

**ADDRESS: 305 N FRONT ST**

Proposal: Renovate building; rebuild facades; add deck and pilot house

Review Requested: Final Approval

Owner: 305 Front Street Land Trust

Applicant: Ben Estepani, PACE Architecture + Design

History: 1845; Glass block infill added

Individual Designation: None

District Designation: Old City Historic District, Contributing, 12/12/2003

Staff Contact: Megan Cross Schmitt, [megan.schmitt@phila.gov](mailto:megan.schmitt@phila.gov), 215-686-7660

**OVERVIEW:** The property at 305 N. Front Street is a four-story, three-bay, painted brick, vernacular building constructed ca. 1845, and is considered a contributing structure within the Old City Historic District. The rear (east) elevation faces N. Water Street and has five stories with a garage door at the first floor and three bays of glass-block-infilled windows at stories two through five.

The Architectural Committee reviewed an earlier version of this project. After the January 2022 Architectural Committee meeting, the applicant withdrew an application. The applicant now presents revised plans and a report from a structural engineer assessing the deteriorated conditions of the building.

The applicant proposes to remove and reconstruct the existing brick from the front and rear facades. At the N. Front Street façade, the applicant proposes to clad the first story in cast stone and clad stories two through four in a red brick veneer to match existing. The first story of the N. Water Street façade proposes a new garage door with cast-stone surround, with floors two through five clad in a red brick veneer to match existing.

The applicant now proposes a fenestration pattern at the N. Front Street façade that appears to replicate the locations of the original windows. Casement windows are proposed using a simulated divided lite pattern that attempts to approximate a six-over-six, double-hung window, the original window type. Sills and headers would be limestone.

At the N. Water Street elevation, the fenestration pattern is altered from the historic pattern. At stories two through five, balconies with double-doors are proposed at the middle bay, which are flanked by casement windows like the ones proposed for the front. A new garage door with a cast stone surround is proposed at the ground story.

A roof deck and pilot house are proposed with six-foot setbacks from both the east and west facades. The pilot house is located at the south side of the building and would be clad in siding.

**SCOPE OF WORK:**

- Remove and reconstruct brick facades at front and rear;
- Construct roof deck and pilot house.

**STANDARDS FOR REVIEW:**

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

- The extent of the historic brick that is proposed for demolition does not satisfy Standard 9.
- Any historic storefront material that exists beneath the altered N. Front Street façade should be preserved and restored.
- The proposed reconstruction does not reflect existing physical and archival evidence of the building's historic conditions. Given the availability of such evidence, the proposed reconstruction should more closely reflect the historic facades in terms of fenestration, window type, and façade materials.

**STAFF RECOMMENDATION:** Denial, pursuant to Standard 9.

**MAPS & IMAGES:**

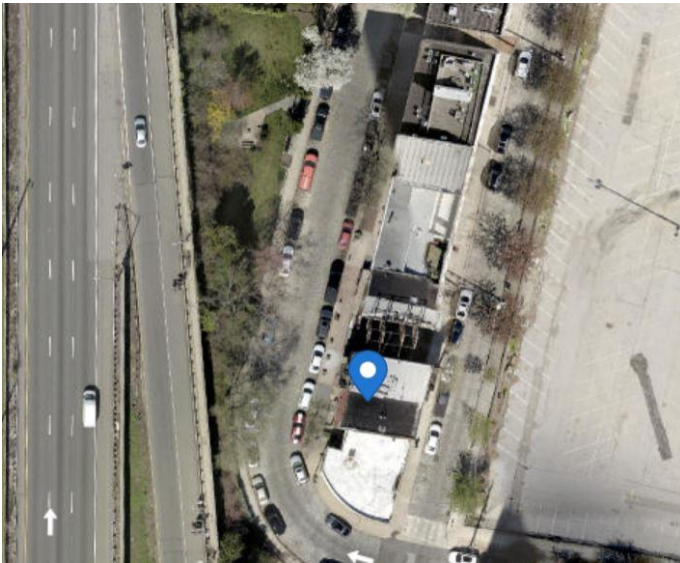


Figure 1: 2020 aerial showing 305 N. Front Street. Source: Atlas.



Figure 2: Front (west) facade of 305 N. Front Street. Source: Google.



Figure 3: Rear (east) facade of 305 N. Front Street. Source: Google.



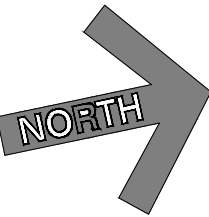
Figure 4: PHC file photo showing 303-307 N. Front Street, ca. 1919. Source: PHC.



ABBREVIATION

ABV	Above	FNV	Feminine Napkin Vendor	P	Page
AP	Access Panel	FBD	Fiberboard	PR	Par
ACS	Acoustic	FGL	Fiberglass	PNL	Panel
ACT	Acoustical Ceiling Tile	FIN	Finish	PTD	Paper Towel Dispenser
AD	Area Drain	FFL	Finish Floor	PTR	Paper Towel Receptacle
ADD	Addendum	FFE	Finish Floor Elevation	PAR	Parallel
ADDL	Additional	FGD	Finish Grade	PBD	Particle Board
ADH	Adhesive	FF	Finish (ed) Face	PTN	Portillon
ADJ	Adjacent	FA	Fire Alarm	PVMT	Pavement
ADJT	Adjustable	FEC	Fire Extinguisher Cabinet	PERF	Perforate (d)
AFF	Above Finish Floor	FRC	Fire-resistant Coating	PERI	Perimeter
AGG	Aggregate	FRT	Fire-retardant	PERP	Perpendicular
AC	Air Conditioning	FFP	Fireproof (ing)	PLAS	Plastic
ALT	Alternate	FXD	Fixed	PLAM	Plastic Laminate
ALUM	Aluminum	FLG	Flashing	PL	Plate
AB	Anchor Bolt	FLX	Flexible	PNT	Paint (ed)
ANOD	Anodized	FLR	Floor	PLYWD	Plywood
APPROX	Approximate	FD	Floor Drain	PT	Point
ARCH	Architect (ural)	FLUOR	Fluorescent	PSF	Pounds Per Square Foot
ASPH	Asphalt (ic)	FT	Foot (feet)	PSI	Pounds Per Square Inch
AUTO	Automatic	FTG	Footing	PIP	Poured In Place
AVG	Average	FDN	Foundation	PFB	Prefabricated
		FR	Frame (d) (ing)	PFN	Prefinished
		FS	Full Size	PFM	Preformed
BBD	Base Board	FBO	Furnish By Others	PMF	Premolded Filler
BSMT	Basement	FOIC	Furnished By Owner,	PRT	Pressure Treated
BAL	Bal		Installed By Contractor	PROJ	Project
BEL	Below	FURN	Furnish (ed)	QTR	Quarter
BMK	Bench Mark	FUR	Furred (ing)		
BET	Between	FUT	Future		
BYD	Beyond			RAD	Radius
BIT	Bituminous	GA	Gage (Gauge)	REC	Recessed
BLK	Black	GAL	Gallon	RECT	Rectangular
BLKG	Blocking	GALV	Galvanize (d)	REF	Reference
BLS	Bluestone	GSM	Galvanized Sheet Metal	RP	Reference Point
BD	Board	GSTL	Galvanized Steel	RFL	Reflect (ed)
BS	Both Sides	GL	Glass	REFR	Refrigerator
BOT	Bottom	GFRG	Glass Fiber Reinforced Gyp.	REG	Reglet
BOC	Bottom Of Concrete	GLZ	Glaze (d) (ing)	REINF	Reinforcing (ment)
BOF	Bottom Of Footing	GBR	Grab Bar	RLF	Relief
BOS	Bottom Of Steel	GD	Grade (ing)	RMV	Remove (able)
BOW	Bottom Of Wall	GRN	Granite	REQ	Require (d)
BRCG	Bracing	GND	Ground	RES	Resilient
BRKT	Bracket	GWP	Grounded Waterproof Outlet	RTN	Return
BRK	Brick	GT	Grout	RA	Return Air
BC	Brick Course	GPDW	Gypsum Drywall	REV	Revise (d) (ion)
BRZ	Bronze	HNRL	Handrail	RH	Right Hand
BLDG	Building	HDW	Hardware	R	Riser
		HDWD	Hardwood	RD	Roof Drain
CAB	Cabinet	HDR	Header	RCG	Roofing
CPT	Carpet	HTR	Heater	RM	Room
CB	Catch Basin	HTG	Heating	RO	Rough Opening
CK	Caulk	HVAC	Heating, Ventilating	RND	Round
CLG	Ceiling		& Air Conditioning	RBR	Rubber
CEM	Cement	IHT	Height	RWC	Rain Water Collector
CTR	Center	HEX	Hexagonal		
CL	Center Line	HP	High Point	SFGL	Safety Glass
CT	Ceramic Tile	HM	Hollow Metal	SCHD	Schedule
CHBD	Chalkboard	HMDRF	Hollow Metal Door Frame	SCN	Screen
CHAM	Chamber	HK	Hook	SNT	Sedant
C	Channel	HORIZ	Horizontal	SEC	Section
CO	Clean Out	HW	Hot Water	SSK	Service Sink
CLR	Clear (ance)	HWH	Hot Water Heater	SB	Settling Bed
CW	Closet	HR	Hour	SHIH	Sheathing
COW	Cold Water	HYD	Hydrant	SHT	Sheet
COL	Column			SHL	Shelf (Shelving)
COMB	Combination	IN	Inch	SHRG	Shoring
COMP	Computer	INCL	Include (d) (ing)	SIM	Similar
COMPR	Compress (ed) (ion) (ible)	ID	Inside Diameter	SLV	Sleeve
CONC	Concrete	INSUL	Insulate (d) (ing)	SP	Soundproof(ing)
CMU	Concrete Masonry Unit	INT	Interior	S	South
COND	Condition (al)	INV	Invert	SPK	Speaker
CNDT	Conduit			SPL	Special
CONN	Connect (or) (ion)	JAN	Janitor	SPEC	Specification (s)
CONST	Construction	JT	Joint	SFP	Spray Fireproofing
CONT	Continuous	JTF	Joint Filler	SQ	Square
CONTR	Contract (or)			SF	Square Foot
CJT	Control Joint	KPL	Kick Plate	STAG	Staggered
COORD	Coordinate	LBL	Label	SST	Stainless Steel
CPR	Copper	LAD	Ladder	STD	Standard
CORR	Corrugated	LAM	Laminate (d)	STL	Steel
CNTR	Counter	LAV	Lavatory	STOR	Storage
CFL	Counterflashing	LCCPR	Lead Coated Copper	STRUCT	Structure (al)
CS	Countersunk	L	Left	SUR	Surface
CBS	Course (s)	LH	Left Hand	SUSP	Suspended
CVR	Cover	LNG	Length (Long)	SW	Switch
CFT	Cubic Foot	LIG	Lighting	SYM	Symmetrical
CYD	Cubic Yard	LW	Lightweight	SYN	Synthetic
CUS	Custom	LMS	Limestone	SYS	System
		LIN	Lime		
DPR	Damper	TKBD	Tackboard		
DMFP	Dampproofing	TEL	Telephone		
DL	Dead Load	TEMP	Temperature		
DEMO	Demolish (Demolition)	THER	Thermostat		
DEPT	Department	THRESHLD	Threshold		
DEPR	Depress (ed)	THK	Thick (ness)		
DET/DTL	Detail	TLT	Toilet		
DIA	Diameter	TPTN	Toilet Partition		
DIFF	Diffuser	T&G	Tongue And Groove		
DIM	Dimension	TO	Top Of		
DISP	Dispenser	TOC	Top Of Concrete		
DIV	Division	TOF	Top Of Footing		
DR	Door	TOS	Top Of Steel		
DBL	Double	TOW	Top Of Wall		
DWL	Dowel	TD	Towel Dispenser		
DN	Down	TRANS	Transparent		
DS	Down Spout	TR	Tread		
D	Drain	TYP	Typical		
DWR	Drawer				
DWG	Drawing	UCT	Undercut		
		UL	Underwriter's Laboratory		
EA	Each	UNF	Unfinished		
E	East	UNOT	Unless Otherwise Noted		
ELAS	Elastomeric	URTH	Urethane		
ELEC	Electric (al)	U/S	Underside		
EP	Electrical Panel	UTIL	Utility		
EWC	Electrical Water Cooler				
ELEV	Elevation	VB	Vapor Barrier		
EL	Elevator	VNR	Veneer		
EMER	Emergency	VENT	Ventilating		
ENC	Enclosure	VIF	Verify in Field		
ENT	Entrance	VERT	Vertical		
EPX	Epoxy	VCB	Vinyl Cove Base		
EQ	Equal	VCT	Vinyl Composite Tile		
EQP	Equipment	VSB	Vinyl Straight Base		
EST	Estimate	VOL	Volume		
EXC	Excavate (Excavation)				
EXH	Exhaust	WSCT	Wainscot		
EXG	Existing (Existent)	WC	Water Closet		
ED	Existing Dimension	WR	Water Repellent		
EPS	Expanded Polystyrene	WS	Water Stop		
EB	Expansion Bolt	WPF	Waterproof (ing)		
EJTB/EXP JT	Expansion Joint	WT	Weight		
EXP	Expose (d)	WWF	Welded Wire Fabric		
EXT	Exterior	W	West		
EXTR	Extrusion	WF	Wide Flange		
FAB	Fabricate (Fabricator)	WDW	Window		
FB	Face Brick	WM	Wire Mesh		
FO	Face of	WJ	With		
FOB	Face of Building	W/O	Without		
FOC	Face of Concrete	WD	Wood		
FOM	Face of Masonry	WB	Wood Base		
FOS	Face of Stud	WP	Working Point		
FOW	Face of Wall				
FCU	Fan Coil Unit	YD	Yard		
FAS	Fasten (er)				
FND	Feminine Napkin Disposal				

2 PLOT PLAN  
A-000 SCALE: N.T.S.



1 PROPOSED SITE PLAN  
A-000 SCALE: 1/8"=1'-0"

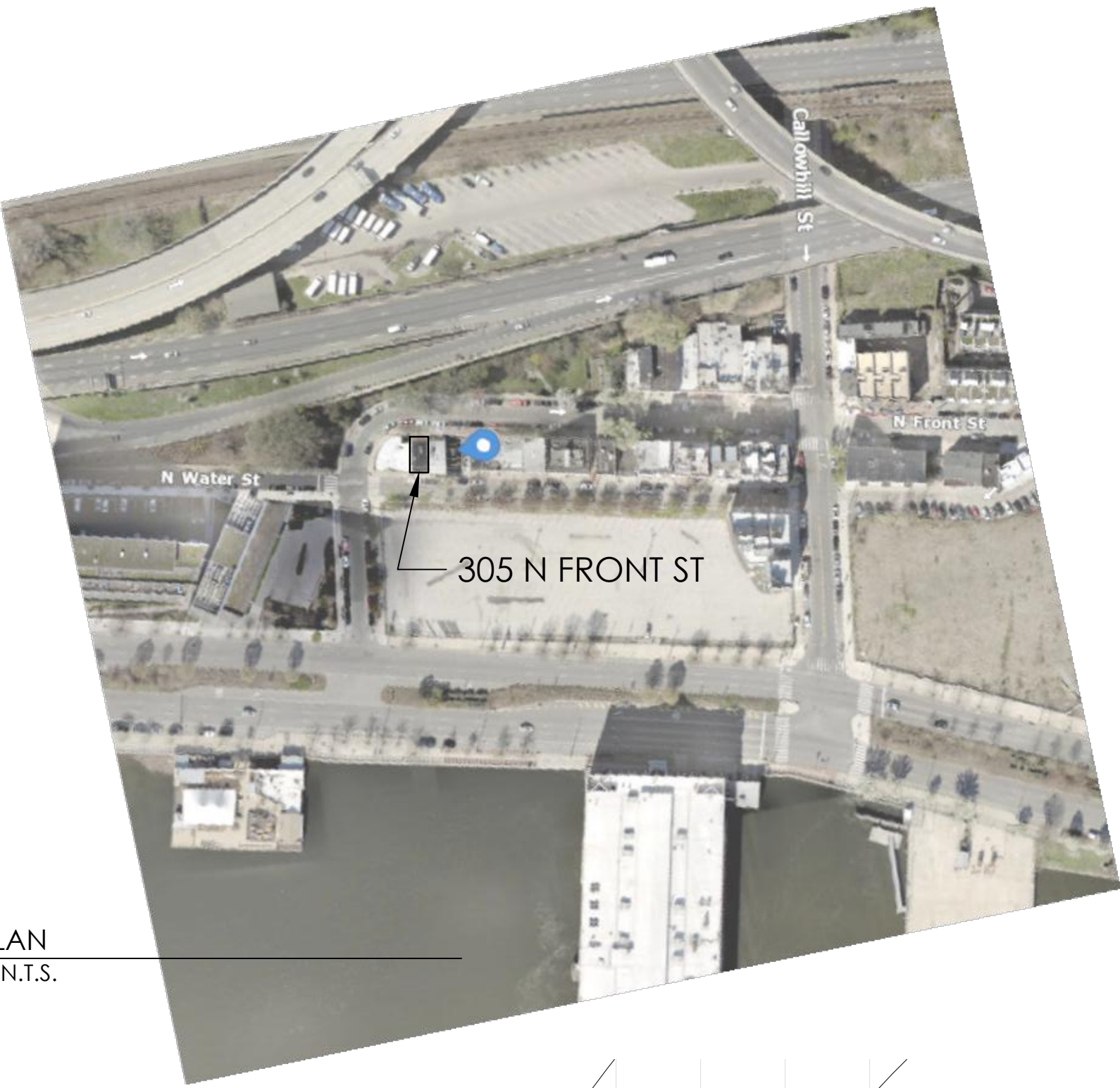
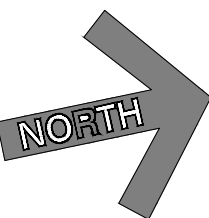


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S-100	STRUCTURAL REPORT

FRONT ST S.F.D.

305 N. FRONT ST PHILADELPHIA, PA 19106

PROJECT SCOPE

RENOVATION TO AN EXISTING SINGLE FAMILY DWELLING. EXISTING FRONT AND REAR FACADE TO BE REMOVED AND REBUILT. NEW REAR BALCONIES AT FIRST - FOURTH FLOORS AND NEW ROOF DECK ACCESSED VIA PILOT HOUSE. EXISTING REAR GARAGE ACCESSED VIA WATER ST TO REMAIN.

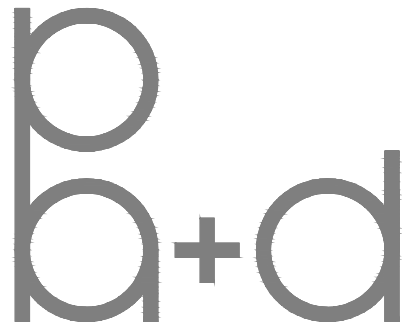
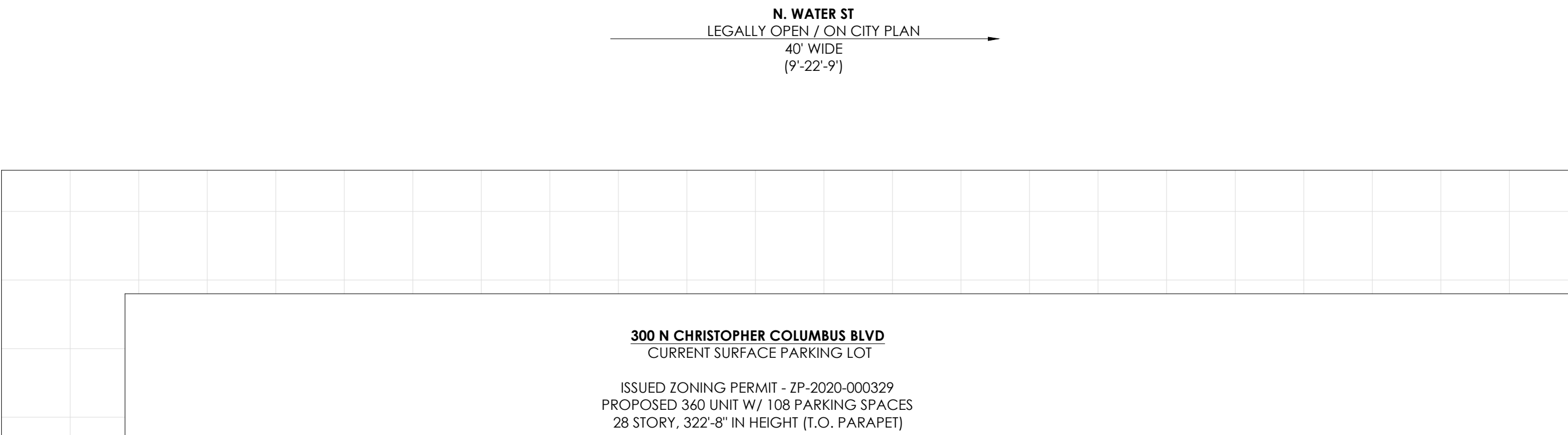
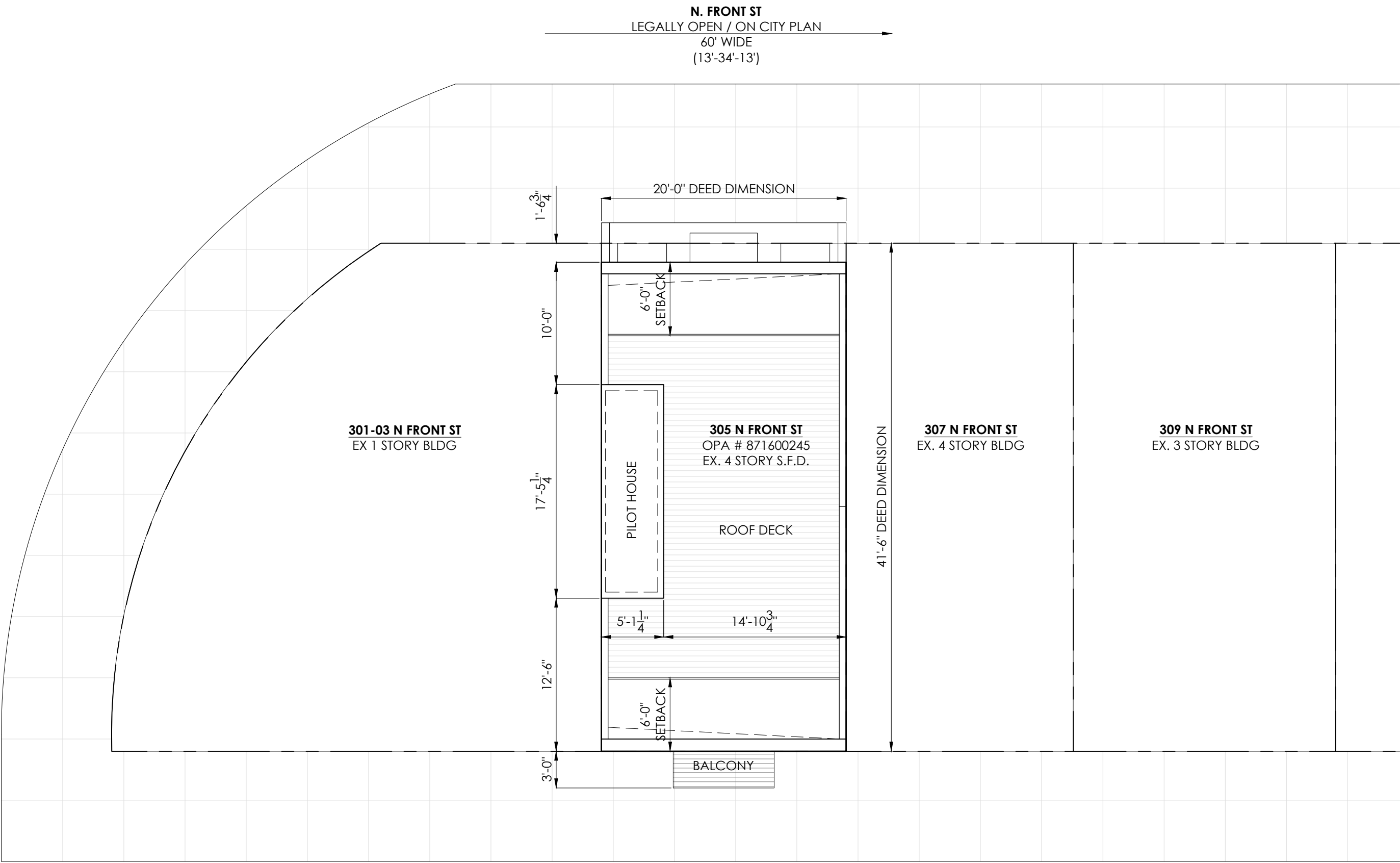
ZONING CRITERIA

ZONING BASE DISTRICT CLASSIFICATION: RM-1

DIMENSIONAL STANDARDS (TABLE 14-701-2)	EXISTING	PROPOSED
MIN LOT WIDTH	16'	20'
MIN STREET FRONTAGE	N/A	N/A
MIN DISTRICT AREA	N/A	N/A
MIN LOT AREA	1,440 SF [1]	830 SF
MAX OCCUPIED AREA	INTERMEDIATE: 75% [2]	96.3
MIN FRONT SETBACK	[5][6]	1-6 3/4'
MIN SIDE YARD	5'	NOT USED
MIN REAR YARD DEPTH	9' [9]	0'
MIN REAR YARD AREA	144 SF [9]	0 SF
MAX BUILDING HEIGHT	38' [5]	38.5%
MAX FLOOR AREA	NO LIMIT	38.5%

ZONING OVERLAY DISTRICTS

/CTR CENTER CITY OVERLAY DISTRICT - VINE STREET AREA  
/CDO CENTRAL DELAWARE RIVERFRONT OVERLAY DISTRICT  
/CTR CENTER CITY OVERLAY DISTRICT - CENTER CITY RESIDENTIAL DISTRICT CONTROL AREA  
NON-ACCESSORY SIGNS - REGULATIONS APPLICABLE TO THE I-95 ACQUISITION CORRIDOR  
/CTR CENTER CITY OVERLAY DISTRICT - CENTER CITY COMMERCIAL DISTRICT CONTROL AREA

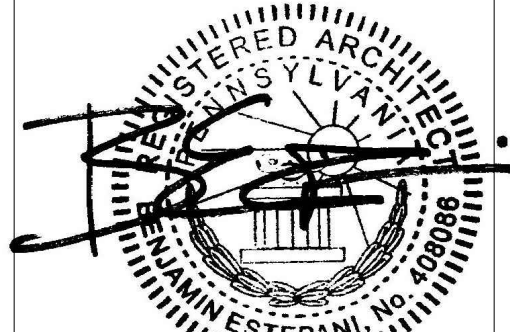


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Structural Engineer+  
Leake Engineering LLC  
101 W Eagle Rd, #189  
Haverstown, PA 19083  
Ph: 215.645.4437

FOR PHC REVIEW



SD PLANS TO OWNER	10.14.21
REVISED SD PLANS TO OWNER	10.28.21
EXTERIOR ELEV TO OWNER	11.04.21
REVISED PLANS & ELEV TO OWNER	11.09.21
PROGRESS SET TO OWNER	11.30.21
REVISED PLANS + FRONT ELEV TO OWNER	01.03.22
SET TO PHC	01.11.22
SET TO PHC	02.07.22
Revisions+	
Date	02.07.22
Drawn by	BE
Title+	

COVERSHEET & SITE PLAN

A-000





BRICK CORNICE

GLASS BLOCK INFILL

STAR BOLT REINFORCING AT  
2ND, 3RD, 4TH, & ROOF JOISTS

REAR ELEVATION  
(1953)

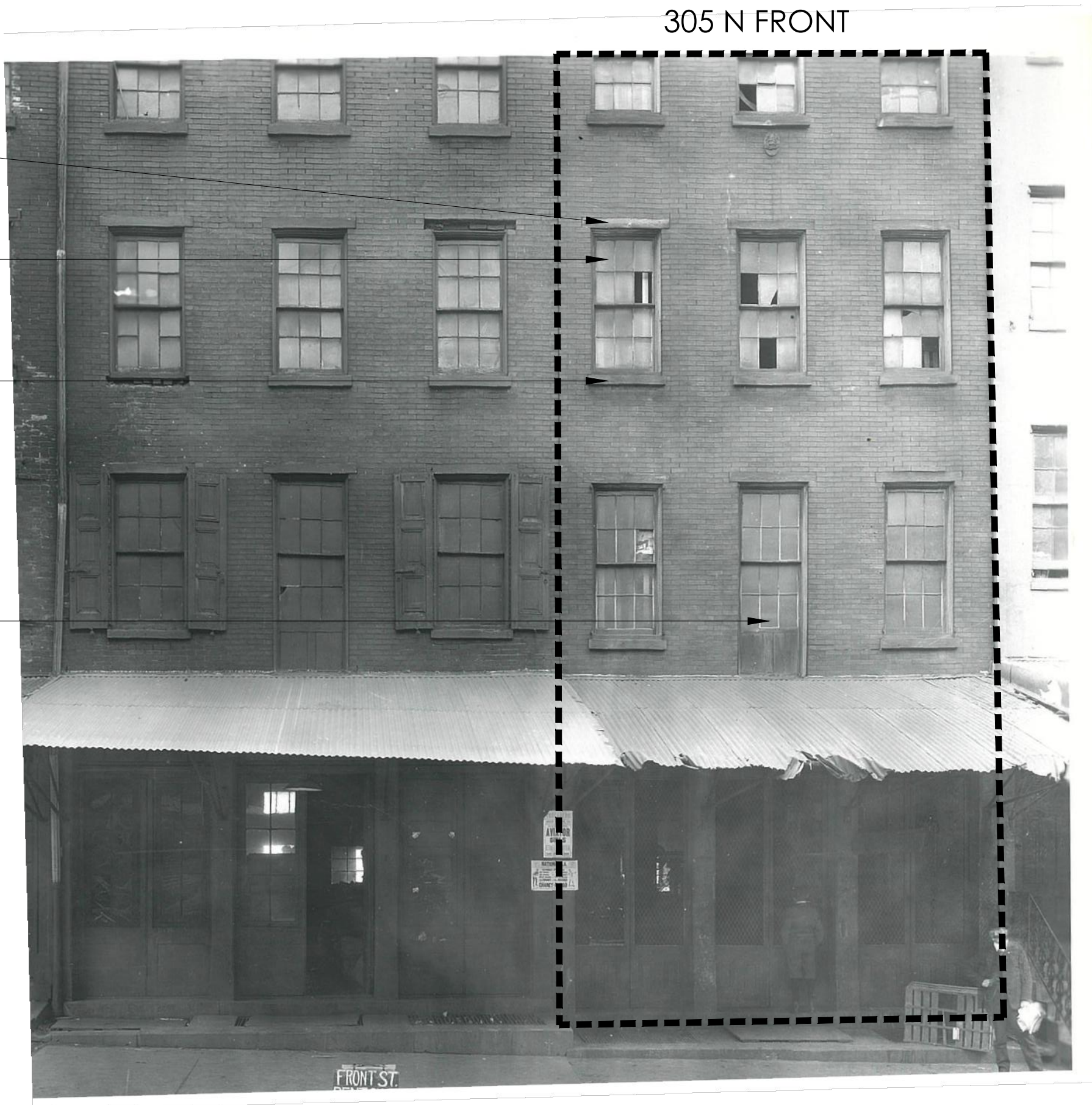


EX BRICK CORNICE REMOVED

STAR BOLT REINFORCING  
AT 2ND, 3RD, 4TH, ROOF JOISTS

GLASS BLOCK & BRICK  
INFILL AT EXISTING  
MASONRY OPENINGS

REAR ELEVATION  
(2021)



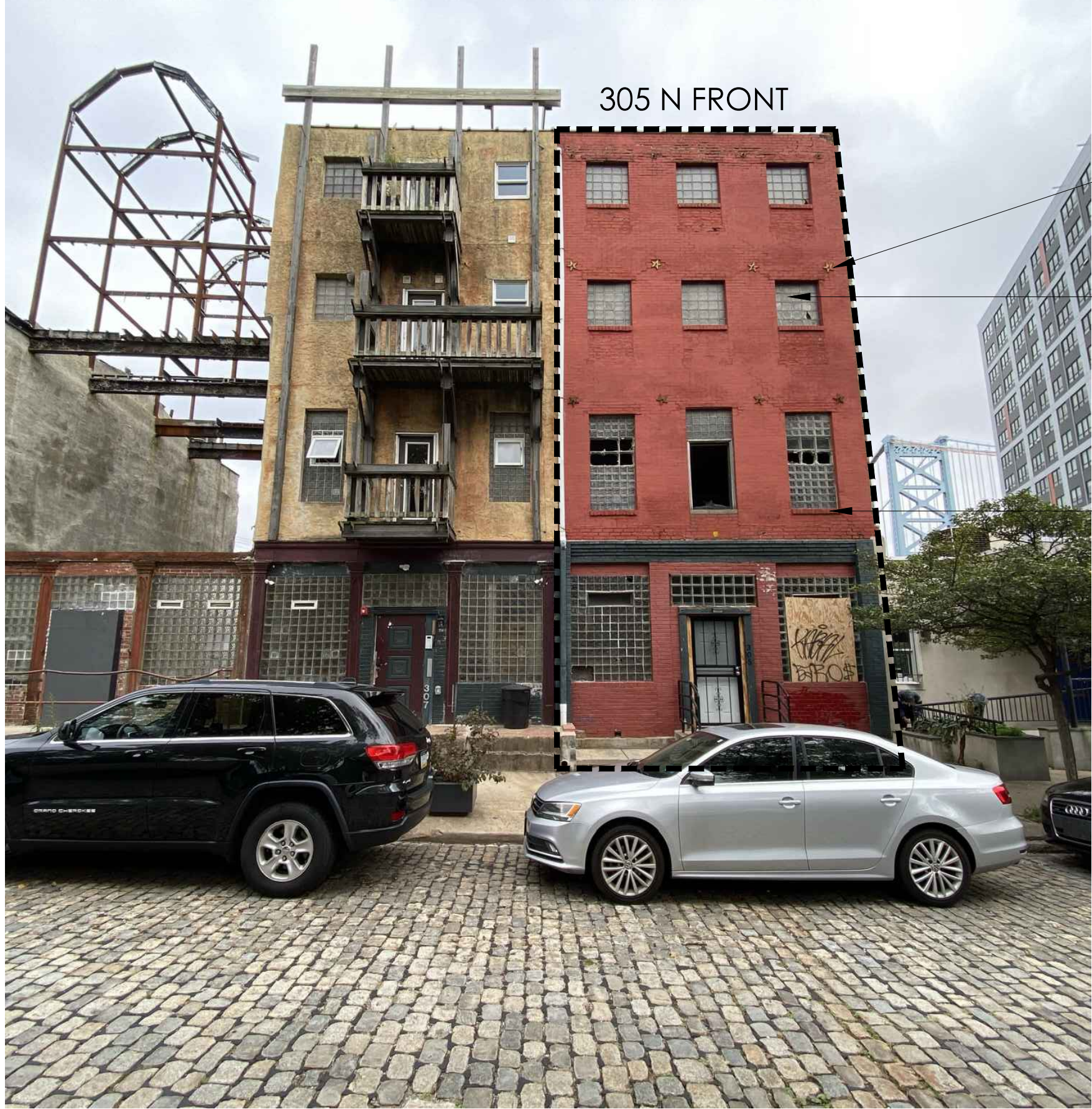
STONE LINTEL  
FLUSH W/ BRICK

6 OVER 6 DOUBLE  
HUNG WINDOWS

STONE SILL  
PROUD OF BRICK

SILL FLUSH W/ FLOOR

FRONT ELEVATION  
(1919)

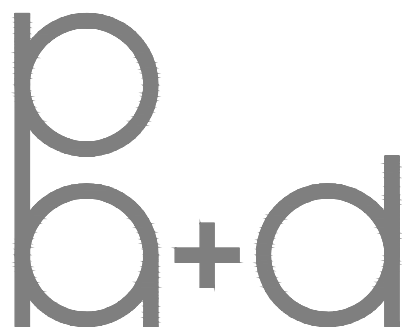


STAR BOLT REINFORCING AT  
FLOORS 3RD, 4TH, ROOF JOISTS

GLASS BLOCK & BRICK  
INFILL AT EXISTING  
MASONRY OPENINGS

EXISTING SILLS AND  
LINTELS REMOVED

FRONT ELEVATION  
(2021)

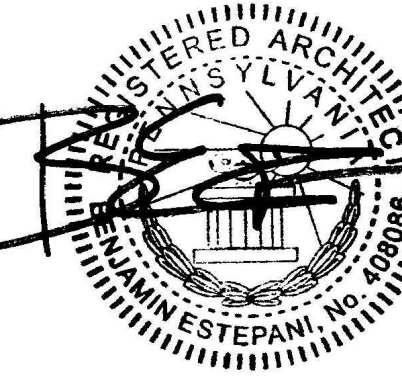


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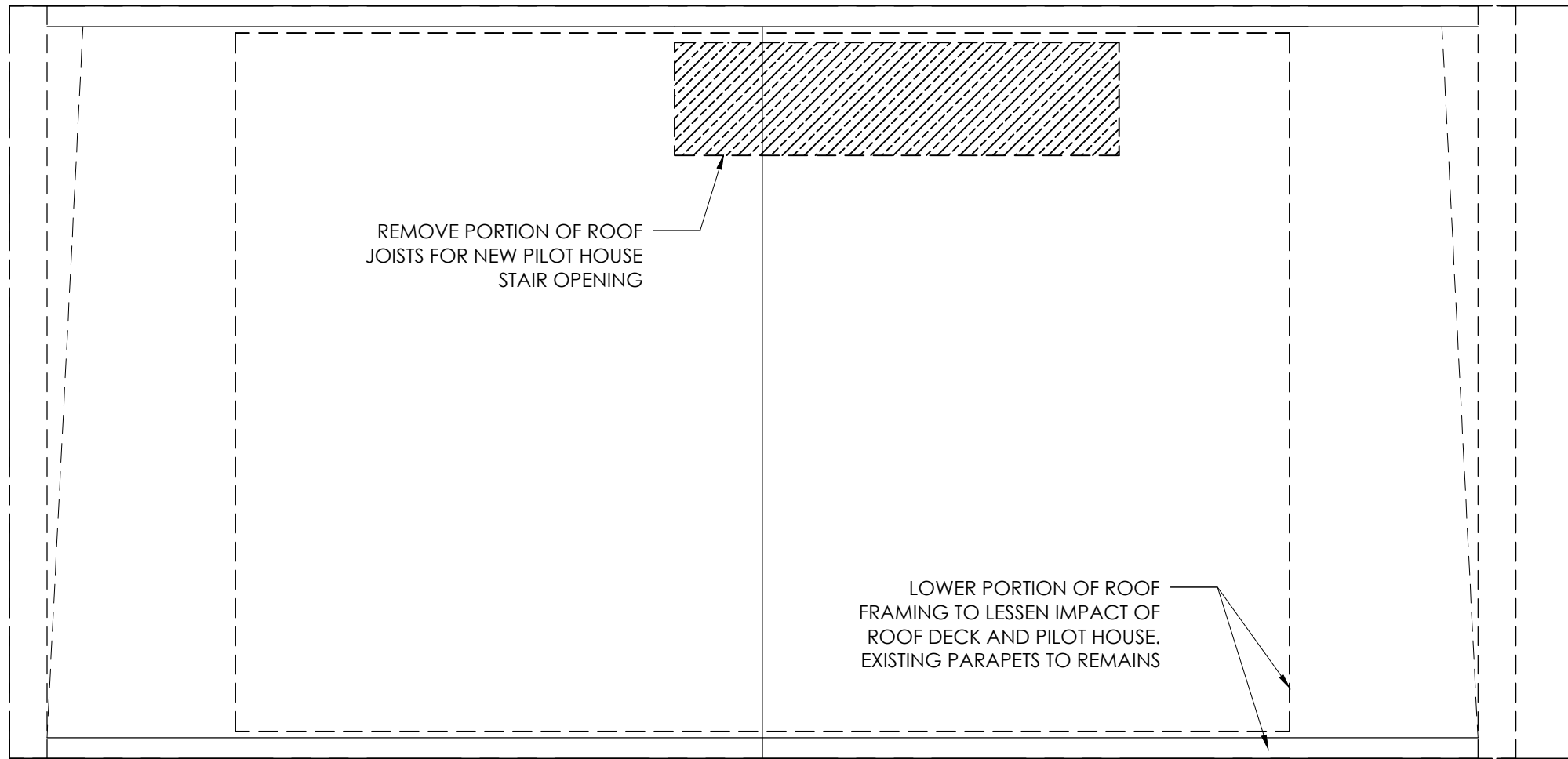
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02.07.22  
BE

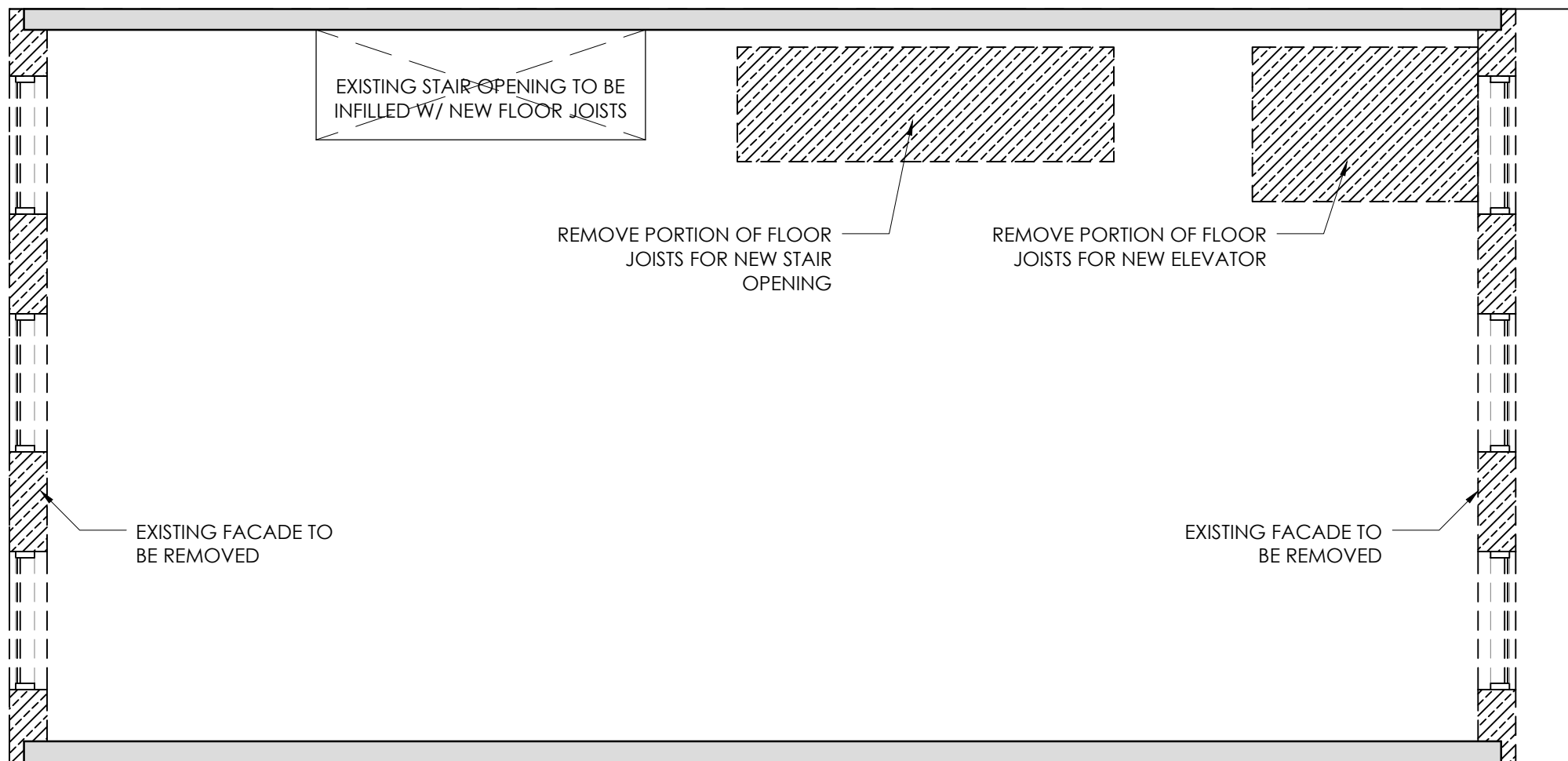
SITE PHOTOS

A-001

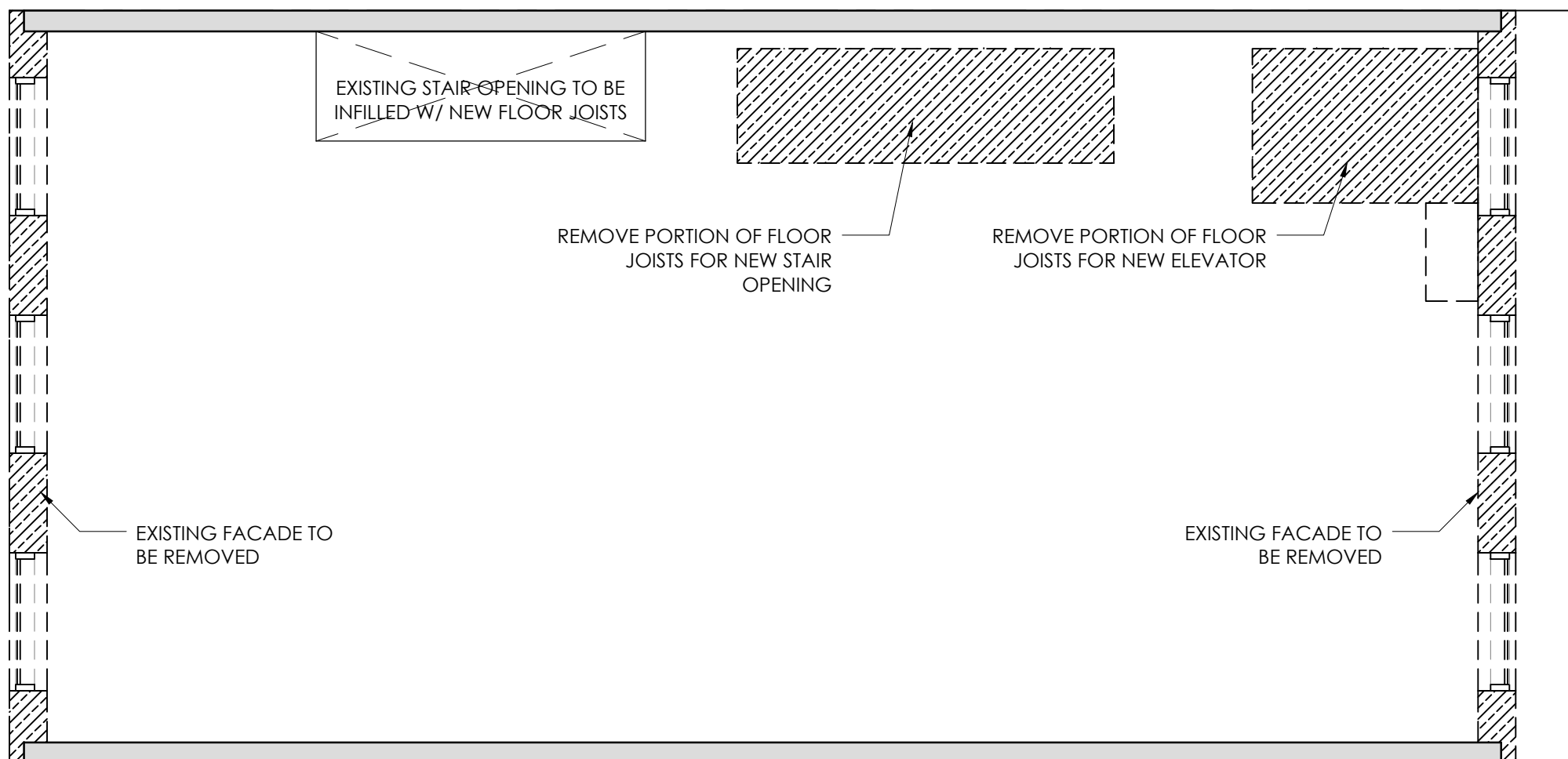




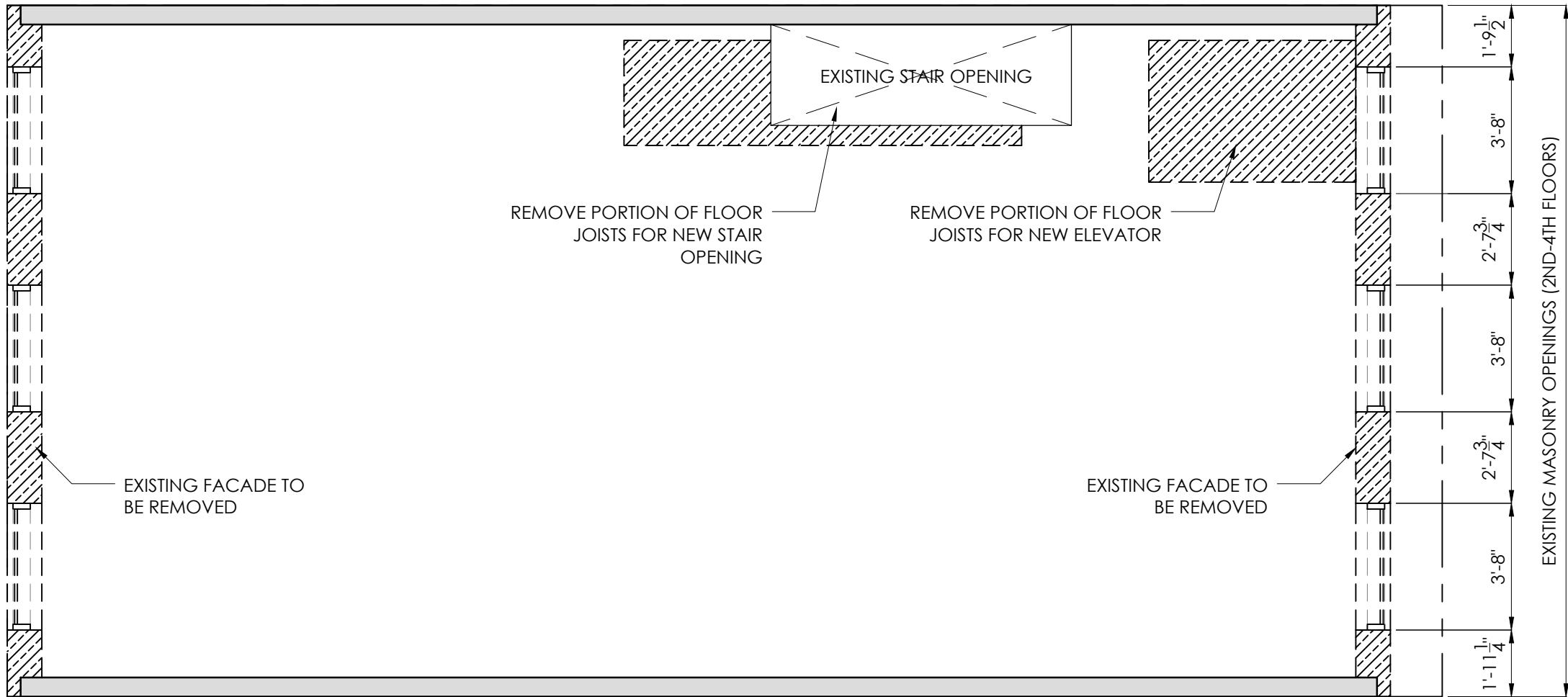
5 EXISTING ROOF PLAN  
A-100 SCALE: 1/4"=1'-0"



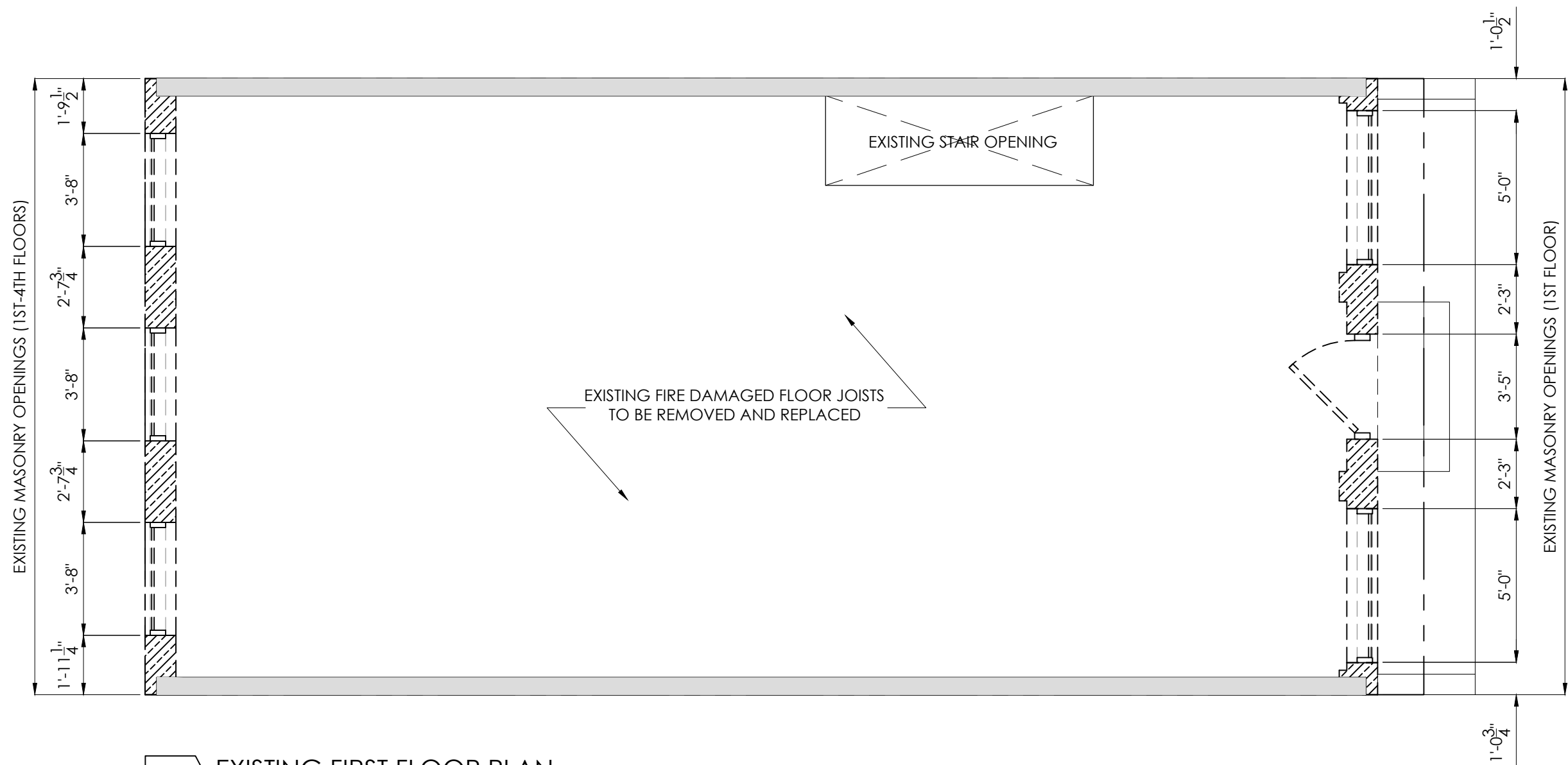
4 EXISTING FOURTH FLOOR PLAN  
A-100 SCALE: 1/4"=1'-0"



3 EXISTING THIRD FLOOR PLAN  
A-100 SCALE: 1/4"=1'-0"



2 EXISTING SECOND FLOOR PLAN  
A-100 SCALE: 1/4"=1'-0"



1 EXISTING FIRST FLOOR PLAN  
A-100 SCALE: 1/4"=1'-0"



B EXISTING BASEMENT PLAN  
A-100 SCALE: 1/4"=1'-0"



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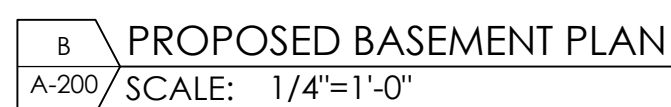
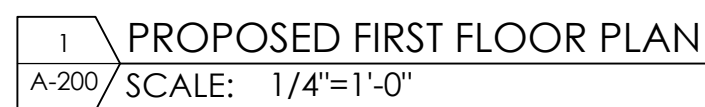
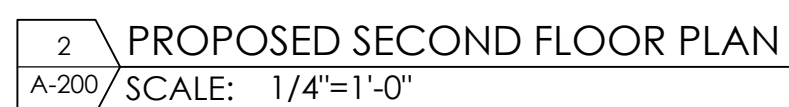
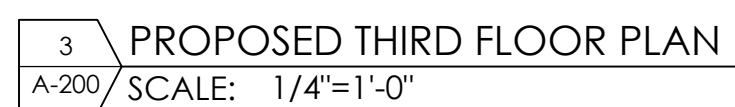
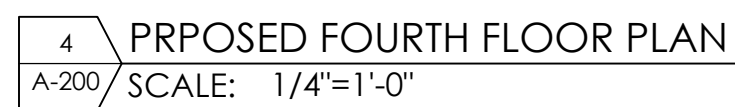
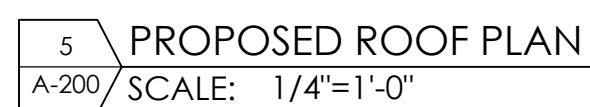


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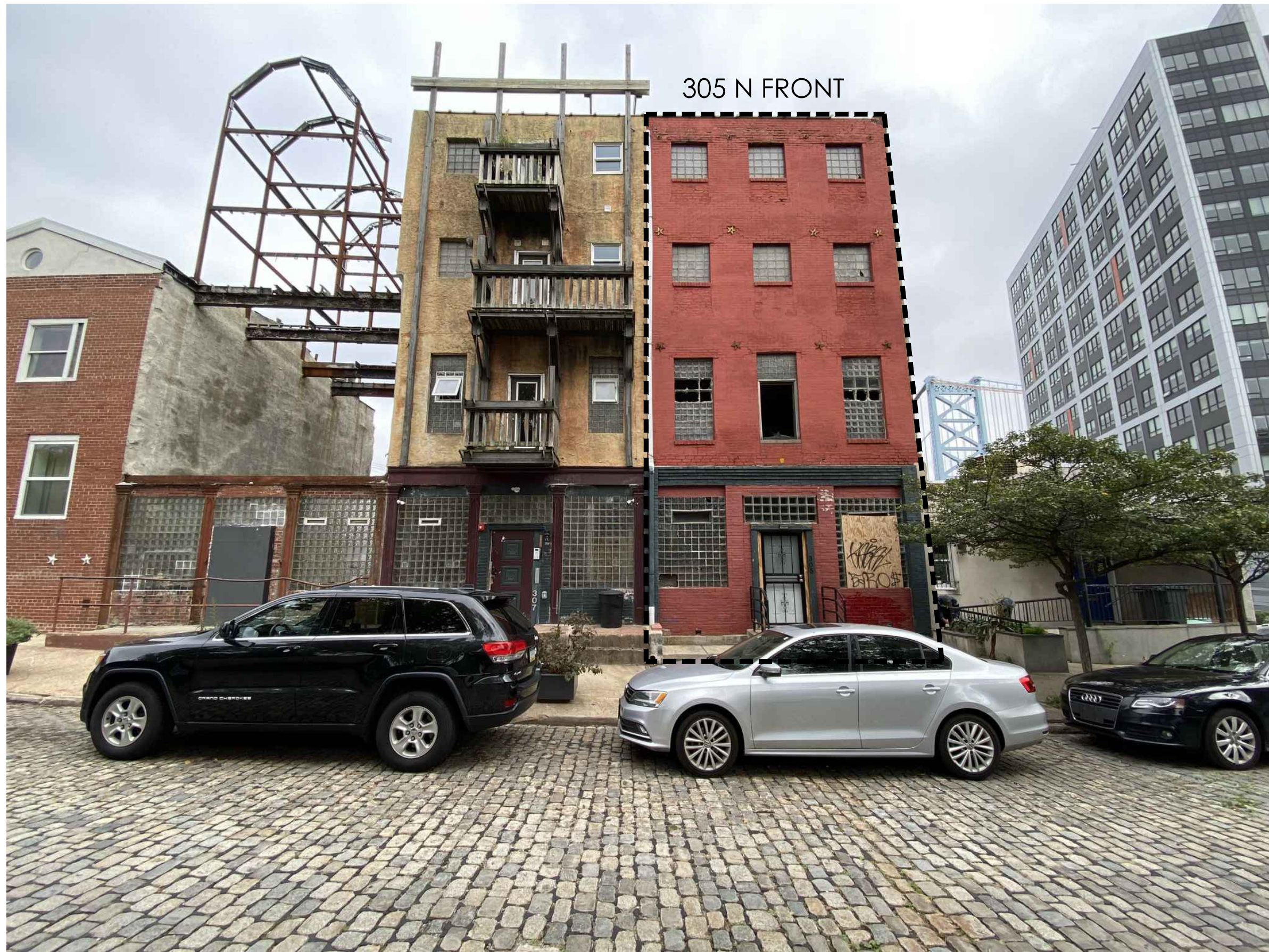
DEMOLITION  
PLANS

A-100

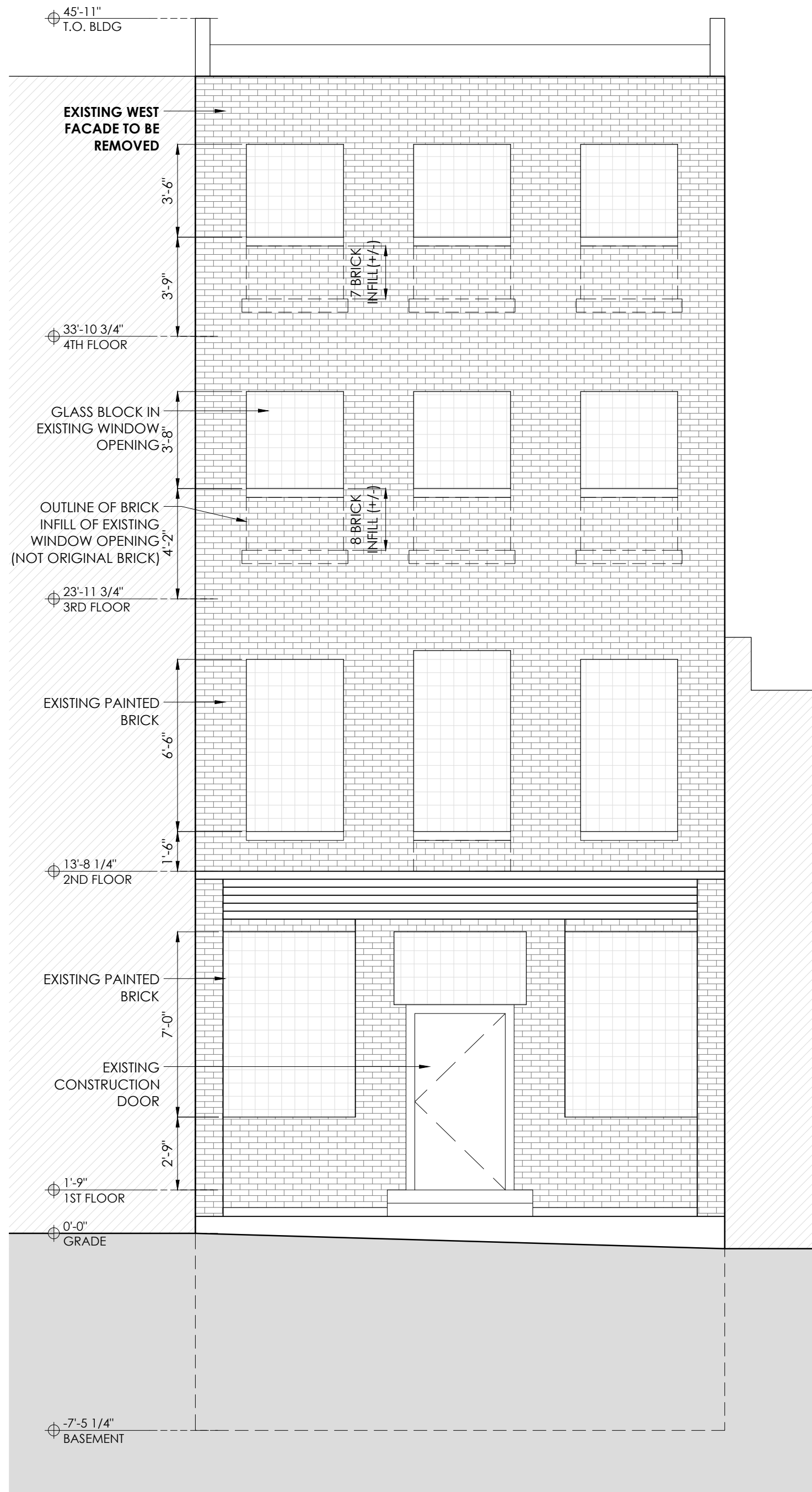


A-200

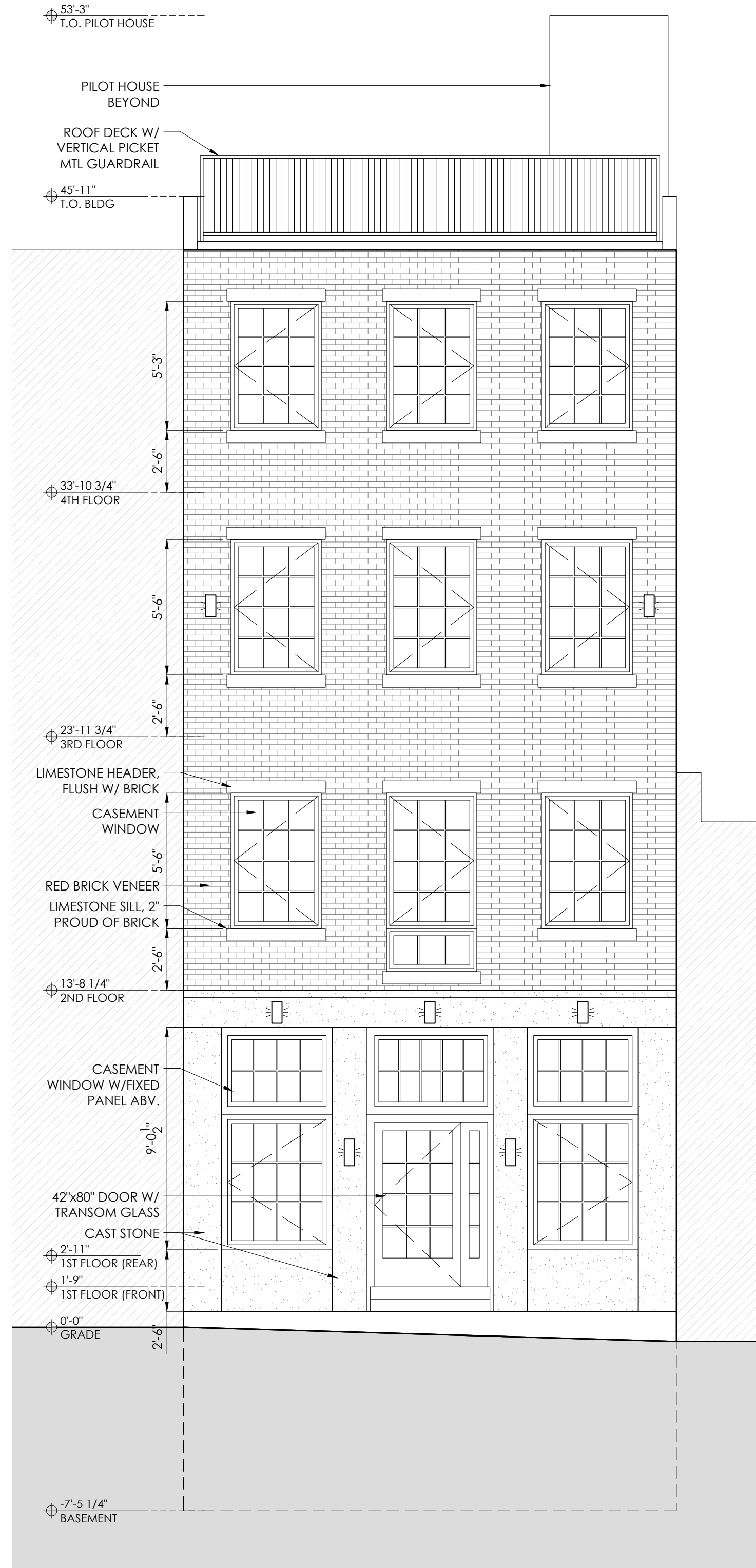




3 EXISTING FRONT ELEVATION PHOTO (WEST)  
A-300 SCALE: 1/4"=1'-0"



1 EXISTING FRONT ELEVATION (WEST)  
A-300 SCALE: 1/4"=1'-0"



2 PROPOSED FRONT ELEVATION (WEST)  
A-300 SCALE: 1/4"=1'-0"

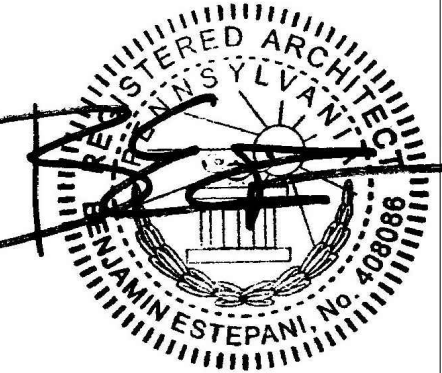


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REVISED PLANS + FRONT ELEV TO OWNER 01.03.22  
SET TO PHC 01.11.22  
SET TO PHC 02.07.22

Revisions+  
Date 02.07.22  
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Title+

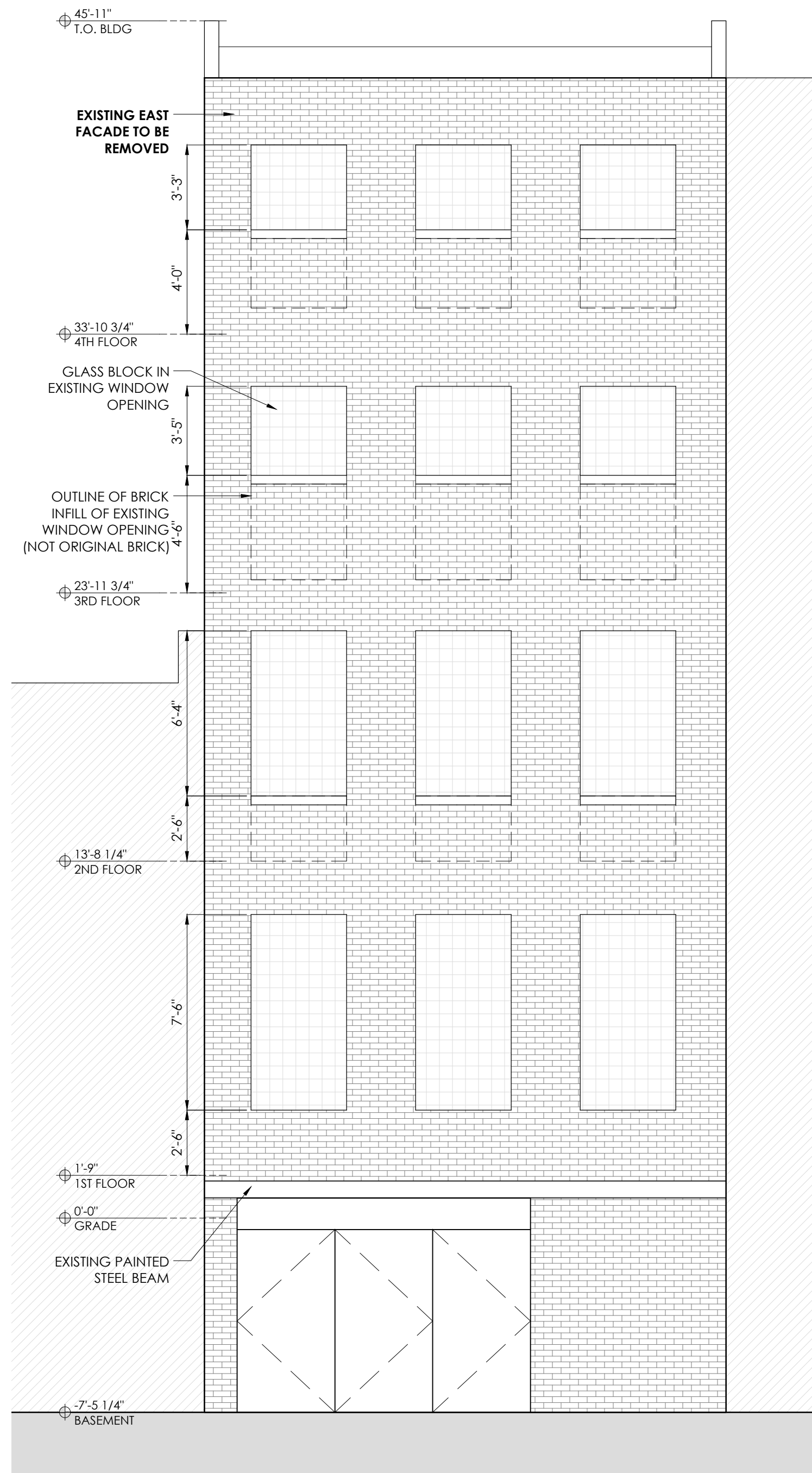
WEST EXTERIOR  
ELEVATION

A-300

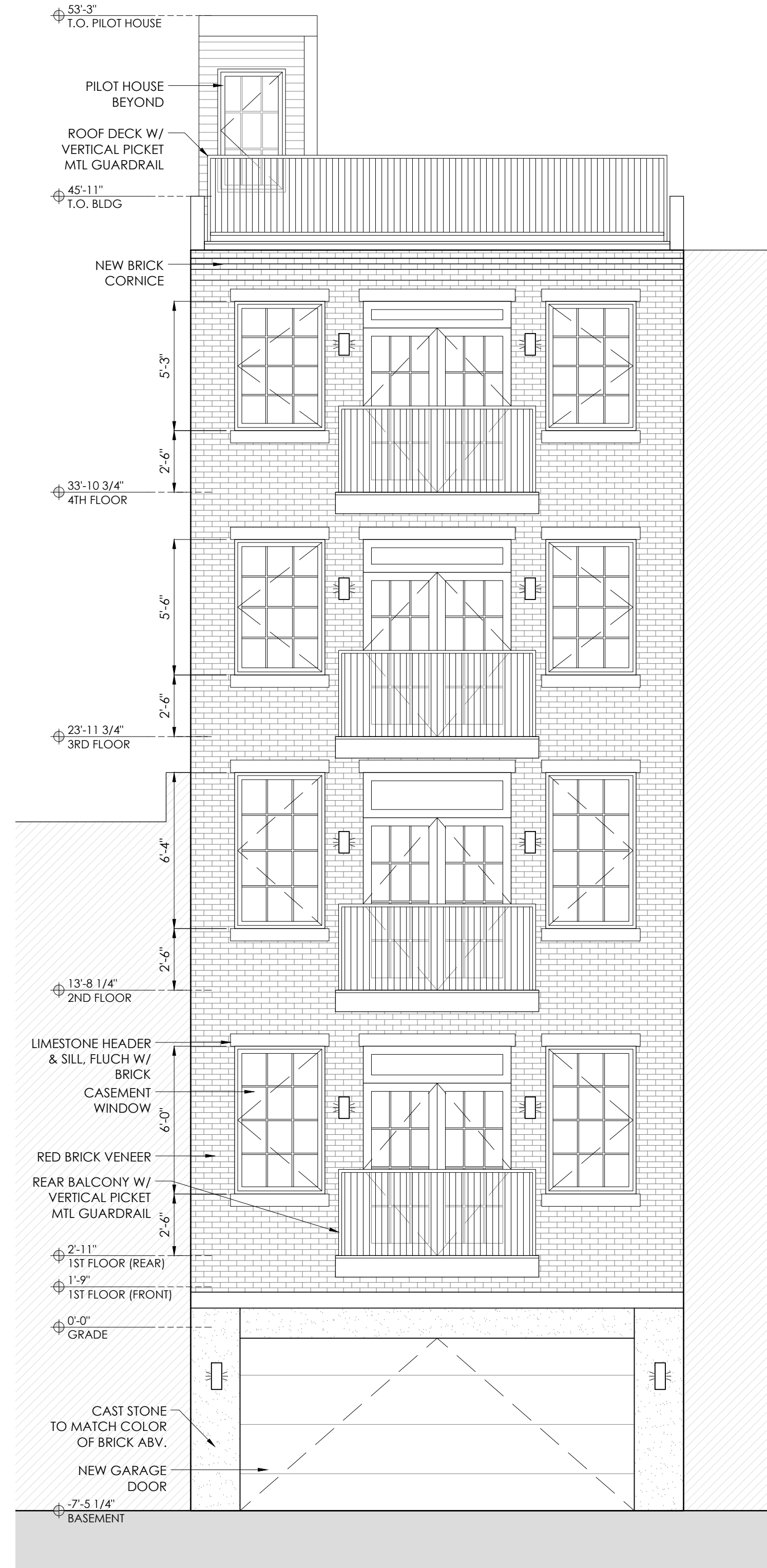




3 EXISTING REAR ELEVATION PHOTO (EAST)  
A-300 SCALE: 1/4"=1'-0"



1 EXISTING REAR ELEVATION (EAST)  
A-301 SCALE: 1/4"=1'-0"



2 PROPOSED REAR ELEVATION (EAST)  
A-301 SCALE: 1/4"=1'-0"

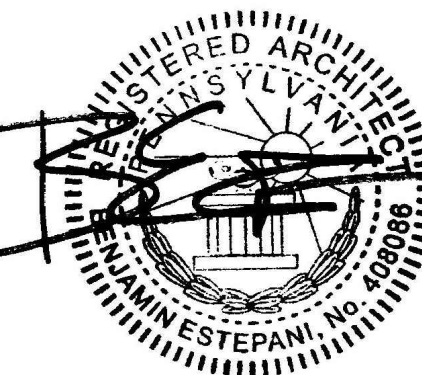


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Leake Engineering LLC  
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Ph: 215.645.4437

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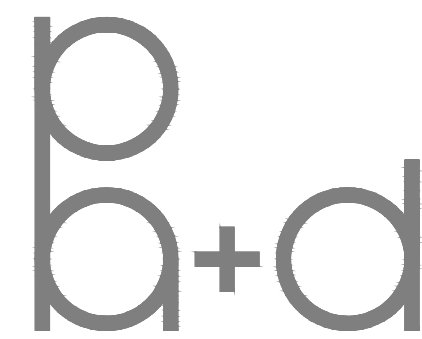
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REVISED PLANS & ELEV TO OWNER 11.09.21  
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EAST EXTERIOR  
ELEVATION

A-301



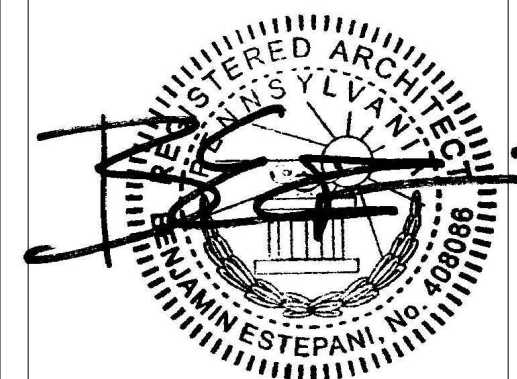


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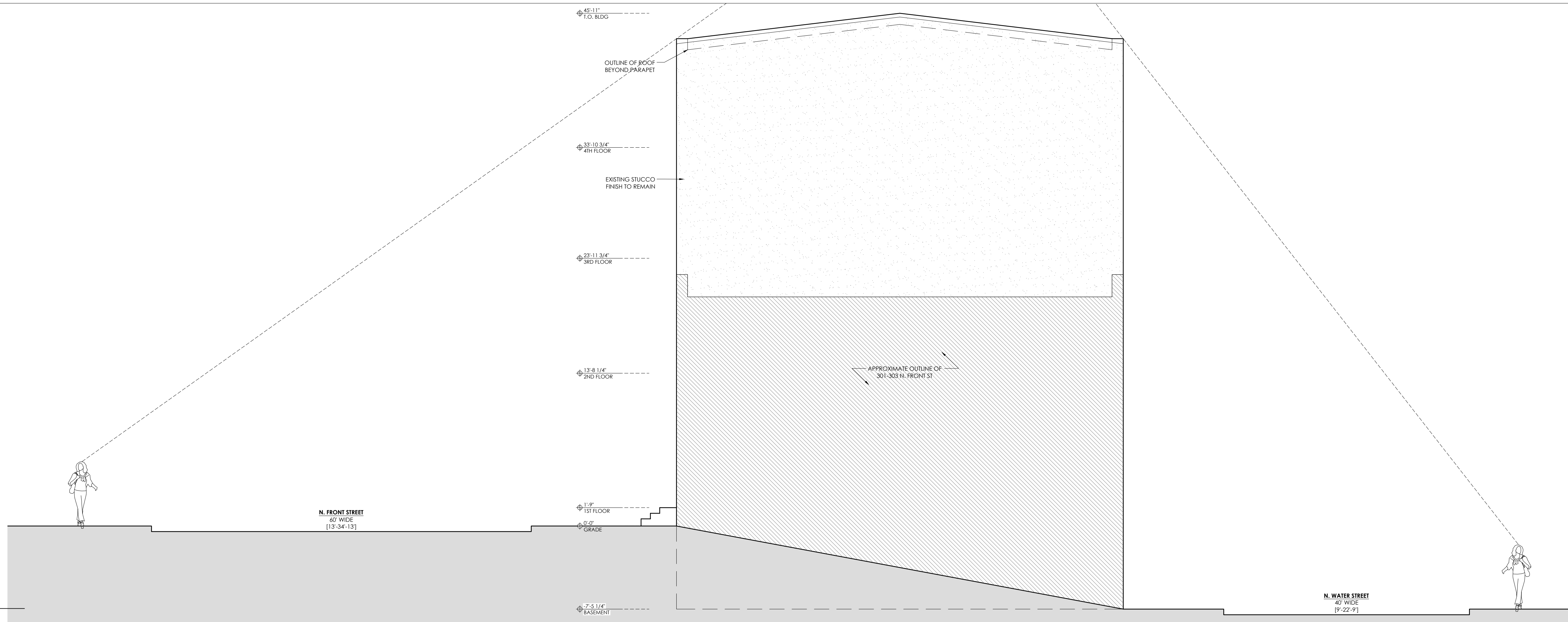
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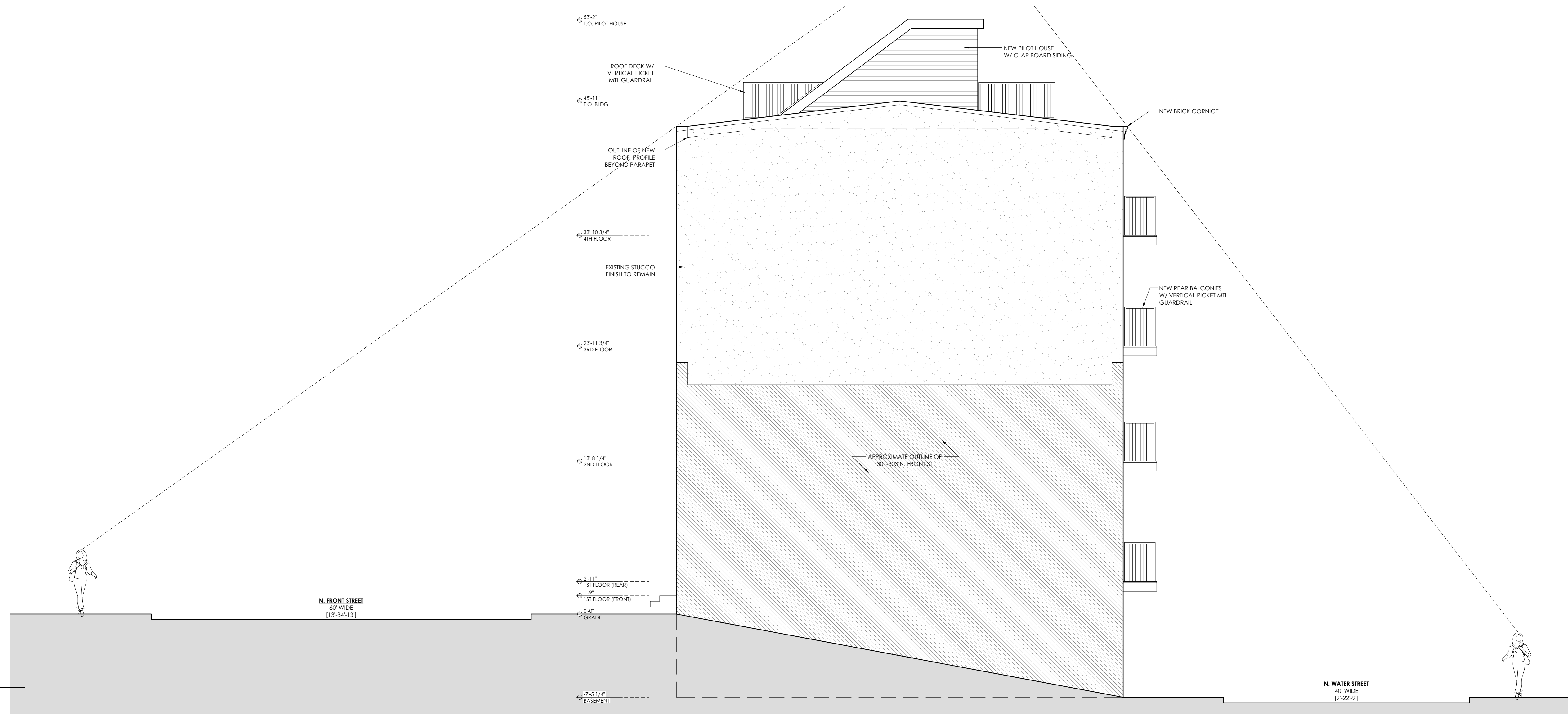
SOUTH EXTERIOR  
ELEVATION

A-302

1 EXISTING SIDE ELEVATION (SOUTH)  
A-302 SCALE: 3/16"=1'-0"

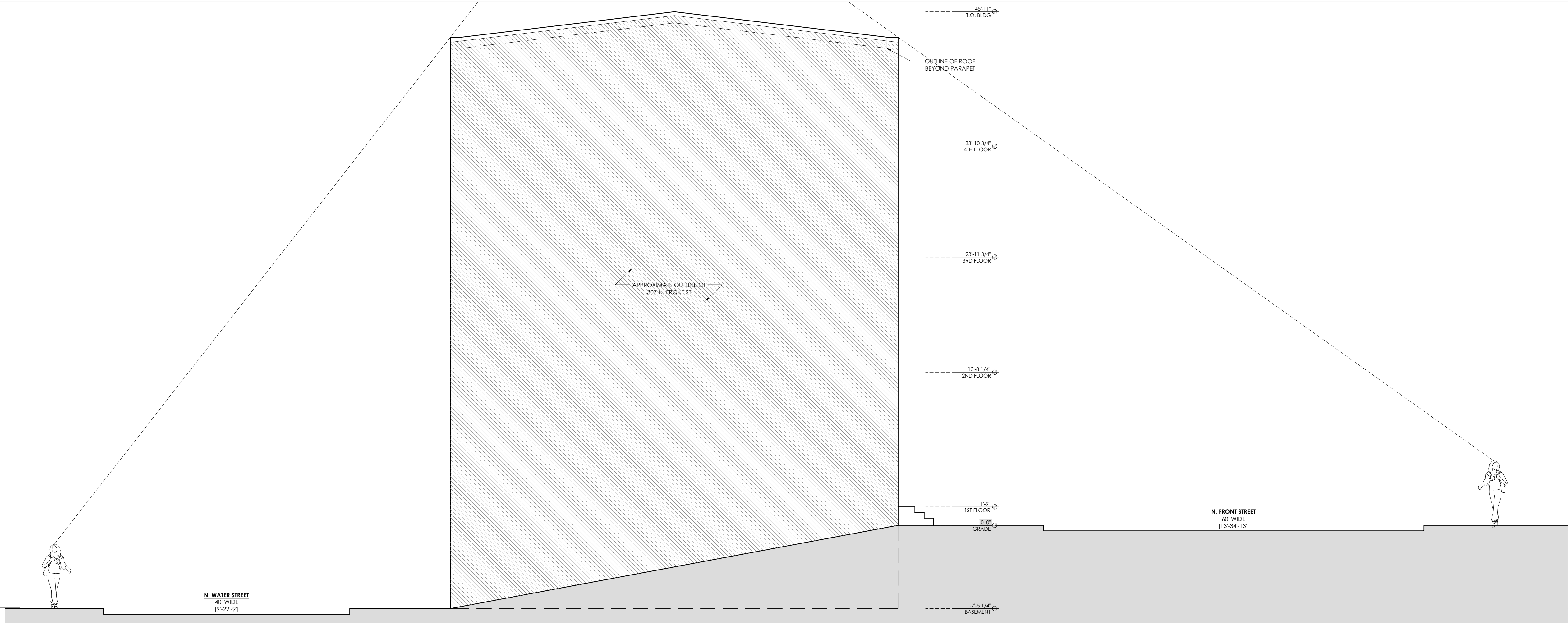


2 PROPOSED SIDE ELEVATION (SOUTH)  
A-302 SCALE: 3/16"=1'-0"

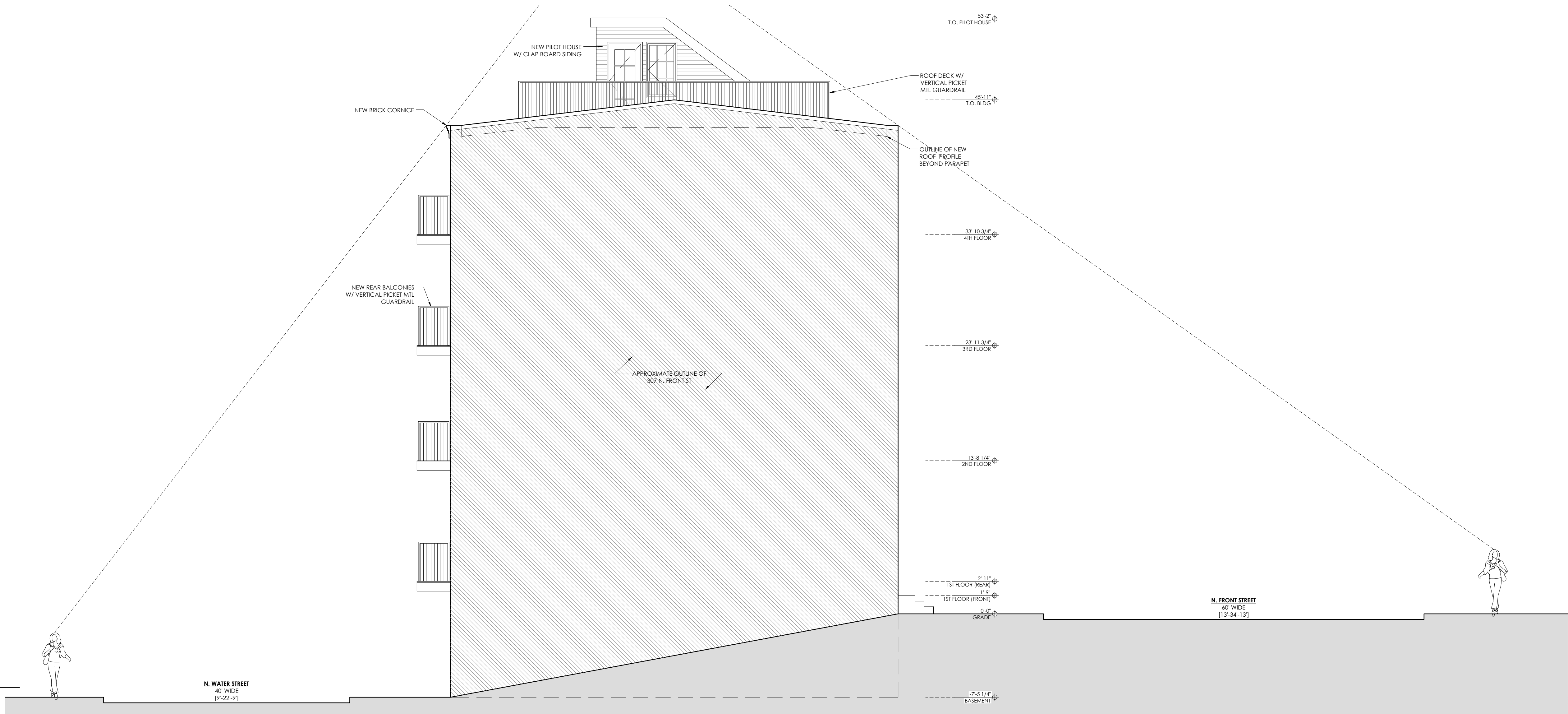




1 EXISTING SIDE ELEVATION (NORTH)  
A-303 SCALE: 3/16"=1'-0"



2 PROPOSED SIDE ELEVATION (NORTH)  
A-303 SCALE: 3/16"=1'-0"

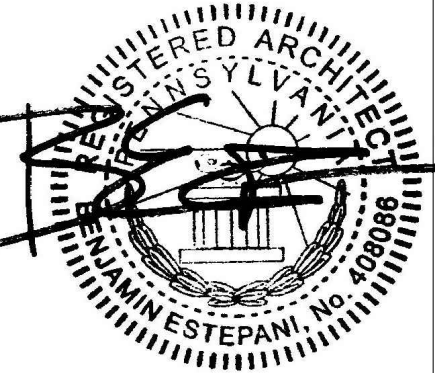


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NORTH EXTERIOR  
ELEVATION

A-303





LEAKE ENGINEERING, LLC

**Leake Engineering LLC**

101 W Eagle Rd #189  
Havertown, PA 19083  
484 380 5419

Project Address: 305 N Front St. Philadelphia, PA 19106

Date: 02/01/2022

**Scope of Work (SOW): Analysis of the front and rear walls to determine the feasibility of restoring the walls.**

**GOVERNING CODES:**

1. International Building Code and Residential Code 2018 (IBC/IRC 2018)
2. AISC 14th Edition, Manual of Steel Construction
3. ACI 318-08, Building Code Requirements for Structural Concrete
4. ASCE/SEI 7-05, Minimum Design Loads for Buildings & Other Structures
5. AWC SDPWS-08, National Design Specifications for Wood Construction
6. ACI 530-08, Building Code Requirements for Masonry Structures

1

To Whom It May Concern,

This document is to discuss the feasibility of restoring the existing front and rear walls for 305 n Front St, Philadelphia, PA.

**Background.** The building at 305 N Front St is a four story double wythe brick building. The foundation for the building is stacked stone and the interior framing is wood. The side walls for the structure are the load bearing walls and the front and rear walls bear the load of the brick above.

**Foundation Deflection.** The foundation for the front and rear of the building are deflecting. This deflection is most commonly the result of voids created around and under the foundation walls. These voids are created by water infiltration as the result of broken or cracked underground pipes that either sleeve through or run adjacent to the foundation walls. These voids affect the lateral stability of the foundation walls allowing them to deflect.

**Double Wythe Construction.** The brick walls for the front and rear are double wythe brick. As a result of the deflection in the foundation walls the layers of brick are coming apart and water is beginning to infiltrate between the bricks. During the winter months the water between the bricks will freeze and expand, pushing the bricks further from each other. This ultimately results in the appearance of a bowing wall.

**Previous Reinforcement.** There was a previous reinforcement completed on the deflecting brick walls. This reinforcement consisted of steel plates on the front and back of the building between the floors. This reinforcement is typically referred to as star bolts and is tied back into the wood framing on the interior of the building. Since the star bolts were installed, the star bolts are now "punching" through the brick wall. This punching is evidence that the wall is still moving despite the previous reinforcement.

**Adjacent Building.** The front and rear facade for the adjacent building is also deflecting. This building was reinforced with wooden 6"x6" posts running vertically and anchored into the building's interior framing between the floors. The 6"x6" posts are deteriorating and will eventually fail. Because the brick walls are connected a failure of those posts may result in a failure of the wall at 305 N Front St.

**Conclusion.** Given the evidence gathered onsite it is recommended that the brick walls be demolished and rebuilt.

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We reserve the right to amend these conclusions if additional information becomes available. This conclusion is based on data gathered by a field inspection and represents our opinion based on a reasonable degree of engineering certainty with the evidence gathered. Any site plans or details provided with this report are not meant to be used as construction documents. If construction documents can be provided for an additional fee. If you have any questions please contact Alex Bruno at 484 380 5419 or alex.bruno@leakeengineering.com.

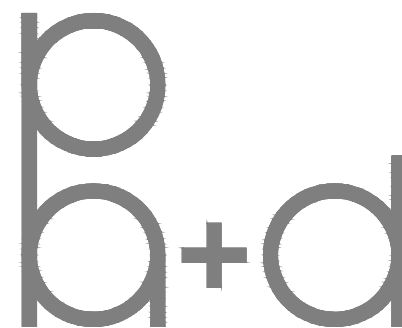
Respectfully,

Alex Bruno, P.E.



2/1/2022

6



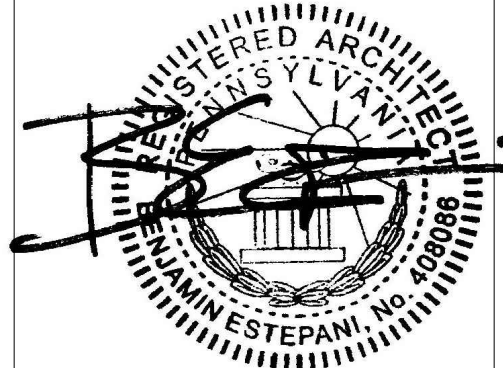
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