BASEMENT = 1,443.1 SF 1ST FLOOR = 2,708.2 SF 2ND FLOOR = 3,023.5 SF 3RD FLOOR = 3,023.5 SF 4TH FLOOR = 1,106.1 SF TOTAL = 11,304.4 SF

GROSS FLOOR AREA: 9861.3 SF

LIMIT OF DISTURBANCE: 1,290.5 SF



CS LOCATION MAP

SYMBOLS LEGEND

1 View Name A101 scale	DRAWING TITLE	(S) (CO)	SMOKE DETECTOR CARBON MONOXIDE DETECTOR
<101 ⟩ MARK	WINDOW TAG	9	EXHAUST FAN
[101-1] UNIT NUMBER	DOOR TAG	<u> 1†</u>	PARTITION TYPE
1 A101	SECTION TAG		RATED WALL
A101	ELEVATION TAG		existing wall
- • x' - x"	SPOT ELEVATION		NEW WALL
— — ENLARGED AREA	ENLARGED DETAIL TAG		NEW MASONRY WALL
<u></u>	REVISION TAG		NEW CONCRETE WALL
	NEW DOOR		REVISION CLOUD
	existing door		PROPERTY LINE FIRE RATED

APPROVALS

PARALLEL ARCHITECTURE STUDIOLIC

PROJECT OWNER/ SITE GOVERNANCE:

PARALLEL ARCHITECTURE STUDIO

230 S BROAD STREET 17TH FLR

PHILADELPHIA PA 19102

CONTACT NAME:

215-888-8407

CAROLINA PENA AIA.

OFFICE@PRLL.STUDIO

705 717 PINE STREET ASSO

2228 HILLTOP VIEW RD

UNIONVILLE PA 19375

ROBERT DONATUCCI

rdrd@comcast.net

610-883-0800

STUDIO, LLC

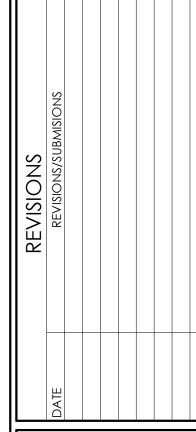
230 S. BROAD ST. 17TH FLOOR

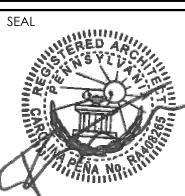
PHILADELPHIA, PA 19102

OFFICE@PRIL.STUDIO | 215.888.8407

SIONS. PRIOR TO & DURING
INCONSISTENCIES SHALL BE BROUGHT
INCONSISTENCIES SHALL BE BROUGHT
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GENERAL CONTRACTOR IS RESPONSIBL
VERIFYING ALL DIMENSIONS. PRIOR TO
CONSTRUCTION. ANY INCONSISTENCIE
TO THE IMMEDIATE ATTENTION OF THE /
RESOLUTION OR VERIFICATION.
CONTRACTOR IS RESPONSIBLE FOR NO
OF ANY INCONSISTENCIES BETWEEN TH
GOVERNING BUILDING CODES OR OR!
CONTRACTOR SHALL CHECK WITH THE
PRIOR TO START OF ONSTRUCTION FOR





DRAWN BY CHECK BY PROJECT APS MK 202202-18SUED: 2022-09-13

ERIOR RENOVATION ND REAR ADDITION 711 PINE ST

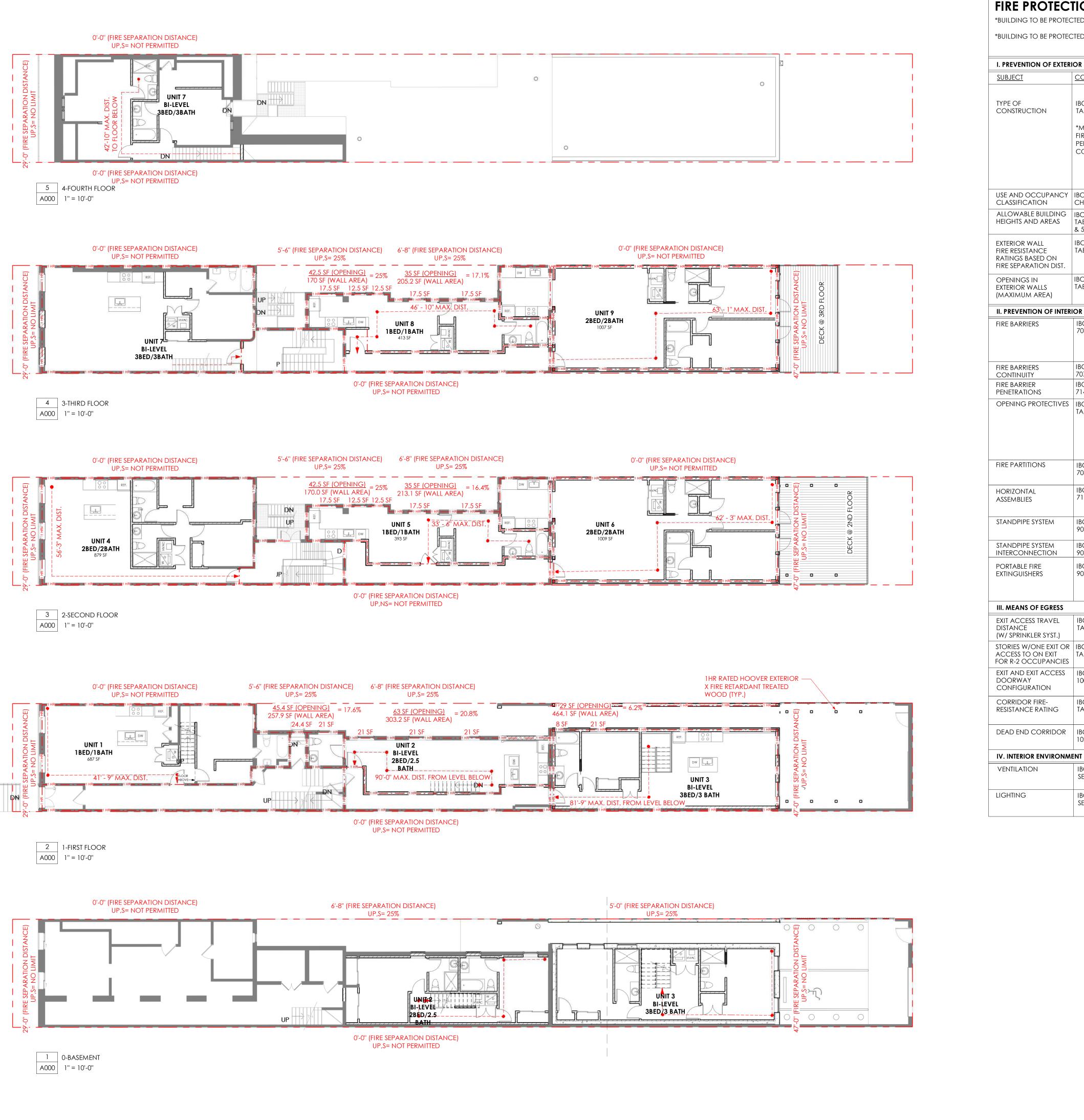
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Cover Sheet

.CS

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3 | Site Plan - CS | .CS | 1" = 10'-0"



FIRE PROTECTION CONSTRUCTION REQUIREMENTS

IBC 2018

TABLE 602

IBC 2018

TABLE 705.8

*BUILDING TO BE PROTECTED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM NFPA 13 IN ACCORDANCE WITH THE SECTION 903.3.1.2 OF IBC 2018.

*BUILDING TO BE PROTECTED THOUGHTOUT WITH FIRE ALARM SYSTEMS AND SMOKE ALARMS IN ACCORDANCE WITH SECTION 907 OF IBC 2018.

X < 5' = 1HR (R OCCUPANCY)

5' < X < 10' = 1HR (R OCCUPANCY)

10 < X < 30 = 1HR (R2 OCCUPANCY)

30 > X = OHR (R2 OCCUPANCY)

5 TO LESS THAN 10': UP, S

0 TO LESS THAN 3':

3 TO LESS THAN 5':

UP, S UP, S

I. PREVENTION OF EXTER	IOR FIRE SPREAD			
<u>SUBJECT</u>	CODE REFERENCE	SUMMARY		
		TYPE VA		
TYPE OF	IBC 2018 TABLE 601	BUILDING ELEMENT	FIRE RATING (hrs)	PROPOSED UL #
CONSTRUCTION	IADLE OUT	PRIMARY STRUCTURAL MEMBER	1	IBC 2018 TABLE 721.1 (2) IBC 2018 TABLE 721.1 (3) 13
	*MAY REQUIRE FIRE RATINGS PER OTHER CODE SECTIONS	BEARING WALLS (EXTERIOR & INTERIOR)	1/1	IBC 2018 TABLE 721.1(2) 16 IBC 2018 TABLE 721.1 (2)
		NON BEARING WALLS AND PARTITIONS (EXTERIOR)	TABLE 602	IBC 2018 TABLE 721.1(2) 16
		NON BEARING WALLS AND PARTITIONS (INTERIOR)	0	U309
		FLOOR CONSTRUCTION AND SECONDARY MEMBERS	1	UL L569, UL L507
		ROOF CONSTRUCTION AND SECONDARY MEMBERS	1	IBC 2018 TABLE 721.1 (3) 13
USE AND OCCUPANCY CLASSIFICATION	IBC 2018 CHAPTER 3	R-2 MULTI FAMILY (9 DWELLING UNITS)		
ALLOWABLE BUILDING HEIGHTS AND AREAS	IBC 2018 TABLE 504.3, 504.4 & 506.2	R-2 60', (4) STORIES, 12,000 SF PER STORY *BUILDING TO BE FULLY SPRINKLERED W/ N	FPA 13 SYSTEM	

,		10 TO LESS THAN 15': UP, S 45%	30' OR GREATER:	UP, S	NO LIMIT	
II. PREVENTION OF I	NTERIOR FIRE SPREAD					
FIRE BARRIERS	IBC 2018 707	FIRE-RESISTANCE RATING OF FIRE BARRIERS: SHAFT ENCLOSURES: <4 STORIES= 1 hr EXIT ENCLOSURES: <4 STORIES= 2 hr EXIT PASSAGEWAYS: 1 hr SEPARATED OCCUPANCIES: TABLE 508.4 &	SEC 420 (1HR)			
FIRE BARRIERS CONTINUITY	IBC 2018 707.5	EXTEND FIRE BARRIERS THROUGH CONCEALED SF	ACES.			
FIRE BARRIER PENETRATIONS	IBC 2018 714	PENETRATIONS OF FIRE BARRIERS SHALL COMPLY	WITH SECTION 714.			

NOT PERMITTED

15%

25%

15 TO LESS THAN 20': UP, S 20 TO LESS THAN 25': UP, S

25 TO LESS THAN 30': UP, S

NO LIMIT

NO LIMIT

COMMINUM	707.0	
FIRE BARRIER PENETRATIONS	IBC 2018 714	PENETRATIONS OF FIRE BARRIERS SHALL COMPLY WITH SECTION 714.
OPENING PROTECTIVES	IBC 2018 TABLE 716.1(2)	TYPE OF ASSEMBLY FIRE BARRIERS > 1hr 4/3/2/11/2 3/3/11/2/11/2 OTHER FIRE PARTITIONS SHAFT & EXIT ENCLOSURES 2 11/2 EXTERIOR WALLS SMOKE BARRIERS 1 OTHER FIRE BARRIERS 1 3/4 FIRE PARTITIONS: CORRIDOR WALLS 1/3/3
FIRE PARTITIONS	IBC 2018 708	FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1hr.
HORIZONTAL ASSEMBLIES	IBC 2018 711	HORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS IN ACCORDANCE WITH SECTION 420.3 SHALL BE NOT LESS THAN 1 hr FIRE RESISTANCE-RATED CONSTRUCTION. WHERE THE FLOOR ASSEMBLY SEPARATES MIXED OCCUPANCIES, THE ASSEMBLY SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED BY SECTION 508.4
STANDPIPE SYSTEM	IBC 2018 905	STANDPIPE SYSTEMS SHALL BE INSTALLED THROUGHOUT BUILDINGS WHERE THE FLOOR LEVEL OF THE HIGHEST STORY IS LOCATED MORE THAN 30' ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS. CLASS I STANDPIPE INSTALLED IN ALL STAIRWELLS.
STANDPIPE SYSTEM INTERCONNECTION	IBC 2018 905.4.2	IN BUILDINGS WHERE MORE THAN ONE CLASS I STANDPIPE IS PROVIDED, THE STANDPIPES SHALL BE INTERCONNECTED IN ACCORDANCE WITH NFPA 14.
PORTABLE FIRE EXTINGUISHERS	IBC 2018 906	PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS SPECIFIED BY THE CODE. EXCEPTION 1: IN GROUP R-2 OCCUPANCIES, PORTABLE FIRE EXTINGUISHERS SHALL BE REQUIRED ONLY IN LOCATIONS SPECIFIED BY THE CODE, WHERE EACH DWELLING UNIT IS PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 1-A:10-B:C

III. MEANS OF EGRESS				
EXIT ACCESS TRAVEL DISTANCE (W/ SPRINKLER SYST.)	IBC 2018 TABLE 1017.2	R-2- 250' MAX		
STORIES W/ONE EXIT OR ACCESS TO ON EXIT FOR R-2 OCCUPANCIES	IBC 2018 TABLE 1006.3.3(1)	BASEMENT, 1ST, 2ND OR 3RD STORY ABOVE GRADE PLANE: MAX 4 DWELLING UNITS MAX 125' COMMON PATH OF EGRESS TRAVEL PER 1006.3.3, 5: MULTISTORY DWELLING UNITS SHALL BE PERMITTED TO HAVE A SINGLE EXIT PROVIDING THE COMMON PATH OF TRAVEL DISTANCE IS LESS THAN 125' & THE EXIT LEADS DIRECTLY TO THE EXTERIOR AT THE LEVEL OF DISCHARGE/ THE EXIT ACCESS OUTSIDE THE UNIT PROVIDES ACCESS TO NOT LESS THAN 2 EXITS.		
EXIT AND EXIT ACCESS DOORWAY CONFIGURATION	IBC 2018 1007	WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.		
CORRIDOR FIRE- RESISTANCE RATING	IBC 2018 TABLE 1020.1	R-2 W/ OCCUPANT LOAD GREATER THAN 10: W/ NFPA 13 OR NFPA 13R SYSTEM = 0.5 HR		
DEAD END CORRIDOR	IBC 2018 1020.4	IN OCCUPANCY R-2, WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, THE LENGTH OF THE DEAD END CORRIDORS SHALL NOT EXCEED 50'-0".		
I I				

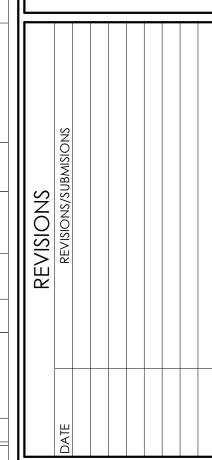
VENTILATION	IBC 2018 SECTION 1202	NATURAL VENTILATION SHALL BE PROVIDED PER 1202.5 (OPERABLE AREA OF NOT LESS THAN 4% OF AREA SERVED / 8% FOR ADJOINING SPACES) OR MECHANICAL VENTILATION SHALL BE PROVIDED TO ALL UNITS IN ACCORDANCE WINNTERNIATIONAL MECHANICAL CODE
LIGHTING	IBC 2018 SECTION 1204	NATURAL LIGHT SHALL BE PROVIDE VIA A MINIMUM NET GLAZED AREA OF 8% OF THE FLOOR AREA OF THE ROOM SERVED OR ARTIFICIAL LIGHT SHALL BE PROVIDED TO ALL UNITS IN ACCORDANCE WITH SECTION 1204.3.

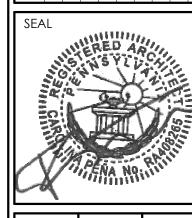
APPROVALS



ARCHITECTURE STUDIO, LLC 230 S. BROAD ST. 17TH FLOOR PHILADELPHIA, PA 19102

OFFICE@PRLL.STUDIO | 215.888.8407



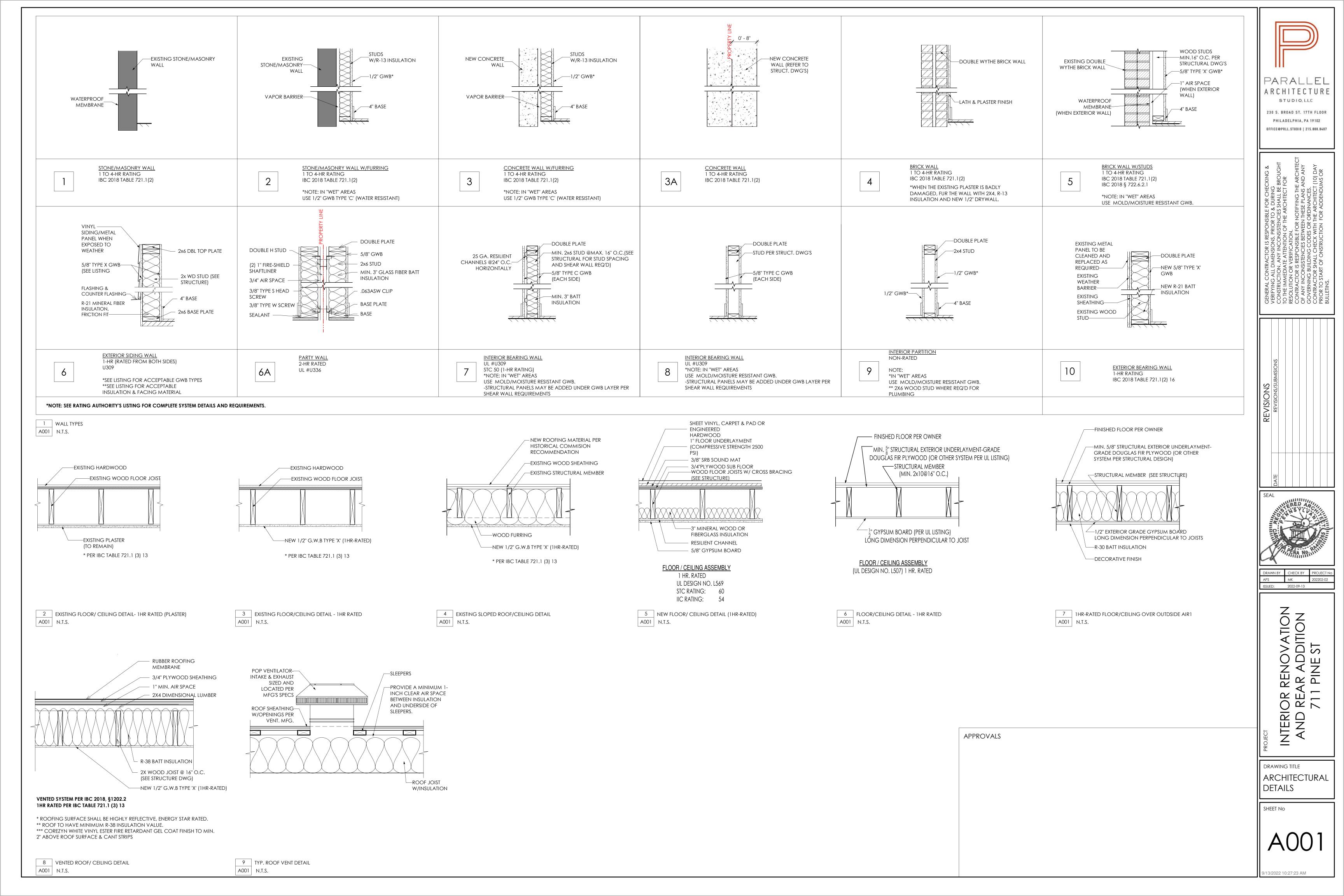


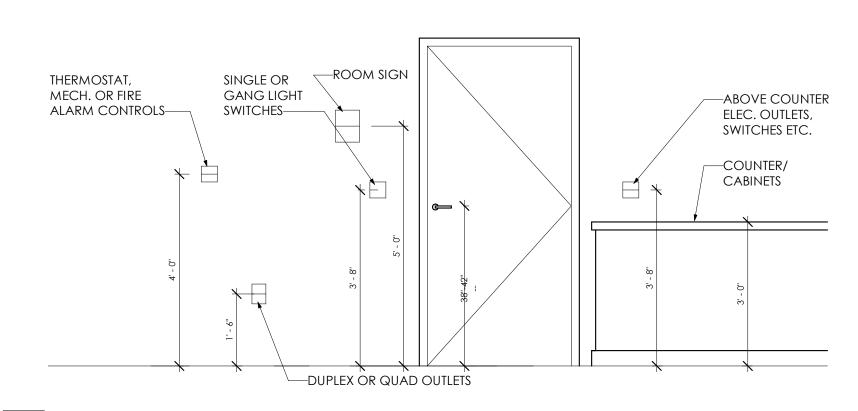
ISSUED: 2022-09-13

RENOVATION AR ADDITION 1 PINE ST INTERIOF AND RE

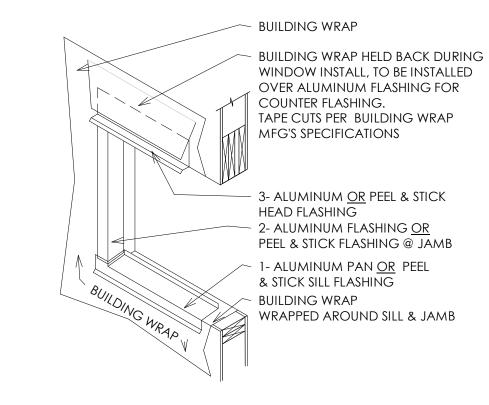
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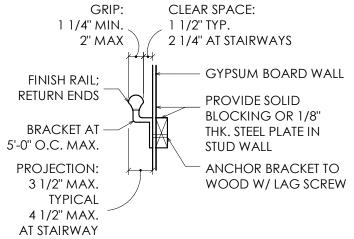


1 STANDARD HEIGHTS1 A002 N.T.S.

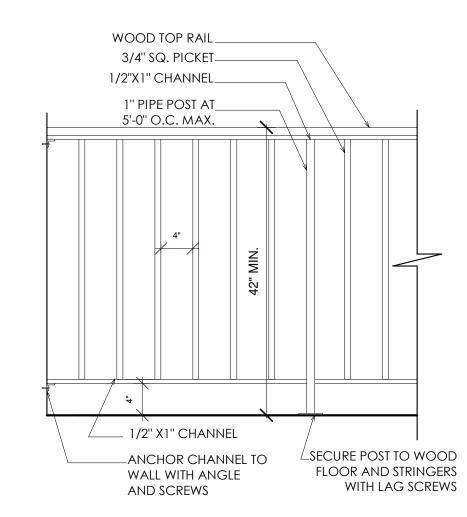


2" MAX FINISH RAIL; RETURN ENDS BRACKET AT 5'-0" O.C. MAX. STUD WALL PROJECTION: 3 1/2" MAX. TYPICAL 4 1/2" MAX. AT STAIRWAY

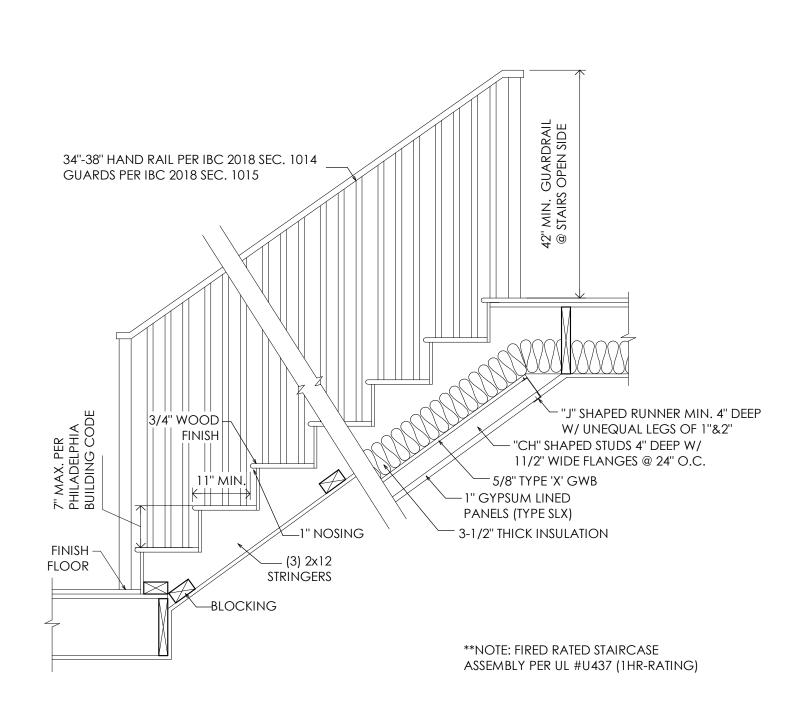




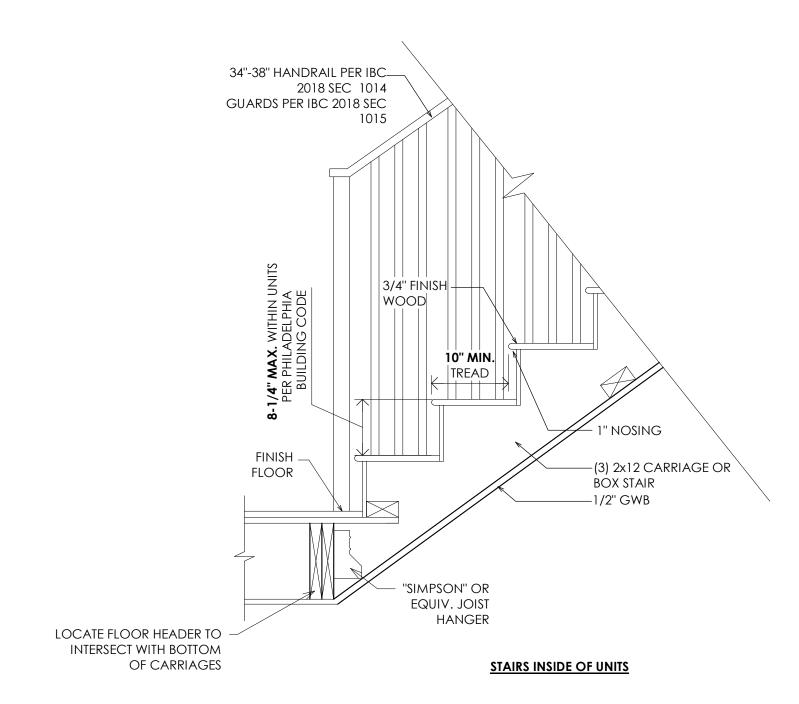




4 GUARD DETAIL1 A002 N.T.S.



5 STAIR DETAIL (MAIN STAIRS) A002 N.T.S.



6 STAIR DETAILS1 A002 N.T.S.

APPROVALS

RENOVATION AR ADDITION 1 PINE ST INTERIOR R AND REA 711

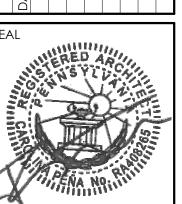
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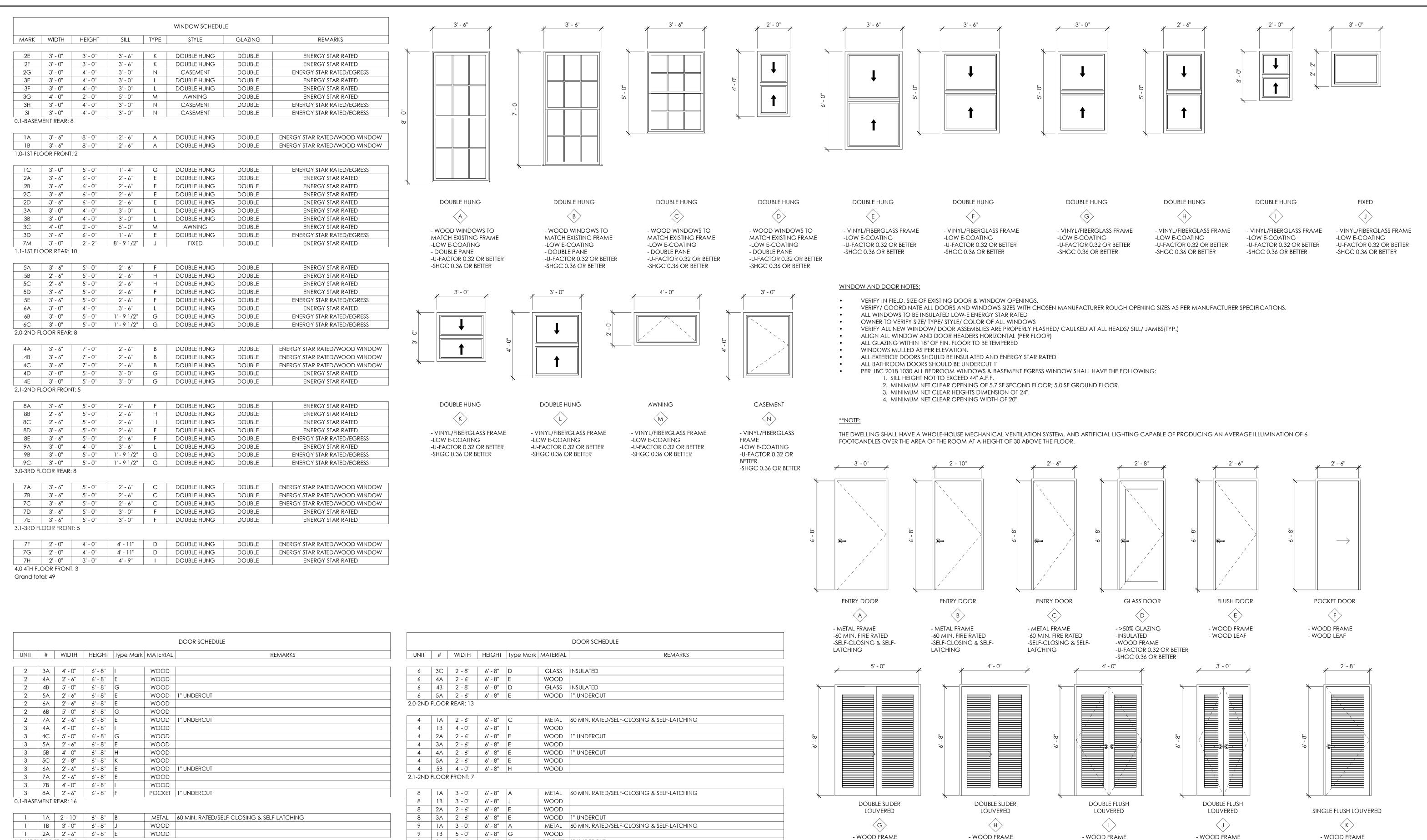


PARALLEL

ARCHITECTURE



ISSUED: 2022-09-13



- WOOD LOUVERS

- WOOD LOUVERS

WOOD LOUVERS

APPROVALS

- WOOD LOUVERS

- WOOD LOUVERS

POCKET 1" UNDERCUT

GLASS INSULATED

GLASS INSULATED

WOOD | 1" UNDERCUT

WOOD 1" UNDERCUT

WOOD 1" UNDERCUT

METAL 60 MIN. RATED/SELF-CLOSING & SELF-LATCHING

WOOD

WOOD

WOOD

WOOD WOOD

WOOD

WOOD

9 2A 2'-6" 6'-8" F

9 3A 2'-6" 6'-8"

9 3B 2'-8" 6'-8" H

9 3C 2'-8" 6'-8" E

9 | 4A | 2' - 6" | 6' - 8" | E

9 | 4B | 2' - 8" | 6' - 8" | E

9 | 10A | 2' - 6" | 6' - 8" | E

7 | 1A | 3'-0" | 6'-8" | A

7 1B 4'-0" 6'-8" H 7 1C 3'-0" 6'-8" J

7 2A 2' - 6" 6' - 8" E

7 3A 2'-6" 6'-8" E

7 8A 2'-6" 6'-8" E 7 | 9A | 2' - 6" | 6' - 8" | E

7 | 10A | 2' - 6" | 6' - 8" | E

3.0-3RD FLOOR REAR: 13

3.1-3RD FLOOR FRONT: 4

4.0 4TH FLOOR FRONT: 4

Grand total: 68

1.0-1ST FLOOR FRONT: 3

1.1-1ST FLOOR REAR: 8

2 | 1A | 3'-0" | 6'-8" | A

2 | 2A | 2' - 6" | 6' - 8" |

3 | 1A | 3'-0" | 6'-8" | A

3 | 1B | 3' - 0" | 6' - 8"

3 2A 2' - 6" 6' - 8"

3 | 2B | 2' - 6" | 6' - 8" |

3 3A 2'-6" 6'-8"

3 3B 4'-0" 6'-8" H

5 | 1A | 3'-0" | 6'-8" | A

5 | 1B | 3' - 0" | 6' - 8" |.

5 2A 2'-6" 6'-8"

5 3A 2'-6" 6'-8"

6 1A 3'-0" 6'-8" A

6 | 1B | 5' - 0" | 6' - 8" | G

6 2A 2'-6" 6'-8"

6 3A 2'-6" 6'-8" I

6 3B 2'-8" 6'-8" K

METAL 60 MIN. RATED/SELF-CLOSING & SELF-LATCHING

WOOD 1" UNDERCUT

WOOD 1" UNDERCUT

POCKET | 1" UNDERCUT

WOOD | 1" UNDERCUT

POCKET 1" UNDERCUT

WOOD

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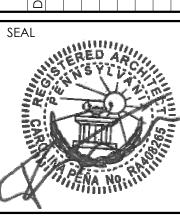
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ARCHITECTURE STUDIO, LLC 230 S. BROAD ST. 17TH FLOOR PHILADELPHIA, PA 19102

OFFICE@PRLL.STUDIO | 215.888.8407



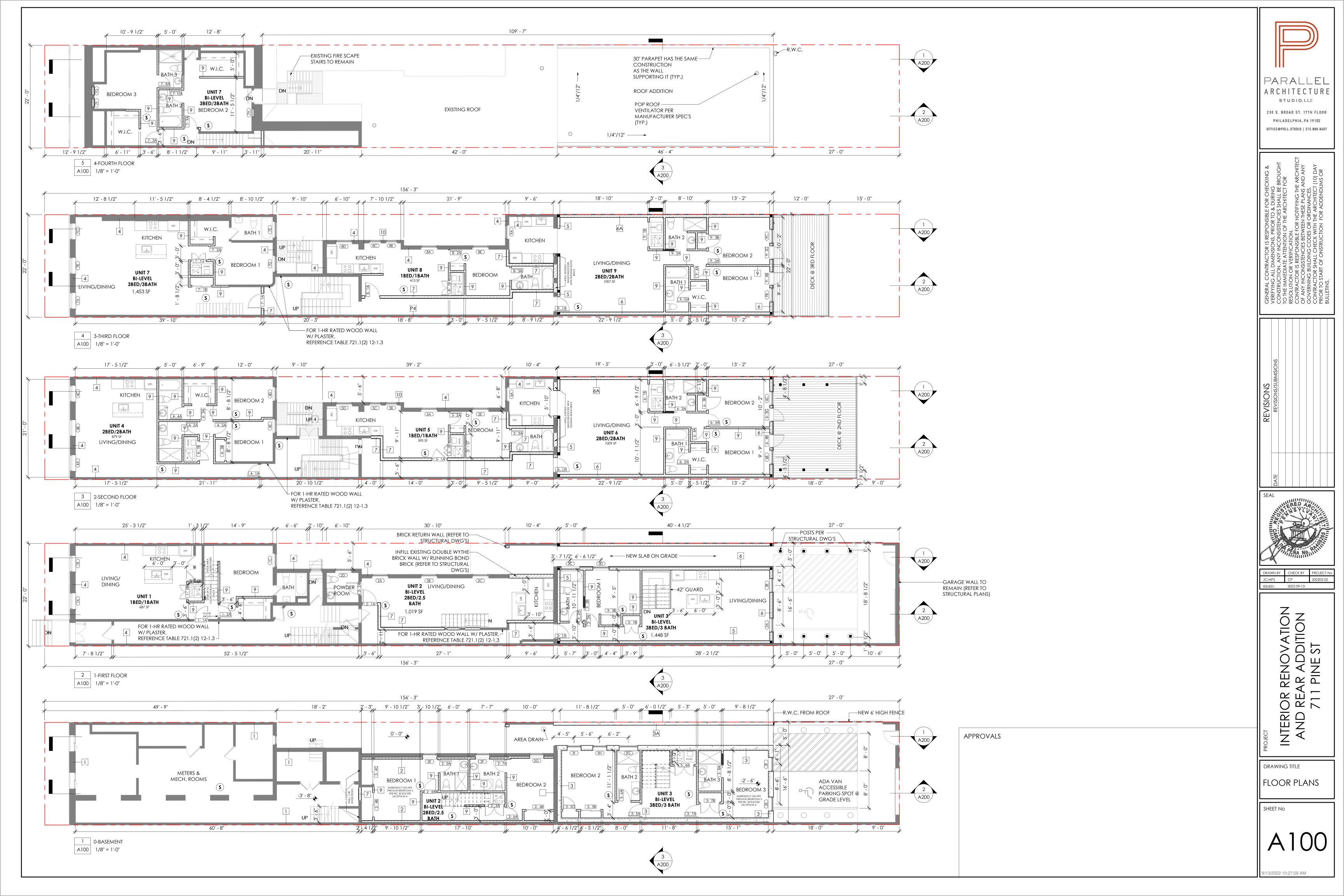
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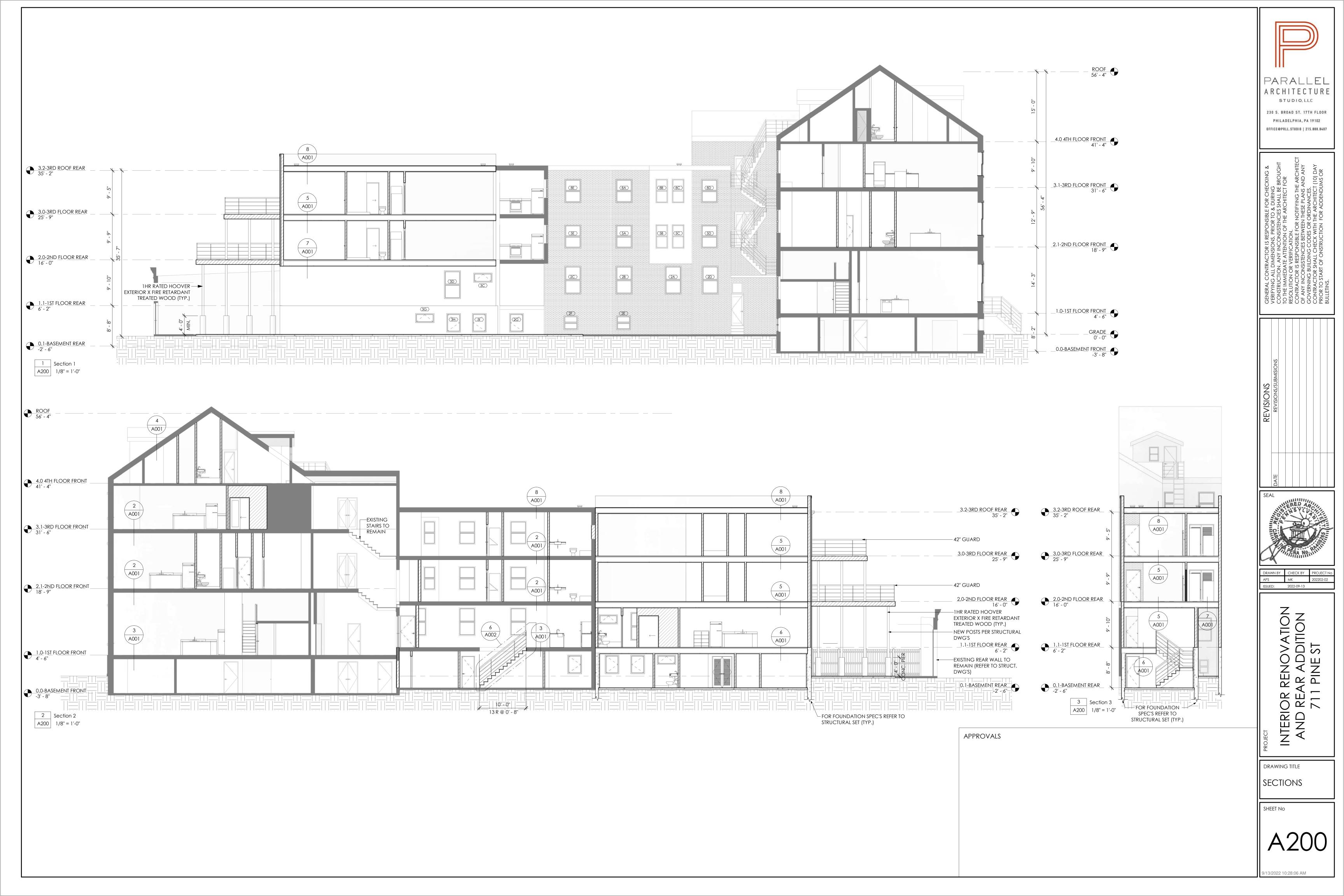
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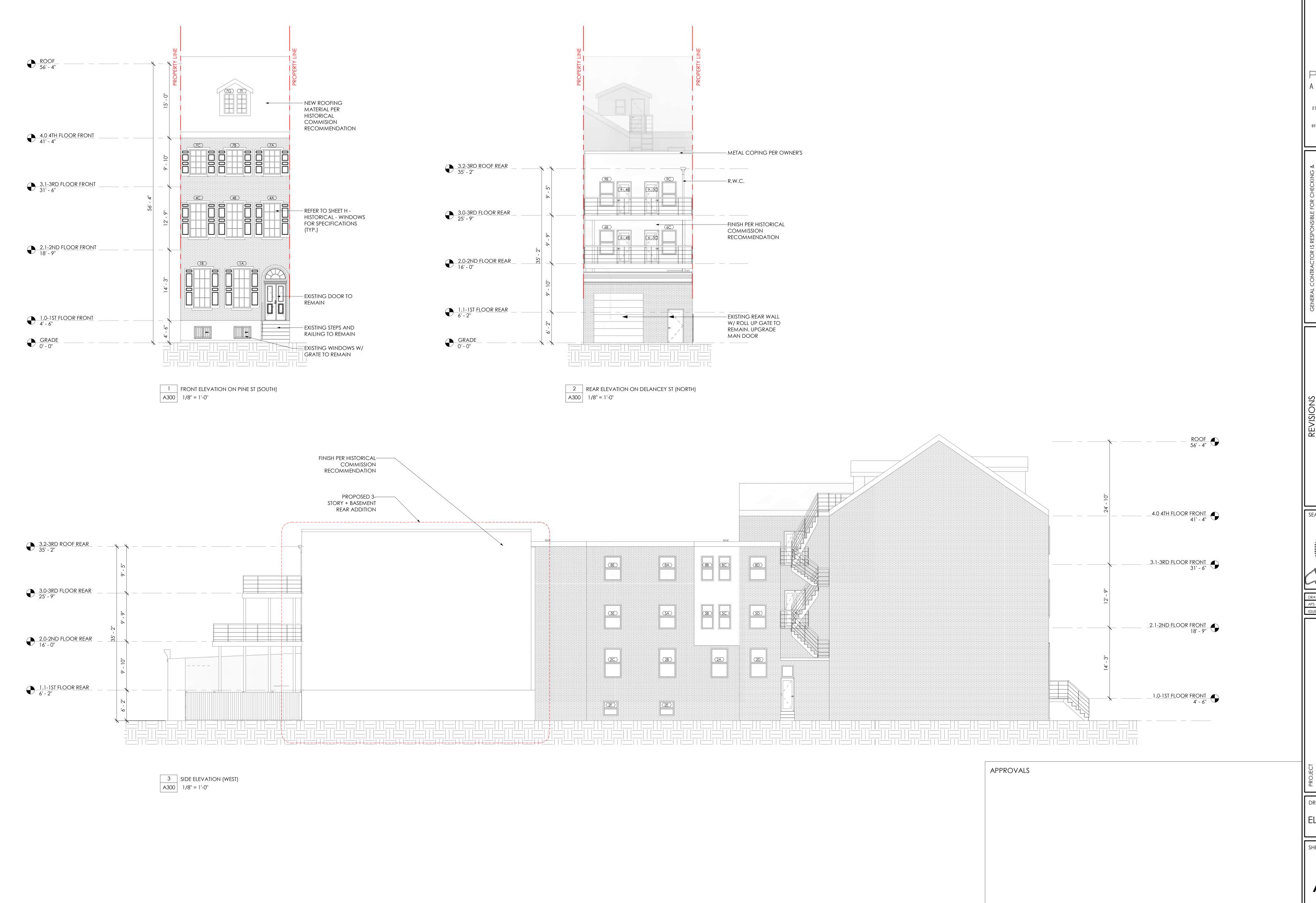
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WINDOW & DOOR **SCHEDULES**

SHEET No

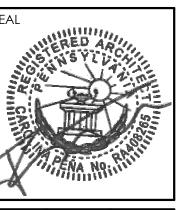






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230 S. BROAD ST. 17TH FLOOR PHILADELPHIA, PA 19102 OFFICE@PRLL.STUDIO | 215.888.8407

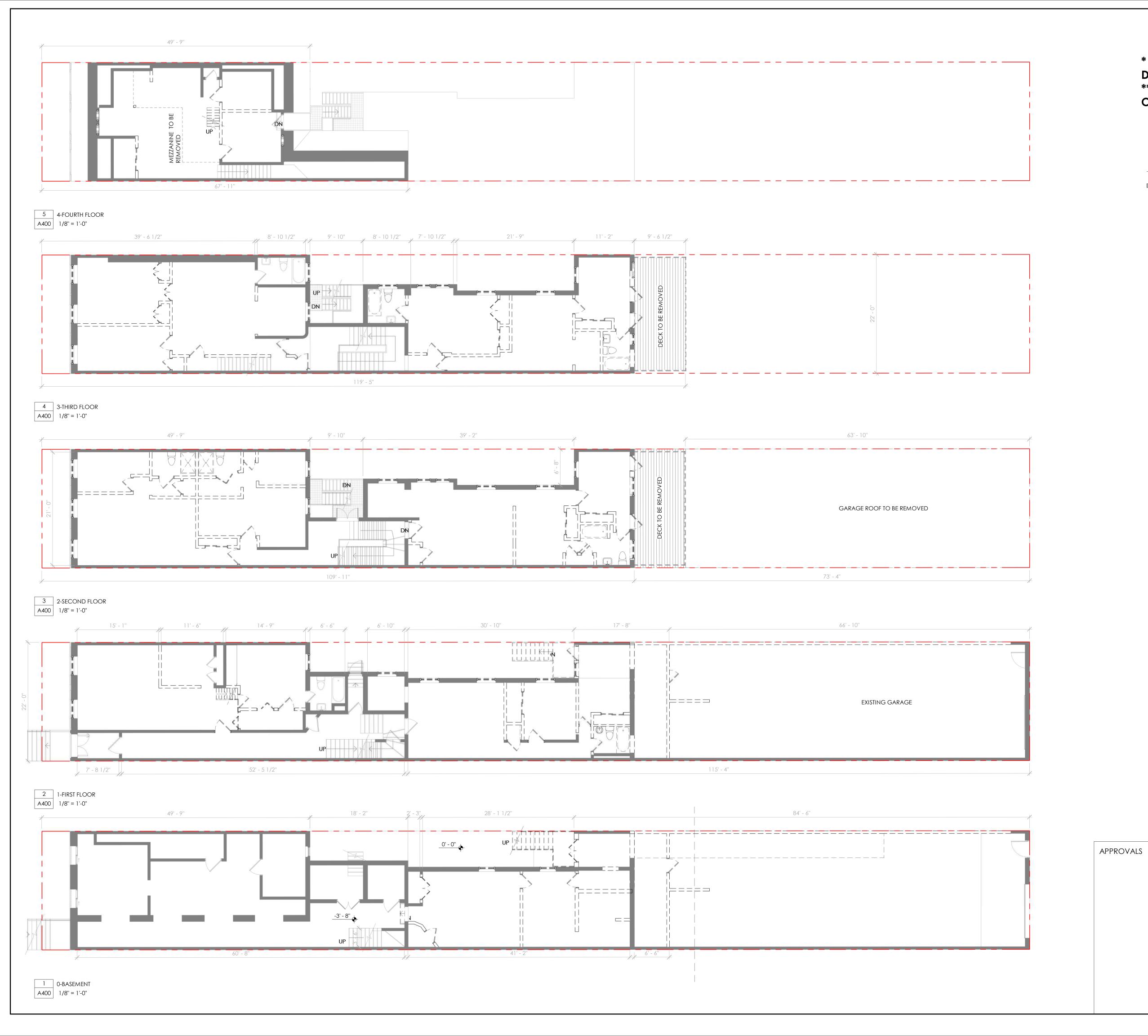


APS MK
ISSUED: 2022-09-13

INTERIOR RENOVATION AND REAR ADDITION 711 PINE ST

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ELEVATIONS



* ASBESTOS REMOVAL NECCESSARY PRIOR TO DEMO/RENOVATION.

**NEW ASBESTOS INSPECTION REPORT SHOULD BE OBTANIED PRIOR TO COMMENCING WORK.

WALL OR PORTION TO REMAIN

_____ WALL OR PORTION TO BE DEMOLISHED

PARALLEL
ARCHITECTURE
STUDIO, LLC

230 S. BROAD ST. 17TH FLOOR

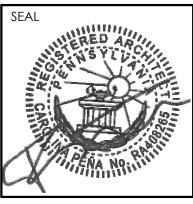
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ITECT FOR
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VCES.
JETICA (10) DAY

CONSTRUCTION. ANY INCONSISTENCIES SHALL BE BROL TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION OR VERIFICATION.

CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARC OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND AGOVERNING BUILDING CODES OR ORDINANCES.

CONTRACTOR SHALL CHECK WITH THE ARCHITECT (10) I PRIOR TO START OF ONSTRUCTION FOR ADDENDUMS C BULLETINS.

DATE REVISIONS/SUBMISIONS



AWN BY CHECK BY PROJECT
S MK 202202-0
UED: 2022-09-13

INTERIOR RENOVATION AND REAR ADDITION 711 PINE ST

DRAWING TITLE
DEMOLITION
PLANS

SHEET No

A400

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ROOF 56' - 4" -R-38 INSULATION R-38 INSULATION 4.0 4TH FLOOR FRONT 41' - 4" R-38 INSULATION R-38 INSULATION 3.2-3RD ROOF REAR 35' - 2" EXISTING WALL, — CAVITY NOT EXPOSED R-21 INSULATION 1.0-1ST FLOOR FRONT 4' - 6" 1.0-1ST FLOOR FRONT 4' - 6" 0.1-BASEMENT REAR -2' - 6" 0.1-BASEMENT REAR -2' - 6"______ 1 Section EC EC2 1/8" = 1'-0"

PARALLEL ARCHITECTURE STUDIO, LLC

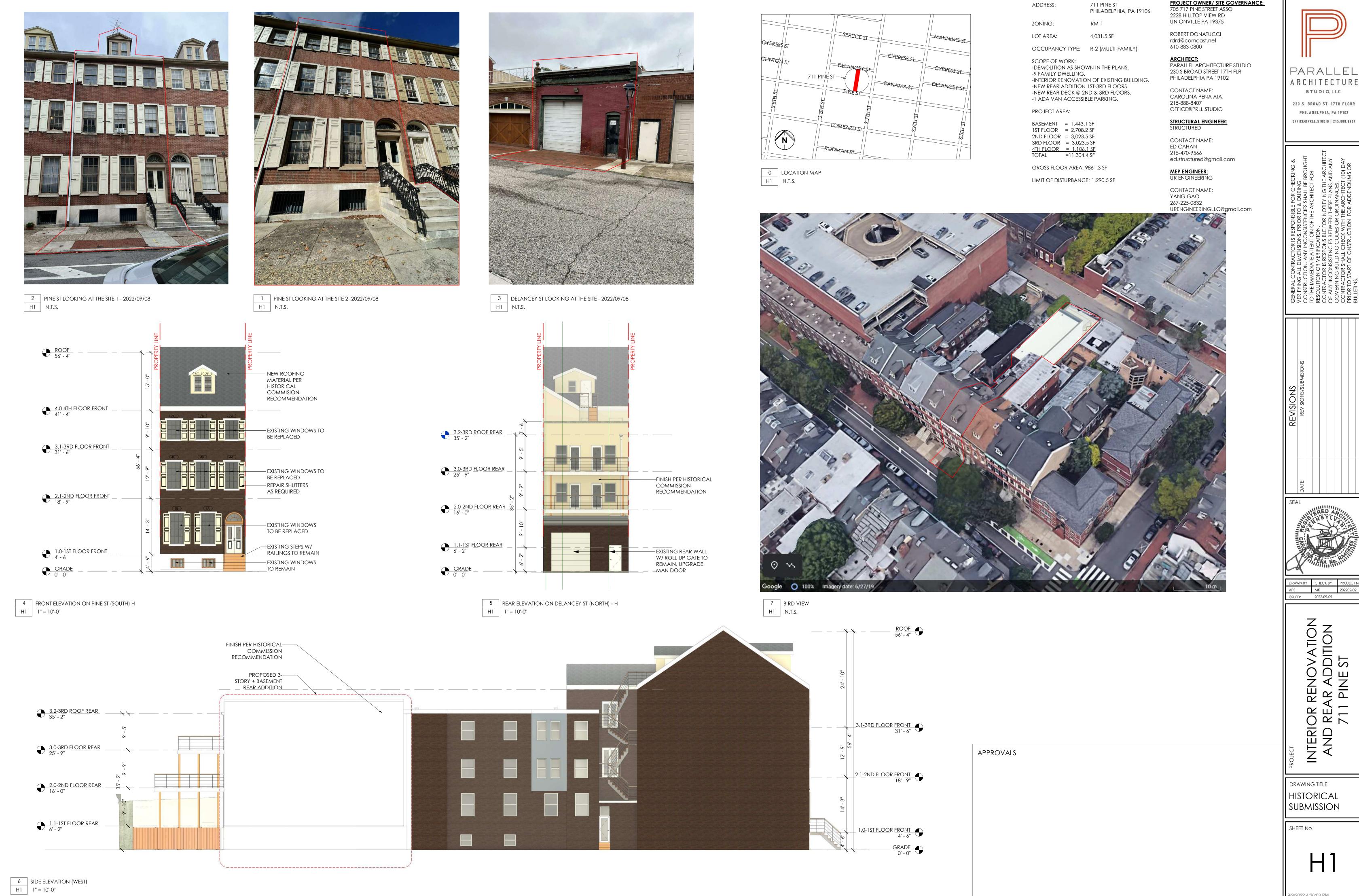
230 S. BROAD ST. 17TH FLOOR PHILADELPHIA, PA 19102

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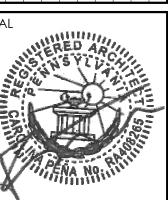
INTERIOR RI AND REAF 711 F

DRAWING TITLE ENERGY CONSERVATION

APPROVALS



PROJECT OWNER/ SITE GOVERNANCE: 705 717 PINE STREET ASSO 2228 HILLTOP VIEW RD

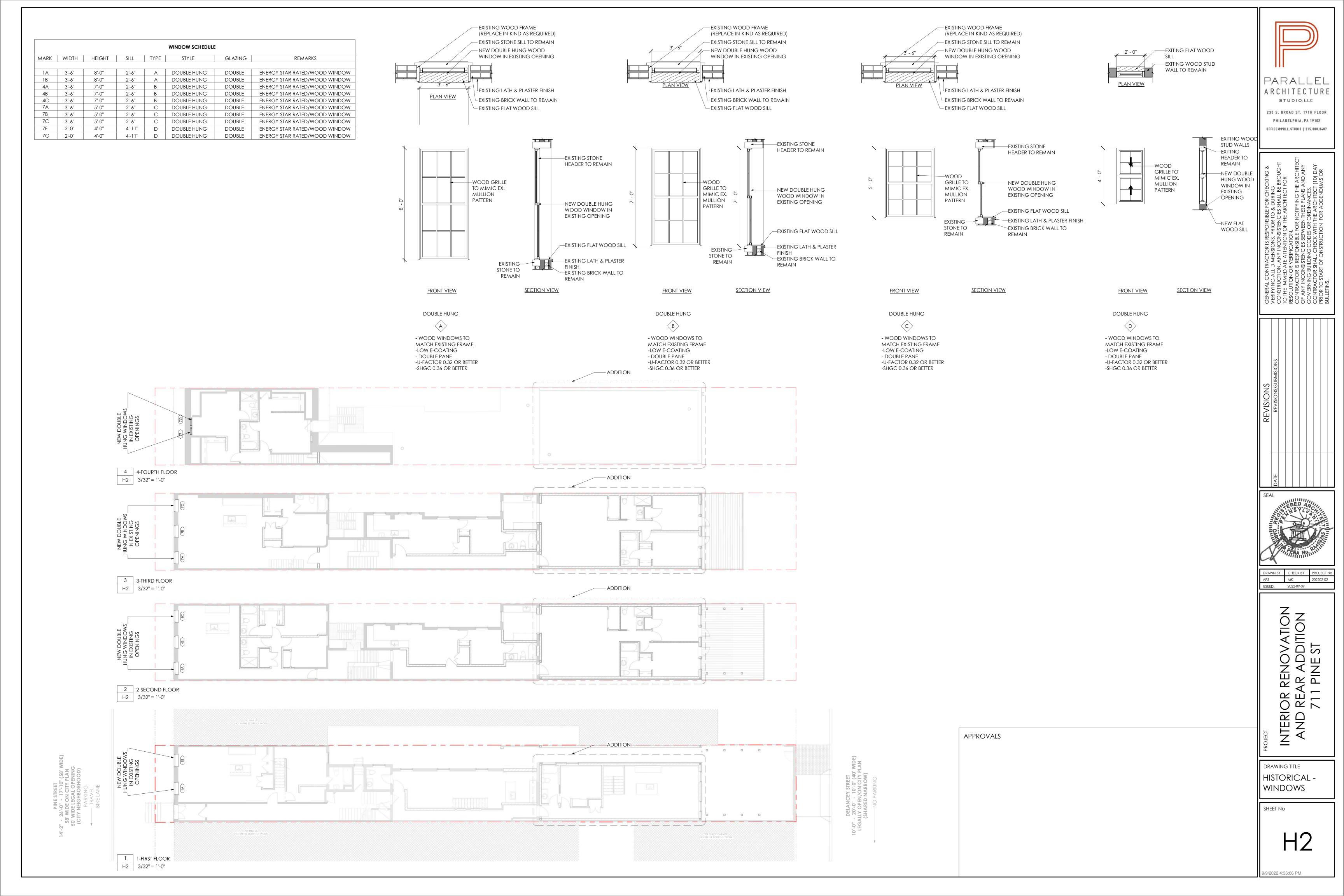


APS MK
ISSUED: 2022-09-09

RENOVATION AR ADDITION 1 PINE ST INTERIOR RI AND REAF 711 F

HISTORICAL







September 9, 2022

Philadelphia Historical Commission

RE: 713 Pine Street CP-2022-005106

To Whom it May Concern,

We are pleased to present to you the application for your approval for window replacement, interior renovation and rear addition to the historically designated site at 713 Pine Street, Philadelphia PA 19106 located in the Society Hill Historic District.

Property Owner: 705 717 Pine Associates

Contact: Robert Donatucci rdrd@comcast.net cell: 610-883-0800

Carolina Pena (Architect)
Parallel Architecture Studio
230 S Broad Street 17 floor, Philadelphia PA 19102
office@prll.studio

cell: 267-271-5799

This structure is currently a multi-family house that will be fully renovated and include an addition to house a total of 9-families.

We are proposing to upgrade the majority of the existing windows to make them compliant with the current energy code. The windows in the front facade will be replaced with wood windows with mullions and trim mimicking the existing historical windows. The windows on the rear and sides will of modern materials in a color complimentary to the front windows. We look to the Historical Commission for guidance on grille patterns and trim requirements.

The proposed 3-story rear addition with basement will be partially visible from Delancey Street. We are proposing to keep the existing rear wall with a roll-up garage door facing Delancey Street. There is currently a flat slab man door adjacent the roll up door. We look to the Historical Commission for guidance on the rear addition finishes and visible door style.

Please feel free to reach out for any questions or recommendation you may have. Office@prll.studio 267-271-5799

Respectfully,

Carolina Peña, AIA

GENERAL NOTES

GENERAL NOTES:

- 1. ALL WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, & LOCAL BUILDING CODES.
- 2. ALL CONTRACTOR(S) PERFORMING WORK SHALL HAVE APPLICABLE LICENSES.
- 3. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING BUILDING PERMITS UNLESS NOTED OTHERWISE (U.N.O.).
- 4. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING MECHANICAL, ELECTRICAL, PLUMBING & SPRINKLER PERMITS U.N.O.
- 5. CONTRACTOR(S) IS TO HAVE APPLICABLE INSURANCE AS REQUIRED BY THE BUILDING OWNER AND MUNICIPALITY.
- 6. CONTRACTOR(S) IS RESPONSIBLE FOR NOTIFYING THE BUILDING INSPECTOR A MINIMUM OF 24 HOURS PRIOR TO COMMENCING WORK. CONTRACTOR(S) IS RESPONSIBLE FOR CONTACTING THE BUILDING INSPECTOR FOR ANY / ALL REQUIRED INSPECTIONS FOR THE DURATION OF THE PROJECT.
- 7. CONTRACTOR(S) IS TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK, NOTIFY ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND ARCHITECTURAL DOCUMENTS.
- 8. DO NOT SCALE DRAWINGS.
- 9. CONTRACTOR(S) IS RESPONSIBLE FOR PROVIDING REQUIRED SITE FENCING AROUND PERIMETER OF JOB SITE AS PER OSHA AND MUNICIPALITY REQUIREMENTS AND GUIDELINES.
- 10. CONTRACTOR(S) IS RESPONSIBLE TO ACQUIRE ANY / ALL STREET & SIDEWALK CLOSURE PERMITS AS WELL AS ANY REQUIRED DUMPSTER PERMITS.
- 11. PROVIDE PORTABLE JOB TOILET AND TELEPHONE ON SITE FOR THE DURATION OF THE PROJECT (AS REQUIRED BY OWNER).
- 12. CONTRACTOR(S) TO PROVIDE DAILY CLEAN-UP TO SITE DUMPSTER
- 13. CONSTRUCTION INDICATED AS FIRE RATED SHALL CONFORM TO MATERIALS AND METHODS OF TESTED SYSTEMS.
- 14. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR(S) MEANS AND METHODS OF CONSTRUCTION

SITE WORK:

- 1. USE OF THE PENNSYLVANIA ONE-CALL SYSTEM, INC. IS REQUIRED PRIOR TO ANY SITE WORK / EXCAVATION.
- 2. CONTRACTOR IS TO OBTAIN A SEALED COPY OF THE GEOTECHNICAL REPORT FOR THE PROJECT SITE, CONTACT ARCHITECT IMMEDIATELY IF A COPY IS NOT PROVIDED.
- 3. EXCAVATION IS TO BE DONE IN ACCORDANCE WITH ARCHITECTURAL SEALED DRAWINGS AND THE SITE'S GEOTECHNICAL REPORT.
- 4. DO NOT EXCAVATE BELOW ADJACENT FOUNDATIONS AND / OR FOOTINGS UNLESS UNDERPINNING HAS BEEN SPECIFIED AND PERMITTED. CONTRACTOR SHALL FOLLOW UNDERPINNING SEQUENCES AND DIMENSION(S) AS INDICATED IN THE PERMIT DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE STRUCTURAL ENGINEER BEFORE AND DURING UNDERPINNING(S) FOR OBSERVATION.
- 5. SOIL BEARING STRENGTH TO BE IN ACCORDANCE WITH THE SITE'S GEOTECHNICAL REPORT.
- 6. CONTRACTOR(S) IS TO PROVIDE ALL SHEETING & SHORING AS REQUIRED.
- 7. CONTRACTOR(S) IS TO PROVIDE FINAL GRADING AWAY FROM NEW BUILDING AT A MINIMUM OF 8" BELOW ALL WOOD
- 8. PROTECT EXISTING SHRUBS & TREES WITHIN AREAS OF WORK. NOTIFY OWNER OF ANY POTENTIAL HARM TO VEGETATION PRIOR TO COMMENCING WORK.
- 9. VERIFY WITH OWNER CONSTRUCTION STAGING & CONSTRUCTION DELIVERY LOCATIONS CONTRACTOR(S) TO INSURE PROPER PERMITS ARE OBTAINED FOR UTILIZING THE RIGHT OF WAY.

WEATHER BARRIERS AND FLASHING

- 1. ENTIRE BUILDING ENVELOPE SHALL BE COVERED WITH AN APPROVED WEATHER BARRIER. THE BARRIER SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION; ENSURE PROPER LAPPING OF MATERIAL SECTIONS.
- 2. ALL WINDOW AND EXTERIOR DOOR ASSEMBLIES SHALL RECEIVE BOTH HEAD FLASHING AND SILL FLASHING AND OR SILL PANS. CONTRACTOR SHALL USE FLASHING MATERIALS THAT ARE COMPATIBLE WITH ADJACENT BUILDING MATERIALS. NOTE: APPLYING BUTYLE TAPE(S) AROUND THE PERIMETER OF DOOR AND WINDOW ASSEMBLIES DOES NOT QUALIFY AS INSTALLING FLASHING(S). CONTRACTOR SHALL INSURE THAT WHEN INSTALLING FLASHING THAT ADJACENT MATERIALS ARE PROPERLY LAPPED WITH INSTALLED FLASHING MEMBERS.
- 3. THE CONTRACTOR(S) SHALL INSURE THAT ALL WINDOW AND DOOR ASSEMBLIES ARE INSTALLED PER THE MANUFACTURERS INSTALLATION GUIDES AND RECOMMENDATIONS

INTERIOR FINISHES:

- 1. ALL INTERIOR FINISH TO BE 1/2" GYPSUM WALL BOARD U.N.O. (IE. @ RATED ASSEMBLIES) FILL, SPACKLE, SAND AND PRIME ALL NEW DRYWALL WORK IN PREPARATION FOR FINAL FINISH.
- 2. FINISH PAINT TO BE M.A.B., OR APPROVED EQUAL, ACRYLIC LATEX. ALL NEW INTERIOR AND EXTERIOR WALLS AND CEILINGS TO RECEIVE ONE COAT PRIMER AND MINIMUM 2 COATS FINISH.
- 3. PROVIDE CEMENTITIOUS BACKER-BOARD AS REQ'D AT ALL AREAS OF MARBLE/GRANITE/ TILE WORK.
- 4. ALL BATHROOMS AND OTHER WET AREAS TO RECEIVE MOISTURE / MILDEW RESISTANT GYPSUM WALL BOARD.
- 5. VERIFY ALL CARPETING AND PADDING WITH OWNER. PROVIDE SAMPLES AS REQUIRED.
- 6. VERIFY ALL HARDWOOD FINISH SPECIFICATIONS WITH OWNER.
- 7. OWNER TO APPROVE ALL FINAL FINISHES AND COLORS.

EXTERIOR FINISHES:

- 1. ALL EXTERIOR FINISHES SHALL PROVIDE FOR DRAINAGE AT THE LOWEST POINT OF THE FINISH SYSTEM/ MATERIAL. INSURE PROPER LAPPING AND FLASHING(S) BETWEEN FINISH SYSTEM(S)
- 2. NEW MASONRY FINISH TO BE AS PER CONSTRUCTION DOCUMENT NOTES & DETAILS; VERIFY FINISH STYLE, TYPE & COLOR WITH OWNER.
- 3. NEW EXTERIOR TRIM WORK TO BE AS PER CONSTRUCTION DOCUMENT NOTES AND DETAILS.
- 4. NEW WINDOWS SHALL BE COORDINATED WITH THE CONSTRUCTION DOCUMENTS, NOTES AND DETAILS NOTE: PURCHASED WINDOW(S) AND EXTERIOR DOOR(S) SHALL BE COORDINATED WITH THE DIMENSIONS ON THE CONSTRUCTION DOCUMENTS. ALL GLAZING(S) IN DOORS AND EXTERIOR WINDOWS SHALL BE INSULATED WITH A LOW E COATING(S).
- 5. ALL EXTERIOR CEILINGS TO HAVE BATT INSULATION MINIMUM R-38. ALL EXTERIOR STUD WALLS TO HAVE BATT INSULATION MINIMUM R19.
- 6. ROOFING SHALL BE ENERGY STAR RATED, HIGHLY REFLECTIVE.

BATHROOMS:

- 1. CERAMIC TILE FLOOR(S) SET IN MASTIC ON 3/8" CEMENT BD. ON 3/4" PLY-WD. SUB FLR., FLASH PATCH CEMENT BD. SUBSTRATE FOR PROPER CERAMIC CONDITIONS, PROVIDE GROUT SEALER(S)
- 2. ALL GYPSUM BD. USED IN TOILET ROOM LOCATION SHALL BE MIN. 1/2" MOISTURE RESISTANT GYP. BD. W/ ANTI-FUNGAL PAINT FINISH

- ROOF SHEATHING TO BE 3/4" EXTERIOR GRADE T&G PLYWOOD SHEATHING. HOLD SHEATHING 2" CLEAR AT VENTING LOCATIONS.
- PROVIDE ALUMINUM "H" CLIPS AS REQUIRED.
- LOW PITCH ROOF SYSTEM(S) TO BE MODIFIED BITUMINOUS 3- PLY BUILT-UP ROOF SYSTEM W/ SEMI-GRANULAR CAP SHEET UNO. SYSTEM TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
- PROVIDE ICE AND SNOW SHIELD'S MIN. 48" FROM ALL EAVES, ALL VALLEYS W/ MIN. 30" LAP FROM VALLEY, ALL INTERSECTIONS OF ROOF DECK AND VERTICAL SURFACES.
- ROOF CONTRACTOR TO PROVIDE MIN. .04" ALUM. FLASHING AS INDICATED IN DETAILS AND AT ALL ROOF DECK AND VERTICAL SURFACES, VALLEYS, PENETRATIONS THRU ROOF/ DECK
- ROOFING CONTRACTOR TO BE RESPONSIBLE FOR SEALING ALL PENETRATIONS THRU THE ROOF
- ROOFING CONTRACTOR TO PROVIDE .04" PRE-FINISHED ALUM. COPING SYSTEM AS INDICATED. PROVIDE ALL ASSOCIATED HARDWARE AND COMPONENTS WITH NON CORROSIVE FASTENERS. ROOFING SHALL BE ENERGY STAR RATED AS HIGHLY REFLECTIVE MODIFIED BITUMEN

HVAC / PLUMBING / ELECTRICAL:

DECK FOR MECHANICAL PURPOSES

- A SEPARATE PERMIT MUST BE OBTAINED FOR ALL NEW HVAC/PLUMBING AND ELECTRICAL WORK REQUIRED TO COMPLETE THE PROJECT & OBTAIN FINAL C.O.
- LICENSED AND INSURED HVAC CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL CONTRACTOR TO SUBMIT DESIGN AND SPECIFICATIONS TO BOTH OWNER AND ARCHITECT FOR REVIEW AND APPROVALS. CONTRACTOR TO COORDINATE WITH ARCHITECT REQUIRED CHASES FOR NEW AND RELOCATED SYSTEM(S) PRIOR TO FRAMING PHASE(S). CONTRACTOR RESPONSIBLE FOR ALL REQUIRED
- LICENSED AND INSURED PLUMBING CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NEW PLUMBING INDICATED IN RENOVATIONS, AND SHALL PROVIDE REQUIRED DEMOLITION AND COORDINATION OF EXISTING SYSTEMS. CONTRACTOR TO PROVIDE RISER DIAGRAM INDICATING TYPE AND SIZE OF PIPPING. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF OWNERS FINISH (WET) FIXTURES. CONTRACTOR SHALL INFORM BOTH OWNER AND ARCHITECT OF ANY PARTS/ EQUIPMENT REQUIRED FOR INSTALLATION OF ANY UNIT. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS.
- LICENSED AND INSURED ELECTRICAL CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL CONTRACTOR TO BE RESPONSIBLE FOR PROVIDING SERVICE DURING AND POST DEMOLITION. CONTRACTOR TO PROVIDE DESIGN AND SPECIFICATIONS OF ALL MATERIALS/DEVICES/ FIXTURES AND COMPONENTS WITH PROPOSAL. CONTRACTOR TO BE RESPONSIBLE FOR RECESSED (CAN) LIGHTING INCLUDING FINISH TRIM KITS. VERIFY W/ OWNER COLOR AND STYLE OF FINISH KIT. CONTRACTOR TO PROVIDE CIRCUIT DESIGN TO ARCHITECT. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS.

BUILDING CODE	PHILADELPHIA BUILDING CODE 2018 INTERNATIONAL BUILDING CODE
	2018 INTERNATIONAL EXISTING BUILDING CODE
ENERGY EFFICIENCY	2018 INTERNATIONAL ENERGY CONSERVATION CODE
MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (PER IBC 2018)
PLUMBING CODE	2018 INTERNATIONAL PLUBMING CODE
FIRE CODE	2018 INTERNATIONAL FIRE CODE
LIFE SAFETY CODE	2018 NFPA 101

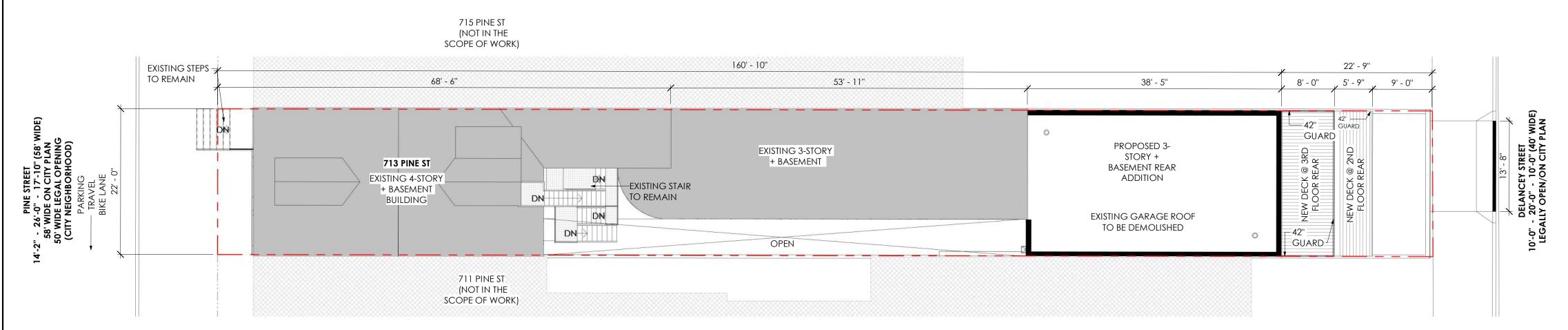
*SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, PLUMBING ELECTRICAL AND FIRE SUPPRESSION WORK.

GENERAL CONTRACTOR RESPONSIBILITY

- 1. GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.

- 4. CONTRACTOR TO ENSURE THAT ALL WINDOWS ARE PROPERLY CAULKED AND BUILDING IS WATER AND AIR SEALED.
- DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- 6. GENERAL CONTRACTOR SHALL OBTAIN CONSTRUCTION PERMIT, APPROVALS, INSPECTIONS, CERTIFICATE FOR
- 7. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS OTHER THAN GENERAL BUILDING PERMITS REQUIRED FOR SUCH WORK SHOWN ON THE DRAWINGS. SUCH PERMITS SHALL BE OBTAINED BEFORE STARTING THE WORK. SEPARATE PERMITS ARE REQUIRED FOR THE INSTALLATION OF ALL EXTERIOR SIGNAGE. THE CONTRACTOR SHALL ACQUIRE THESE
- 8. GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY FACILITIES DURING CONSTRUCTION FOR THE COMPLETE BUILDINGS OPERATION. THIS SHALL BE TEMPORARY ACCESS, EXIT, CORRIDORS, LIGHTING, FIRE PROTECTION, MAIN
- 10. GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS
- 11. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND REQUIREMENTS DURING
- 12. AFTER COMPLETION, GENERAL CONTRACTOR SHALL CLEAN WHERE EVER SUCH CLEANING IS REQUIRED, INCLUDING AREAS OF THE BUILDING MADE DIRTY BY CONSTRUCTION WORK. REMOVE FROM THE PREMISES ALL TRASH, TOOLS, EQUIPMENT AND
- 13. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE TO COMPLETE THE WORK OUTLINED IN THESE DOCUMENTS. INCLUDING ITEMS WITHIN THE SPACE ABOVE THE CEILINGS (STRUCTURAL, CONDUITS, MECHANICAL DUCTS, INSULATION, RECESSED LIGHT FIXTURES, AND CEILING CONSTRUCTION DIMENSIONS, ETC.) THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE FINISHED CEILING HEIGHT ABOVE THE FLOOR AS INDICATED IN THESE DRAWINGS FOR THE
- 14. GENERAL CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS HAVING JURISDICTION WHETHER
- 15. CONTRACTOR WILL VERIFY WITH THE CITY AND THE PUBLIC WORKS DEPARTMENT THE LOCATION OF ALL
- INFRASTRUCTURE, EVEN IF THEY ARE NOT SHOWN ON THE DRAWINGS. 16. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY PARTITION WALLS IF THEY ARE REQUIRED DURING THE
- CONSTRUCTION PROCESS.
- NECESSARY FOR THE COMPLETION OF THE PROJECT.
- 18. GENERAL CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS HAVING JURISDICTION, WHETHER
- 19. SHOP DRAWINGS:
- A. SUBMIT A SCHEDULE OF SHOP DRAWINGS PRIOR TO COMMENCING WORK.
- B. SUBMIT SHOP DRAWINGS FOR ARCHITECTS REVISION WHERE REQUIRED BY PLANS AND SPECIFICATIONS, WITH AMPLE
- C. ALL SHOP DRAWINGS, INCLUDING EQUIPMENT AND MATERIALS, SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT
- 20. GENERAL CONTRACTOR TO SUBMIT TIMEFRAME & CONSTRUCTION PHASES SCHEDULE.
- 21. GENERAL CONTRACTOR TO PROVIDE OWNER WITH ONE COMPLETE SET OF ACCURATE, FULL-SIZED AS-BUILT RECORD DRAWINGS FOR PERMANENT RECORD.
- 22. FULLY WARRANTY ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FOR 1 YEAR FROM DATE OF ACCEPTANCE. REPAIR OR REPLACE WITHOUT CHARGE TO THE OWNER ALL ITEMS FOUND DEFECTIVE DURING WARRANTY PERIOD. EXTEND ALL MANUFACTURER'S WARRANTIES TO THE OWNER.

DRAWING INDEX		
SHEET NO.	SHEET NAME	
.CS	Cover Sheet	
A000	FIRE & LIFE SAFETY	
A001	ARCHITECTURAL DETAILS	
A002	ARCHITECTURAL DETAILS	
A003	WINDOW & DOOR SCHEDULES	
A100	FLOOR PLANS	
A200	SECTIONS	
A300	ELEVATIONS	
A400	DEMOLITION	
H1	HISTORICAL SUBMISSION	
H2	HISTORICAL - WINDOWS	



- 2. NOTIFY THE ARCHITECT IN WRITING OF ANY UNEXPECTED CONDITIONS THAT ARE UNCOVERED AFTER BEGINNING WORK.
- 3. GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE INDICATED.
- 5. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT
- COMPLIANCE, AND ASSIST WITH THE CERTIFICATE OF OCCUPANCY AS REQUIRED UNLESS OTHERWISE NOTED.
- PERMITS AND PAY ALL REQUIRED FEES PRIOR TO THE SIGNAGE INSTALLATION.
- CORRIDOR PROTECTION, A/C & ALL INFRASTRUCTURE REQUIRED DURING THE FINAL STORE OPERATION.
- 9. GENERAL CONTRACTOR SHALL REMOVE ALL TEMPORARY ITEMS AT THE COMPLETION OF WORK AS REQUIRED.
- AND ADDENDA.
- CONSTRUCTION.
- EXCESS CONSTRUCTION MATERIALS.
- VARIOUS ROOMS AND AREAS.
- OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS.

- 17. GENERAL CONTRACTOR SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, TOOLS, LABOR AND SERVICES
- OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS.

- TIME TO REVIEW AND APPROVE.
- PRIOR TO ORDERING OF FABRICATION.

	DRAWING INDEX
SHEET NO.	Sheet name
.CS	Cover Sheet
A000	FIRE & LIFE SAFETY
A001	ARCHITECTURAL DETAILS
A002	ARCHITECTURAL DETAILS
A003	WINDOW & DOOR SCHEDULES
A100	FLOOR PLANS
A200	SECTIONS
A300	ELEVATIONS
A400	DEMOLITION
H1	HISTORICAL SUBMISSION
H2	HISTORICAL - WINDOWS

ADDRESS: **713 PINE ST** PHILADELPHIA, PA 19106

ZONING: LOT AREA: 4,031.5 SF

OCCUPANCY TYPE: R-2 (MULTI-FAMILY)

SCOPE OF WORK: -9 FAMILY DWELLING. -INTERIOR RENOVATION OF EXISTING BUILDING. -NEW REAR ADDITION 1ST-3RD FLOORS. -NEW REAR DECK @ 2ND & 3RD FLOORS. -1 ADA VAN ACCESSIBLE PARKING.

PROJECT AREA:

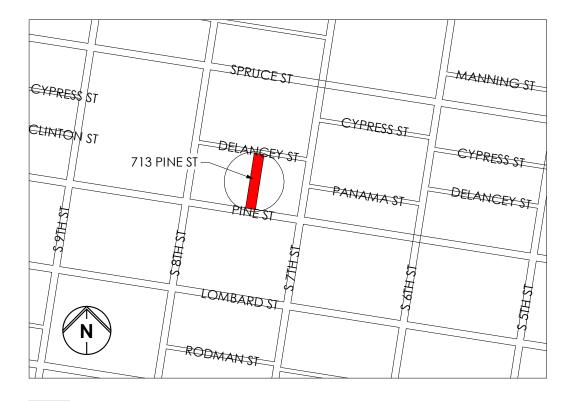
BASEMENT = 976.3 SF1ST FLOOR = 2.694.3 SF2ND FLOOR = 2,925.7 SF3RD FLOOR = 2,925.7 SF4TH FLOOR = 1,156.7 SFTOTAL =10,678.7 SF

GROSS FLOOR AREA: 9,702.4 SF

0 LOCATION MAP - H

CS 1/8" = 1'-0"

LIMIT OF DISTURBANCE: 801.4 SF



SYMBOLS LEGEND SMOKE DETECTOR 1 View Name DRAWING (s) (co) CARBON MONOXIDE scale DETECTOR WINDOW EXHAUST FAN 101-1 PARTITION 1† TYPE UNIT NUMBER RATED **SECTION** _ - __ - __ - __ WALL \A101 ELEVATION EXISTING WALL A101 TAG X' - X" **NEW WALL ELEVATION ENLARGED**

_-----

DETAIL TAG

REVISION

TAG

DOOR

EXISTING

DOOR

APPROVALS

ENLARGED AREA

_ _ _ _ _ _

PROJECT OWNER/ SITE GOVERNANCE: 705 717 PINE STREET ASSO 2228 HILLTOP VIEW RD

ROBERT DONATUCCI rdrd@comcast.net 610-883-0800

UNIONVILLE PA 19375

PARALLEL ARCHITECTURE STUDIO 230 S BROAD STREET 17TH FLR PHILADELPHIA PA 19102

CONTACT NAME: CAROLINA PENA AIA. 215-888-8407 OFFICE@PRLL.STUDIO

PARALL

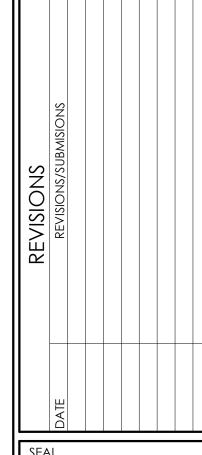
ARCHITECTURE

STUDIO, LLC

230 S. BROAD ST. 17TH FLOOR

PHILADELPHIA, PA 19102

OFFICE@PRLL.STUDIO | 215.888.840





2022-09-14

MASONRY WALL

CONCRETE WALL

REVISION CLOUD

PROPERTY LINE

FIRE RATED

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DRAWING TITLE

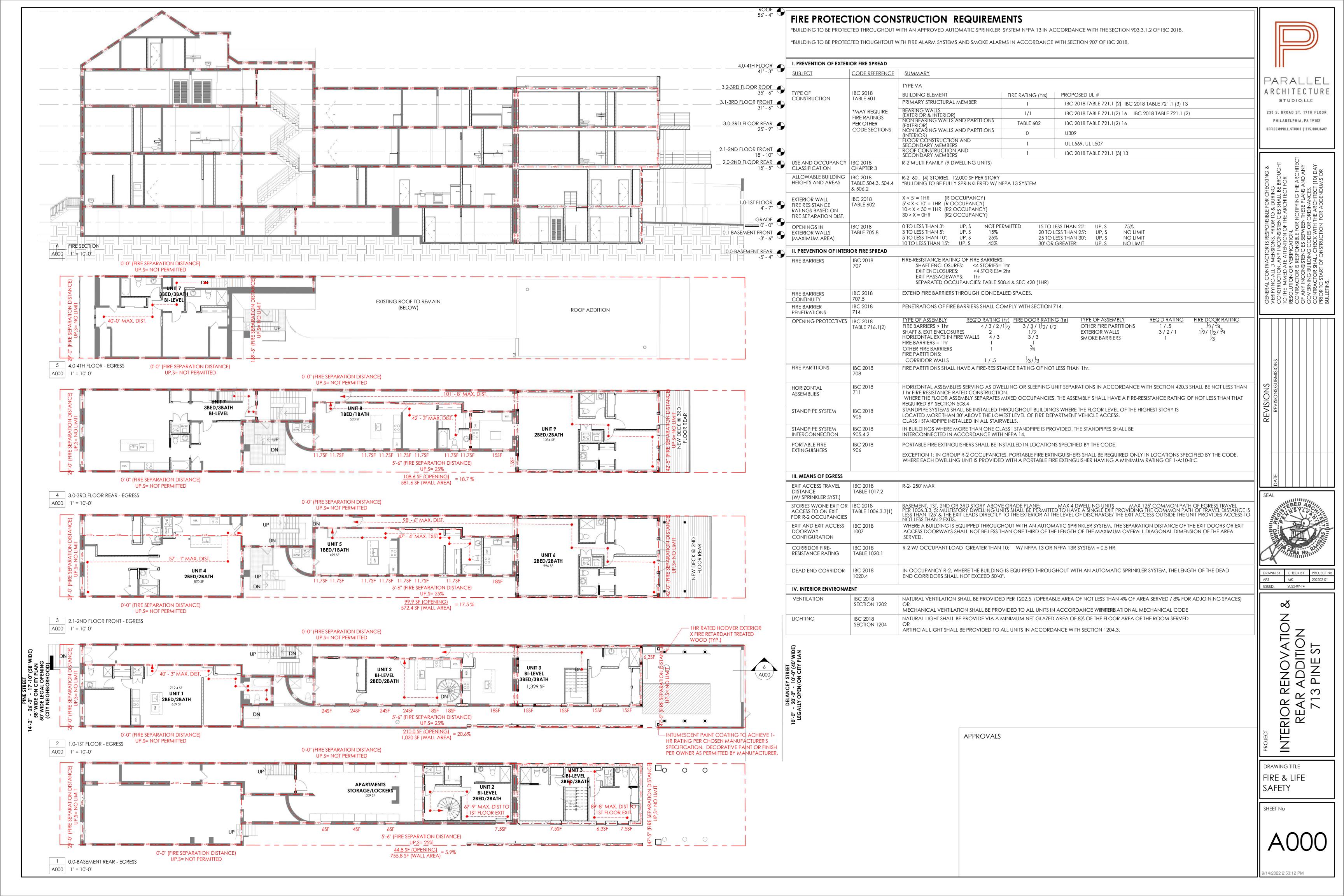
Cover Sheet

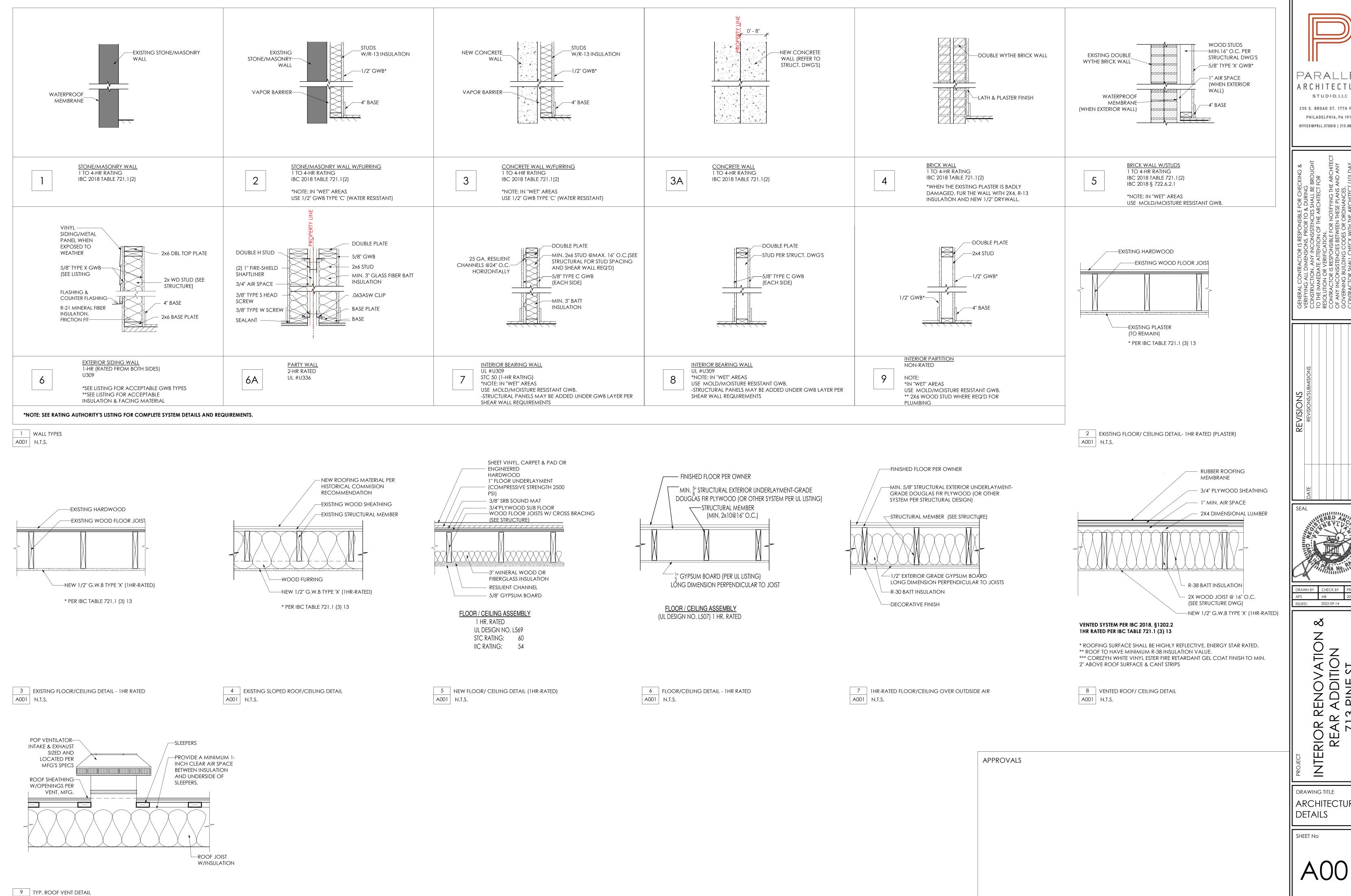
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.CS | 1" = 10'-0"

1 | Site Plan CS

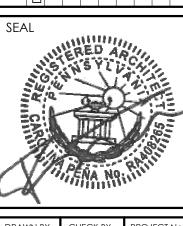




A001 N.T.S.

PARALLEL ARCHITECTURE

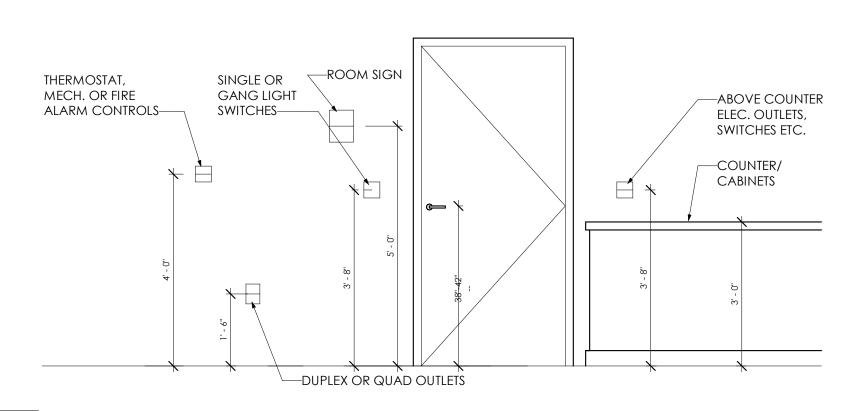
230 S. BROAD ST. 17TH FLOOR PHILADELPHIA, PA 19102 OFFICE@PRLL.STUDIO | 215.888.8407



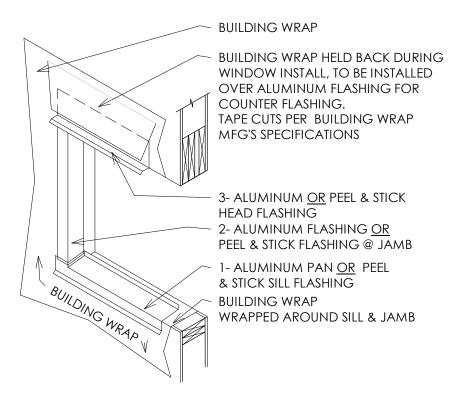
OR RENOVATION SEAR ADDITION 713 PINE ST

ARCHITECTURAL

14/2022 2:53:13 PM

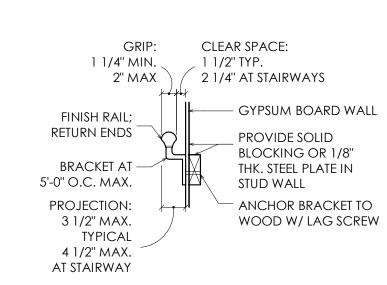


1 STANDARD HEIGHTS1 A002 N.T.S.

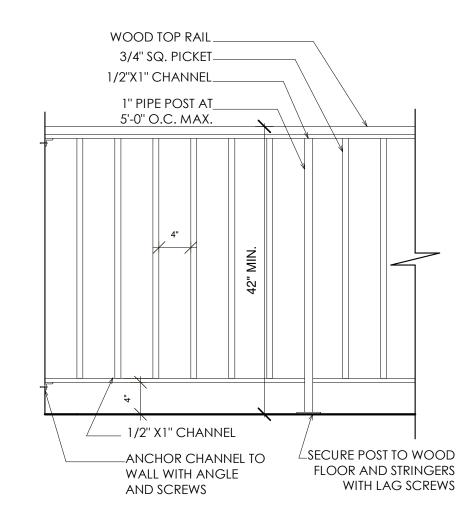


2 WINDOW FLASHING DETAIL

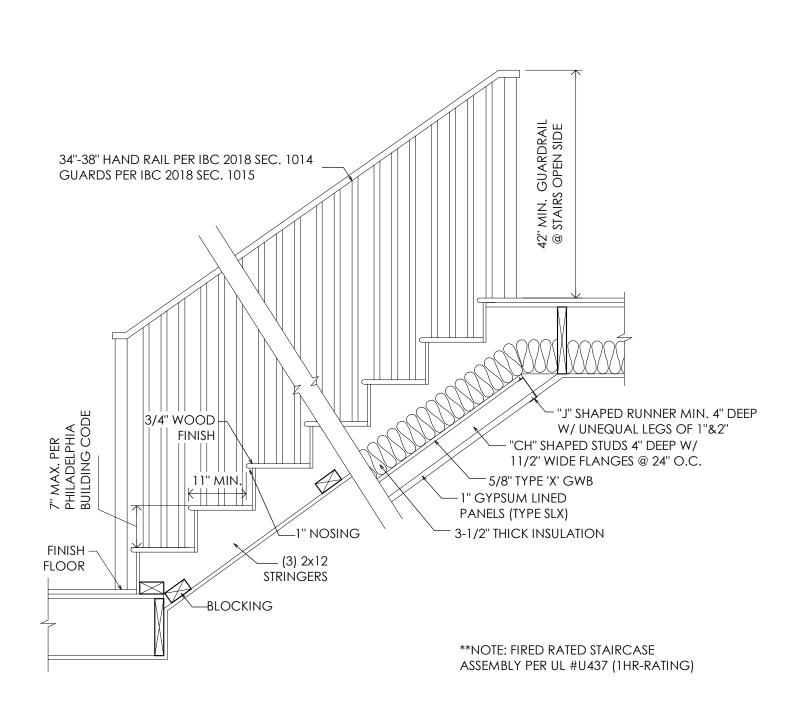
A002 N.T.S.



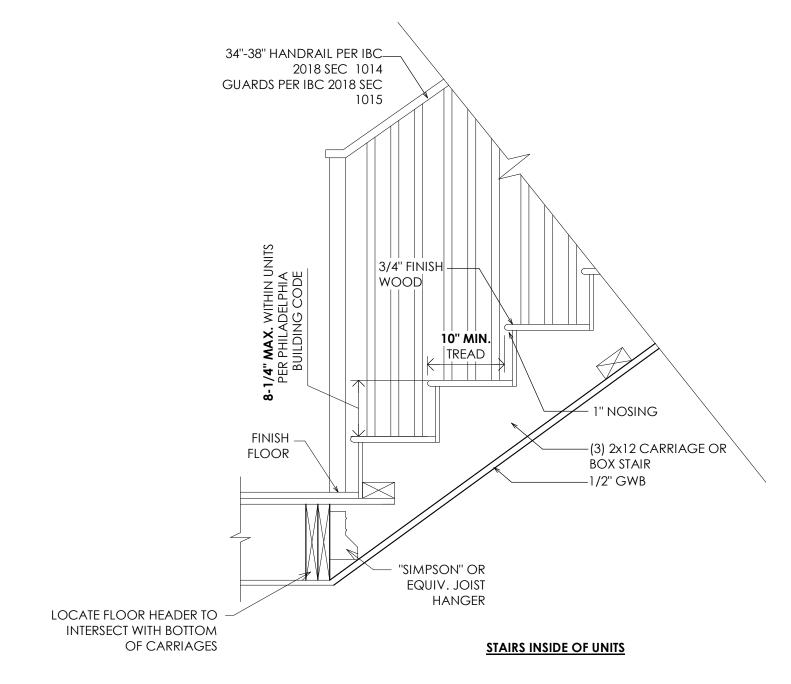
3 HANDRAIL DETAIL A002 N.T.S.



4 GUARD DETAIL A002 N.T.S.



5 STAIR DETAIL (MAIN STAIRS) A002 N.T.S.



6 STAIR DETAILS N.T.S.



OR RENOVATION 8
EAR ADDITION
713 PINE ST INTERIOR REAR

DRAWING TITLE ARCHITECTURAL DETAILS



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PARALLEL

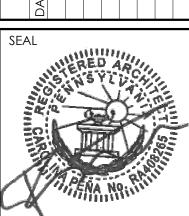
ARCHITECTURE

STUDIO, LLC

230 S. BROAD ST. 17TH FLOOR

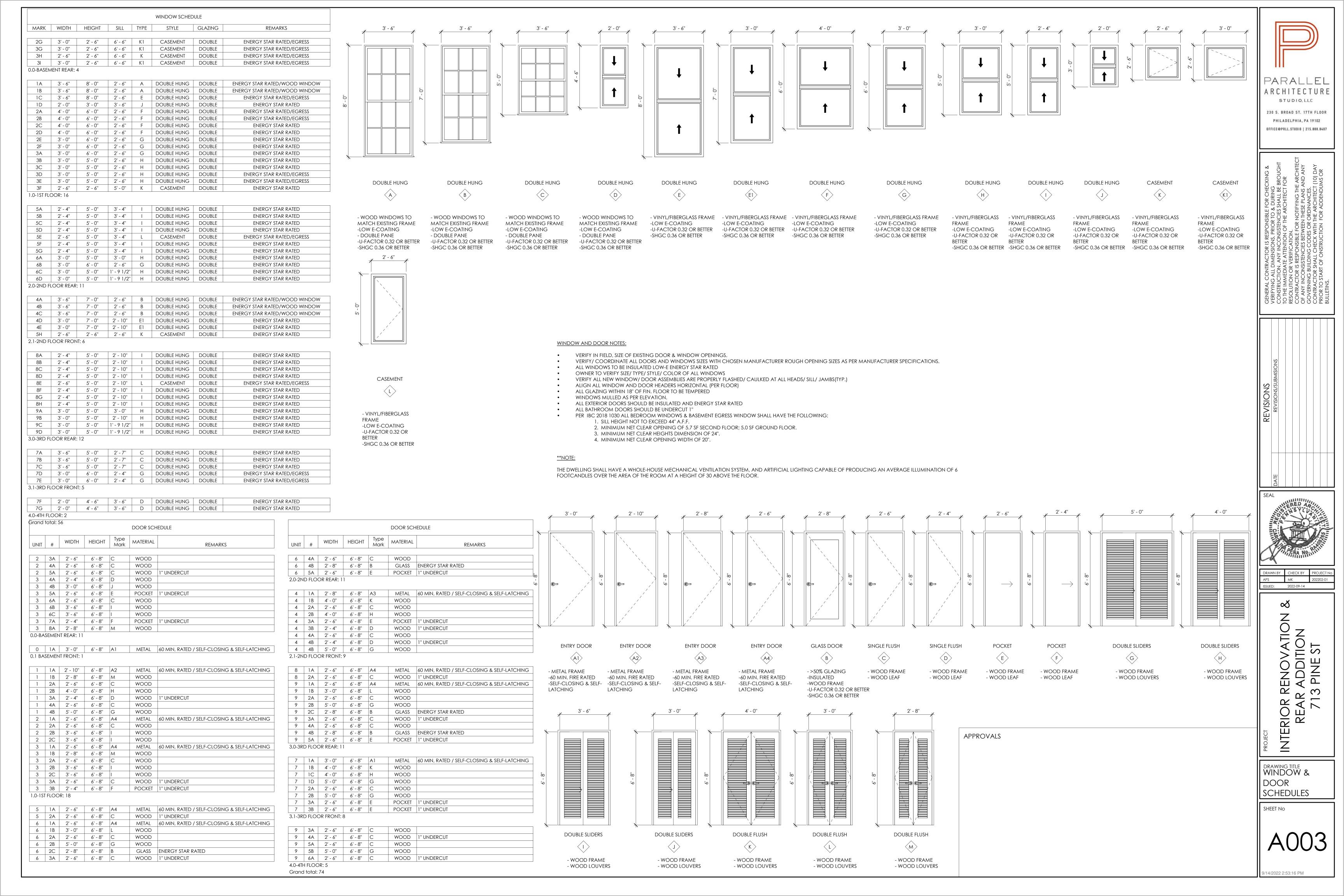
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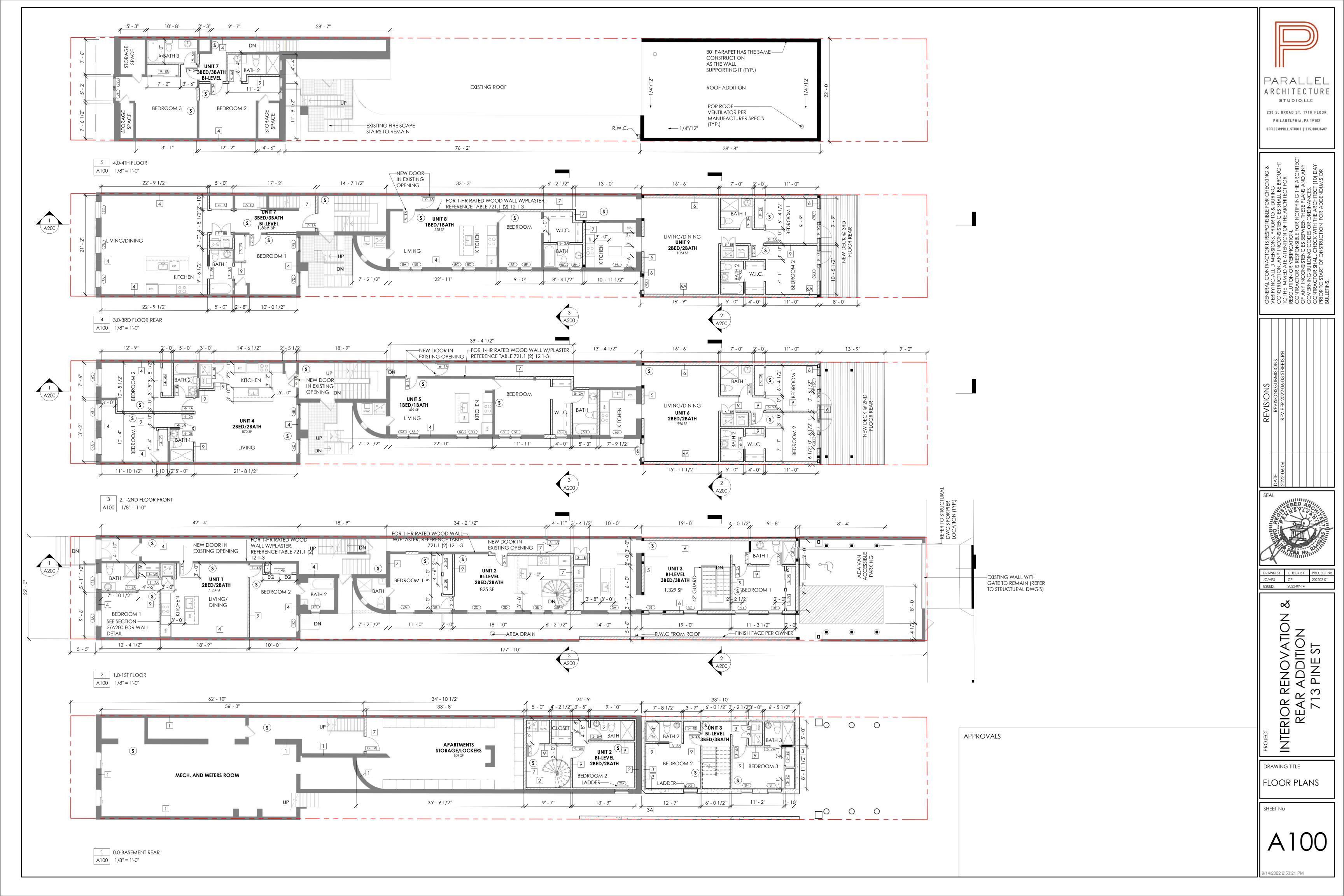
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ISSUED: 2022-09-14

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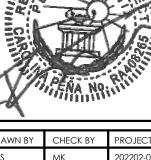




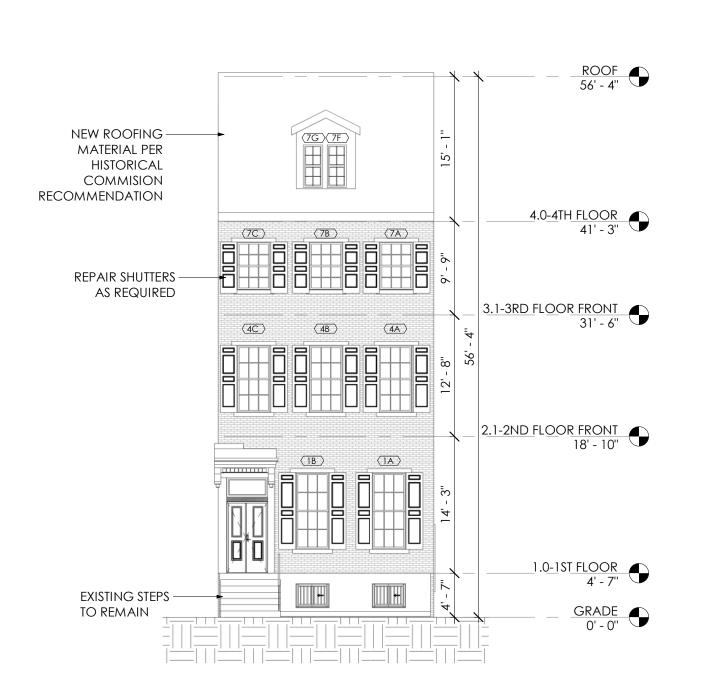


PARALLEL ARCHITECTURE STUDIO, LLC

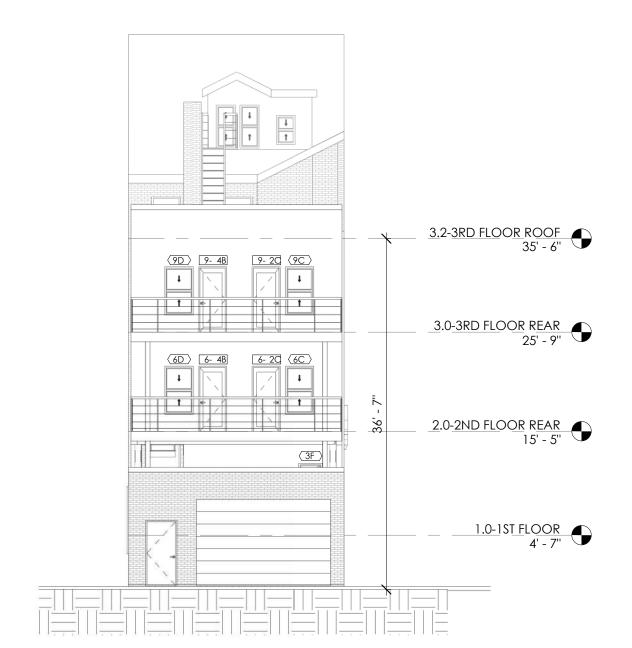
230 S. BROAD ST. 17TH FLOOR PHILADELPHIA, PA 19102 OFFICE@PRLL.STUDIO | 215.888.8407



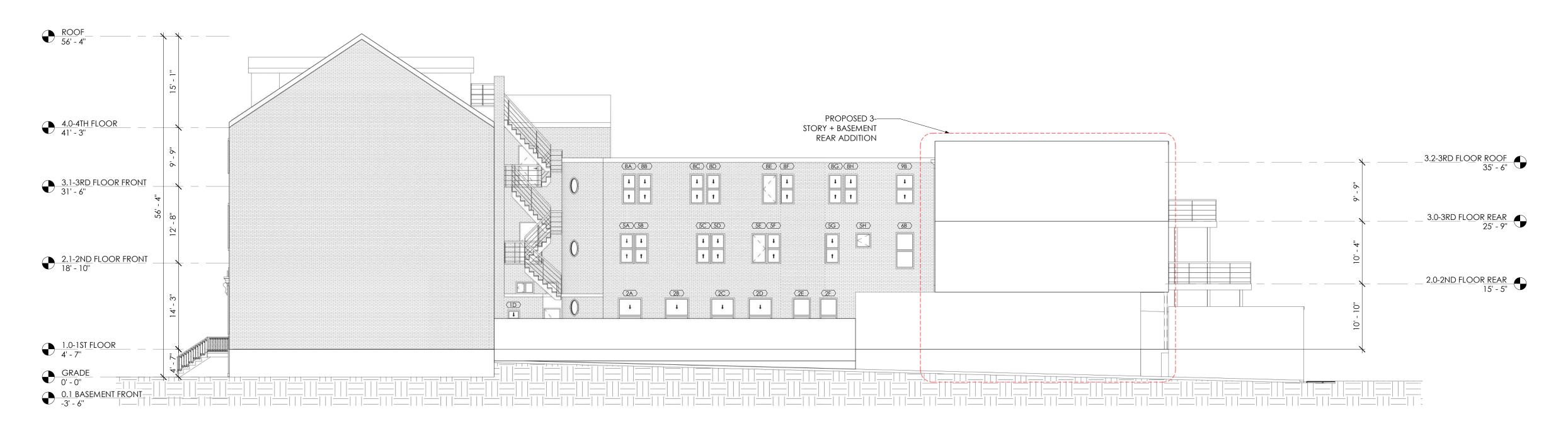
INTERIOR RENOVATION 8
REAR ADDITION
713 PINE ST



1 FRONT ELEVATION ON PINE ST (SOUTH) BP A300 1" = 10'-0"



2 REAR ELEVATION ON DELANCEY ST (NORTH) BP A300 1" = 10'-0"



3 SIDE ELEVATION (EAST) BP A300 1" = 10'-0"

APPROVALS

PROJECT | NTERIOR | REAR

APS MK
ISSUED: 2022-09-14

≪

OR RENOVATION 8
EAR ADDITION
713 PINE ST

PARALLEL

ARCHITECTURE STUDIO, LLC

230 S. BROAD ST. 17TH FLOOR

PHILADELPHIA, PA 19102

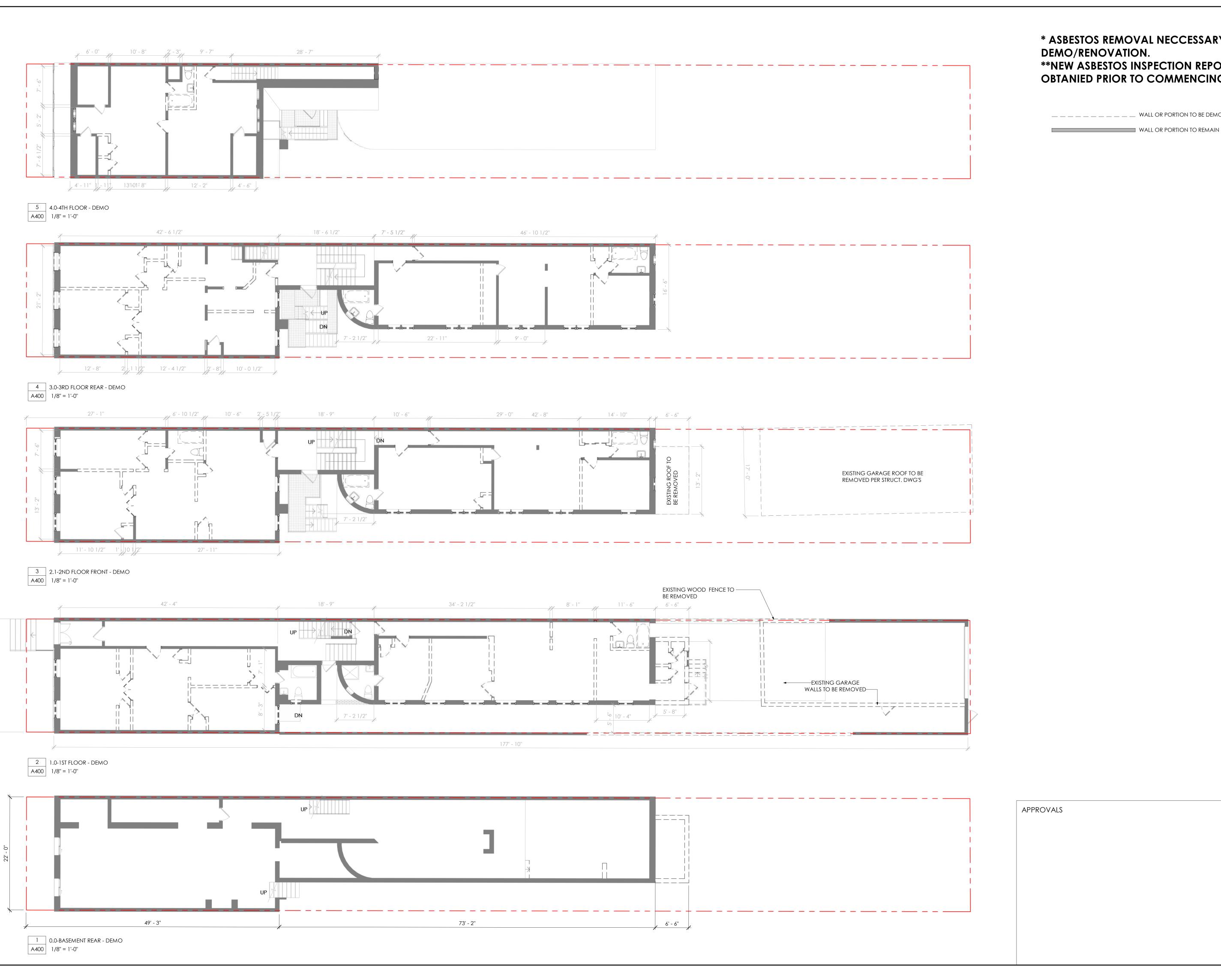
OFFICE@PRLL.STUDIO | 215.888.8407

ELEVATIONS

SHEET No

A300

/14/2022 2:53:50 DM

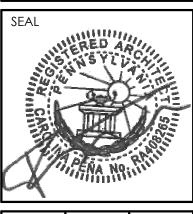


* ASBESTOS REMOVAL NECCESSARY PRIOR TO DEMO/RENOVATION. **NEW ASBESTOS INSPECTION REPORT SHOULD BE **OBTANIED PRIOR TO COMMENCING WORK.**

__ _ _ _ _ _ _ _ _ WALL OR PORTION TO BE DEMOLISHED

PARALLEL ARCHITECTURE STUDIO, LLC 230 S. BROAD ST. 17TH FLOOR PHILADELPHIA, PA 19102

OFFICE@PRLL.STUDIO | 215.888.8407

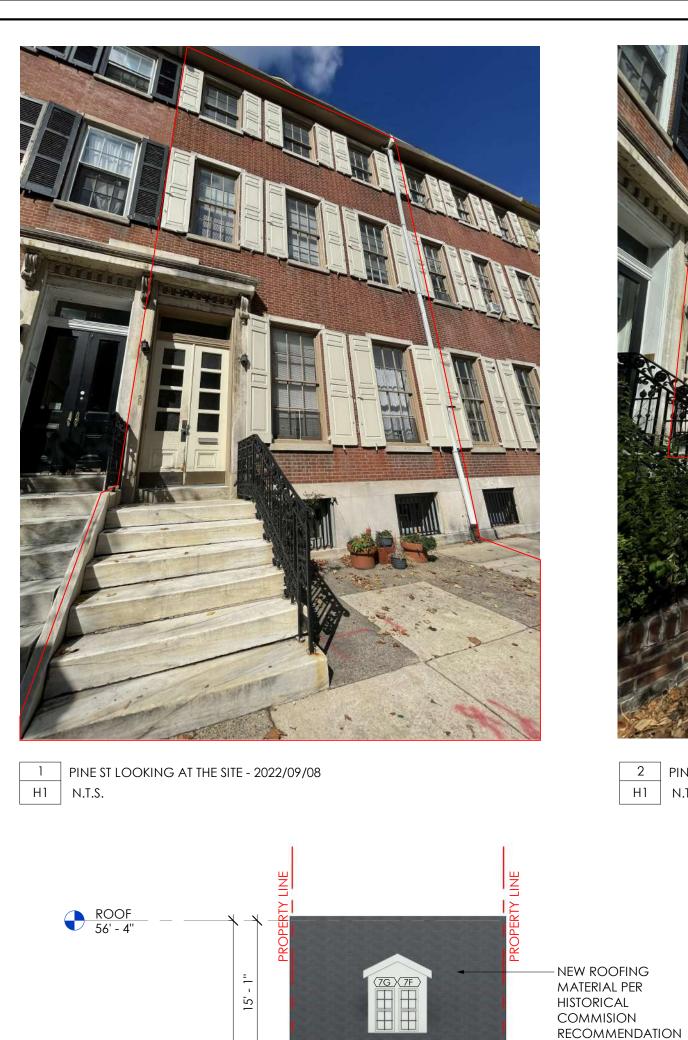


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OR RENOVATION & EAR ADDITION 713 PINE ST

DRAWING TITLE

DEMOLITION



4.0-4TH FLOOR 41' - 3"

3.1-3RD FLOOR FRONT 31' - 6"

2.1-2ND FLOOR FRONT 18' - 10"

4 FRONT ELEVATION ON PINE ST (SOUTH) - H
H1 1" = 10'-0"

1.0-1ST FLOOR 4' - 7"



H1 N.T.S.

- EXISTING WINDOWS TO

- EXISTING WINDOWS TO BE REPLACED

- Repair Shutters As required

- EXISTING WINDOWS TO BE REPLACED

-existing steps w/ Railings to remain

- EXISTING WINDOWS

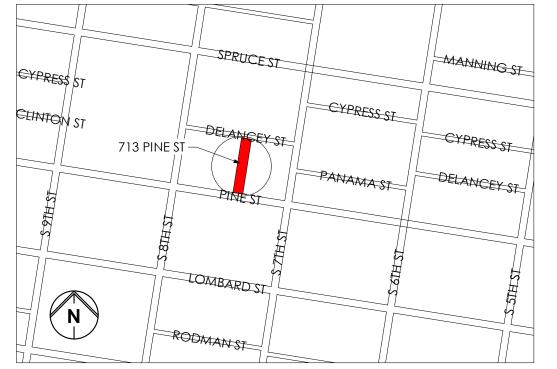
TO REMAIN

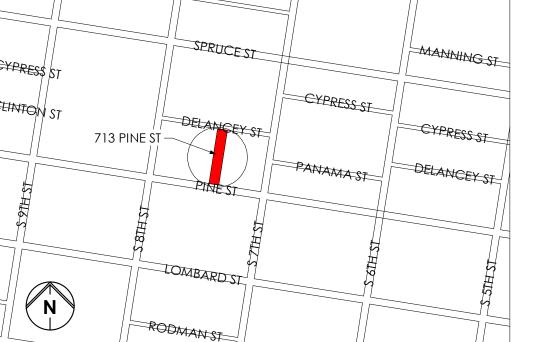
BE REPLACED



3 DELANCEY ST LOOKING AT THE SITE - 2022/09/08 H1 N.T.S.







713 PINE ST PHILADELPHIA, PA 19106 ADDRESS:

ZONING: RM-1 LOT AREA: 4,031.5 SF

OCCUPANCY TYPE: R-2 (MULTI-FAMILY)

SCOPE OF WORK: -9 FAMILY DWELLING. -INTERIOR RENOVATION OF EXISTING BUILDING. -NEW REAR ADDITION 1ST-3RD FLOORS. -NEW REAR DECK @ 2ND & 3RD FLOORS. -1 ADA VAN ACCESSIBLE PARKING.

PROJECT AREA:

BASEMENT = 976.3 SF 1ST FLOOR = 2,694.3 SF2ND FLOOR = 2,925.7 SF3RD FLOOR = 2,925.7 SF 4TH FLOOR = 1,156.7 SF TOTAL = 10,678.7 SF PROJECT OWNER/ SITE GOVERNANCE: 705 717 PINE STREET ASSO

2228 HILLTOP VIEW RD UNIONVILLE PA 19375

ROBERT DONATUCCI

rdrd@comcast.net 610-883-0800

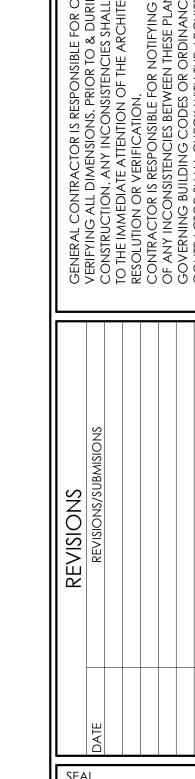
ARCHITECT:
PARALLEL ARCHITECTURE STUDIO
230 S BROAD STREET 17TH FLR

PHILADELPHIA PA 19102 CONTACT NAME: CAROLINA PENA AIA.

215-888-8407 OFFICE@PRLL.STUDIO

STRUCTURAL ENGINEER: STRUCTURED

CONTACT NAME:



PARALLEL

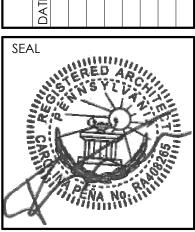
ARCHITECTURE

STUDIO, LLC

230 S. BROAD ST. 17TH FLOOR

PHILADELPHIA, PA 19102

OFFICE@PRLL.STUDIO | 215.888.8407



ISSUED: 2022-09-09 ∞

OR RENOVATION 8
EAR ADDITION
713 PINE ST Interior Rear

DRAWING TITLE HISTORICAL SUBMISSION

H1

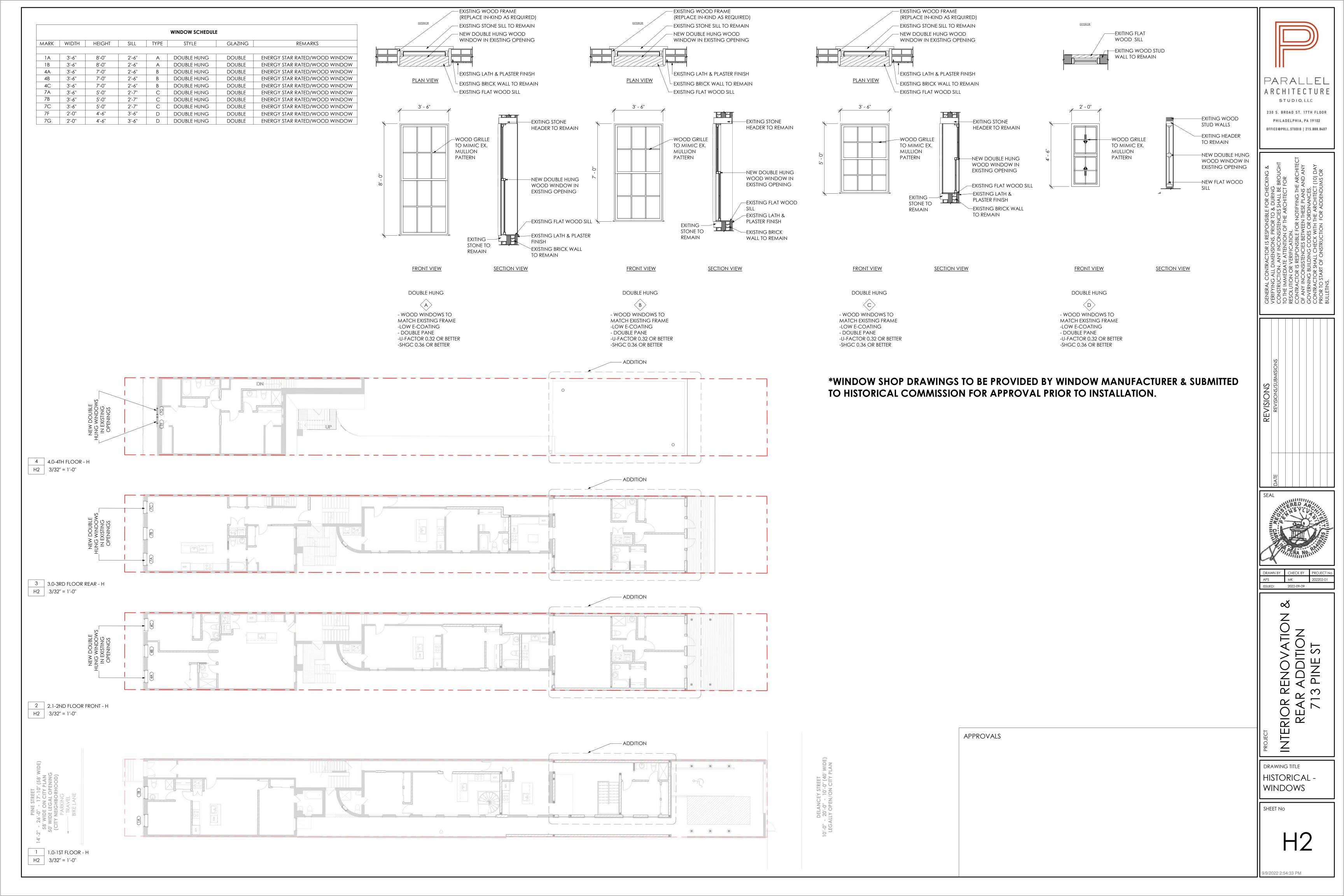
6 SIDE ELEVATION (EAST)- H
H1 1" = 10'-0"

ED CAHAN 215-470-9566 0 LOCATION MAP - H GROSS FLOOR AREA: 9,702.4 SF ed.structured@gmail.com H1 N.T.S. LIMIT OF DISTURBANCE: 801.4 SF MEP ENGINEER: UR ENGINEERING CONTACT NAME: YANG GAO 267-225-0832 URENGINEERINGLLC@gmail.com

APPROVALS

7 BIRD VIEW N.T.S.







September 9, 2022

Philadelphia Historical Commission

RE: 717 Pine Street CP-2022-005071

To Whom it May Concern,

We are pleased to present to you the application for your approval for window replacement, interior renovation and rear addition to the historically designated site at 717 Pine Street, Philadelphia PA 19106 located in the Society Hill Historic District.

Property Owner: 705 717 Pine Associates

Contact: Robert Donatucci rdrd@comcast.net cell: 610-883-0800

Carolina Pena (Architect)
Parallel Architecture Studio
230 S Broad Street 17 floor, Philadelphia PA 19102
office@prll.studio

cell: 267-271-5799

This structure is currently a multi-family house that will be fully renovated and include an addition to house a total of 9-families.

We are proposing to upgrade the majority of the existing windows to make them compliant with the current energy code. The windows in the front facade will be replaced with wood windows with mullions and trim mimicking the existing historical windows. The windows on the rear and sides will of modern materials in a color complimentary to the front windows. We look to the Historical Commission for guidance on grille patterns and trim requirements.

The proposed 3-story rear addition with basement will be partially visible from Delancey Street. We are proposing to keep the existing rear wall with a roll-up garage door facing Delancey Street. There is currently a flat slab man door adjacent the roll up door. We look to the Historical Commission for auidance on the rear addition finishes and visible door style.

Please feel free to reach out for any questions or recommendation you may have. Office@prll.studio 267-271-5799

Respectfully,

Carolina Peña, AIA

GENERAL NOTES

GENERAL NOTES:

- 1. ALL WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, & LOCAL BUILDING CODES.
- 2. ALL CONTRACTOR(S) PERFORMING WORK SHALL HAVE APPLICABLE LICENSES.
- 3. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING BUILDING PERMITS UNLESS NOTED OTHERWISE (U.N.O.).
- 4. CONTRACTOR(S) IS RESPONSIBLE FOR OBTAINING MECHANICAL, ELECTRICAL, PLUMBING & SPRINKLER PERMITS U.N.O.
- 5. CONTRACTOR(S) IS TO HAVE APPLICABLE INSURANCE AS REQUIRED BY THE BUILDING OWNER AND MUNICIPALITY.
- 6. CONTRACTOR(S) IS RESPONSIBLE FOR NOTIFYING THE BUILDING INSPECTOR A MINIMUM OF 24 HOURS PRIOR TO
- COMMENCING WORK. CONTRACTOR(S) IS RESPONSIBLE FOR CONTACTING THE BUILDING INSPECTOR FOR ANY / ALL REQUIRED INSPECTIONS FOR THE DURATION OF THE PROJECT.
- 7. CONTRACTOR(S) IS TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK, NOTIFY ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND ARCHITECTURAL DOCUMENTS.
- 8. DO NOT SCALE DRAWINGS.
- 9. CONTRACTOR(S) IS RESPONSIBLE FOR PROVIDING REQUIRED SITE FENCING AROUND PERIMETER OF JOB SITE AS PER OSHA AND MUNICIPALITY REQUIREMENTS AND GUIDELINES.
- 10. CONTRACTOR(S) IS RESPONSIBLE TO ACQUIRE ANY / ALL STREET & SIDEWALK CLOSURE PERMITS AS WELL AS ANY REQUIRED DUMPSTER PERMITS.
- 11. PROVIDE PORTABLE JOB TOILET AND TELEPHONE ON SITE FOR THE DURATION OF THE PROJECT (AS REQUIRED BY
- 12. CONTRACTOR(S) TO PROVIDE DAILY CLEAN-UP TO SITE DUMPSTER.
- 13. CONSTRUCTION INDICATED AS FIRE RATED SHALL CONFORM TO MATERIALS AND METHODS OF TESTED SYSTEMS.
- 14. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR(S) MEANS AND METHODS OF CONSTRUCTION.

SITE WORK:

- 1. USE OF THE PENNSYLVANIA ONE-CALL SYSTEM, INC. IS REQUIRED PRIOR TO ANY SITE WORK / EXCAVATION.
- 2. CONTRACTOR IS TO OBTAIN A SEALED COPY OF THE GEOTECHNICAL REPORT FOR THE PROJECT SITE, CONTACT ARCHITECT IMMEDIATELY IF A COPY IS NOT PROVIDED.
- 3. EXCAVATION IS TO BE DONE IN ACCORDANCE WITH ARCHITECTURAL SEALED DRAWINGS AND THE SITE'S GEOTECHNICAL REPORT.
- 4. DO NOT EXCAVATE BELOW ADJACENT FOUNDATIONS AND / OR FOOTINGS UNLESS UNDERPINNING HAS BEEN SPECIFIED AND PERMITTED. CONTRACTOR SHALL FOLLOW UNDERPINNING SEQUENCES AND DIMENSION(S) AS INDICATED IN THE PERMIT DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE STRUCTURAL ENGINEER BEFORE AND DURING UNDERPINNING(S) FOR OBSERVATION.
- 5. SOIL BEARING STRENGTH TO BE IN ACCORDANCE WITH THE SITE'S GEOTECHNICAL REPORT.
- 6. CONTRACTOR(S) IS TO PROVIDE ALL SHEETING & SHORING AS REQUIRED.
- 7. CONTRACTOR(S) IS TO PROVIDE FINAL GRADING AWAY FROM NEW BUILDING AT A MINIMUM OF 8" BELOW ALL WOOD FRAMING.
- 8. PROTECT EXISTING SHRUBS & TREES WITHIN AREAS OF WORK. NOTIFY OWNER OF ANY POTENTIAL HARM TO VEGETATION PRIOR TO COMMENCING WORK.
- 9. VERIFY WITH OWNER CONSTRUCTION STAGING & CONSTRUCTION DELIVERY LOCATIONS CONTRACTOR(S) TO INSURE PROPER PERMITS ARE OBTAINED FOR UTILIZING THE RIGHT OF WAY.

WEATHER BARRIERS AND FLASHING

- 1. ENTIRE BUILDING ENVELOPE SHALL BE COVERED WITH AN APPROVED WEATHER BARRIER. THE BARRIER SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION; ENSURE PROPER LAPPING OF MATERIAL SECTIONS.
- 2. ALL WINDOW AND EXTERIOR DOOR ASSEMBLIES SHALL RECEIVE BOTH HEAD FLASHING AND SILL FLASHING AND OR SILL PANS. CONTRACTOR SHALL USE FLASHING MATERIALS THAT ARE COMPATIBLE WITH ADJACENT BUILDING MATERIALS. NOTE: APPLYING BUTYLE TAPE(S) AROUND THE PERIMETER OF DOOR AND WINDOW ASSEMBLIES DOES NOT QUALIFY AS INSTALLING FLASHING(S). CONTRACTOR SHALL INSURE THAT WHEN INSTALLING FLASHING THAT ADJACENT MATERIALS ARE PROPERLY LAPPED WITH INSTALLED FLASHING MEMBERS.
- 3. THE CONTRACTOR(S) SHALL INSURE THAT ALL WINDOW AND DOOR ASSEMBLIES ARE INSTALLED PER THE MANUFACTURERS INSTALLATION GUIDES AND RECOMMENDATIONS

INTERIOR FINISHES:

- 1. ALL INTERIOR FINISH TO BE 1/2" GYPSUM WALL BOARD U.N.O. (IE. @ RATED ASSEMBLIES) FILL, SPACKLE, SAND AND PRIME ALL NEW DRYWALL WORK IN PREPARATION FOR FINAL FINISH.
- 2. FINISH PAINT TO BE M.A.B., OR APPROVED EQUAL, ACRYLIC LATEX. ALL NEW INTERIOR AND EXTERIOR WALLS AND CEILINGS TO RECEIVE ONE COAT PRIMER AND MINIMUM 2 COATS FINISH.
- 3. PROVIDE CEMENTITIOUS BACKER-BOARD AS REQ'D AT ALL AREAS OF MARBLE/GRANITE/ TILE WORK.
- 4. ALL BATHROOMS AND OTHER WET AREAS TO RECEIVE MOISTURE / MILDEW RESISTANT GYPSUM WALL BOARD.
- 5. VERIFY ALL CARPETING AND PADDING WITH OWNER. PROVIDE SAMPLES AS REQUIRED.
- 6. VERIFY ALL HARDWOOD FINISH SPECIFICATIONS WITH OWNER.
- 7. OWNER TO APPROVE ALL FINAL FINISHES AND COLORS.

EXTERIOR FINISHES:

- 1. ALL EXTERIOR FINISHES SHALL PROVIDE FOR DRAINAGE AT THE LOWEST POINT OF THE FINISH SYSTEM/MATERIAL. INSURE PROPER LAPPING AND FLASHING(S) BETWEEN FINISH SYSTEM(S)
- 2. NEW MASONRY FINISH TO BE AS PER CONSTRUCTION DOCUMENT NOTES & DETAILS; VERIFY FINISH STYLE, TYPE & COLOR WITH OWNER.
- 3. NEW EXTERIOR TRIM WORK TO BE AS PER CONSTRUCTION DOCUMENT NOTES AND DETAILS.
- 4. NEW WINDOWS SHALL BE COORDINATED WITH THE CONSTRUCTION DOCUMENTS, NOTES AND DETAILS. NOTE: PURCHASED WINDOW(S) AND EXTERIOR DOOR(S) SHALL BE COORDINATED WITH THE DIMENSIONS ON THE CONSTRUCTION DOCUMENTS. ALL GLAZING(S) IN DOORS AND EXTERIOR WINDOWS SHALL BE INSULATED WITH A LOW E COATING(S).
- 5. ALL EXTERIOR CEILINGS TO HAVE BATT INSULATION MINIMUM R-38. ALL EXTERIOR STUD WALLS TO HAVE BATT INSULATION MINIMUM R19.
- 6. ROOFING SHALL BE ENERGY STAR RATED, HIGHLY REFLECTIVE.

BATHROOMS:

- 1. CERAMIC TILE FLOOR(S) SET IN MASTIC ON 3/8" CEMENT BD. ON 3/4" PLY-WD. SUB FLR., FLASH PATCH CEMENT BD. SUBSTRATE FOR PROPER CERAMIC CONDITIONS, PROVIDE GROUT SEALER(S)
- 2. ALL GYPSUM BD. USED IN TOILET ROOM LOCATION SHALL BE MIN. 1/2" MOISTURE RESISTANT GYP. BD. W/ ANTI-FUNGAL PAINT FINISH

ROOFING:

- 1. ROOF SHEATHING TO BE 3/4" EXTERIOR GRADE T&G PLYWOOD SHEATHING. HOLD SHEATHING 2" CLEAR AT VENTING LOCATIONS.
- 2. PROVIDE ALUMINUM "H" CLIPS AS REQUIRED.
- 3. LOW PITCH ROOF SYSTEM(S) TO BE MODIFIED BITUMINOUS 3- PLY BUILT-UP ROOF SYSTEM W/ SEMI-GRANULAR CAP SHEET UNO. SYSTEM TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
- 4. PROVIDE ICE AND SNOW SHIELD'S MIN. 48" FROM ALL EAVES, ALL VALLEYS W/ MIN. 30" LAP FROM VALLEY, ALL INTERSECTIONS OF ROOF DECK AND VERTICAL SURFACES.
- 5. ROOF CONTRACTOR TO PROVIDE MIN. .04" ALUM. FLASHING AS INDICATED IN DETAILS AND AT ALL ROOF DECK AND VERTICAL SURFACES, VALLEYS, PENETRATIONS THRU ROOF/ DECK
- 6. ROOFING CONTRACTOR TO BE RESPONSIBLE FOR SEALING ALL PENETRATIONS THRU THE ROOF DECK FOR MECHANICAL PURPOSES
- 7. ROOFING CONTRACTOR TO PROVIDE .04" PRE-FINISHED ALUM. COPING SYSTEM AS INDICATED. PROVIDE ALL ASSOCIATED HARDWARE AND COMPONENTS WITH NON CORROSIVE FASTENERS.

 8. ROOFING SHALL BE ENERGY STAR RATED AS HIGHLY REFLECTIVE MODIFIED BITUMEN

HVAC / PLUMBING / ELECTRICAL:

- 1. A SEPARATE PERMIT MUST BE OBTAINED FOR ALL NEW HVAC/PLUMBING AND ELECTRICAL WORK REQUIRED TO COMPLETE THE PROJECT & OBTAIN FINAL C.O.
- 2. LICENSED AND INSURED HVAC CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL. CONTRACTOR TO SUBMIT DESIGN AND SPECIFICATIONS TO BOTH OWNER AND ARCHITECT FOR REVIEW AND APPROVALS. CONTRACTOR TO COORDINATE WITH ARCHITECT REQUIRED CHASES FOR NEW AND RELOCATED SYSTEM(S) PRIOR TO FRAMING PHASE(S). CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS.
- 3. LICENSED AND INSURED PLUMBING CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NEW PLUMBING INDICATED IN RENOVATIONS, AND SHALL PROVIDE REQUIRED DEMOLITION AND COORDINATION OF EXISTING SYSTEMS. CONTRACTOR TO PROVIDE RISER DIAGRAM INDICATING TYPE AND SIZE OF PIPPING. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF OWNERS FINISH (WET) FIXTURES. CONTRACTOR SHALL INFORM BOTH OWNER AND ARCHITECT OF ANY PARTS/ EQUIPMENT REQUIRED FOR INSTALLATION OF ANY UNIT. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS.
- 4. LICENSED AND INSURED ELECTRICAL CONTRACTOR TO PROVIDE DESIGN BUILD PROPOSAL. CONTRACTOR TO BE RESPONSIBLE FOR PROVIDING SERVICE DURING AND POST DEMOLITION. CONTRACTOR TO PROVIDE DESIGN AND SPECIFICATIONS OF ALL MATERIALS/DEVICES/ FIXTURES AND COMPONENTS WITH PROPOSAL. CONTRACTOR TO BE RESPONSIBLE FOR RECESSED (CAN) LIGHTING INCLUDING FINISH TRIM KITS. VERIFY W/ OWNER COLOR AND STYLE OF FINISH KIT. CONTRACTOR TO PROVIDE CIRCUIT DESIGN TO ARCHITECT. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS.

CODE SUMMARY			
BUILDING CODE	PHILADELPHIA BUILDING CODE 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL EXISTING BUILDING CODE		
ENERGY EFFICIENCY	2018 INTERNATIONAL ENERGY CONSERVATION CODE		
MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE		
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (PER IBC 2018)		
PLUMBING CODE	2018 INTERNATIONAL PLUBMING CODE		
FIRE CODE	2018 INTERNATIONAL FIRE CODE		
LIFE SAFETY CODE	2018 NFPA 101		

*SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, PLUMBING ELECTRICAL AND FIRE SUPPRESSION WORK.

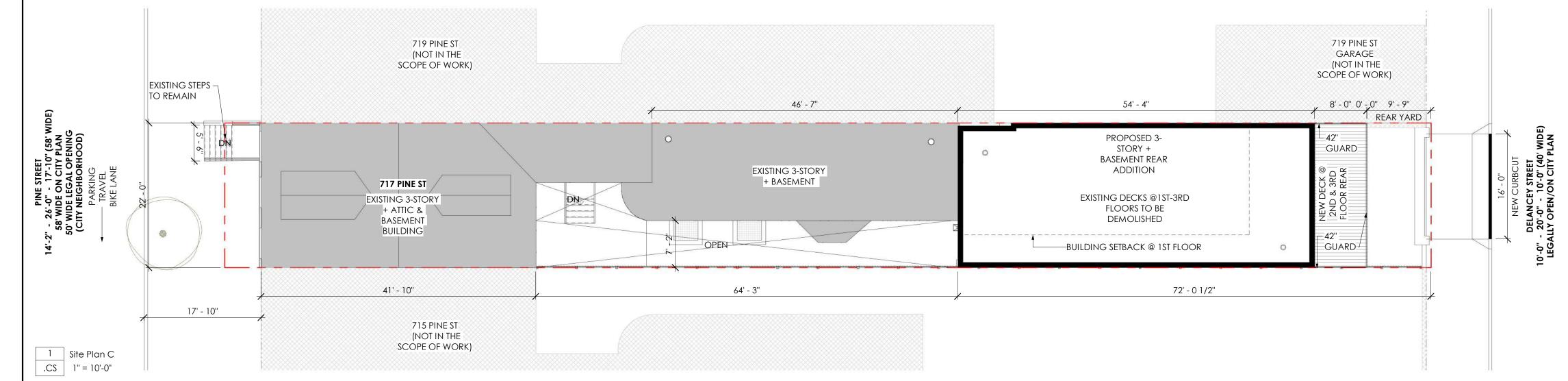
GENERAL CONTRACTOR RESPONSIBILITY

- 1. GENERAL CONTRACTOR SHALL FIELD SURVEY LOCATION AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- 2. NOTIFY THE ARCHITECT IN WRITING OF ANY UNEXPECTED CONDITIONS THAT ARE UNCOVERED AFTER BEGINNING WORK.
- 3. GENERAL CONTRACTOR SHALL COMPLETE ALL WORK AS INDICATED ON THESE PLANS UNLESS OTHERWISE INDICATED.
- 4. CONTRACTOR TO ENSURE THAT ALL WINDOWS ARE PROPERLY CAULKED AND BUILDING IS WATER AND AIR SEALED.
- 5. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- 6. GENERAL CONTRACTOR SHALL OBTAIN CONSTRUCTION PERMIT, APPROVALS, INSPECTIONS, CERTIFICATE FOR COMPLIANCE, AND ASSIST WITH THE CERTIFICATE OF OCCUPANCY AS REQUIRED UNLESS OTHERWISE NOTED.
- 7. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS OTHER THAN GENERAL BUILDING PERMITS REQUIRED FOR SUCH WORK SHOWN ON THE DRAWINGS. SUCH PERMITS SHALL BE OBTAINED BEFORE STARTING THE WORK. SEPARATE PERMITS ARE REQUIRED FOR THE INSTALLATION OF ALL EXTERIOR SIGNAGE. THE CONTRACTOR SHALL ACQUIRE THESE PERMITS AND PAY ALL REQUIRED FEES PRIOR TO THE SIGNAGE INSTALLATION.
- 8. GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY FACILITIES DURING CONSTRUCTION FOR THE COMPLETE BUILDINGS OPERATION. THIS SHALL BE TEMPORARY ACCESS, EXIT, CORRIDORS, LIGHTING, FIRE PROTECTION, MAIN CORRIDOR PROTECTION, A/C & ALL INFRASTRUCTURE REQUIRED DURING THE FINAL STORE OPERATION.
- 9. GENERAL CONTRACTOR SHALL REMOVE ALL TEMPORARY ITEMS AT THE COMPLETION OF WORK AS REQUIRED.
- 10. GENERAL CONTRACTOR SHALL MAINTAIN ON SITE AT ALL TIMES, ALL APPROVED DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA.
- 11. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND REQUIREMENTS DURING CONSTRUCTION.
- 12. AFTER COMPLETION, GENERAL CONTRACTOR SHALL CLEAN WHERE EVER SUCH CLEANING IS REQUIRED, INCLUDING AREAS OF THE BUILDING MADE DIRTY BY CONSTRUCTION WORK. REMOVE FROM THE PREMISES ALL TRASH, TOOLS, EQUIPMENT AND EXCESS CONSTRUCTION MATERIALS.
- 13. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE TO COMPLETE THE WORK OUTLINED IN THESE DOCUMENTS. INCLUDING ITEMS WITHIN THE SPACE ABOVE THE CEILINGS (STRUCTURAL, CONDUITS, MECHANICAL DUCTS, INSULATION, RECESSED LIGHT FIXTURES, AND CEILING CONSTRUCTION DIMENSIONS, ETC.) THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE FINISHED CEILING HEIGHT ABOVE THE FLOOR AS INDICATED IN THESE DRAWINGS FOR THE VARIOUS ROOMS AND AREAS.
- 14. GENERAL CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS HAVING JURISDICTION WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS.
- 15. CONTRACTOR WILL VERIFY WITH THE CITY AND THE PUBLIC WORKS DEPARTMENT THE LOCATION OF ALL INFRASTRUCTURE, EVEN IF THEY ARE NOT SHOWN ON THE DRAWINGS.
- 16. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY PARTITION WALLS IF THEY ARE REQUIRED DURING THE
- CONSTRUCTION PROCESS.
- 17. GENERAL CONTRACTOR SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, TOOLS, LABOR AND SERVICES NECESSARY FOR THE COMPLETION OF THE PROJECT.
- 18. GENERAL CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS HAVING JURISDICTION, WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS.

19. SHOP DRAWINGS:

- A. SUBMIT A SCHEDULE OF SHOP DRAWINGS PRIOR TO COMMENCING WORK.
- B. SUBMIT SHOP DRAWINGS FOR ARCHITECTS REVISION WHERE REQUIRED BY PLANS AND SPECIFICATIONS, WITH AMPLE TIME TO REVIEW AND APPROVE.
- C. ALL SHOP DRAWINGS, INCLUDING EQUIPMENT AND MATERIALS, SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO ORDERING OF FABRICATION.
- 20. GENERAL CONTRACTOR TO SUBMIT TIMEFRAME & CONSTRUCTION PHASES SCHEDULE.
- 21. GENERAL CONTRACTOR TO PROVIDE OWNER WITH ONE COMPLETE SET OF ACCURATE, FULL-SIZED AS-BUILT RECORD DRAWINGS FOR PERMANENT RECORD.
- 22. FULLY WARRANTY ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FOR 1 YEAR FROM DATE OF ACCEPTANCE. REPAIR OR REPLACE WITHOUT CHARGE TO THE OWNER ALL ITEMS FOUND DEFECTIVE DURING WARRANTY PERIOD. EXTEND ALL MANUFACTURER'S WARRANTIES TO THE OWNER.

DRAWING INDEX			
SHEET NO. SHEET NAME			
.CS	COVER SHEET		
A000	FIRE & LIFE SAFETY		
A001	ARCHITECTURAL DETAILS		
A002	ARCHITECTURAL DETAILS		
A003	WINDOW & DOOR SCHEDULES		
A100	FLOOR PLANS		
A200	ELEVATIONS		
A300	SECTIONS		
A400	DEMOLITION PLANS		
EC1	ENERGY CONSERVATION		
EC2	ENERGY CONSERVATION		
H1	HISTORICAL SUBMISSION		
H2	HISTORICAL - WINDOWS		



ADDRESS: 717 PINE ST

PHILADELPHIA, PA 19106

4,031.5 SF

LOT AREA: 4,031.5 SF

OCCUPANCY TYPE: R-2 (MULTI-FAMILY)

-1 ADA VAN ACCESSIBLE PARKING.

SCOPE OF WORK:
-DEMOLITION AS SHOWN IN THE PLANS.
-9 FAMILY DWELLING.
-INTERIOR RENOVATION OF EXISTING BUILDING.
-NEW REAR ADDITION 1ST-3RD FLOORS.
-NEW REAR DECK @ 2ND & 3RD FLOORS.

PROJECT AREA:

EXPRESS 5

CHATON ST

ZONING:

BASEMENT = 1,414.6 SF 1ST FLOOR = 2,574.8 SF 2ND FLOOR = 3,023.2 SF 3RD FLOOR = 3,023.2 SF TOTAL =10,035.8 SF

GROSS FLOOR AREA: 8,621.2 SF

LIMIT OF DISTURBANCE: 1,114.7 SF

717 PINE ST

PROJECT OWNER/ SITE GOVERNANCE: 705 717 PINE STREET ASSO

2228 HILLTOP VIEW RD UNIONVILLE PA 19375

ROBERT DONATUCCI rdrd@comcast.net 610-883-0800

ARCHITECT:
PARALLEL ARCHITECTURE STUDIO
230 S BROAD STREET 17TH FLR
PHILADELPHIA PA 19102

CONTACT NAME: CAROLINA PENA AIA. 215-888-8407 OFFICE@PRLL.STUDIO

STRUCTURAL ENGINEER

CONTACT NAME: ED CAHAN 215-470-9566 ed.structured@gmail.com

MEP ENGINEER: Ur engineering

PANAMAST

CONTACT NAME: YANG GAO 267-225-0832 URENGINEERINGLLC@gmail.com

SPRUCEST CYPRESS ST CYPRESS ST

DELANCEYST

0 LOCATION MAP
CS N.T.S.

SYMBOLS LEGEND

LOMBARD ST

RODMANST

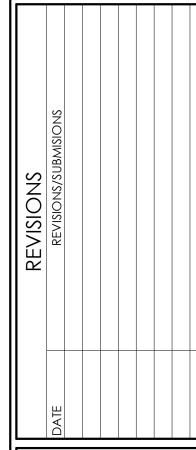
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<101 ⟩ MARK	WINDOW TAG	9	EXHAUST FAN
[101-1] UNIT NUMBER	DOOR TAG	1†	PARTITION TYPE
1 A101	SECTION TAG		RATED WALL
A101	ELEVATION TAG		existing wall
<u> </u>	SPOT ELEVATION		NEW WALL
— — ENLARGED AREA	ENLARGED DETAIL TAG		NEW MASONRY WALL
	revision tag		NEW CONCRETE WALL
	NEW DOOR		REVISION CLOUD
	existing door		PROPERTY LINE FIRE RATED

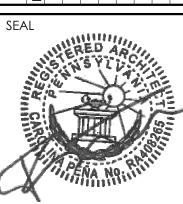
APPROVALS



230 S. BROAD ST. 17TH FLOOR
PHILADELPHIA, PA 19102
OFFICE@PRLL.STUDIO | 215.888.8407

FYING ALL DIMENSIONS. PRIOR TO & DURING
USTRUCTION. ANY INCONSISTENCIES SHALL BE BROUG
HE IMMEDIATE ATTENTION OF THE ARCHITECT FOR
DLUTION OR VERIFICATION.
UTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHI
ANY INCONSISTENCIES BETWEEN THESE PLANS AND AN
VERNING BUILDING CODES OR ORDINANCES.
UTRACTOR SHALL CHECK WITH THE ARCHITECT (10) DA
OR TO START OF ONSTRUCTION FOR ADDENDUMS OR





AWN BY CHECK BY PROJECT MK 202202-0
JED: 2022-09-09

ATERIOR RENOVATION AND REAR ADDITION 717 PINE STREET

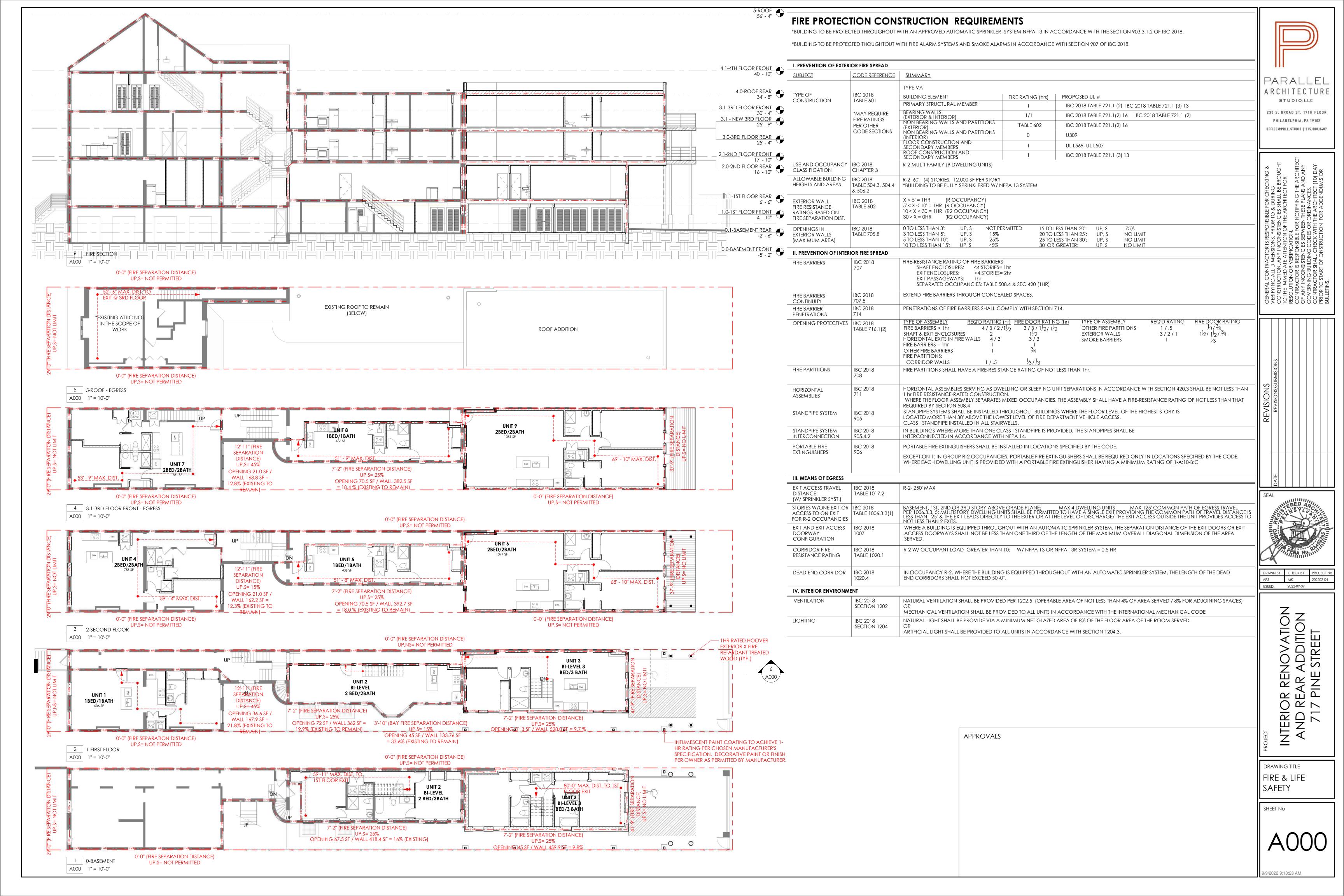
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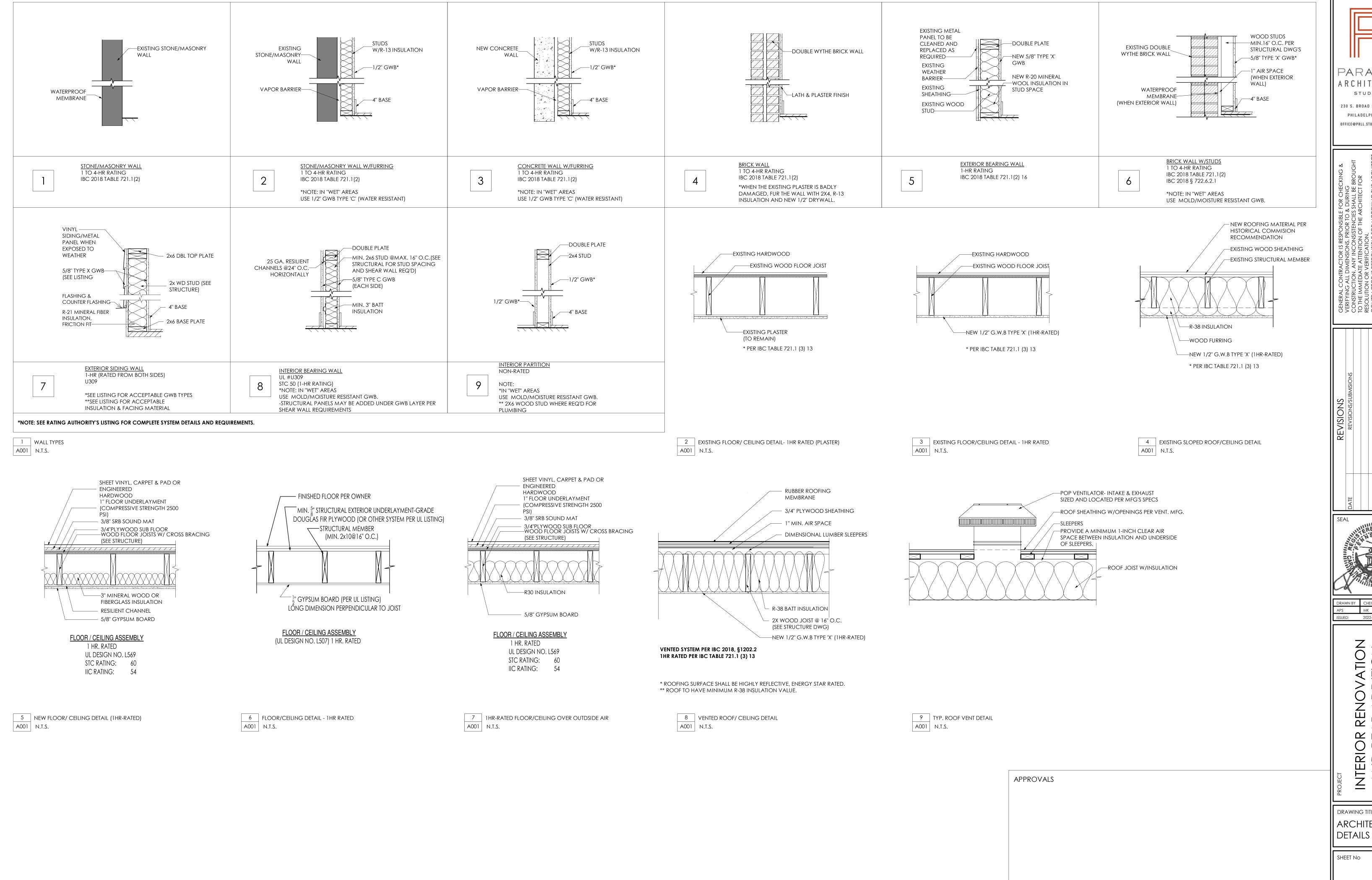
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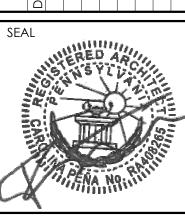
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PARALLEL ARCHITECTURE STUDIO, LLC

230 S. BROAD ST. 17TH FLOOR PHILADELPHIA, PA 19102 OFFICE@PRLL.STUDIO | 215.888.8407

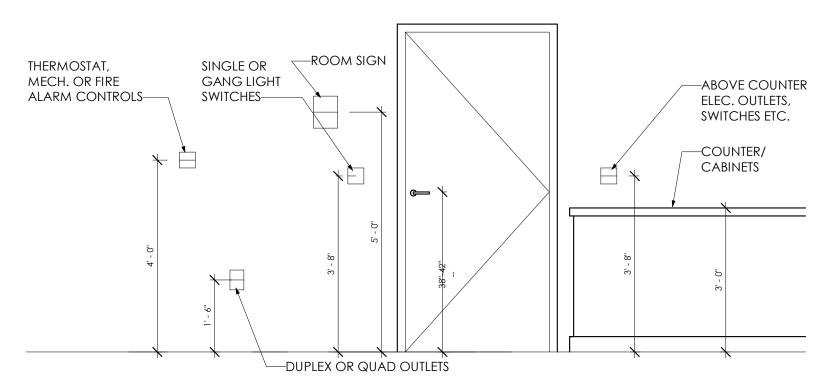


APS MK ISSUED: 2022-09-09

RENOVATION AR ADDITION INE STREET

DRAWING TITLE ARCHITECTURAL

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1 STANDARD HEIGHTS1 A002 N.T.S.



WINDOW INSTALL, TO BE INSTALLED
OVER ALUMINUM FLASHING FOR
COUNTER FLASHING.
TAPE CUTS PER BUILDING WRAP
MFG'S SPECIFICATIONS

3- ALUMINUM OR PEEL & STICK
HEAD FLASHING
2- ALUMINUM FLASHING OR
PEEL & STICK FLASHING @ JAMB

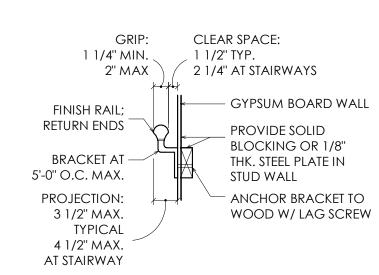
1- ALUMINUM PAN OR PEEL
& STICK SILL FLASHING
BUILDING WRAP
WRAPPED AROUND SILL & JAMB

BUILDING WRAP

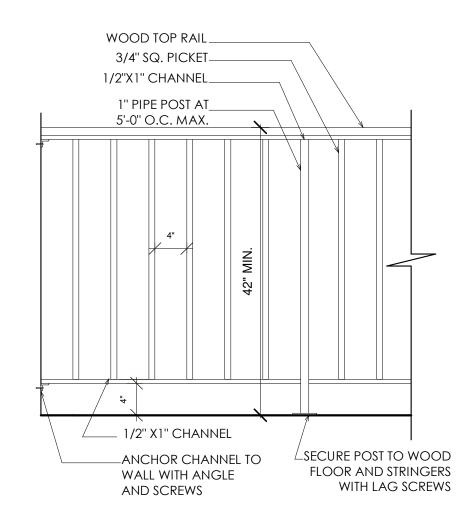
BUILDING WRAP HELD BACK DURING

2 WINDOW FLASHING DETAIL

A002 N.T.S.

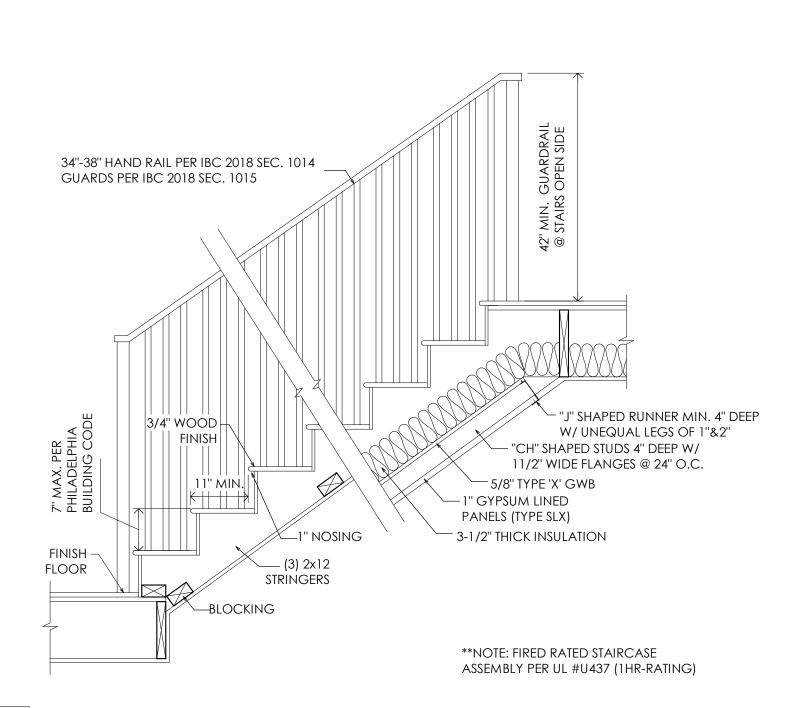


3 HANDRAIL DETAIL A002 N.T.S.

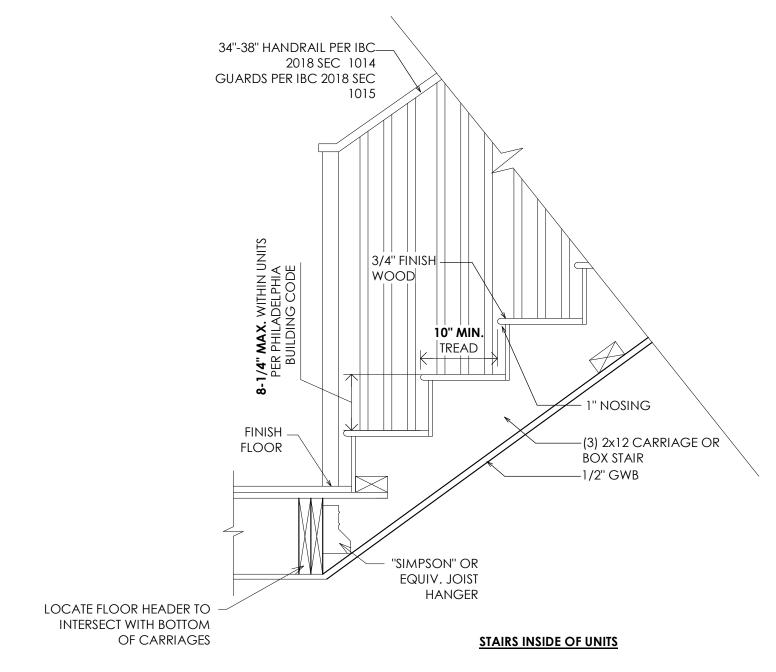


4 GUARD DETAIL A002 N.T.S.

APPROVALS



5 STAIR DETAIL (MAIN STAIRS)
A002 N.T.S.



6 STAIR DETAILS N.T.S.



INTERIOR RENOVATION AND REAR ADDITION 717 PINE STREET

PARALLEL

ARCHITECTURE

STUDIO, LLC

230 S. BROAD ST. 17TH FLOOR

PHILADELPHIA, PA 19102

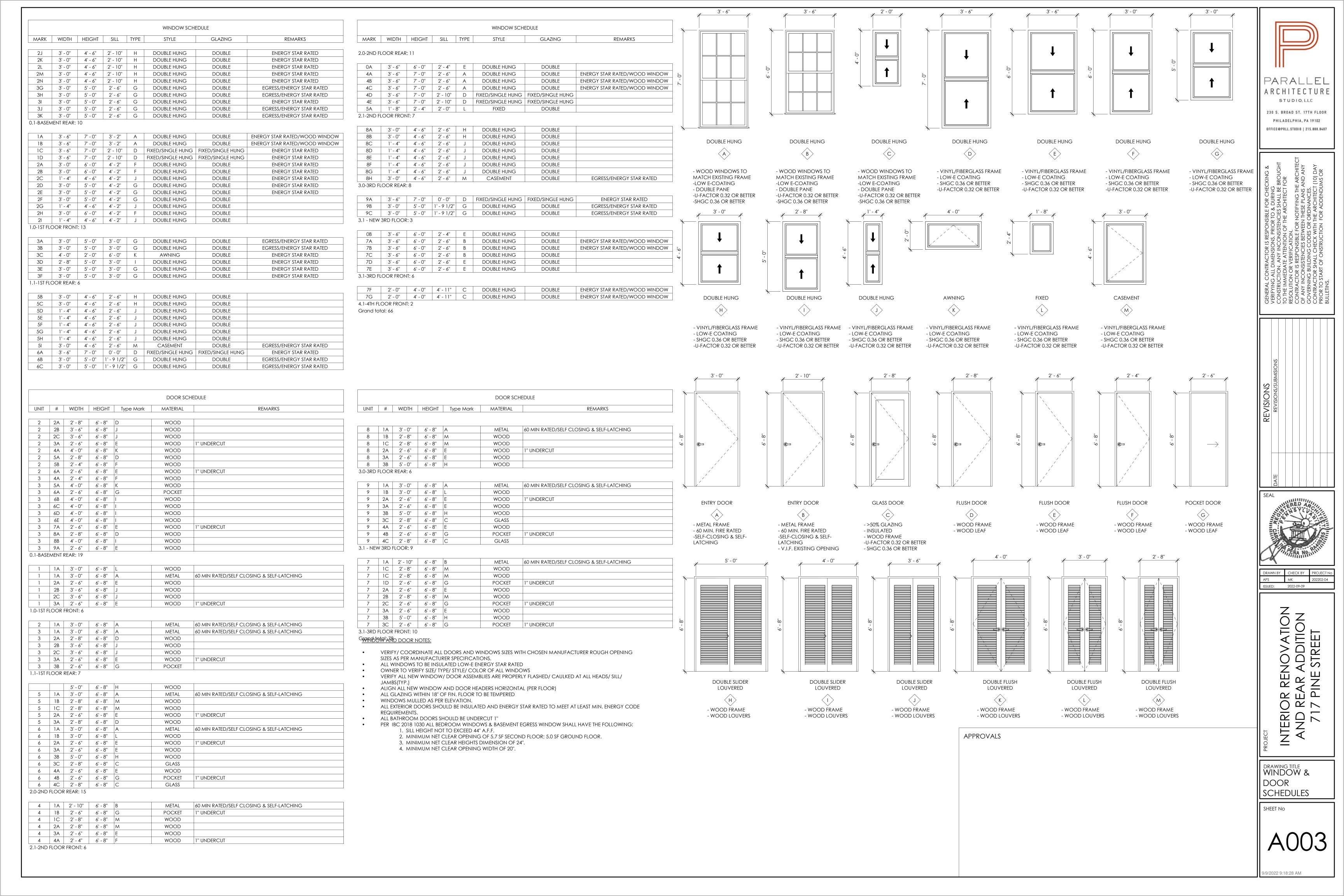
OFFICE@PRLL.STUDIO | 215.888.8407

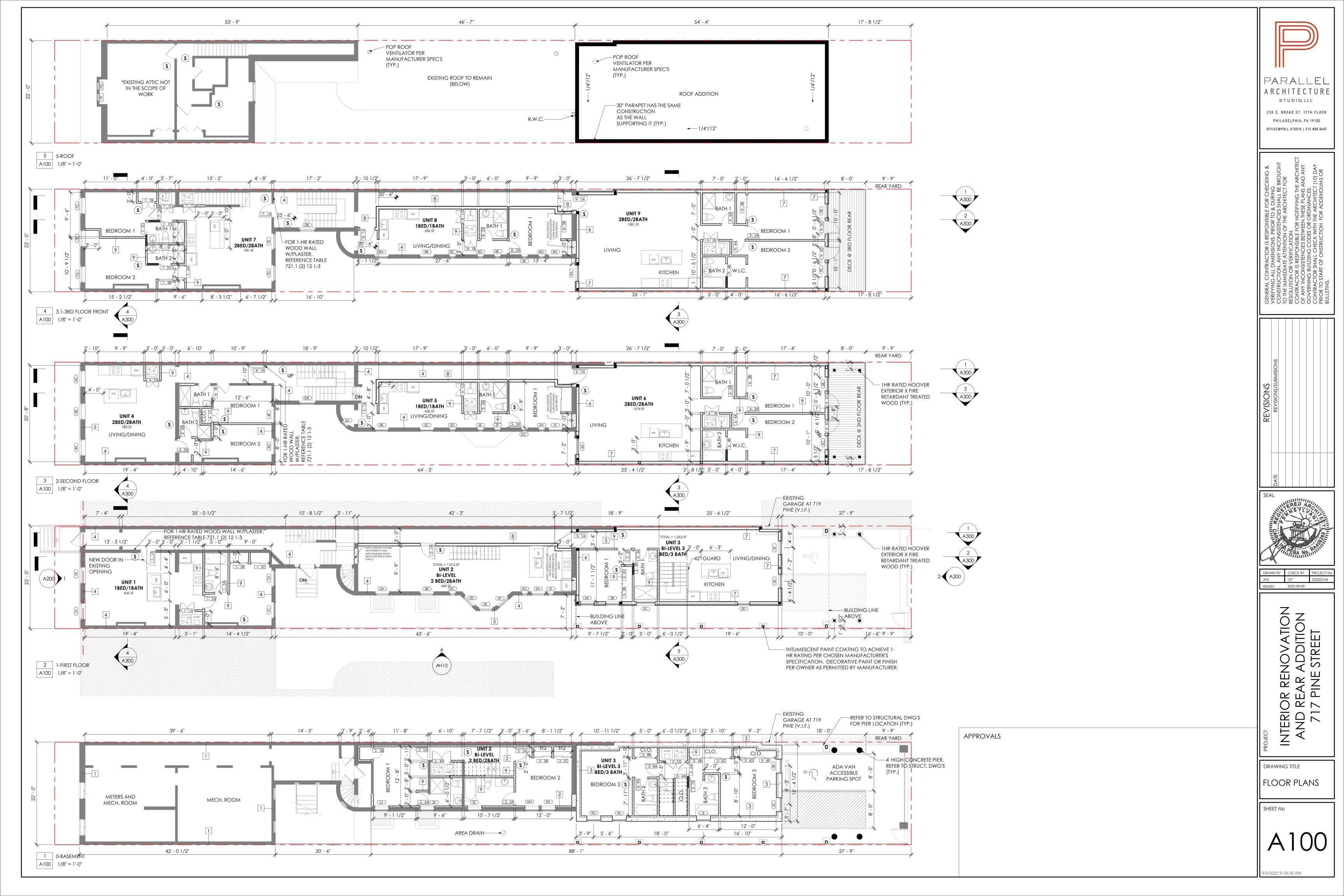
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ARCHITECTURAL
DETAILS

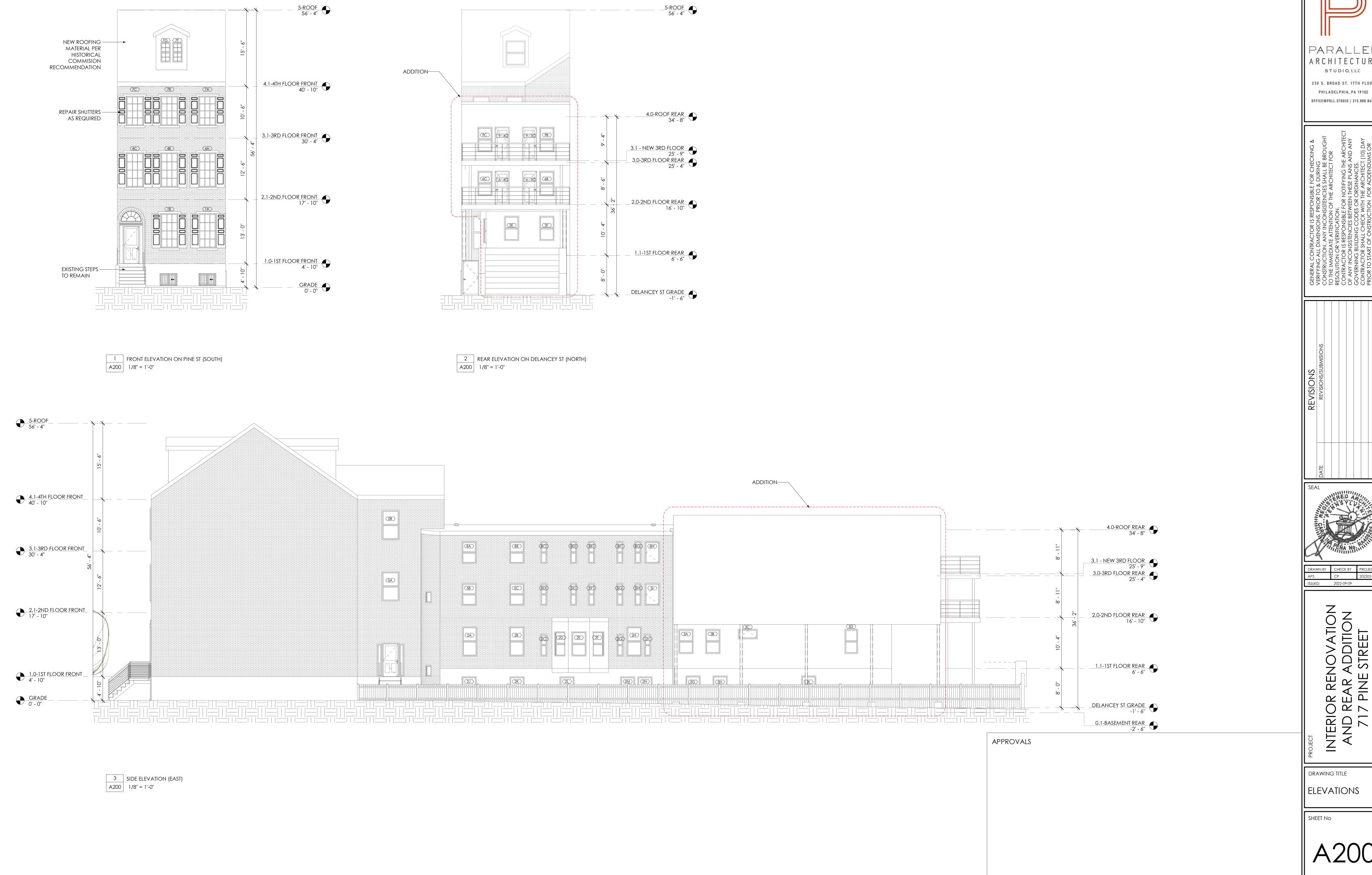
SHEET No

A002

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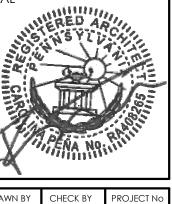






PARALLEL ARCHITECTURE STUDIO, LLC 230 S. BROAD ST. 17TH FLOOR

OFFICE@PRLL.STUDIO | 215.888.8407



INTERIOR RENOVATION AND REAR ADDITION 717 PINE STREET

DRAWING TITLE

ELEVATIONS





* ASBESTOS REMOVAL NECCESSARY PRIOR TO DEMO/RENOVATION.

**NEW ASBESTOS INSPECTION REPORT SHOULD BE OBTANIED PRIOR TO COMMENCING WORK.

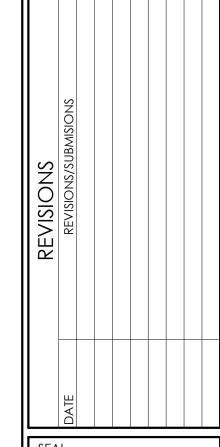
WALL OR PORTION TO BE DEMOLISHED

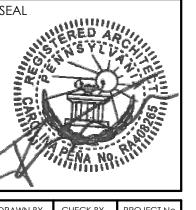
WALL OR PORTION TO REMAIN



PHILADELPHIA, PA 19102

ERIFYING ALL DIMENSIONS. PRIOR TO & DURING
ONSTRUCTION. ANY INCONSISTENCIES SHALL BE BROUGHT
ONTHE IMMEDIATE ATTENTION OF THE ARCHITECT FOR
ESOLUTION OR VERIFICATION.
ONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT
F ANY INCONSISTENCIES BETWEEN THESE PLANS AND ANY
OVERNING BUILDING CODES OR ORDINANCES.
ONTRACTOR SHALL CHECK WITH THE ARCHITECT (10) DAY
RIOR TO START OF ONSTRUCTION FOR ADDENDUMS OR





VN BY CHECK BY PROJECT No MK 202202-04
D: 2022-09-09

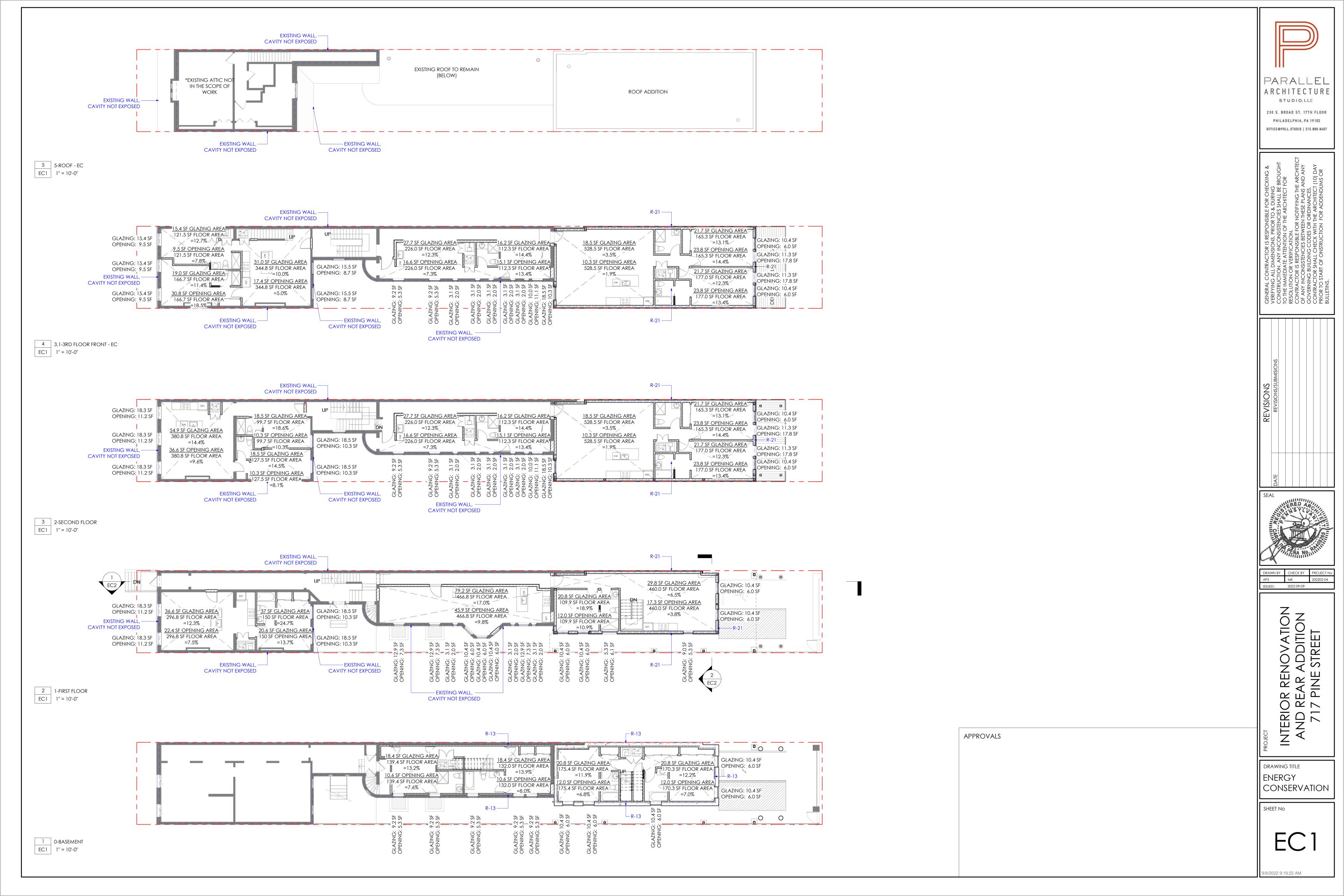
INTERIOR RENOVATION AND REAR ADDITION 717 PINE STREET

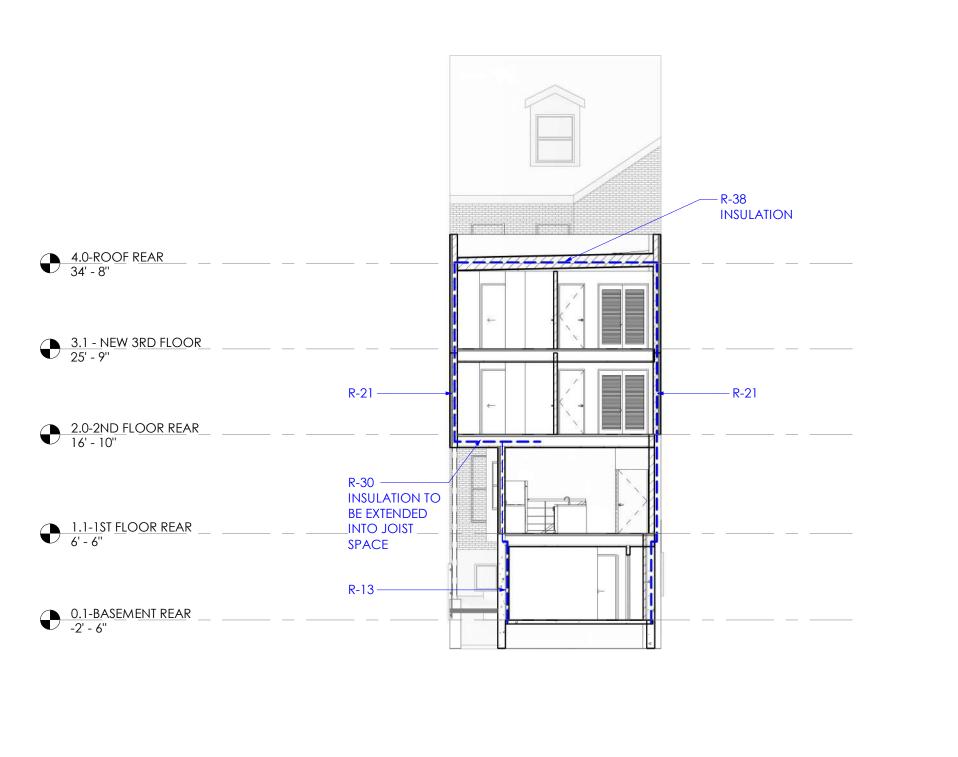
DRAWING TITLE
DEMOLITION
PLANS

SHEET No

A400

/9/2022 9:19:00 AM





1 EC 1 I" = 10'-0"

2 EC 2 I" = 10'-0" R-38 INSULATION EXISTING WALL, — CAVITY NOT EXPOSED 4.1-4TH FLOOR FRONT 40' - 10" R-38 INSULATION — R-38 INSULATION 4.0-ROOF REAR 34' - 8" 3.1-3RD FLOOR FRONT 30' - 4" EXISTING WALL,
CAVITY NOT EXPOSED 2.0-2ND FLOOR REAR 16' - 10" R-30 INSULATION TO BE —
EXTENDED INTO JOIST
SPACE 1.1-1ST FLOOR REAR 6'-6" 1.0-1ST FLOOR FRONT 4' - 10" 0.1-BASEMENT REAR
-2' - 6" 0.0-BASEMENT FRONT -5' - 2" PARALLEL ARCHITECTURE STUDIO, LLC 230 S. BROAD ST. 17TH FLOOR PHILADELPHIA, PA 19102

OFFICE@PRLL.STUDIO | 215.888.8407

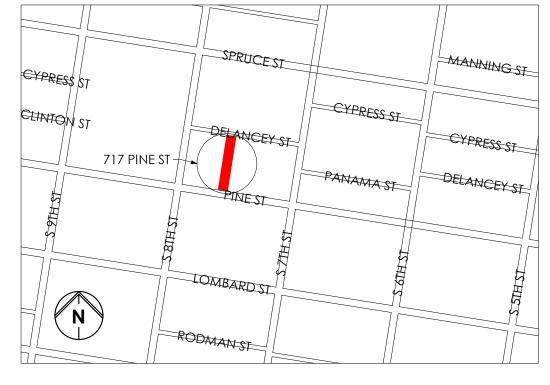
INTERIOR RENOVATION AND REAR ADDITION 717 PINE STREET

DRAWING TITLE ENERGY CONSERVATION

APPROVALS



6 SIDE ELEVATION (EAST)
H1 1" = 10'-0"



0 LOCATION MAP H1 N.T.S.

717 PINE ST ADDRESS: PHILADELPHIA, PA 19106

RM-1 ZONING: LOT AREA: 4,031.5 SF

OCCUPANCY TYPE: R-2 (MULTI-FAMILY)

SCOPE OF WORK: -9 FAMILY DWELLING. -INTERIOR RENOVATION OF EXISTING BUILDING. -NEW REAR ADDITION 1ST-3RD FLOORS. -NEW REAR DECK @ 2ND & 3RD FLOORS. -1 ADA VAN ACCESSIBLE PARKING.

PROJECT AREA:

BASEMENT = 1,414.6 SF1ST FLOOR = 2,574.8 SF2ND FLOOR = 3,023.2 SF 3RD FLOOR = 3,023.2 SF =10,035.8 SF

GROSS FLOOR AREA: 8,621.2 SF

LIMIT OF DISTURBANCE: 1,114.7 SF

PROJECT OWNER/ SITE GOVERNANCE:

705 717 PINE STREET ASSO 2228 HILLTOP VIEW RD UNIONVILLE PA 19375

ROBERT DONATUCCI rdrd@comcast.net 610-883-0800

ARCHITECT:
PARALLEL ARCHITECTURE STUDIO 230 S BROAD STREET 17TH FLR PHILADELPHIA PA 19102

PARALLEL

ARCHITECTURE

STUDIO, LLC

230 S. BROAD ST. 17TH FLOOR

PHILADELPHIA, PA 19102

OFFICE@PRLL.STUDIO | 215.888.8407

CONTACT NAME: CAROLINA PENA AIA. 267-271-5799

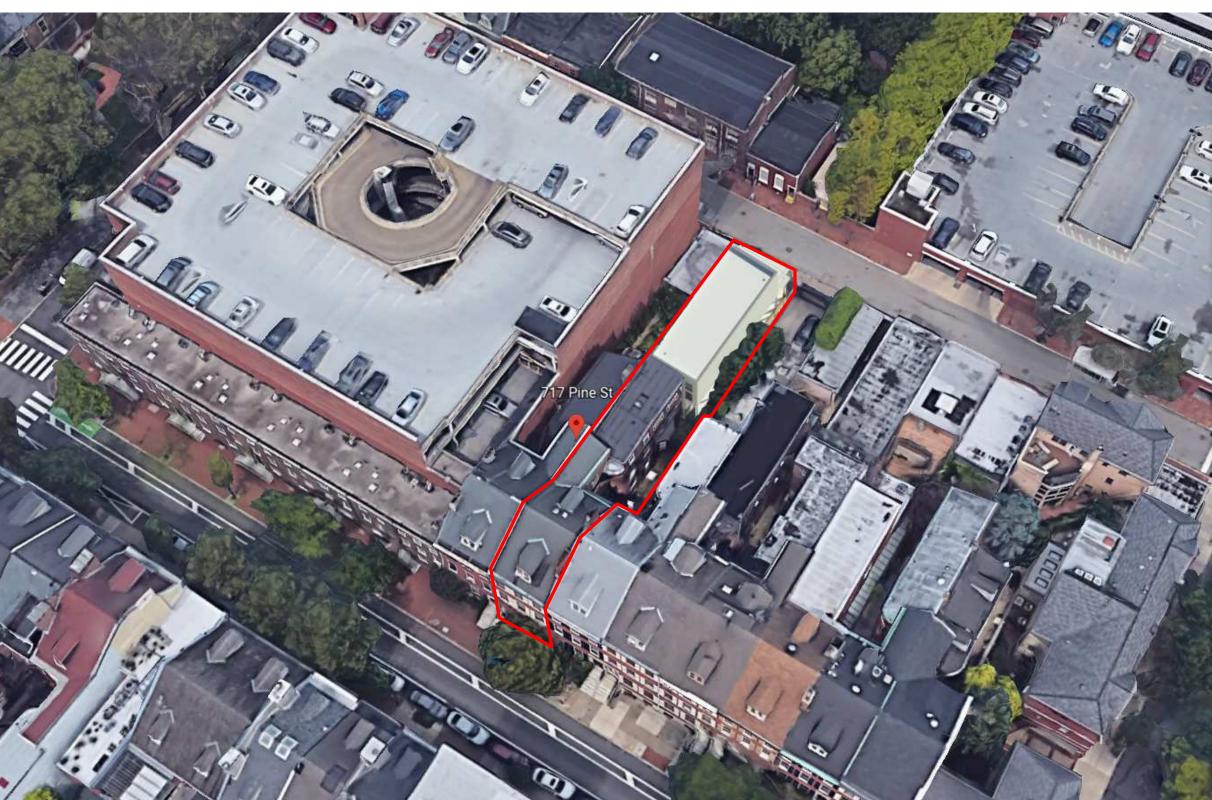
STRUCTURAL ENGINEER: STRUCTURED

OFFICE@PRLL.STUDIO

CONTACT NAME: ED CAHAN 215-470-9566

ed.structured@gmail.com MEP ENGINEER: UR ENGINEERING

CONTACT NAME: YANG GAO 267-225-0832 URENGINEERINGLLC@gmail.com



7 BIRD VIEW N.T.S.

APPROVALS

4.0-ROOF REAR 34' - 8"

3.1 - NEW 3RD FLOOR 25' - 9"

3.0-3RD FLOOR REAR 25' - 4"

2.0-2ND FLOOR REAR 16' - 10"

1.1-1ST FLOOR REAR 6' - 6"

0.1-BASEMENT REAR -2' - 6"

INTERIOR RENOVATION AND REAR ADDITION 717 PINE STREET DRAWING TITLE HISTORICAL SUBMISSION



