

ADDRESS: 1513-17 PINE ST

Proposal: Construct five townhouses

Review Requested: Review and Comment

Owner: ZI 1513 Pine LLC

Applicant: Gabriel Deck, Gnome Architects

History: Parking lot

Individual Designation: None

District Designation: Rittenhouse Fidler Historic District, Non-contributing, 2/8/1995

Staff Contact: Meredith Keller, meredith.keller@phila.gov

OVERVIEW: This application proposes to construct five, four-story townhouses with pilot houses and roof decks on a currently vacant lot. The Historical Commission's jurisdiction is limited to review and comment because the lot has been vacant since the designation of the district and is considered an "undeveloped" site. The applicant has submitted two design schemes. The first scheme represents the by-right massing of the new construction as allowed by zoning. The second scheme shows a slightly larger massing where the height of the new construction would align with the cornices of the Pine Street buildings. The new construction would be clad in a brownish-red brick with a cast stone base and detailing and would feature aluminum-clad windows. The townhouses would front onto S. Hicks Street, and the buildings would have garage access on Pine Street.

SCOPE OF WORK:

- Construct five, four-story townhouses with roof decks and pilot houses on vacant lot.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The proposed new construction would be compatible with the district in size, scale, massing, and materials. The staff notes that the second design scheme in the application, showing the height of the new buildings aligning with the cornices of the buildings along Pine Street, would be more appropriate. The work complies with Standard 9.

STAFF COMMENT: The staff comments that the height of the townhouses should align with cornice line of the Pine Street buildings as proposed in Scheme 2, but that the proposed new construction is otherwise compatible with the Rittenhouse-Fidler Historic District in size, scale, massing, and materials.

MAPS & IMAGES:



Figure 1: 2020 aerial showing the existing parking lot at 1513-17 Pine Street. Source: Atlas.



Figure 2: The parking lot at 1513-17 Pine Street from Pine Street, December 2021. Source: Cyclomedia.



Figure 3: Intersection of Pine and Hicks Streets, 2021. Source: Cyclomedia

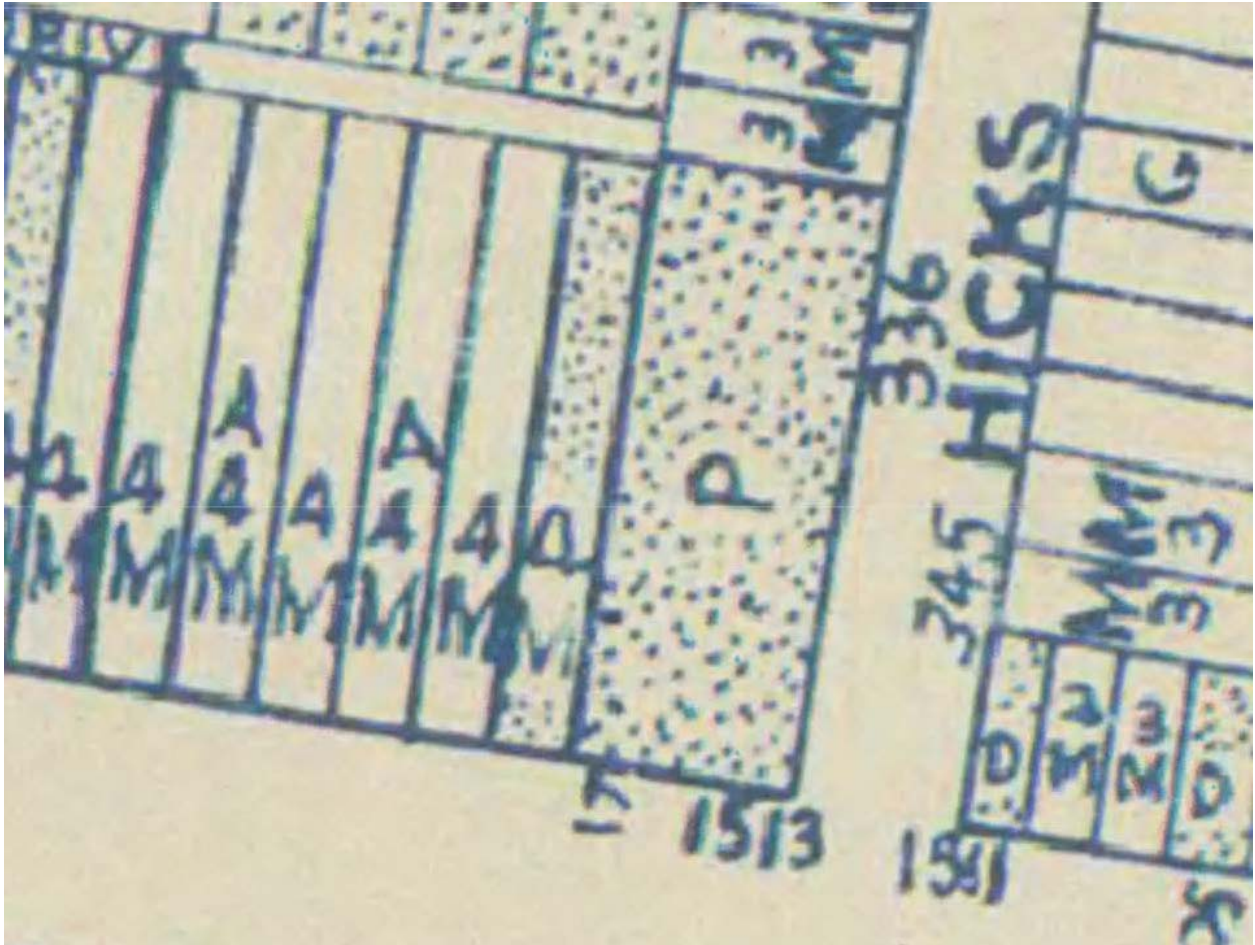


Figure 4: 1942 land use map showing that the property at 1513-17 Pine Street was used for parking. Source: PhilaGeoHistory



Application for Construction Permit

Use this application to obtain permits for a residential or commercial construction proposal.
Mechanical / Fuel Gas, Electrical, Plumbing, and Fire Suppression trade details are found on page 2.

<p>Address Identify the location of work for the permit(s).</p> <p>If the activity will take place in a specific building, tenant space, floor level, or suite, note that detail in the 'Specific Location' field. If applicable, list PR #.</p>	1	<p style="text-align: center;">1513 PINE STREET</p> <p>Parcel Address _____</p> <p>Specific Location _____</p> <p><input type="checkbox"/> Check box if this application is part of a project and provide project number: PR- 2 0 - </p>
<p>Applicant Identify how you are associated with the property.</p> <p>Licensed professionals include design professionals, attorneys, and expeditors. A tradesperson must have an active Philadelphia license for their trade or hold a PA Home Improvement Contractor Registration.</p>	2	<p>I am the: <input type="checkbox"/> Property Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Equitable Owner <input checked="" type="checkbox"/> Licensed Professional or Tradesperson</p> <p>Name GABRIEL DECK Company GNOME ARCHITECTS</p> <p>Address 1901 S 9TH ST ROOM 310</p> <p>Email GABE@GNOMEARCH.COM Phone 2 1 5 2 7 9 7 5 3 1 </p>
<p>Property Owner Identify the deeded property owner.</p> <p>If the property owner is a 'company', a separate supplemental ownership information form will be required.</p> <p>If there was a recent change of ownership, documentation such as a deed or settlement sheet will be required.</p>	3	<p>The property owner is a/an: <input type="checkbox"/> Individual <input checked="" type="checkbox"/> Company (if selected, complete a separate Supplemental Ownership Information Form)</p> <p>Name ZI 1513 PINE LLC <input type="checkbox"/> Check box if new owner is being listed</p> <p>Address 2539 Grays Ferry Ave Philadelphia, PA 19146</p> <p>Email zander.hagan@zatosinvestments.com Phone 6 1 0 5 5 1 5 2 7 6 </p>
<p>Design Professional in Responsible Charge Identify the PA- licensed design professional who is legally responsible.</p>	4	<p>Name GABRIEL DECK Firm GNOME ARCHITECTS</p> <p>PA License # 406284 Phila. Commercial Activity License # 798254</p> <p>Email GABE@GNOMEARCH.COM Phone 2 1 5 2 7 9 7 5 3 1 </p>
<p>Project Scope Use this section to provide project details; all fields are mandatory.</p> <p>(a) Choose the proposed occupancy of the entire building. If not one- or two-family, provide a description of group(s) per code.</p> <p>(b) Identify if the project will be new construction, an addition, or interior/exterior alterations.</p> <p>(c) List the site area that will be disturbed by construction, if any. Enter 'zero' if no disturbance.</p> <p>(d) Note the new floor area created, including basements, cellars, and occupiable roofs. Where existing areas will be altered, list those areas separately.</p> <p>(e) State the number of new or affected stories.</p> <p>(f) Provide a detailed description of the work proposed.</p> <p>(g) Select all conditions that apply to this project (if any).</p> <p><small>*Provide the associated Streets Review number if "Project Impacts Streets/Right-of-Way" is selected.</small></p>	5	<p>(a) Occupancy <input type="checkbox"/> Single-Family <input type="checkbox"/> Two-Family <input checked="" type="checkbox"/> Other, please describe: 5 SFD TOWNHOUSES</p> <p>(b) Scope of Work <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition and/or Alteration <input type="checkbox"/> Shell (No Fit Out) – Option for Commercial Permits Only</p> <p>(c) Earth Disturbance Area of Earth Disturbance _____ (Sq. Ft.)</p> <p>(d) Building Floor Areas New Floor Area _____ (Sq. Ft.) Existing Altered Area _____ (Sq. Ft.)</p> <p>(e) Number of Stories 4</p> <p>(f) Description of Work _____</p> <p>(g) Project Conditions <input type="checkbox"/> New High Rise <input type="checkbox"/> Green Roof Included <input type="checkbox"/> Initial Fit Out of Newly Constructed Space <input type="checkbox"/> Modular Construction <input type="checkbox"/> Façade Work <input type="checkbox"/> Project Impacts Streets/Right-of-Way*</p> <p><small>*Provide the associated Streets Review number for this project, if applicable: SR - 2 0 - </small></p>



Gnome Architects LLC.
1901 S. 9th Street, RM. 526
Philadelphia, PA 19148
gabe@gnomearch.com
215 279 7531

02.07.2022

City of Philadelphia
Historical Commission
1515 Arch St.
13th Floor
Philadelphia, PA 19102

RE: 1513 Pine Street
Philadelphia, PA 19102
Application for Formal Review
Owner: ZI 1513 PINE LLC

To Members of Philadelphia Historical Commission,

Please see the attached application for formal review of a proposed four (4) story building, with five (5) dwelling units that will each be built as a separate townhouse for individual sale. Each townhouse will have a separate deck, balcony, roof deck accessed by pilot house, and an accessory 2-car garage accessed by shared driveway and drive aisle. The existing site functions as a parking lot with no building. Included in the presentation documents are photos, zoning & architectural plans, and elevations/renderings.

Please do not hesitate to contact me should you have any questions.

Best Regards,
Gabriel Deck RA, LEED AP
Principal Architect

1513 PINE ST.

PROPOSED NEW CONSTRUCTION

PHILADELPHIA HISTORICAL COMMISSION APPLICATION

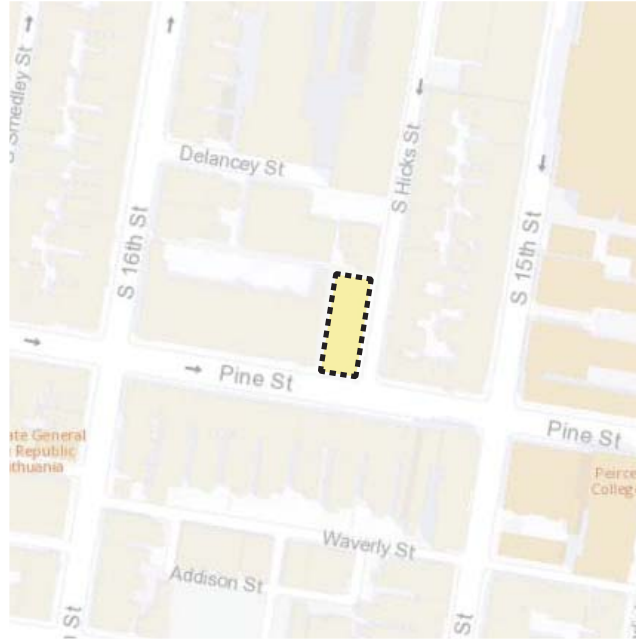
GNOME ARCHITECTS

02.08.2022





AERIAL VIEW



SITE MAP

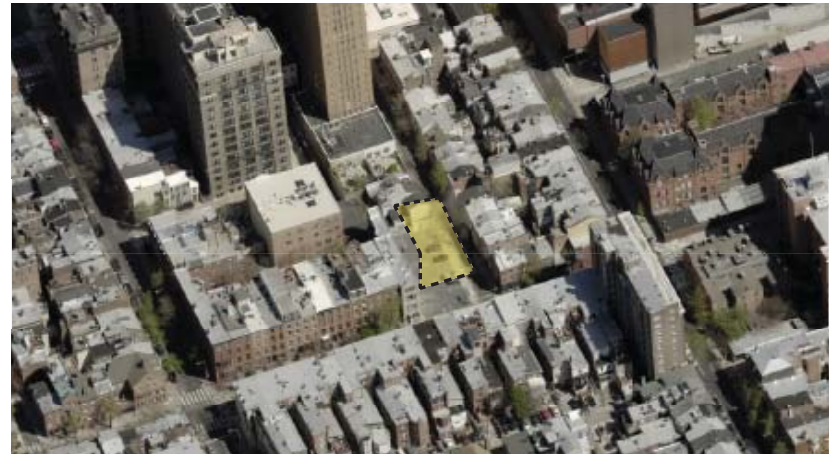


ZONING MAP





AERIAL VIEW- NORTH



AERIAL VIEW- EAST



AERIAL VIEW- SOUTH



AERIAL VIEW- WEST



(1) VIEW EAST ON PINE ST



(2) VIEW EAST ON PINE ST



(3) VIEW OF EXISTING SITE FROM PINE ST



(4) CORNER VIEW FROM WEST ON PINE ST



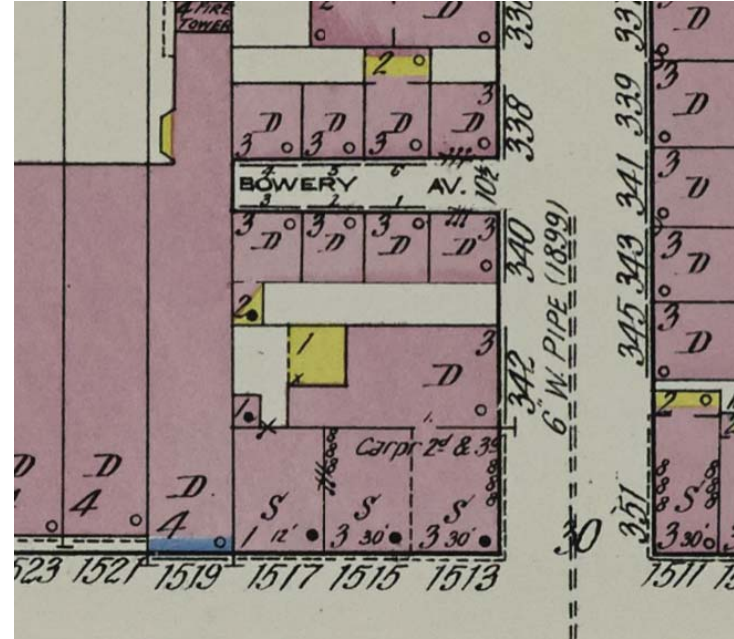
(5) VIEW WEST FROM HICKS



(6) VIEW OF ADJACENT PROPERTY FROM HICKS



1931 ARIEL VIEW



1916 PARCEL MAP



(7) PINE ST ELEVATION STITCH LOOKING NORTH

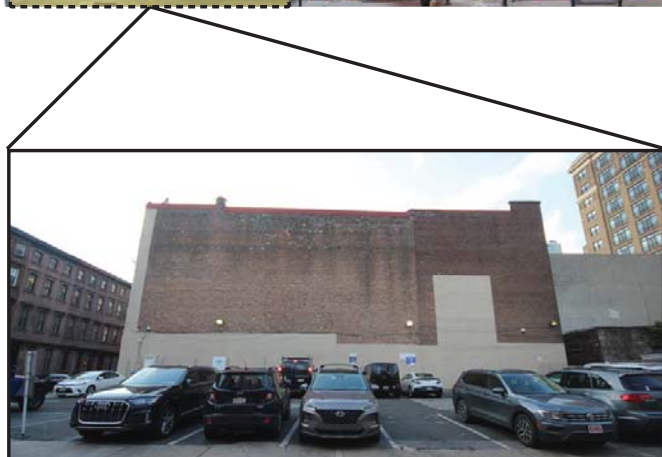


(8) PINE ST ELEVATION STITCH LOOKING SOUTH





(9) S HICKS ST ELEVATION STITCH LOOKING WEST



(10) S HICKS ST ELEVATION STITCH LOOKING EAST



NEARBY PEIRCE COLLEGE BUILDING (1430-1434 PINE ST.)



NEARBY MULTI-FAMILY (1541 PINE ST.)



NEARBY MULTI-FAMILY (1529-1519 PINE ST.)



NEARBY ADDITION (2414 WAVERLY ST.)



NEARBY HOMES (406 S. 24TH ST.)

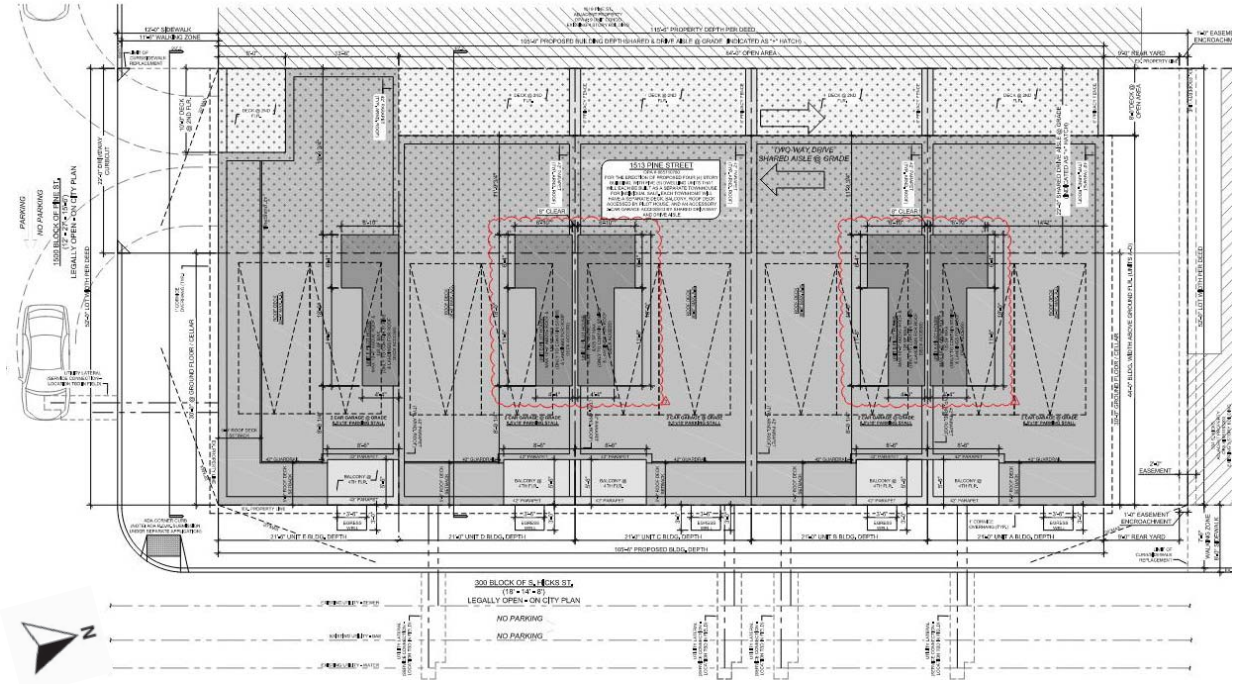


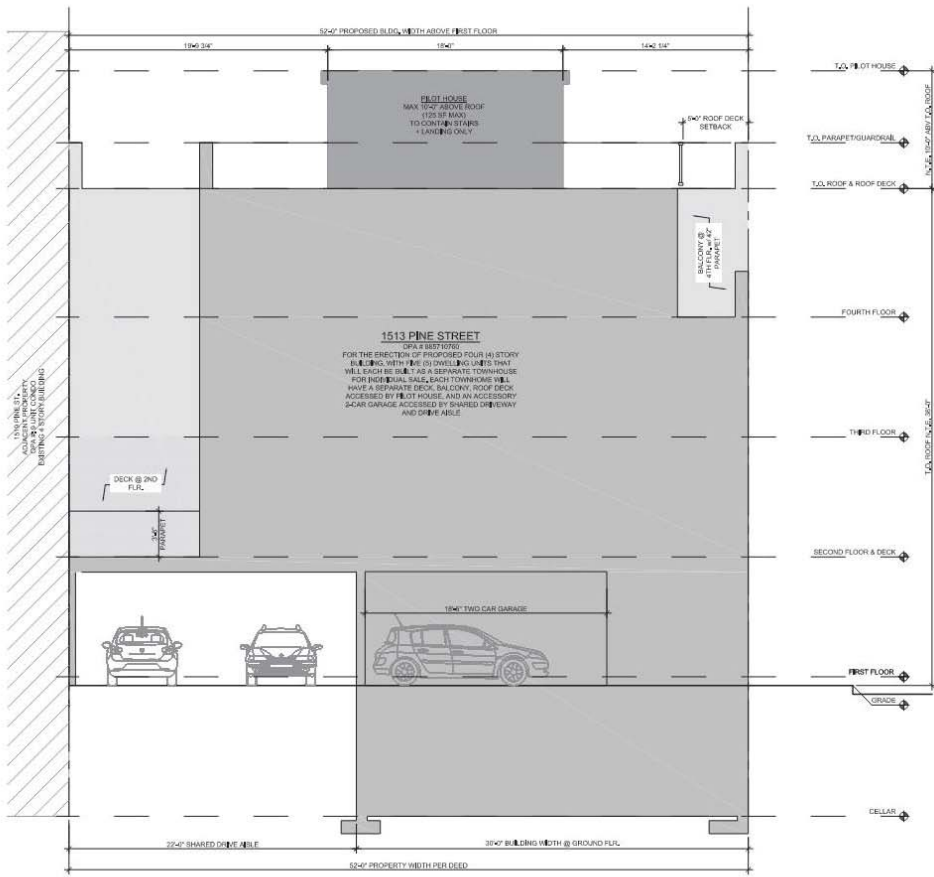
NEARBY HOMES (1500-1520 PINE ST.)



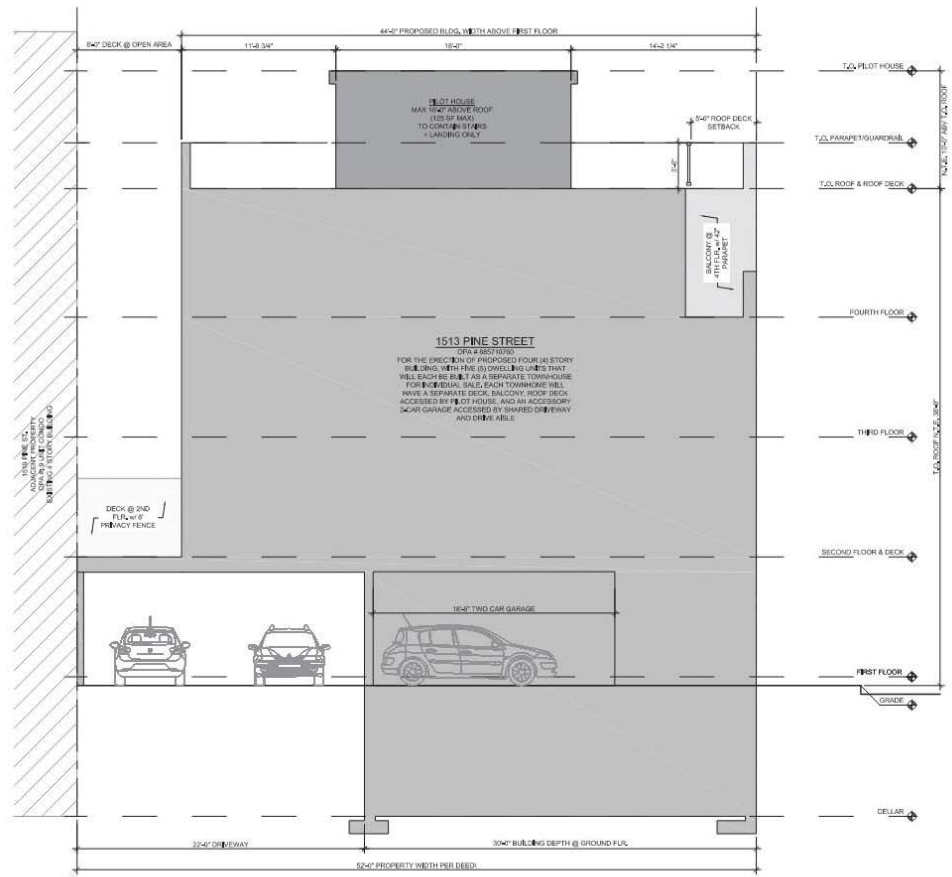
ZONING DATA - 1513 PINE STREET

RM-1 ZONING	REQUIRED/ ALLOWED	EXISTING		PROPOSED	
LOT AREA	1,440 SF	6006.00 SF		6006.00 SF (E.T.R. NO SUBDIV.)	
USE	MULTI FAMILY	COMMERCIAL PARKING LOT		(5) FAMILY DWELLINGS (BUILT AS TOWNHOUSES)	
COVERAGE	MAX. 80%	0.00 SF	(0.0%)	4734.00 SF	78.8%
OPEN AREA	MIN. 20%	6006.00 SF	(100.0%)	1272.00 SF	21.2%
FRONT YARD	NOT REQ'D	NONE		NONE	
SIDE YARD	NOT REQ'D	NONE		NONE	
REAR YARD	9'-0" DEEP MIN.	NONE		9'-0"	
HEIGHT	38'-0" A.G. MAX	NONE		N.T.E. 38'-0"	
PROPOSED BUILDING INFORMATION					
STREET ENCROACHMENTS	-	(5) 3' EGRESS WELLS		(1) 22'-0" CURB CUT	
ANTICIPATED REFUSALS	NONE	-		12" CORNICE O.H.	



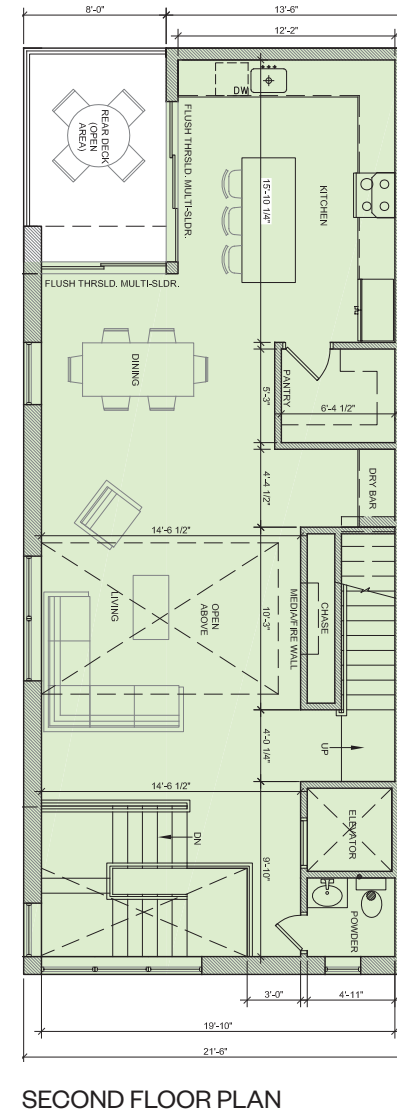
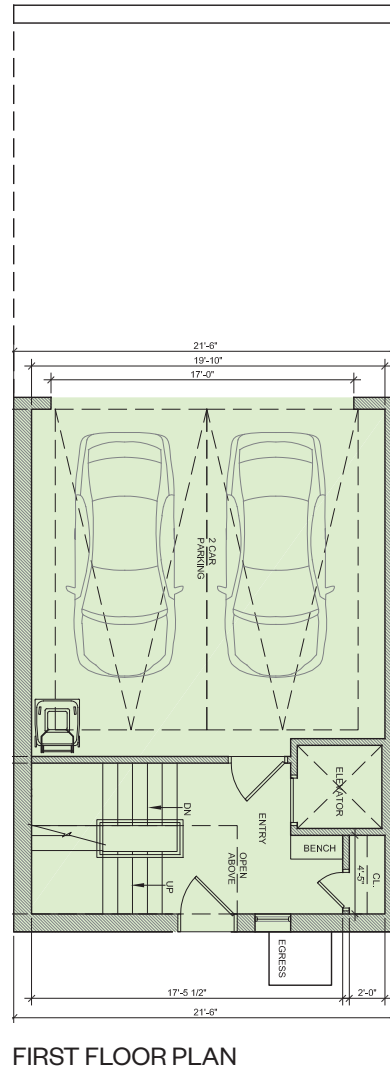
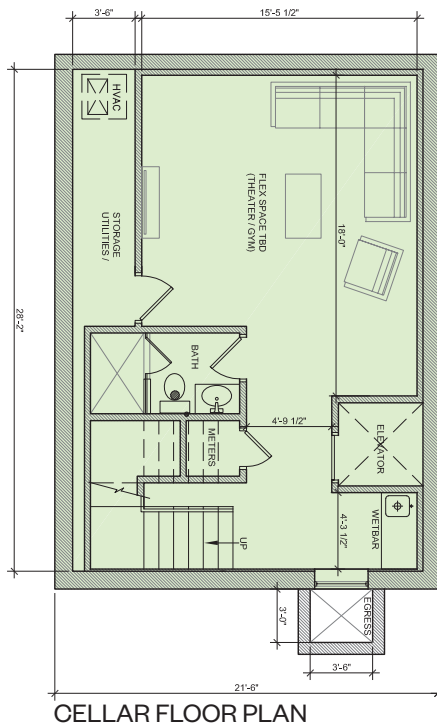


2 ZONING ELEVATION/SECTION @ UNIT E
Scale 3/16" = 1'-0"



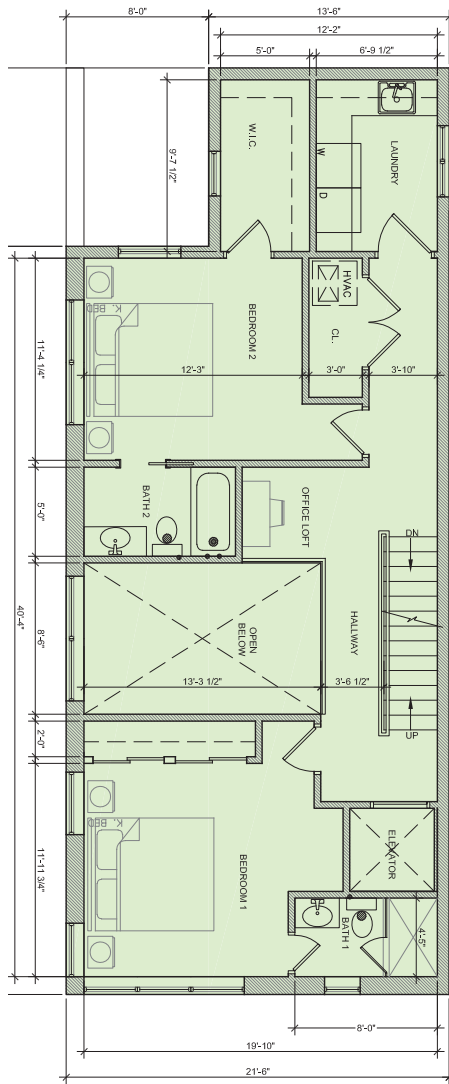
1 ZONING ELEVATION/SECTION @ UNIT A-D
Scale 3/16" = 1'-0"



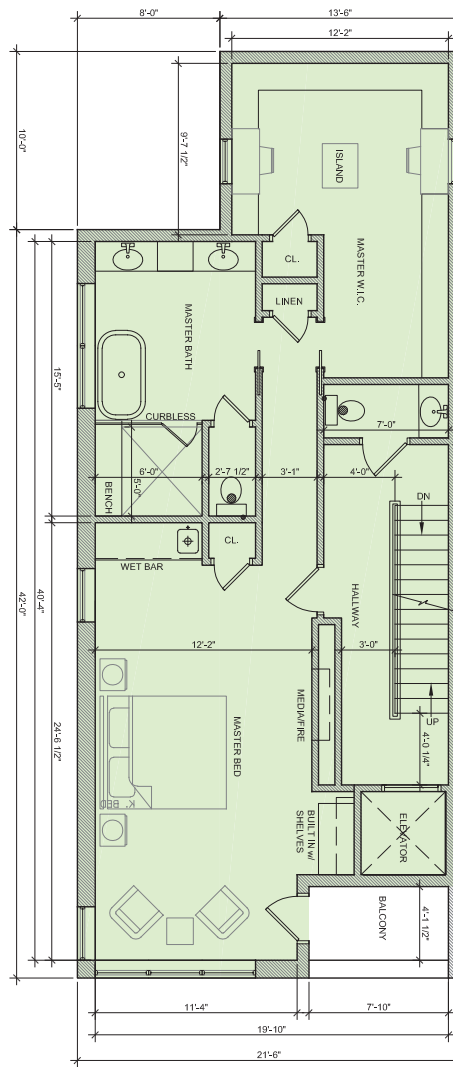


PROPOSED CORNER UNIT PLANS

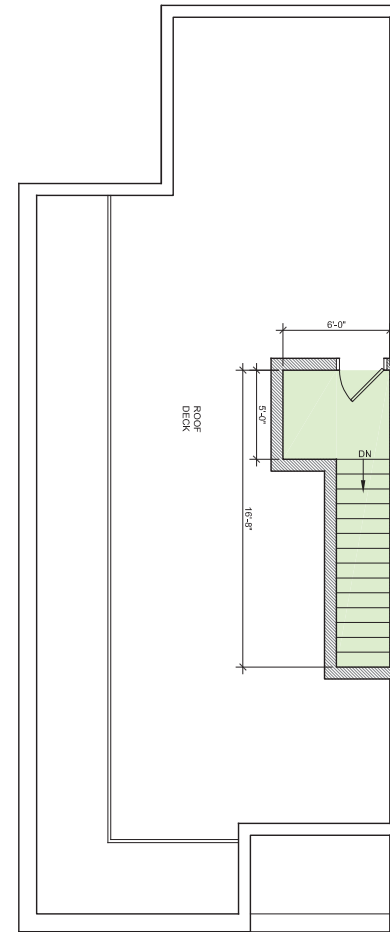




THIRD FLOOR PLAN



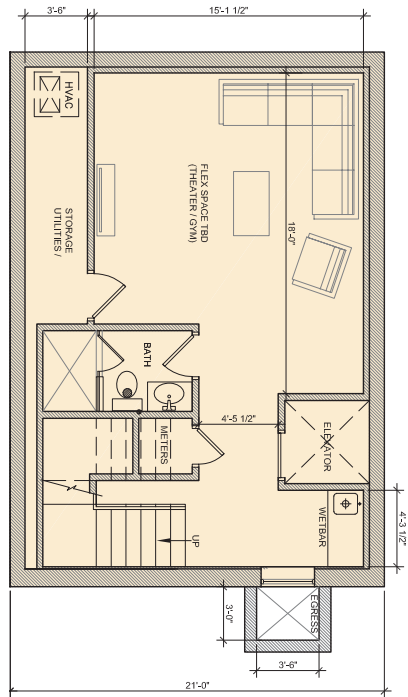
FOURTH FLOOR PLAN



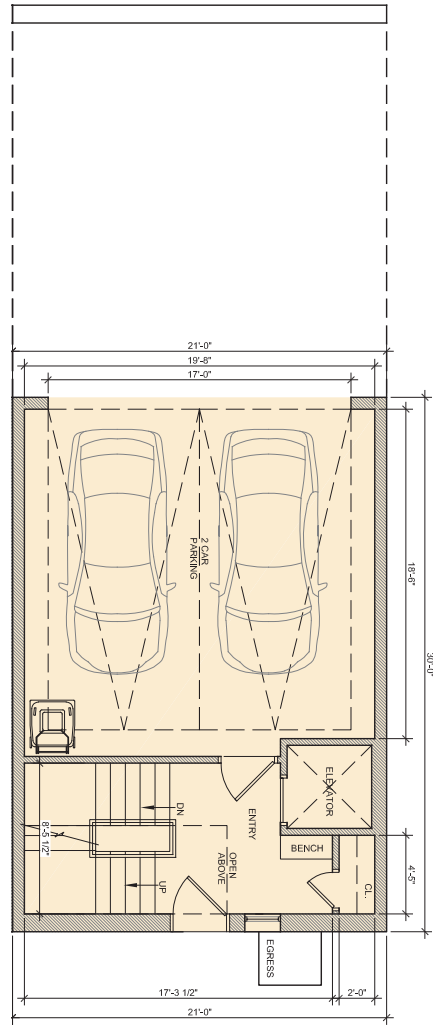
ROOF PLAN

PROPOSED CORNER UNIT PLANS

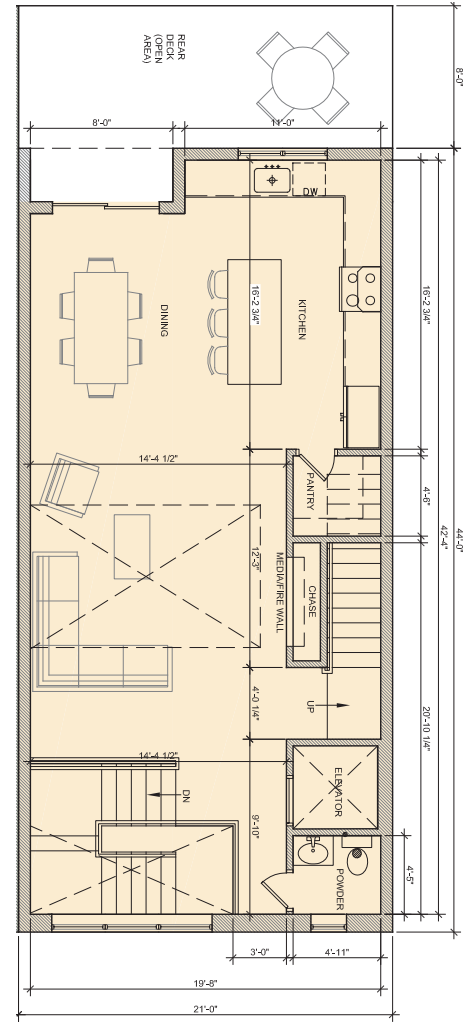




CELLAR FLOOR PLAN



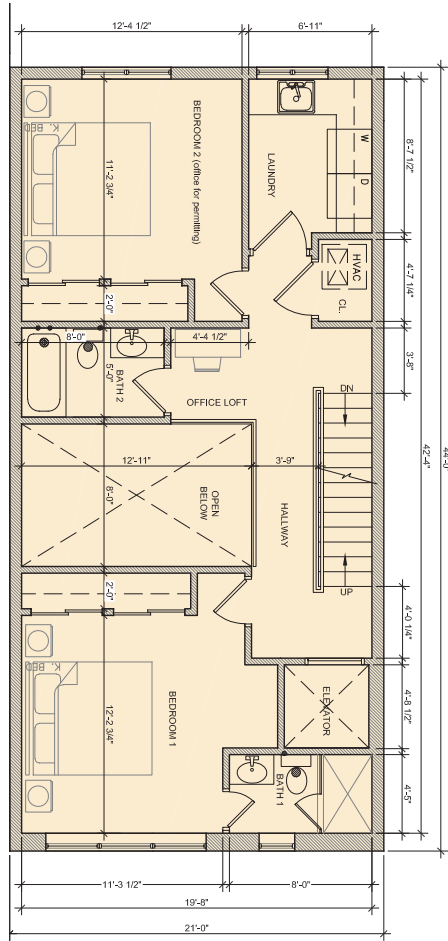
FIRST FLOOR PLAN



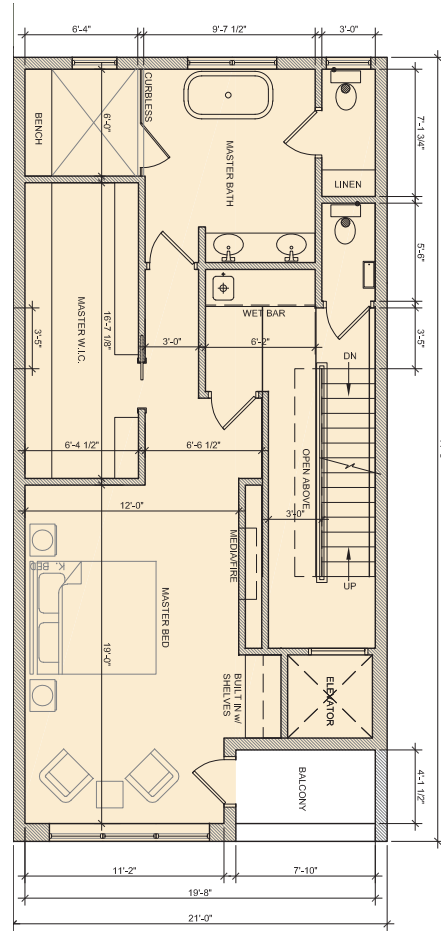
SECOND FLOOR PLAN

PROPOSED TYP. INFILL UNIT PLANS

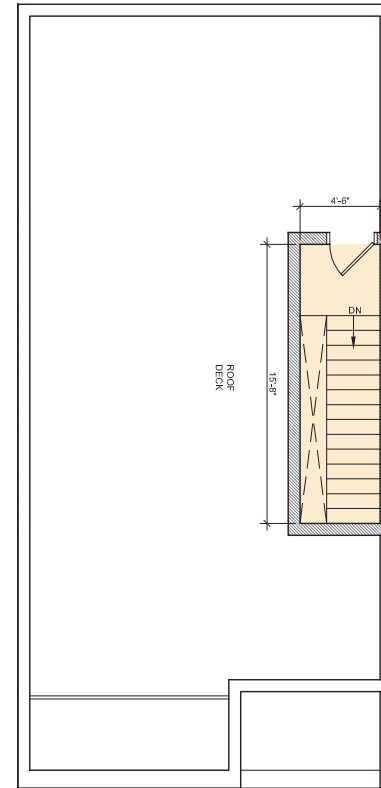




THIRD FLOOR PLAN



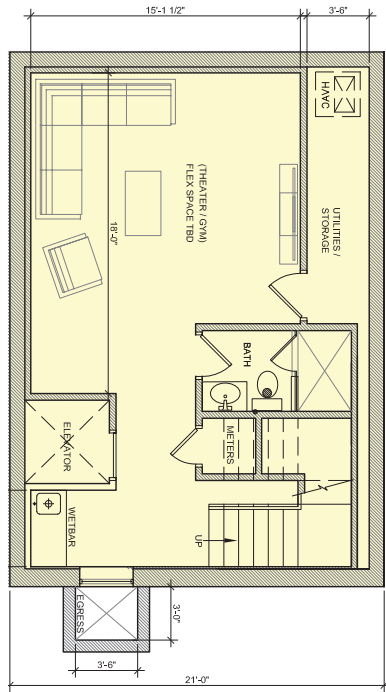
FOURTH FLOOR PLAN



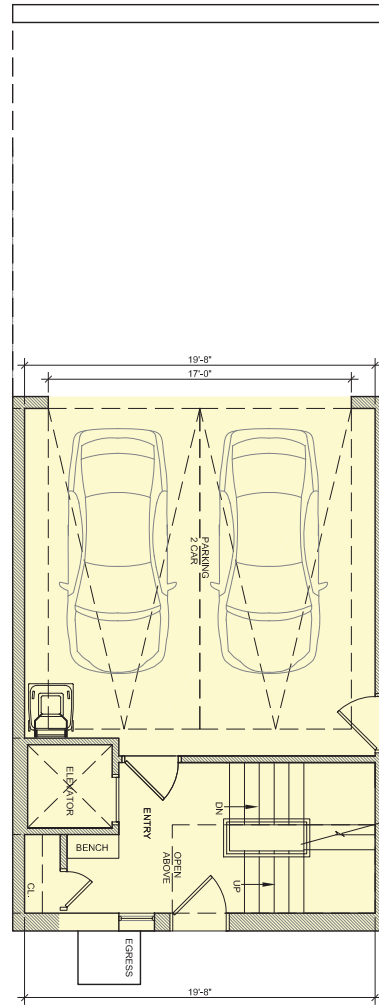
ROOF PLAN

PROPOSED TYP. INFILL UNIT PLANS

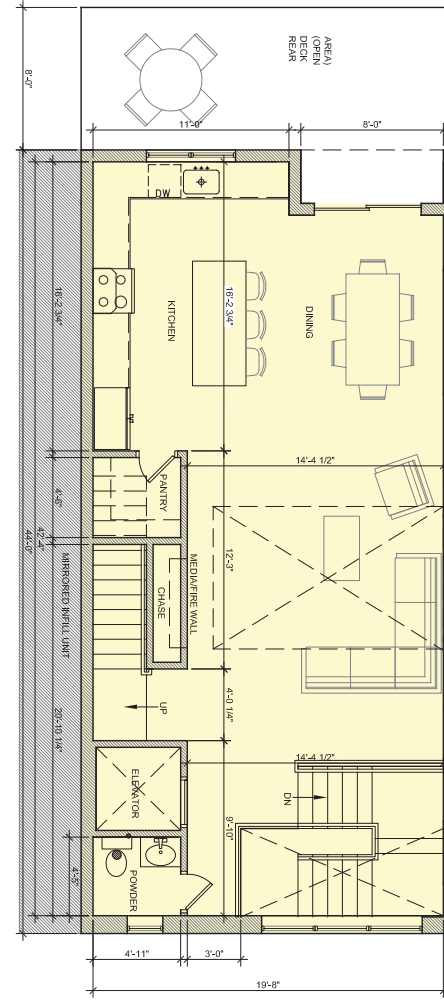




CELLAR FLOOR PLAN

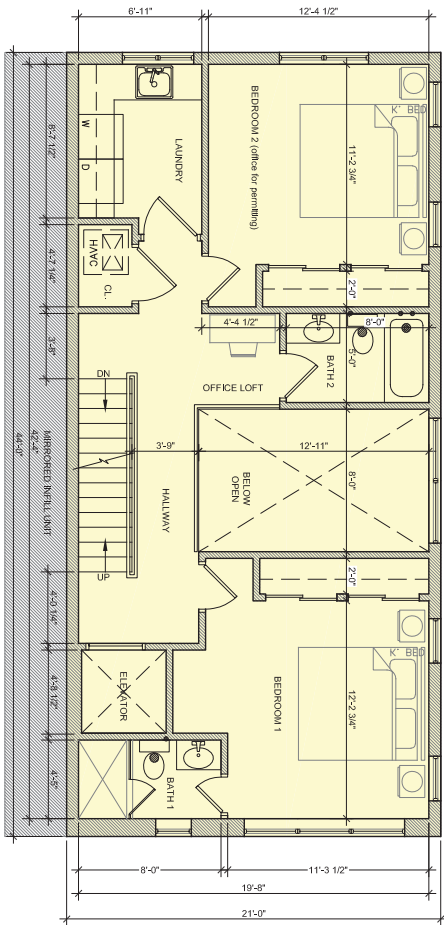


FIRST FLOOR PLAN

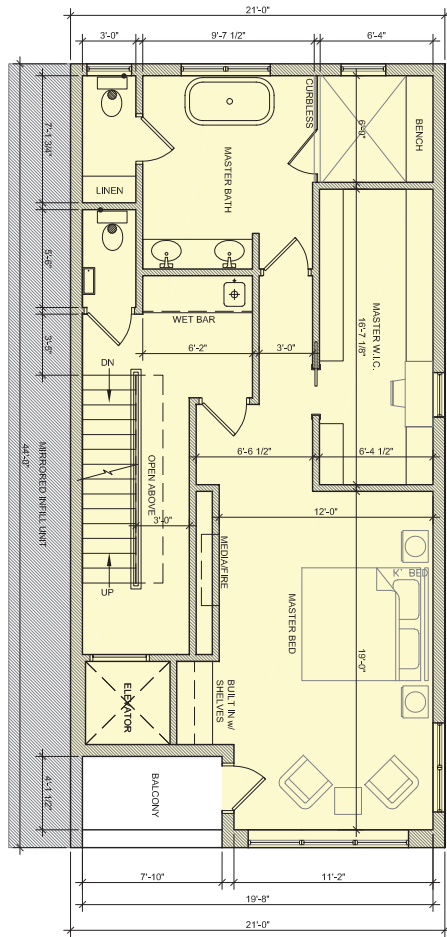


SECOND FLOOR PLAN

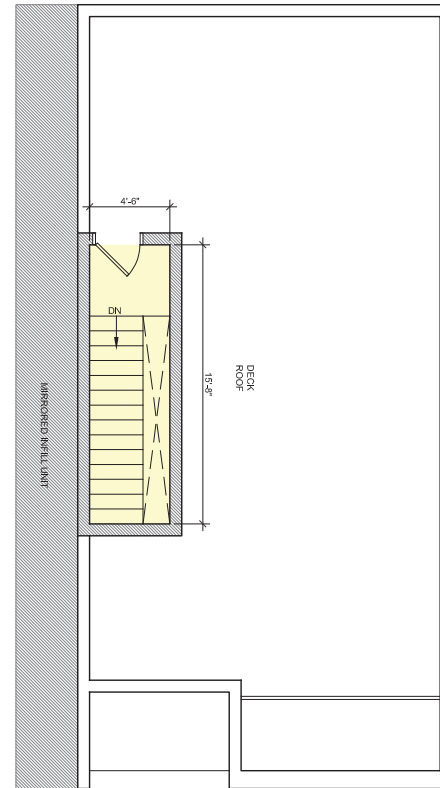
PROPOSED NORTH END UNIT PLANS



THIRD FLOOR PLAN



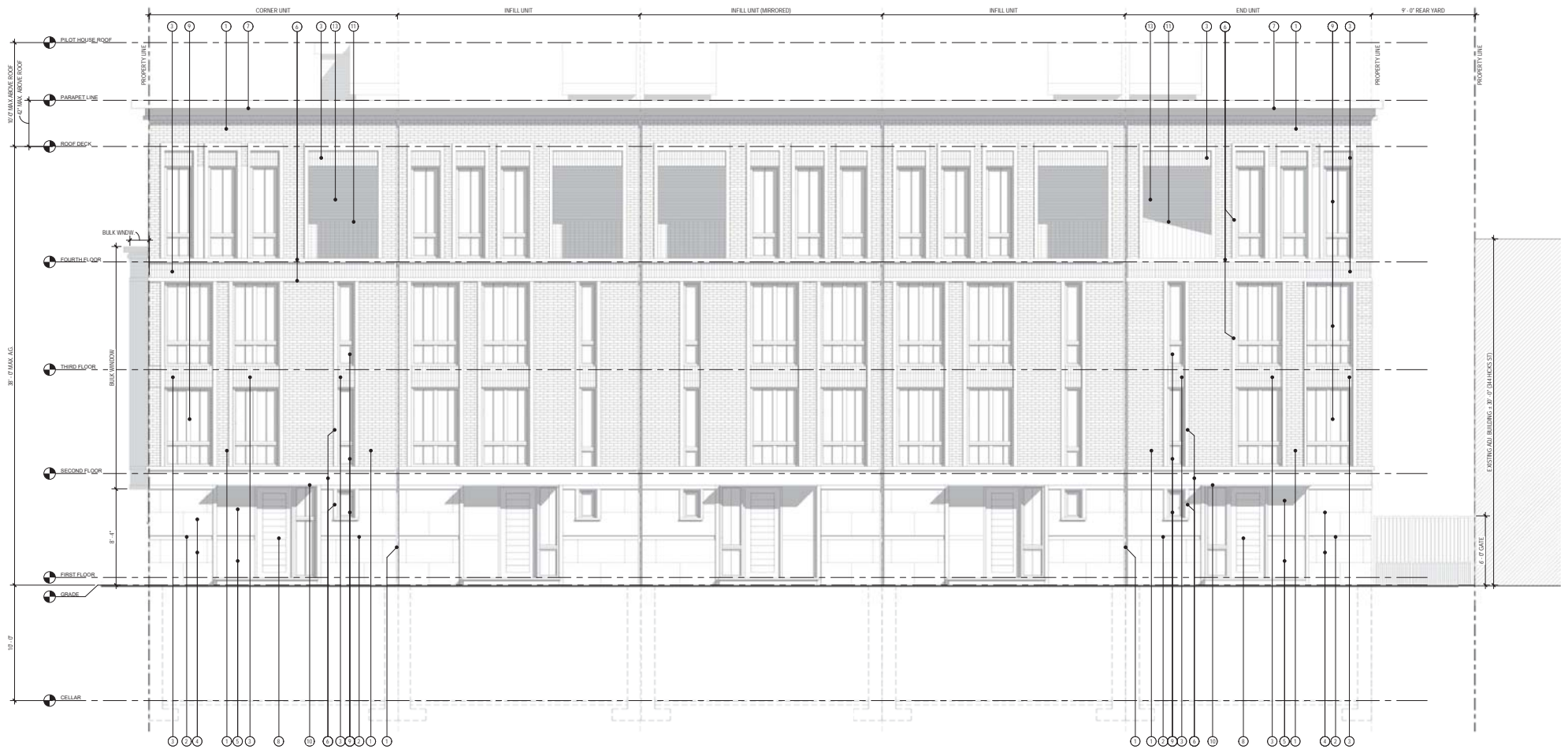
FOURTH FLOOR PLAN



ROOF PLAN

PROPOSED NORTH END UNIT PLANS

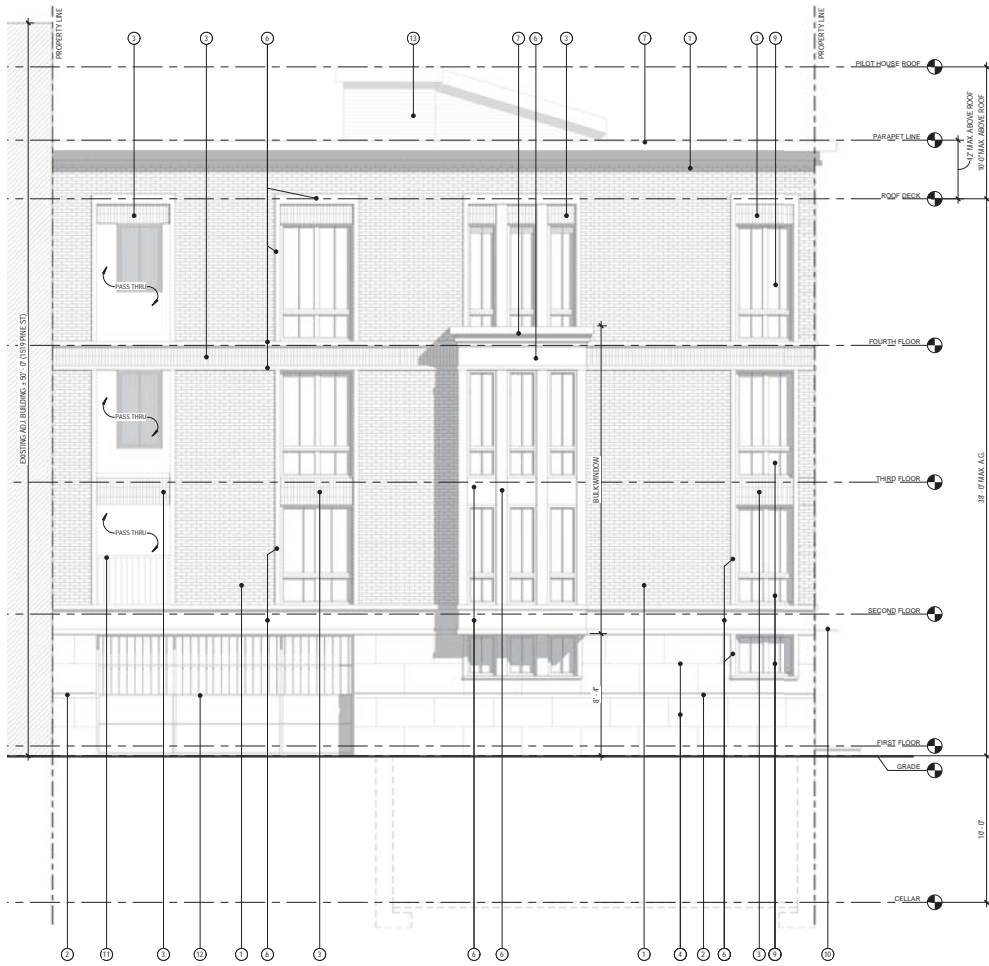




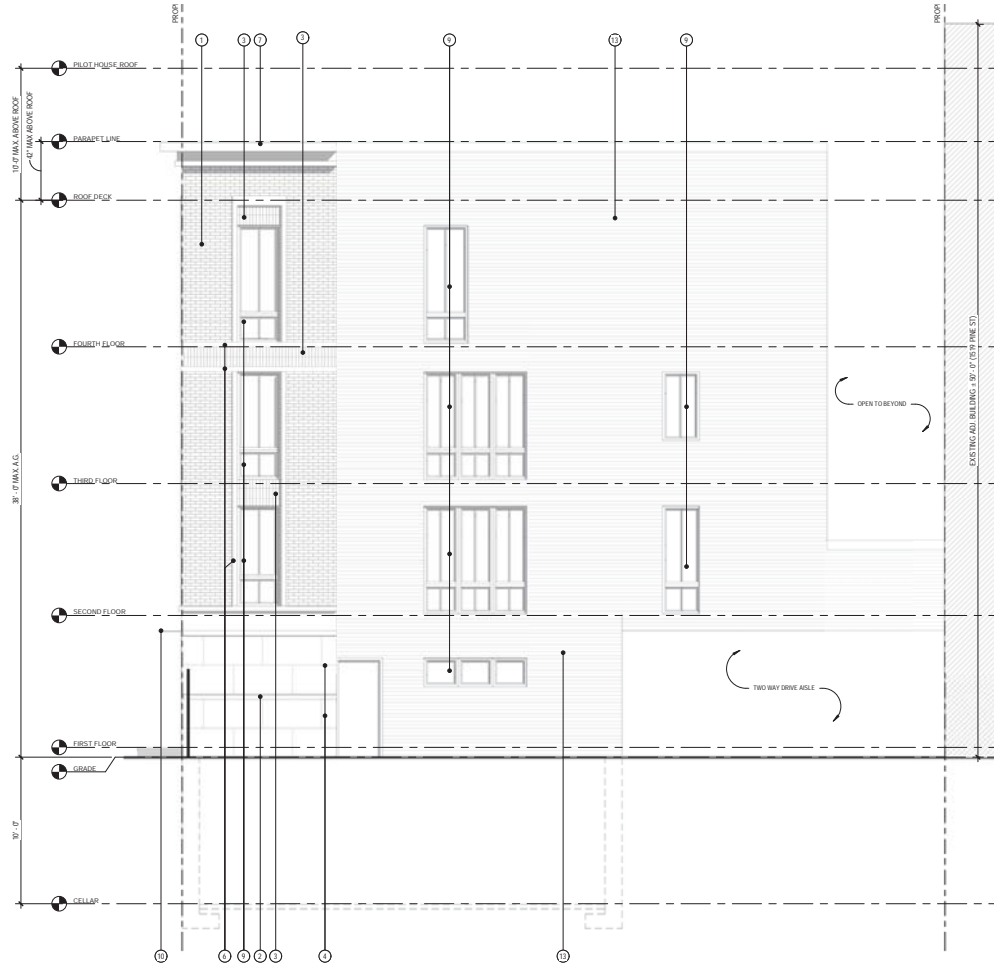
HICKS STREET ELEVATION

EXTERIOR ELEVATION KEYNOTES			
MARK	MATERIAL	MANUFACTURER	DESCRIPTION
1	RECESSED CAST STONE WATERFALL	ARRIS-CAST	REDBROWN CAST STONE, SANDBLAST FINISH
2	1" BRICK SOLDIER COURSE	GLEN GERY	NAPA VALLEY SMOOTH w/ G101 MORTAR; EXPANSION JOINTS TO MATCH MORTAR
3	LARGE FORMAT CAST STONE	ARRIS-CAST	REDBROWN CAST STONE, SANDBLAST FINISH
4	LARGE FORMAT CAST STONE	ARRIS-CAST	DARK GREY CAST STONE
5	CAST STONE TOMBARD	ARRIS-CAST	REDBROWN CAST STONE, SANDBLAST FINISH
6	PAINTED BLACK	TRU EXTERIOR	POLY ASH TRIM WRAPPED CORNICE FRAMING
7	WALNUT TONED WOOD DOOR	THE EMATRU	CLASSIC CRAFT VISIONARY COLLECTION
8	BLACK EXTERIOR ALUMINUM CLAD WOOD WINDOW	PELLA	ALUMINUM CLAD WOOD WINDOW WITH SIMULATED DIVIDED LITE AND SPACER (SLS)
9	STEEL AWING		BLACK 1/2" STEEL PLATE AWING
10	METAL GUARDRAIL		BLACK VERTICAL PICKET GUARDRAIL
11	GARAGE DOOR		BLACK SEMI OPEN, IRON LOOK ROLL UP GARAGE DOOR
12	V-GROOVE WOOD SING	RE-SAWN TIMBER CO.	MANUKA ADOBO VULCAN





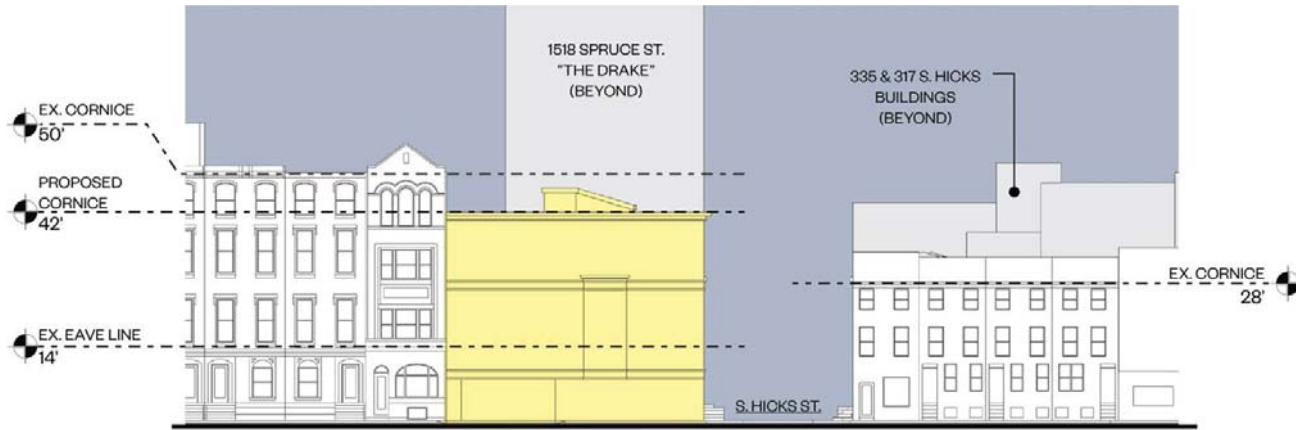
PINE STREET ELEVATION



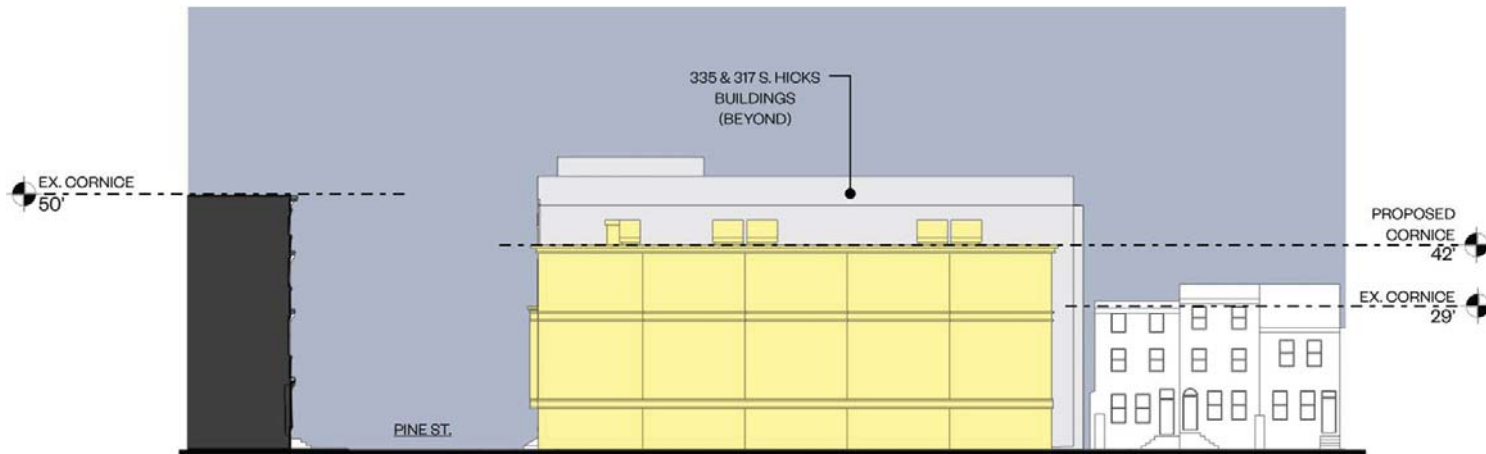
REAR YARD ELEVATION



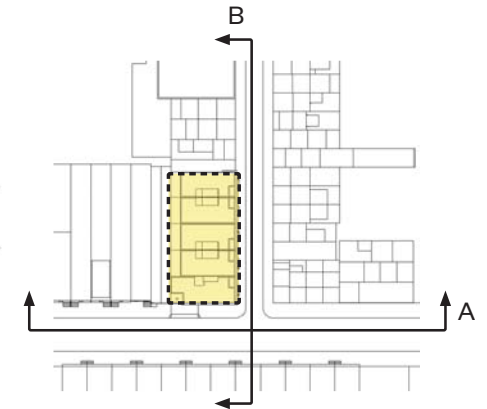
EXTERIOR ELEVATION KEYNOTES			
MARK	MATERIAL	MANUFACTURER	DESCRIPTION
1	RECESSED CAST STONE WATERFALL	ARRIS-CAST	REDBROWN CAST STONE, SANDBLAST FINISH
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4	LARGE FORMAT CAST STONE	ARRIS-CAST	DARK GREY CAST STONE
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6	PAINTED BLACK	TRU EXTERIOR	POLY ASH TRIM WRAPPED CORNER FRAMING
7	WALNUT TONED WOOD DOOR	THE EMATRU	CLASSIC CRAFT VISIONARY COLLECTION
8	BLACK EXTERIOR ALUMINUM CLAD WOOD WINDOW	PELLA	ALUMINUM CLAD WOOD WINDOW WITH SIMULATED DIVIDED LITE AND SPACER (SLS)
9	STEEL AWING		BLACK 1/2" STEEL PLATE AWING
10	METAL GARAGE		BLACK HORIZONTAL PICKET GARAGE
11	GARAGE DOOR		BLACK SEMI OPEN, IRON LOOK ROLL UP GARAGE DOOR
12	V-GROOVE WOOD SING	RE-SAWN TIMBER CO.	MANUKA ADOBO VULCAN



A) PINE STREET ELEVATION

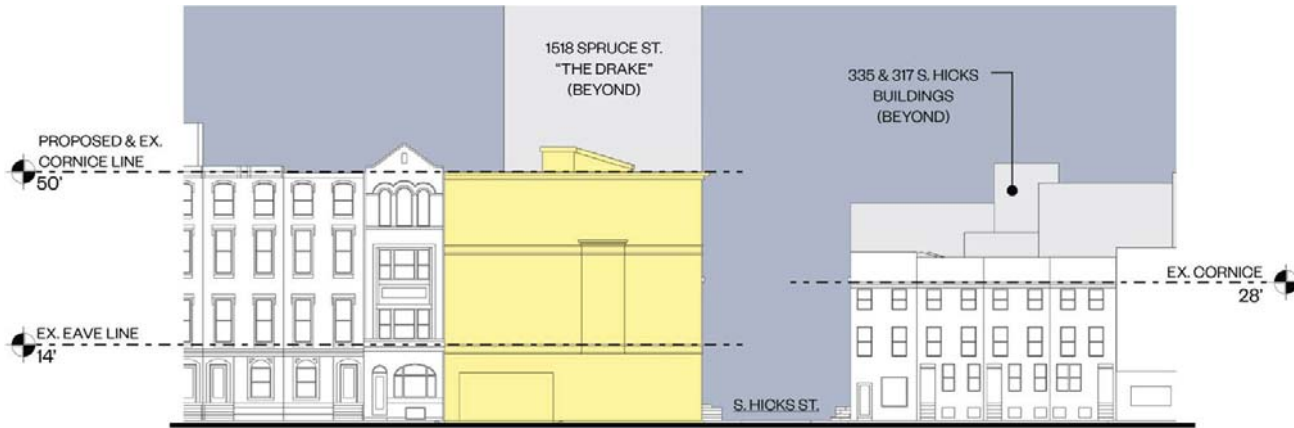


B) S HICKS STREET ELEVATION

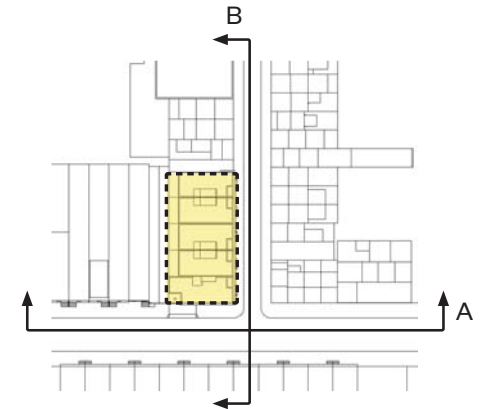
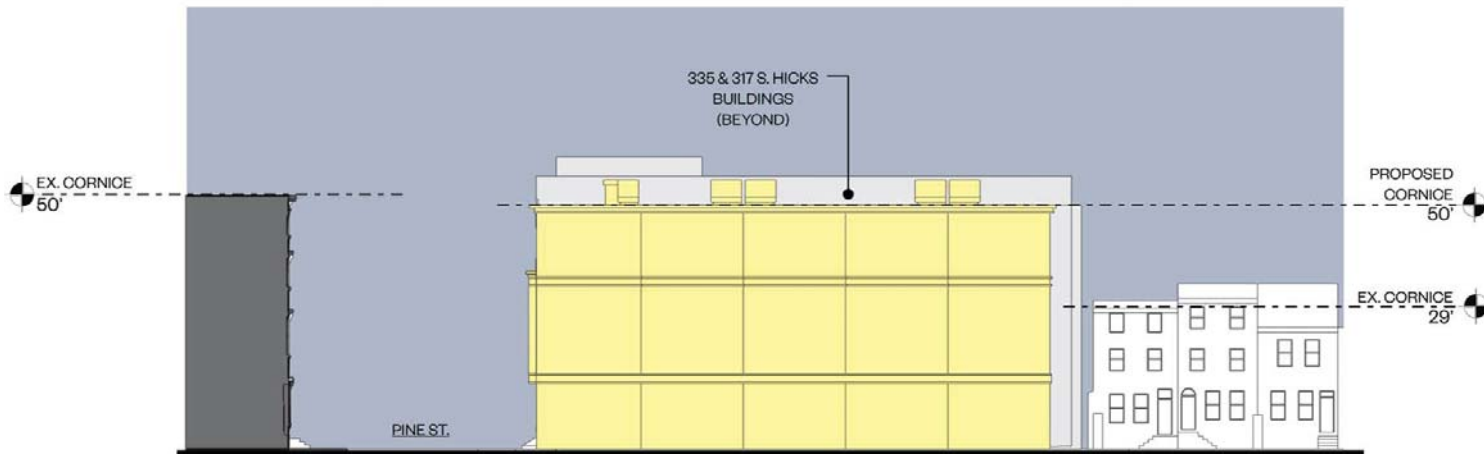


PROPOSED MASSING (BY RIGHT)





A) PINE STREET ELEVATION



B) S HICKS STREET ELEVATION

















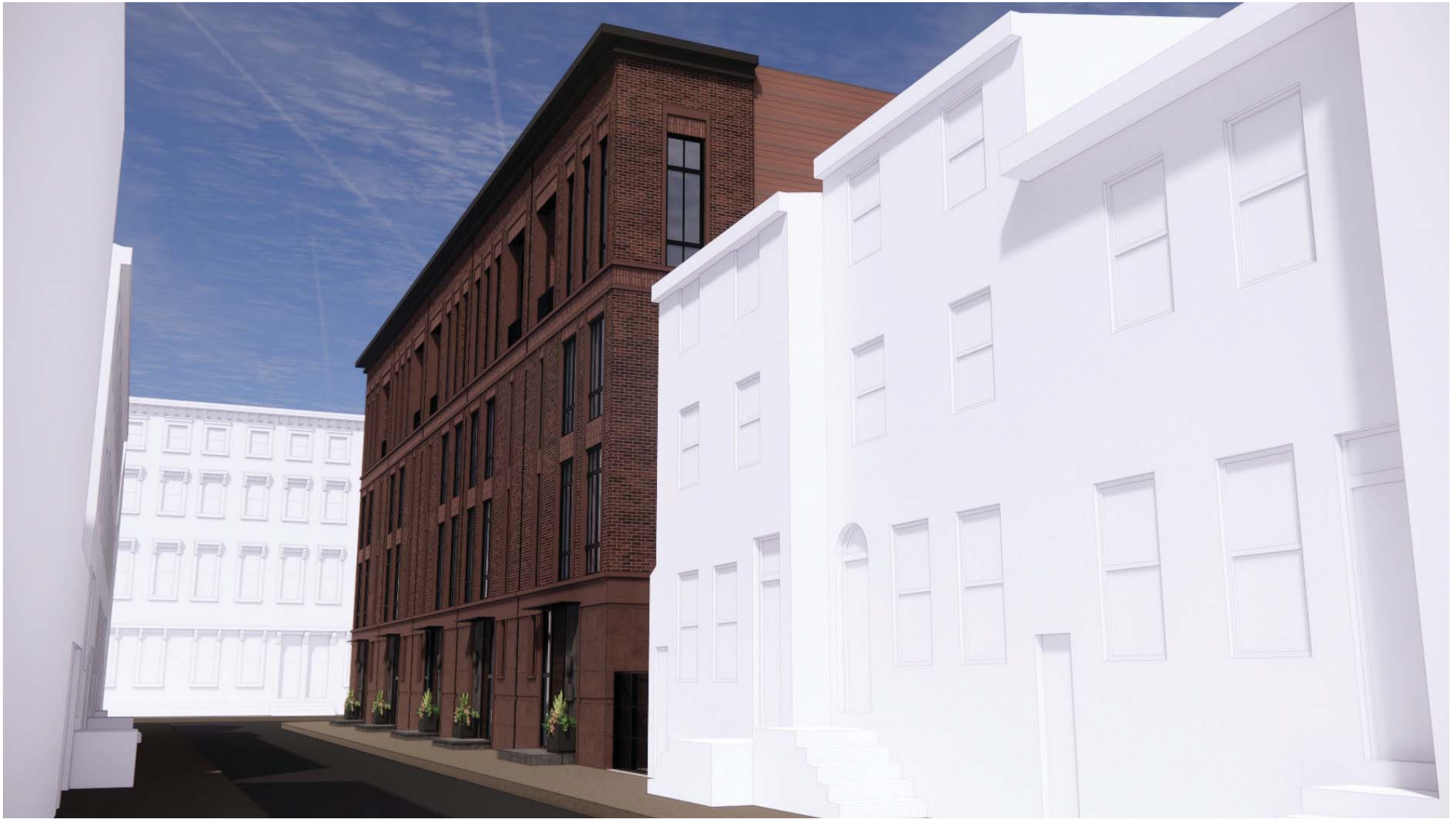






PROPOSED (PINE ST. COMPARATIVE HEIGHT ALT.) - VIEW WEST ALONG S HICKS ST.





PROPOSED (PINE ST. COMPARATIVE HEIGHT ALT.)- VIEW SOUTH WEST ALONG S HICKS ST.



RED/BROWN TONED CAST STONE WITH MATCHING MORTAR



RED/BROWN TONED EXTRUDED BRICK (NAPA VALLY SMOOTH WITH MATCHING MORTAR)



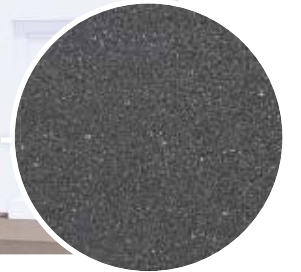
RED/BROWN TONED LARGE FORMAT CAST STONE WITH MATCHING MORTAR



BLACK POLYASH TRIM (TRU-EXTEIOR)



BLACK VERTICAL PICKET GUARDRAIL



DARK GREY CAST STONE WITH MATCHING MORTAR

