

ADDRESS: 160-64 N 2ND ST

Proposal: Construct six-story building

Review Requested: Final Approval

Owner: BVG 160-64 N 2nd Street, LLC

Applicant: Justin Veasey, BVG Property Group

History: 160, vacant lot; 162, built 1950; 164, built 1851, upper stories removed, 1938

Individual Designation: None

District Designation: Old City Historic District, Non-contributing, 12/12/2003

Staff Contact: Laura DiPasquale, laura.dipasquale@phila.gov

OVERVIEW:

This application proposes to construct a six-story building at the southwest corner of N. 2nd and Race Streets in the Old City Historic District. The consolidated parcel includes two non-contributing buildings and a vacant lot. As such, the Historical Commission retains full jurisdiction over the proposed construction. The north, east, and west elevations of the proposed building would be clad in grey brick and feature asymmetrical fenestration with a combination of rectangular and arched window openings. At the ground floor, a recessed entrance plaza would allow access to the residential lobby along Race Street, and a three-car parking garage would be accessed from N. 2nd Street. The south elevation would be clad in metal panels and feature a mural of the Benjamin Franklin bridge, which is located one block to the north.

The Historical Commission has reviewed numerous projects for this location over the past few years, and approved a six-story building of a different design in September 2019.

SCOPE OF WORK:

- Construct six-story building

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
 - The proposed construction is compatible in height, massing, and overall materials with the Old City Historic District. The rhythm and fenestration of the new building differ from the older buildings in the historic district, but can be considered compatible. The context of the property is varied, with historic buildings ranging from two to five stories along the nearby blocks, intermixed with taller new construction, including the 17-story new construction to the north across Race Street. The application generally complies with Standard 9.

STAFF RECOMMENDATION: Approval, pursuant to Standard 9.



251 St. Asaphs Road 3 Bala Plaza East Suite 201 Bala Cynwyd, PA 19004

To Whom It May Concern:

I am writing this letter on behalf of our new upcoming project which is located on the corner of 2nd Race with the address of 160-64 N 2nd Street, Philadelphia PA 19106. Our company takes pride on designing and developing a product which after involving the neighborhood, we feel is best for the location and the surrounding neighbors. We decided to call this project "The Ben" due to the location being right next to the Ben Franklin Bridge. The initial design idea for the building was to place windows in certain exterior locations so that when the residents were looking outside – they you would have the best views of the Ben Franklin bridge no matter where they were in the unit just based off the window spec chosen. We also decided to go with a lighter grey blended brick and metal siding with gold trim for the exterior facade due to the location being close to the water and us combining that vibe with upscale luxury living as well. We felt this color choice wouldn't come off to strongly and would be accepted by the surrounding neighbors to be a perfect fit for that corner building. "The Ben" will be a luxury condominium building which will consist of six (6) luxury condo units. The ground floor will consist of a Building Lobby (See Rendering Attached), a smart elevator system which will only open in the unit your smart technology has access too, and a commercial ground floor space with a potential retail tenant. The second floor will have two flat condo units which will consist of 2 bedrooms, 2 bathrooms. The third & forth floor will have 2 Bi-Level units which will consist of 4 bedrooms and 4 bathrooms. The fifth floor will be a flat JR Penthouse unit which will consist of 4 bedrooms and 4 bathrooms. Finally, the sixth floor will be a flat Penthouse unit which will consist of 4 bedrooms, 4 bathrooms and a private roof deck. This building will also contain storage units in the basement as well as a private gym for the residents of the building. We have attached the exterior renderings and are looking forward to hearing great positive feedback as we get close to developing this corner which residents have been waiting for a long time!

Sincerely,



DANNY GOVBERG
Co-Founder

A handwritten signature in black ink, appearing to read 'Danny'.



JOSEPH F. BYRNE
Co-Founder

A handwritten signature in black ink, appearing to read 'Joseph F. Byrne'.



JUSTIN VEASEY
Co-Founder

A handwritten signature in black ink, appearing to read 'Justin'.



251 St. Asaphs Road 3 Bala Plaza East Suite 201 Bala Cynwyd, PA 19004



Crossroad View



Race Street View



Air Rendering View



Interior Lobby



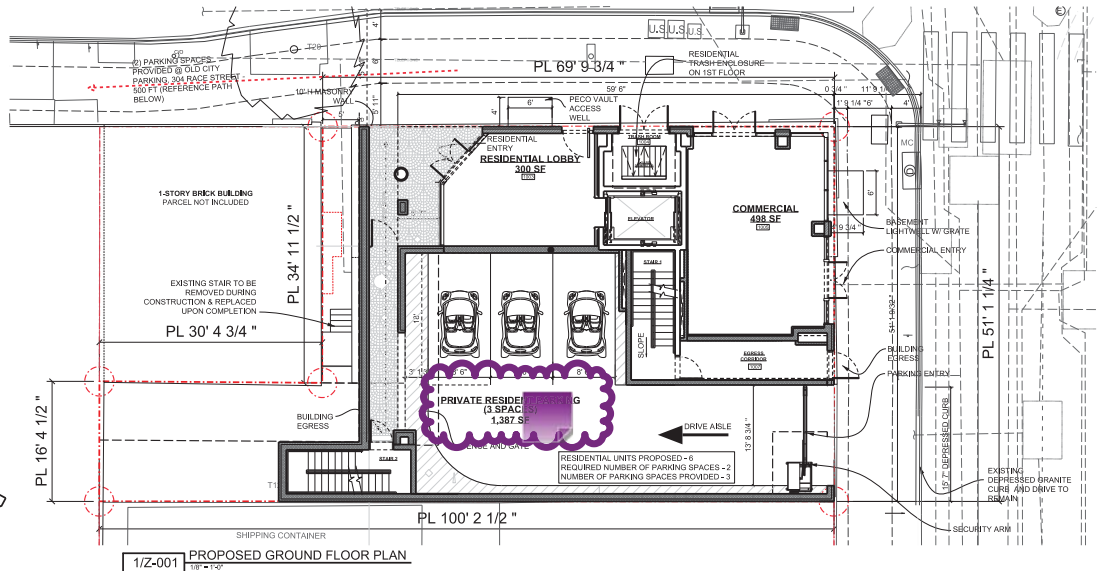
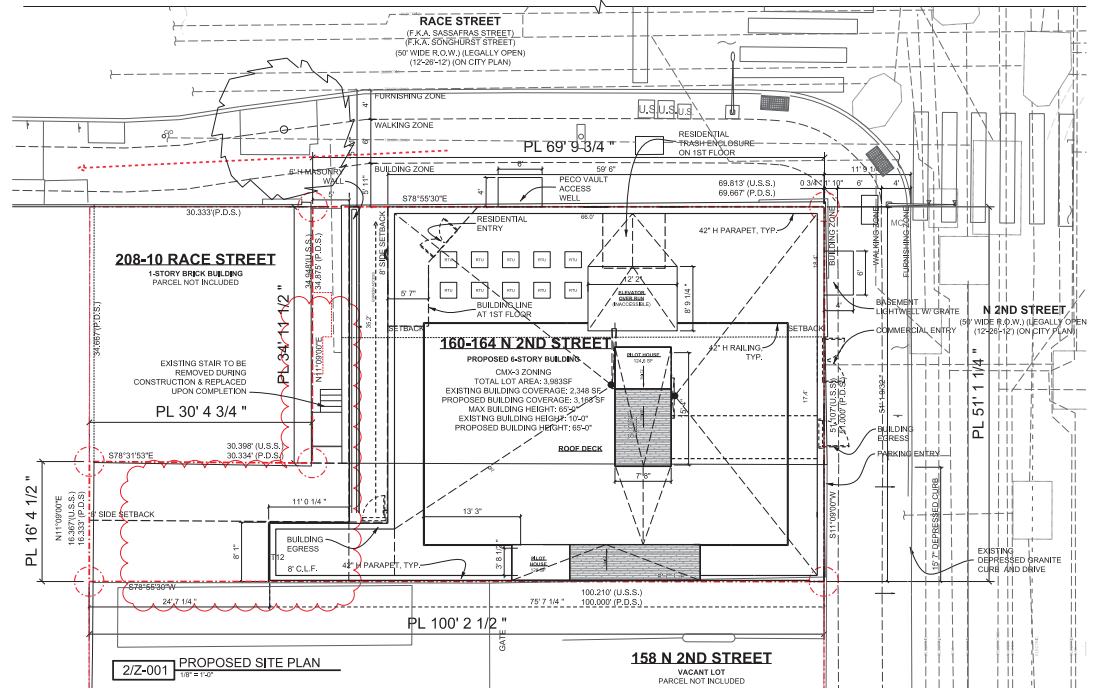


ZONING INFORMATION			
PROJECT: 160-164 N 2ND STREET			
ADDRESS: 160-164 N 2ND STREET PHILADELPHIA, PA 19106			
APPLICABLE ZONING + BUILDING CODES: THE PHILADELPHIA CODE 2018 INTERNATIONAL BUILDING CODE INTERNATIONAL ENERGY CONSERVATION CODE PHILADELPHIA PLUMBING CODE			
DIMENSIONAL STANDARDS FOR COMMERCIAL DISTRICTS (TABLE 14-701-3): ZONING CLASSIFICATION CMX-3 - COMMUNITY COMMERCIAL MIXED-USE-3			
	REQUIRED	EXISTING	PROVIDED
MAXIMUM OCCUPIED AREA (% OF LOT)	80%	59%	77%
MINIMUM OPEN AREA (% OF LOT)	20%	41%	21%
MINIMUM SIDE YARD WIDTH, EACH (FT.)	8'	0'	8'
MAXIMUM FLOOR AREA RATIO	500%	65'	476%
MAXIMUM BUILDING HEIGHT	65'	13'-8"	65'
PROPOSED BUILDING			
TOTAL LOT AREA	4,062 S.F.		
PROPOSED BUILDING COVERAGE	3,163 S.F.		
PROJECT DESCRIPTION DEMOLITION OF EXISTING 1-STORY STRUCTURE FOR PROPOSED 6-STORY RESIDENTIAL COMPLEX WITH CELLAR AND ROOF DECK. FIRST FLOOR CONTAINS 1 COMMERCIAL SPACE, (3) PRIVATE RESIDENT PARKING SPACES, AND A RESIDENTIAL LOBBY. SECOND TO SIXTH FLOORS CONTAIN RESIDENTIAL UNITS WITH TERRACES. EXISTING BUILDING FOOTPRINT AREA: 2,348 SF PROPOSED BUILDING FOOTPRINT AREA: 3,163 SF			
PROPOSED GROSS SQUARE FOOTAGES: 1ST FLOOR: 2,899 SF 2ND FLOOR: 3,163 SF 3RD FLOOR: 3,004 SF 4TH FLOOR: 3,085 SF 5TH FLOOR: 3,035 SF 6TH FLOOR: 3,035 SF TOTAL GSF: 18,221 SF TOTAL GSF EXCLUDES CELLAR, CELLAR: 2,131 SF			
BUILDING HEIGHT: 65'-0" 6 STORIES			

APPROVED
FOR ZONING ONLY
05/25/22

WHEN YOUR PLANS CONTAIN ANY OMISSION,
ERROR OR DEVIATION FROM THESE APPROVED
PLANS IT WILL REQUIRE THE APPROVAL OF THE
DEPARTMENT OF LICENSES & INSPECTIONS.

Applied Electronically by L&I User:



MARCHITECTS LLC

MORRISSEY DESIGN LLC

NO. RA 405135

THE BEN

160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 MARCHITECTS

DATE	ISSUE
02/18/22	ZONING SET
03/20/22	ZONING SET
03/20/22	ZONING SET
04/21/22	ZONING SET

PROPOSED ZONING PLAN

SCALE: AS NOTED

Z-001

THE BEN

160-164 N 2ND STREET | PHILADELPHIA, PA 19106

PERMIT SET - REVISION 1: 06 02 2022

PROJECT DESCRIPTION:

5 LEVELS OF TYPE IIIB WOOD CONSTRUCTION OVER 1 LEVEL OF TYPE IA STEEL CONSTRUCTION w/ AUTOMATIC SPRINKLER SYSTEM THROUGHOUT

APPLICABLE CODES:
IBC 2018 BUILDING
IRC 2018 RESIDENTIAL
IMC 2018 MECHANICAL
NEC 2017 NATIONAL ELECTRIC CODE
IEBC 2018 INTERNATIONAL PERFORMANCE BUILDING CODE
IECC 2018 INTERNATIONAL ENERGY CONSERVATION CODE
PFG 2018 PHILADELPHIA FIRE CODE
IFGC 2018 INTERNATIONAL FUEL GAS CODE
IPC 2018 PLUMBING

RENDERINGS (FOR REFERENCE ONLY):



SITE MAP:



PROJECT TEAM:

LOW VOLTAGE:
VU WORLD

OWNER:
BVG PROPERTY GROUP

3475 COLLINS STREET
PHILADELPHIA, PA 19134

1516 N 5TH ST., SUITE 507
PHILADELPHIA, PA 19122

LIGHTING DESIGN:
BEAM, LTD.

CIVIL ENGINEER:
COLLIERS ENGINEERING

2200 MOUNT CARMEL AVE.
GLENVIEW, PA 19038

1500 JKL BOULEVARD
SUITE 222
PHILADELPHIA, PA 19102

ELEVATOR:
ELEVATOR CONSTRUCTION AND REPAIR COMPANY INC.

STRUCTURAL ENGINEER:
THE HARMAN GROUP

2040 BENNETT ROAD
PHILADELPHIA, PA 19116

150 S WARNER RD.,
SUITE 100
KING OF PRUSSIA, PA 19406

MEP ENGINEER:
MCHUGH ENGINEERING

136 POPLAR STREET
AMBLER, PA 19002



M ARCHITECTS LLC
MORRISSEY DESIGN LLC

4590 MAIN STREET | PHILADELPHIA PA 19127 | 215.948.3751 | www.morrissey-design.com



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4590 MAIN STREET | PHILADELPHIA PA 19127 | 215.948.3751 | www.morrissey-design.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2021 MARCHITECTS

DATE:	05/09/22
DATE:	06/02/22
ISSUE:	PERMIT SET
ISSUE:	PERMIT SET - REVISION 1
SCALE:	AS NOTED

CS-0

SHEET INDEX

[illegible]

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 M ARCHITECTS

ISSUE:	DATE:
PERMIT SET	05.09.22
PERMIT SET - REVISION 1	06.02.22

DRAWING LIST

SCALE: AS NOTED

CS-1

GENERAL CONDITIONS

1. THE AMERICAN INSTITUTE OF ARCHITECTS' GENERAL CONDITIONS OF CONTRACTS FOR CONSTRUCTION AND SUPPLEMENTAL CONDITIONS REQUIREMENTS CURRENTLY IN EFFECT SHALL GOVERN THE WORK OF THE PROJECT AND IS HEREBY MADE A PART OF THESE CONTRACT DRAWINGS AS THOUGH FULLY CONTAINED.
2. THE GC IS RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND LICENSES NECESSARY FOR THE PROPER COMPLETION OF THE WORK, AND OCCUPANCY OF THE SPACE BY THE OWNER. ALL PERMIT FEES ARE TO BE INCLUDED IN BID PRICING AND ARE TO BE PAID FOR BY THE GC.
3. THE DRAWINGS AND THE NOTES ON THIS SHEET ARE INTENDED TO BE COMPLEMENTARY TO MOST CONTRACT DOCUMENTS. SPECIFIC INFORMATION MAY BE FOUND ON EITHER OR BOTH. DISCREPANCIES OR CONFLICTING INFORMATION BETWEEN THE DRAWINGS AND THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF MD IMMEDIATELY. ANY DISCREPANCIES OR CONFLICTS BROUGHT TO THE MD'S ATTENTION AFTER THE AWARD OF THE CONTRACT SHALL BE RESOLVED BY MD. DETERMINING WHICH CONFLICTING ITEM SHALL GOVERN AS THE GENERAL CONTRACTORS INSTRUCTION REGARDING EXECUTION OF THE WORK AT NOT ADDITIONAL COST TO MD. THE BUILDING OWNER, OR ANY OF THEIR REPRESENTATIVES OR CONSULTANTS.
4. ANY DISCREPANCIES, ERRORS, OR OMISSIONS DISCOVERED IN THE CONTRACT DOCUMENTS BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF MD BEFORE PROCEEDING WITH THE RELATED WORK. OTHERWISE, THE CORRECTION OF SUCH ITEMS IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GC SHALL LAY OUT THE WORK IN CONFORMITY WITH THE REQUIREMENTS OF CONTRACT DOCUMENTS, AND WILL BE HELD RESPONSIBLE FOR PROPER ESTABLISHMENT AND MAINTENANCE OF ALL LINES AND DIMENSIONS, BEFORE DOING ANY WORK. THE GC SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS AT SITE, AND NOTIFY MD OF ANY DISCREPANCIES, RESULTING ERRORS CAUSED BY THE FAILURE OF THE GC TO EXERCISE SUCH PRECAUTIONS SHALL NOT BE CONSIDERED SUBSEQUENTLY AS A BASIS FOR ADDITIONAL COMPENSATION.
6. ALL WORK, MATERIALS, AND INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ALL OCCUPANCIES, STATE, AND LOCAL BUILDING CODES AND THE INTERNATIONAL BUILDING CODE (IBC 2018) AND THE INTERNATIONAL RESIDENTIAL BUILDING CODE (IRC 2018) AS ADOPTED BY THE STATE OF PENNSYLVANIA.
7. GENERAL: DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL HAVE FULL USE OF THE AREAS WITHIN THE CONTRACT LIMITS INDICATED ON THE DRAWINGS. LIMITED ONLY BY THE BUILDING OWNER AND OWNERS RIGHT TO PERFORM CONSTRUCTION OPERATIONS WITH ITS OWN FORCES OR TO EMPLOY SEPARATE CONTRACTORS ON PORTIONS OF THE PROJECT.
8. CONFINE OPERATIONS TO AREAS WITHIN CONTRACT LIMITS INDICATED. PORTIONS OF THE SITE BEYOND AREAS IN WHICH CONSTRUCTION OPERATIONS ARE INDICATED ARE NOT TO BE DISTURBED. KEEP COMMON AREA ADJACENT TO THE PREMISES CLEAR AND AVAILABLE TO THE OWNER AND THE OWNER'S EMPLOYEES AT ALL TIMES. DO NOT USE THESE AREAS FOR THE STORAGE OF MATERIALS.
9. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING AND VERIFYING THE EXISTENCE AND LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF WORK.
10. MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL INDIVIDUAL COMPONENTS AT STANDARD MOUNTING HEIGHTS RECOMMENDED WITHIN THE INDUSTRY FOR THE PARTICULAR APPLICATION INDICATED.
11. TEMPORARY TRASH STORAGE AND REMOVAL: THE GC SHALL MAKE PROVISIONS AND COORDINATE WITH THE BUILDING OWNER TO PROVIDE ARRANGEMENTS FOR THE STORAGE AND REMOVAL OF CONSTRUCTION DEBRIS AND SHALL PAY FOR ALL COSTS AS THEY ARISE FOR SUCH PROVISIONS. GC SHALL APPLY FOR ALL REQUIRED PERMITS AND APPROVALS AS REGD BY GOVERNING JURISDICTION.
12. THE GC SHALL USE DIMENSIONS ONLY; DO NOT SCALE PLANS. ALL DIMENSIONS TO FINISHED FACE UNLESS OTHERWISE NOTED.
13. PROTECTION OF WORK IN PLACE: WORK THAT IS SUBJECT TO INJURY BECAUSE OF OPERATIONS BEING CARRIED ON IN ADJACENT AREAS THERETO SHALL BE COVERED, BOARDED UP, OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION. ALL FORMS OF PROTECTION SHALL BE CONSTRUCTED IN A MANNER SUCH THAT, UPON COMPLETION, THE ENTIRE WORK WILL BE DELIVERED TO THE OWNER IN PROPER, WHOLE, AND UNIMPEDED CONDITION.
14. MATERIALS: ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED AS RECOMMENDED BY MANUFACTURERS. ALL LIE MATERIALS USED SHALL BE OF THE SAME MANUFACTURER AND QUALITY UNLESS OTHERWISE SPECIFIED.
15. WORKMANSHIP: ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED BY COMPETENT WORKMAN, AND EXECUTED IN A NEAT WORKMANLIKE MANNER. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE BY THE TENANT.
16. DESIGN LOADS: LOADS AND CODE RESTRICTIONS FOR ALL DESIGN CONSIDERATIONS SHALL CONFORM TO ALL ORDINANCES AND STATE AND LOCAL BUILDING CODES.
17. GC SHALL REMOVE, REPLACE, RESTORE OR SATISFACTORILY REPAIR ANY PARTS OF THE WORK WHICH ARE BROKEN, MISSING, STRUCTURALLY UNSAFE, BENT, TORN, OR OTHERWISE DEFICIENT OR INJURED IN ANY MANNER.
21. THROUGHOUT CONSTRUCTION PERIOD: KEEP PROJECT SITE CLEAN AND NEAT IN APPEARANCE. DO NOT ALLOW HAZARDOUS, DANGEROUS, OR UNSANITARY CONDITIONS, OR PUBLIC NUISANCES TO DEVELOP OR PERSIST ON THE SITE. EMPLOY EXPERIENCED WORKERS OR PROFESSIONAL CLEANERS FOR FINAL CLEANING. COMPLY WITH MANUFACTURER'S INSTRUCTIONS.
22. NOT USED
23. FIRE PROTECTION SYSTEMS SHALL BE INSTALLED, REPAIRED, OPERATED AND MAINTAINED IN ACCORDANCE PER IBC 2018 SECTION 714.

EXCAVATION

1. G.C. TO REMOVE THE EXISTING CONCRETE AS REQUIRED IN ORDER TO COMPLETE INTERIOR AND EXTERIOR WORK.
2. G.C. TO EXCAVATE IN A CONTROLLED MANNER, ASSURING THAT NO BELOW GROUND UTILITIES, WIRING, OR OTHER SERVICES ARE DISTURBED.

INSULATION

1. GC TO PROVIDE INSULATION VALUES IN ACCORDANCE WITH IECC 2018 AND ANY ADDITIONAL CODES AS REQUIRED.
2. GC TO PROVIDE INSULATION VALUES AS PER ZONE 4 AS FOLLOWS:
- | | |
|------------------------|-------|
| GLASS U FACTOR: | .32 |
| SKYLIGHT U FACTOR: | .55 |
| CEILING R VALUE: | 49 |
| WALL R VALUE: | 13 |
| FLOOR R VALUE: | 19 |
| BASEMENT WALL R VALUE: | 10/13 |
3. G.C. TO USE SPRAY FOAM SEAL AT ELECTRICAL, DEVICE BOXES AND EXTERIOR DOOR/WINDOW PERIMETER FRAME.

INTERIOR DOORS

1. THE GENERAL CONTRACTOR SHALL INSTALL ALL DOORS, FRAMES, HARDWARE, AND RELATED PARTS AND MATERIALS AS INDICATED ON THE DRAWINGS, ON THE DOOR SCHEDULE AND AS SPECIFIED HEREIN. ALL DOORS, FRAMES, AND HARDWARE SHALL BE FABRICATED AND ERECTED TRUE, PLUMB, AND SQUARE AS SPECIFIED, AS DETAILED, AND PER MANUFACTURER'S RECOMMENDATIONS.
2. OBTAIN DOORS FROM A SINGLE MANUFACTURER, SUBJECT TO COMPLIANCE WITH REQUIREMENTS AS OUTLINED BY BUILDING STANDARDS
3. INSTALL WOOD DOORS TO COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND OF REFERENCED AIA STANDARD.

GYPSUM BOARD ASSEMBLIES

1. FASTENERS: FASTENERS SHALL BE DRYWALL SCREWS OF PROPER SIZE AND TYPE PER MANUFACTURERS RECOMMENDATIONS
2. ALL GYPSUM BOARD AT OUTSIDE CORNERS SHALL RECEIVE 'USO' DURA-BEAD #101 OR EQUAL. USE 'USO' 208 METAL TRIM OR EQUAL WHERE HEADS ARE EXPOSED. ALL JOINTS SHALL HAVE 'USO' PEEL-ARMURE JOINT SYSTEM OR EQUAL. ALL SURFACES TO BE TAPED, SPACKLED, AND SANDED TO A CONDITION TO ACCEPT ALL FINISHES
3. ALL GWS SURFACES TO BE EXPOSED TO PAINT TO BE PROVIDED WITH A LEVEL 4 FINISH.
5. G.C. TO COORDINATE ALL FINAL FINISH REQUIREMENTS WITH ARCHITECT AND CLIENT PRIOR TO FINAL COATING.

WINDOWS

1. THE G.C. IS TO PROVIDE WINDOWS AS DESCRIBED IN THE CONTRACT DOCUMENTS.
2. INSTALL ALL WINDOWS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. PROVIDE WATERPROOFING AT EACH NEW WINDOW OPENING

HEATING, VENTING, AIR CONDITIONING

1. G.C. TO PROVIDE ALL HVAC DESIGN AND INSTALLATION DESIGN BUILD.
2. GC RESPONSIBLE FOR ALL APPROVALS, PERMITS, AND SUBMISSIONS FOR THE HVAC SYSTEMS.

ROUGH CARPENTRY

1. THE GC IS RESPONSIBLE FOR THE DETERMINING AND COORDINATING AMOUNTS AND LOCATION OF BLOCKING REQUIRED FOR WALL MOUNTED SHELVING.

FINISH CARPENTRY

1. INSTALLER QUALIFICATIONS: ARRANGE FOR INSTALLATION OF ARCHITECTURAL WOODWORK BY A FIRM THAT CAN DEMONSTRATE SUCCESSFUL EXPERIENCE IN INSTALLING ARCHITECTURAL WOODWORK ITEMS SIMILAR IN TYPE AND QUALITY TO THOSE REQUIRED FOR THIS PROJECT
2. AIA QUALITY STANDARD: COMPLY WITH APPLICABLE REQUIREMENTS OF ARCHITECTURAL WOODWORK QUALITY STANDARDS PUBLISHED BY THE ARCHITECTURAL WOODWORK INSTITUTE (AWI) EXCEPT AS OTHERWISE INDICATED
3. FIELD MEASUREMENTS: WHERE WOODWORK IS INDICATED TO BE FITTED TO OTHER CONSTRUCTION, CHECK ACTUAL DIMENSIONS OF OTHER CONSTRUCTION BY ACCURATE FIELD MEASUREMENTS BEFORE MANUFACTURING WOODWORK. SHOW RECORDED MEASUREMENTS ON FINAL SHOP DRAWINGS. COORDINATE MANUFACTURING SCHEDULE WITH CONSTRUCTION PROGRESS TO AVOID DELAY OF WORK. WHERE FIELD MEASUREMENTS CANNOT BE MADE WITHOUT DELAYING THE WORK, GUARANTEE DIMENSIONS AND PROCEED WITH THE MANUFACTURING OF WOODWORK WITHOUT FIELD MEASUREMENTS. COORDINATE OTHER CONSTRUCTION TO ENSURE THAT ACTUAL DIMENSIONS CORRESPOND TO GUARANTEED DIMENSIONS.
4. PROVIDE MATERIALS THAT COMPLY WITH REQUIREMENTS OF THE AWI WOODWORKING STANDARD FOR EACH TYPE OF WOODWORK AND QUALITY GRADE INDICATED.
5. WOOD MOISTURE CONTENT: COMPLY WITH REQUIREMENTS OF REFERENCED QUALITY STANDARD FOR MOISTURE CONTENT OF LUMBER IN RELATION TO RELATIVE HUMIDITY CONDITIONS EXISTING DURING TIME OF FABRICATION AND IN INSTALLATION AREAS.
6. STANDING AND RUNNING TRIM AND RAILS WITH TRANSPARENT FINISH ARE TO CONFORM TO AND COMPLY WITH AIA SECTION 306. BACK-OUT OR GROVE BACKS OF FLAT TRIM MEMBERS AND KEYR BACKS OF OTHER WIDE FLAT MEMBERS, EXCEPT FOR MEMBERS WITH ENDS EXPOSED IN FINISHED WORK, ASSEMBLE CASINGS IN PLACE EXCEPT WHERE LIMITATIONS OF ACCESS TO PLACE OF INSTALLATION REQUIRE FIELD ASSEMBLY.
7. INSTALL WOODWORK PLUMB, LEVEL, TRUE, AND STRAIGHT WITH NO DISTORTIONS SHIM AS REQUIRED WITH CONCEALED SHIMS. INSTALL TO A TOLERANCE OF .01 WITH 4-F FOR PLUMB AND LEVEL (INCLUDING TOPS) AND WITH NO VARIATIONS IN FLUSHNESS OF ADJOINING SURFACES
7. SCRIBE AND CUT WOODWORK TO FIT ADJOINING WORK AND REFINISH CUT SURFACES OR REPAIR DAMAGE FINISH AT CUTS.
8. ANCHOR WOODWORK TO ANCHORS OR BLOCKING BUILT IN OR DIRECTLY ATTACHED TO SUBSTRATES. SECURE TO GROUNDS, SHIPPING AND BLOCKING WITH COUNTERSINK, CONCEALED FASTENERS, AND BLIND NAILING AS REQUIRED FOR A COMPLETE INSTALLATION. EXCEPT WHERE MATCHING FASTENER HEADS ARE REQUIRED, USE FINISHING NAILS FOR EXPOSED NAILING. COUNTERSINKS AND FILLED FLUSH WITH WOODWORK AND MATCHING FINAL FINISH WHERE TRANSPARENT FINISH IS INDICATED.
9. CABINETS: INSTALL WITHOUT DISTORTION SO THAT DOORS AND DRAWERS FIT, OPEN PROPERLY AND ARE ACCURATELY ALIGNED. ADJUST HARDWARE TO CENTER DOORS AND DRAWERS IN OPENINGS AND TO PROVIDE UNOBSTRUCTED OPERATION. COMPLETE THE INSTALLATION OF HARDWARE AND ACCESSORY ITEMS AS INDICATED.
10. TOPS: ANCHOR SECURELY TO BASE UNITS AND OTHER SUPPORT SYSTEMS AS INDICATED.
11. REPAIR DAMAGED AND DEFECTIVE WOODWORK WHERE POSSIBLE TO ELIMINATE DEFECTS FUNCTIONALLY AND VISUALLY WHERE NOT POSSIBLE TO REPAIR. REPLACE WOODWORK. ADJUST JOINERY FOR UNIFORM APPEARANCE
12. CLEAN, LUBRICATE, AND ADJUST HARDWARE.

FLOORING

1. THE GC SHALL FURNISH AND INSTALL ALL FLOOR COVERINGS AS INDICATED ON THE FINISH DRAWINGS. GC TO COORDINATE MATERIAL SELECTION WITH BUILDING REPRESENTATIVES
2. GC SHALL FURNISH THE OWNER WITH 5% AT-TIC STOCK FOR ALL FLOOR COVERINGS (CARPET AND VCT) UPON COMPLETION OF THE JOB.

STUCCO

1. 10" PORTLAND CEMENT SMOOTH STUCCO: COLOR TO BE DETERMINE
2. 3/8" CONTROL JOINTS FOR EVERY 150 SF

PAINTING

1. THE GC IS RESPONSIBLE TO VISIT AND INSPECT THE SPACE PRIOR TO THE APPLICATION OF ANY PAINT OR FINISHING MATERIAL. IF ANY NEW OR EXISTING SURFACE TO BE FINISHED CANNOT BE PUT IN PROPER CONDITION BY CUSTOMARY CLEANING, SANDING, AND PUTTING OPERATIONS, THE GC SHALL RECTIFY THE CONDITION BEFORE THE APPLICATION OF ANY FINISH
2. THE INTENT IS TO PROVIDE A SATISFACTORY FINISH TO ALL PARTS OF THE PROJECT. WHETHER NOTED HEREIN OR NOT, UNLESS SPECIFICALLY STATED OTHERWISE, COVER ALL SURFACES THOROUGHLY. IF THE NUMBER OF COATS SPECIFIED DOES NOT ACCOMPLISH THE INTENT, THEN APPLY AN ADDITIONAL COATS OF SPECIFIED MATERIAL TO GIVE SATISFACTORY COVERAGE.
3. ALL PAINTED SURFACES SHALL BE PREPARED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS (ESPECIALLY IN REGARD TO THE PRIMING OF SURFACES)
4. PAINTED GYPSUM BOARD TO RECEIVE ON COAT LATER PRIMER AND TWO COATS OF SPECIFIED PAINT. TINT PRIMER TO APPROXIMATE SHADE OF THE FINAL COAT. TOUCH UP ALL SUCTION SPOTS OR HOT SPOTS AFTER APPLICATION OF FIRST COAT AND BEFORE APPLYING SECOND COAT. TO PRODUCE AN EVEN RESULT IN THE FINISH COAT. DRY ALL COATS THOROUGHLY BEFORE APPLYING SUCCESSIVE COATS. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR RE-COAT TIME.
5. PUTTY ALL NAIL HOLES, COUNTERSUNK SCREWS, BOLTS, CRACKS, ETC. BEFORE APPLYING FINISH
6. SAND ALL WOOD SURFACES SMOOTH AND EVEN BEFORE APPLYING FINISH.
7. BEFORE STARTING THE FINISH WORK, REMOVE HARDWARE, ACCESSORIES, PLATES, LIGHTING FIXTURES, AND SIMILAR ITEMS, OR REMOVE A SIMPLE PROTECTION FOR SUCH ITEMS.
8. MAKE FINISH WORK UNIFORM AND SMOOTH FREE OF BURLS, SIPS, DEFECTIVE BRUSHING AND CLOGGINGS. MAKE EDGES OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN WITHOUT OVERLAPPING.
9. GC SHALL LEAVE WITH THE HOMEOWNER A MINIMUM OF (1) GALLON OF EACH WALL PAINT USED ON THE PROJECT.

HARDWARE

1. COORDINATE ALL HARDWARE TO BE USED WITH ARCHITECTURAL SPECIFICATIONS AND OWNER PRIOR TO ORDERING. PROVIDE CUT SHEETS AND SAMPLES OF ALL ARCHITECTURAL HARDWARE FOR HOMEOWNER APPROVAL PRIOR TO ORDERING.
2. ALL DOOR AND DRAWER HARDWARE (HINGES, STOPS, LATCHES, ETC.) MUST BE HEAVY DUTY COMPONENTS (108L LOAD MINIMUM)

ROOFING AND WATERPROOFING

1. GC TO PROVIDE ROOFING IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
2. GC TO INSTALL AND WATER SHELD AS FOLLOWS:
- EAVES: 2" WIDTH AT ALL RUNNING RAVE EAVES
 - VALLEYS: 4" WIDTH AT ALL OTHER EAVES
 - VALLEYS: 4" WIDTH CENTERED ON VALLEY
 - ALL PITCHES BELOW 4:12
3. GC TO PROVIDE RIDGE VENTING FOR ALL NEW ROOFING TO BE INSTALLED. GC TO ASSURE THAT ALL VENTING IS CONTINUOUS FROM EAVE TO RIDGE WHERE POSSIBLE USING STANDOFFS OR OTHER REQUIRED MEANS
5. GC TO PROVIDE ALL REQUIRED METAL TRIMS, FLASHINGS, AND OTHER MATERIALS REQUIRED TO PROVIDE A WATERTIGHT CONDITION.
6. GC TO PROVIDE TYVEK HOUSE WRAP OR EQUAL AIR FILTRATION BARRIERS AT ALL EXTERIOR WALLS, TYP.
7. GC TO PROVIDE WATERPROOFING MEMBRANE BARRIERS AT ALL DOOR AND WINDOW OPENINGS.
8. GC TO PROVIDE EXTERIOR WATERPROOFING MEMBRANE SYSTEM AT ALL SUB-GRADE BASEMENT WALLS WITH HABITABLE SPACE BEYOND

MASONRY

1. MASONRY AND MASONRY CONSTRUCTION SHALL COMPLY WITH SPECIFICATIONS AND CODES AS FOLLOWS:
- A. ASTM C 62 STANDARD SPECIFICATION FOR BUILDING BRICK (SOLID MASONRY UNITS MADE FROM CLAY OR SHALE)
 - B. ASTM C 67 STANDARD TEST METHODS FOR SAMPLING AND TESTING BRICK AND STRUCTURAL CLAY TILE
 - C. ASTM C 216 STANDARD SPECIFICATION FOR FACING BRICK (SOLID MASONRY UNITS MADE FROM CLAY OR SHALE)
 - D. ASTM C 270 STANDARD SPECIFICATION FOR MORTAR FOR UNIT MASONRY
 - E. ASTM C 476 STANDARD SPECIFICATION FOR GROUT FOR MASONRY
 - F. ASTM D 1506 STANDARD SPECIFICATION FOR FLEXIBLE CELLULAR MATERIALS (SPONGE OR EXPANDED RUBBER)
 - G. TMS 602/ASCI 530.1/ASCE 6 SPECIFICATIONS FOR MASONRY STRUCTURES
2. GENERAL: PROVIDE SHAPES INDICATED AND AS FOLLOWS:
- A. FOR ENDS OF SILLS AND CAPS AND FOR SIMILAR APPLICATIONS THAT WOULD OTHERWISE EXPOSE UNFINISHED BRICK SURFACES, PROVIDE UNITS WITHOUT CORERS OR FROGS AND WITH EXPOSED SURFACES FINISHED.
 - B. PROVIDE SPECIAL SHAPES FOR APPLICATIONS WHERE STRETCHER UNITS CANNOT ACCOMMODATE SPECIAL CONDITIONS, INCLUDING THOSE AT CORNERS, MOVEMENT JOINTS, BOND BEAMS, SASHES, SHELF ANGLES AND UNTELS. PROVIDE SPECIAL SHAPES FOR APPLICATIONS WHERE SHAPES PRODUCED BY SAWING WOULD RESULT IN SAWED SURFACES BEING EXPOSED TO VIEW
3. ALL FACING BRICK SPECIFIED AND SHOWN ON DRAWINGS SHALL BE AS MANUFACTURED BY THE GLEN-GERRY CORPORATION.
- A. FACING BRICK: ASTM C 216, GRADE SW, TYPE 1-FBS
 - SIZE (ACTUAL DIMENSIONS LISTED): STANDARD SIZE: 3-5/8" (92.1 MM) WIDE, 2-1/4" (57.2 MM) HIGH, 8" (203.2 MM) LONG
4. MORTAR
- A. MORTAR SHALL CONFORM TO ASTM C 270 STANDARD SPECIFICATION FOR MORTAR FOR UNIT MASONRY UNDER THE GUIDELINES PROVIDED IN BIA TECHNICAL NOTES #6 SERIES.
 - TYPE: N
5. GROUT
- A. MORTAR SHALL CONFORM TO ASTM C 476 STANDARD SPECIFICATION FOR GROUT FOR MASONRY.
 - B. USE GROUT OF TYPE INDICATED OR, IF NOT OTHERWISE INDICATED, OF TYPE FINE THAT WILL COMPLY WITH TMS 602/ASCI 530.1/ASCE 6 REQUIREMENTS.

THE BEN

160-164 N 2ND STREET | PHILADELPHIA, PA 19106

ARCHITECTS LLC

MORRISSEY DESIGN LLC

NO. RA 405135

© 2022 M ARCHITECTS

DATE: 04-29-22

ISSUE: PERMIT SET

PROJECT NOTES

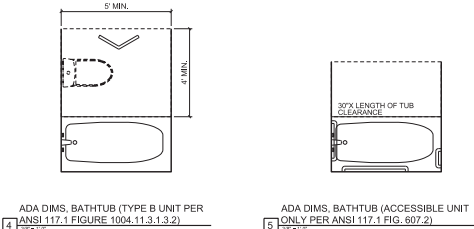
SCALE: AS NOTED

CS-2

ACCESSIBLE MEANS OF EGRESS TO COMPLY WITH SECTION 1007 OF THE IBC 2018

- 1007 ACCESSIBLE MEANS OF EGRESS**
1007.1 Accessible means of egress required.
1007.2 Continuity and components,
1007.3 Stairways,
1007.4 Elevators,
1007.5 Platform lifts,
1007.6 Areas of refuge.
1007.7 Exterior area for assisted rescue,
1007.8 Two-way communication,
1007.9 Signage,
1007.10 Directional signage,
1007.11 Instructions.
1007.1 Accessible means of egress required.
1007.2 Continuity and components,
1007.3 Stairways,
1007.4 Elevators,
1007.5 Platform lifts,
1007.6 Areas of refuge.
1007.7 Exterior area for assisted rescue,
1007.8 Two-way communication,
1007.9 Signage,
1007.10 Directional signage,
1007.11 Instructions.

3 ACCESSIBLE UNIT BATHROOM



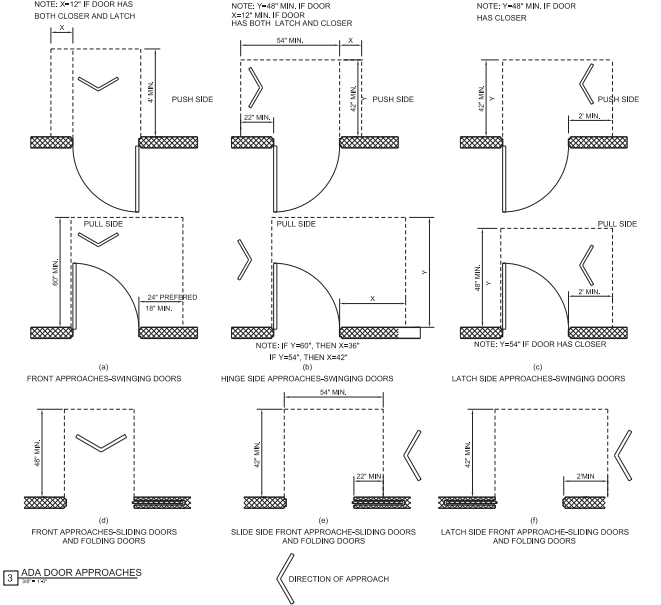
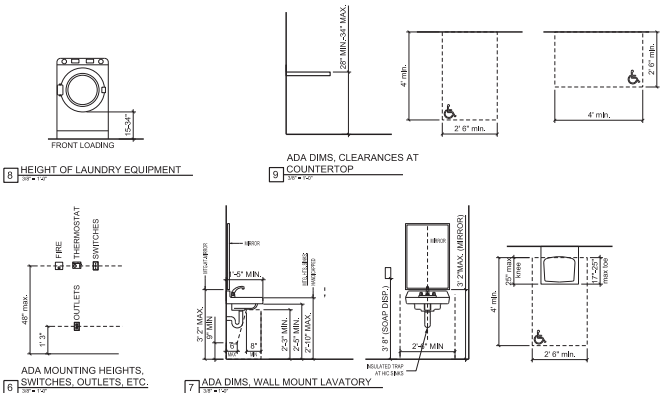
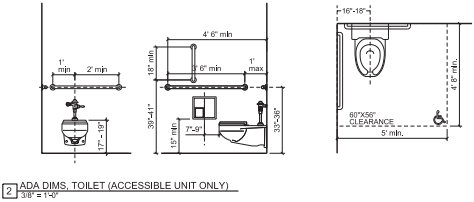
ADA CODE REQUIREMENTS FOR R-2 OCCUPANCIES:

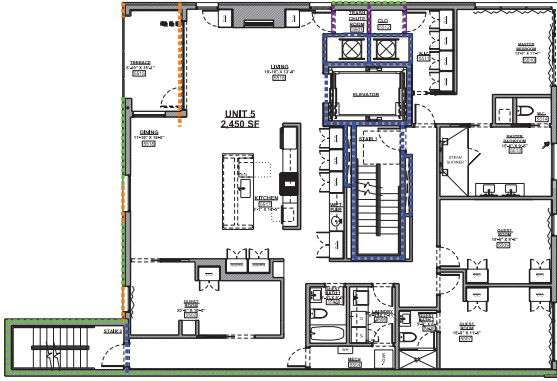
SECTION 1107.6.2.2
IN GROUP R-2 OCCUPANCIES, OTHER THAN APARTMENT HOUSES, MONASTERIES AND CONVENTS, ACCESSIBLE UNITS AND TYPE B UNITS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 1107.6.2.2.1, AND 1107.6.2.2.2

SECTION 1107.6.2.2.1 ACCESSIBLE UNITS
ACCESSIBLE DWELLING UNITS AND SLEEPING UNITS SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 1107.6.1.1

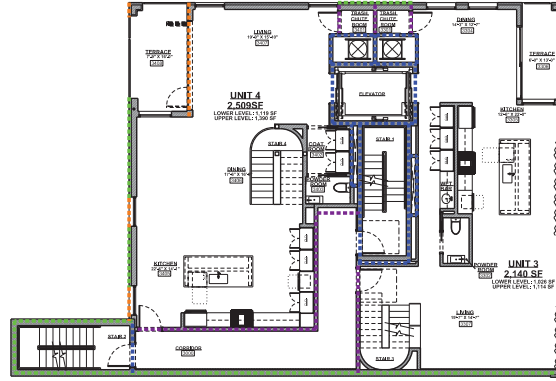
TABLE 1107.6.1.1
UNITS 26-50 = 2 REQUIRED ACCESSIBLE UNIT WITHOUT ROLL-IN SHOWER

SECTION 1107.6.2.2.2 TYPE B UNITS
WHERE THERE ARE FOUR OR MORE DWELLING UNITS OR SLEEPING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE IN A SINGLE STRUCTURE, EVERY DWELLING UNIT AND EVERY SLEEPING UNIT INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE A TYPE B UNIT

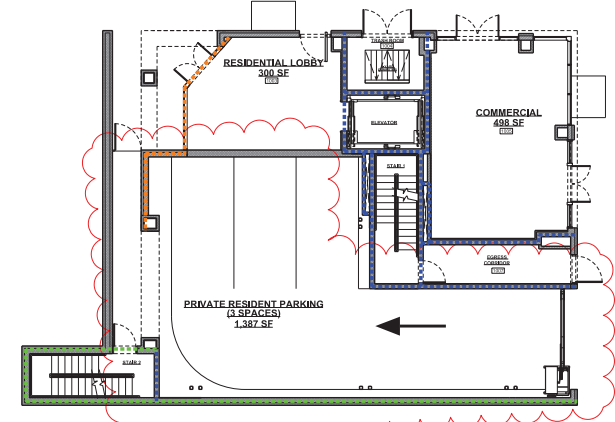




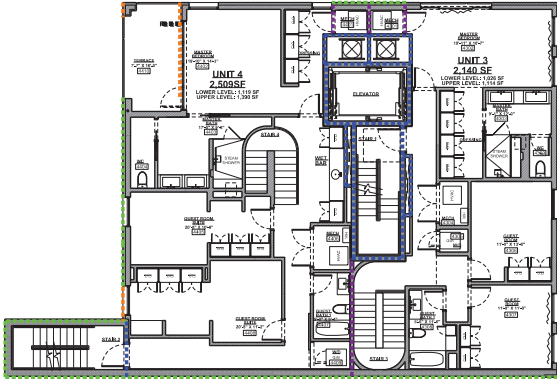
6/CS-4 FIFTH FLOOR FIRE-RATED WALLS PLAN
1/8" = 1'-0"



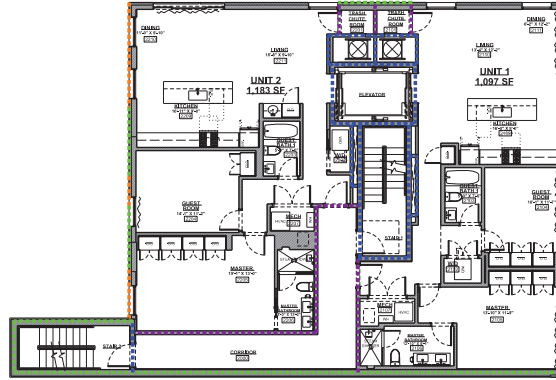
4/CS-4 THIRD FLOOR FIRE-RATED WALLS PLAN
1/8" = 1'-0"



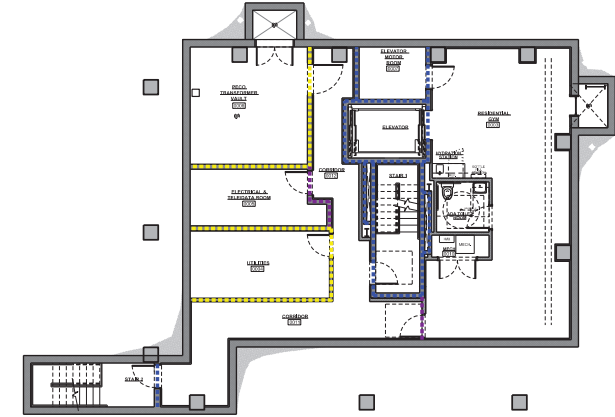
2/CS-4 FIRST FLOOR FIRE-RATED WALLS PLAN
1/8" = 1'-0"



5/CS-4 FOURTH FLOOR FIRE-RATED WALLS PLAN
1/8" = 1'-0"

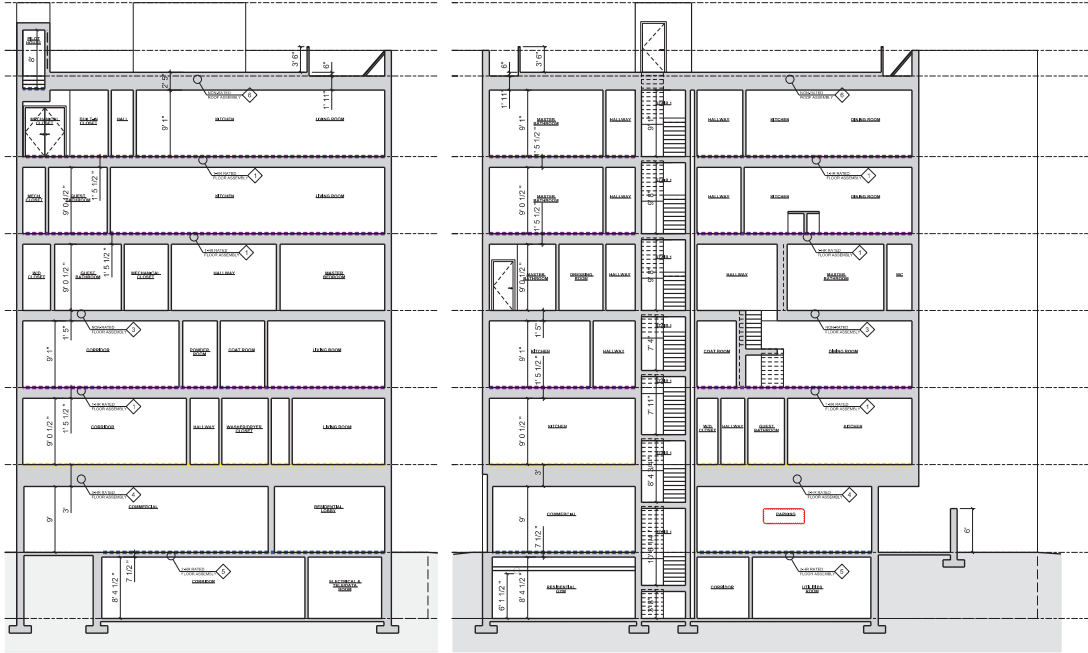


3/CS-4 SECOND FLOOR FIRE-RATED WALLS PLAN
1/8" = 1'-0"



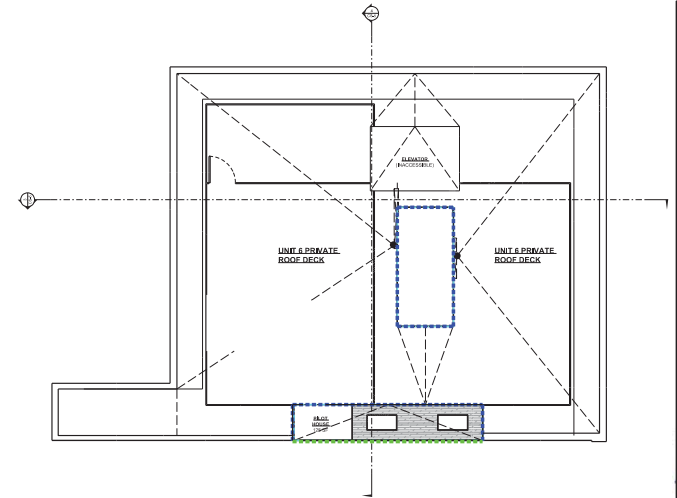
1/CS-4 CELLAR FIRE-RATED WALLS PLAN
1/8" = 1'-0"

PLAN LEGEND:			
-----	24-HR RATED	SHAFT WALL (STC-64)	
-----	1-HR RATED	INTERIOR PARTITION (STC 50)	
-----	24-HR RATED	FIRE RATED PARTITION	
-----	1-HR RATED	EXTERIOR NON-LOAD BEARING WALL	
-----	24-HR RATED	LOAD BEARING WALL	

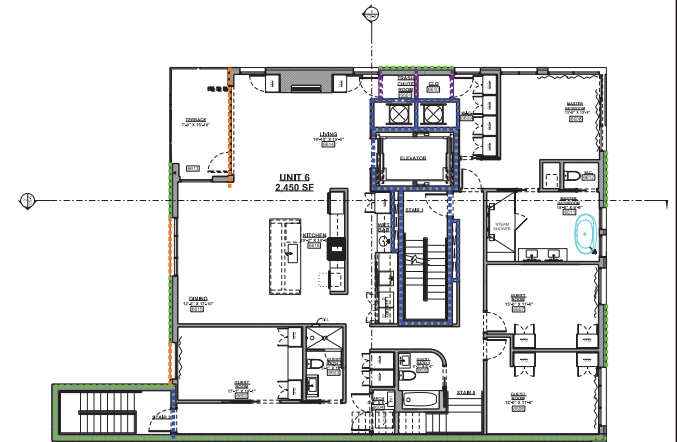


4/CS-5 FIRE-RATED FLOORS SECTION B
1/8" = 1'-0"

3/CS-5 FIRE-RATED FLOORS SECTION A
1/8" = 1'-0"



2/CS-5 ROOF FIRE-RATED WALLS PLAN
1/8" = 1'-0"



1/CS-5 SIXTH FLOOR FIRE-RATED WALLS PLAN
1/8" = 1'-0"

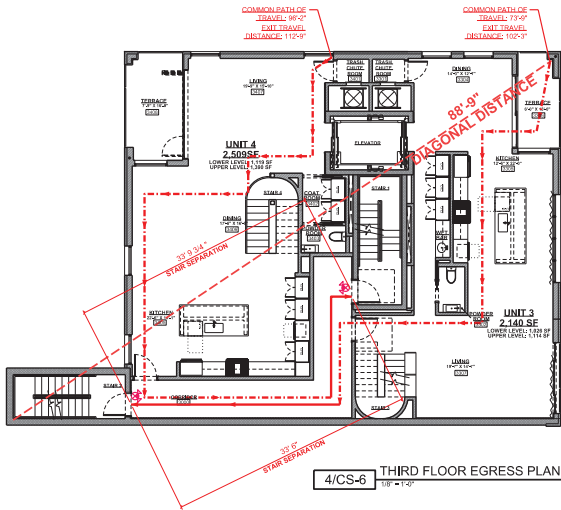
SECTION LEGEND:	
24HR RATED CEILING/FLOOR ASSEMBLY	14HR RATED CEILING/FLOOR ASSEMBLY (STC 50)
14HR RATED CEILING/FLOOR ASSEMBLY (STC 50)	34HR RATED CEILING/FLOOR ASSEMBLY

PLAN LEGEND:	
24HR RATED SHAF-T WALL (STC-54)	14HR RATED INTERIOR PARTITION (STC 50)
34HR RATED FIRE RATED PARTITION	14HR RATED EXTERIOR NON-LOAD BEARING WALL
24HR RATED LOAD BEARING WALL	

MARCHITECTS LLC
MORRISSEY DESIGN LLC
4500 MAIN STREET | PHILADELPHIA, PA 19107 | 215.644.2791
www.morrisseydesign.com

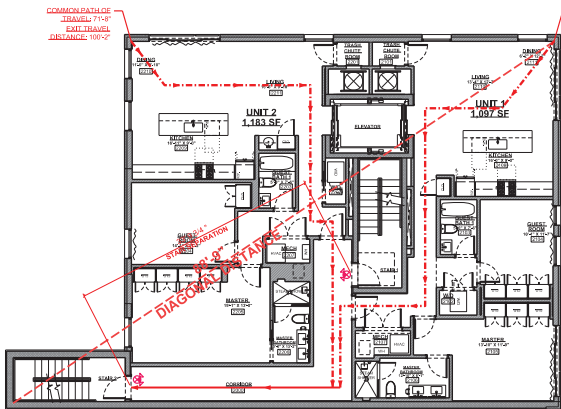
THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

ISSUE	DATE
PERMIT SET	05.09.22
PERMIT SET - REVISION 1	06.02.22
FIRE-RATED ASSEMBLIES	
SCALE: AS NOTED	
CS-5	



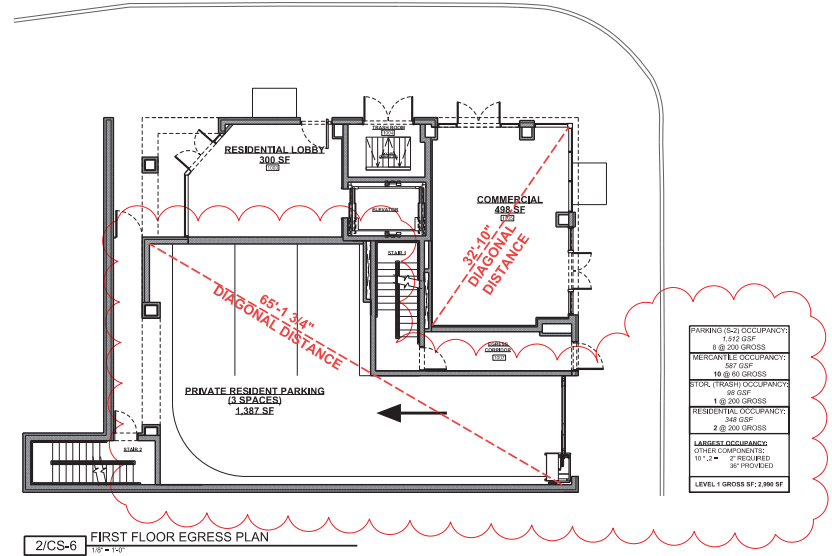
4/CS-6 THIRD FLOOR EGRESS PLAN
1/8" = 1'-0"

STOR. (TRASH) OCCUPANCY:	45 GSF
1 @ 200 GROSS	
STOR. (TRASH) OCCUPANCY:	45 GSF
1 @ 200 GROSS	
RES. (UNIT 4) OCCUPANCY:	1,214 GSF
7 @ 200 GROSS	
RES. (UNIT 3) OCCUPANCY:	1,294 GSF
7 @ 200 GROSS	
LEVEL 3 REQUIRED EGRESS CAPACITY:	
RESIDENTIAL: 14	
STORAGE: 2	
TOTAL: 16	
STAIRS:	14'-0" x 4'-0" REQUIRED
	30" PROVIDED
OTHER COMPONENTS:	16'-0" x 3'-0" REQUIRED
	30" PROVIDED
LEVEL 3 GROSS SF:	3,140 SF



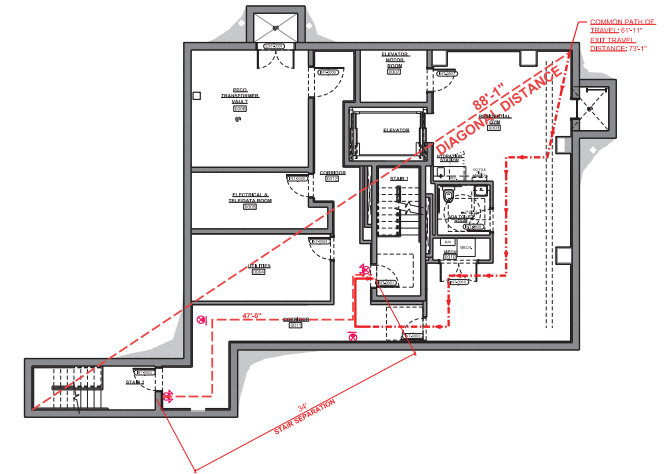
3/CS-6 SECOND FLOOR EGRESS PLAN
1/8" = 1'-0"

STOR. (TRASH) OCCUPANCY:	45 GSF
1 @ 200 GROSS	
STOR. (TRASH) OCCUPANCY:	45 GSF
1 @ 200 GROSS	
RES. (UNIT 2) OCCUPANCY:	1,214 GSF
7 @ 200 GROSS	
RES. (UNIT 1) OCCUPANCY:	1,294 GSF
7 @ 200 GROSS	
LEVEL 2 REQUIRED EGRESS CAPACITY:	
RESIDENTIAL: 14	
STORAGE: 2	
TOTAL: 16	
STAIRS:	14'-0" x 4'-0" REQUIRED
	30" PROVIDED
OTHER COMPONENTS:	16'-0" x 3'-0" REQUIRED
	30" PROVIDED
LEVEL 2 GROSS SF:	3,140 SF



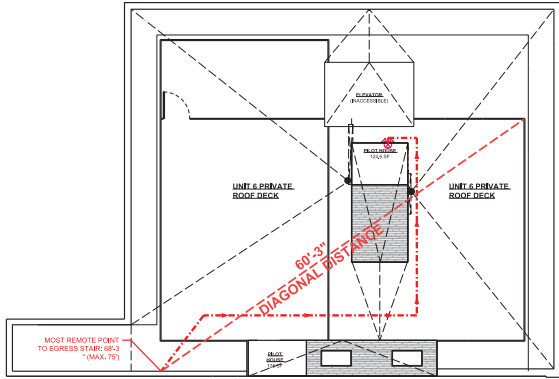
2/CS-6 FIRST FLOOR EGRESS PLAN
1/8" = 1'-0"

PARKING (S-L) OCCUPANCY:	1 @ 512 GSF
1 @ 200 GROSS	
MERCANTILE OCCUPANCY:	96 GSF
1 @ 40 GROSS	
STOR. (TRASH) OCCUPANCY:	96 GSF
1 @ 200 GROSS	
RESIDENTIAL OCCUPANCY:	348 GSF
2 @ 200 GROSS	
LARGEST OCCUPANCY:	
OTHER COMPONENTS:	17'-0" x 7'-0" REQUIRED
	30" PROVIDED
LEVEL 1 GROSS SF:	2,996 SF



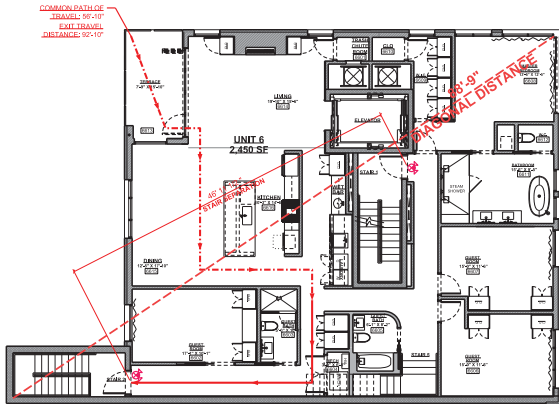
1/CS-6 CELLAR EGRESS PLAN
1/8" = 1'-0"

MECH. (ELEC) OCCUPANCY:	164 GSF
1 @ 350 GROSS	
MECH. (ELEC) OCCUPANCY:	163 GSF
1 @ 350 GROSS	
MECH. (ELEC) OCCUPANCY:	295 GSF
1 @ 300 GROSS	
EXERCISE OCCUPANCY:	1,000 GSF
21 @ 50 GROSS	
CELLAR REQUIRED EGRESS CAPACITY:	
EXERCISE: 21	
MECHANICAL: 3	
TOTAL: 24	
STAIRS:	24'-0" x 7'-0" REQUIRED
	30" PROVIDED
OTHER COMPONENTS:	24'-0" x 4'-0" REQUIRED
	30" PROVIDED
CELLAR GROSS SF:	2,996 SF



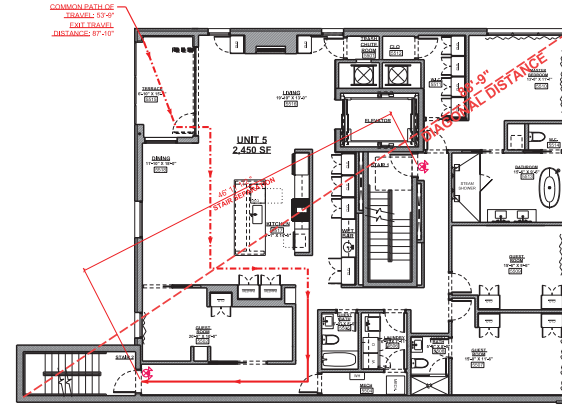
4/CS-7 ROOF EGRESS PLAN
1/8" = 1'-0"

RESIDENTIAL OCCUPANCY:	1,709 GSF
1 @ 300 GROSS	
ROOF DECK REQUIRED EGRESS CAPACITY:	15 @ 200 GROSS
RESIDENTIAL: 15	
TOTAL: 15	
STAIRS:	15'-0" x 4'-0" REQUIRED 30" PROVIDED
OTHER COMPONENTS:	15'-0" x 4'-0" REQUIRED 30" PROVIDED
ROOF DECK GROSS SF:	1,709 SF



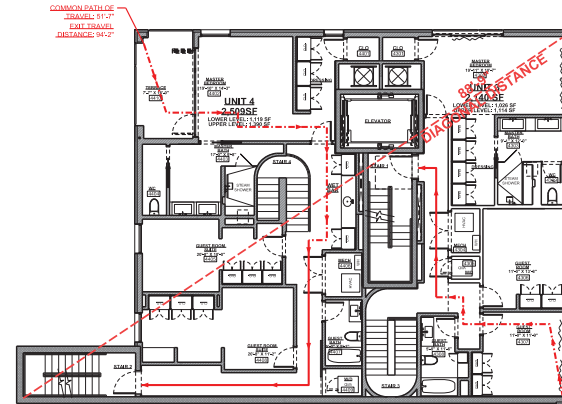
3/CS-7 SIXTH FLOOR EGRESS PLAN
1/8" = 1'-0"

STOR. (TRASH) OCCUPANCY:	48 GSF
1 @ 300 GROSS	
RES. (UNIT 6) OCCUPANCY:	2,450 GSF
15 @ 200 GROSS	
LEVEL 6 REQUIRED EGRESS CAPACITY:	15 @ 200 GROSS
RESIDENTIAL: 15	
TOTAL: 15	
STAIRS:	15'-0" x 4'-0" REQUIRED 30" PROVIDED
OTHER COMPONENTS:	15'-0" x 4'-0" REQUIRED 30" PROVIDED
LEVEL 6 GROSS SF:	3,143 SF



2/CS-7 FIFTH FLOOR EGRESS PLAN
1/8" = 1'-0"

STOR. (TRASH) OCCUPANCY:	48 GSF
1 @ 300 GROSS	
RES. (UNIT 5) OCCUPANCY:	2,450 GSF
15 @ 200 GROSS	
LEVEL 5 REQUIRED EGRESS CAPACITY:	15 @ 200 GROSS
RESIDENTIAL: 15	
TOTAL: 15	
STAIRS:	15'-0" x 4'-0" REQUIRED 30" PROVIDED
OTHER COMPONENTS:	15'-0" x 4'-0" REQUIRED 30" PROVIDED
LEVEL 5 GROSS SF:	3,143 SF



1/CS-7 FOURTH FLOOR EGRESS PLAN
1/8" = 1'-0"

RES. (UNIT 3) OCCUPANCY:	1,709 GSF
1 @ 300 GROSS	
RES. (UNIT 4) OCCUPANCY:	2,450 GSF
15 @ 200 GROSS	
LEVEL 4 REQUIRED EGRESS CAPACITY:	15 @ 200 GROSS
RESIDENTIAL: 14	
TOTAL: 14	
STAIRS:	14'-0" x 4'-0" REQUIRED 30" PROVIDED
OTHER COMPONENTS:	14'-0" x 4'-0" REQUIRED 30" PROVIDED
LEVEL 4 GROSS SF:	3,143 SF



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4000 MAIN STREET | PHILADELPHIA, PA 19107 | 215.644.3751
www.marchitectsllc.com
www.morrisseydesignllc.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 MARCHITECTS

DATE:	04/29/22
ISSUE:	
PERMIT SET:	
EGRESS PLANS:	

EGRESS PLANS

SCALE: AS NOTED

CS-7

THERMAL ENVELOPE INFORMATION	
AIR BARRIER METHOD	
Whole Building Test	
Materials Method	
Assemblies Method	
ADDITIONAL INSULATION & AIR BARRIER DETAILS	
Additional insulation and air barrier details not found on the Longitudinal section below are at the locations below:	
Sheet #	Assembly Detail
A-402	Roofs/Ceilings
A-400 & A-401	Above Grade Walls (incl. Windows)
A-402	Floors
—	Slab-on-Grade with Thermal break & depth
A-400	Basement Walls

<input checked="checked" type="checkbox"/>	<p>Does the building contain entrances that open to conditioned spaces ≥ 3000 SF?</p> <p>Yes. Vestibules, revolving doors, or air curtains shown on Sheet(s) #</p>
<input type="checkbox"/>	<p>No. No Requirement.</p>

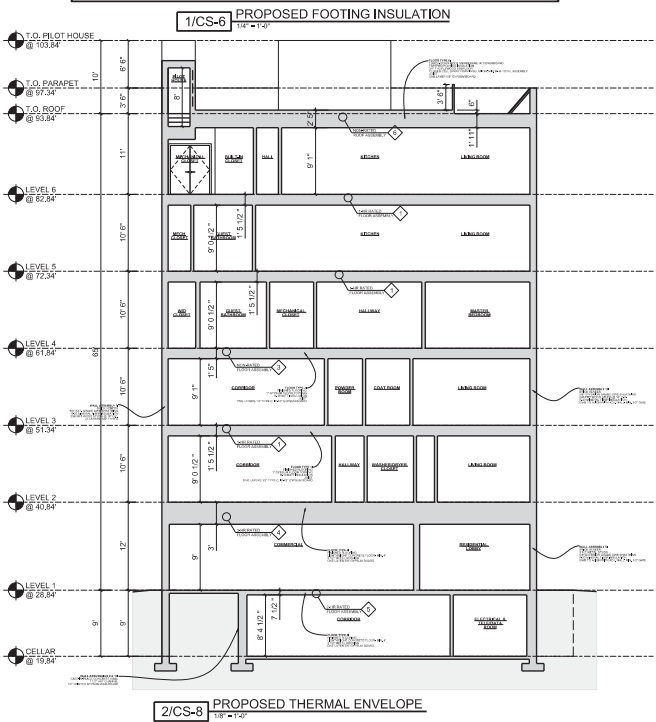
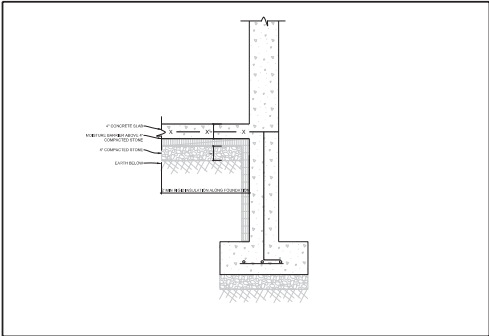
Minimum skylight area. Area of toplight daylight zones is 50% or greater of the floor area in spaced meeting ALL of the following criteria:

Enclosed area $\geq 2,500$ SF

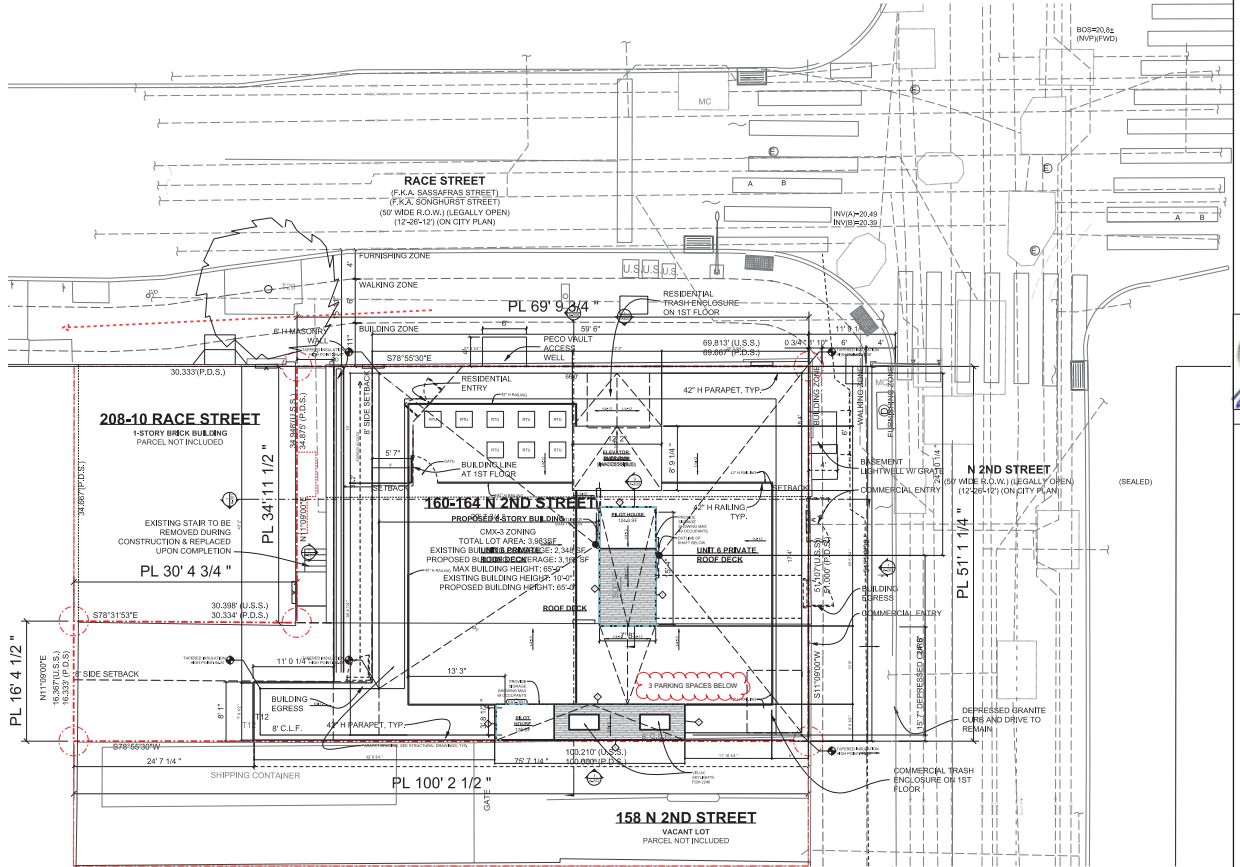
75% of the ceiling area has a ceiling height $>15'$

The space is one of the following: office, lobby, atrium, concourse, corridor, storage space, gymnasium/exercise center, convention center, automotive service area, space where manufacturing occurs, nonrefrigerated warehouse, retail store, distribution/sorting area, transportation depot or workshop.

Toplight daylight zones and area calculations shown on Sheet #



			
ARCHITECTS LLC 450 VAN STREET PHILADELPHIA, PA 19106 PHILADELPHIA, PA 19106 www.morrisseydesignllc.com		MORRISSEY DESIGN LLC 450 VAN STREET PHILADELPHIA, PA 19106 PHILADELPHIA, PA 19106 www.morrisseydesign.com	
THE BEN			
160-164 N 2ND STREET PHILADELPHIA, PA 19106			
© 2022 M ARCHITECTS			
ISSUED: PERMIT SET	DATE: 04/29/22	SCALE: AS NOTED	
ENERGY COMPLIANCE			
CS-8			



1/A-001 PROPOSED ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

PENNSYLVANIA ONE CALL SYSTEM, INC.



BEFORE YOU DIG ANYWHERE IN
PENNSYLVANIA CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
AS LAW REQUIRES. THESE MARKING SHOW
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BURY OR CONDUIT.

SCALE: AS NOTED



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4500 MAIN STREET | PHILADELPHIA, PA 19107 | 215.644.3751
www.morrisseydesign.com



NO. RA 405135

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

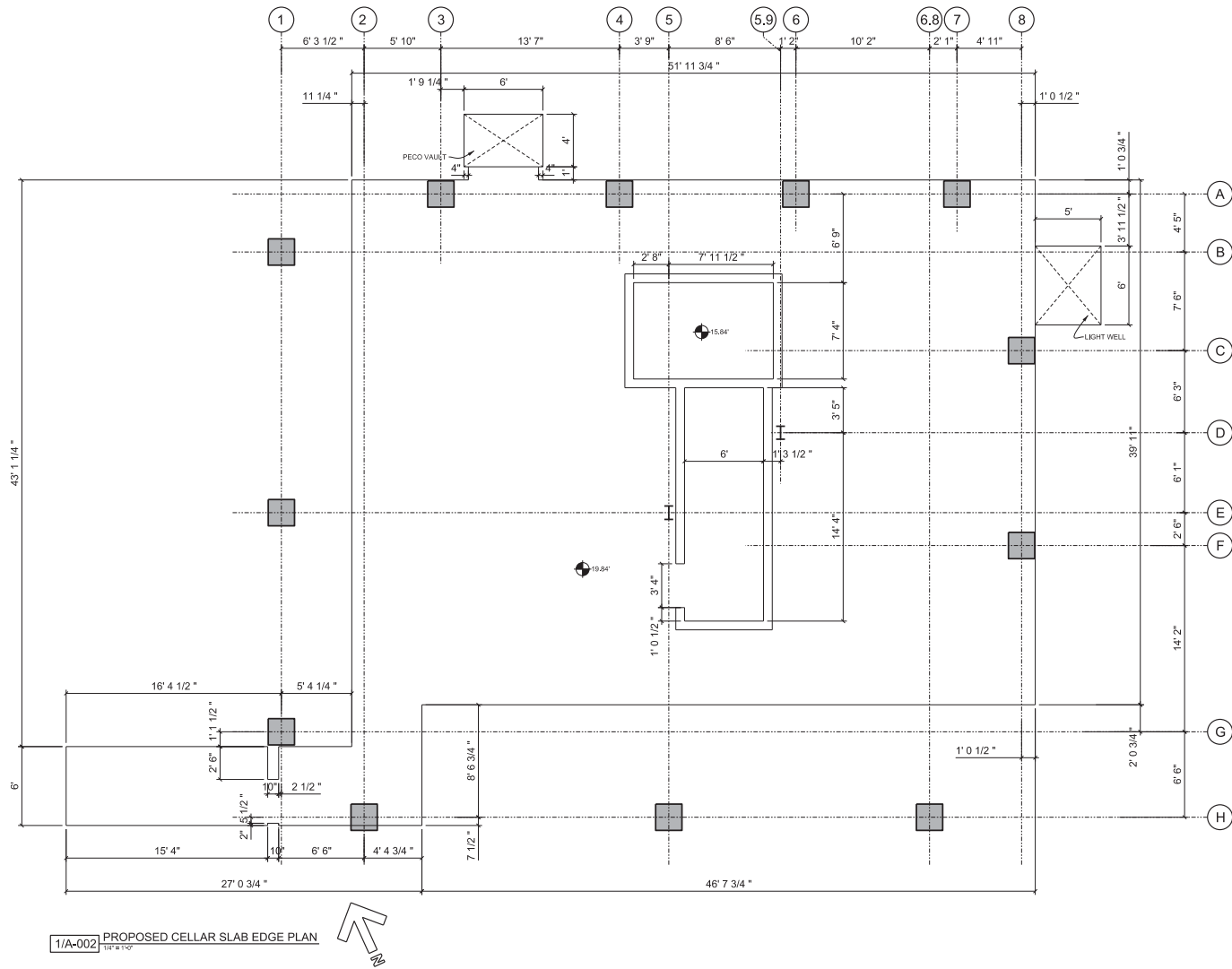
© 2022 MARCHITECTS

DATE:	ISSUE:
04/29/22	PERMIT SET
06/02/22	PERMIT SET - REVISION 1

PROPOSED
SITE PLAN

SCALE: AS NOTED

A-001



MARCHITECTS LLC
PHILADELPHIA, PA 19106
439 N. 2ND STREET | PHILADELPHIA, PA 19106 | 215.484.3791
www.morrisseydesignllc.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

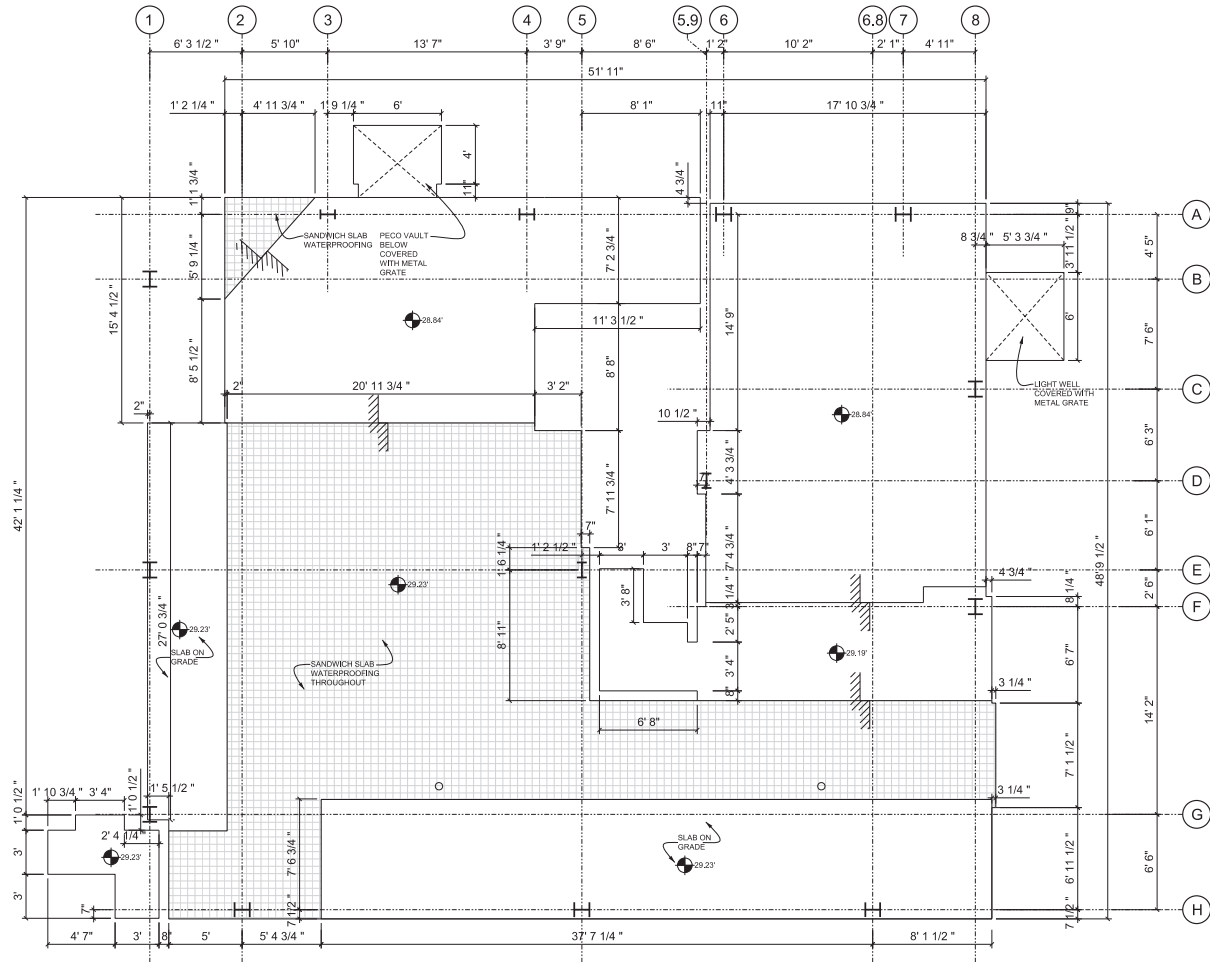
ISSUE	DATE
PERMIT SET	04/29/22

PROPOSED
CELLAR
SLAB EDGE
PLAN

SCALE: AS NOTED

A-002

1/A-003 PROPOSED SLAB EDGE PLAN - LEVEL 1
1/8" = 1'-0"



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4051 MAIN STREET | PHILADELPHIA, PA 19106
www.morrisseydesign.com



NO. RA 405135

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

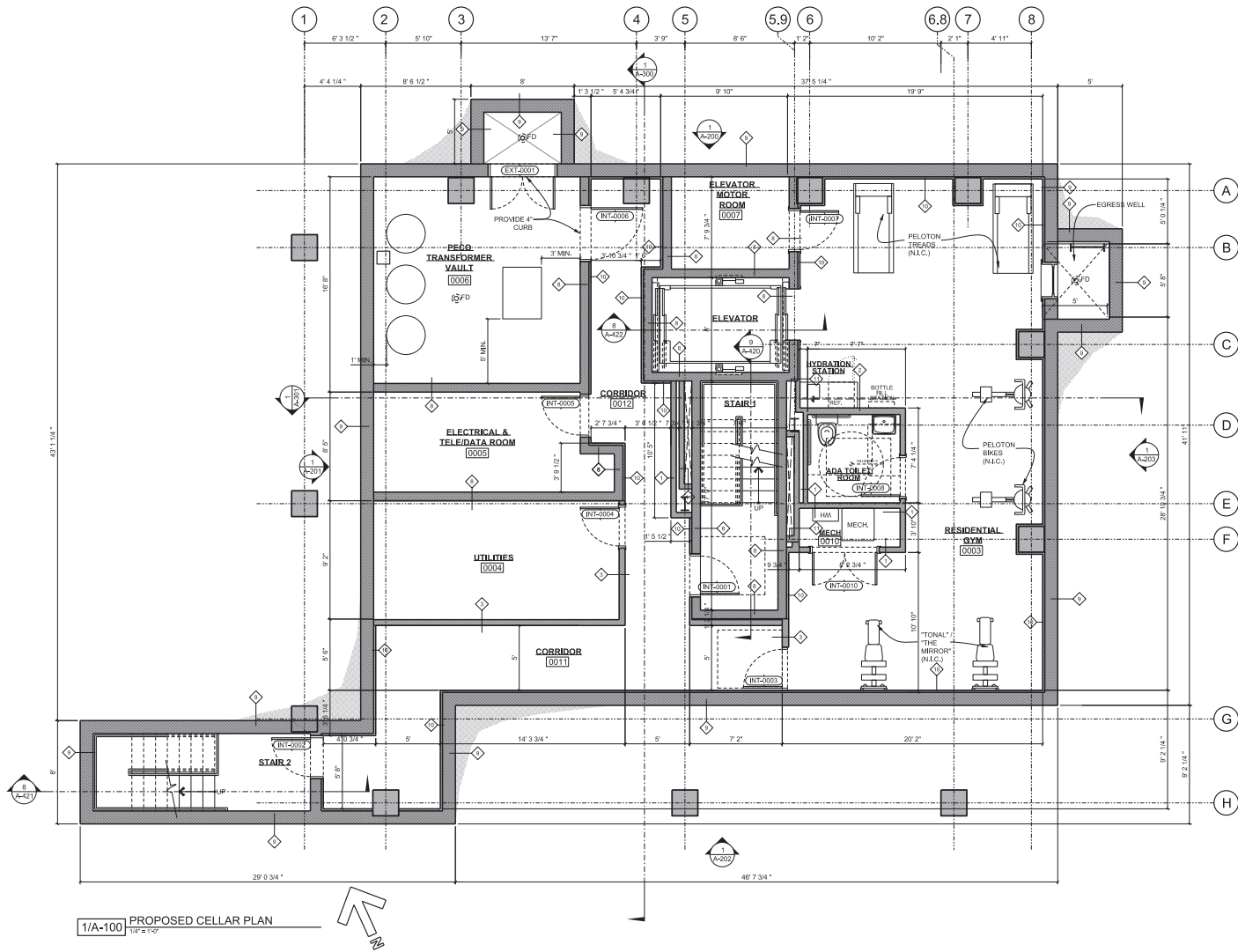
© 2022 MARCHITECTS

ISSUE	DATE
PERMIT SET	04.29.22

PROPOSED
LEVEL 1
SLAB EDGE
PLAN

SCALE: AS NOTED

A-003



FLOOR PLAN LEGEND:

- EXISTING WALLS
- NEW WOOD FRAMED WALLS
- NEW MASONRY WALLS
- NEW INTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- NEW EXTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- WALL TYPE
- WINDOW TYPE



MARCHITECTS LLC
160-164 N 2ND STREET | PHILADELPHIA, PA 19106
480 N 3RD STREET | PHILADELPHIA, PA 19107 | 215.644.3751
www.marchitects-llc.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

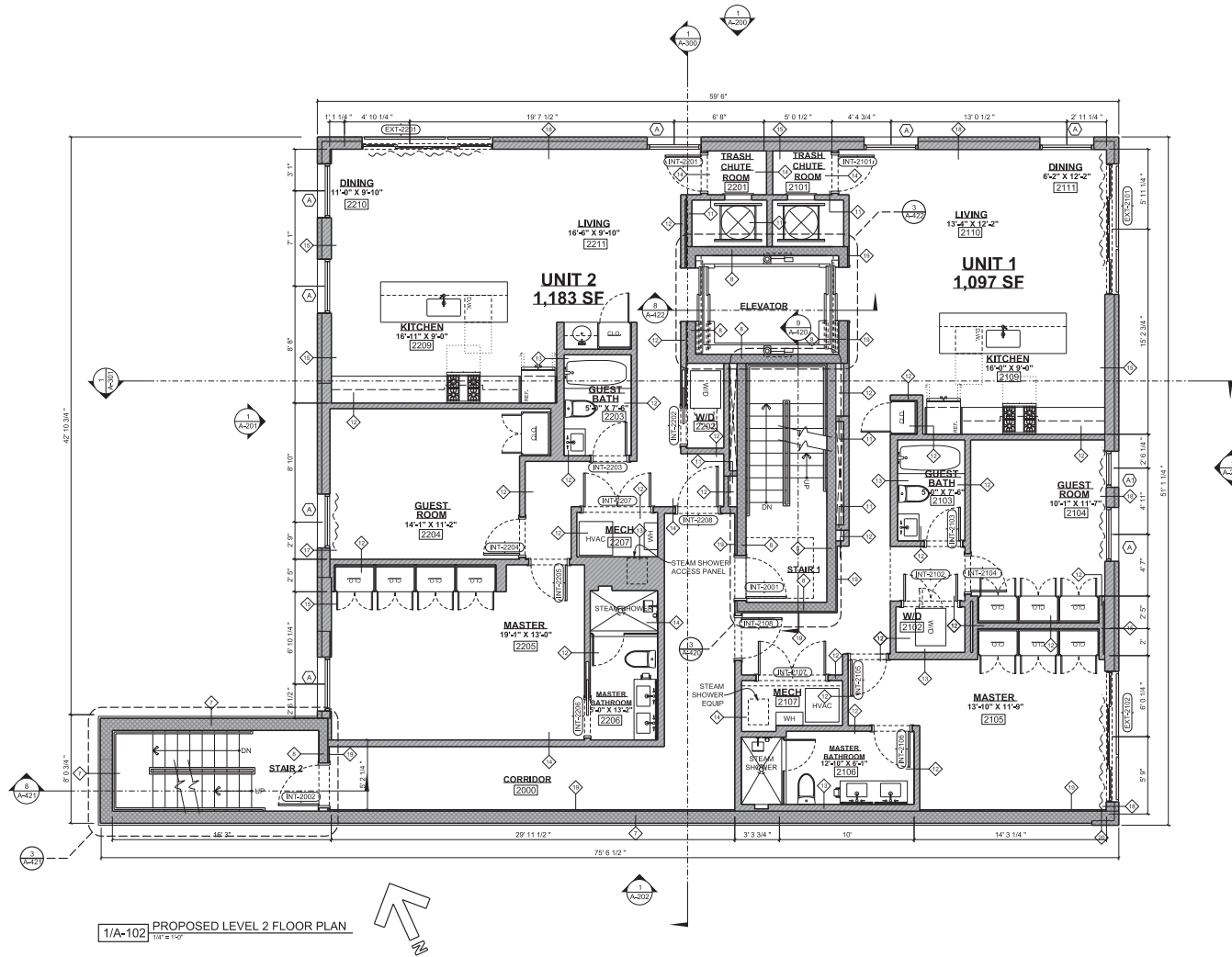
© 2022 MARCHITECTS

DATE:	05.29.22
ISSUE:	
PERMIT SET:	
PROPOSED CELLAR PLAN	

PROPOSED CELLAR PLAN

SCALE: AS NOTED

A-100



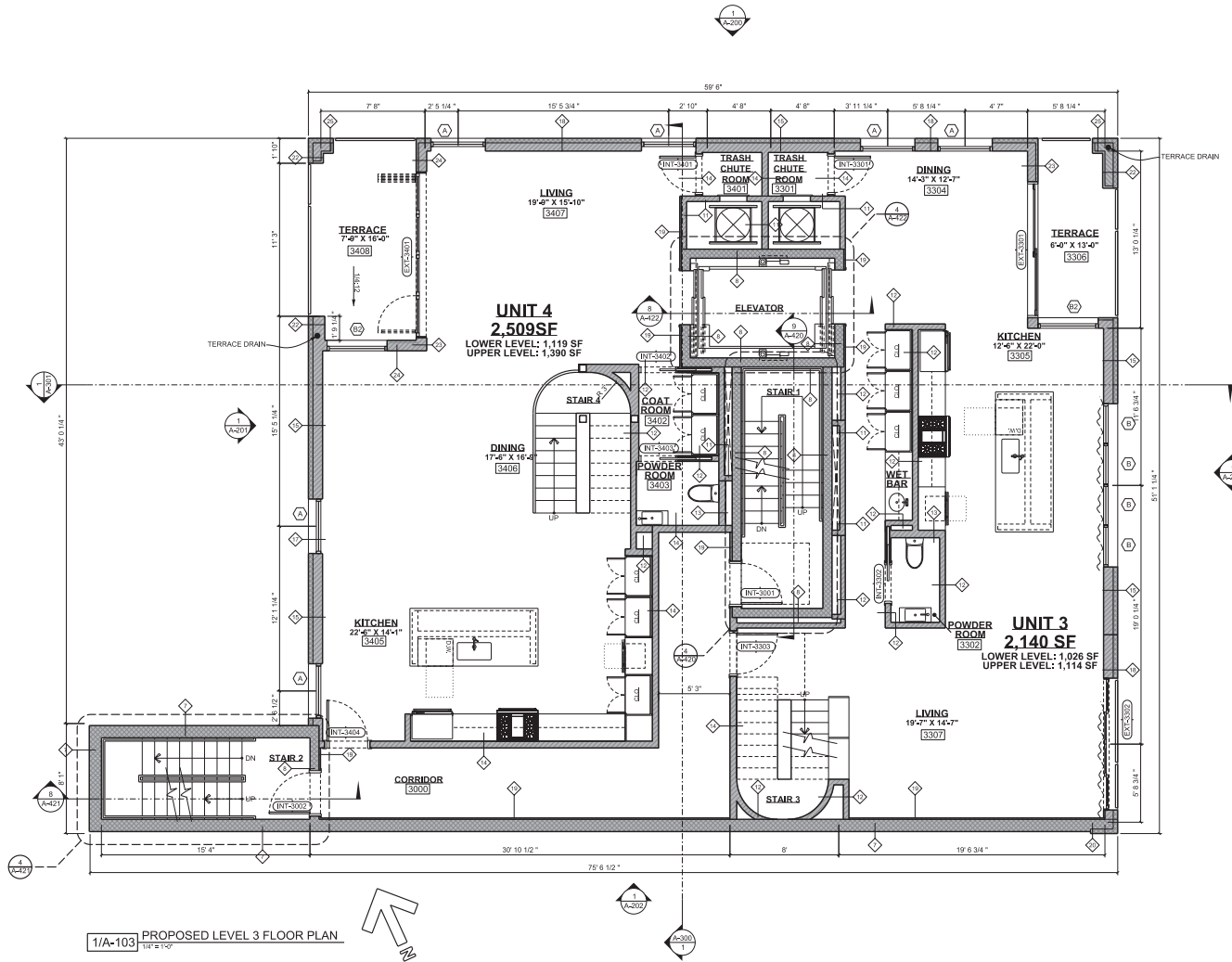
FLOOR PLAN LEGEND:

- EXISTING WALLS
- NEW WOOD FRAMED WALLS
- NEW MASONRY WALLS
- NEW INTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- NEW EXTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- WALL TYPE
- WINDOW TYPE

MARCHITECTS LLC
160-164 N 2ND STREET | PHILADELPHIA, PA 19106
NO. RA 405135

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

ISSUE	DATE
PERMIT SET	04/29/22
PROPOSED LEVEL 2 PLAN	
SCALE: AS NOTED	
A-102	



FLOOR PLAN LEGEND:

- EXISTING WALLS
- NEW WOOD FRAMED WALLS
- NEW MASONRY WALLS
- NEW INTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- NEW EXTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- WALL TYPE
- WINDOW TYPE



MARCHITECTS LLC
4500 MAIN STREET | PHILADELPHIA, PA 19106
www.marchitects-llc.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

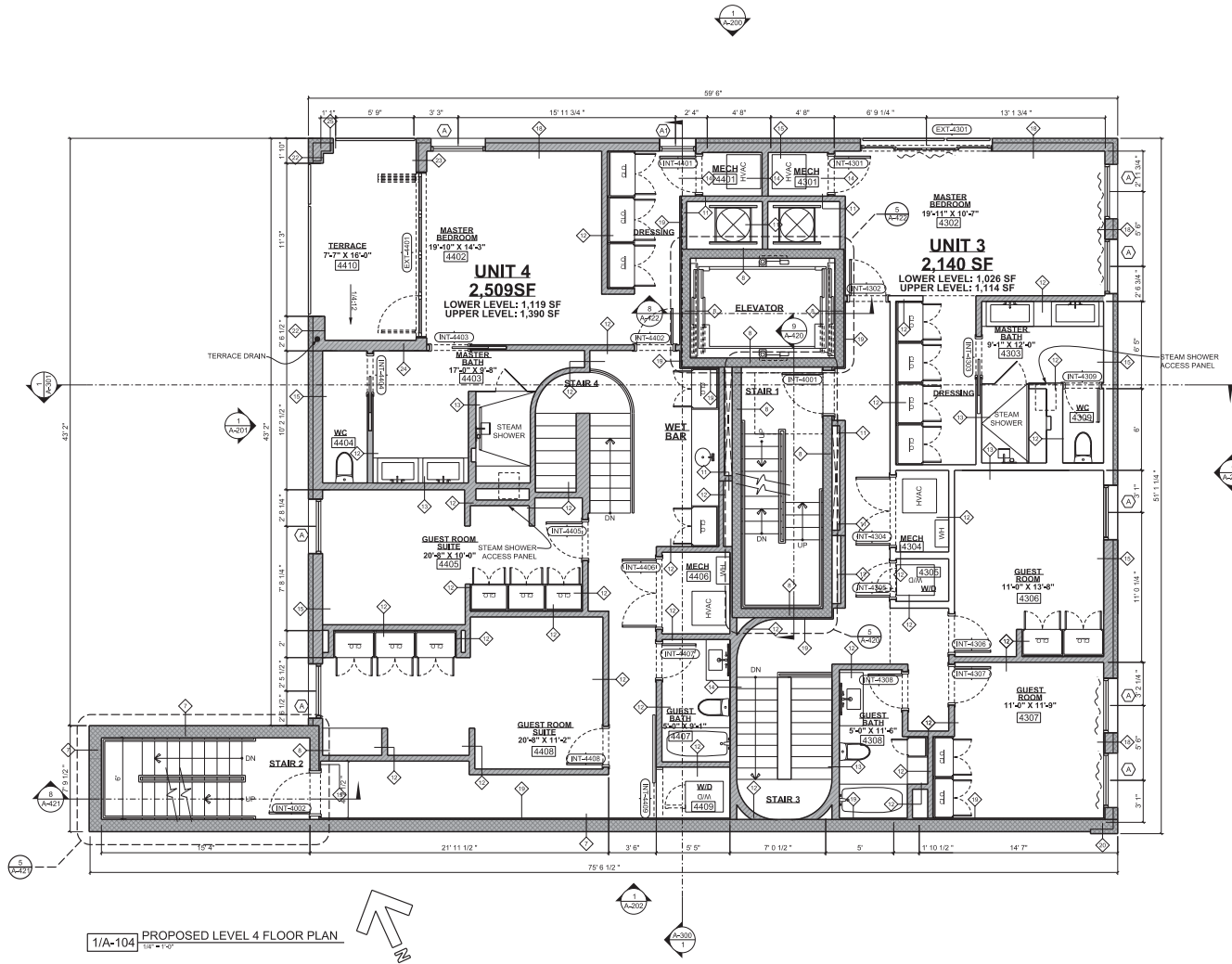
© 2022 MARCHITECTS

DATE:	04.29.22
ISSUE:	
PERMIT SET:	

PROPOSED LEVEL 3 PLAN

SCALE: AS NOTED

A-103



FLOOR PLAN LEGEND:

- EXISTING WALLS
- NEW WOOD FRAMED WALLS
- NEW MASONRY WALLS
- NEW INTERIOR DOOR REFER TO SHEET INT-400 FOR DOOR TYPES AND SCHEDULE
- NEW EXTERIOR DOOR REFER TO SHEET INT-400 FOR DOOR TYPES AND SCHEDULE
- WALL TYPE
- WINDOW TYPE



MARCHITECTS LLC
160-164 N 2ND STREET | PHILADELPHIA, PA 19106
www.marchitectsllc.com

MORRISSEY DESIGN LLC
160-164 N 2ND STREET | PHILADELPHIA, PA 19106
www.morrisseydesign.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

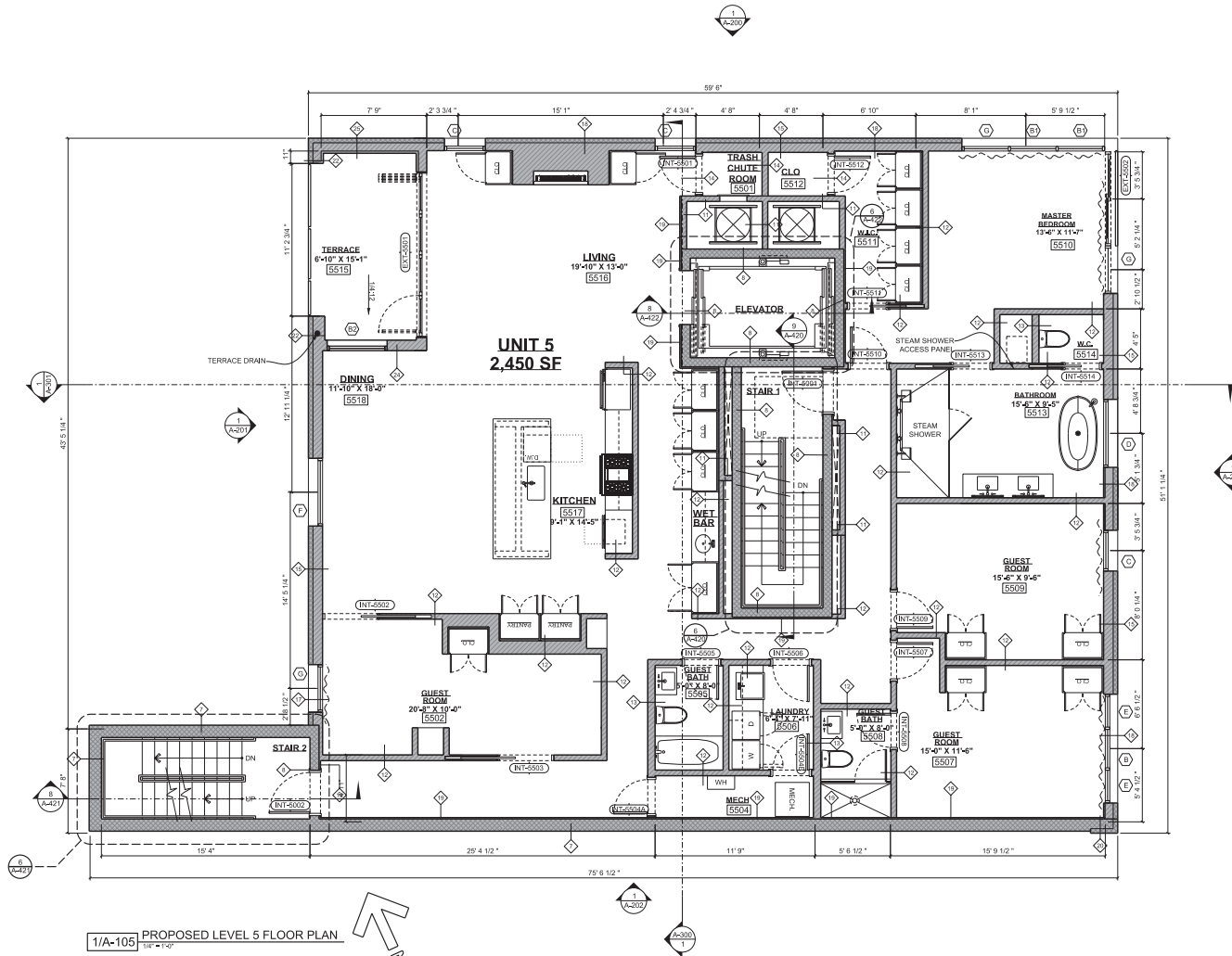
© 2022 MARCHITECTS

DATE:	04/29/22
ISSUE:	
PERMIT SET:	

PROPOSED
LEVEL 4
PLAN

SCALE: AS NOTED

A-104



FLOOR PLAN LEGEND:

- EXISTING WALLS
- NEW WOOD FRAMED WALLS
- NEW MASONRY WALLS
- NEW INTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- NEW EXTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- WALL TYPE
- WINDOW TYPE

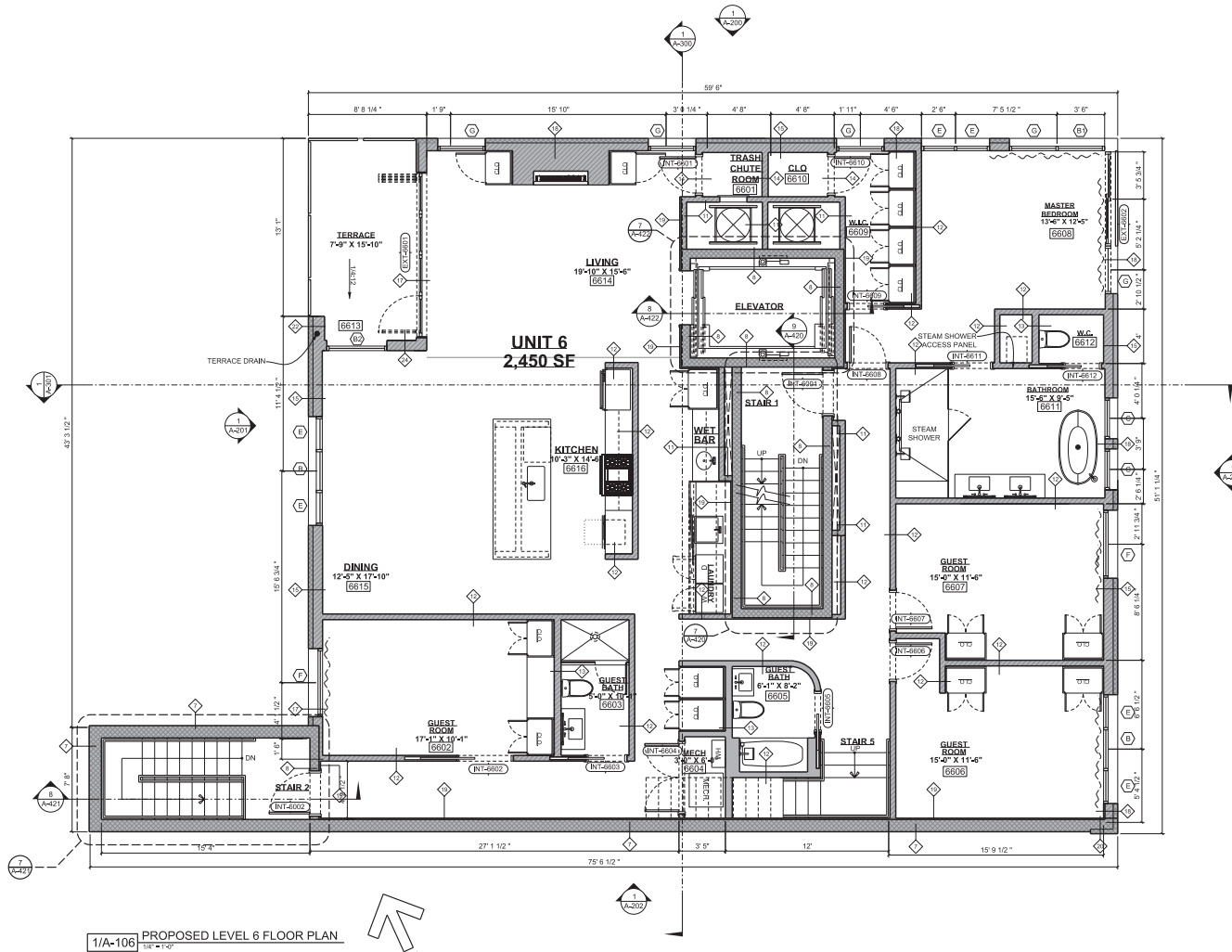
MARCHITECTS LLC
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

MORRISSEY DESIGN LLC
4300 MAIN STREET | PHILADELPHIA, PA 19127 | 215.643.3751

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 MARCHITECTS

DATE:	04.29.22
ISSUE:	
PERMIT SET	
PROPOSED LEVEL 5 PLAN	
SCALE: AS NOTED	
A-105	



FLOOR PLAN LEGEND:

- EXISTING WALLS
- NEW WOOD FRAMED WALLS
- NEW MASONRY WALLS
- NEW INTERIOR DOOR REFER TO SHEET INT-600 FOR DOOR TYPES AND SCHEDULE
- NEW EXTERIOR DOOR REFER TO SHEET INT-600 FOR DOOR TYPES AND SCHEDULE
- WALL TYPE
- WINDOW TYPE



MARCHITECTS LLC
400 N. 2ND STREET | PHILADELPHIA, PA 19106
www.marchitectsllc.com

MORRISSEY DESIGN LLC
400 N. 2ND STREET | PHILADELPHIA, PA 19106
www.morrisseydesign.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

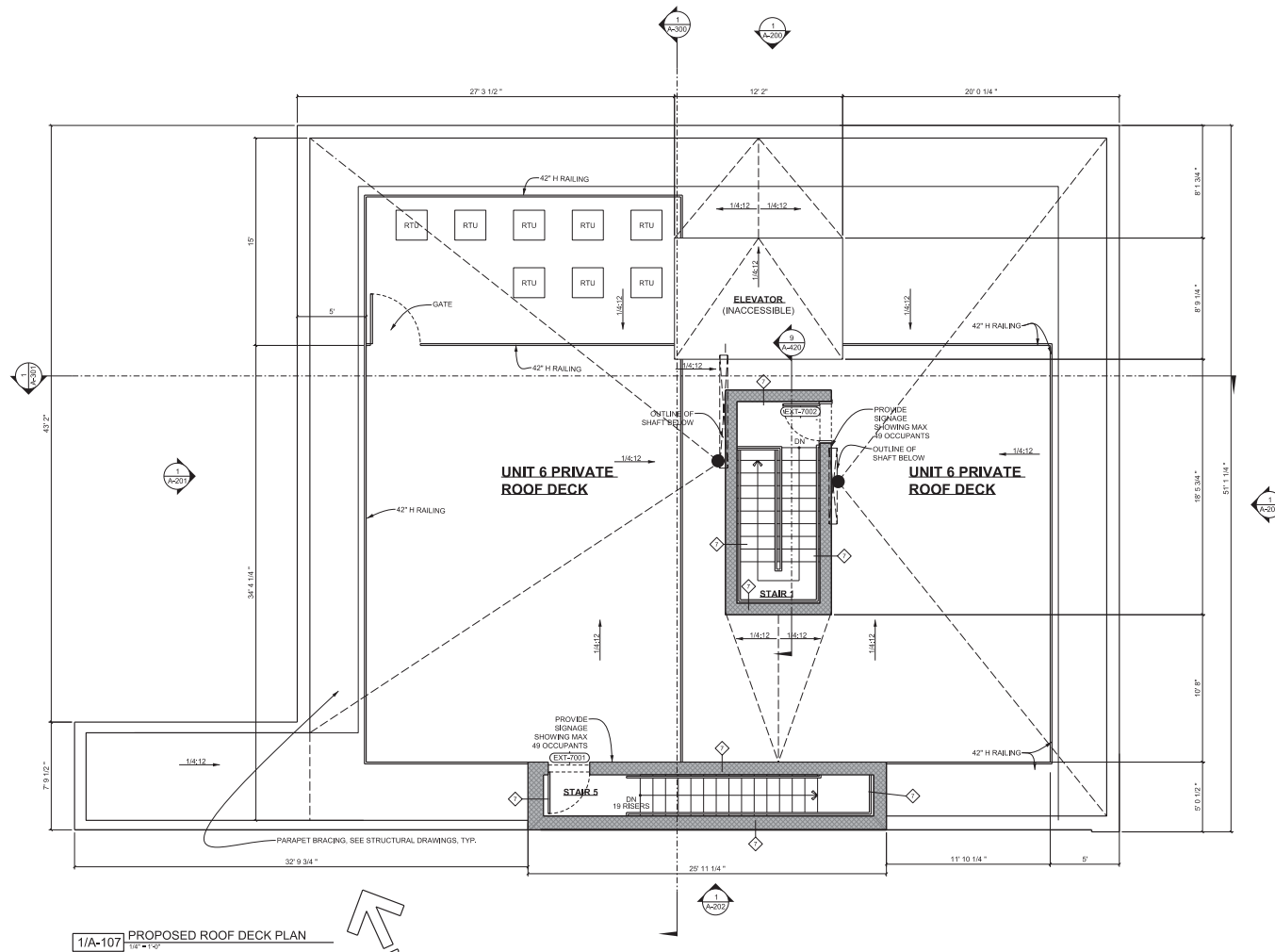
© 2022 MARCHITECTS

ISSUE	DATE
PERMIT SET	04/29/22

PROPOSED
LEVEL 6
PLAN

SCALE: AS NOTED

A-106



1/A-107 PROPOSED ROOF DECK PLAN
1/8\"/>

FLOOR PLAN LEGEND:

- EXISTING WALLS
- NEW WOOD FRAMED WALLS
- NEW MASONRY WALLS
- NEW INTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- NEW EXTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- WALL TYPE
- WINDOW TYPE

MARCHITECTS LLC
 4350 MAIN STREET | PHILADELPHIA, PA 19106
 215.484.3751
 www.marchitects-llc.com

MORRISSEY DESIGN LLC
 4350 MAIN STREET | PHILADELPHIA, PA 19106
 215.484.3751
 www.morrisseydesign.com

NO. RA 405135

THE BEN
 160-164 N 2ND STREET | PHILADELPHIA, PA 19106

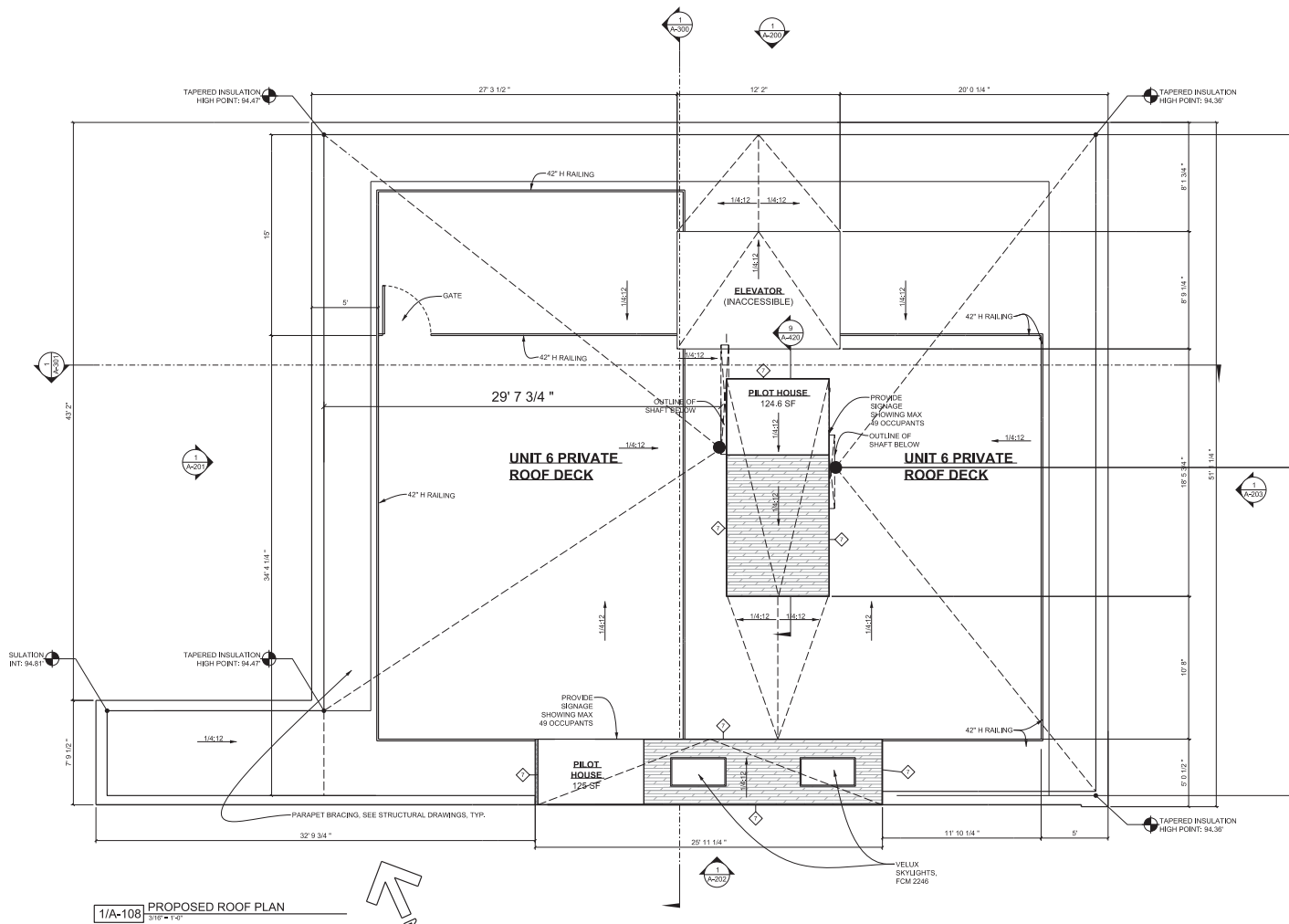
© 2022 MARCHITECTS

DATE:	04.29.22
ISSUE:	
PERMIT SET	

PROPOSED ROOF DECK PLAN

SCALE: AS NOTED

A-107



1/A-108 PROPOSED ROOF PLAN
3/16" = 1'-0"

FLOOR PLAN LEGEND:

- EXISTING WALLS
- NEW WOOD FRAMED WALLS
- NEW MASONRY WALLS
- NEW INTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- NEW EXTERIOR DOOR REFER TO SHEET INT-500 FOR DOOR TYPES AND SCHEDULE
- WALL TYPE
- WINDOW TYPE

MARCHITECTS LLC
BALTIMORE & ANNAPOLIS
www.marchitects-llc.com

MORRISSEY DESIGN LLC
4550 MAIN STREET | PHILADELPHIA, PA 19106 | 215.643.3751
www.morrisseydesign.com

NO. RA 405135

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

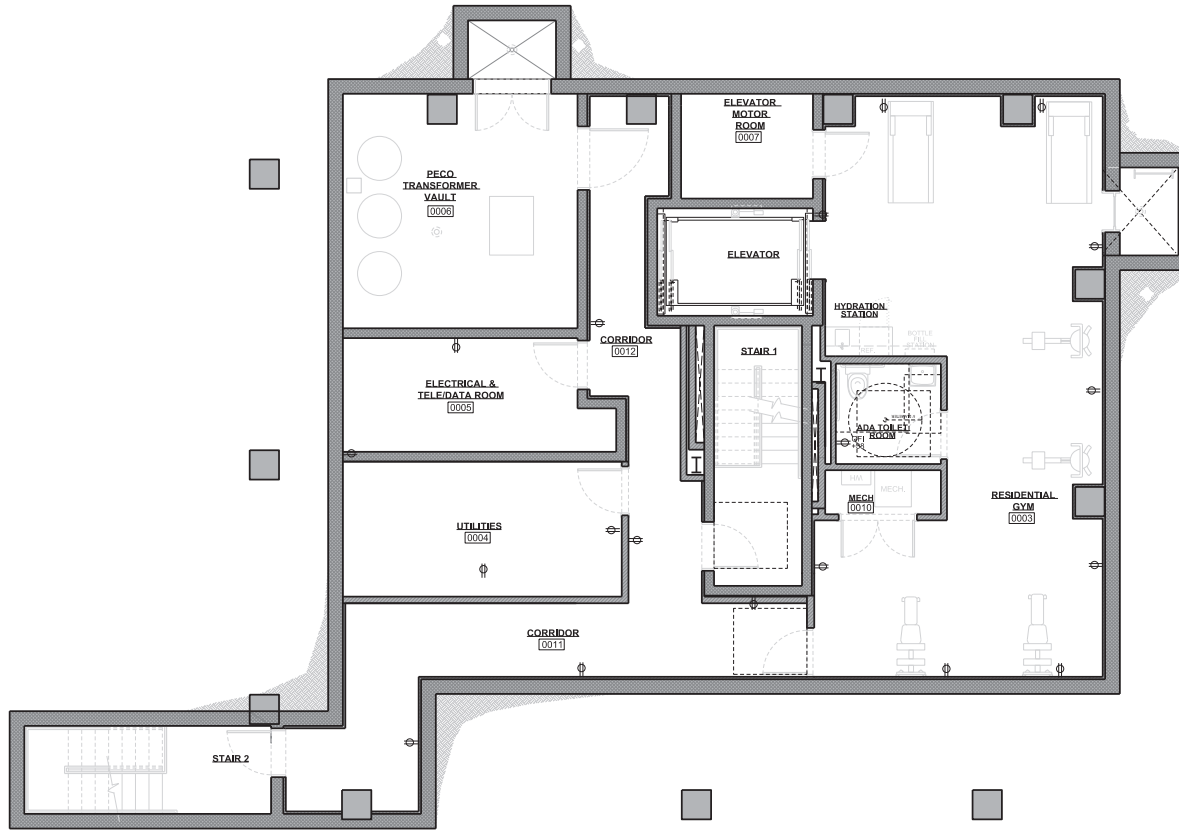
© 2022 MARCHITECTS

DATE:	04/29/22
ISSUE:	
PERMIT SET	

PROPOSED ROOF PLAN

SCALE: AS NOTED

A-108



1/A-130 PROPOSED CELLAR P&D
1/8" = 1'-0"

POWER + DATA LEGEND:

- DUPLEX OUTLET (+18" A.F.F. U.N.C.)
- GROUND FAULT INTERRUPTER OUTLET
- 220V 220 VOLT OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
- DEDICATED OUTLET
- RECESSED MEDIA PLATE LOCATION (ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND AV HOOKUP; VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION)
- TELE/DATA
- GAS HOOKUP LOCATION
- SURFACE MOUNTED 15-11/16" PARKING FIXTURE
- HANGING FLOURESCENT FIXTURE
- COVE LIGHTING

GENERAL NOTES:

1. ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
2. G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TYS AND OTHER AREAS WHERE REQUIRED
3. G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION

MARCHITECTS LLC
459 MAIN STREET | PHILADELPHIA, PA 19107 | 215.644.3791
www.morrissey-design.com

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

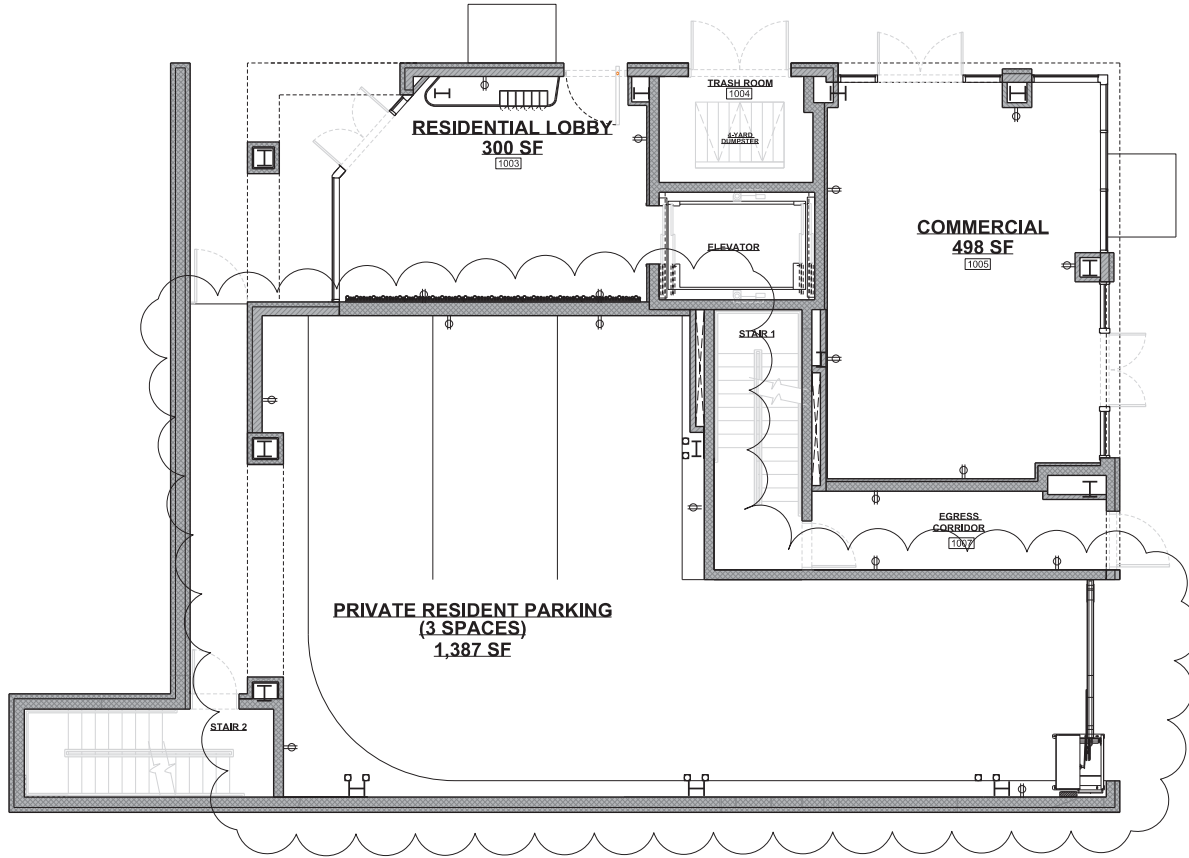
© 2022 MARCHITECTS

DATE:	04/29/22
ISSUE:	
PERMIT SET	

PROPOSED CELLAR P&D

SCALE: AS NOTED

A-130



1/A-131 PROPOSED LEVEL 1 P&D
1/8" = 1'-0"

POWER + DATA LEGEND:

- DUPLEX OUTLET (+18" A.F.F. U.N.O.)
- GROUND FAULT INTERRUPTER OUTLET
- 220V OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
- DEDICATED OUTLET
- RECESSED MEDIA PLATE LOCATION (ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND AV HOOKUP. VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION)
- TELE/DATA
- GAS HOOKUP LOCATION
- SURFACE MOUNTED 19-11/16" PARKING FIXTURE
- HANGING FLOURESCENT FIXTURE
- COVE LIGHTING

GENERAL NOTES:

1. ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
2. G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TYS AND OTHER AREAS WHERE REQUIRED
3. G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION

MARCHITECTS LLC
MORRISSEY DESIGN LLC

499 MAIN STREET | PHILADELPHIA, PA 19107 | 215.644.2791

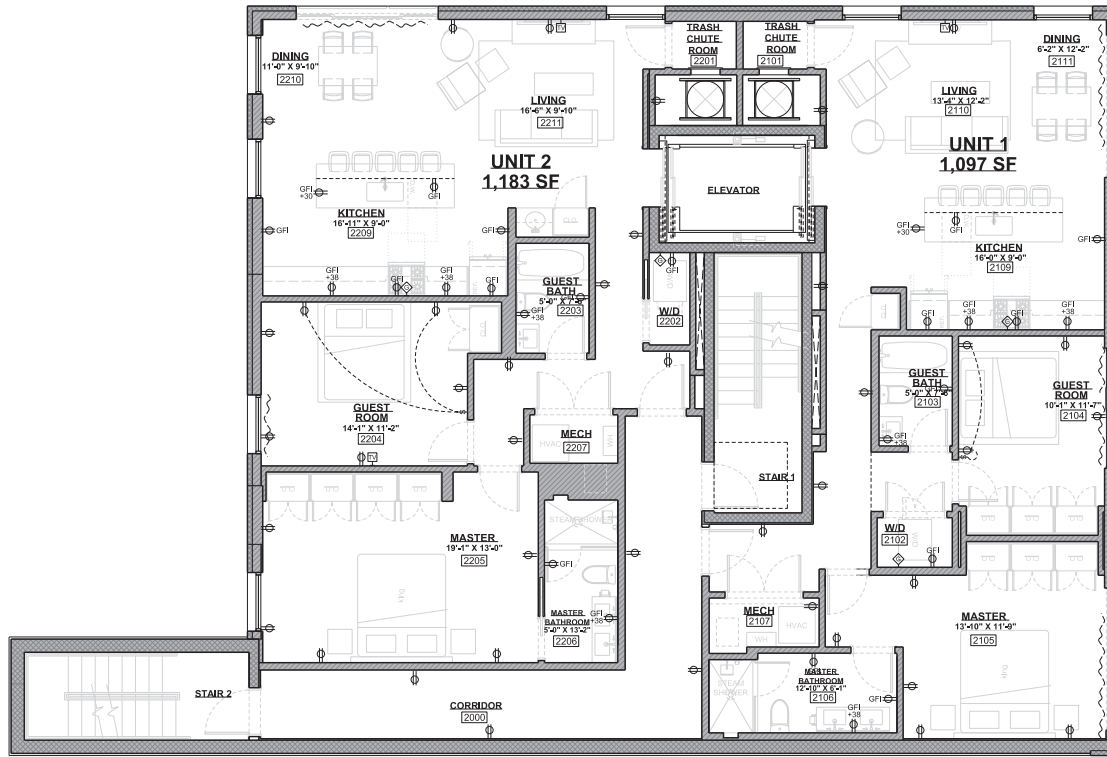
THE BEN
 160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 MARCHITECTS

DATE:	05.09.22
ISSUE:	06.02.22
PERMIT SET	REVISION 1
PROPOSED LEVEL 1 P&D	

SCALE: AS NOTED

A-131



1/A-132 PROPOSED LEVEL 2 P&D
1/8" = 1'-0"

POWER + DATA LEGEND:

- DUPLEX OUTLET (+18" A.F.F. U.N.C.)
- GFI
- 220V
- 220 VOLT OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
- DEDICATED OUTLET
- RECESSED MEDIA PLATE LOCATION (ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND A/V HOOKUP; VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION)
- TELEDATA
- GAS HOOKUP LOCATION
- SURFACE MOUNTED 15-11/16" PARKING FIXTURE
- HANGING FLOURESCENT FIXTURE
- COVE LIGHTING

GENERAL NOTES:

1. ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
2. G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TYS AND OTHER AREAS WHERE REQUIRED
3. G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4598 MAIN STREET | PHILADELPHIA, PA 19107 | 215.644.3751
www.morrisseydesign.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

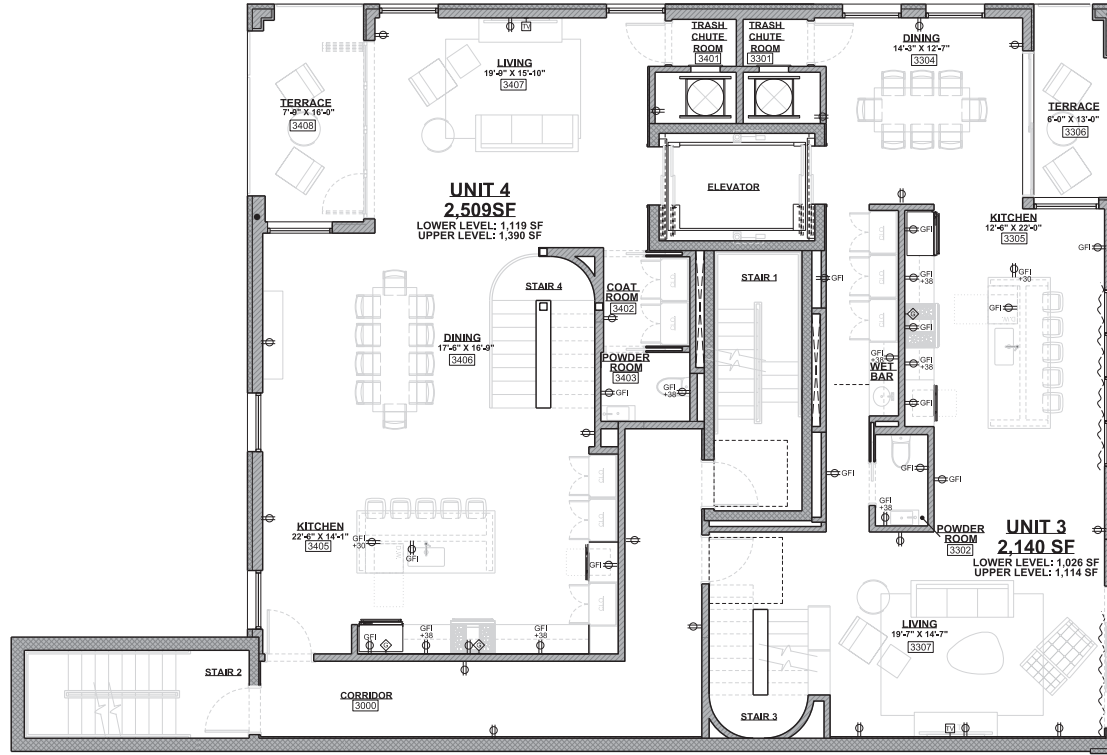
© 2022 MARCHITECTS

DATE:	04.29.22
ISSUE:	
PERMIT SET	

PROPOSED
LEVEL 2
P&D

SCALE: AS NOTED

A-132



1/A-133 PROPOSED LEVEL 3 P&D
1/8" = 1'-0"

POWER + DATA LEGEND:

- DUPLEX OUTLET (+18" A.F.F. U.N.C.)
- GROUND FAULT INTERRUPTER OUTLET
- 220V 220 VOLT OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
- DEDICATED OUTLET
- RECESSED MEDIA PLATE LOCATION (ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND AV HOOKUP; VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION)
- TELE/DATA
- GAS HOOKUP LOCATION
- SURFACE MOUNTED 15-11/16" PARKING FIXTURE
- HANGING FLOURESCENT FIXTURE
- COVE LIGHTING

GENERAL NOTES:

1. ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
2. G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TYS AND OTHER AREAS WHERE REQUIRED
3. G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION

MARCHITECTS LLC
RA 405133
PHILADELPHIA, PA 19106

MORRISSEY DESIGN LLC
RA 405133
PHILADELPHIA, PA 19106

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

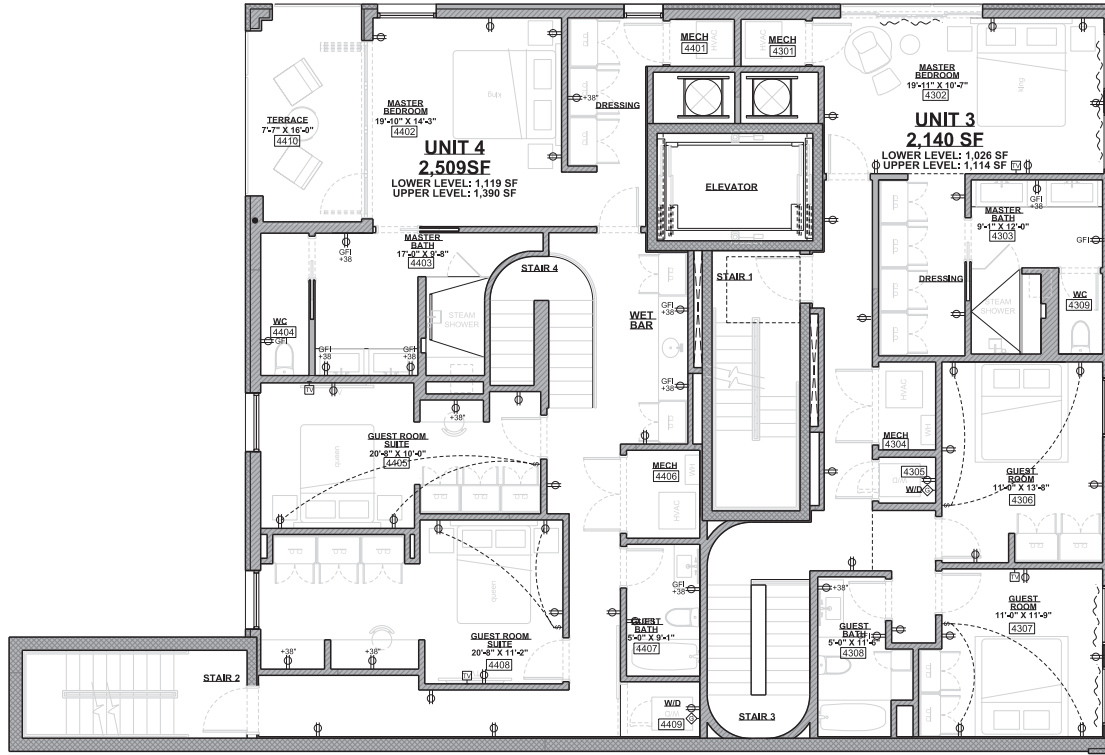
© 2022 MARCHITECTS

DATE:	04/29/22
ISSUE:	
PERMIT SET:	

PROPOSED LEVEL 3 P&D

SCALE: AS NOTED

A-133



1/A-134 PROPOSED LEVEL 4 P&D
1/8" = 1'-0"

POWER + DATA LEGEND:

- DUPLEX OUTLET (+18" A.F.F. U.N.C.)
- GROUND FAULT INTERRUPTER OUTLET
- 220V 220 VOLT OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
- DEDICATED OUTLET
- RECESSED MEDIA PLATE LOCATION: ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND AV HOOKUP; VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION
- TELE/DATA
- GAS HOOKUP LOCATION
- SURFACE MOUNTED 15-11/16" PARKING FIXTURE
- HANGING FLOURESCENT FIXTURE
- COVE LIGHTING

GENERAL NOTES:

1. ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
2. G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TYS AND OTHER AREAS WHERE REQUIRED
3. G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION

MARCHITECTS LLC
MORRISSEY DESIGN LLC
458 N. 3RD STREET | PHILADELPHIA, PA 19107 | 215.644.3791

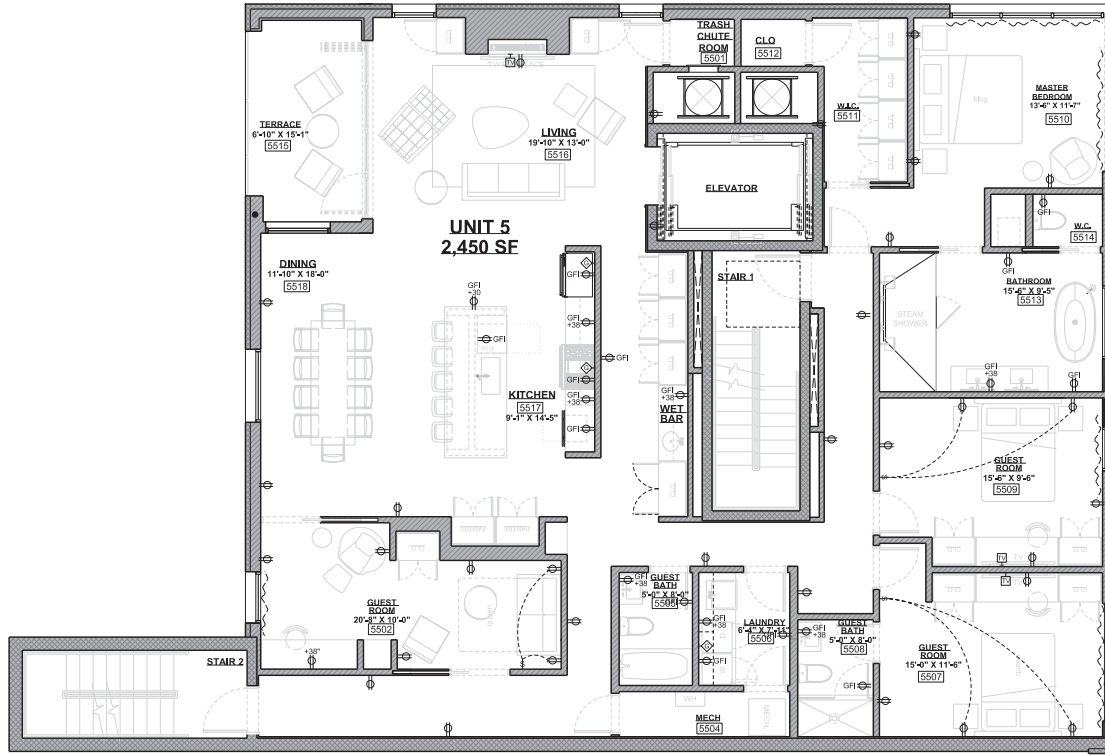
THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 MARCHITECTS

DATE:	04.29.22
ISSUE:	PROPOSED LEVEL 4 P&D
PERMIT SET	

SCALE: AS NOTED

A-134



1/A-135 PROPOSED LEVEL 5 P&D
1/8" = 1'-0"

POWER + DATA LEGEND:

- DUPLEX OUTLET (+18" A.F.F. U.N.C.)
- GFI GROUND FAULT INTERRUPTER OUTLET
- 220V 220 VOLT OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
- DEDICATED OUTLET
- RECESSED MEDIA PLATE LOCATION (ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND A/V HOOKUP; VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION)
- TELE/DATA
- GAS HOOKUP LOCATION
- SURFACE MOUNTED 18-11/16" PARKING FIXTURE
- HANGING FLOURESCENT FIXTURE
- COVE LIGHTING

GENERAL NOTES:

1. ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
2. G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TYS AND OTHER AREAS WHERE REQUIRED
3. G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION



MARCHITECTS LLC
MORRISSEY DESIGN LLC
458 N. 3RD STREET | PHILADELPHIA, PA 19107 | 215.484.3751 | www.morrisseydesign.com



NO. RA 405135

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

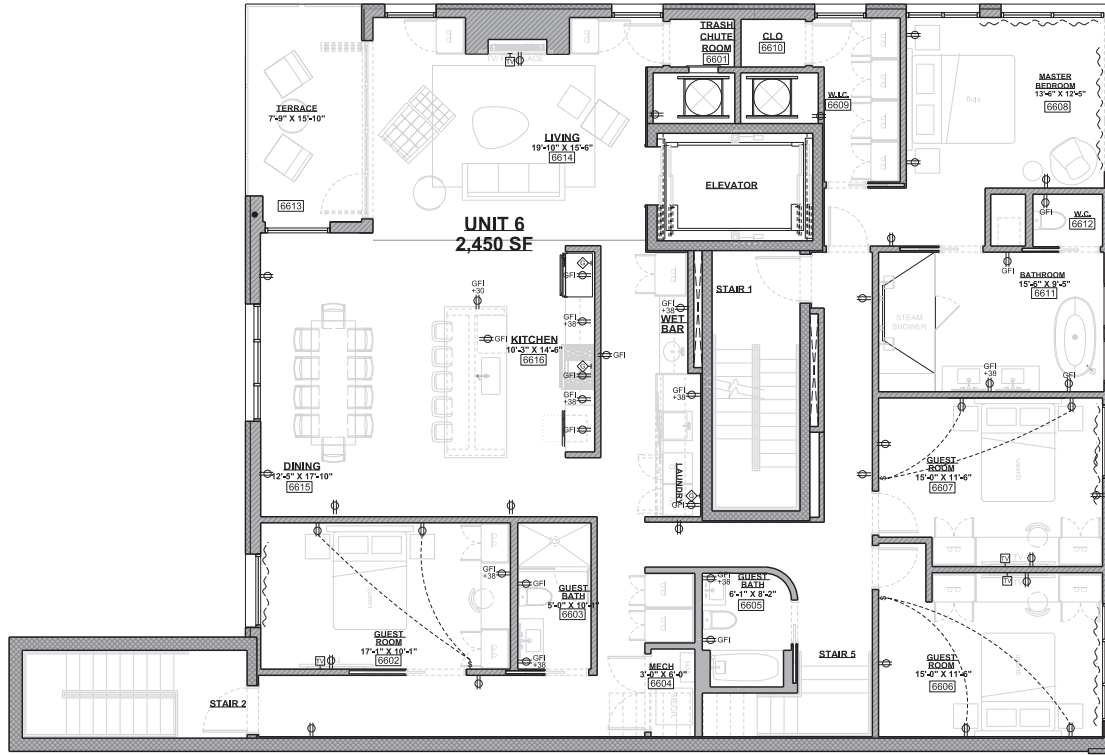
© 2022 MARCHITECTS

DATE	04.29.22
ISSUE	
PERMIT SET	

PROPOSED LEVEL 5 P&D

SCALE: AS NOTED

A-135



1/A-136 PROPOSED LEVEL 6 P&D
1/8" = 1'-0"

POWER + DATA LEGEND:

- DUPLEX OUTLET (+18" A.F.F. U.N.C.)
- GFI
- 220V
- DEDICATED OUTLET
- RECESSED MEDIA PLATE LOCATION: ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND A/V HOOKUP; VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION
- TELE/DATA
- GAS HOOKUP LOCATION
- SURFACE MOUNTED 15-11/16" PARKING FIXTURE
- HANGING FLUORESCENT FIXTURE
- COVE LIGHTING

GENERAL NOTES:

1. ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
2. G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TYS AND OTHER AREAS WHERE REQUIRED
3. G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4500 MAIN STREET | PHILADELPHIA, PA 19107 | 215.484.3751 | www.morrisseydesign.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

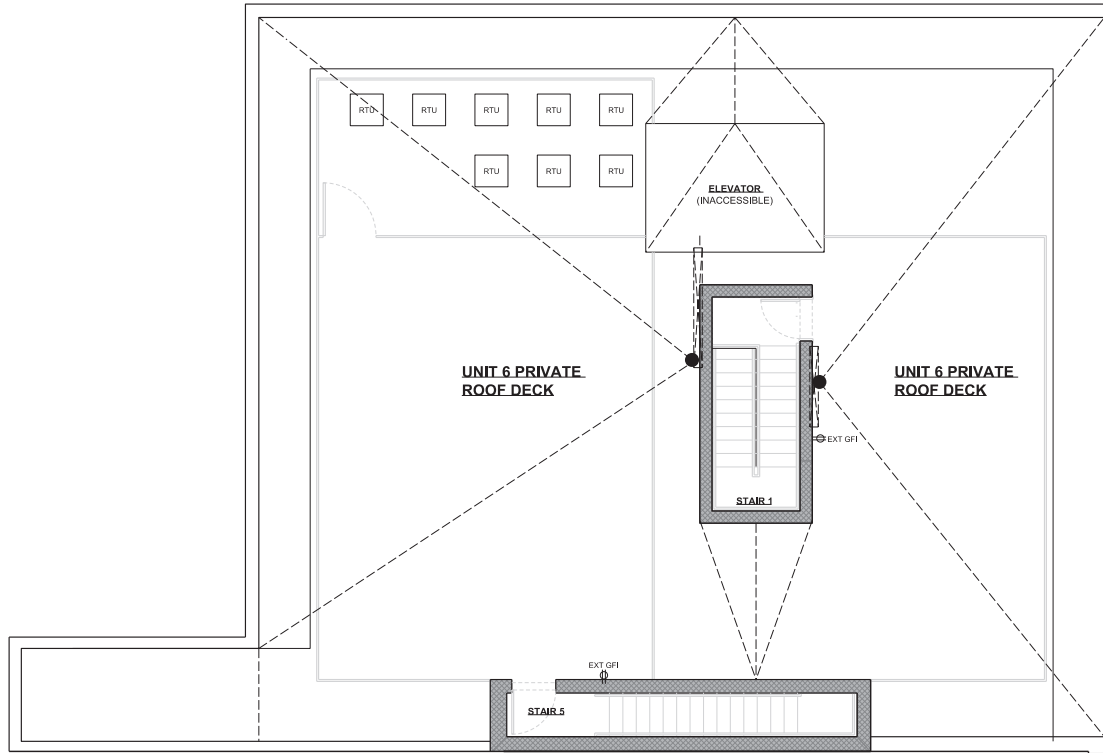
© 2022 MARCHITECTS

DATE	04.29.22
ISSUE	PERMIT SET
DATE	
ISSUE	

PROPOSED LEVEL 6 P&D

SCALE: AS NOTED

A-136



1/A-137 PROPOSED ROOF DECK P&D
1/8" = 1'-0"

POWER + DATA LEGEND:

- DUPLEX OUTLET (+18" A.F.F. U.N.C.)
- GROUND FAULT INTERRUPTER OUTLET
- 220V 220 VOLT OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
- DEDICATED OUTLET
- RECESSED MEDIA PLATE LOCATION: ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND AVV HOOKUP; VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION
- TELE/DATA
- GAS HOOKUP LOCATION
- SURFACE MOUNTED 15-11/16" PARKING FIXTURE
- HANGING FLOURESCENT FIXTURE
- COVE LIGHTING

GENERAL NOTES:

1. ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
2. G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TYS AND OTHER AREAS WHERE REQUIRED
3. G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION

MARCHITECTS LLC
MORRISSEY DESIGN LLC

4350 MAIN STREET | PHILADELPHIA, PA 19106

THE BEN

160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 MARCHITECTS

DATE:	04/29/22
ISSUE:	
PERMIT SET	

PROPOSED ROOF DECK P&D

SCALE: AS NOTED

A-137



1/A-200 PROPOSED NORTH ELEVATION
3/16" = 1'-0"

KEYED NOTES:

- 1 METAL PANEL:
MFR: SUPRENTNIK
STYLE: STANDING SEAM
- 2 BRICK:
MFR: GLEN-GERY
COLOR: MORNING DOVE
SIZE: FULL 3 5/8" x 7 1/4" x 7 5/8"
PATTERN: RUNNING BOND
- 3 BRICK:
MFR: GLEN-GERY
COLOR: MORNING DOVE
SIZE: FULL 3 5/8" x 7 1/4" x 7 5/8"
PATTERN: SOLID COURSE
- 4 BRICK:
MFR: GLEN-GERY
COLOR: MORNING DOVE
SIZE: FULL 3 5/8" x 7 1/4" x 7 5/8"
PATTERN: STACK BOND
- 5 "THE BEN" ILLUMINATED
SIGNAGE:
MFR: CUSTOM
- 6 STOREFRONT SYSTEM:
MFR: KAWNEER
MODEL: TRIFAB 81 - CENTER
PLANE
FINISH: CHAMPAGNE
- 7 RAILING - GLASS:
MFR: TBD
- 8 RAILING - GRAY MARBLE:
MFR: TBD
- 9 WOOD DOOR:
SEE DOOR SCHEDULE
- 10 GRAY MARBLE CLAD DOOR:
SEE DOOR SCHEDULE
- 11 "THE BEN" MURAL:
MFR: CUSTOM
- 12 GRAY MARBLE PANEL:
MFR: TBD

MARCHITECTS LLC
ARCHITECTS

MORRISSEY DESIGN LLC
ARCHITECTS

400 N. 13TH ST. PHILADELPHIA, PA 19107 215.643.3271 www.morrisseydesign.com

THE BEN

160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 MARCHITECTS

DATE:	04.29.22
ISSUE:	PROPOSED EXTERIOR ELEVATIONS

SCALE AS NOTED

A-200



KEYED NOTES:

- 1 METAL PANEL:
MFR: RHEINZINK
STYLE: STANDING SEAM
- 2 BRICK:
MFR: GLEN-GERY
COLOR: MORNING DOVE
SIZE: FULL 3 5/8" X 2 1/4" X 7 5/8"
PATTERN: RUNNING BOND
- 3 BRICK:
MFR: GLEN-GERY
COLOR: MORNING DOVE
SIZE: FULL 3 5/8" X 2 1/4" X 7 5/8"
PATTERN: SCUDER COURSE
- 4 BRICK:
MFR: GLEN-GERY
COLOR: MORNING DOVE
SIZE: FULL 3 5/8" X 2 1/4" X 7 5/8"
PATTERN: STACK BOND
- 5 "THE BEN" ILLUMINATED
SIGNAGE:
MFR: CUSTOM
- 6 STOREFRONT SYSTEM:
MFR: KAWNEER
MODEL: TR948 601 - CENTER
PLANE
FINISH: CHAMPAGNE
- 7 RAILING - GLASS:
MFR: TSO
- 8 RAILING - GRAY MARBLE:
MFR: TSO
- 9 WOOD DOOR:
SEE DOOR SCHEDULE
- 10 GRAY MARBLE CLAD DOOR:
SEE DOOR SCHEDULE
- 11 "THE BEN" MURAL:
MFR: CUSTOM
- 12 GRAY MARBLE PANEL:
MFR: TSO

M ARCHITECTS LLC
MORRISSEY DESIGN LLC

400 N. 1ST STREET PHILADELPHIA, PA 19107 215.343.3371
www.morrissey-design.com

NO. RA 405135

THE BEN

160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 M ARCHITECTS

DATE:	05.03.22
ISSUE:	06.02.22
PROJECT SET:	REVISION 1

PROPOSED
EXTERIOR
ELEVATIONS

SCALE AS NOTED

A-201



- KEYED NOTES:**
- 1 METAL PANEL:
MFR: RHEINZINK
STYLE: STANDING SEAM
 - 2 BRICK:
MFR: GLEN-GERY
COLOR: MORNING DOVE
SIZE: FULL 3 5/8" X 2 1/4" X 7 5/8"
PATTERN: RUNNING BOND
 - 3 BRICK:
MFR: GLEN-GERY
COLOR: MORNING DOVE
SIZE: FULL 3 5/8" X 2 1/4" X 7 5/8"
PATTERN: SCUDLER COURSE
 - 4 BRICK:
MFR: GLEN-GERY
COLOR: MORNING DOVE
SIZE: FULL 3 5/8" X 2 1/4" X 7 5/8"
PATTERN: STACK BOND
 - 5 "THE BEN" ILLUMINATED
SIGNAGE:
MFR: CUSTOM
 - 6 STOREFRONT SYSTEM:
MFR: KAWNEER
MODEL: TRF AS 601 - CENTER
PLANE
FINISH: CHAMPAGNE
 - 7 RAILING - GLASS:
MFR: TSO
 - 8 RAILING - GRAY MARBLE:
MFR: TSO
 - 9 WOOD DOOR:
SEE DOOR SCHEDULE
 - 10 GRAY MARBLE CLAD DOOR:
SEE DOOR SCHEDULE
 - 11 "THE BEN" MURAL:
MFR: CUSTOM
 - 12 GRAY MARBLE PANEL:
MFR: TSO

M ARCHITECTS LLC
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 M ARCHITECTS

DATE: 05.03.22
06.02.22

ISSUE: PRELIMINARY SET
PERMIT SET - REVISION 1

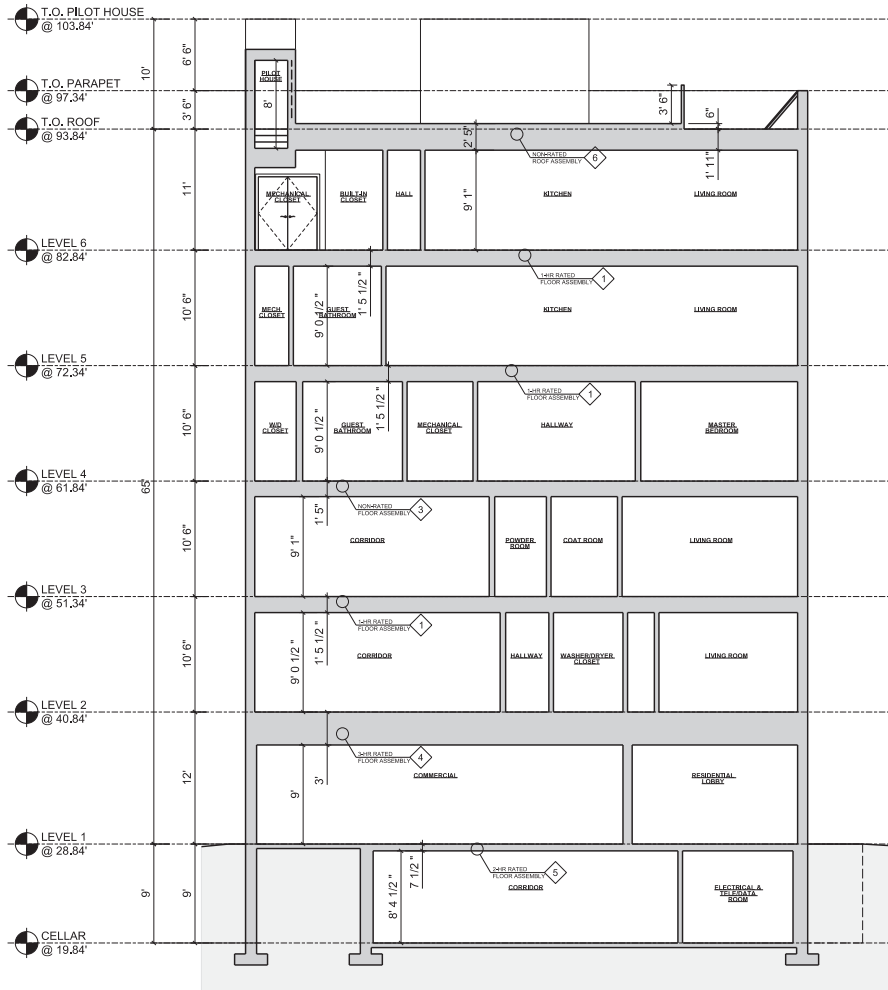
PROPOSED EXTERIOR ELEVATIONS

SCALE AS NOTED

A-203

MORRISSEY DESIGN LLC
408 N 3RD STREET PHILADELPHIA PA 19107 215.343.3751
www.morrissey-design.com

NO. RA 405135



1/A-300 PROPOSED TRANSVERSE BUILDING SECTION
3/16" = 1'-0"



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4550 MAIN STREET | PHILADELPHIA, PA 19106
www.morrisseydesign.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

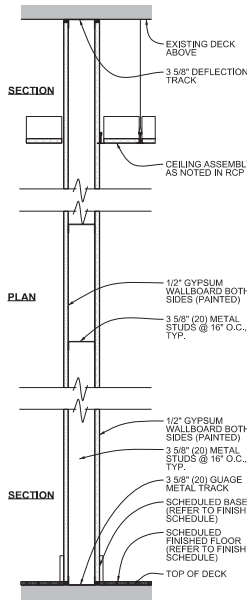
© 2022 MARCHITECTS

ISSUE	DATE
PROPOSED BUILDING SECTIONS	04/29/22
PERMIT SET	

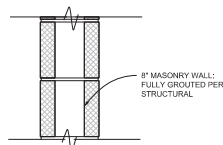
PROPOSED BUILDING SECTIONS

SCALE: AS NOTED

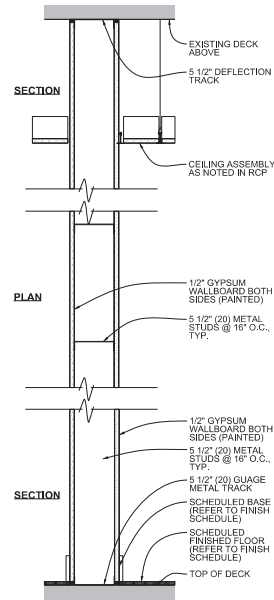
A-300



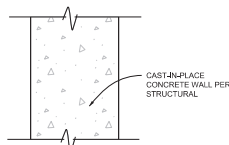
1 WALL TYPE 1
FULL HEIGHT 3 5/8" MTL STUD PARTITION
(NON-RATED)



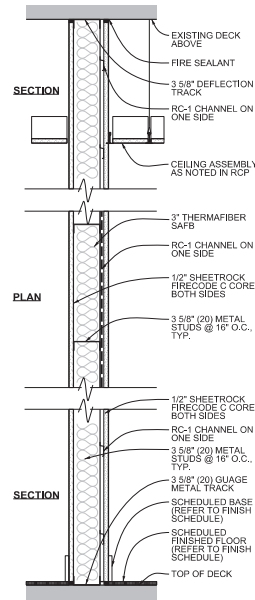
8 WALL TYPE 8
PECO VAULT/CORE WALL
3-HOUR RATED WALL



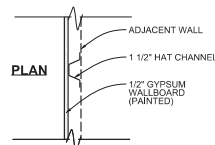
2 WALL TYPE 2
FULL HEIGHT 5 1/2" MTL STUD PARTITION
(NON-RATED)



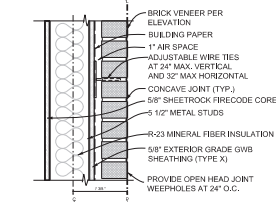
9 WALL TYPE 9
FOUNDATION WALL



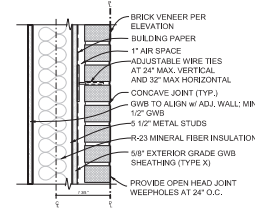
3 WALL TYPE 3
CORRIDOR WALL
1-HOUR RATED WALL
STC 50 (TEST #RAL-TL-87-156)
UL DES U419



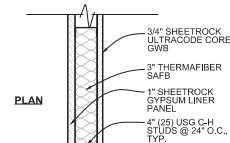
10 WALL TYPE 10
FURRING WALL (NON-RATED)



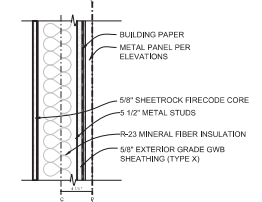
4 WALL TYPE 4
EXTERIOR BRICK ON MTL STUD
1 HOUR RATED WALL
UL DES U419



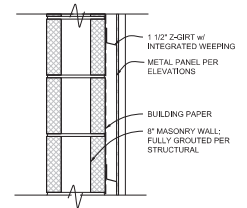
5 WALL TYPE 5
EXTERIOR BRICK ON MTL STUD
NON-RATED WALL



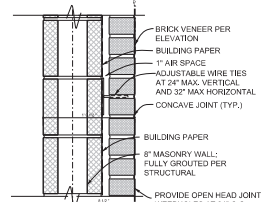
11 WALL TYPE 11
SHAFT WALL
2-HOUR RATED WALL
STC 51 (TEST #RAL-OT-04-020)
UL DES U415



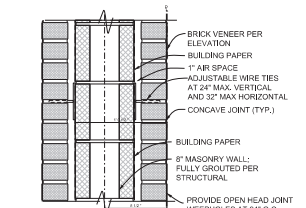
6 WALL TYPE 6
EXTERIOR MTL PANEL ON MTL STUD
1 HOUR RATED WALL
UL DES U419



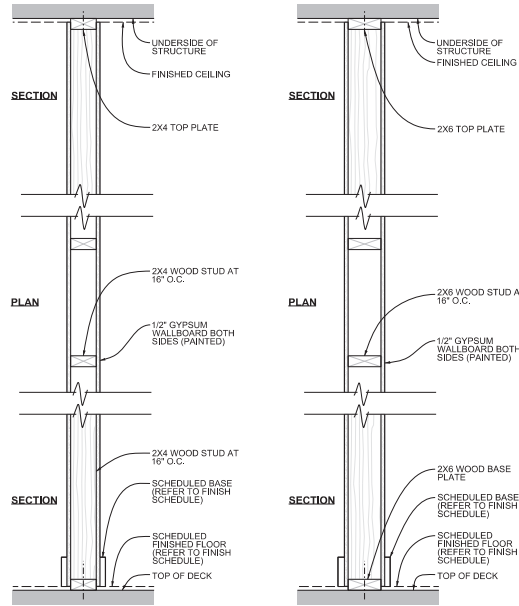
7 WALL TYPE 7
EXTERIOR MTL PANEL ON CMU
2-HOUR RATED WALL



20 WALL TYPE 20
EXTERIOR BRICK ON CMU
2-HOUR RATED WALL

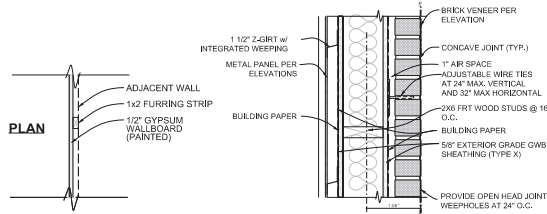


21 WALL TYPE 21
EXTERIOR BRICK ON CMU
2-HOUR RATED WALL



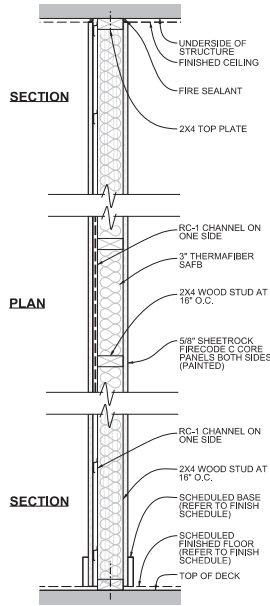
12 WALL TYPE 12
FULL HEIGHT PARTITION (NON-RATED)

13 WALL TYPE 13
PLUMBING PARTITION (NON-RATED)



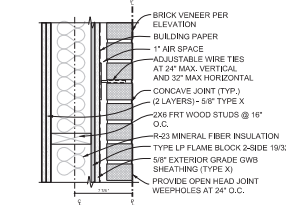
19 WALL TYPE 19
FURRING WALL (NON-RATED)

22 WALL TYPE 22
EXTERIOR BRICK ON WOOD
WITH METAL PANEL BACKING
1-HOUR RATED WALL

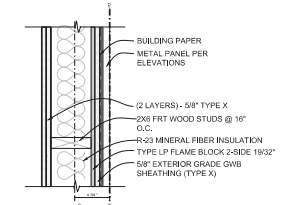


14 WALL TYPE 14
CORRIDOR/TRASH CHUTE ROOM WALL
1-HOUR RATED WALL
STC 50 (TEST #BBN-760903)
UL DES U327

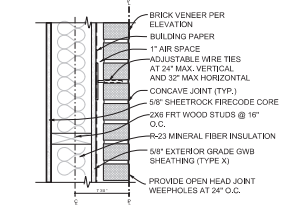
23 WALL TYPE 23
EXTERIOR MTL. PANEL ON WOOD STUD
1-HOUR RATED WALL
UL DES U305



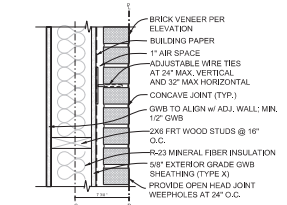
15 WALL TYPE 15
EXTERIOR BRICK ON WOOD STUD
2 HOUR RATED WALL - LOAD BEARING
UL V337



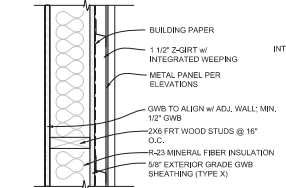
16 WALL TYPE 16
EXTERIOR MTL. PANEL ON WOOD STUD
2 HOUR RATED WALL - LOAD BEARING
UL V337



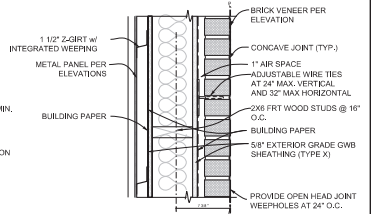
17 WALL TYPE 17
EXTERIOR BRICK ON WOOD STUD
1 HOUR RATED WALL
UL DES U305



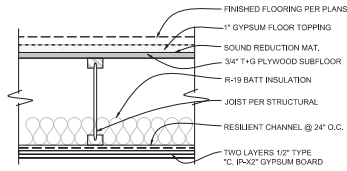
18 WALL TYPE 18
EXTERIOR BRICK ON WOOD STUD
NON-RATED WALL



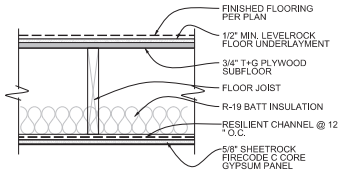
24 WALL TYPE 24
EXTERIOR MTL. PANEL ON WOOD STUD
NON-RATED WALL



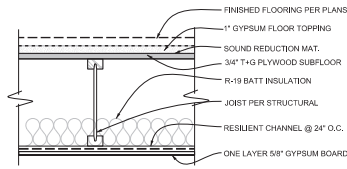
25 WALL TYPE 25
EXTERIOR BRICK ON WOOD
WITH METAL PANEL BACKING
NON-RATED WALL



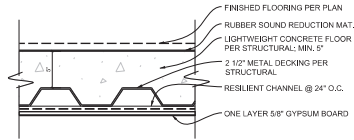
1 CEILING TYPE 1 (TJI STRUCTURE)
1-HR FIRE RATED CEILING ASSEMBLY
UL DES L570 | STC 64 | IIC 62



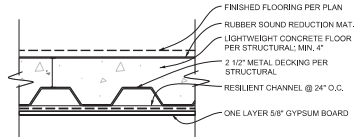
2 CEILING TYPE 2 (DIMENSIONAL LUMBER)
1-HR FIRE RATED CEILING ASSEMBLY
UL DES L569 | 53 IIC



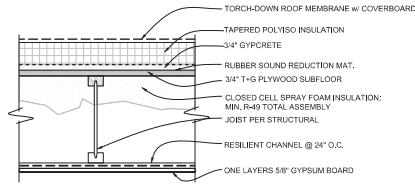
3 CEILING TYPE 3 (TJI STRUCTURE)
NON-RATED CEILING ASSEMBLY
STC 58 | IIC 62



4 CEILING TYPE 4 (METAL DECK)
3-HR FIRE RATED CEILING ASSEMBLY



5 CEILING TYPE 5 (METAL DECK)
2-HR FIRE RATED CEILING ASSEMBLY



6 CEILING TYPE 6 (ROOF)
NON-RATED CEILING / ROOF ASSEMBLY



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4599 MAIN STREET | PHILADELPHIA, PA 19106
www.mor-ben-arch.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

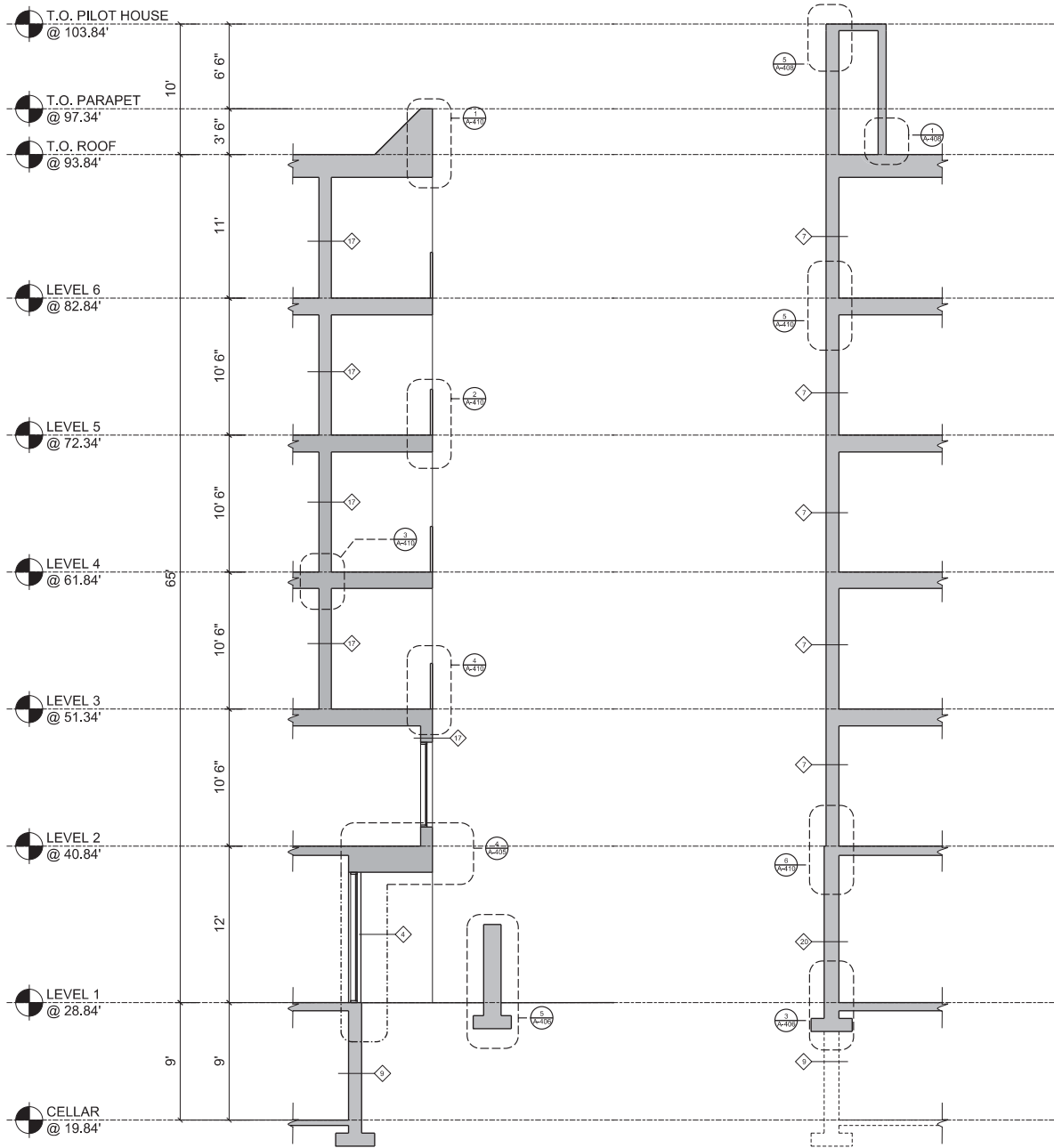
© 2022 MARCHITECTS

ISSUE	DATE
PERMIT SET	04.29.22

FLOOR
TYPES

SCALE: AS NOTED

A-402



1/A-403 WALL SECTION @ SOUTH ELEVATION
1/4" = 1'-0"

2/A-403 WALL SECTION @ WEST ELEVATION
1/4" = 1'-0"



MARCHITECTS LLC
RA 405135



MORRISSEY DESIGN LLC
400 MAIN STREET | PHILADELPHIA, PA 19106 | 215.644.2791 | www.morrisseydesign.com



Signature

NO. RA 405135

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

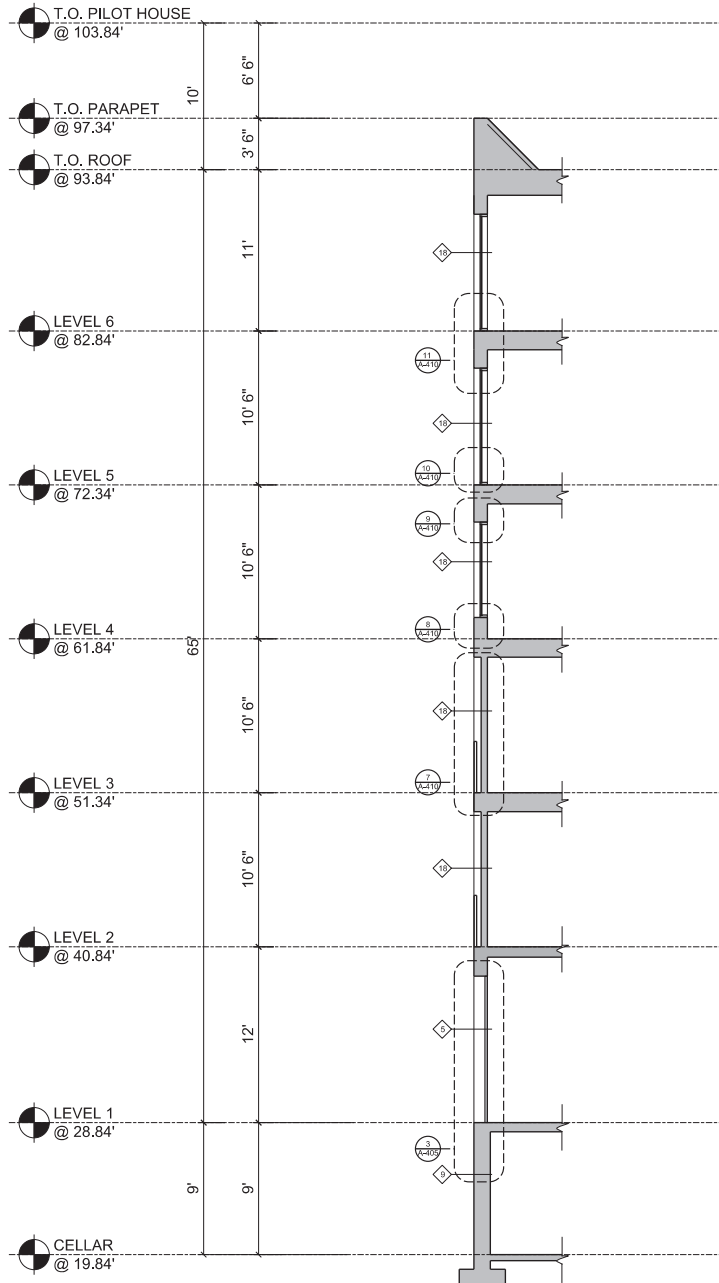
© 2022 MARCHITECTS

DATE:	04.29.22	
ISSUE:		
PERMIT SET		

PROPOSED
WALL
SECTIONS

SCALE: AS NOTED

A-403



1/A-404 WALL SECTION @ EAST ELEVATION
1/8" = 1'-0"

2/A-404 WALL SECTION @ EAST ELEVATION
1/8" = 1'-0"



MARCHITECTS LLC
MORRISSEY DESIGN LLC
450 MAIN STREET | PHILADELPHIA, PA 19106
www.morrissey-design.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

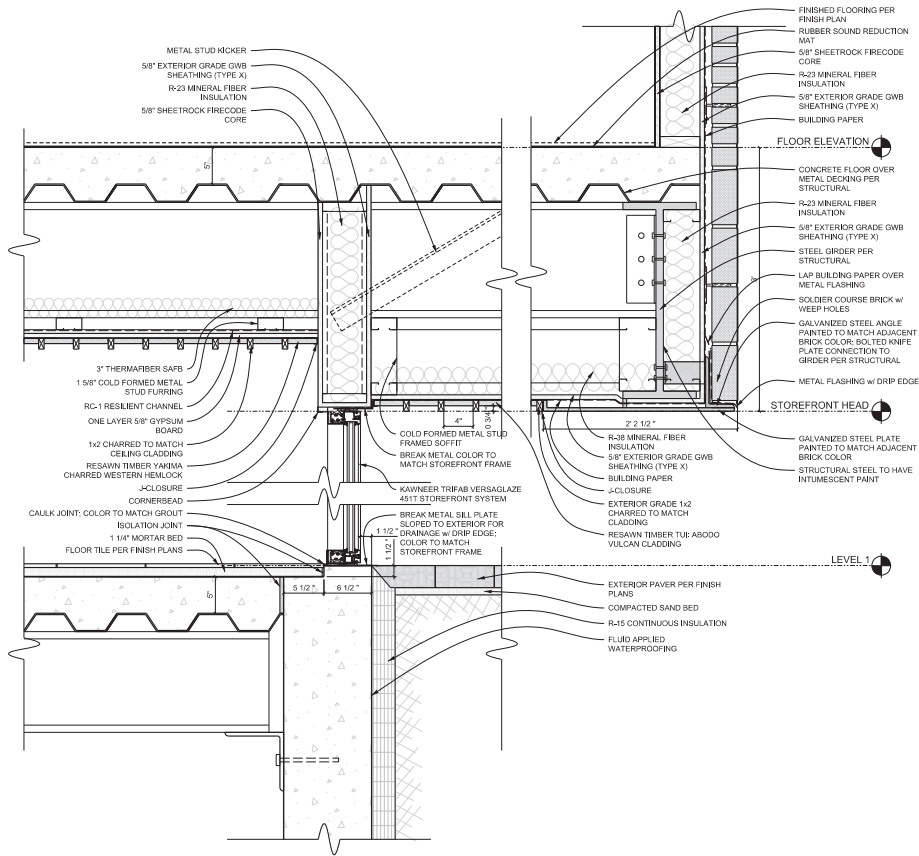
© 2022 MARCHITECTS

ISSUE:	DATE:
PERMIT SET	04.29.22

PROPOSED
WALL
SECTIONS

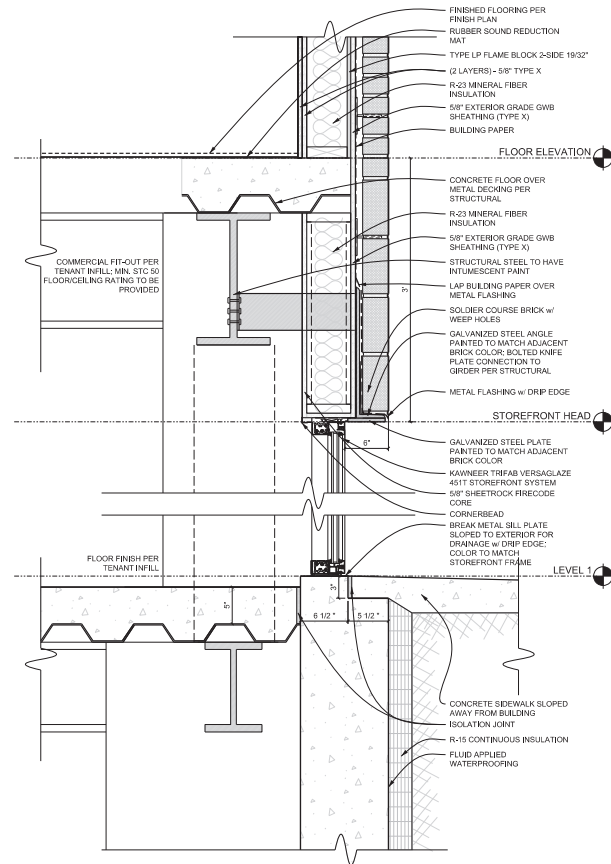
SCALE: AS NOTED

A-404



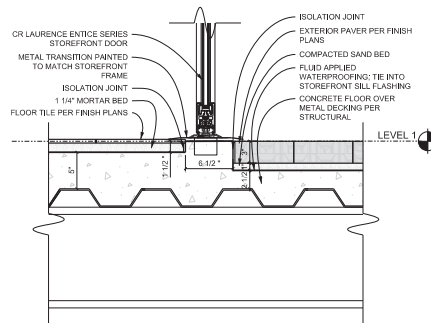
STOREFRONT SYSTEM AT
RESIDENTIAL LOBBY

4/A-405
1/12" = 1'-0"



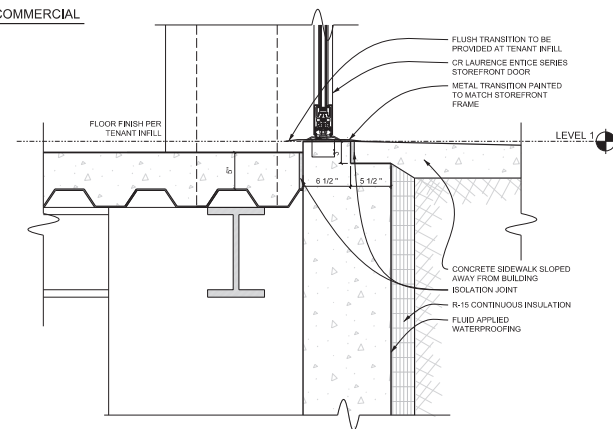
STOREFRONT SYSTEM AT COMMERCIAL

3/A-405
1/12" = 1'-0"



STOREFRONT DOOR SILL AT
RESIDENTIAL LOBBY

2/A-405
1/12" = 1'-0"



STOREFRONT DOOR SILL AT COMMERCIAL

1/A-405
1/12" = 1'-0"



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4500 MAIN STREET | PHILADELPHIA, PA 19107 | 215.644.2791
www.morrisseydesign.com



NO. RA 405135

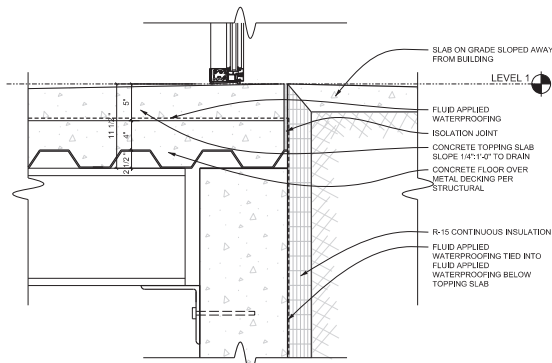
THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 MARCHITECTS

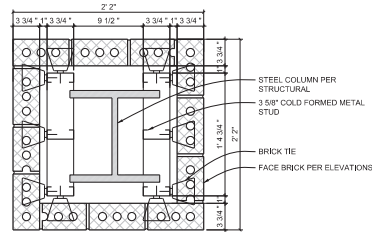
DATE	04-29-22
ISSUE	PERMIT SET
DETAILS	

SCALE: AS NOTED

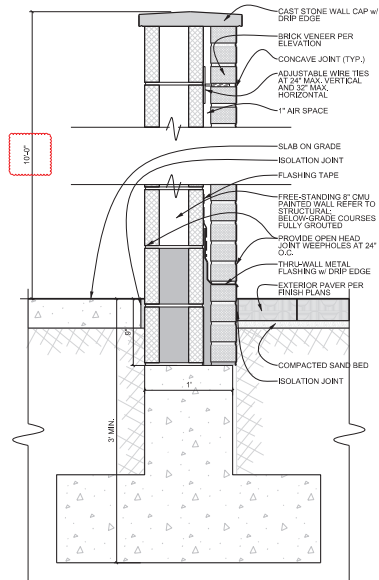
A-405



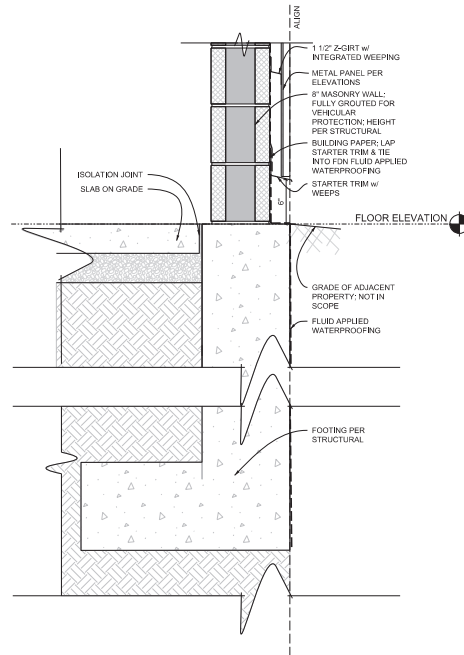
6/A-406 TYP. FOUNDATION DETAIL AT PATHWAY
1 1/2\"/>



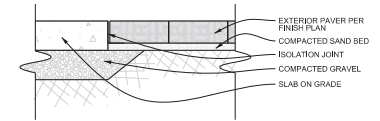
4/A-406 EXTERIOR COLUMN PLAN DETAIL
1 1/2\"/>



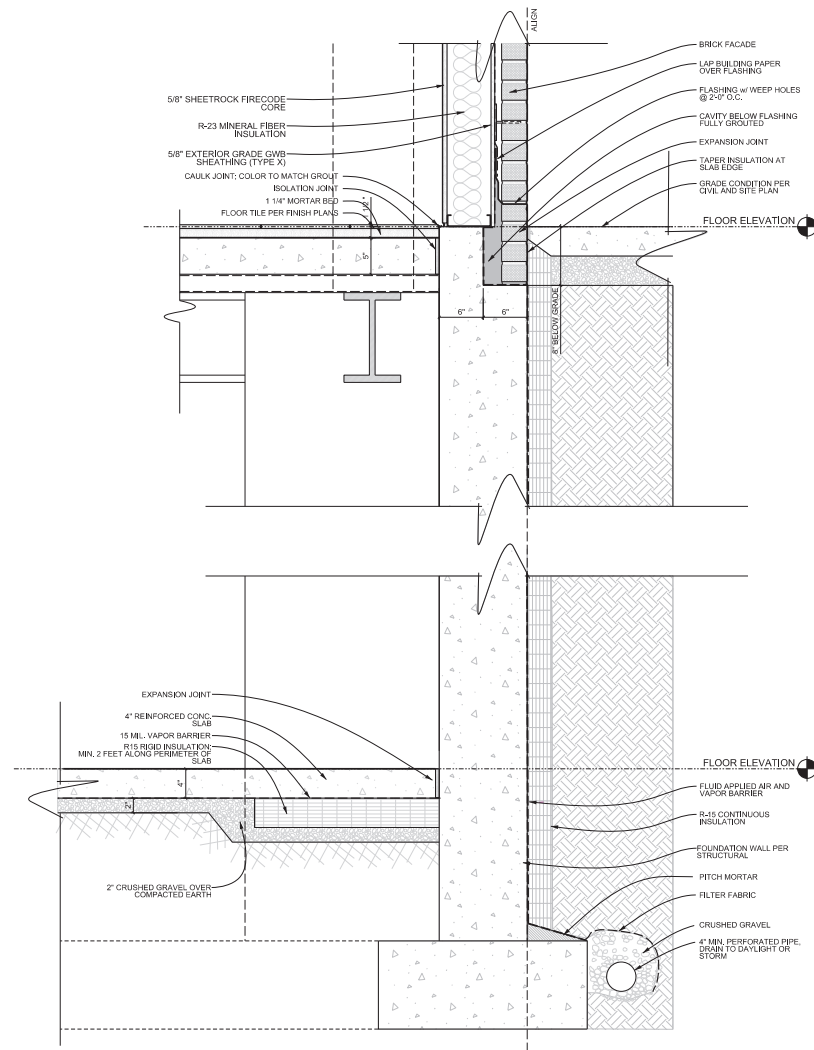
5/A-406 SITE WALL
1 1/2\"/>



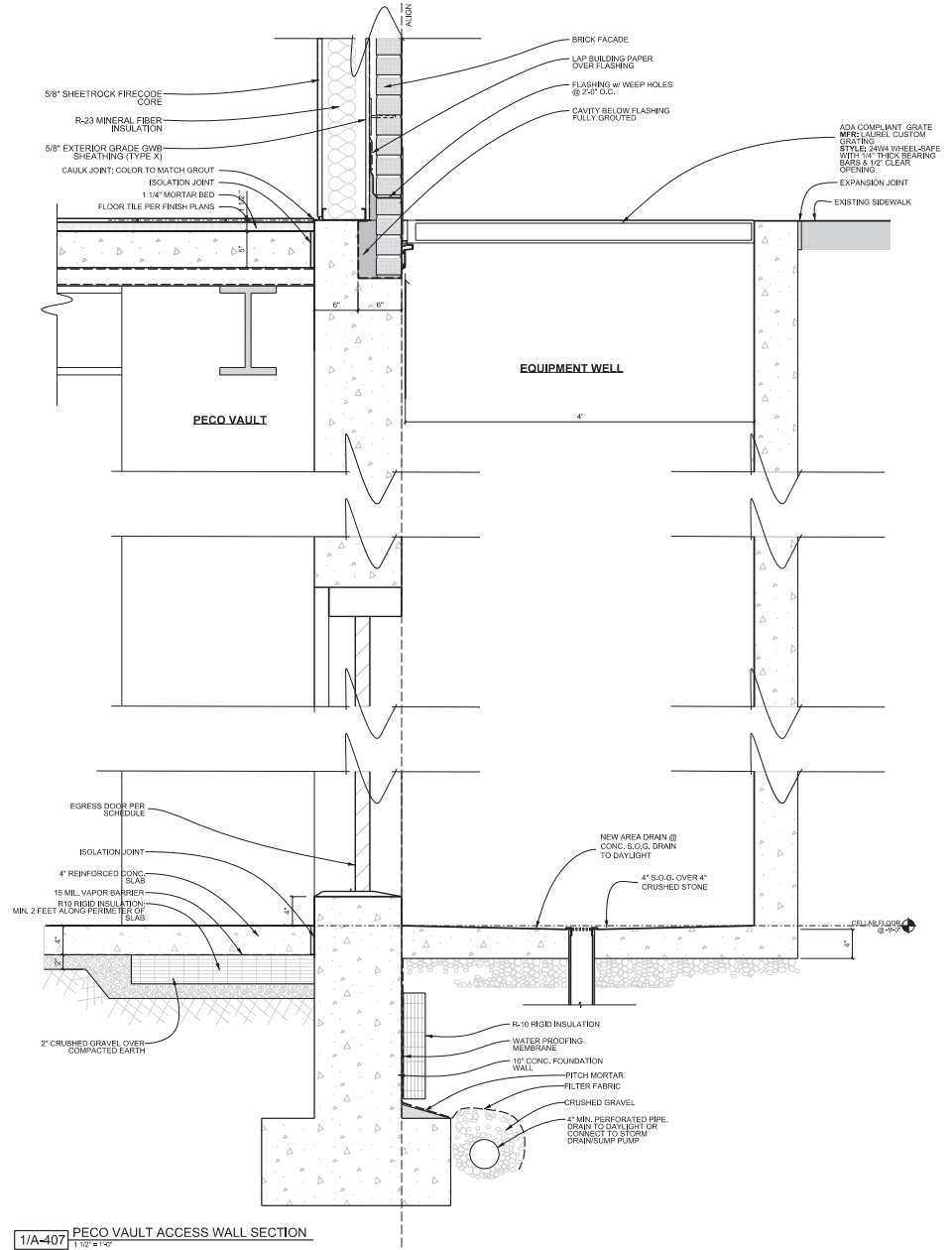
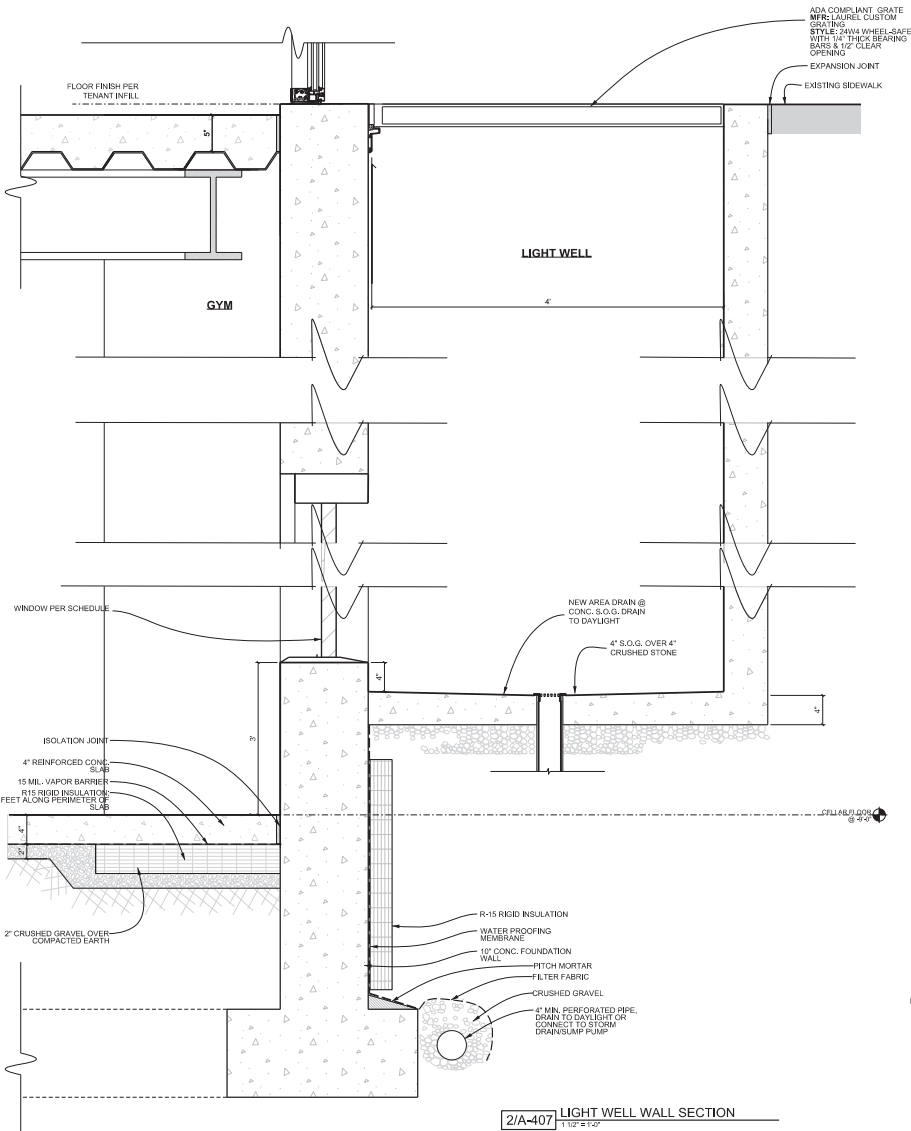
3/A-406 TYP. FOUNDATION DETAIL AT METAL PANEL
1 1/2\"/>



2/A-406 EXTERIOR PAVER TO S.O.G. TRANSITION
1 1/2\"/>



1/A-406 TYP. FOUNDATION DETAIL AT BRICK
1 1/2\"/>



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4500 MAIN STREET | PHILADELPHIA, PA 19107 | 215.648.3791
www.morrisseydesign.com



NO. RA 405135

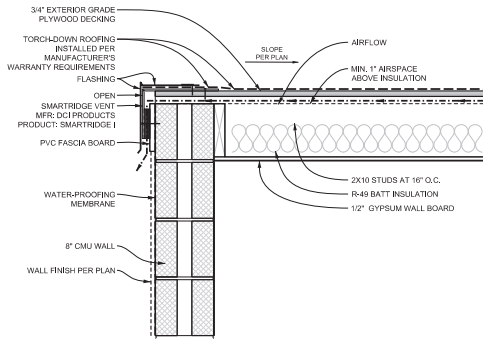
THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 MARCHITECTS

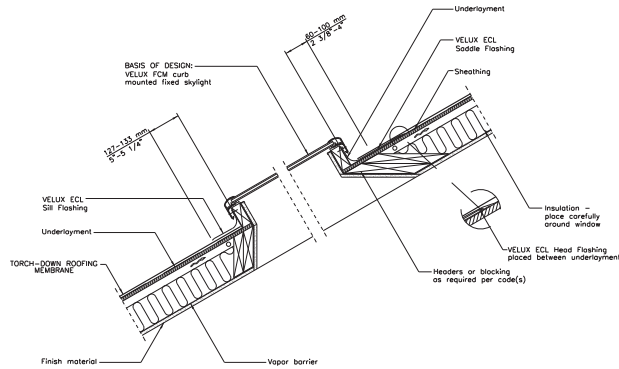
DATE:	04-29-22
ISSUE:	PERMIT SET
DETAILS:	

SCALE: AS NOTED

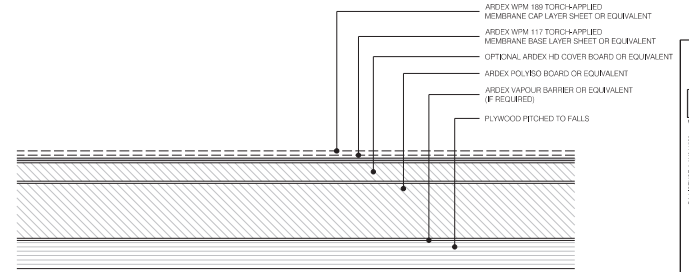
A-407



5/A-408 TYP. PILOT HOUSE ROOF DETAIL
1 1/2" = 1'-0"

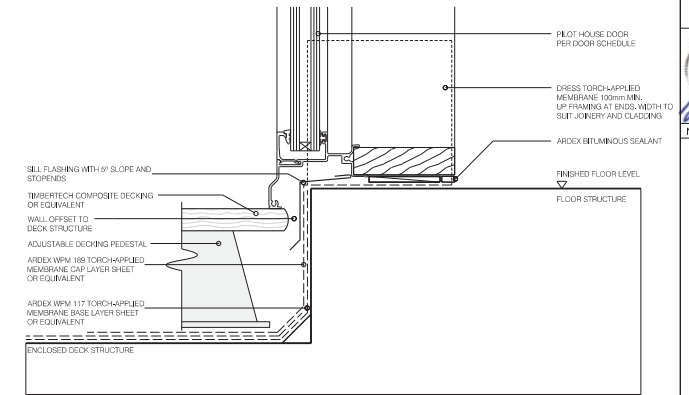


4/A-408 TYP. SKYLIGHT PENETRATION DETAIL
1 1/2" = 1'-0"

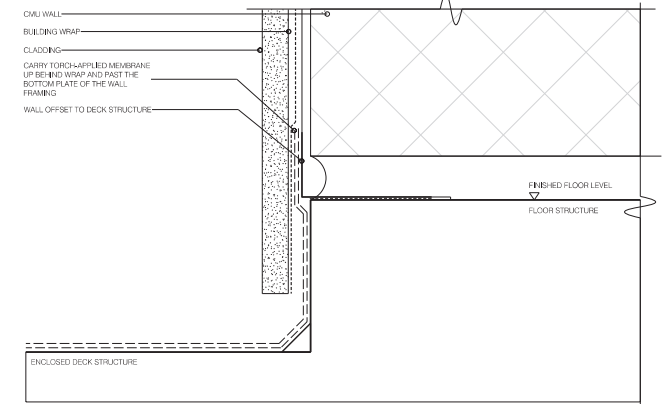


NOTE: FOR FASTENING OR FINISH PATTERN, DEPENDENT ON WIND ZONE VALUES, CONSULT WITH AN ARDEX REPRESENTATIVE

3/A-408 TYP. TORCH-DOWN ROOF ASSEMBLY
1 1/2" = 1'-0"



2/A-408 TYP. ROOF DECK AT PILOT HOUSE DOOR SILL
1 1/2" = 1'-0"



1/A-408 TYP. TORCH-DOWN ROOF TERMINATION DETAIL
1 1/2" = 1'-0"

MARCHITECTS LLC
4599 MAIN STREET | PHILADELPHIA, PA 19106
www.morrisseydesign.com

MORRISSEY DESIGN LLC
4599 MAIN STREET | PHILADELPHIA, PA 19106
www.morrisseydesign.com

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

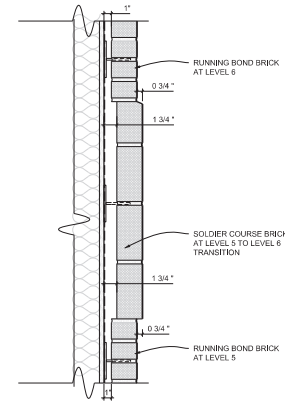
© 2022 MARCHITECTS

DATE:	04-29-22	ISSUE:	1	PERMIT SET	1
-------	----------	--------	---	------------	---

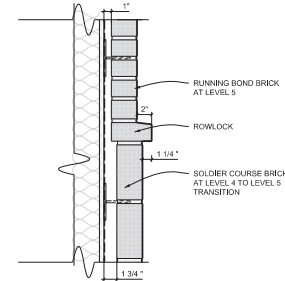
DETAILS

SCALE: AS NOTED

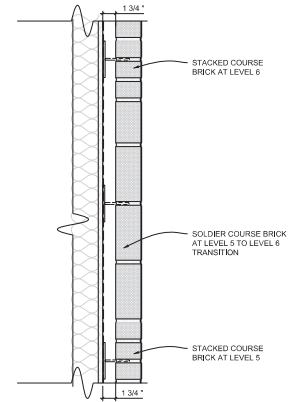
A-408



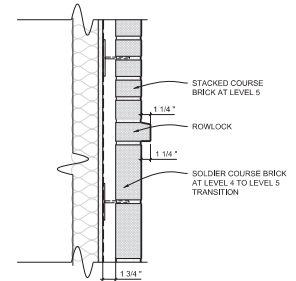
LEVEL 5 TO 6 BRICK TRANSITION AT
RUNNING BOND
5/A-409 1/12" = 1'-0"



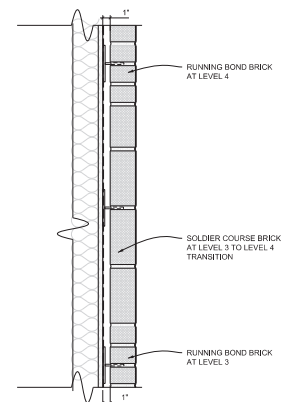
BRICK CORNICE TRANSITION AT
RUNNING BOND
4/A-409 1/12" = 1'-0"



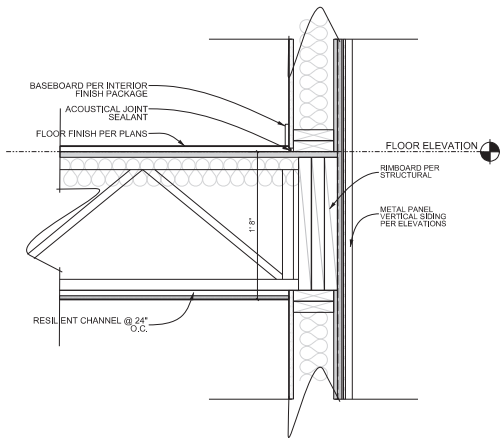
LEVEL 5 TO 6 BRICK TRANSITION AT
STACKED COURSE
3/A-409 1/12" = 1'-0"



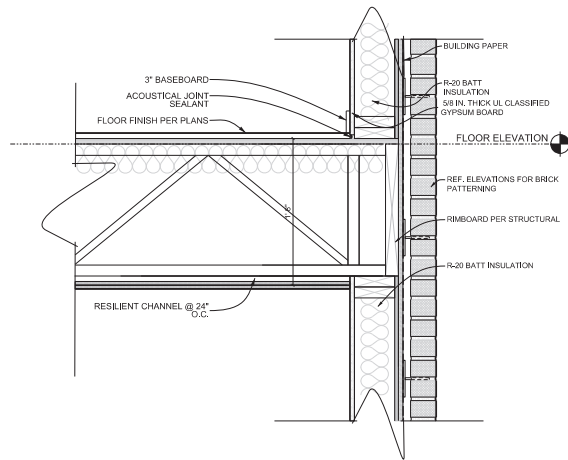
BRICK CORNICE TRANSITION AT
STACKED COURSE
2/A-409 1/12" = 1'-0"



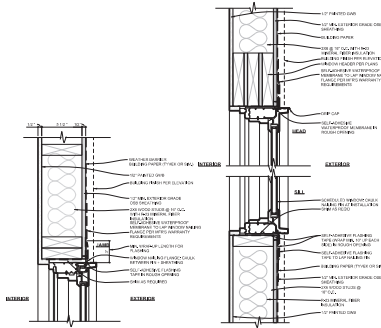
TYP. BRICK TRANSITION DETAIL
1/A-409 1/12" = 1'-0"



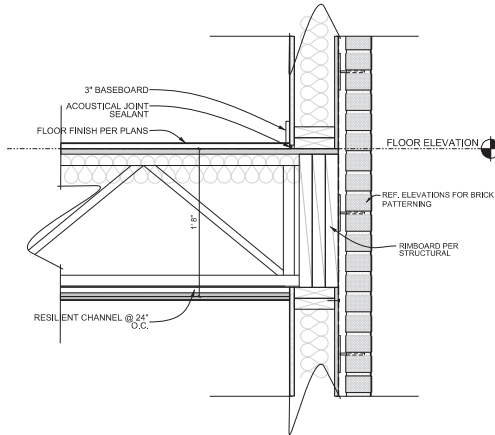
5/A-410 TYP. 2-HR RATED FLOOR TRANSITION AT METAL PANEL
1/12" = 1'-0"



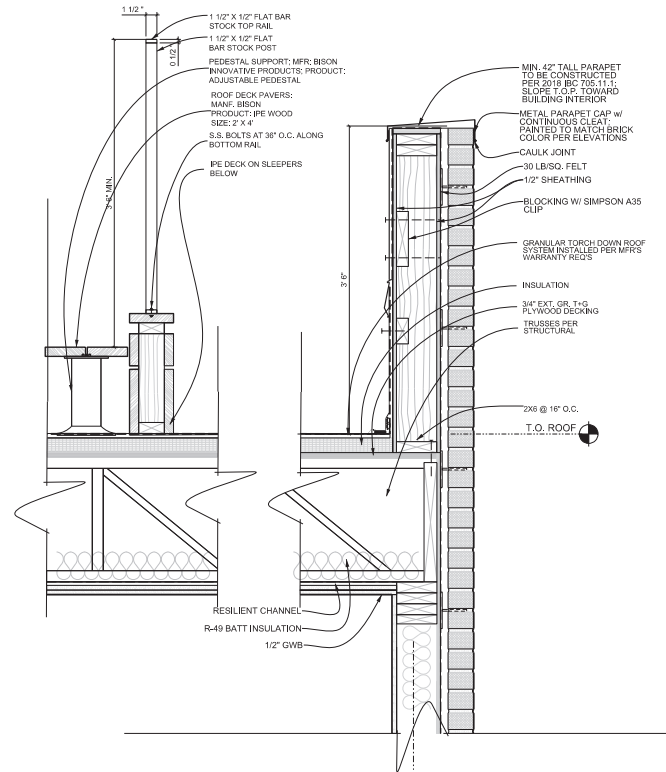
3/A-410 TYP. 1-HR RATED FLOOR TRANSITION AT BRICK
1/12" = 1'-0"



4/A-410 TYP. WINDOW DETAILS
1/12" = 1'-0"



2/A-410 TYP. NON-RATED FLOOR TRANSITION AT BRICK
1/12" = 1'-0"



1/A-410 TYP. BRICK PARAPET
1/12" = 1'-0"



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4550 MAIN STREET | PHILADELPHIA, PA 19106
www.morrisseydesign.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

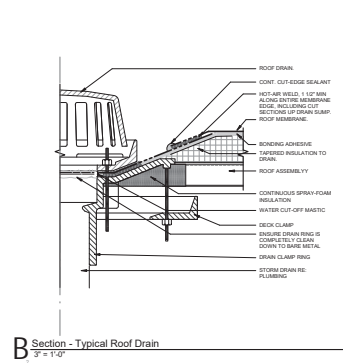
© 2022 MARCHITECTS

DATE	DATE	DATE	DATE
04-29-22			
ISSUE	PERMIT SET		

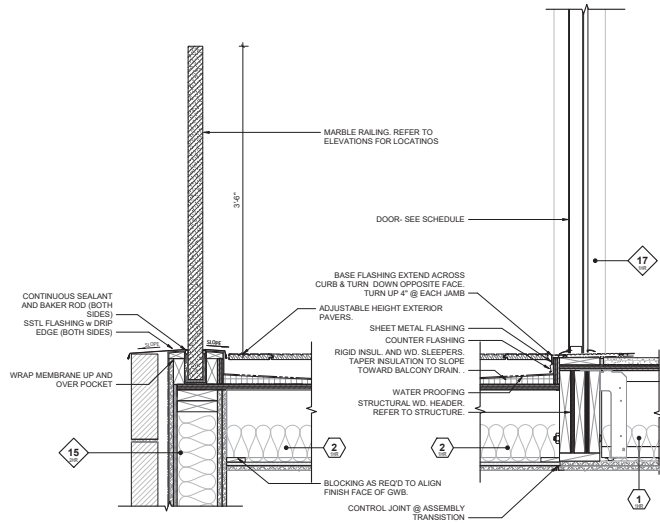
DETAILS

SCALE: AS NOTED

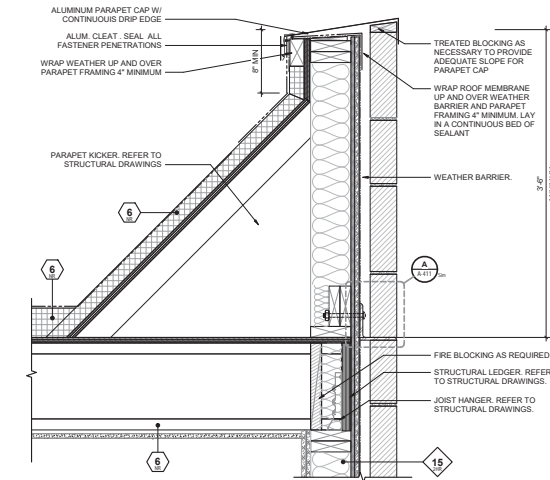
A-410



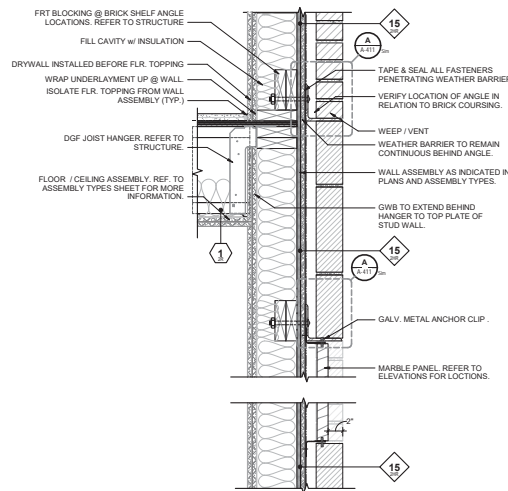
B Section - Typical Roof Drain
3/8" = 1'-0"



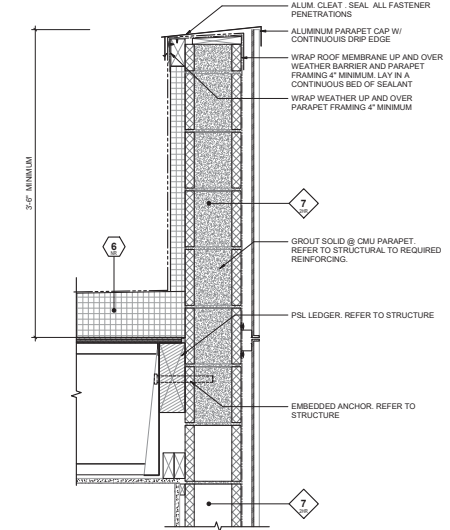
5 1 HR EXTERIOR WALL @ BALCONY.
1 1/2" = 1'-0"



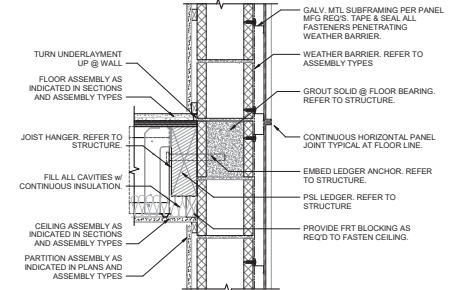
3 NON-RATED EXTERIOR BRICK WALL @ ROOF
1 1/2" = 1'-0"



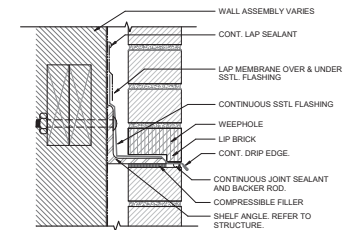
2 NON-RATED EXTERIOR BRICK WALL @ WOOD JOIST FLOOR
1 1/2" = 1'-0"



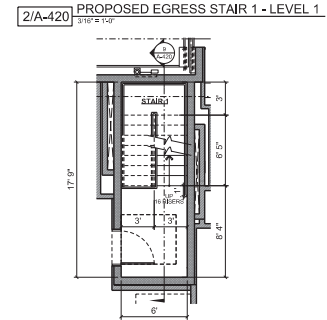
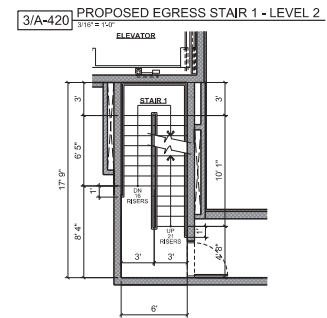
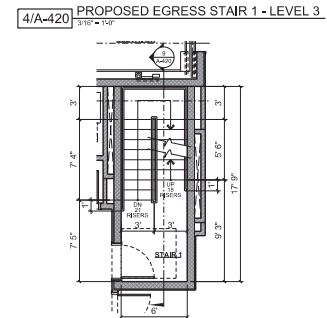
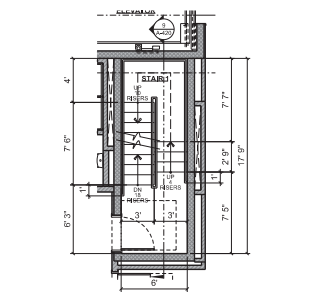
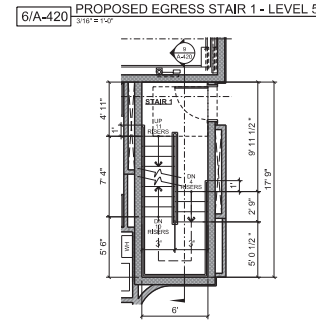
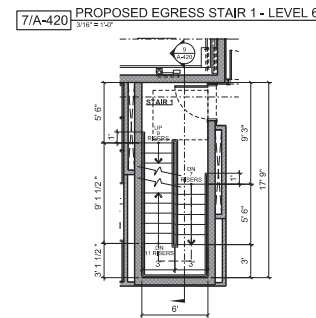
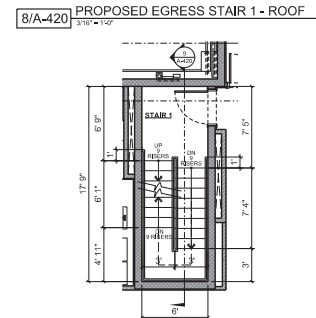
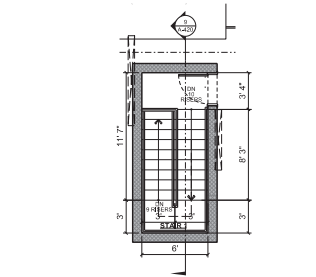
4 2HR EXTERIOR CMU PARAPET WALL
1 1/2" = 1'-0"

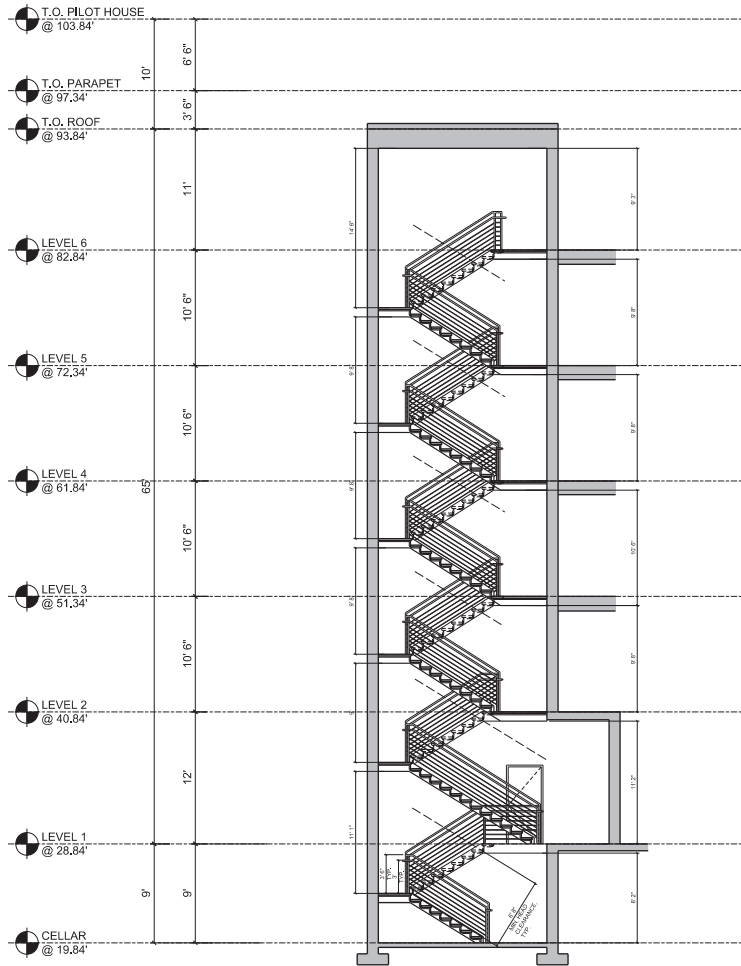


1 2HR EXTERIOR CMU WALL @ FLOOR (TYPICAL)
1 1/2" = 1'-0"

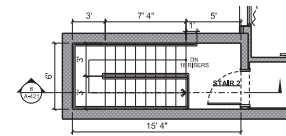


A EXTERIOR BRICK SHELF ANGLE @ FLOOR LEVEL
3/8" = 1'-0"

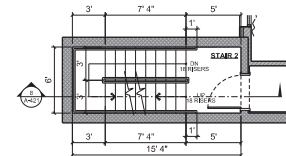




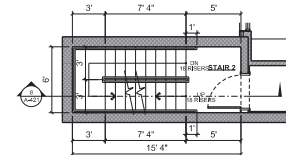
8/A-421 PROPOSED STAIR 2 LONGITUDINAL SECTION
3/16" = 1'-0"



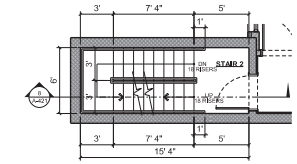
7/A-421 PROPOSED EGRESS STAIR 2 - LEVEL 6
3/16" = 1'-0"



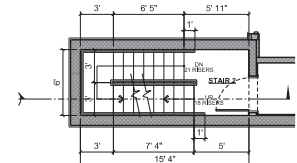
6/A-421 PROPOSED EGRESS STAIR 2 - LEVEL 5
3/16" = 1'-0"



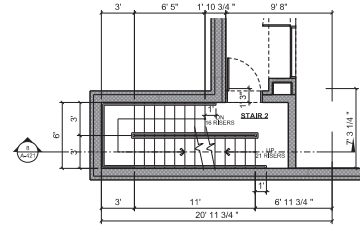
5/A-421 PROPOSED EGRESS STAIR 2 - LEVEL 4
3/16" = 1'-0"



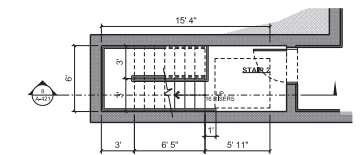
4/A-421 PROPOSED EGRESS STAIR 2 - LEVEL 3
3/16" = 1'-0"



3/A-421 PROPOSED EGRESS STAIR 2 - LEVEL 2
3/16" = 1'-0"



2/A-421 PROPOSED EGRESS STAIR 2 - LEVEL 1
3/16" = 1'-0"



1/A-421 PROPOSED EGRESS STAIR 2 - CELLAR
3/16" = 1'-0"



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4550 MAIN STREET | PHILADELPHIA, PA 19106
www.morrissey-design.com



THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

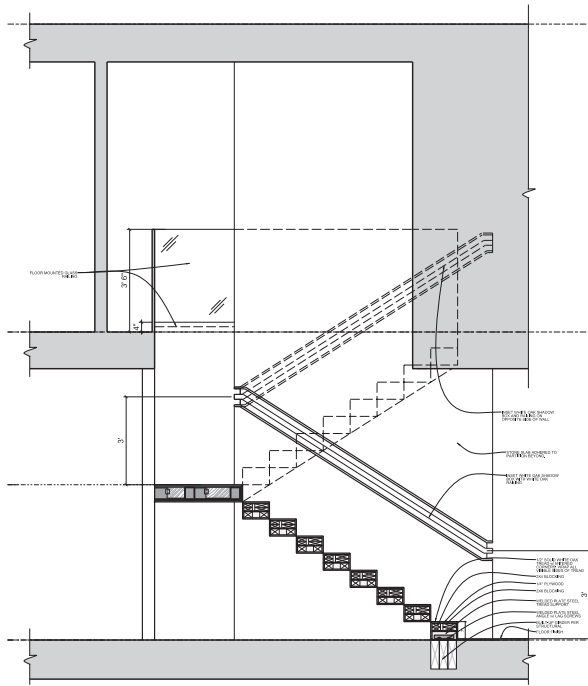
DATE:	04-29-22
ISSUE:	PERMIT SET
PROJECT:	
CLIENT:	

PROPOSED
EGRESS
STAIR 2
PLANS &
SECTIONS

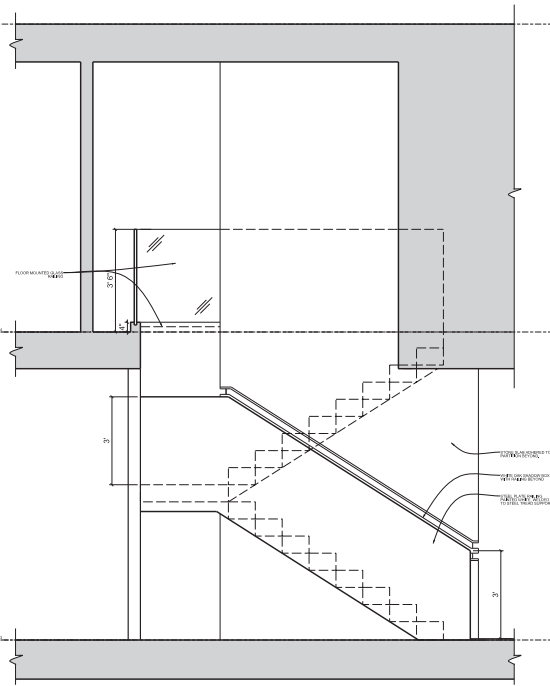
SCALE: AS NOTED

A-421

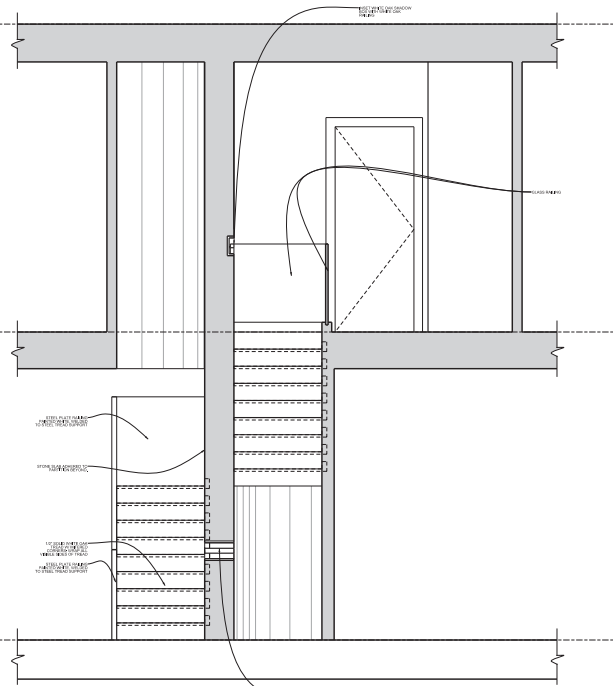




3/A-423 PROPOSED STAIR 4 SECTION
1/2" = 1'-0"



2/A-423 PROPOSED STAIR 4 ELEVATION
1/2" = 1'-0"



2/A-423 PROPOSED STAIR 4 SECTION
1/2" = 1'-0"



M ARCHITECTS LLC
4550 MAIN STREET | PHILADELPHIA, PA 19106
www.morrisseydesign.com

MORRISSEY DESIGN LLC
4550 MAIN STREET | PHILADELPHIA, PA 19106
www.morrisseydesign.com

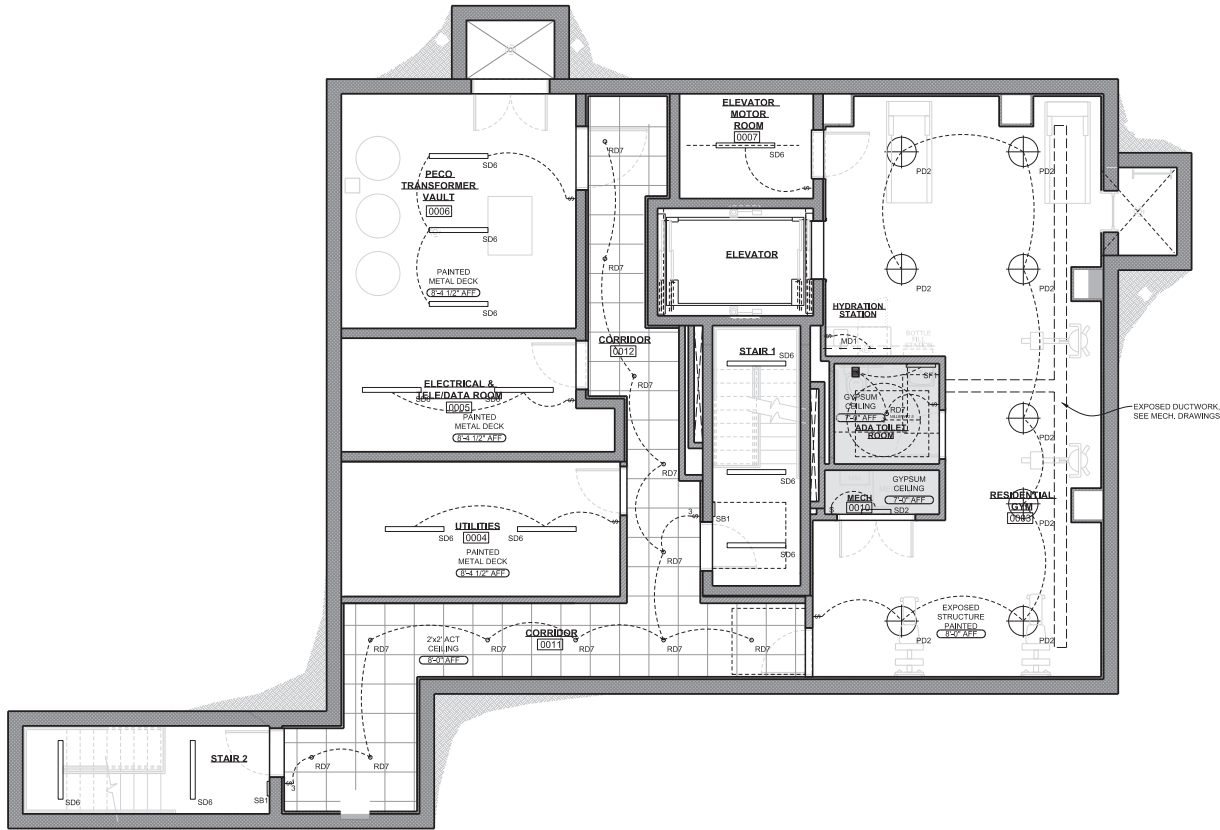
THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

© 2022 M ARCHITECTS

ISSUE	DATE	BY	CHECKED
PERMIT SET	04/29/22		

SCALE: AS NOTED

A-423



1/A-700 PROPOSED CELLAR RCP
1/8" = 1'-0"

- RCP LEGEND:**
- SWITCH
 - 3-WAY SWITCH
 - EXHAUST FAN TO VENT AIR TO EXTERIOR WITHOUT RECIRCULATION TO ANY SPACE PER PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2
 - CEILING HEIGHT ABOVE FINISH FLOOR

- GENERAL NOTES:**
- ALL LIGHTING FIXTURES ARE SHOWN FOR LOCATION ONLY. SEE LIGHTING DRAWINGS FOR SPECIFICATIONS.
 - SEE ELECTRICAL DRAWINGS FOR ALL LIFE SAFETY DEVICES NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTING, AND SMOKE DETECTORS.
 - ALL CEILINGS PAINTED WHITE, U.O.N.
 - ALL LIGHTING LEVELS SHALL COMPLY WITH THE IECC TABLE 505.5.2 REQUIREMENTS
 - LIGHT SWITCHING QUANTITY AND LOCATION TO BE VERIFIED WITH TENANT PRIOR TO INSTALLATION AND TO COMPLY WITH SECTION 510 OF THE IECC.
 - WHEN MORE THAN ONE SMOKE ALARM IS INSTALLED, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THAT INDIVIDUAL SURFACE MOUNTED 15-11/16" PARKING FIXTURE
 - HANGING FLOURESCENT FIXTURE
 - COVE LIGHTING

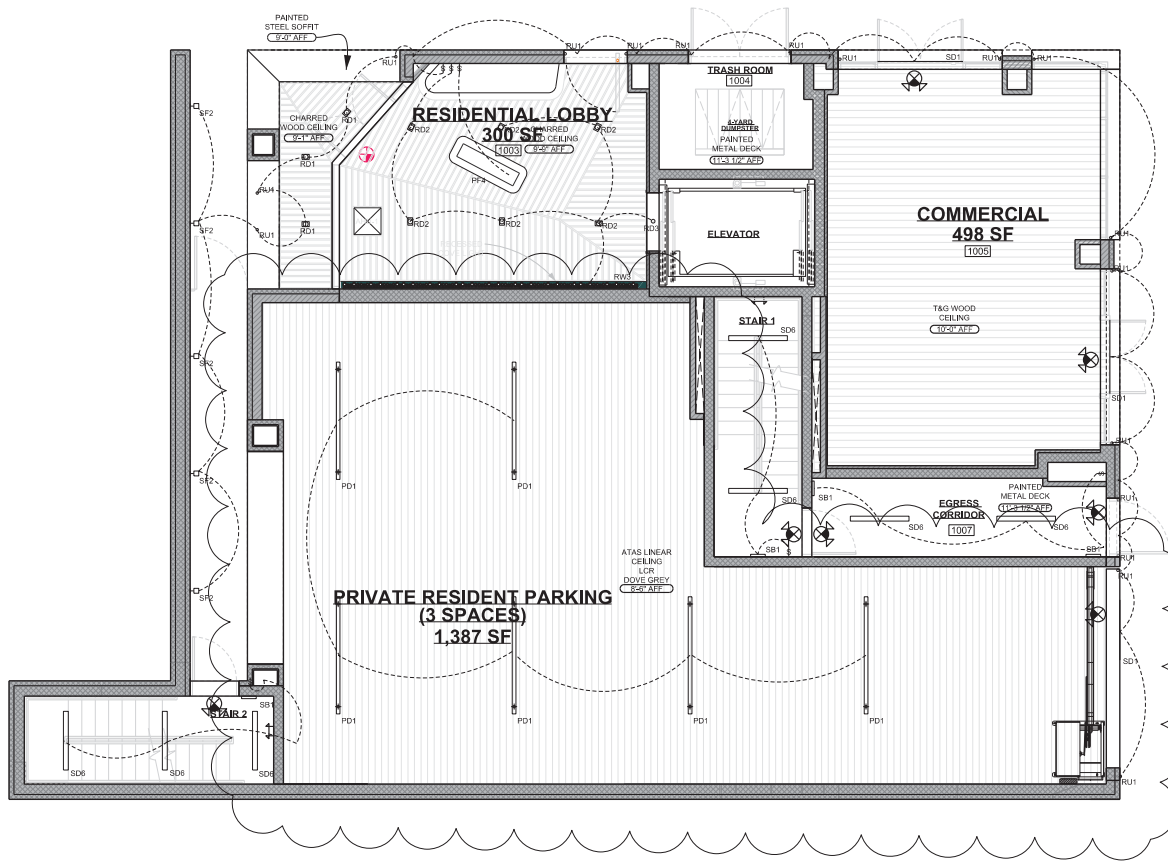
MARCHITECTS LLC
PHILADELPHIA, PA 19106
www.marchitects-llc.com

MORRISSEY DESIGN LLC
PHILADELPHIA, PA 19107
www.morrisseydesign.com

NO. RA 405135

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

DATE	05/29/22
ISSUE	
PERMIT SET	
PROPOSED CELLAR RCP	
SCALE: AS NOTED	
A-700	



1/A-701 PROPOSED LEVEL 1 RCP
1/8" = 1'-0"

RCP LEGEND:

⌘ SWITCH

⌘ 3-WAY SWITCH

■ EXHAUST FAN TO VENT AIR TO EXTERIOR WITHOUT RECIRCULATION TO ANY SPACE PER PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2

CEILING HEIGHT ABOVE FINISH FLOOR

GENERAL NOTES:

1. ALL LIGHTING FIXTURES ARE SHOWN FOR LOCATION ONLY. SEE LIGHTING DRAWINGS FOR SPECIFICATIONS.
2. SEE ELECTRICAL DRAWINGS FOR ALL LIFE SAFETY DEVICES NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTING, AND SMOKE DETECTORS.
3. ALL CEILINGS PAINTED WHITE, U.O.N.
4. ALL LIGHTING LEVELS SHALL COMPLY WITH THE IECC TABLE 505.5.2 REQUIREMENTS
5. LIGHT SWITCHING QUANTITY AND LOCATION TO BE VERIFIED WITH TENANT PRIOR TO INSTALLATION AND TO COMPLY WITH SECTION 510 OF THE IECC.
6. WHEN MORE THAN ONE SMOKE ALARM IS INSTALLED, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE AREA.

○ SURFACE MOUNTED 15-1 1/16" PARKING FIXTURE

□ HANGING FLOURESCENT FIXTURE

— COVE LIGHTING

M ARCHITECTS LLC
PHILADELPHIA, PA 19106
www.marchitects-llc.com

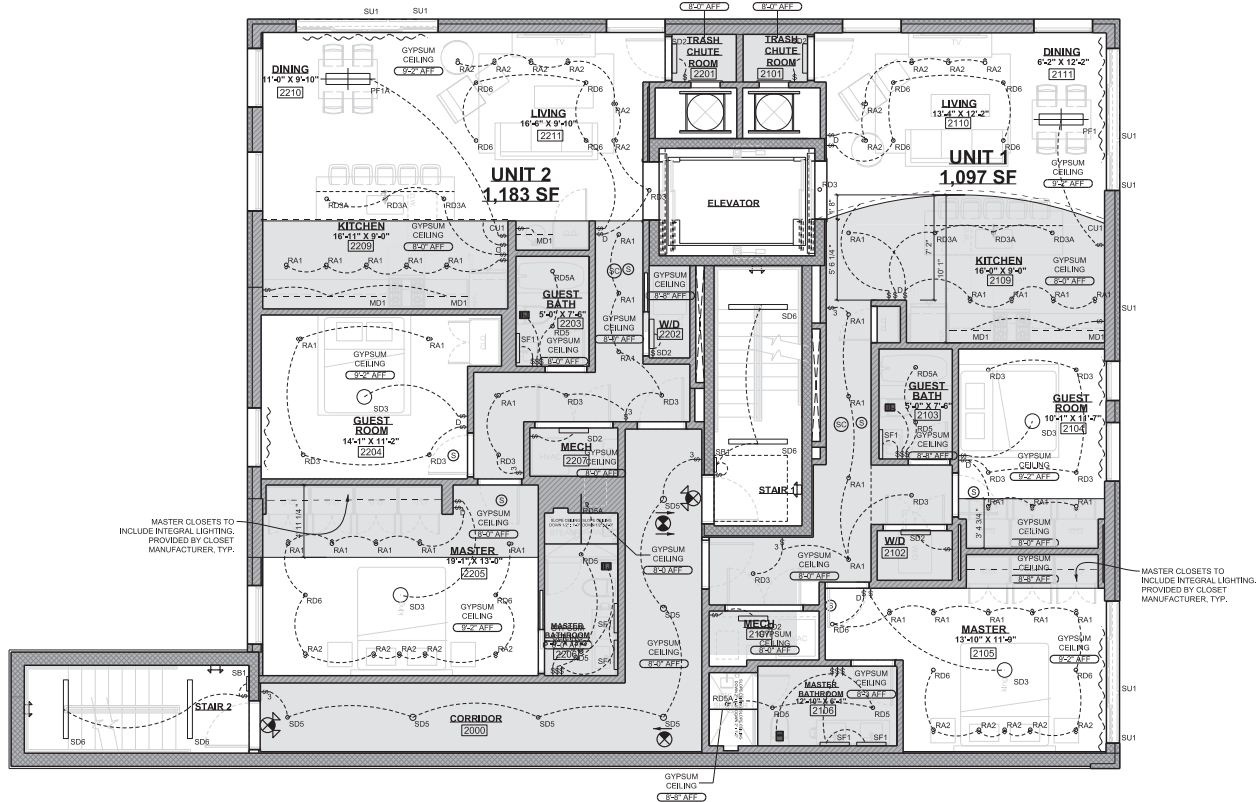
MORRISSEY DESIGN LLC
PHILADELPHIA, PA 19106
www.morrissey-design.com

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

NO. RA 405135

© 2022 M ARCHITECTS

DATE:	05.09.22
ISSUE:	06.02.22
PERMIT SET	
PERMIT SET - REVISION 1	
PROPOSED LEVEL 1 RCP	
SCALE: AS NOTED	
A-701	



1/A-702 PROPOSED LEVEL 2 RCP
1/8" = 1'-0"

- RCP LEGEND:**
- ⌘ SWITCH
 - ⌘ 3-WAY SWITCH
 - EXHAUST FAN TO VENT AIR TO EXTERIOR WITHOUT RECIRCULATION TO ANY SPACE PER PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2
 - CEILING HEIGHT ABOVE FINISH FLOOR

- GENERAL NOTES:**
- ALL LIGHTING FIXTURES ARE SHOWN FOR LOCATION ONLY. SEE LIGHTING DRAWINGS FOR SPECIFICATIONS.
 - SEE ELECTRICAL DRAWINGS FOR ALL LIFE SAFETY DEVICES NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTING, AND SMOKE DETECTORS.
 - ALL CEILINGS PAINTED WHITE, U.O.N.
 - ALL LIGHTING LEVELS SHALL COMPLY WITH THE IECC TABLE 505.5.2 REQUIREMENTS.
 - LIGHT SWITCHING QUANTITY AND LOCATION TO BE VERIFIED WITH TENANT PRIOR TO INSTALLATION AND TO COMPLY WITH SECTION 510 OF THE IECC.
 - WHEN MORE THAN ONE SMOKE ALARM IS INSTALLED, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE UNIT.
 - 15-1/16" PARKING FIXTURE
 - HANGING FLOURESCENT FIXTURE
 - COVE LIGHTING



MARCHITECTS LLC
MORRISSEY DESIGN LLC
4500 MAIN STREET | PHILADELPHIA, PA 19107 | 215.484.3751
www.morrisseydesign.com



NO. RA 405135

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

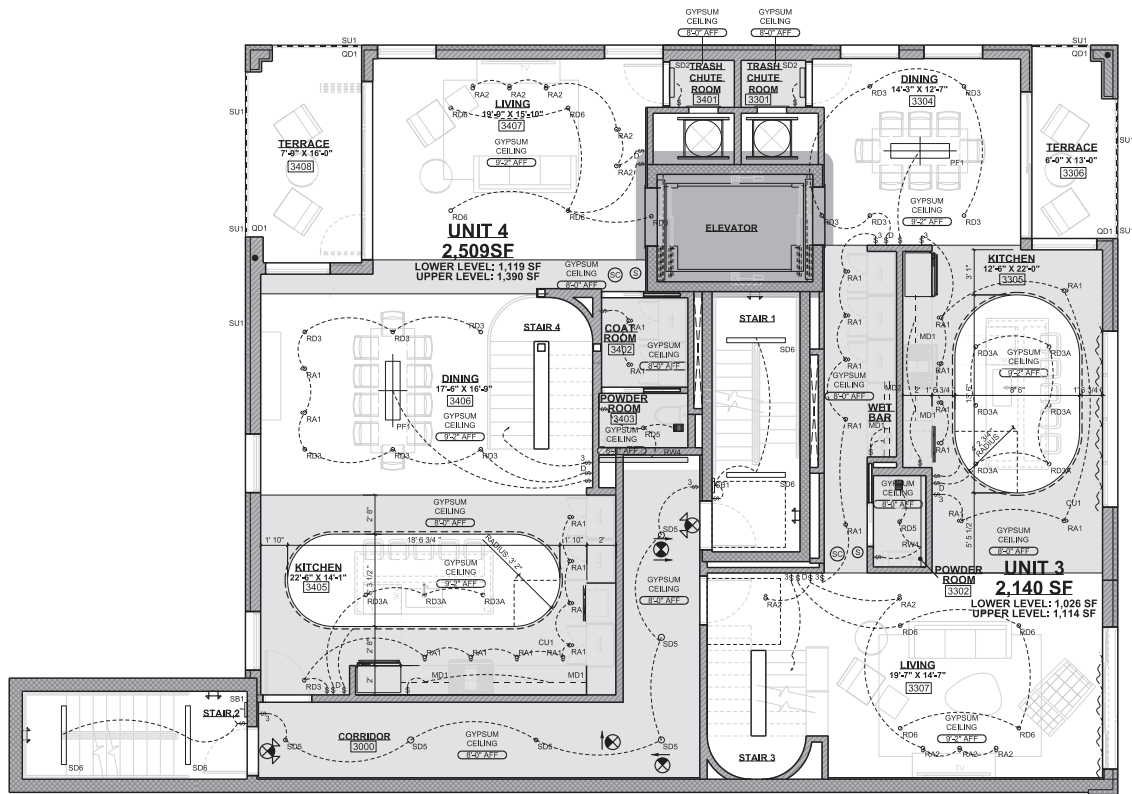
© 2022 MARCHITECTS

DATE	05/29/22
ISSUE	
PERMIT SET	

PROPOSED LEVEL 2 RCP

SCALE: AS NOTED

A-702



1/A-703 PROPOSED LEVEL 3 RCP
1/8" = 1'-0"

- RCP LEGEND:**
- ⌘ SWITCH
 - ⌘ 3-WAY SWITCH
 - EXHAUST FAN TO VENT AIR TO EXTERIOR WITHOUT RECIRCULATION TO ANY SPACE PER PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2
 - CEILING HEIGHT ABOVE FINISH FLOOR
- GENERAL NOTES:**
1. ALL LIGHTING FIXTURES ARE SHOWN FOR LOCATION ONLY. SEE LIGHTING DRAWINGS FOR SPECIFICATIONS.
 2. SEE ELECTRICAL DRAWINGS FOR ALL LIFE SAFETY DEVICES NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTING, AND SMOKE DETECTORS.
 3. ALL CEILINGS PAINTED WHITE, U.O.N.
 4. ALL LIGHTING LEVELS SHALL COMPLY WITH THE IECC TABLE 505.5.2 REQUIREMENTS
 5. LIGHT SWITCHING QUANTITY AND LOCATION TO BE VERIFIED WITH TENANT PRIOR TO INSTALLATION AND TO COMPLY WITH SECTION 505 OF THE IECC.
 6. WHEN MORE THAN ONE SMOKE ALARM IS INSTALLED, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THAT INDIVIDUAL UNIT.
- 16-11/16" PARKING FIXTURE SURFACE MOUNTED
 - HANGING FLOURESCENT FIXTURE
 - COVE LIGHTING

MARCHITECTS LLC
160 N 2ND STREET | PHILADELPHIA, PA 19106

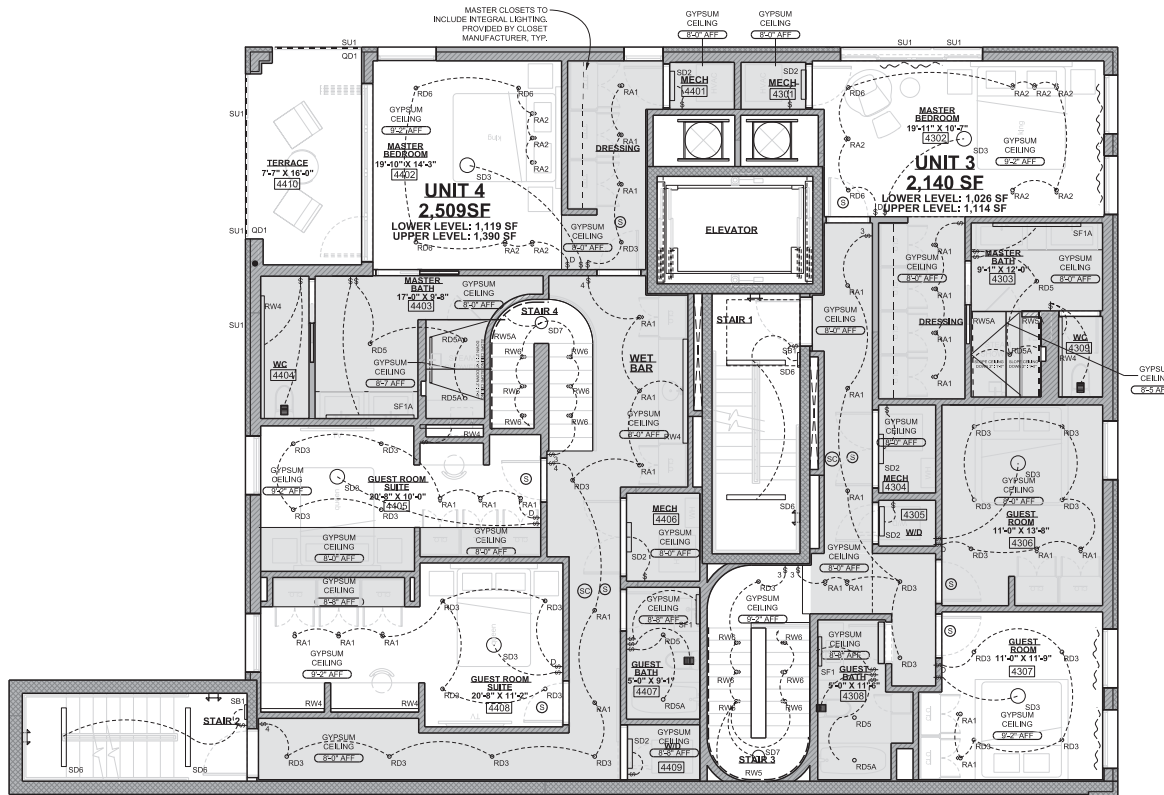
MORRISSEY DESIGN LLC
458 N 3RD STREET | PHILADELPHIA, PA 19107

NO. RA 405135

THE BEN

160-164 N 2ND STREET | PHILADELPHIA, PA 19106

ISSUE	DATE	BY	CHECKED	DATE	SCALE: AS NOTED
	05/29/22				
PERMIT SET					
PROPOSED LEVEL 3 RCP					
A-703					



1/A-704 PROPOSED LEVEL 4 RCP
1/8" = 1'-0"

RCP LEGEND:

SWITCH

3-WAY SWITCH

EXHAUST FAN TO VENT AIR TO EXTERIOR WITHOUT RECIRCULATION TO ANY SPACE PER PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2

CEILING HEIGHT ABOVE FINISH FLOOR

GENERAL NOTES:

- ALL LIGHTING FIXTURES ARE SHOWN FOR LOCATION ONLY. SEE LIGHTING DRAWINGS FOR SPECIFICATIONS.
- SEE ELECTRICAL DRAWINGS FOR ALL LIFE SAFETY DEVICES NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTING, AND SMOKE DETECTORS.
- ALL CEILINGS PAINTED WHITE, U.O.N.
- ALL LIGHTING LEVELS SHALL COMPLY WITH THE IECC TABLE 505.2 REQUIREMENTS
- LIGHT SWITCHING QUANTITY AND LOCATION TO BE VERIFIED WITH TENANT PRIOR TO INSTALLATION AND TO COMPLY WITH SECTION 505 OF THE IECC.
- WHEN MORE THAN ONE SMOKE ALARM IS INSTALLED, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE UNIT.

15-11/16" PARKING FIXTURE SURFACE MOUNTED

HANGING FLOURESCENT FIXTURE

COVE LIGHTING

MARCHITECTS LLC

MORRISSEY DESIGN LLC

4300 W. MARKET STREET | PHILADELPHIA, PA 19106

NO. RA 405135

THE BEN

160-164 N 2ND STREET | PHILADELPHIA, PA 19106

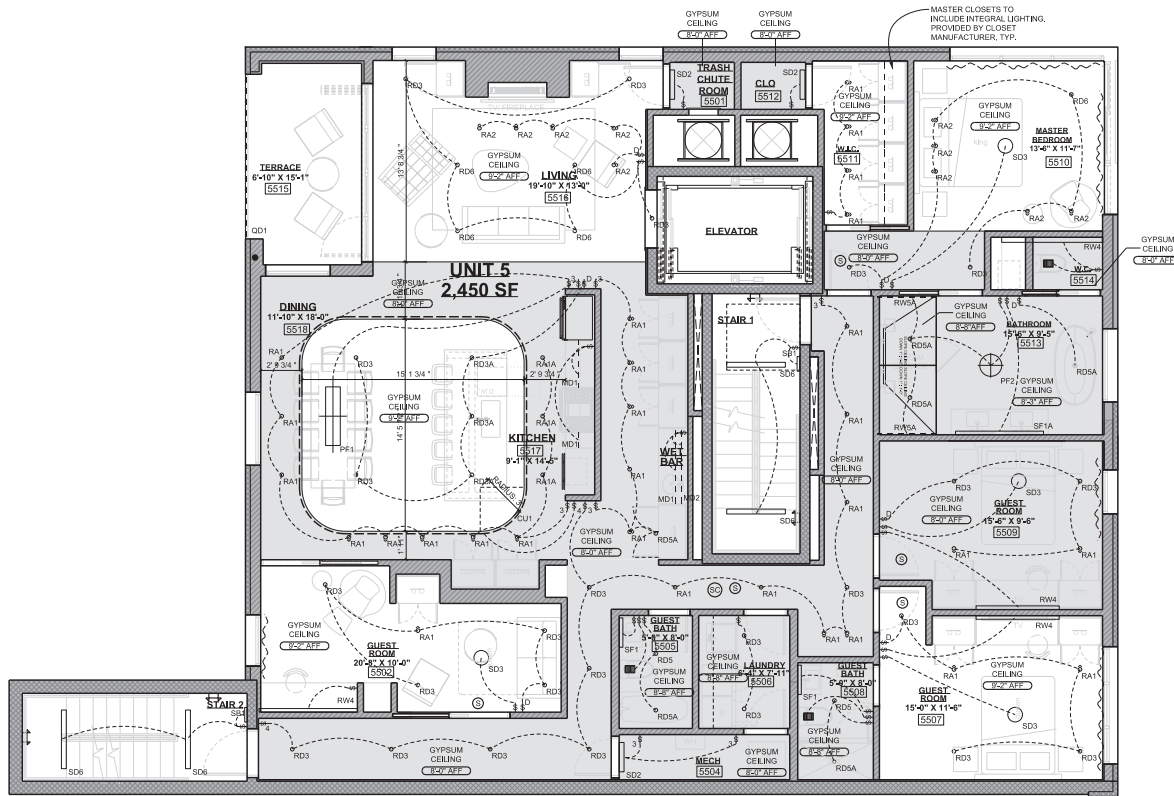
© 2022 MARCHITECTS

DATE:	05/29/22
ISSUE:	
PERMIT SET:	

PROPOSED LEVEL 4 RCP

SCALE: AS NOTED

A-704



1/A-705 PROPOSED LEVEL 5 RCP
1/8" = 1'-0"

- RCP LEGEND:**
- SWITCH
 - 3-WAY SWITCH
 - EXHAUST FAN TO VENT AIR TO EXTERIOR WITHOUT RECIRCULATION TO ANY SPACE PER PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2
 - CEILING HEIGHT ABOVE FINISH FLOOR
- GENERAL NOTES:**
- ALL LIGHTING FIXTURES ARE SHOWN FOR LOCATION ONLY. SEE LIGHTING DRAWINGS FOR SPECIFICATIONS.
 - SEE ELECTRICAL DRAWINGS FOR ALL LIFE SAFETY DEVICES NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTING, AND SMOKE DETECTORS.
 - ALL CEILINGS PAINTED WHITE, U.O.N.
 - ALL LIGHTING LEVELS SHALL COMPLY WITH THE IECC TABLE 505.2.2 REQUIREMENTS.
 - LIGHT SWITCHING QUANTITY AND LOCATION TO BE VERIFIED WITH TENANT PRIOR TO INSTALLATION AND TO COMPLY WITH SECTION 505 OF THE IECC.
 - WHEN MORE THAN ONE SMOKE ALARM IS INSTALLED, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE UNIT.
 - SMOKE ALARMS MOUNTED 15-11/16" PARKING FIXTURE
 - HANGING FLOURESCENT FIXTURE
 - COVE LIGHTING

MARCHITECTS LLC
RA 405135

MORRISSEY DESIGN LLC
4380 MAIN STREET | PHILADELPHIA, PA 19107 | 215.484.3751 | www.morrisseydesign.com

THE BEN

160-164 N 2ND STREET | PHILADELPHIA, PA 19106

NO. RA 405135

DATE: 05/29/22

ISSUE: PERMIT SET

PROPOSED LEVEL 5 RCP

SCALE: AS NOTED

A-705



MARCHITECTS LLC
PALDENSE # A0711028

MORRISSEY DESIGN LLC
596 MAIN STREET | PHILADELPHIA PA 19127 | 215.940.3751 | www.morrissey-design.com



NO. RA 405135

THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106

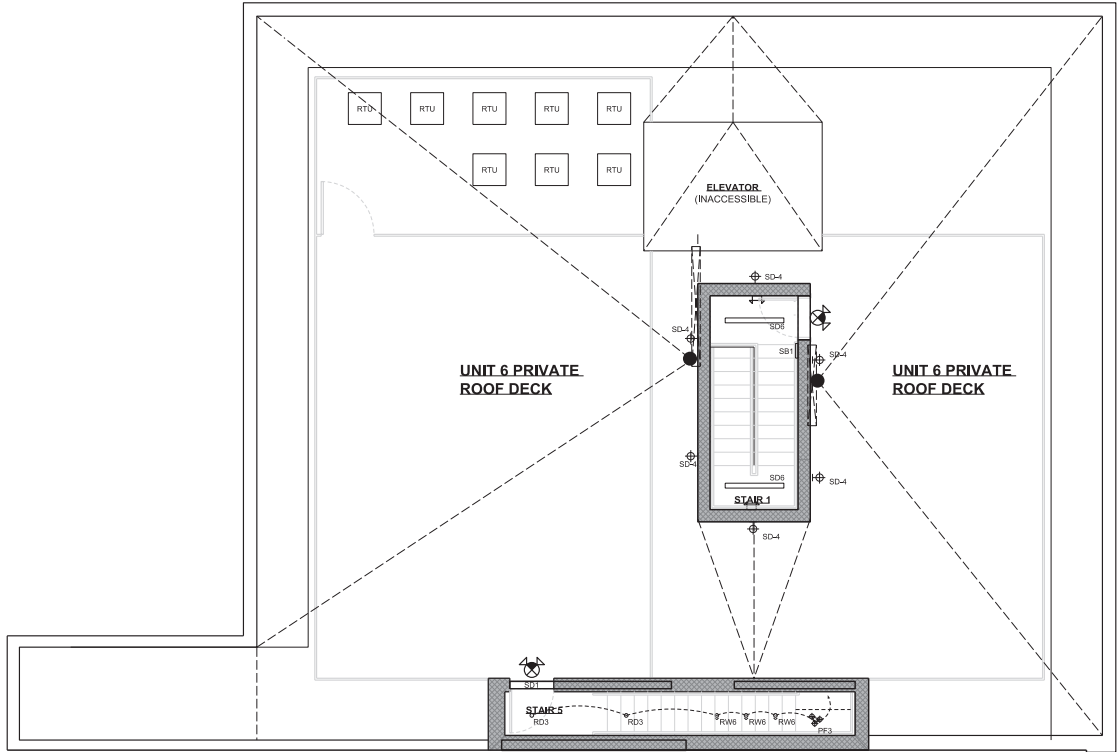
© 2022 M. ARCHITECTS

ISSUE:	DATE:
PERMIT SET	05.09.22

PROPOSED
LEVEL 6
RCP

SCALE: AS NOTED

A-706



1/A-707 PROPOSED ROOF DECK RCP
1/8" = 1'-0"

RCP LEGEND:

SWITCH

3-WAY SWITCH

EXHAUST FAN TO VENT AIR TO EXTERIOR WITHOUT RECIRCULATION TO ANY SPACE PER PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2

CEILING HEIGHT ABOVE FINISH FLOOR

GENERAL NOTES:

1. ALL LIGHTING FIXTURES ARE SHOWN FOR LOCATION ONLY. SEE LIGHTING DRAWINGS FOR SPECIFICATIONS.

2. SEE ELECTRICAL DRAWINGS FOR ALL LIFE SAFETY DEVICES NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTING, AND SMOKE DETECTORS.

3. ALL CEILINGS PAINTED WHITE, U.O.N.

4. ALL LIGHTING LEVELS SHALL COMPLY WITH THE IECC TABLE 505.5.2 REQUIREMENTS

5. LIGHT SWITCHING QUANTITY AND LOCATION TO BE VERIFIED WITH TENANT PRIOR TO INSTALLATION AND TO COMPLY WITH SECTION 505 OF THE IECC

6. WHEN MORE THAN ONE SMOKE ALARM IS INSTALLED, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THAT INDIVIDUAL UNIT

SURFACE MOUNTED 15-11/16" PARSING FIXTURE

HANGING FLOURESCENT FIXTURE

COVE LIGHTING

MARCHITECTS LLC

MORRISSEY DESIGN LLC

PHILADELPHIA, PA 19106

160-164 N 2ND STREET | PHILADELPHIA, PA 19106

NO. RA 405135

© 2022 M ARCHITECTS

DATE: 02.02.22

ISSUE: PERMIT SET

PROPOSED ROOF DECK RCP

SCALE: AS NOTED

A-707

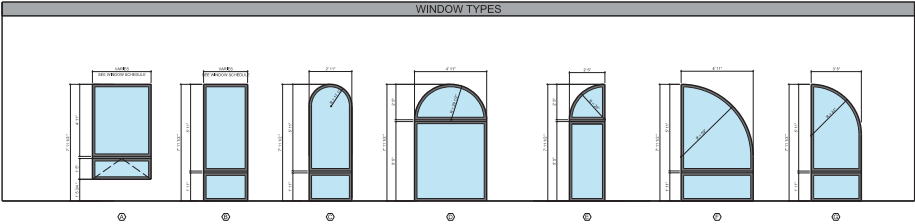
ISSUE:	DATE:
PERMIT SET	05.09.22
PERMIT SET - REVISION 1	06.02.22

**DOOR
TYPES &
SCHEDULE**

SCALE: AS NOTED

A-900





WINDOW SCHEDULE									
WINDOW SYMBOL	QTY.	WXH	ROUGH OPENING (WXH)	HEAD HEIGHT	TYPE	MATERIAL	MFR.	MODEL NO.	NOTES
A		3'-11" X 4'-11" 3'-11" X 1'-5"	3'-11 3/4" X 6'-5 1/2"	7'-11 1/2"	A	WOOD, ALUMINUM CLAD EXTERIOR	PELLA LIFESTYLE SERIES	4759 FIXED, 4717 VENT	EXTERIOR FINISH: ALUMINUM CLAD - RON ORE INTERIOR FINISH: PREFINISHED STAIN - EARLY AMERICAN
A1		2'-8" X 4'-11" 2'-8" X 1'-5"	2'-8 3/4" X 6'-5 1/2"	7'-11 1/2"	A	WOOD, ALUMINUM CLAD EXTERIOR	PELLA LIFESTYLE SERIES	3259 FIXED, 3217 VENT	EXTERIOR FINISH: ALUMINUM CLAD - RON ORE INTERIOR FINISH: PREFINISHED STAIN - EARLY AMERICAN
B		2'-11" X 5'-11" 2'-11" X 1'-11"	2'-11 3/4" X 5'-11 3/4" 2'-11 3/4" x 1'-11 3/4"	7'-11 1/2"	B	WOOD, ALUMINUM CLAD EXTERIOR	PELLA LIFESTYLE SERIES	3571 FIXED, 3523 FIXED	EXTERIOR FINISH: ALUMINUM CLAD - RON ORE INTERIOR FINISH: PREFINISHED STAIN - EARLY AMERICAN
B1		3'-5" X 5'-11" 3'-5" X 1'-11"	3'-5 3/4" X 5'-11 3/4" 3'-5 3/4" x 1'-11 3/4"	7'-11 1/2"	B	WOOD, ALUMINUM CLAD EXTERIOR	PELLA LIFESTYLE SERIES	4171 FIXED, 4123 FIXED	EXTERIOR FINISH: ALUMINUM CLAD - RON ORE INTERIOR FINISH: PREFINISHED STAIN - EARLY AMERICAN
B2		4'-5" X 5'-11" 4'-5" X 1'-11"	4'-5 3/4" X 5'-11 3/4" 4'-5 3/4" x 1'-11 3/4"	7'-11 1/2"	B	WOOD, ALUMINUM CLAD EXTERIOR	PELLA LIFESTYLE SERIES	5371 FIXED, 5323 FIXED	EXTERIOR FINISH: ALUMINUM CLAD - RON ORE INTERIOR FINISH: PREFINISHED STAIN - EARLY AMERICAN
C		2'-11" X 5'-11" 2'-11" X 1'-11"	2'-11 3/4" X 5'-11 3/4" 2'-11 3/4" x 1'-11 3/4"	7'-11 1/2"	C	WOOD, ALUMINUM CLAD EXTERIOR	PELLA LIFESTYLE SERIES	3523 FIXED, 3571 FULL SPRINGLINE FIXED	EXTERIOR FINISH: ALUMINUM CLAD - RON ORE INTERIOR FINISH: PREFINISHED STAIN - EARLY AMERICAN
D		4'-11" X 5'-5" 4'-11" X 2'-5"	4'-11 3/4" X 5'-5 3/4" 4'-11 3/4" x 2'-5 3/4"	7'-11 1/2"	D	WOOD, ALUMINUM CLAD EXTERIOR	PELLA LIFESTYLE SERIES	5955 FIXED, 5929 HALF CIRCLE FIXED	EXTERIOR FINISH: ALUMINUM CLAD - RON ORE INTERIOR FINISH: PREFINISHED STAIN - EARLY AMERICAN
E		2'-5" X 5'-5" 2'-5" X 2'-5"	2'-5 3/4" X 5'-5 3/4" 2'-5 3/4" x 2'-5 3/4"	7'-11 1/2"	E	WOOD, ALUMINUM CLAD EXTERIOR	PELLA LIFESTYLE SERIES	2955 FIXED, 2929 QUARTER CIRCLE FIXED	EXTERIOR FINISH: ALUMINUM CLAD - RON ORE INTERIOR FINISH: PREFINISHED STAIN - EARLY AMERICAN
F		4'-11" X 5'-11" 4'-11" X 1'-11"	4'-11 3/4" X 5'-11 3/4" 4'-11 3/4" x 1'-11 3/4"	7'-11 1/2"	F	WOOD, ALUMINUM CLAD EXTERIOR	PELLA LIFESTYLE SERIES	5923 FIXED, 5971 PARTIAL SPRINGLINE FIXED	EXTERIOR FINISH: ALUMINUM CLAD - RON ORE INTERIOR FINISH: PREFINISHED STAIN - EARLY AMERICAN
G		3'-5" X 5'-11" 3'-5" X 1'-11"	3'-5 3/4" X 5'-11 3/4" 3'-5 3/4" x 1'-11 3/4"	7'-11 1/2"	G	WOOD, ALUMINUM CLAD EXTERIOR	PELLA LIFESTYLE SERIES	4123 FIXED, 4171 PARTIAL SPRINGLINE FIXED	EXTERIOR FINISH: ALUMINUM CLAD - RON ORE INTERIOR FINISH: PREFINISHED STAIN - EARLY AMERICAN



MORRISSEY DESIGN LLC
4598 VAN STREET | PHILADELPHIA, PA 19107 | 215.643.3751
www.morrisseydesign.com



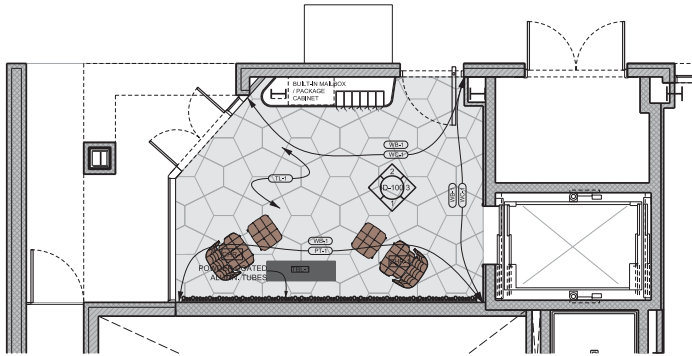
THE BEN
160-164 N 2ND STREET | PHILADELPHIA, PA 19106
NO. RA 405135

ISSUE	DATE
PERMIT SET	04/29/22

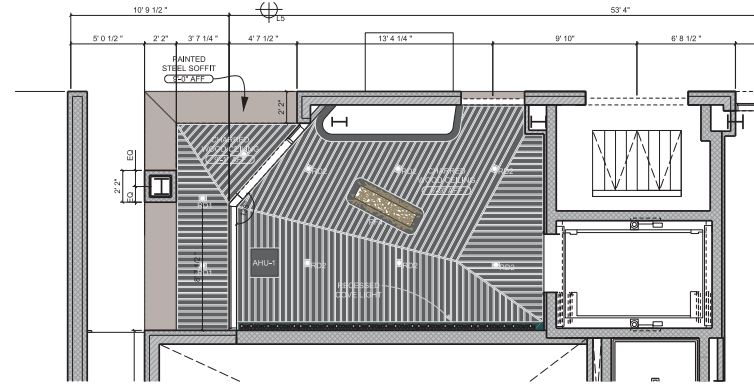
WINDOW TYPES & SCHEDULE

SCALE: AS NOTED

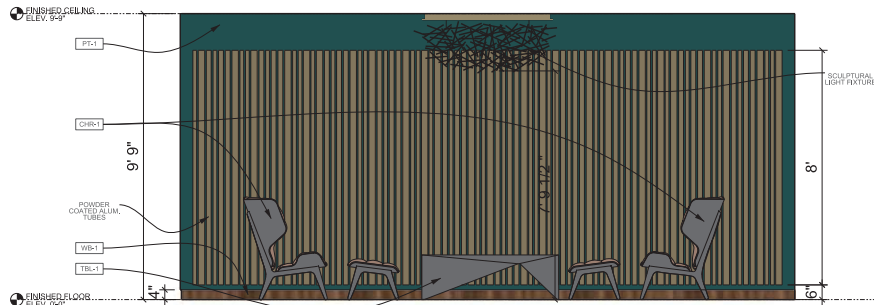
A-901



1/D-101 PROPOSED LOBBY FINISH PLAN
1/8" = 1'-0"



2/D-101 PROPOSED LOBBY REFLECTED CEILING PLAN
1/8" = 1'-0"



3/D-101 PROPOSED LOBBY ELEVATION @ FEATURE WALL
1/8" = 1'-0"



4/D-101 PROPOSED LOBBY ELEVATION @ MAILBOXES
1/8" = 1'-0"



5/D-101 PROPOSED LOBBY ELEVATION @ ELEVATOR WALL
1/8" = 1'-0"