ADDRESS: 224 W WASHINGTON LN
Proposal: Partially demolish building; construct duplex
Review Requested: Final Approval
Owner: LJP Holdings
Applicant: Benjamin Estepani, Pace Architecture and Design
History: 1861; Taws Cottage
Individual Designation: pending
District Designation: None
Staff Contact: Meredith Keller, meredith.keller@phila.gov

OVERVIEW: On 28 October 2021, the staff notified the property owner of 224 W. Washington Lane that the Historical Commission would consider a nomination and determine whether to designate the property as historic. The Historical Commission's jurisdiction over building permit applications begins as of the date of the notice letters. The Department of Licenses and Inspections (L&I) may not issue a building permit where the application is "filed" on or after the date the Historical Commission sends the notice letters, unless the Commission approves the application. At the time notice was sent, the owner had plans to subdivide the property and redevelop the existing building, evident by zoning permit ZP-2021-004730, which was processed by L&I on 30 April 2021. Two building permit applications (RP-2021-015619 and RP-2021-017667) were submitted to L&I around the time of the notice. RP-2021-015619, which proposes to demolish a portion of the existing building and construct an addition, was started in eCLIPSE on 4 October 2021 and determined complete by L&I on 3 November 2021. RP-2021-017667, which proposes to construct a three-story duplex adjacent to the existing structure, was started in eCLIPSE on 3 November 2021 and determined complete by L&I on 5 November 2021. The Historical Commission's staff will confer with L&I and the Law Department to determine whether RP-2021-015619 was "filed" before the date of the notice letters. If it was, the Historical Commission does not have the authority to review or deny the application.

The permit applications propose to demolish most of the building, a detached garage, and several landscaping features. At the first story, the rear half of the existing building would be demolished, as would the infilled front porch. Only the front wall and portions of the side walls would remain. The second story and roof would be completely removed. The work would constitute a demolition of the existing building.

Following the subdivision of the property, a new semi-detached building would be constructed on each parcel in place of the existing building and garage. The new buildings would be three stories in height with roof decks and pilot houses. The new design would not retain any design features or architectural elements of the building proposed for designation.

Over and above the strict jurisdictional question related to the dates of the permit application was filed and the notice letters were sent, the Historical Commission, its committees, and staff may consider development plans in place at the time of the issuance of the notice announcing the consideration of a designation including but not limited to executed contracts, substantial design development, or other evidence of a material commitment to development in the review of applications, pursuant to the Historical Commission's Rules & Regulations Section 6.9.a.10. As noted above, this development project was underway long before the nomination was submitted, as is evidenced by the zoning permit.

SCOPE OF WORK:
- Demolish existing two-story building and garage; and
- Construct two, three-story semi-detached buildings on subdivided lot.

STANDARDS FOR REVIEW:
The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
    - The existing building, garage, and site features would be demolished, with only a few walls of the structure remaining at the first story. The work would destroy the historic materials that characterize the property. The work does not comply with Standard 9.
    - The nomination makes no claim for the historic significance of the garage; it is assumed to be non-contributing.
- *Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*
    - The proposed semi-detached buildings would result in an almost complete loss of the existing building. Though several walls of the existing structure would be incorporated into the new construction, the work would cause a loss of the essential form and integrity of the property. The proposed work does not satisfy Standard 10.
- *14-1005(6)(d) Restrictions on Demolition. No building permit shall be issued for the demolition of a historic building, structure, site, or object, or of a building, structure, site, or object located within a historic district that contributes, in the Historical Commission's opinion, to the character of the district, unless the Historical Commission finds that issuance of the building permit is necessary in the public interest, or unless the Historical Commission finds that the building, structure, site, or object cannot be used for any purpose for which it is or may be reasonably adapted. In order to show that building, structure, site, or object cannot be used for any purpose for which it is or may be reasonably adapted, the owner must demonstrate that the sale of the property is impracticable, that commercial rental cannot provide a reasonable rate of return, and that other potential uses of the property are foreclosed.*
- *14-203(88) Demolition or Demolish. The razing or destruction, whether entirely or in significant part, of a building, structure, site, or object. Demolition includes the removal of a building, structure, site, or object from its site or the removal or destruction of the façade or surface.*
    - Section 14-1005(6)(d) prohibits the Historical Commission from approving a demolition, the razing or destruction of a building entirely or in significant part, unless it finds that the demolition is necessary in the public interest or that the building cannot be used for any purpose for which it may be reasonably adapted. The proposed work constitutes a demolition in the legal sense. The application does not demonstrate that the demolition is qualifies for the public interest or inability to reuse exception.

STAFF RECOMMENDATION: The staff offers no recommendation because of the open questions regarding the "filing" of the first building permit application relative to the issuance of the notice letters, and because the Historical Commission has not yet determined whether this property warrants designation or whether the development plans in place at the time of the notice warrant special consideration.

MAPS & IMAGES:

Figure 1: 2020 aerial showing 224 W. Washington Lane. Source: Atlas.

Figure 2: Front façade of 224 W. Washington Lane; photo from nomination, 2021. Source: Historical Commission files.

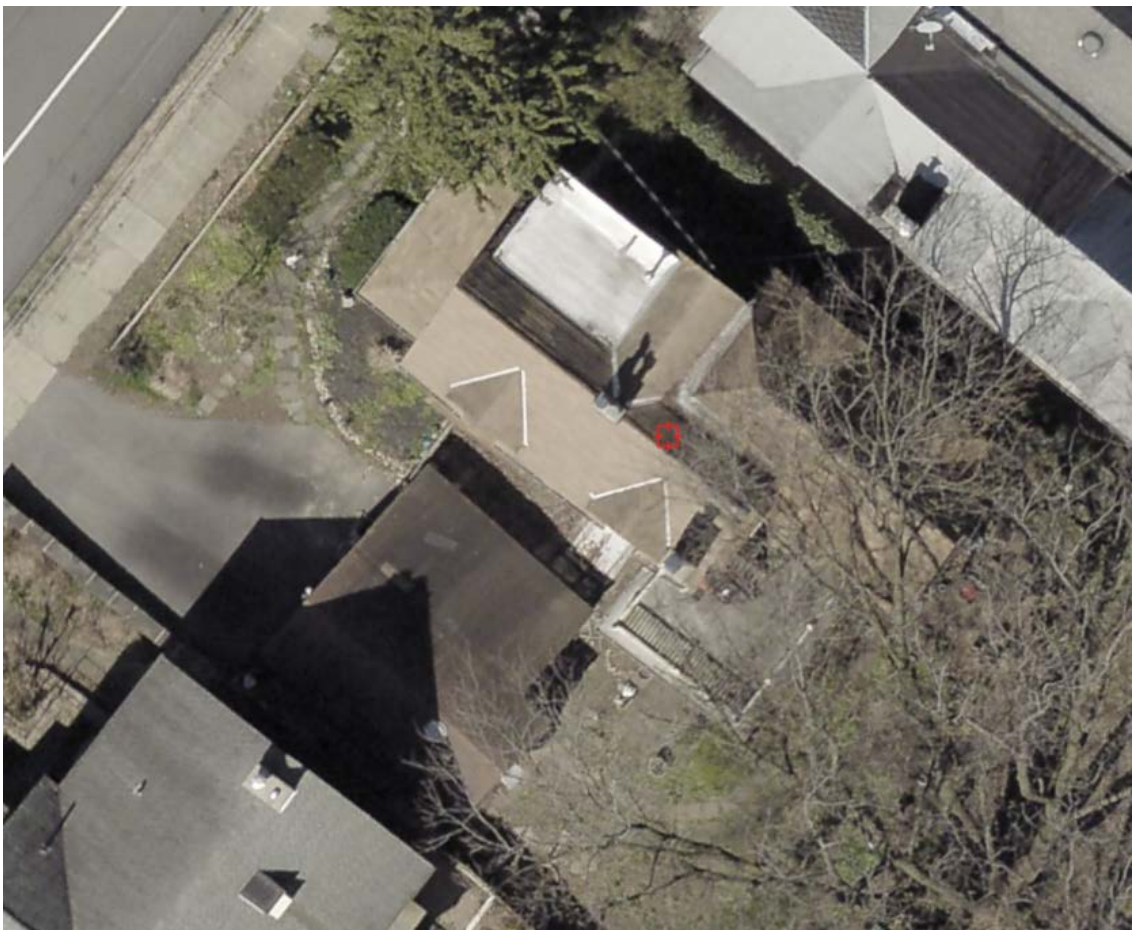

Figure 3: Aerial of the property at 224 W. Washington Lane. The existing building is at the top, with the detached garage at bottom. 2020. Source: Pictometry.

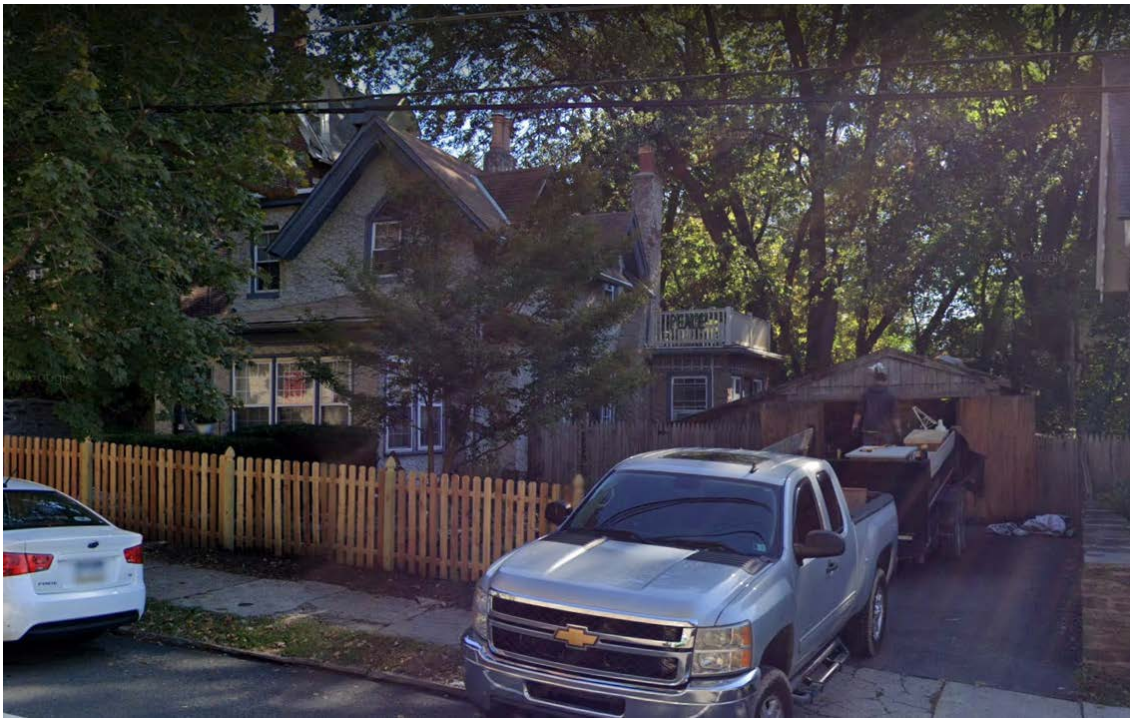

Figure 4: View of house and garage from Washington Lane, 2019. Source: Google StreetView.

Figure 5: Northwest and southwest elevations; photo from nomination, 2021. Source: Historical Commission files.

Figure 6: View looking north; photo from nomination, 2021. Source: Historical Commission files.

Figure 7: View of the southeast elevation; photo from nomination, 2021. Source: Historical Commission files.

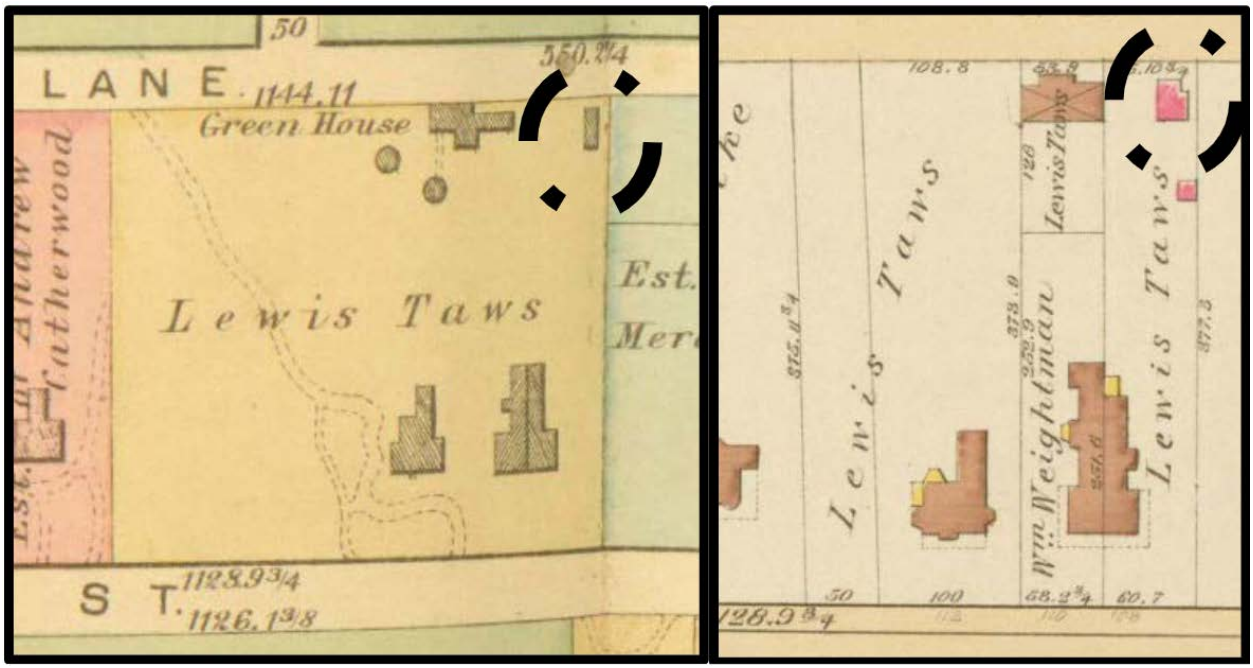

Figure 8: 1871 (left) and 1889 (right) atlases showing the building at 224 W. Washington Lane. Source: PhilaGeoHistory.org/Historical Commission files.

MEETING OF THE ARCHITECTURAL COMMITTEE
OF THE PHILADELPHIA HISTORICAL COMMISSION

TUESDAY, 23 NOVEMBER 2021
REMOTE MEETING ON ZOOM
DAN MCCOUBREY, CHAIR

CALL TO ORDER

START TIME IN AUDIO RECORDING: 00:00:00

The Chair called the meeting to order at 9:00 a.m. The following Committee members joined him:

Committee Member	Present	Absent	Comment
Dan McCoubrey, FAIA, LEED AP BD+C, Chair	X		
John Cluver, AIA, LEED AP	X		
Rudy D'Alessandro	X		
Justin Detwiler	X		
Nan Gutterman, FAIA	X		
Allison Lukachik	X		
Amy Stein, AIA, LEED AP	X		

Owing to public health concerns surrounding the COVID-19 virus, all Commissioners, staff, applicants, and public attendees participated in the meeting remotely via Zoom video and audio-conferencing software.

The following staff members were present:
Jon Farnham, Executive Director
Kim Chantry, Historic Preservation Planner III
Laura DiPasquale, Historic Preservation Planner II
Shannon Garrison, Historic Preservation Planner I
Meredith Keller, Historic Preservation Planner II
Allyson Mehley, Historic Preservation Planner II
Megan Cross Schmitt, Historic Preservation Planner II

The following persons were present:
Suzanne Ponsen
Susan Wetherill
Kelly Edwards
Alex Duller
Union League
Jim Bradberry
Marjorie Russell
Greg Katz
Aaron Osgood
Michael Ramos
Mike Rufo
Donna Lisle
Oscar Beisert

ITEM: 8330 MILLMAN ST MOTION: Approval in-concept MOVED BY: Detwiler SECONDED BY: D'Alessandro					
VOTE					
Committee Member	Yes	No	Abstain	Recuse	Absent
Dan McCoubrey	X				
John Cluver	X				
Rudy D'Alessandro	X				
Justin Detwiler	X				
Nan Gutterman	X				
Allison Lukachik	X				
Amy Stein	X				
Total	6				

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Applicant: Benjamin Estepani, Pace Architecture and Design
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STAFF RECOMMENDATION: The staff offers no recommendation because of the open questions regarding the "filing" of the first building permit application relative to the issuance of the notice letters, and because the Historical Commission has not yet determined whether this property warrants designation or whether the development plans in place at the time of the notice warrant special consideration.

START TIME OF DISCUSSION IN ZOOM RECORDING: 00:32:38

PRESENTERS:

- Ms. Keller presented the application to the Architectural Committee.
- Attorney Michael Phillips, architect Ben Estepani, and owner Lionel Guerra represented the application.

DISCUSSION:

- Mr. McCoubrey suggested that the Committee should review the application as if the property were under the Historical Commission's jurisdiction, and that the question regarding the timeline would be answered at the Historical Commission meeting.
    - Ms. Keller affirmed that that was the appropriate approach.
- Mr. Phillips stated that his client, Conarroe Jawn, purchased the property in November 2020 with plans to relocate lot lines and create two lots. He added that his client filed a zoning application in April 2021. He contended that on 4 October 2021, an application was begun for the almost complete demolition of the existing building on the lot and the renovation of that property. That application, he continued, was finalized and paid for on 21 October 2021, which he argued was one week before notice of the nomination was sent. He stated that it is his contention that permit application RP-2021-015619 is beyond the purview and jurisdiction of the Historical Commission. He added that a second building permit application was filed on 3 November 2021, but that he does not concede that the Historical Commission would have jurisdiction over that application pending the determination of whether the property warrants designation. That application, he continued, proposed new construction on what would become Lot 2. He reiterated that his position is that the Historical Commission lacks jurisdiction over the original building permit application for Lot 1 (RP-2021-015610) and that work may proceed upon the issuance of a building permit. He contended that the work would fundamentally alter the property such that historic designation is not warranted.
- Mr. McCoubrey stated that the work constitutes a demolition and does not meet the Secretary of the Interior's Standards.

    - Mr. Estepani stated that he began working on the development project in September 2020, more than one year ago, without any knowledge that the property was historic, so he and the owner worked to obtain zoning permits and plan for the demolition of most of the existing building. He then explained the design intent.
- Mr. McCoubrey clarified that the design details are trivial, since the plans propose to demolish most of what could be a designated historic resource.
    - Mr. Cluver questioned what the Committee's purview is for the review and whether it needs to simply acknowledge that the proposal is for a demolition of the historic building, or if the Committee needs to discuss the merits of the proposed design.
    - Mr. McCoubrey answered that if the work is considered a demolition, then the Committee should not discuss the architectural details proposed for the new building.
    - Ms. Stein posited that the property is not located within a historic district, so if it is not designated by the Historical Commission, any development plans will not be reviewed by the Committee in the future. She agreed that the Committee should not discuss the design, adding that the concern is a legal issue centered on when the permit application was filed.
- Mr. Detwiler questioned whether the owner considered incorporating the existing building into the design and constructing a separate unit.
    - Mr. Estepani answered that he reviewed the zoning code and designed the building to be constructed by-right. He added that he found the most effective way to use the lot was to construct two semi-detached structures and that he did not consider retaining the existing building and incorporating it into the new development.
- Ms. Stein asked Mr. Farnham how long it would take the City to make the determination regarding when the permit application was filed.
    - Mr. Farnham replied that the project is essentially frozen while the permit application sits at the Department of Licenses and Inspections waiting for the Historical Commission to make a decision. The Law Department and Department of Licenses and Inspections will provide the Historical Commission with enough information and advice so that it can make a final determination in the matter at its 10 December 2021 meeting. He added that he has conveyed the preliminary conclusions to Mr. Phillips. He then stated that Mr. McCoubrey is correct that, if the Committee deems the application to be a demolition, then the new design is not germane to the review at this time.
- Mr. Guerra stated that the project was designed to be by-right to avoid having to obtain additional approvals. He contended that the neighborhood group submitted the nomination at the 11th hour to block the development. He commented that he purchased the property based on its current zoning and the potential development allowed, noting that he has invested a substantial amount of money in the project. He stated that on 21 October 2021, he chose the expedited option for the building permit submission, though he does not know how it affects the staff's statement that the permit application was filed on 3 November 2021.

PUBLIC COMMENT:

- Oscar Beisert stated that the application proposes a demolition, which does not meet the Standards.
- Connie Winters commented on various zoning issues.

- Allison Weiss supported the designation of the property and opposed the application's proposed demolition.
- Paul Steinke of the Preservation Alliance for Greater Philadelphia asked that the developers be mindful of Germantown's history and be open to reuse of historic structures.

ARCHITECTURAL COMMITTEE FINDINGS & CONCLUSIONS:
The Architectural Committee found that:

- The Historical Commission will need to determine whether the property satisfies Criteria for Designation and should be designated as historic.
- The Department of Licenses and Inspections, Historical Commission, and Law Department will need to determine when permit application RP-2021-015619 was filed, and if the date of filing predates the date notice of the nomination was sent.
- The application proposes a demolition of the historic structure.

The Architectural Committee concluded that:

- The proposed work would result in the loss of most of the existing building. The application does not satisfy Standard 9.
- The proposed work would cause a loss of the essential form and integrity of the existing building. The application does not satisfy Standard 10.
- The work constitutes a demolition and cannot be approved by the Historical Commission, pursuant to Section 14-1005(6)(d) prohibiting the demolition of historic structures, because the application fails to demonstrate that demolition is necessary in the public interest or that the building cannot be used for any purpose for which it may be reasonably adapted.

ARCHITECTURAL COMMITTEE RECOMMENDATION: The Architectural Committee voted to recommend denial, pursuant to Standards 9 and 10 and Section 14-1005(6)(d) of the historic preservation ordinance, the demolition prohibition.

ITEM: 224 W WASHINGTON LN **MOTION: Denial** **MOVED BY: Stein** **SECONDED BY: Detwiler**					
VOTE					
Committee Member	Yes	No	Abstain	Recuse	Absent
Dan McCoubrey	X				
John Cluver	X				
Rudy D'Alessandro	X				
Justin Detwiler	X				
Nan Gutterman	X				
Allison Lukachik	X				
Amy Stein	X				
Total	6				

ABBREVIATIONS

ABV	Above
AP	Access Panel
ACS	Acoustical
ACT	Acoustical Ceiling Tile
AD	Area Drain
ADD	Addendum
ADDL	Additional
ADH	Adhesive
ADJ	Adjacent
ADJT	Adjustable
AFF	Above Finish Floor
AGG	Aggregate
AC	Air Conditioning
ALT	Alternate
ALUM	Aluminum
AB	Anchor Bolt
ANOD	Anodized
APPROX	Approximate
ARCH	Architect (ural)
ASPH	Asphalt (ic)
AUTO	Automatic
AVG	Average
BBD	Base Board
BP	Base Plate
BSMT	Basement
BM	Beam
BEL	Below
BMK	Bench Mark
BET	Between
BYD	Beyond
BIT	Bituminous
BLK	Block
BLKG	Blocking
BLS	Bluestone
BD	Board
BS	Both Sides
BOT	Bottom
BOC	Bottom Of Concrete
BOF	Bottom Of Footing
BOS	Bottom Of Steel
BOW	Bottom Of Wall
BRCG	Bracing
BRKT	Bracket
BRK	Brick
BC	Brick Course
BRZ	Bronze
BLDG	Building
CAB	Cabinet
CPT	Carpet
CB	Catch Basin
CK	Caulk
CLG	Ceiling
CEM	Cement
CTR	Center
CL	Center Line
CT	Ceramic Tile
CHBD	Chalkboard
CHAM	Chamfer
C	Channel
CO	Clean Out
CLR	Clear (ance)
CLO	Closet
CW	Cold Water
COL	Column
COMB	Combination
COMP	Computer
COMPR	Compress (ed) (ible)
CONC	Concrete
CMU	Concrete Masonry Unit
COND	Condition (al)
CNDT	Conduit
CONN	Connect (or) (ion)
CONST	Construction
CONT	Continuous
CONTR	Contract (or)
CJT	Control Joint
COORD	Coordinate
CPR	Copper
CORR	Corrugated
CNTR	Counter
CFL	Counterflashing
CS	Countersunk
CRS	Course (s)
CVR	Cover
CFT	Cubic Foot
CYD	Cubic Yard
CUS	Custom
DPR	Damper
DMPF	Dampproofing
DL	Dead Load
DEMO	Demolish (Demolition)
DEPT	Department
DEPR	Depress (ed)
DET/DTL	Detail
DIA	Diameter
DIFF	Diffuser
DIM	Dimension
DISP	Dispenser
DIV	Division
DR	Door
DBL	Double
DWL	Dowel
DN	Down
DS	Down Spout
D	Drain
DWR	Drawer
DWG	Drawing
EA	Each
E	East
ELAS	Elastomeric
ELEC	Electric (al)
EP	Electrical Panel
EWC	Electrical Water Cooler
ELEV	Elevation
EL	Elevator
EMER	Emergency
ENC	Enclosure
ENT	Entrance
EPX	Epoxy
EQ	Equal
EQP	Equipment
EST	Estimate
EXC	Excavate (Excavation)
EXH	Exhaust
EXG	Existing (Exstent)
ED	Existing Dimension
EPS	Expanded Polystyrene
EB	Expansion Bolt
EXP JT	Expansion Joint
EXP	Expose (d)
EXT	Exterior
EXTR	Extrusion
FAB	Fabricate (Fabricator)
FB	Face Brick
FO	Face of
FOB	Face of Building
FOC	Face of Concrete
FOM	Face of Masonry
FOS	Face of Stud
FOW	Face of Wall
FCU	Fan Coil Unit
FAS	Fasten (er)
FND	Feminine Napkin Disposal
FNV	Feminine Napkin Vendor
FBD	Fiberboard
FGL	Fiberglass
FIN	Finish
FFL	Finish Floor
FFE	Finish Floor Elevation
FGD	Finish Grade
FF	Finish (ed) Face
FA	Fire Alarm
FEC	Fire Extinguisher Cabinet
FRC	Fire-resistant Coating
FRT	Fire-retardant
FPF	Fireproof (ing)
FXD	Fixed
FLG	Flashing
FLX	Flexible
FLR	Floor
FD	Floor Drain
FLUOR	Fluorescent
FT	Foot (Feet)
FTG	Footing
FDN	Foundation
FR	Frame (d) (ing)
FS	Full Size
FBO	Furnish by Others
FOIC	Furnished By Owner, Installed By Contractor
FURN	Furnish (ed)
FUR	Furred (ing)
FUT	Future
GA	Gage (Gauge)
GAL	Gallon
GALV	Galvanize (d)
GSM	Galvanized Sheet Metal
GSTL	Galvanized Steel
GL	Glass
GFRG	Glass Fiber Reinforced Gyp.
GLZ	Glaze (d) (ing)
GBR	Grab Bar
GD	Grade (ing)
GRN	Granite
GND	Ground
GWP	Grounded Waterproof Outlet
GT	Grout
GPDW	Gypsum Drywall
HNRL	Handrail
HDW	Hardware
HDWD	Hardwood
HDR	Header
HTR	Heater
HTG	Heating
HVAC	Heating, Ventilating & Air Conditioning
HT	Height
HEX	Hexagonal
HP	High Point
HM	Hollow Metal
HMDRF	Hollow Metal Door Frame
HK	Hook
HORIZ	Horizontal
HW	Hot Water
HWH	Hot Water Heater
HR	Hour
HYD	Hydrant
IN	Inch
INCL	Include (d) (ing)
ID	Inside Diameter
INSUL	Insulate (d) (ing)
INT	Interior
INV	Invert
JAN	Janitor
JT	Joint
JTF	Joint Filler
KPL	Kick Plate
LBL	Label
LAD	Ladder
LAM	Laminate (d)
LAV	Lavatory
LCCPR	Lead Coated Copper
L	Left
LH	Left Hand
LNG	Length (Long)
LTG	Light (ing)
LW	Lightweight
LMS	Limestone
LIN	Linoleum
LTL	Lintel
LL	Live Load
LKG	Looking
LVR	Louver
LP	Low Point
MACH	Machine
MH	Manhole
MFR	Manufacturer
MRB	Marble
MAS	Masonry
MO	Masonry Opening
MATL	Material
MAX	Maximum
MECH	Mechanical
MED	Medium
MEMB	Membrane
MTL	Metal (ic)
MM	Milimeter
MWK	Millwork
MIN	Minimum
MIR	Mirror
MISC	Miscellaneous
MOD	Modular
MLDG	Molding
MR	Mop Receptacle
MRT	Mortar
MT	Mount (ed)
MOV	Movable
MUL	Mullion
NAT	Natural
NEO	Neoprene
NOM	Nominal
N	North
NIC	Not in Contract
NTS	Not to Scale
NUM	Number
OA	Overall
OC	On Center
ORD	Overflow Roof Drain
OPQ	Opaque
OPNG	Opening
OPP	Opposite
OPPF	Opposite Face
OPPH	Opposite Hand
OPPS	Opposite Side
OZ	Ounce
O TO O	Out to Out
OD	Outside Diameter
OVHD	Overhead
P	Page
PR	Pair
PNL	Panel
PTD	Paper Towel Dispenser
PTR	Paper Towel Receptacle
PAR	Parallel
PBD	Particle Board
PTN	Partition
PVMT	Pavement
PERF	Perforate (d)
PERI	Perimeter
PERP	Perpendicular
PLAS	Plaster
PLAM	Plastic Laminate
PL	Plate
PNT	Paint (ed)
PLYWD	Plywood
PT	Point
PSF	Pounds Per Square Foot
PSI	Pounds Per Square Inch
PIP	Poured In Place
PFB	Prefabricated
PFN	Prefinished
PFM	Preformed
PMF	Premolded Filler
PRT	Pressure Treated
PROJ	Project
QT	Quarry Tile
QTR	Quarter
RAD	Radius
REC	Recessed
RECT	Rectangular
REF	Reference
RP	Reference Point
RFL	Reflect (ed)
REFR	Refrigerator
REG	Reglet
REINF	Reinforcing (ment)
RLF	Relief
RMV	Remove (able)
REQ	Require (d)
RES	Resilient
RTN	Return
RA	Return Air
REV	Revise (d) (ion)
RH	Right Hand
R	Riser
RD	Roof Drain
RFG	Roofing
RM	Room
RO	Rough Opening
RND	Round
RBR	Rubber
RWC	Rain Water Collector
SCHD	Schedule
SCN	Screen
SNT	Sealant
SEC	Section
SSK	Service Sink
SB	Setting Bed
SHTH	Sheathing
SHT	Sheet
SHL	Shelf (Shelving)
SHRG	Shoring
SIM	Similar
SLV	Sleeve
SP	Soundproof(ing)
S	South
SPK	Speaker
SPL	Special
SPEC	Specification (s)
SFP	Spray Fireproofing
SQ	Square
SF	Square Foot
STAG	Staggered
SST	Stainless Steel
STD	Standard
STL	Steel
STOR	Storage
STRUCT	Structure (al)
SUR	Surface
SUSP	Suspended
SW	Switch
SYM	Symmetrical
SYN	Synthetic
SYS	System
TKBD	Tackboard
TEL	Telephone
TEMP	Temperature
THER	Thermostat
THRSHLD	Threshold
THK	Thick (ness)
TLT	Toilet
TPTN	Toilet Partition
T&G	Tongue And Groove
TO	Top Of
TOC	Top Of Concrete
TOF	Top Of Footing
TOS	Top Of Steel
TOW	Top Of Wall
TD	Towel Dispenser
TRANS	Transparent
TR	Tread
TYP	Typical
UCT	Undercut
UNF	Unfinished
UON	Unless Otherwise Noted
URTH	Urethane
U/S	Underside
UTIL	Utility
VB	Vapor Barrier
VNR	Veneer
VENT	Ventilating
VIF	Verify In Field
VERT	Vertical
VCB	Vinyl Cove Base
VCT	Vinyl Composite Tile
VSB	Vinyl Straight Base
VOL	Volume
WSCT	Wainscot
WC	Water Closet
WR	Wter Repellent
WS	Water Stop
WPF	Waterproof (ing)
WT	Weight
WWF	Welded Wire Fabric
W	West
WF	Wide Flange
WDW	Window
WM	Wire Mesh
W/	With
W/O	Without
WD	Wood
WB	Wood Base

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING / PROPOSED CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DRAWING DISCREPANCIES, VARIATIONS IN DRAWINGS AND FIELD CONDITIONS ETC TO THE OWNER AND ARCHITECT. ANY WORK THE CONTRACTOR PERFORMS WITHOUT NOTIFICATION SHALL BE AT THE CONTRACTOR'S RISK AND MAY BE REFUSED BY THE ARCHITECT.

2. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.

3. THE CONTRACTOR SHALL MAINTAIN AT THE SITE FOR THE OWNER ONE RECORD COPY OF ALL DRAWINGS, AND APPROVED SAMPLES, MARKED CURRENTLY TO RECORD ALL CHANGES DURING CONSTRUCTION.

4. NO CHANGES IN THE WORK SHALL BE PERFORMED BY THE CONTRACTOR WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT TO PROCEED. ANY CHANGES THE CONTRACTOR PERFORMS WITHOUT SUCH AUTHORIZATION SHALL BE AT THE CONTRACTOR'S RISK AND MAY BE REFUSED BY THE ARCHITECT.

5. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES, THE OWNER, AND THE BUILDING MANAGEMENT. ALL WORK SHALL CONFORM TO THE BASE BUILDING SPECIFICATIONS AND STANDARDS, WHICH THE CONTRACTOR SHALL OBTAIN PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

6. ERECT AND MAINTAIN TEMPORARY BRACING, LIGHTS, DUSTPROOF PARTITIONS, BARRICADES, AND WARNING SIGNS AS NECESSARY TO PREVENT INJURY, NOISE, DUST AND INCONVENIENCE TO THE PUBLIC AND TO PREVENT DAMAGE TO ADJACENT CONSTRUCTION WHICH IS TO BE LEFT IN PLACE.

7. INSTALL ALL EQUIPMENT AND MATERIALS AS PER MANUFACTURERS' RECOMMENDATIONS. ANY DIFFICULTIES MUST BE REPORTED TO THE OWNER AND THE ARCHITECT IMMEDIATELY.

8. DIMENSIONS ARE TO |FINISH| CONSTRUCTION, UNLESS NOTED OTHERWISE.

9. THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE LANDLORD, THE TENANT, ARCHITECT, AND DESIGNERS AGAINST ANY AND ALL CLAIMS AND DEMANDS FOR THE DAMAGE TO THE PROPERTY OF ANY PERSON, FIRM OR INDIVIDUAL OR FOR PERSONAL INJURIES (INCLUDING DEATH) ARISING OUT OF, OR SUFFERED WHILE ENGAGED IN, CAUSED, IN WHOLE OR IN PART, BY THE EXECUTION OF THE WORK, HE SHALL WELL AND TRULY DEFEND THE LANDLORD, TENANT, ARCHITECT, AND DESIGNERS AND SHALL PAY ALL MONIES AWARDED FOR SUCH DAMAGES OF INJURIES (INCLUDING DEATH) AS MAY BE SUSTAINED, ALL COSTS INCLUDING ATTORNEY'S FEES AND SHALL OBTAIN A FULL ACQUAINTANCE AND RELEASE IN FAVOR OF THE LANDLORD, TENANT, ARCHITECT AND DESIGNERS, UNLESS SUCH LIABILITY RESULTS SOELY FROM THE NEGLIGENCE OF THE LANDLORD, TENANT, ARCHITECT, DESIGNERS, AGENTS OR EMPLOYEES.

10. EXISTING CONSTRUCTION AND DIMENSIONS SHOWN ARE PER EXISTING DRAWINGS. ALL EXISTING INFORMATION MUST BE VERIFIED IN FIELD. OWNER, ARCHITECT, AND DESIGNERS ARE NOT RESPONSIBLE FOR ACCURACY OF INFORMATION. EXISTING CONSTRUCTION AT AREAS WHERE NEW WORK IS NOT CONTEMPLATED MAY NOT BE COMPLETELY SHOWN.

11. THE CONTRACTOR SHALL PERFORM DAILY CLEANING OF THE JOB SITE DURING THE CONSTRUCTION PERIOD AND SHALL PROTECT FINISHED WORK FROM DAMAGE. IMMEDIATELY PRIOR TO TENANT OCCUPANCY, THE CONTRACTOR SHALL PERFORM FINAL CLEANING OF THE WORK INCLUDING, BUT NOT LIMITED TO, WET WIPING OF FURNITURE, CASEWORK, WALL COVERING, WASHING FLOORS, VACUUMING OF CARPET. ALL CLEANING SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

12. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2009 INTERNATIONAL RESIDENTIAL CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS AND BEST TRADE PRACTICES.

13. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS AND BONDS, AND PAY ALL FEES REQUIRED BY GOVERNING PHILADELPHIA AGENCIES.

14. ALL CONTRACTED WORK (PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, ETC.) SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN PERMITS, DRAWINGS, INSPECTIONS AND REQUIRED SIGN-OFFS.

15. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL PLANS AND SPECIFICATIONS PERTAINING TO THIS WORK. HE SHALL VISIT THE SITE AND FULLY INFORM HIMSELF AS TO ALL CONDITIONS AND LIMITATIONS APPLYING TO ALL WORK. HE SHALL ESTIMATE AND INCLUDE IN HIS COST PROPOSAL A SUM SUFFICIENT TO COVER THE COST OF ALL ITEMS OF LABOR AND MATERIALS WHICH ARE REQUIRED TO OBTAIN THE CONTEMPLATED OPERATING CONDITIONS. NO SUBSEQUENT ALLOWANCE WILL BE MADE TO THE CONTRACTOR BECAUSE OF HIS NEGLECT IN COMPLYING WITH THESE SPECIFICATIONS.

WASHINGTON LANE DUPLEXES

224 W. WASHINGTON LANE PHILADELPHIA, PA 19144

1 FRONT PERSPECTIVE
A-001

PROJECT SCOPE:

EXISTING PARCEL AT 224 W WASHINGTON LANE TO BE SUBDIVIDED INTO 2 BY-RIGHT LOTS. EACH LOT TO INCLUDE ONE, THREE STORY DUPLEX. LOT 1 TO INCLUDE THE RENOVATION AND 1 STORY ADDITION TO THE EXISTING TWO STORY SINGLE FAMILY DWELLING. LOT 2 TO INCLUDE A NEW CONSTRUCTION, 3 STORY DUPLEX.
EACH PARCEL TO INCLUDE 2 PARKING SPACES WITH A SHARED DRIVEWAY. 1 PARKING SPOT PER PROPOSED UNIT.

PA ONE CALL SERIAL# - 20211593881

ZONING CRITERIA:

1. ZONING BASE DISTRICT CLASSIFICATION: RTA-1

2. DIMENSIONAL STANDARDS (TABLE 14-701-1)

			EXISTING	LOT 1	LOT 2
2.1.	MIN LOT WIDTH	25'	65.05'	30.41'	34.64'
2.2.	MIN LOT AREA	2,250 SF	5,706 SF	2,535 SF	3,171 SF
2.3.	MIN OPEN AREA	50% (INTER.)	67.5%	50%	50%
2.4.	FRONT SETBACK	8'	16.7'	8'	8'
2.5.	MIN. SIDE YARD	8'	4'	8'	8'
2.6.	MIN REAR YARD	20' (DUPLEX)	15'-5 1/2"	20'-5 1/2"	22'-11 1/4"

3. ZONING OVERLAY DISTRICTS
   3.1. OPEN SPACE AND NATURAL RESOURCES - STEEP SLOPE PROTECTION
   3.2. WWO WISSAHICKON WATERSHED OVERLAY DISTRICT
   3.3. EDO EIGHTH DISTRICT OVERLAY DISTRICT

PLOT PLAN
1/4" = 1'-0"

SHEET LIST	
NUMBER	NAME
A-001	COVERSHEET
A-002	SITE PLAN & CODE REVIEW
A-100	DEMOLITION PLAN BASEMENT
A-101	DEMOLITION PLAN FIRST FLR
A-102	DEMOLITION PLAN SECOND FLR
A-103	DEMOLITION PLAN ROOF
A-200	PROPOSED PLAN BASEMENT
A-201	PROPOSED PLAN FIRST FLOOR
A-202	PROPOSED PLAN SECOND FLOOR
A-203	PROPOSED PLAN THIRD FLOOR
A-204	PROPOSED PLAN ROOF
A-302	PROPOSED EXTERIOR ELEVATIONS
A-310	BUILDING SECTIONS
A-800	SCHEDULES & DETAILS
S-001	GENERAL NOTES
S-002	GENERAL NOTES
S-003	TYPICAL DETAILS
S-101	FOUNDATION & FIRST FLOOR FRAMING PLANS
S-102	SECOND FLOOR FRAMING PLAN
S-103	THIRD FLOOR FRAMING PLAN
S-104	ROOF FRAMING PLAN
S-301	WALL SECTIONS
S-302	WALL SECTIONS

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DATE	DESCRIPTION
10.21.21	BUILDING PERMITS

Revisions	BUILDING PERMITS
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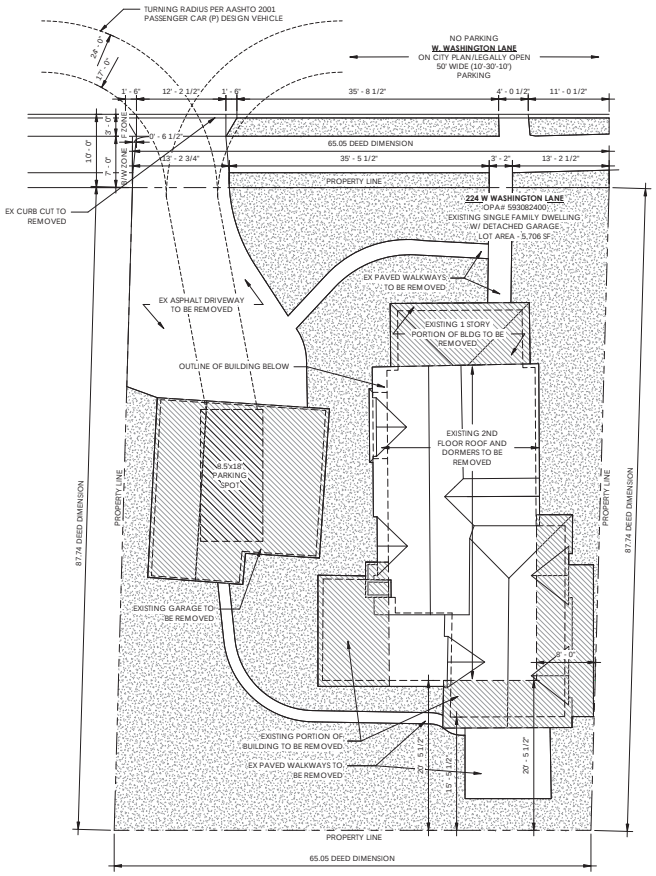
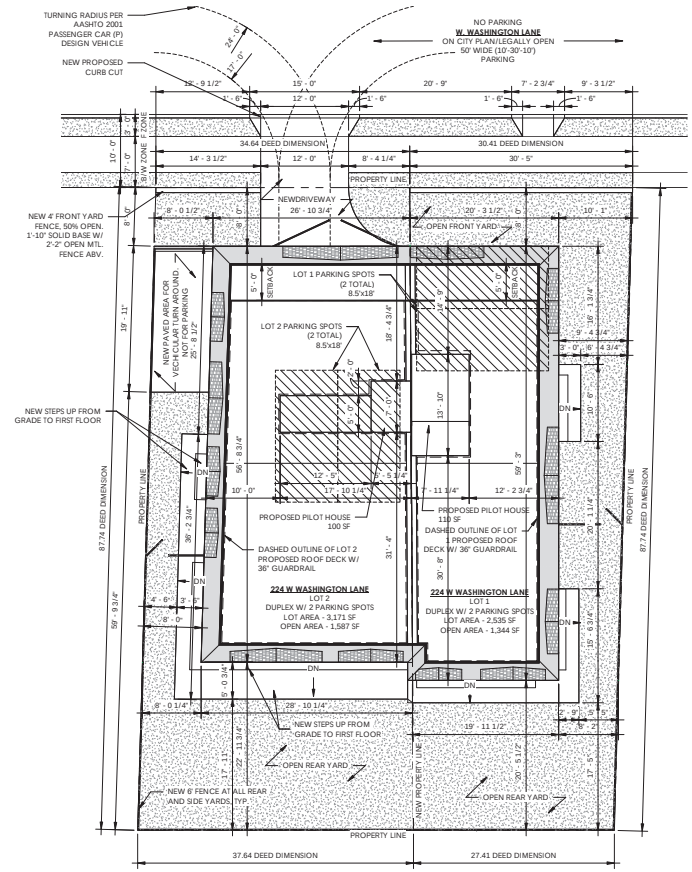
Drawn by	BE

COVERSHEET

A-001



1 EXISTING SITE PLAN - BLDG
A-002 1/8" = 1'-0"



2 PROPOSED SITE PLAN - BLDG
A-002 1/8" = 1'-0"

CODE SUMMARY

PROJECT DATA:

NAME OF PROJECT: WASHINGTON LANE DUPLEXES
ADDRESS: 224 W. WASHINGTON LANE
OCCUPANCY CLASSIFICATION: RESIDENTIAL (R-3)

OWNER/CONTACT: LPJ HOLDINGS PHONE #: 267.972.4523

OWNER/CONTACT: ☐ CITY / COUNTY ☒ PRIVATE ☐ STATE

CODE ENFORCEMENT JURISDICTION: CITY OF PHILADELPHIA

LEAD DESIGN PROFESSIONAL:

DESIGNER	FIRM	NAME	LICENSE #	PHONE #
ARCHITECTURAL	PACE ARCHITECTURE +DESIGN	BENJAMIN ESTEPANI		484.243.0718
STRUCTURAL ENG.	WZG STRUCTURAL ENGINEERING	NATALIE BIRD		610.831.0556
CIVIL ENG.	STAMATIC ENGINEERING	BRIAN HOCKLEY		610.840.2515

YEAR EDITION OF CODE

2015 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE
2018 PHILADELPHIA FIRE CODE
2018 INTERNATIONAL PLUMBING CODE

☒ NEW CONSTRUCTION ☐ RENOVATION [EXISTG BLDG] ☐ ADDITION ☐ ALTERATION

BUILDING DATA:

PER 2018 IBC TABLE 601

CONSTRUCTION TYPE: ☐ I-A ☐ I-B ☐ II-A ☐ II-B ☐ III-A ☐ III-B ☐ IV ☐ V-A ☒ V-B
MIXED CONSTRUCTION ☒ NO ☐ YES

SPRINKLERS: ☐ NO ☒ YES (PER SECTION 903.2.8)
STANDPIPES: ☒ NO ☐ YES (PER SECTION 905)
FIRE DISTRICT: ☒ NO ☐ YES
BUILDING HEIGHT: 3 NUMBER OF STORIES
MEZZANINE: ☒ NO ☐ YES
HIGH RISE: (SECTION 403.2) ☒ NO ☐ YES

GROSS FLOOR AREA

FLOOR	EXISTING SF	PROPOSED SF
BASEMENT	475 SF	475 SF
1st FLOOR	1,193 SF	1,440 SF
2nd FLOOR	848 SF	2,400 SF
3rd FLOOR		2,400 SF
TOTAL	2,475 SF	6,715 SF

USE & OCCUPANCY PER 2018 IBC SECTION 302

OCCUPANCY: ☐ ASSEMBLY ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
☐ BUSINESS ☐ EDUCATIONAL ☐ FACTORY-INDUSTRIAL ☐ F-1 ☐ F-2
☐ HIGH-HAZARD ☐ H-1 ☐ H-2 ☐ H-3 ☐ H-4 ☐ H-5
☐ INSTITUTIONAL ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
☐ MERCANTILE ☐ RESIDENTIAL ☐ R-1 ☐ R-2 ☒ R-3 ☐ R-4
☐ STORAGE ☐ S-1 ☐ S-2 ☐ HIGH-PILED
☐ UTILITY AND MISCELLANEOUS ☐ PARKING GARAGE ☐ OPEN ☐ ENCLOSED

FIRE RESISTANCE REQUIREMENTS:

PER 2018 IBC

ELEMENT	V-B
EXTERIOR WALLS - LOAD BEARING (SECTION 601 & 704.10)	1 HR
EXTERIOR WALLS - NON-LOAD BEARING [>5 FEET] (SECTION 602 & TABLE 602)	1 HR
FIRE WALLS (R-2 USE) (SECTION 706.4)	2 HR
FIRE SEPARATION ASSEMBLIES EXIT ENCLOSURES - MORE THAN 4 STORIES (SECTION 713.4) SHAFT/ELEVATORS - MORE THAN 4 STORIES (SECTION 713.4)	2 HR 2 HR
REQUIRED SEPARATION OF OCCUPANCIES (TABLE 508.4) (SEE SECTION 420.2 FOR R- USE)	1 HR
FIRE PARTITIONS (SECTION 708.3)	1 HR
CORRIDOR WALLS (SECTION 708.1.1)	1/2 HR
DWELLING UNIT SEPARATION (SECTION 708.3)	1 HR
SHAFT ENCLOSURE (SECTION 708.2)	1 HR
OTHER NON-LOAD BEARING PARTITIONS (TABLE 602)	0 HR
INTERIOR LOAD-BEARING WALLS (PARTITIONS, COLUMNS, GIRDERS, AND FRAMING) (SECTION 601)	1 HR
FLOOR CEILING ASSEMBLIES (SECTION 711.2.4.3 & 420.3)	1 HR
ROOF CONSTRUCTION (TABLE 601)	1 HR

FIRE SEPARATION:

PER IBC 2018

SECTION 420.2 SEPARATION WALLS

- WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING, WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING, AND WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708

OCCUPANT LOAD:

PER 2018 IBC TABLE 1004.1.1 - RESIDENTIAL (200 GROSS)

	AREAS			
	# EGRESS	OCCUPIED	CIRCULATION	OCCUPANT LOAD
UNIT A	1	1,418 SF	-	7.1
UNIT B	1	1,346 SF	-	6.7
UNIT C	1	1,779 SF	-	8.9
UNIT D	1	1,572 SF	-	7.9
				31 PERSONS

EGRESS:

PER 2018 IBC CHAPTER 10

MAXIMUM ALLOWABLE TRAVEL DISTANCE FOR R-2: ONE MEANS OF EGRESS (PER TABLE 1006.3.3(1))	125 FEET
MAXIMUM ALLOWABLE TRAVEL DISTANCE FOR F: ONE MEANS OF EGRESS (PER TABLE 1006.2.1)	75 FEET
MAXIMUM ALLOWABLE TRAVEL DISTANCE FOR F-1: TWO MEANS OF EGRESS (PER TABLE 1017.2)	200 FEET
COMMON PATH OF TRAVEL FOR R-2: (PER SECTION 1006.2.1)	125 FEET
COMMON PATH OF TRAVEL FOR F: (PER SECTION 1006.2.1)	75 FEET
DEAD END CORRIDOR: <50 FEET (PER SECTION 1020.4)	50 FEET

EGRESS WIDTH
PER IBC 2018 SECTION 1005.3.2

TOTAL OCCUPANT LOAD	31 PERSONS
EXTERIOR EXIT DOOR REQ'D PER SECTION 1010.1.1	32" CLEAR WIDTH OPENING
EGRESS WIDTH REQ'D PER SECTION 1005.3.2	WIDTH PROVIDED
.2 x 31 OCCUPANTS = 6.2" REQ'D	1 @ 32" CLR

EXIT STAIR WIDTH
PER IBC 2018 SECTION 1005.3.1

OCCUPANT LOAD (RES)	9 PERSONS	STAIR WIDTH REQUIREMENTS (PER TABLE 1005.3.1)	STAIR WIDTH PROVIDED
TOTAL	9 PERSONS	.36" X 9 = 2.7"	1 @ 36" CLR WIDTH

IBC CODE REVIEW: ADDITIONAL CODE SECTIONS

PER 2018 INTERNATIONAL BUILDING CODE

CHAPTER 10 - MEANS OF EGRESS

- SECTION 1007.1.1 EXCEPTION 1 - WHERE INTERIOR EXIT STAIRWAYS OR RAMPS ARE INTERCONNECTED BY A 1-HOUR FIRE RESISTANCE-RATED CORRIDOR CONFORMING TO THE REQUIREMENTS OF SECTION 1020, THE REQUIRED EXIT SEPARATION SHALL BE MEASURED ALONG THE SHORTEST DIRECT LINE OF TRAVEL WITHIN THE CORRIDOR.
- SECTION 1007.1.1 EXCEPTION 2 - WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE SHALL BE NOT LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING.
- SECTION 1011.2 EXCEPTION 1 - STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36"

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DATE	DESCRIPTION
10.21.21	BUILDING PERMIT

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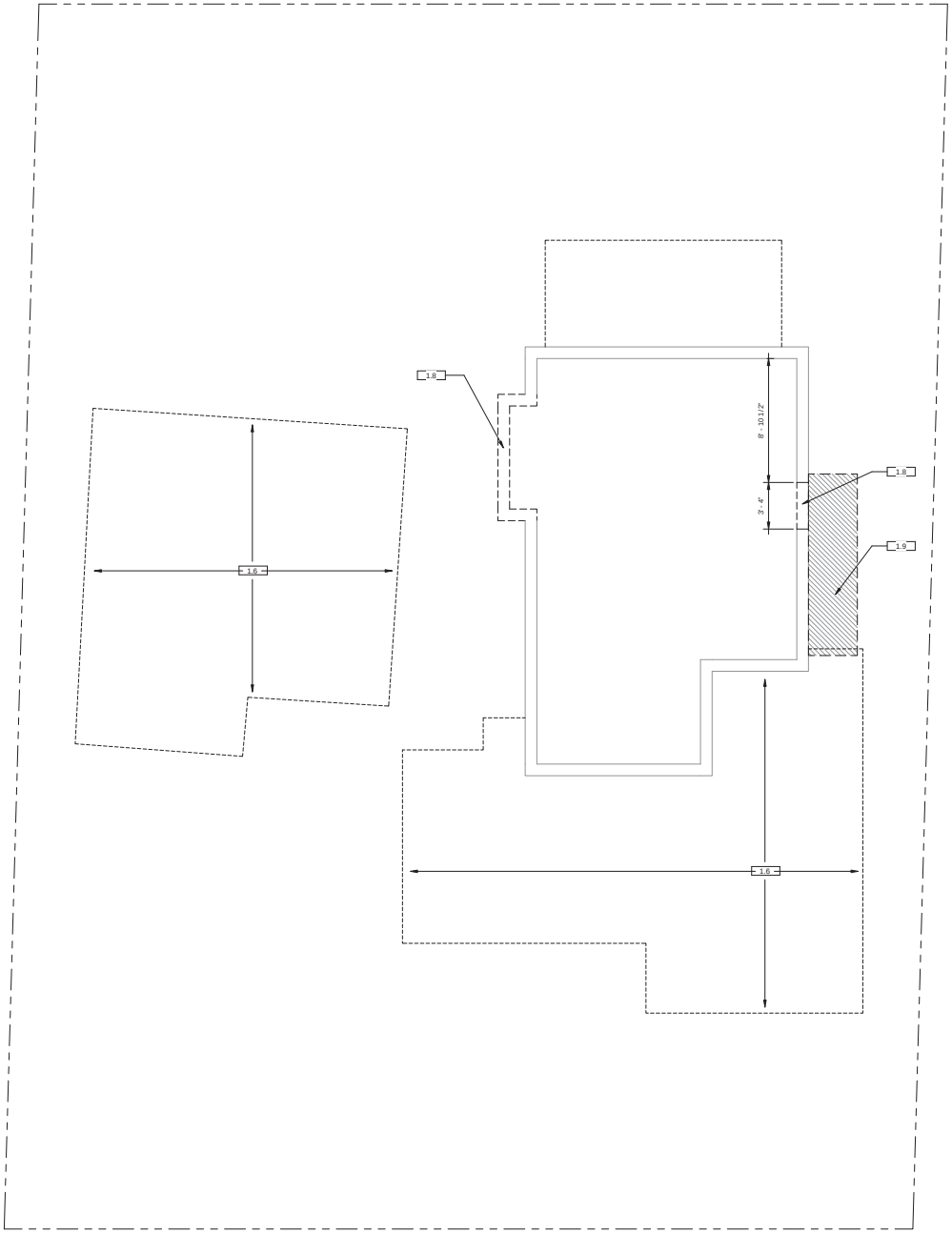
SITE PLAN & CODE REVIEW

A-002



1 / A-100 0 BASEMENT DEMOLITION
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. CONTRACTOR TO COORDINATE THE PROTECTION OF ALL FINISHES AND ORNAMENT THROUGHOUT CONSTRUCTION. THE CONTRACTOR WILL REVIEW THE SCOPE AND SCHEDULING OF ALL PROTECTION WORK WITH THE OWNER, ARCHITECT AND APPROPRIATE SUBCONTRACTORS BEFORE PROCEEDING WITH WORK.
2. WORK SHALL INCLUDE DEMOLITION AND REMOVAL OF SELECTED AREAS OF EXISTING WORK IN PLACE INCLUDING BUT NOT LIMITED TO PARTITIONS, DOORS, FRAMES, HARDWARE, CEILING TILE, ETC. REFER TO DRAWINGS FOR EXTENT AND LOCATION OF DEMOLITION.
   LIGHT FIXTURES, DOORS, BUCKS, HARDWARE, PLUMBING FIXTURES, PIPES, SWITCHES AND OTHER ITEMS NOT BEING REUSED SHALL BE REMOVED FROM THE PREMISES.
3. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, ELECTRICAL WIRING AND EQUIPMENT. ALL ABANDONED ELECTRICAL WIRING SHALL BE REMOVED BACK TO THE PANEL IT ORIGINATED FROM. ALL ABANDONED TELEPHONE AND OTHER LOW VOLTAGE WIRING SHALL BE REMOVED BACK TO THE POINT OF ORIGIN.
4. EXISTING PLUMBING FIXTURES, SINKS, ETC., WHICH ARE TO BE REMOVED MUST HAVE WATER SUPPLY SHUT OFF PRIOR TO DISCONNECTING AND REMOVING THEM TO PREVENT FLOODING THE SPACE IF PIPES ARE DAMAGED DURING DEMOLITION.
5. ALL ABANDONED PLUMBING AND PIPING LINES MUST BE DISCONNECTED TO THE SERVICE POINT, AND CAPPED PROPERLY.
6. IF DURING THE COURSE OF DEMOLITION, EXISTING HAZARDOUS MATERIALS ARE ENCOUNTERED, ALL WORK IN THAT AREA IS TO HALT AND THE OWNER IS TO BE NOTIFIED
7. CONTRACTOR TO MEASURE ALL LENGTHS INDICATED AS "VIF". CONTRACTOR TO PROVIDE MEASUREMENTS TO ARCHITECT BEFORE BEGINNING OF CONSTRUCTION

DEMO PLAN NOTES:

1.1 EXISTING GARAGE TO BE FULLY REMOVED.
1.2 EXISTING 1 STORY PORTION OF BUILDING TO BE REMOVED.
1.3 EXSTING EXTERIOR SHED STRUCTURE TO BE REMOVED.
1.4 EXISTING EXTERIOR AND INTERIOR PARTITIONS TO BE REMOVED, INCLUDING ALL WALL AND FLOOR FINISHES.
1.5 EXISTING WINDOWS TO BE REMOVED.
1.6 EXISTING SLAB ON GRADE TO BE REMOVED.
1.7 EXISTING ROOF TO BE REMOVED.
1.8 EXISTING FOUNDATION WALLS TO BE REMOVED
1.9 EXISTING GRADE TO BE REMOVED FOR NEW EXTERIOR STAIRS
1.10 EXISTING FLOOR JOISTS AT 2ND FLOOR TO BE REMOVED

LEGEND:

EXISTING TO REMAIN.

EXISTING TO BE REMOVED.

DOOR DEMOLITION

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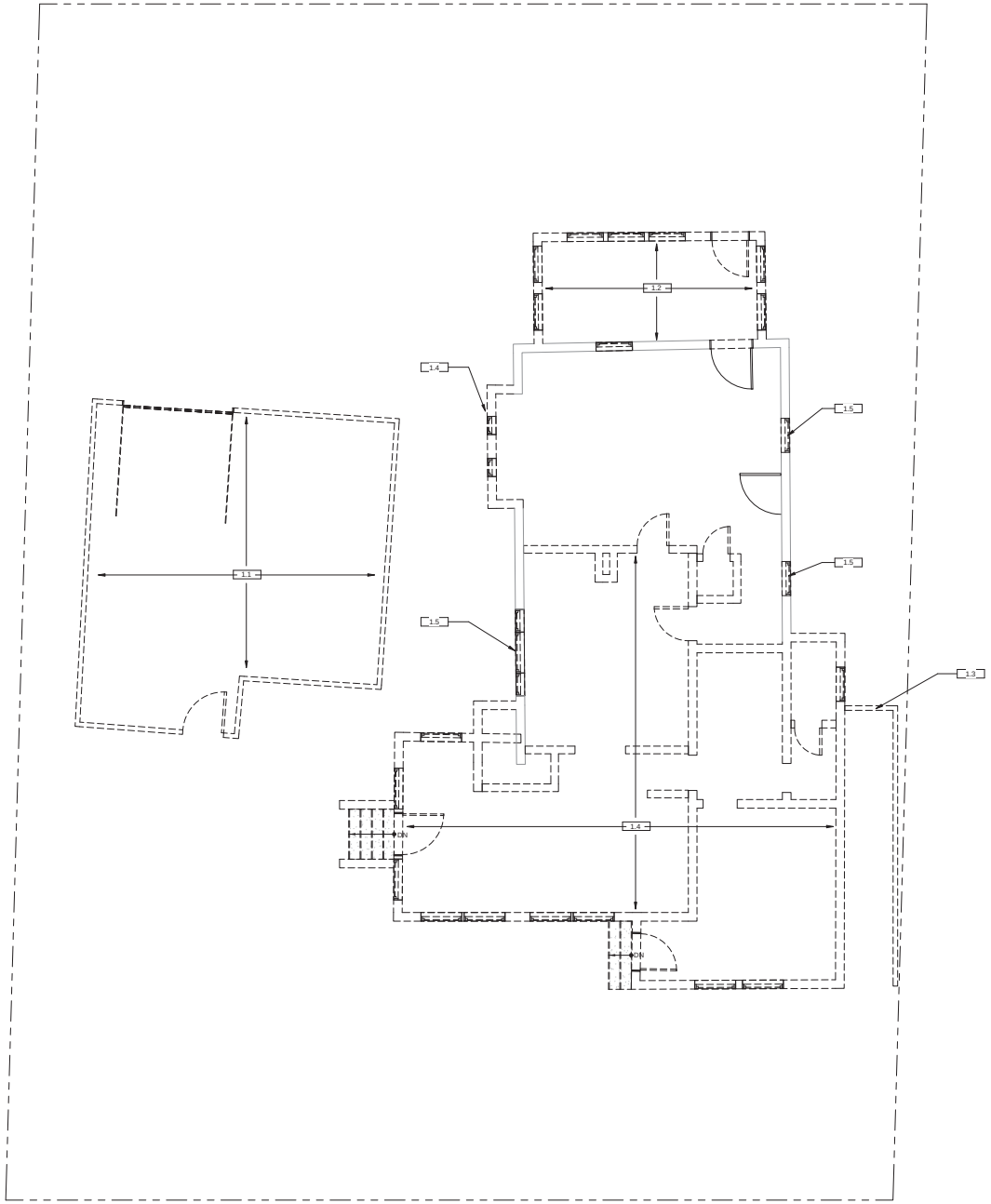
DEMOLITION PLAN BASEMENT

A-100



1 / A-101 1 FIRST FLOOR DEMOLITION
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. CONTRACTOR TO COORDINATE THE PROTECTION OF ALL FINISHES AND ORNAMENT THROUGHOUT CONSTRUCTION. THE CONTRACTOR WILL REVIEW THE SCOPE AND SCHEDULING OF ALL PROTECTION WORK WITH THE OWNER, ARCHITECT AND APPROPRIATE SUBCONTRACTORS BEFORE PROCEEDING WITH WORK.
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4. EXISTING PLUMBING FIXTURES, SINKS, ETC., WHICH ARE TO BE REMOVED MUST HAVE WATER SUPPLY SHUT OFF PRIOR TO DISCONNECTING AND REMOVING THEM TO PREVENT FLOODING THE SPACE IF PIPES ARE DAMAGED DURING DEMOLITION.
5. ALL ABANDONED PLUMBING AND PIPING LINES MUST BE DISCONNECTED TO THE SERVICE POINT, AND CAPPED PROPERLY.
6. IF DURING THE COURSE OF DEMOLITION, EXISTING HAZARDOUS MATERIALS ARE ENCOUNTERED, ALL WORK IN THAT AREA IS TO HALT AND THE OWNER IS TO BE NOTIFIED
7. CONTRACTOR TO MEASURE ALL LENGTHS INDICATED AS "VIF". CONTRACTOR TO PROVIDE MEASUREMENTS TO ARCHITECT BEFORE BEGINNING OF CONSTRUCTION

DEMO PLAN NOTES:

1.1 EXISTING GARAGE TO BE FULLY REMOVED.
1.2 EXISTING 1 STORY PORTION OF BUILDING TO BE REMOVED.
1.3 EXSTING EXTERIOR SHED STRUCTURE TO BE REMOVED.
1.4 EXISTING EXTERIOR AND INTERIOR PARTITIONS TO BE REMOVED, INCLUDING ALL WALL AND FLOOR FINISHES.
1.5 EXISTING WINDOWS TO BE REMOVED.
1.6 EXISTING SLAB ON GRADE TO BE REMOVED.
1.7 EXISTING ROOF TO BE REMOVED.
1.8 EXISTING FOUNDATION WALLS TO BE REMOVED
1.9 EXISTING GRADE TO BE REMOVED FOR NEW EXTERIOR STAIRS
1.10 EXISTING FLOOR JOISTS AT 2ND FLOOR TO BE REMOVED

LEGEND:

EXISTING TO REMAIN.

EXISTING TO BE REMOVED.

DOOR DEMOLITION

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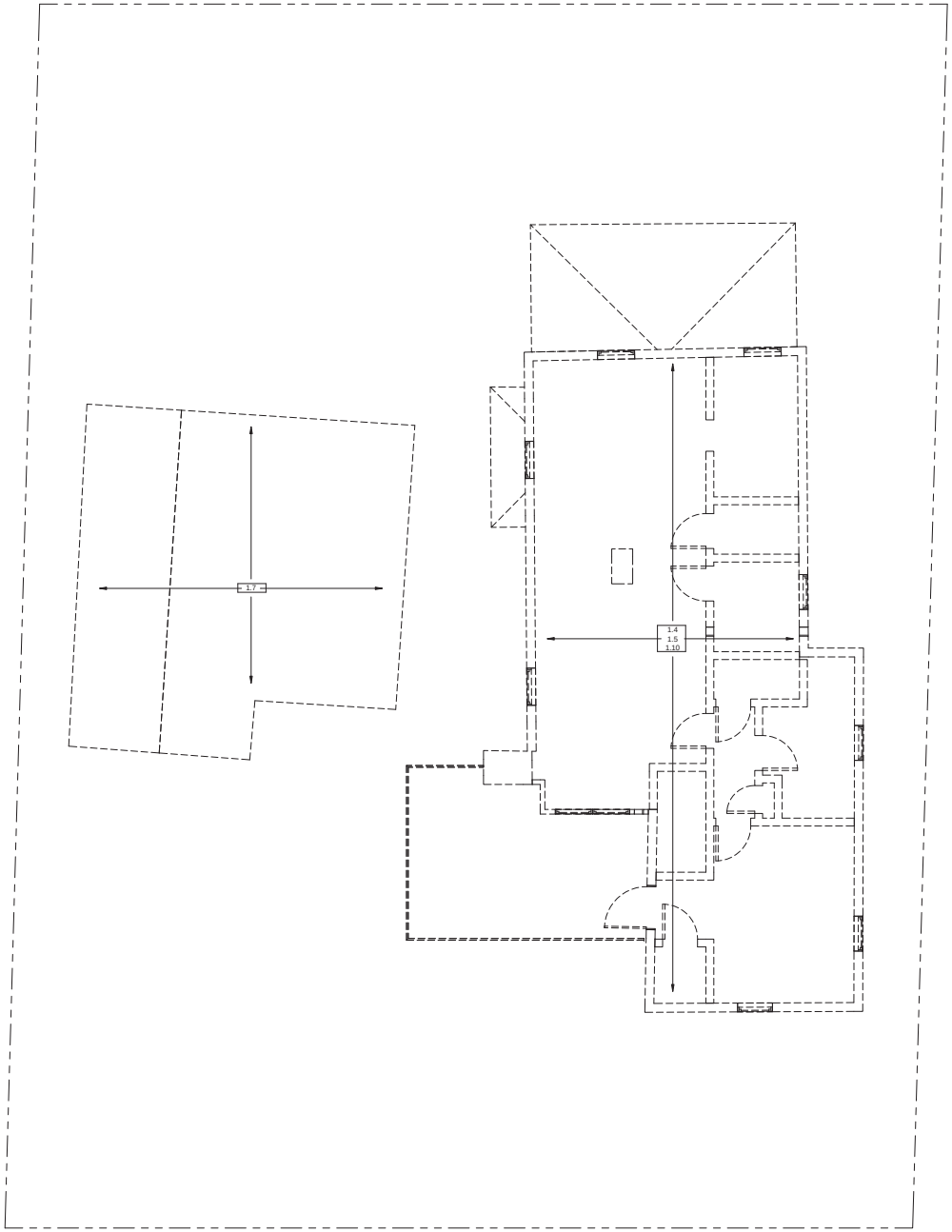
M.E.P. Engineer+
-

DATE	DESCRIPTION
10.21.21	BUILDING PERMITS
06.16.21	PROGRESS SET

Revisions	BUILDING PERMITS
Date	10.21.21
Drawn by	BE

DEMOLITION PLAN FIRST FLR

A-101



1 / A-102 2 SECOND FLOOR DEMOLITION
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. CONTRACTOR TO COORDINATE THE PROTECTION OF ALL FINISHES AND ORNAMENT THROUGHOUT CONSTRUCTION. THE CONTRACTOR WILL REVIEW THE SCOPE AND SCHEDULING OF ALL PROTECTION WORK WITH THE OWNER, ARCHITECT AND APPROPRIATE SUBCONTRACTORS BEFORE PROCEEDING WITH WORK.
2. WORK SHALL INCLUDE DEMOLITION AND REMOVAL OF SELECTED AREAS OF EXISTING WORK IN PLACE INCLUDING BUT NOT LIMITED TO PARTITIONS, DOORS, FRAMES, HARDWARE, CEILING TILE, ETC. REFER TO DRAWINGS FOR EXTENT AND LOCATION OF DEMOLITION.
   LIGHT FIXTURES, DOORS, BUCKS, HARDWARE, PLUMBING FIXTURES, PIPES, SWITCHES AND OTHER ITEMS NOT BEING REUSED SHALL BE REMOVED FROM THE PREMISES.
3. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, ELECTRICAL WIRING AND EQUIPMENT. ALL ABANDONED ELECTRICAL WIRING SHALL BE REMOVED BACK TO THE PANEL IT ORIGINATED FROM. ALL ABANDONED TELEPHONE AND OTHER LOW VOLTAGE WIRING SHALL BE REMOVED BACK TO THE POINT OF ORIGIN.
4. EXISTING PLUMBING FIXTURES, SINKS, ETC., WHICH ARE TO BE REMOVED MUST HAVE WATER SUPPLY SHUT OFF PRIOR TO DISCONNECTING AND REMOVING THEM TO PREVENT FLOODING THE SPACE IF PIPES ARE DAMAGED DURING DEMOLITION.
5. ALL ABANDONED PLUMBING AND PIPING LINES MUST BE DISCONNECTED TO THE SERVICE POINT, AND CAPPED PROPERLY.
6. IF DURING THE COURSE OF DEMOLITION, EXISTING HAZARDOUS MATERIALS ARE ENCOUNTERED, ALL WORK IN THAT AREA IS TO HALT AND THE OWNER IS TO BE NOTIFIED
7. CONTRACTOR TO MEASURE ALL LENGTHS INDICATED AS "VIF". CONTRACTOR TO PROVIDE MEASUREMENTS TO ARCHITECT BEFORE BEGINNING OF CONSTRUCTION

DEMO PLAN NOTES:

1.1 EXISTING GARAGE TO BE FULLY REMOVED.
1.2 EXISTING 1 STORY PORTION OF BUILDING TO BE REMOVED.
1.3 EXSTING EXTERIOR SHED STRUCTURE TO BE REMOVED.
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1.10 EXISTING FLOOR JOISTS AT 2ND FLOOR TO BE REMOVED

LEGEND:

EXISTING TO REMAIN.

EXISTING TO BE REMOVED.

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Revisions	BUILDING PERMITS
Date	10.21.21
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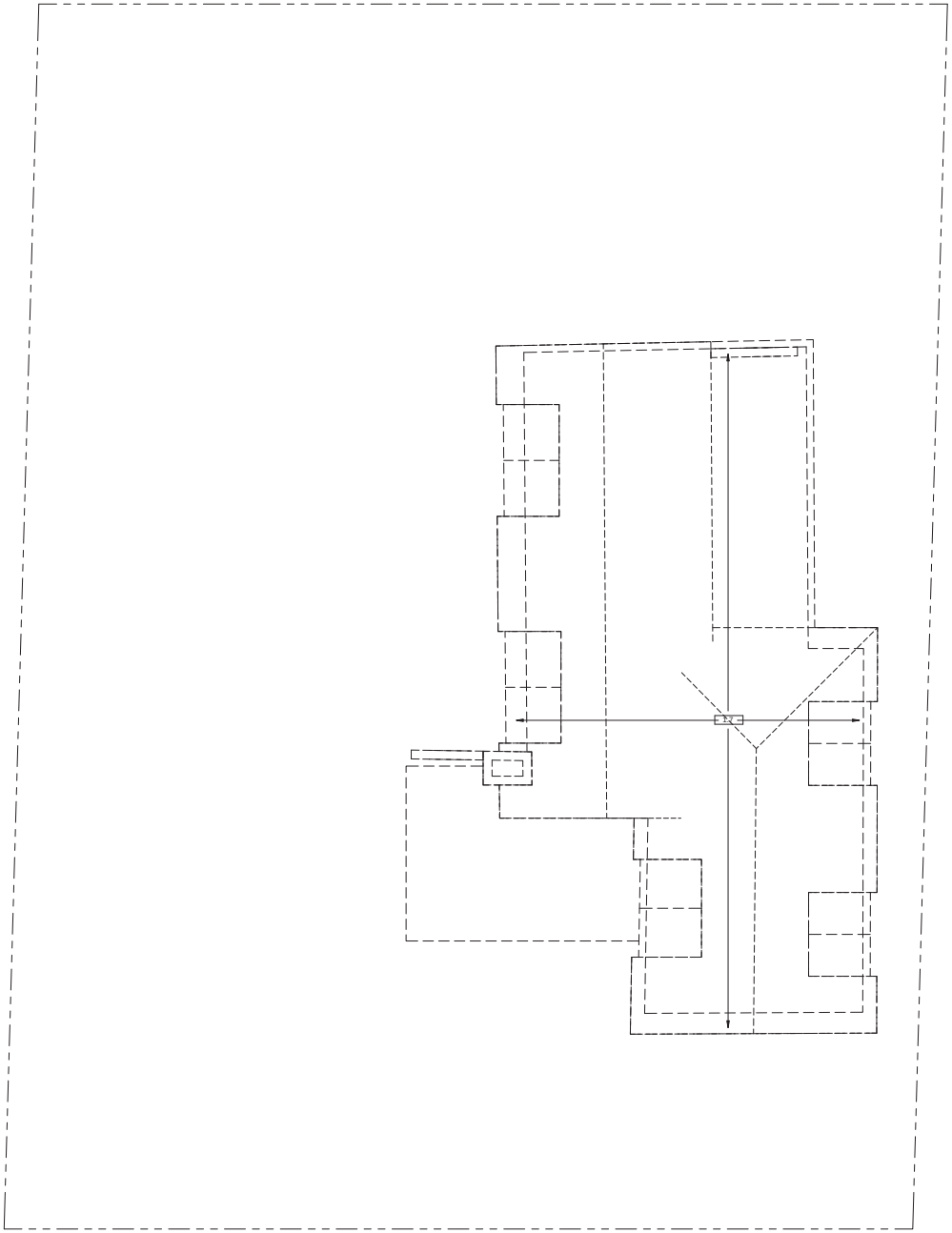
DEMOLITION PLAN SECOND FLR

A-102



1 / A-103 3 THIRD FLOOR DEMOLITION
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. CONTRACTOR TO COORDINATE THE PROTECTION OF ALL FINISHES AND ORNAMENT THROUGHOUT CONSTRUCTION. THE CONTRACTOR WILL REVIEW THE SCOPE AND SCHEDULING OF ALL PROTECTION WORK WITH THE OWNER, ARCHITECT AND APPROPRIATE SUBCONTRACTORS BEFORE PROCEEDING WITH WORK.
2. WORK SHALL INCLUDE DEMOLITION AND REMOVAL OF SELECTED AREAS OF EXISTING WORK IN PLACE INCLUDING BUT NOT LIMITED TO PARTITIONS, DOORS, FRAMES, HARDWARE, CEILING TILE, ETC. REFER TO DRAWINGS FOR EXTENT AND LOCATION OF DEMOLITION.
   LIGHT FIXTURES, DOORS, BUCKS, HARDWARE, PLUMBING FIXTURES, PIPES, SWITCHES AND OTHER ITEMS NOT BEING REUSED SHALL BE REMOVED FROM THE PREMISES.
3. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, ELECTRICAL WIRING AND EQUIPMENT. ALL ABANDONED ELECTRICAL WIRING SHALL BE REMOVED BACK TO THE PANEL IT ORIGINATED FROM. ALL ABANDONED TELEPHONE AND OTHER LOW VOLTAGE WIRING SHALL BE REMOVED BACK TO THE POINT OF ORIGIN.
4. EXISTING PLUMBING FIXTURES, SINKS, ETC., WHICH ARE TO BE REMOVED MUST HAVE WATER SUPPLY SHUT OFF PRIOR TO DISCONNECTING AND REMOVING THEM TO PREVENT FLOODING THE SPACE IF PIPES ARE DAMAGED DURING DEMOLITION.
5. ALL ABANDONED PLUMBING AND PIPING LINES MUST BE DISCONNECTED TO THE SERVICE POINT, AND CAPPED PROPERLY.
6. IF DURING THE COURSE OF DEMOLITION, EXISTING HAZARDOUS MATERIALS ARE ENCOUNTERED, ALL WORK IN THAT AREA IS TO HALT AND THE OWNER IS TO BE NOTIFIED
7. CONTRACTOR TO MEASURE ALL LENGTHS INDICATED AS "VIF". CONTRACTOR TO PROVIDE MEASUREMENTS TO ARCHITECT BEFORE BEGINNING OF CONSTRUCTION

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LEGEND:

EXISTING TO REMAIN.

EXISTING TO BE REMOVED.

DOOR DEMOLITION

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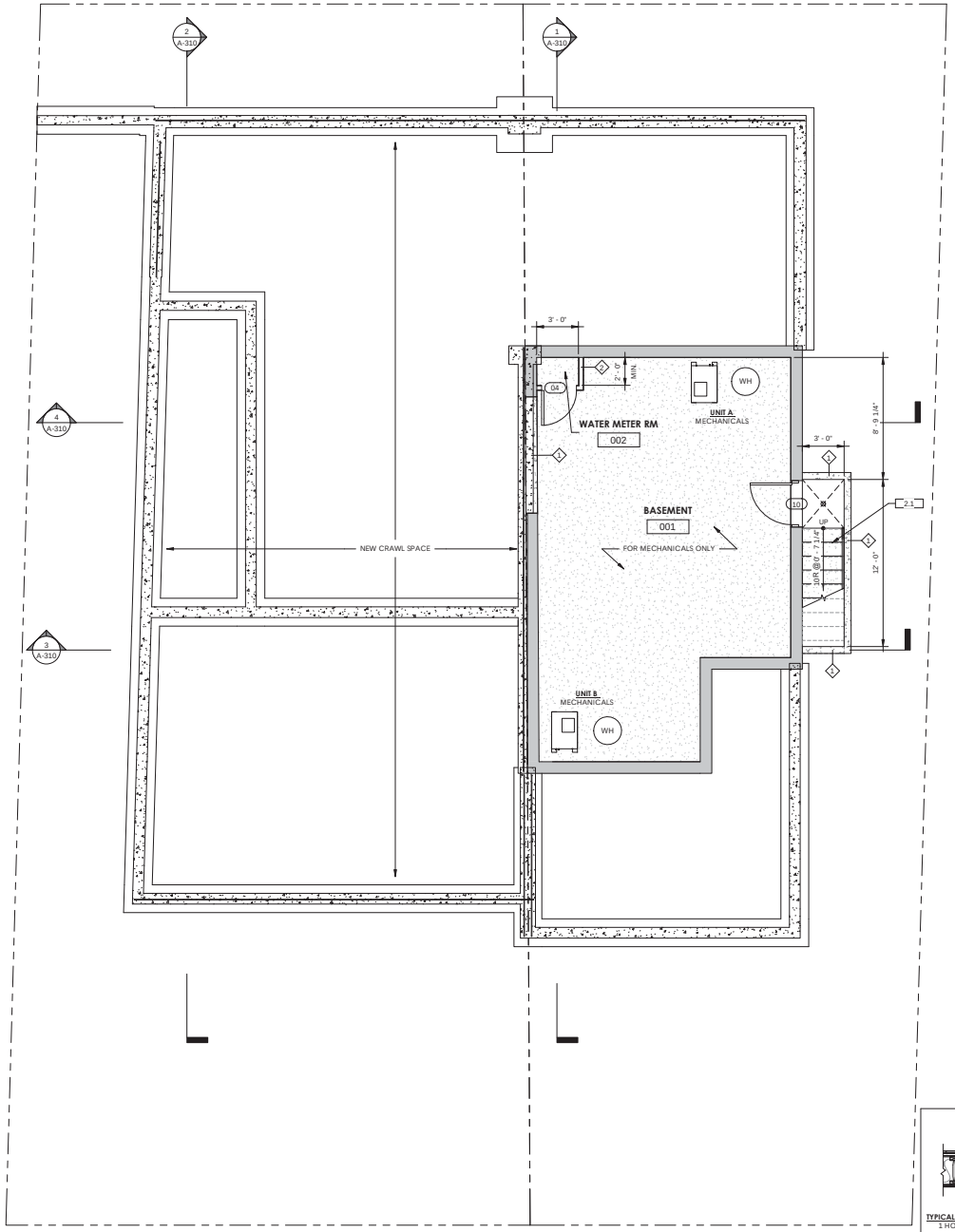
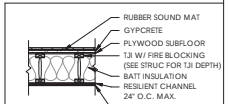
DEMOLITION PLAN ROOF

A-103



1 / A-200 0 BASEMENT
1/4" = 1'-0"



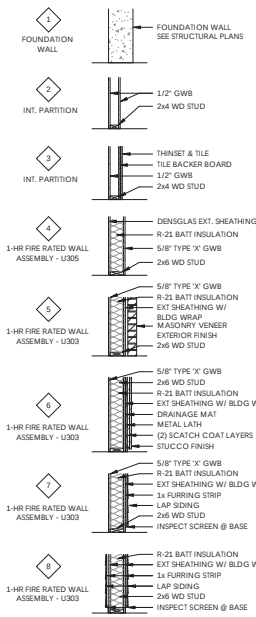
L602
TYPICAL FLOOR ASSEMBLY
1 HOUR FIRE RATED
FLOOR ASSEMBLY

PROPOSED PLAN GENERAL NOTES

1. ALL EXT. WALLS TO BE 5 1/2" UNLESS NOTED OTHERWISE.
2. ALL INTER WALLS TO BE 3 1/2" UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO FINISH FACE.
4. ALL INTERIOR BEARING WALLS SHALL BE 2X6 STUDS @ 16" O.C. MAX. W/ DOUBLE TOP PLATE. UNLESS NOTED OTHERWISE.
5. PROVIDE CEMENT BACKER BOARD AROUND ALL WET AREAS IN KITCHENS & BATHROOMS.
6. ALL MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE W/O THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
7. ALL EXTERIOR STRUCTURAL WOOD MEMBERS & WOOD LOCATED W/IN 8" OF SOIL OR IN CONTACT W/ CONC/CMU SHALL BE PRESSURE TREATED TO RESIST DECAY & INSECT INFESTATION.
8. PROVIDE FULL-WIDTH SOLID BLOCKING UNDER ALL STRUCTURAL POSTS TO FOUNDATION.
9. INSTALLATION OF FRAMING SHALL COMPLY W/ ALL APPLICATION CODES & LOCAL ORDINANCES.
10. ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, & ELECTRICAL DRAWINGS SHALL FULLY COORDINATED BY THE CONTRACTOR TO VERIFY ALL DIMENSIONS, SLOPES, DRAINS/TRAPS, OUTLET RECESSES, BOLT SETTINGS, SLEEVES, ETC. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.
11. WINDOWS W/ SILLS GREATER THAN 72" ABV. OUTSIDE GRADE AND LESS THAN HAVE 24" ABV. FINISH FLOOR SHALL NOT OPEN MORE THAN 4". IF WINDOWS IN THAT CONDITION OPEN MORE THAN 4" PROTECTIVE GUARDS OR TEMPERED SAFETY GLASS WINDOWS W/ HARDWARE THAT LIMITS WINDOW OPENINGS TO LESS THAN 4" SHALL BE INSTALLED. IF PROTECTIVE GUARDS ARE INSTALLED, EGRESS REQUIREMENTS MUST BE MAINTAINED.
12. EVERY SLEEPING RM. SHALL HAVE (1) MIN OPERABLE WINDOW APPROVED FOR EMERGENCY EGRESS. UNITS MUST BE OPERABLE FROM INSIDE TO A FULL CLEAR OPENING W/O USE OF SEPARATE TOOL. EGRESS WINDOWS SHALL HAVE
    a. SILL HEIGHT - NO MORE THAN 44" AFF
    b. MIN NET CLEAR OPENING - 5.7 SF
    c. MIN NET CLEAR OPENING HEIGHT - 24"
    d. MIN NET CLEAR OPENING WIDTH - 20"
13. CONTRACTOR TO VERIFY AND CHECK MANUFACTURER FOR EXACT WINDOW SIZES & ROUGH OPENING REQUIREMENTS BEFORE STARTING CONSTRUCTION.

PROPOSED PLAN NOTES:

2.1 NEW CONCRETE STEPS UP TO GRADE W/ YARD DRAIN AT BOTTOM LANDING AND 36" MTL HANDRAIL.
2.2 NEW CRAWL SPACE W/ VAPORT BARRIER AND CONCRETE TOPPING SLAB
2.3 NEW GARDEN WALL AT FRONT PROPERTYLINE. 20" STONE VENEER WALL W/ STONE CAP & 28" BLACK MTL RAILING. RAILING TO BE 50% OPAQUE MINIMUM.
2.4 NEW 6' FENCE AT REAR AND SIDE YARDS.
2.5 48" BLACK MTL FENCE W/ 36" GATE. CONTINUE FENCE AROUND STAIR OPENING DOWN TO BASEMENT.
2.6 OPERABLE MTL GATE AT PARKING AREA.
2.7 NEW STEP DOWN TO GRADE.
2.8 NEW 36" STAIRCASE W/ 36" HANDRAIL & GUARDRAIL WHERE REQUIRED.
2.9 FIBERGLASS EXTERIOR BALCONY W/ 36" BLACK MTL GUARDRAIL.
2.10 BLACK STANDING SEAM MTL ROOF AT RECESSED WINDOW AREA. 12" MTL RAILING AT BASE.
2.11 FIBERGLASS ROOF DECK ACCESSED V/A PILOT HOUSE.
2.12 OVER FRAMING LANDING AT PILOT HOUE LANDINGS BASED ON ROOF SLOPE.
2.13 12" PARAPET W/ 18" BLACK MTL GUARDRAIL.
2.14 42" PARAPET AT ROOF DECK PROPERTYLINE. MTL RAILING TO RETURN TO PARAPET WALL 5'
2.15 ROOF DRAIN & INTERIOR GUTTER.
2.16 ROOF CRICKET W/ VALLEY FLASHING



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DATE	DESCRIPTION
10.21.21	BUILDING PERMITS

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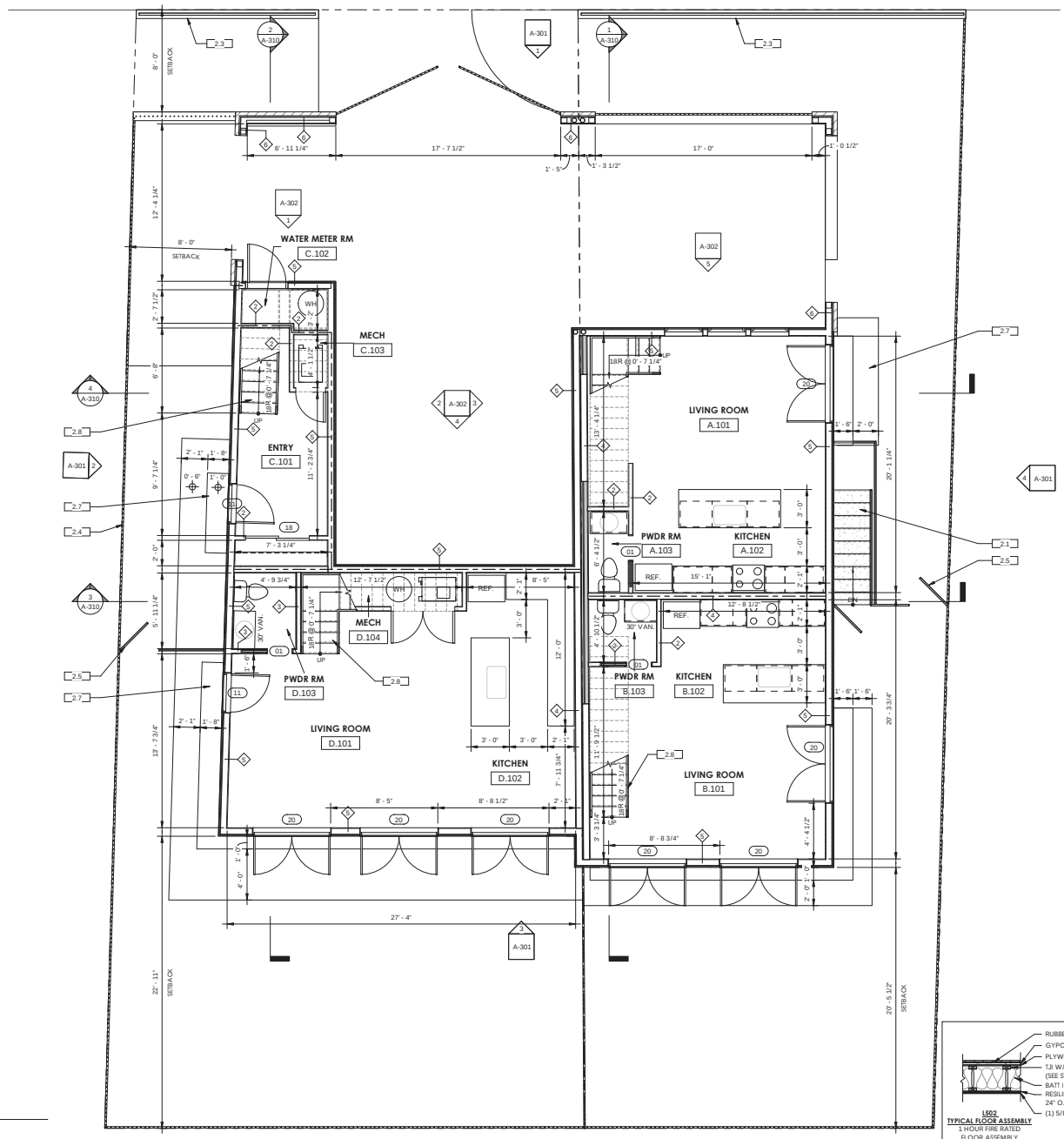
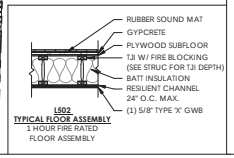
Date	10.21.21
Drawn by	BE

PROPOSED PLAN BASEMENT

A-200



1 1 FIRST FLOOR
A-201 1/4" = 1'-0"



L602
TYPICAL FLOOR ASSEMBLY
1 HOUR FIRE RATED
FLOOR ASSEMBLY

PROPOSED PLAN GENERAL NOTES

1. ALL EXT. WALLS TO BE 5 1/2" UNLESS NOTED OTHERWISE.
2. ALL INTER WALLS TO BE 3 1/2" UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO FINISH FACE.
4. ALL INTERIOR BEARING WALLS SHALL BE 2X6 STUDS @ 16" O.C. MAX. W/ DOUBLE TOP PLATE. UNLESS NOTED OTHERWISE.
5. PROVIDE CEMENT BACKER BOARD AROUND ALL WET AREAS IN KITCHENS & BATHROOMS.
6. ALL MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE W/O THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
7. ALL EXTERIOR STRUCTURAL WOOD MEMBERS & WOOD LOCATED W/IN 8" OF SOIL OR IN CONTACT W/ CONC/CMU SHALL BE PRESSURE TREATED TO RESIST DECAY & INSECT INFESTATION.
8. PROVIDE FULL-WIDTH SOLID BLOCKING UNDER ALL STRUCTURAL POSTS TO FOUNDATION.
9. INSTALLATION OF FRAMING SHALL COMPLY W/ ALL APPLICATION CODES & LOCAL ORDINANCES.
10. ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, & ELECTRICAL DRAWINGS SHALL FULLY COORDINATED BY THE CONTRACTOR TO VERIFY ALL DIMENSIONS, SLOPES, DRAINS/TRAPS, OUTLET RECESSES, BOLT SETTINGS, SLEEVES, ETC. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.
11. WINDOWS W/ SILLS GREATER THAN 72" ABV. OUTSIDE GRADE AND LESS THAN HAVE 24" ABV. FINISH FLOOR SHALL NOT OPEN MORE THAN 4". IF WINDOWS IN THAT CONDITION OPEN MORE THAN 4" PROTECTIVE GUARDS OR TEMPERED SAFETY GLASS WINDOWS W/ HARDWARE THAT LIMITS WINDOW OPENINGS TO LESS THAN 4" SHALL BE INSTALLED. IF PROTECTIVE GUARDS ARE INSTALLED, EGRESS REQUIREMENTS MUST BE MAINTAINED.
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2.3 NEW GARDEN WALL AT FRONT PROPERTYLINE. 20" STONE VENEER WALL W/ STONE CAP & 28" BLACK MTL RAILING. RAILING TO BE 50% OPAQUE MINIMUM.
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2.5 48" BLACK MTL FENCE W/ 36" GATE. CONTINUE FENCE AROUND STAIR OPENING DOWN TO BASEMENT. OPERABLE MTL GATE AT PARKING AREA.
2.6 OPERABLE MTL GATE AT PARKING AREA.
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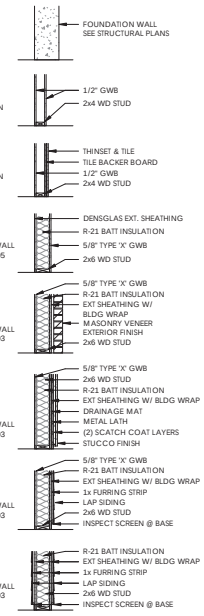

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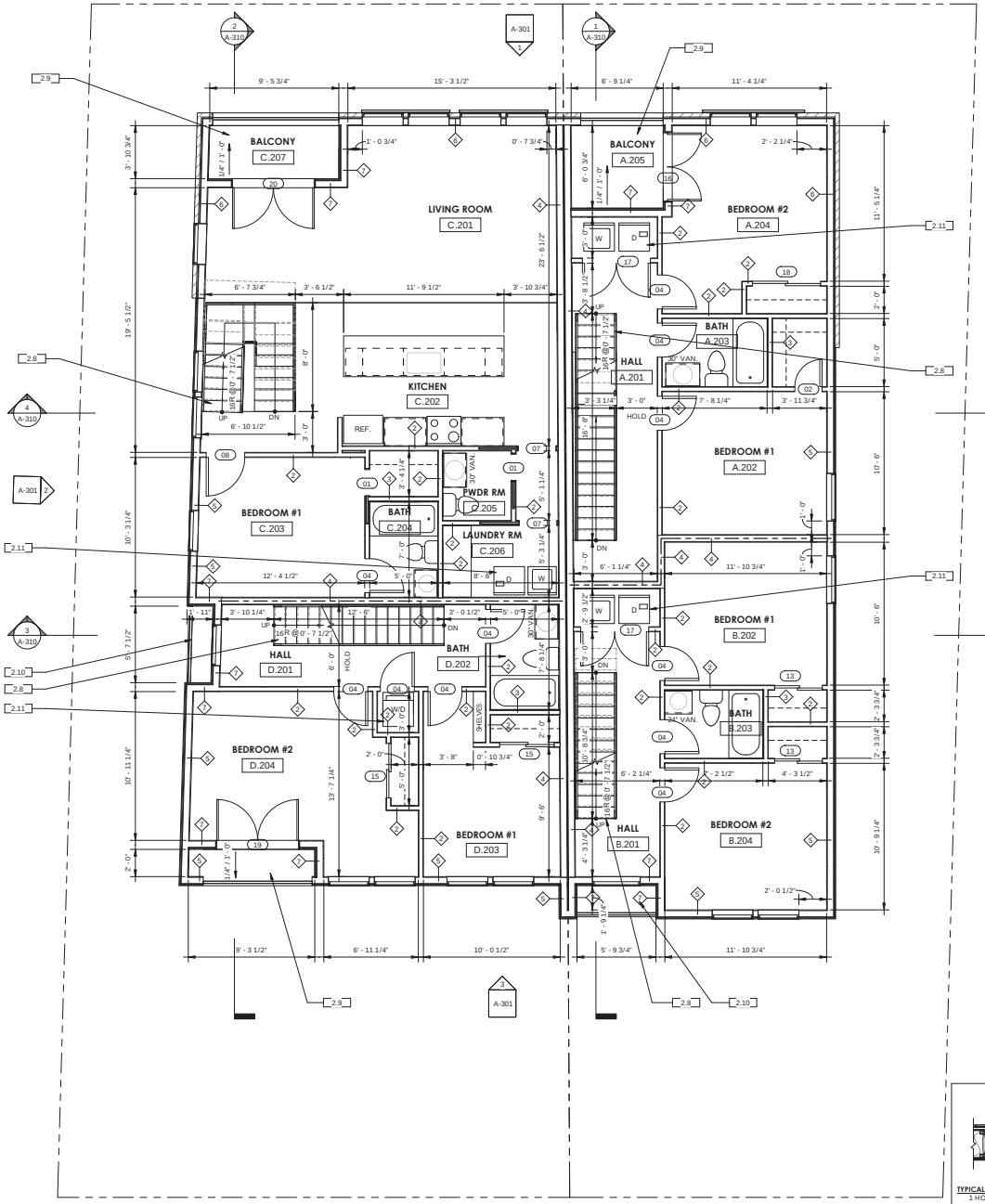
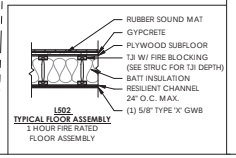
PROPOSED PLAN FIRST FLOOR

A-201





L602
TYPICAL FLOOR ASSEMBLY
1 HOUR FIRE RATED
FLOOR ASSEMBLY

1 / A-202 2 SECOND FLOOR
1/4" = 1'-0"

PROPOSED PLAN GENERAL NOTES

1. ALL EXT. WALLS TO BE 5 1/2" UNLESS NOTED OTHERWISE.
2. ALL INTER WALLS TO BE 3 1/2" UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO FINISH FACE.
4. ALL INTERIOR BEARING WALLS SHALL BE 2X6 STUDS @ 16" O.C. MAX. W/ DOUBLE TOP PLATE. UNLESS NOTED OTHERWISE.
5. PROVIDE CEMENT BACKER BOARD AROUND ALL WET AREAS IN KITCHENS & BATHROOMS.
6. ALL MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE W/O THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
7. ALL EXTERIOR STRUCTURAL WOOD MEMBERS & WOOD LOCATED W/IN 8" OF SOIL OR IN CONTACT W/ CONC/CMU SHALL BE PRESSURE TREATED TO RESIST DECAY & INSECT INFESTATION.
8. PROVIDE FULL-WIDTH SOLID BLOCKING UNDER ALL STRUCTURAL POSTS TO FOUNDATION.
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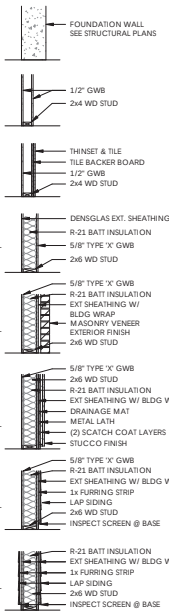
10. ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, & ELECTRICAL DRAWINGS SHALL FULLY COORDINATED BY THE CONTRACTOR TO VERIFY ALL DIMENSIONS, SLOPES, DRAINS/TRAPS, OUTLET RECESSES, BOLT SETTINGS, SLEEVES, ETC. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.
11. WINDOWS W/ SILLS GREATER THAN 72" ABV. OUTSIDE GRADE AND LESS THAN HAVE 24" ABV. FINISH FLOOR SHALL NOT OPEN MORE THAN 4". IF WINDOWS IN THAT CONDITION OPEN MORE THAN 4" PROTECTIVE GUARDS OR TEMPERED SAFETY GLASS WINDOWS W/ HARDWARE THAT LIMITS WINDOW OPENINGS TO LESS THAN 4" SHALL BE INSTALLED. IF PROTECTIVE GUARDS ARE INSTALLED, EGRESS REQUIREMENTS MUST BE MAINTAINED.
12. EVERY SLEEPING RM. SHALL HAVE (1) MIN OPERABLE WINDOW APPROVED FOR EMERGENCY EGRESS. UNITS MUST BE OPERABLE FROM INSIDE TO A FULL CLEAR OPENING W/O USE OF SEPARATE TOOL. EGRESS WINDOWS SHALL HAVE
    a. SILL HEIGHT - NO MORE THAN 44" AFF
    b. MIN NET CLEAR OPENING - 5.7 SF
    c. MIN NET CLEAR OPENING HEIGHT - 24"
    d. MIN NET CLEAR OPENING WIDTH - 20"
13. CONTRACTOR TO VERIFY AND CHECK MANUFACTURER FOR EXACT WINDOW SIZES & ROUGH OPENING REQUIREMENTS BEFORE STARTING CONSTRUCTION.

PROPOSED PLAN NOTES:

2.1 NEW CONCRETE STEPS UP TO GRADE W/ YARD DRAIN AT BOTTOM LANDING AND 36" MTL HANDRAIL.
2.2 NEW CRAWL SPACE W/ VAPORT BARRIER AND CONCRETE TOPPING SLAB
2.3 NEW GARDEN WALL AT FRONT PROPERTYLINE. 20" STONE VENEER WALL W/ STONE CAP & 28" BLACK MTL RAILING. RAILING TO BE 50% OPAQUE MINIMUM.
2.4 NEW 6' FENCE AT REAR AND SIDE YARDS.
2.5 48" BLACK MTL FENCE W/ 36" GATE. CONTINUE FENCE AROUND STAIR OPENING DOWN TO BASEMENT.
2.6 OPERABLE MTL GATE AT PARKING AREA.
2.7 NEW STEP DOWN TO GRADE.
2.8 NEW 36" STAIRCASE W/ 36" HANDRAIL & GUARDRAIL WHERE REQUIRED.
2.9 FIBERGLASS EXTERIOR BALCONY W/ 36" BLACK MTL GUARDRAIL.
2.10 BLACK STANDING SEAM MTL ROOF AT RECESSED WINDOW AREA. 12" MTL RAILING AT BASE.
2.11 FIBERGLASS ROOF DECK ACCESSED V/A PILOT HOUSE.
2.12 OVER FRAMING LANDING AT PILOT HOUE LANDINGS BASED ON ROOF SLOPE.
2.13 12" PARAPET W/ 18" BLACK MTL GUARDRAIL.
2.14 42" PARAPET AT ROOF DECK PROPERTYLINE. MTL RAILING TO RETURN TO PARAPET WALLS 5'
2.15 ROOF DRAIN & INTERIOR GUTTER.
2.16 ROOF CRICKET W/ VALLEY FLASHING



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06.16.21	PROGRESS SET

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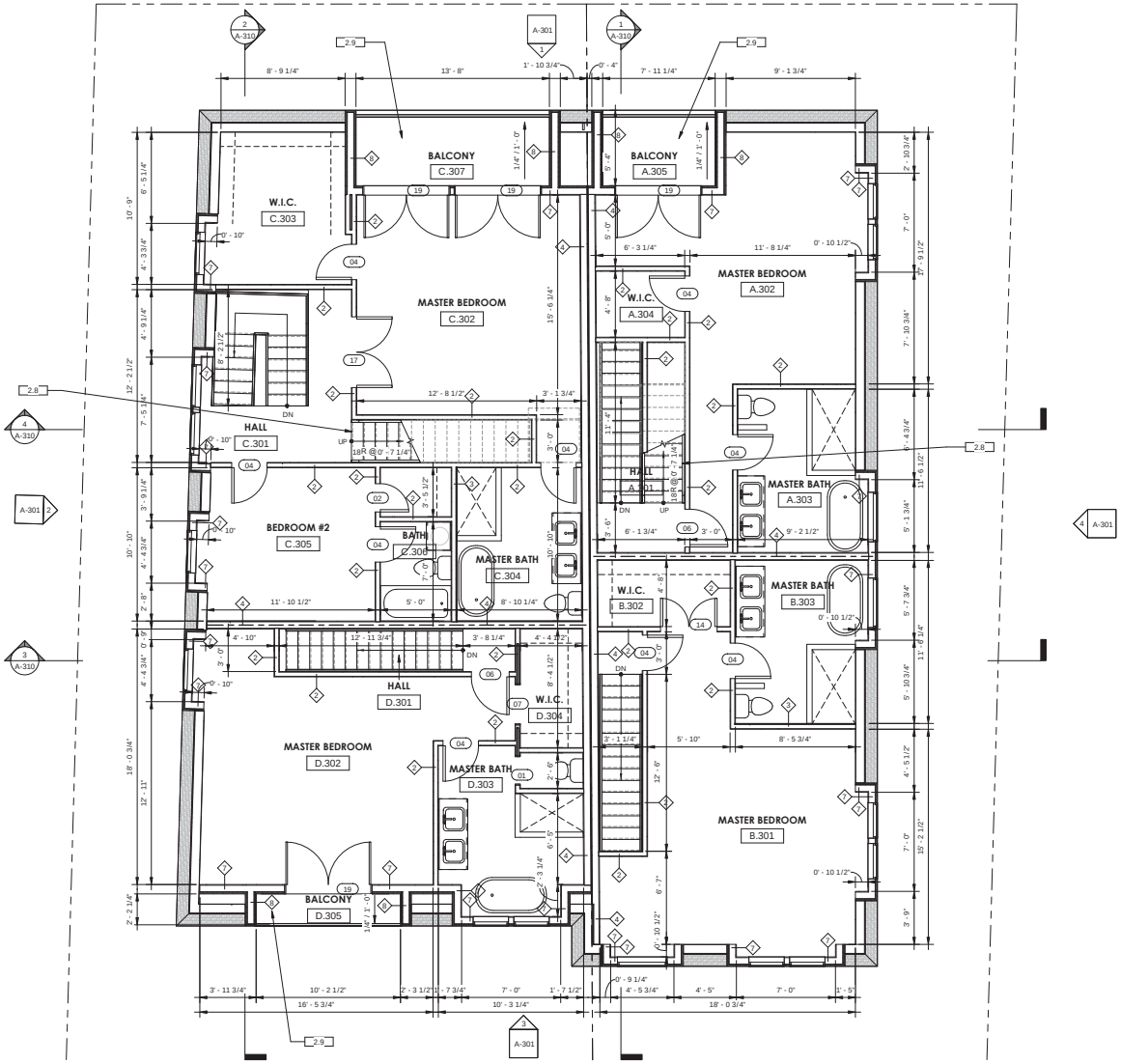
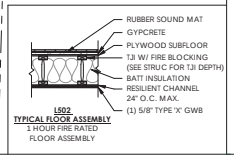
Date	10.21.21
Drawn by	BE

PROPOSED PLAN SECOND FLOOR

A-202



1 / A-203 3 THIRD FLOOR
1/4" = 1'-0"



L502
TYPICAL FLOOR ASSEMBLY
1 HOUR FIRE RATED FLOOR ASSEMBLY

PROPOSED PLAN GENERAL NOTES

1. ALL EXT. WALLS TO BE 5 1/2" UNLESS NOTED OTHERWISE.
2. ALL INTER WALLS TO BE 3 1/2" UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO FINISH FACE.
4. ALL INTERIOR BEARING WALLS SHALL BE 2X6 STUDS @ 16" O.C. MAX. W/ DOUBLE TOP PLATE. UNLESS NOTED OTHERWISE.
5. PROVIDE CEMENT BACKER BOARD AROUND ALL WET AREAS IN KITCHENS & BATHROOMS.
6. ALL MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE W/O THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
7. ALL EXTERIOR STRUCTURAL WOOD MEMBERS & WOOD LOCATED W/IN 8" OF SOIL OR IN CONTACT W/ CONC/CMU SHALL BE PRESSURE TREATED TO RESIST DECAY & INSECT INFESTATION.
8. PROVIDE FULL-WIDTH SOLID BLOCKING UNDER ALL STRUCTURAL POSTS TO FOUNDATION.
9. INSTALLATION OF FRAMING SHALL COMPLY W/ ALL APPLICATION CODES & LOCAL ORDINANCES.
10. ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, & ELECTRICAL DRAWINGS SHALL FULLY COORDINATED BY THE CONTRACTOR TO VERIFY ALL DIMENSIONS, SLOPES, DRAINS/TRAPS, OUTLET RECESSES, BOLT SETTINGS, SLEEVES, ETC. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.
11. WINDOWS W/ SILLS GREATER THAN 72" ABV. OUTSIDE GRADE AND LESS THAN HAVE 24" ABV. FINISH FLOOR SHALL NOT OPEN MORE THAN 4". IF WINDOWS IN THAT CONDITION OPEN MORE THAN 4" PROTECTIVE GUARDS OR TEMPERED SAFETY GLASS WINDOWS W/ HARDWARE THAT LIMITS WINDOW OPENINGS TO LESS THAN 4" SHALL BE INSTALLED. IF PROTECTIVE GUARDS ARE INSTALLED, EGRESS REQUIREMENTS MUST BE MAINTAINED.
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    d. MIN NET CLEAR OPENING WIDTH - 20"
13. CONTRACTOR TO VERIFY AND CHECK MANUFACTURER FOR EXACT WINDOW SIZES & ROUGH OPENING REQUIREMENTS BEFORE STARTING CONSTRUCTION.

PROPOSED PLAN NOTES:

2.1 NEW CONCRETE STEPS UP TO GRADE W/ YARD DRAIN AT BOTTOM LANDING AND 36" MTL HANDRAIL.
2.2 NEW CRAWL SPACE W/ VAPORT BARRIER AND CONCRETE TOPPING SLAB
2.3 NEW GARDEN WALL AT FRONT PROPERTYLINE. 20" STONE VENEER WALL W/ STONE CAP & 28" BLACK MTL RAILING. RAILING TO BE 50% OPAQUE MINIMUM.
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2.5 48" BLACK MTL FENCE W/ 36" GATE. CONTINUE FENCE AROUND STAIR OPENING DOWN TO BASEMENT.
2.6 OPERABLE MTL GATE AT PARKING AREA.
2.7 NEW STEP DOWN TO GRADE.
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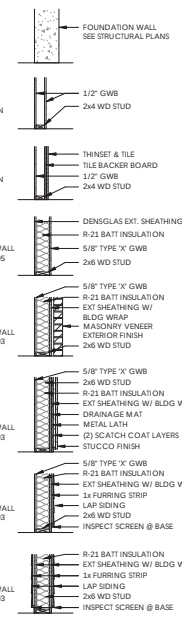

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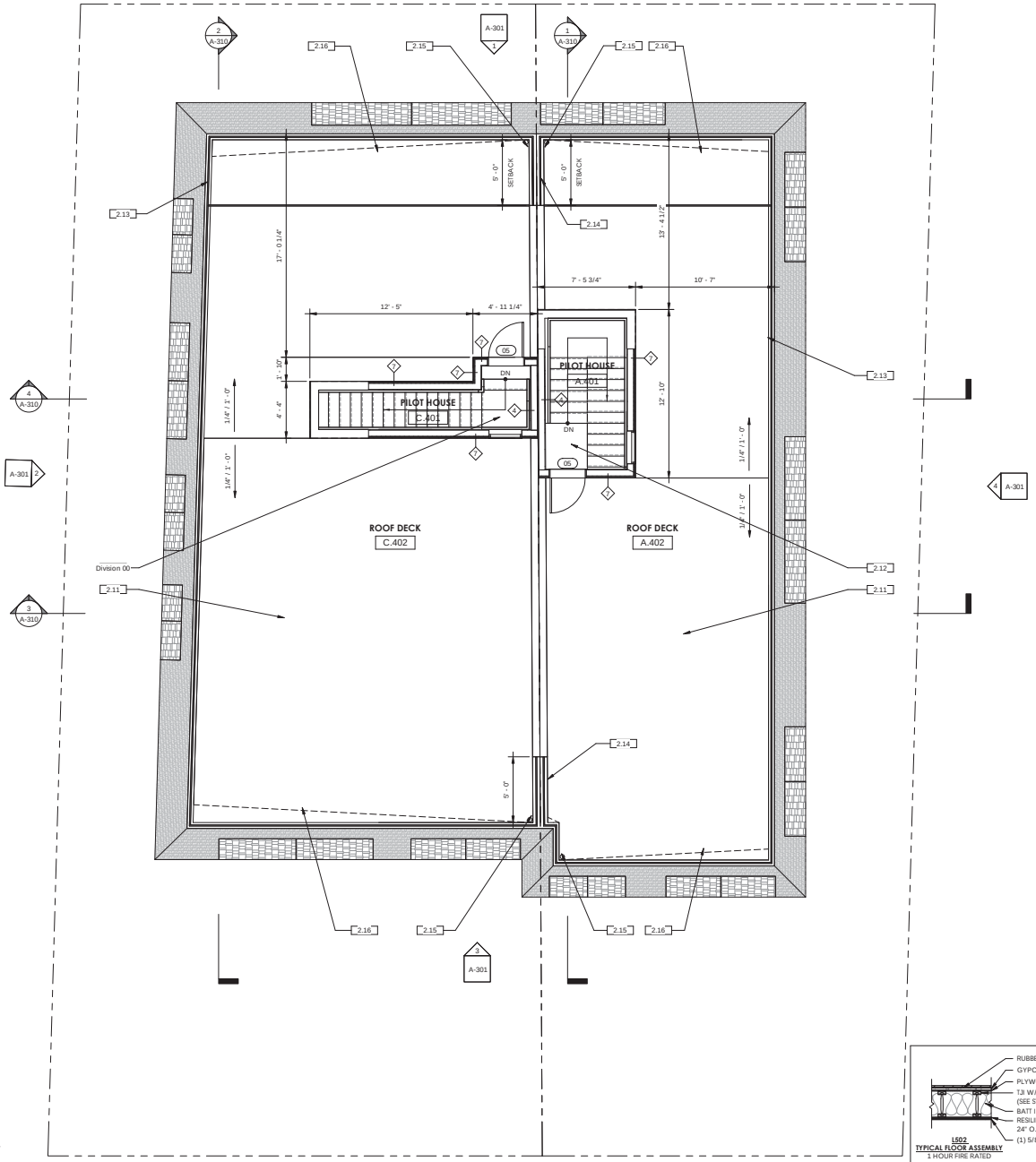
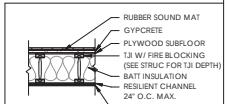
PROPOSED PLAN THIRD FLOOR

A-203



1 / A-204 4 ROOF PLAN
1/4" = 1'-0"



L502
TYPICAL FLOOR ASSEMBLY
1 HOUR FIRE RATED
FLOOR ASSEMBLY

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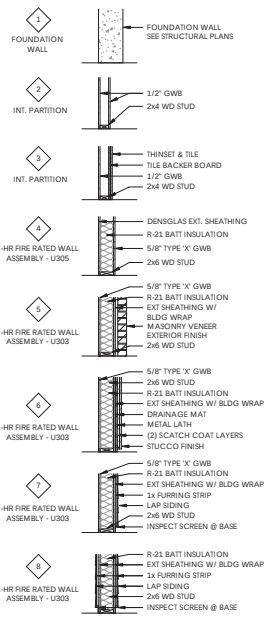
2.16 ROOF CRICKET W/ VALLEY FLASHING



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M.E.P. Engineer+
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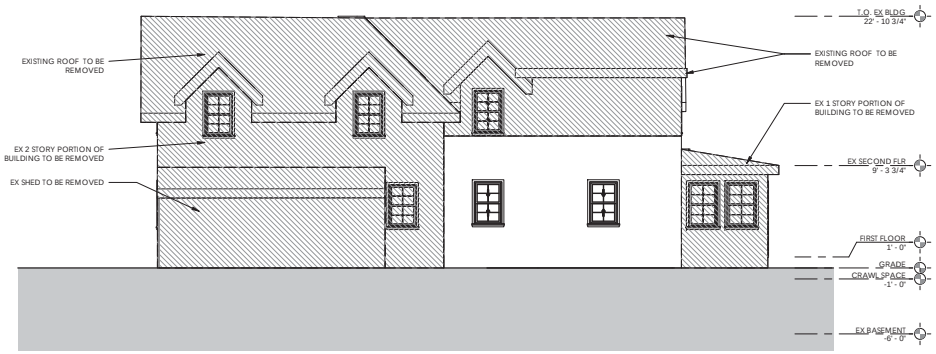
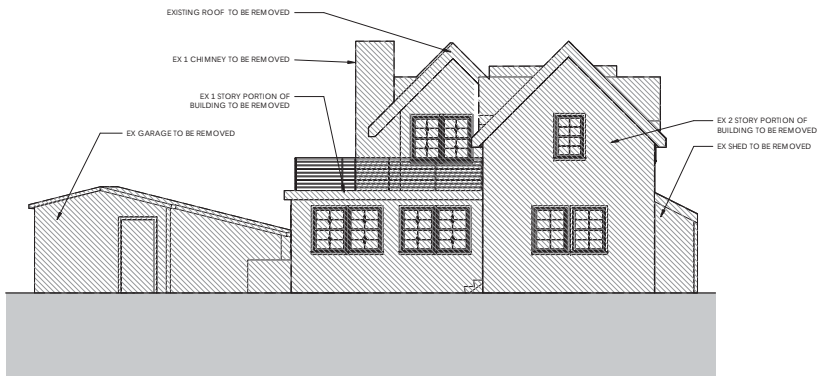
Drawn by	BE

PROPOSED PLAN ROOF

A-204

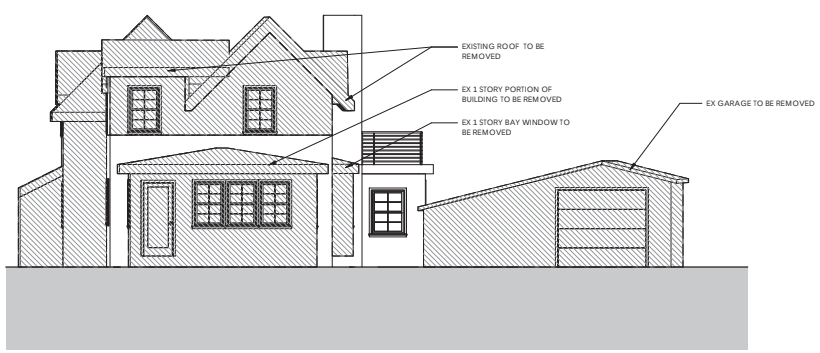


4 A-300 EAST ELEVATION - EXISTING - Dependent 1
3/16" = 1'-0"



3 A-300 SOUTH ELEVATION - EXISTING - Dependent 1
3/16" = 1'-0"

2 A-300 WEST ELEVATION - EXISTING - Dependent 1
3/16" = 1'-0"



1 A-300 NORTH ELEVATION - EXISTING - Dependent 1
3/16" = 1'-0"

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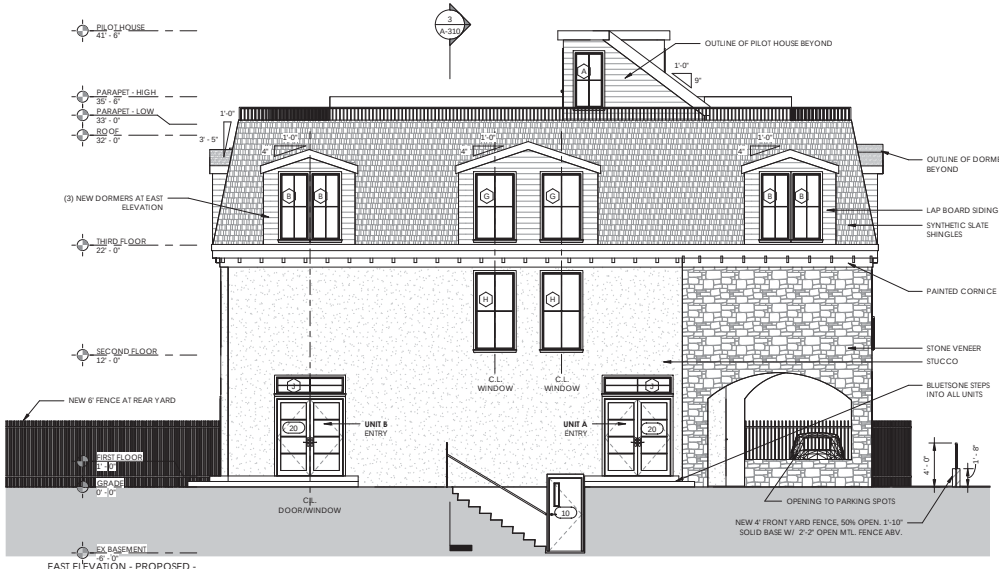
EXTERIOR ELEVATIONS EXISTING

A-300



4 A-301 EAST ELEVATION - PROPOSED - Dependent 1
3/16" = 1'-0"

3 A-301 SOUTH ELEVATION - PROPOSED - Dependent 1
3/16" = 1'-0"

2 A-301 WEST ELEVATION - PROPOSED - Dependent 1
3/16" = 1'-0"

1 A-301 NORTH ELEVATION - PROPOSED - Dependent 1
3/16" = 1'-0"

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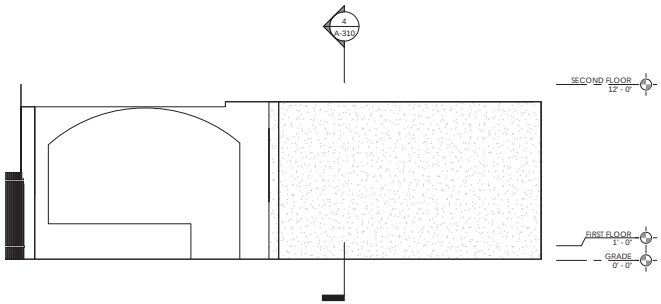
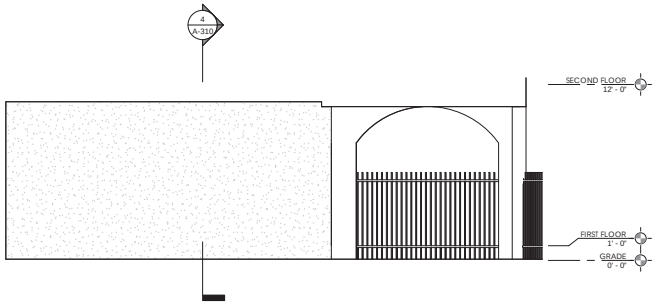
EXTERIOR ELEVATIONS PROPOSED

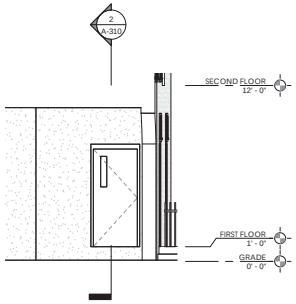
A-301



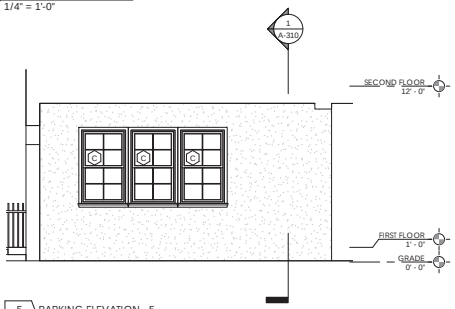
3 A-302 PARKING ELEVATION - 3
1/4" = 1'-0"



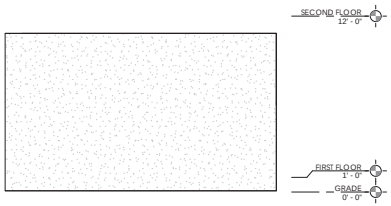
2 A-302 PARKING ELEVATION - 2
1/4" = 1'-0"



1 A-302 PARKING ELEVATION - 1
1/4" = 1'-0"



5 A-302 PARKING ELEVATION - 5
1/4" = 1'-0"



4 A-302 PARKING ELEVATION - 4
1/4" = 1'-0"

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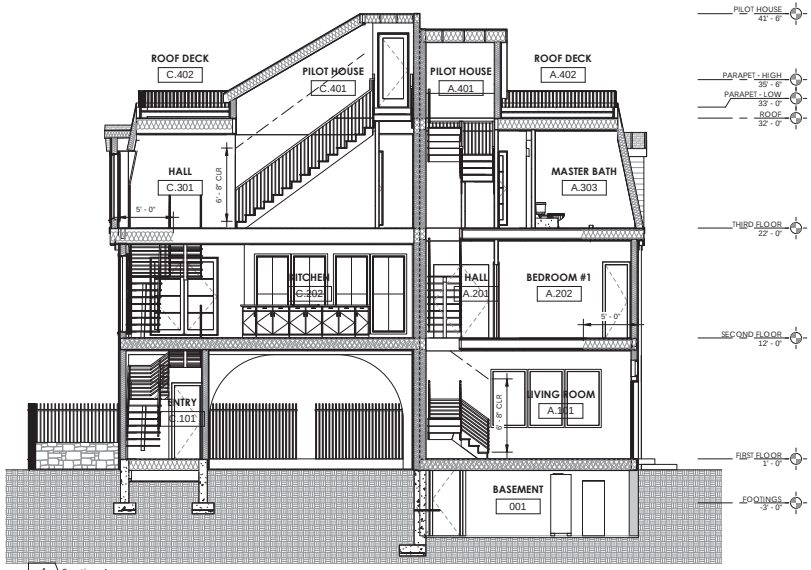
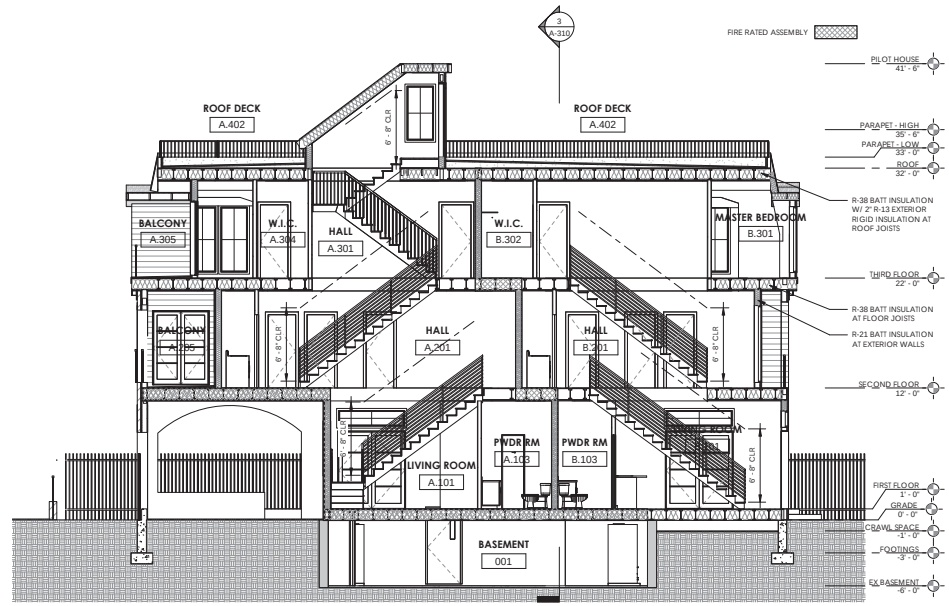
PROPOSED EXTERIOR ELEVATIONS

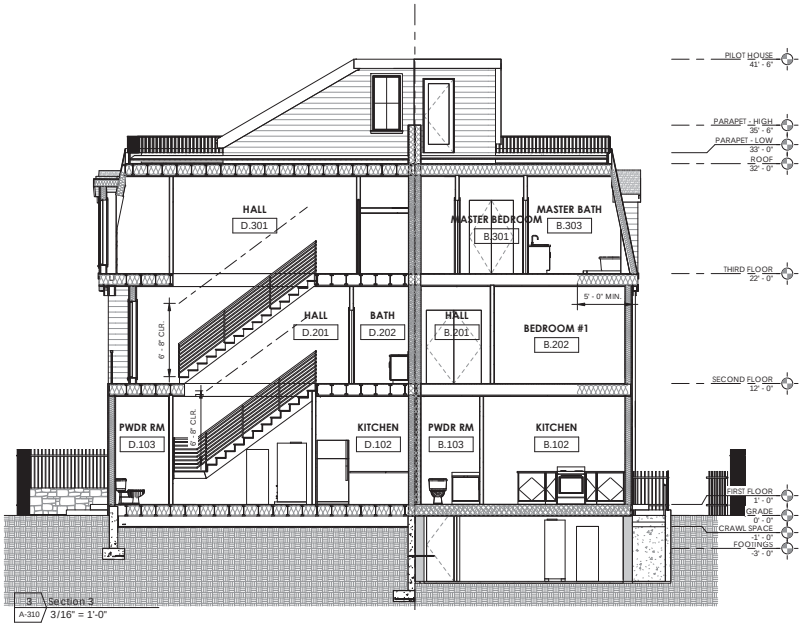
A-302



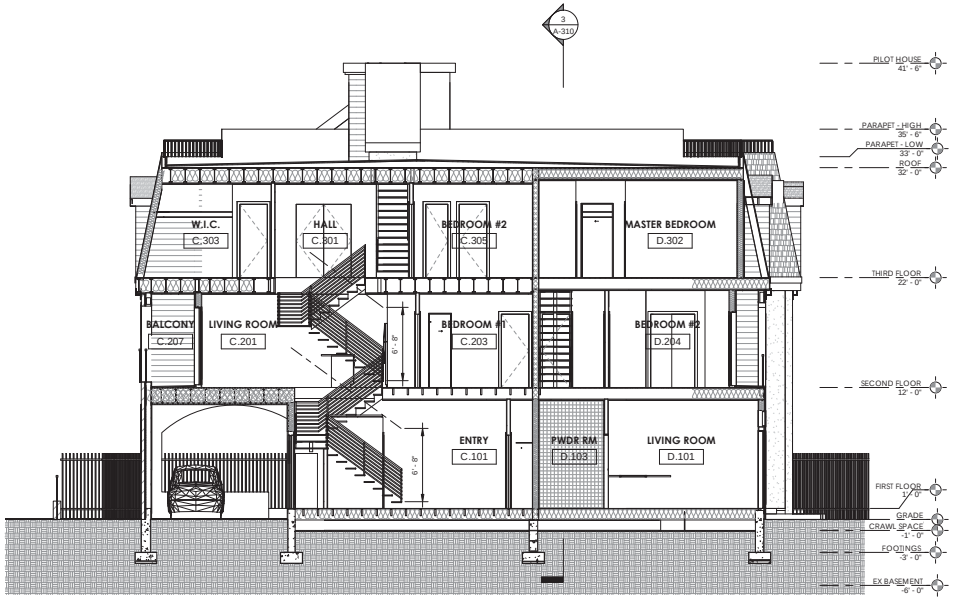
4 A-310 Section 4
3/16" = 1'-0"



1 A-310 Section 1
3/16" = 1'-0"



3 A-310 Section 3
3/16" = 1'-0"



2 A-310 Section 2
3/16" = 1'-0"

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M.E.P. Engineer+
-

DATE	DESCRIPTION
10.21.21	BUILDING PERMITS
06.16.21	PROGRESS SET

Revisions	BUILDING PERMITS
Date	10.21.21
Drawn by	BE

BUILDING SECTIONS

A-310

DOOR SCHEDULE

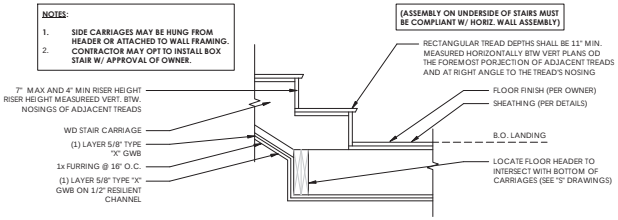
Door Number	Width	Height	Thickness	Family	Fire Rating	Finish Comments
01	2' - 0"	6' - 8"	0' - 1 1/2"	Door-Interior-Single-Pocket-2_Panel-Wood		
02	2' - 0"	6' - 8"	0' - 2"	Single-Flush		
03	2' - 4"	6' - 8"	0' - 2"	Single-Flush		
04	2' - 6"	6' - 8"	0' - 2"	Single-Flush		
05	2' - 8"	6' - 8"	0' - 1 1/2"	Door-Interior-Single-Full Glass-Wood		
06	2' - 8"	6' - 8"	0' - 2"	Single-Flush		
07	2' - 10"	6' - 8"	0' - 1 1/2"	Door-Interior-Single-Pocket-2_Panel-Wood		
08	2' - 10"	6' - 8"	0' - 2"	Single-Flush		
09	3' - 0"	6' - 8"	0' - 1 1/2"	Door-Interior-Single-Full Glass-Wood		
10	3' - 0"	6' - 8"	0' - 1 3/4"	Door-Passage-Single-Vision_Lite		
11	3' - 0"	7' - 0"	0' - 1 1/2"	Door-Interior-Single-Full Glass-Wood		
12	3' - 0"	7' - 0"	0' - 1 3/4"	Door-Passage-Single-Vision_Lite		
13	3' - 6"	6' - 8"	0' - 2"	Sliding-Closet		
14	4' - 0"	6' - 8"	0' - 2"	Door-Double-Flush_Panel		
15	4' - 0"	6' - 8"	0' - 2"	Sliding-Closet		
16	5' - 0"	6' - 8"	0' - 1 1/2"	Door-Exterior-Double-Full Glass-Wood_Clad		
17	5' - 0"	6' - 8"	0' - 2"	Door-Double-Flush_Panel		
18	5' - 0"	6' - 8"	0' - 2"	Sliding-Closet		
19	6' - 0"	6' - 8"	0' - 1 1/2"	Door-Exterior-Double-Full Glass-Wood_Clad		
20	6' - 0"	7' - 0"	0' - 1 1/2"	Door-Exterior-Double-Full Glass-Wood_Clad		

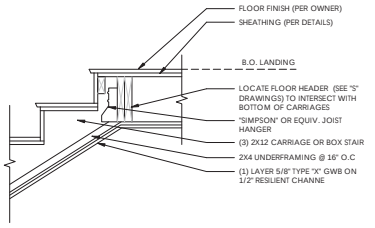
WINDOW SCHDULE

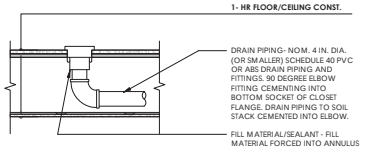
Type Mark	Width	Height	Sill Height	Manufacturer	Model	Comments
A	2' - 6"	5' - 0"	2' - 6"			
A	2' - 6"	5' - 0"	3' - 0"			
B	2' - 6"	6' - 0"	0' - 6"			
C	3' - 0"	5' - 0"	3' - 0"			
D	3' - 0"	6' - 0"	0' - 8 1/2"			
D	3' - 0"	6' - 0"	0' - 9"			
E	3' - 0"	7' - 0"	0' - 6"			
F	3' - 1"	1' - 6"	7' - 5"			
G	3' - 6"	6' - 0"	0' - 6"			
H	3' - 6"	7' - 0"	0' - 6"			
J	6' - 1"	1' - 6"	7' - 5"			
J	6' - 1"	1' - 6"	7' - 5 3/4"			
J	6' - 1"	1' - 6"	8' - 5 3/4"			

NOTES:

1. **SIDE CARRIAGES MAY BE HUNG FROM HEADER OR ATTACHED TO WALL FRAMING.**
2. **CONTRACTOR MAY OPT TO INSTALL BOX STAIR W/ APPROVAL OF OWNER.**



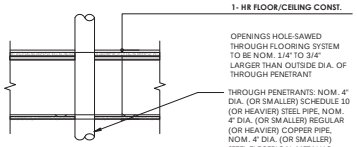




DRAIN PIPING- NOM. 4 IN. DIA. (OR SMALLER) SCHEDULE 40 PVC OR ABS DRAIN PIPING AND FITTINGS. 90 DEGREE ELBOW FITTING CEMENTING INTO BOTTOM SOCKET OF CLOSET FLANGE. DRAIN PIPING TO SOIL STACK CEMENTED INTO ELBOW.

FILL MATERIAL/SEALANT - FILL MATERIAL FORCED INTO ANNULUS BETWEEN CLOSET STUB AND PERIPHERY OPENING IN FLOORING TO MAX. EXTENT POSSIBLE, FLUSH W/ BOT. SURFACE OF FLOOR ADDITIONAL MATERIAL TO BE INSTALLED SO THAT A MIN 3/8 IN CROWN IS FORMED AROUND THE CLOSET STUB ON BOT. SURFACE OF THE FLOOR.

MAX. DIA. OF HOLE IS 5 IN.



OPENINGS HOLE-SAWED THROUGH FLOORING SYSTEM TO BE NOM. 1/4" TO 3/4" LARGER THAN OUTSIDE DIA. OF THROUGH PENETRANT

THROUGH PENETRANTS: NOM. 4" DIA. (OR SMALLER) SCHEDULE 10 (OR HEAVIER) STEEL PIPE, NOM. 4" DIA. (OR SMALLER) REGULAR (OR HEAVIER) COPPER PIPE, NOM. 4" DIA. (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING OR STEEL CONDUIT. OR NOM. 4" DIA (OR SMALLER) TYPE L (OR HEAVIER) COPPER TUBING.

DETAILS
1" = 1'-0"

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M.E.P. Engineer+
-

DATE	DESCRIPTION
10.21.21	BUILDING PERMITS

Revisions	BUILDING PERMITS
Date	10.21.21
Drawn by	BE

SCHEDULES & DETAILS

A-800

DESIGN CRITERIA NOTES

1. THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT. USE THE LATEST EDITIONS UNLESS NOTED OTHERWISE.

   INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION AND PHILADELPHIA RESIDENTIAL CODE
   ASCE 7-16 - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
   AISC 360-16 – SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS
   AISC 303-16 - CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES
   ACI 318-14 – BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND MASONRY
   TMS 402/602-16 – SPECIFICATION OF MASONRY STRUCTURES

2. DESIGN LOADS ARE AS LISTED BELOW.

   LIVE LOADS:
   UNIFORMLY DISTRIBUTED LIVE LOADS IN PSF
   RESIDENTIAL AREAS = 40 PSF
   SLEEPING AREAS = 30 PSF
   BALCONIES = 60 PSF
   ROOF DECK = 60 PSF
   ROOF = 20 PSF

   SUPERIMPOSED DEAD LOADS:

   MECHANICAL, ELECTRICAL AND CEILING — 10 PSF
   FINISHES WHERE SHOWN ON ARCHITECTURAL — AS REQUIRED

   WIND LOADS:
   BASIC WIND SPEED, V (ULT) = 115 MPH
   RISK CATEGORY = II
   WIND EXPOSURE = B
   APPLICABLE INTERNAL PRESSURE COEFFICIENT +/- 0.18

   SEISMIC LOADS:
   RISK CATEGORY = II
   IMPORTANCE FACTOR = 1.0
   MAPPED SPECTRAL RESPONSE ACCELERATIONS:
   Ss=17.9%g
   S1=4.7%g
   SPECTRAL RESPONSE COEFFICIENTS:
   SDS=19.1%g
   SD1=7.5%g
   SITE CLASS = D
   SEISMIC DESIGN CATEGORY = B

   SNOW LOADS:
   GROUND SNOW LOAD Pg=25 PSF
   FLAT ROOF SNOW LOAD = 20 PSF + DRIFT
   EXPOSURE FACTOR Ce=1.0
   IMPORTANCE FACTOR = 1.0
   THERMAL FACTOR Ct=1.0

FOUNDATION NOTES

1. IN THE ABSENCE OF A GEOTECHNICAL SOILS REPORT, THE FOUNDATION DESIGN IS BASED ON AN ASSUMED SOIL BEARING CAPACITY OF 2000 PSF. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR SUBSURFACE CONDITIONS ENCOUNTERED IN THE FIELD WHICH VARIES FROM THOSE CONDITIONS ASSUMED FOR DESIGN. STRUCTURAL TESTING/INSPECTION AGENCY SHALL CERTIFY THE BEARING MEDIUM.
2. SPREAD FOOTINGS ARE DESIGNED FOR THE ALLOWABLE NET SOIL BEARING PRESSURE OF 2000 PSF. SOIL BEARING CAPACITY SHALL BE VERIFIED BY A LICENSED GEOTECHNICAL ENGINEER PRIOR TO FOUNDATION PLACEMENT.
3. PROVIDE CRACK CONTROL JOINTS IN SLABS-ON-GRADE AS INDICATED BY THE TYPICAL DETAILS. WHERE SOIL SUPPORTED SLAB CONSTRUCTION OR CONTROL JOINTS ARE NOT SHOWN ON PLAN, JOINTS SHALL OCCUR IN EACH DIRECTION AT EACH COLUMN LINE AND RE-ENTRANT CORNER. ADDITIONAL JOINTS SHALL OCCUR IN EACH DIRECTION AT A SPACING NOT TO EXCEED 36 TIMES THE SLAB THICKNESS. AVOID EXCEEDING AN ASPECT RATIO OF 1.5 TO 1 FOR AREAS BOUNDED BY JOINTS. CUT JOINTS 25% OF THE DEPTH OF THE SLAB.
4. A VAPOR BARRIER PER THE ARCHITECTURAL SPECIFICATIONS SHALL BE INSTALLED DIRECTLY BENEATH THE INTERIOR SOIL SUPPORTED SLAB. TAPE AND LAP ALL JOINTS PER MANUFACTURER RECOMMENDATIONS.
5. FOUNDATIONS SHALL BEAR ON UNDISTURBED VIRGIN SOIL AND/OR SUPERVISED COMPACTED FILL, FREE OF FROST AND ANY ORGANIC MATERIALS.
6. ALL FOUNDATIONS AND EXCAVATIONS SHALL BE PROTECTED FROM FROST EXPOSURE DURING AND AFTER CONSTRUCTION. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW EXTERIOR FINISHED GRADE, U.N.O.
7. DO NOT ALLOW SURFACE WATER TO ACCUMULATE AND/OR POND IN EXCAVATIONS. TEMPORARY DEWATERING SYSTEM TO BE USED DURING CONSTRUCTION WILL BE DESIGNED AND INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT AND THE REQUIREMENTS OF THE GOVERNING BUILDING CODE.
8. DO NOT BACKFILL AGAINST WALLS UNTIL SUPPORTING SLABS ARE IN PLACE AND HAVE ATTAINED REQUIRED STRENGTH.
9. WHERE PIPES OR UTILITIES PASS THROUGH FOOTING, DROP FOOTING SO UTILITIES PASS OVER THE TOP OF THE FOOTING OR DROP UTILITIES TO PASS BELOW FOUNDATION 6" (MIN.) PROVIDE SLEEVES AS NECESSARY.

MISCELLANEOUS NOTES

1. THE DETAILS DESIGNATED AS "TYPICAL DETAILS" APPLY GENERALLY TO THE DRAWINGS IN AREAS WHERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN THE DETAILS, UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS, AND DETAILS. DO NOT SCALE THE DRAWINGS.
3. THE STRUCTURAL DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS AND DO NOT BY THEMSELVES PROVIDE ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT STRUCTURE. THE GENERAL CONTRACTOR SHALL CONSULT THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND COORDINATE THE INFORMATION CONTAINED IN THESE DRAWINGS WITH THE STRUCTURAL DRAWINGS TO PROPERLY CONSTRUCT THE PROJECT. PRINCIPAL OPENINGS, CURBS, AND SLAB DEPRESSIONS ARE SHOWN ON THE DRAWINGS. SEE ARCHITECTURAL, MECH'L, ELEC'L, AND PLUMBING DRAWINGS FOR SLEEVES, CURBS, INSERTS, OTHER OPENINGS, AND SLAB DEPRESSIONS NOT SHOWN. THE CONTRACTOR SHALL PROVIDE FOR ALL OPENINGS, CURBS, AND SLAB DEPRESSIONS WHETHER SHOWN ON STRUCTURAL DRAWINGS OR NOT. SIZE AND LOCATION OF OPENINGS SHALL BE VERIFIED WITH THE MECHANICAL CONTRACTOR. ANY DEVIATION FROM OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR APPROVAL PRIOR TO PROCEEDING WITH ANY WORK.
4. THE CONTRACTOR SHALL COMPARE THE STRUCTURAL DRAWINGS WITH THE ARCH'L, MECH'L, ELEC'L, PLUMBING, AND CIVIL DRAWINGS TO CONFIRM ALL REQUIREMENTS OF THE WORK. REPORT ANY CONFLICT/DISCREPANCY BETWEEN THE DISCIPLINES TO THE ARCHITECT PRIOR TO FABRICATING OR INSTALLING STRUCTURAL ELEMENTS. BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS TO PROPERLY SIZE OR FIT THE WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED BY THE OWNER RESULTING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. THE CONTRACTOR SHALL INSURE THAT CONSTRUCTION LOADS DO NOT EXCEED THE DESIGN LIVE LOADS INDICATED ON THE STRUCTURAL DRAWINGS AND THAT THESE LOADS ARE NOT PUT ON THE STRUCTURAL MEMBERS PRIOR TO THE TIME THAT THE CONCRETE REACHES THE FULL DESIGN STRENGTH AND ALL FRAMING MEMBERS AND THEIR CONNECTIONS ARE IN PLACE.
6. ALL STRUCTURES HAVE BEEN DESIGNED TO RESIST THE DESIGN LOADS LISTED ONLY AS COMPLETED STRUCTURES. THE GENERAL CONTRACTOR SHALL FULLY BRACE AND OTHERWISE PROTECT WORK IN PROGRESS UNTIL THE STRUCTURES ARE COMPLETED. THE GENERAL CONTRACTOR SHALL ALSO INSURE THAT ITS OPERATIONS AND PROCEDURES PROVIDE NO LOADING GREATER THAN THE DESIGN LOADS LISTED ON ANY MEMBER.
7. PROVIDE CHAMFERS AS SPECIFIED AND/OR DETAILED ON THE ARCHITECTURAL DRAWINGS. CHAMFERS HAVE NOT BEEN SHOWN ON THE STRUCTURAL DRAWINGS.
8. ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE SHOWN.

CAST-IN-PLACE CONCRETE NOTES

1. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITIONS OF THE ACI BUILDING CODE (ACI 318), ACI DETAILING MANUAL (ACI 315), AND SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).
2. CONCRETE, UNLESS OTHERWISE NOTED ON THE PLANS, SHALL BE NORMAL WEIGHT CONCRETE WITH THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH (PSI).

   ALL CONC, U.N.O. = 4,500 N.W.C.

   * N.W.C.-DENOTES NORMAL WEIGHT CONC. WITH A MAX. DRY DENSITY = 150 PCF
3. CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS NOTED BELOW. SEE ACI 318 FOR CONDITIONS NOT NOTED.

   REINF. STEEL IN CONCRETE CAST AGAINST SOIL = 3"

   REINF. STEEL IN CONCRETE EXPOSED TO SOIL OR WEATHER:
   #5 BARS AND SMALLER = 1.5"
   #6 BARS AND LARGER = 2"

   CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
   SLAB AND WALL REINF = 0.75"
   BEAMS AND COLUMNS = 1.5"
4. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.
5. WORKABILITY SHALL NOT BE ACHIEVED THROUGH ADDITION OF WATER. WATER REDUCING ADMIXTURES (PLASTICIZERS) SHALL BE USED TO INCREASE WORKABILITY. SEE SPECIFICATIONS FOR CONCRETE SLUMP REQUIREMENTS. ALL CONCRETE SHALL HAVE A 4" SLUMP PRIOR TO ADDITION OF ADMIXTURES AND SHALL HAVE A MAXIMUM SLUMP OF 8" AFTER THE ADDITION OF ADMIXTURES.
6. HORIZONTAL CONSTRUCTION JOINTS SHALL BE PERMITTED ONLY WHERE SHOWN ON THE STRUCTURAL DRAWINGS.
7. CONTROL JOINTS FOR SLABS ON GRADE SHALL BE SAW CUT PER THE TYPICAL DETAILS ON THE STRUCTURAL DRAWINGS. DIAMOND LEAVE OUTS SHALL BE PROVIDED AT ALL COLUMNS.
8. CONTRACTOR SHALL SUBMIT PLAN SHOWING POUR SEQUENCE, INCLUDING TYPE AND LOCATION OF PROPOSED JOINTS IN SLABS AND WALLS FOR APPROVAL.
9. ALL CONCRETE PLACED IN COLD WEATHER SHALL CONFORM TO ACI 306-COLD WEATHER CONCRETING. ALL CONCRETE PLACED IN HOT WEATHER SHALL CONFORM TO ACI 305-HOT WEATHER CONCRETING.
10. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL SLEEVES, INSERTS, ANCHOR BOLTS AND OTHER EMBEDDED ITEMS AS REQUIRED BY OTHER TRADES.
11. ALL CONCRETE POURS SHALL BE TERMINATED BY FORMS. FOOTINGS MAY BE UNFORMED PROVIDED THE TRENCH IS EXCAVATED AN ADDITIONAL 2" ON ALL SIDES, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
12. ALL COLUMN FOOTINGS SHALL BE CENTERED UNDER COLUMN CENTERLINES, U.N.O.
13. CHAMFER CORNERS OF ALL EXPOSED CONCRETE AS DETAILED BY THE ARCHITECTURAL DRAWINGS.

CONCRETE REINFORCEMENT NOTES

1. CONCRETE REINFORCING BARS SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60, EXCEPT AS NOTED.
2. WELDED WIRE REINFORCING SHALL CONFORM TO ASTM A185. THE FOLLOWING/WELDED WIRE REINFORCING SHALL BE USED FOR AREAS SPECIFIED BELOW, UNLESS NOTED OTHERWISE ON THE DRAWINGS:

   SLAB-ON-GRADE — 6 X 6 - W1.4 X W1.4
3. REINFORCING BARS MAY BE SPLICED ONLY AS SHOWN ON THE DRAWINGS EXCEPT THAT REINFORCING DESIGNATED AS "CONTINUOUS" SHALL HAVE A CLASS "B" LAP SPLICE (ACI 318).
4. HORIZONTAL WALL REINFORCEMENT SHALL BE CONTINUOUS AND SHALL HAVE 90 DEGREE BENDS AND EXTENSIONS AT CORNERS AND INTERSECTIONS AS SHOWN ON TYPICAL WALL CORNER BAR PLACING DETAILS.
5. LAPS IN WELDED WIRE FABRIC SHALL BE TWO MESH AT SPLICES.
6. PROVIDE STANDARD BAR CHAIRS WITH PROTECTIVE TIPS AND SPACERS SPACED AS REQUIRED TO PROVIDE SPECIFIED CONCRETE PROTECTION FOR REINFORCEMENT BUT NOT TO EXCEED 3'-0" ON CENTER.
7. ALL REINFORCING SHALL BE SECURELY WIRED TOGETHER IN THE FORMS PRIOR TO PLACING CONCRETE.

WOOD FRAMING NOTES

1. ALL WOOD CONSTRUCTION SHALL COMPLY WITH THE FOLLOW DESIGN STANDARDS:
   a. "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", ANSI/AF&PA NDS (INCLUDING SUPPLEMENT "DESIGN VALUES FOR WOOD CONSTRUCTION");
   b. "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION", ANSI/TPI1, TRUSS PLATE INSTITUTE (TPI).
2. WALL SHEATHING USED FOR BRACING SHALL BE 15/32 INCH 32/16 APA RATED SHEATHING, EXPOSURE 1. USE TONGUE-AND-GROOVE EDGES OR WOOD BLOCKING AT EDGES OF PANEL BETWEEN STUDS. NAIL WITH 6D NAILS AT 6" O.C. AT ALL EDGE SUPPORTS AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS,U.N.O.
3. DIMENSION LUMBER (BEAMS, JOISTS, AND HEADERS) SHALL BE KILN DRIED, #2 GRADE SPRUCE PINE FIRE, OR APPROVED EQUIVALENT WITH THE FOLLOWING MINIMUM DESIGN VALUES AS DETERMINDED BY AN APPROVED LUMBER GRADING AGENCY:

   Fb=875 PSI Fc=1150 PSI Fv=135 PSI
   Fm=450 PSI Fc (PERP)=425 PSI E=1,400,000 PSI

   NON-LOAD BEARING STUDS SHALL BE STUD GRADE WITH THE FOLLOWING MINIMUM DESIGN VALUES:
   Fb=675 PSI Fc=725 PSI Fv=135 PSI
   Fm=350 PSI Fc (PERP)=425 PSI E=1,200,000 PSI

   POSTS AND/OR COLUMNS SHALL HAVE AN ALLOWABLE COMPRESSIVE STRESS PARALLEL TO GRAIN OF 900 PSI MINIMUM.
4. GLUED-LAMINATED WOOD MEMBERS SHALL MEET THE REQUIREMENTS OF PS56 AND SHALL HAVE THE FOLLOWING DESIGN PROPERTIES AND MINIMUM STRENGTH VALUES AT DETERMINED BY AN APPROVED LUMBER GRADING AGENCY:

   GLUED-LAMINATED WOOD BEAMS (STRESS CLASS 24F-1.8):
   Fb=2,400 PSI Fv=265 PSI E=1,800,000 PSI

   GLUED-LAMINATED WOOD COLUMNS (ID #47):
   Fb=1,300 PSI Fv=260 PSI Fc=1,150 PSI E=1,400,000 PSI
5. STRUCTURAL COMPOSITE LUMBER (SCL) SHALL HAVE THE FOLLOWING DESIGN PROPERTIES AND MINIMUM STRENGTH VALUES:

   LAMINATED VENEER LUMBER (LVL):
   Fb=3100 PSI Fv=285 PSI Fc (PERP)=850 PSI E=2,000,000 PSI

   PARALLEL STRAND LUMBER (PSL):
   Fb = 2,900 PSI Fc = 2,900 PSI Fv = 290 PSI Fc (PERP) = 750 PSI E = 2,000,000 PSI

   LAMINATED STAND LUMBER (LSL):
   Fb = 2,325 PSI Fc = 2,170 PSI Fv = 310 PSI Fc (PERP) = 900 PSI E = 1,550,000 PSI
6. PLYWOOD ROOF SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE 1, 19/32" THICK, SPAN RATING 40/20. NAIL WITH 8D NAILS AT 6" O.C. AT ALL EDGE SUPPORTS AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. PANEL EDGE SUPPORTS SHALL BE PROVIDED BY TONGUE-AND-GROOVE EDGES OR PANEL EDGE CLIPS (ONE BETWEEN SUPPORTS 24 INCHES ON CENTER) OR 2X4 LUMBER BLOCKINGS.
7. PLYWOOD FOR FLOORS SHALL BE APA RATED STURD-I-FLOOR EXPOSURE 1, 23/32" THICK. SPAN RATING 24 OC. GLUE WITH ADHESIVES MEETING APA SPECIFICATION AFG-01, AND NAIL WITH 10D NAILS AT 6" O.C. AT ALL EDGE SUPPORTS AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. PANEL EDGE SUPPORTS SHALL BE PROVIDED BY TONGUE-AND-GROOVE EDGES OR 2X4 LUMBER BLOCKINGS. PLYWOOD SUBFLOORING SHALL BE SEALED AGAINST MOISTURE IMMEDIATELY AFTER INSTALLATION.
8. NAILING OF FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE, U.N.O.
9. CONNECTORS FOR WOOD CONSTRUCTION SHALL BE "SIMPSON STRONG-TIE CONNECTORS" OR EQUAL. TYPE OF CONNECTORS AND INSTALLATION SHALL BE AS RECOMMENDED BY THE MANUFACTURER, U.N.O.
10. BEAM-TO-COLUMN CONNECTIONS SHALL BE WITH "SIMPSON STRONG TIE, METAL COLUMN CAPS, NAILED FOR BEAMS 2 INCHES IN WIDTH OR LESS, AND BOLTED FOR BEAMS GREATER THAN 2 INCHES IN WIDTH.
11. PROVIDE RIDGE BOARDS, HIP AND VALLEY RAFTERS WITH MINIMUM DEPTH EQUAL TO THE CUT EDGE OF THE RAFTERS FRAMING INTO THEM, U.N.O.
12. WALL STUDDING SHALL BE DOUBLE AT ALL ANGLES, CORNERS, AND AROUND ALL OPENINGS.
13. WHERE MULTIPLE RAFTERS OR HEADERS OCCUR THERE SHALL BE A JACK STUD FOR EACH MEMBER AND A FULL HEIGHT KING STUD FULLY NAILED TO THE JACK STUDS. (I.E. PROVIDE DOUBLE JACK STUDS UNDER DOUBLE HEADERS WITH ONE KING STUD FULL HEIGHT.)
14. PROVIDE MINIMUM OF 1-1/2" BEARING AT EACH END OF EACH FLUSH BEAM OR HEADER. WHERE BEARING IS ON TOP OF PLATE, PROVIDE: 1 STUD (TYPICAL) WITHIN 3" OF BEARING POINT; 2 STUDS AT 6 X OR 8 X BEAMS; 3 STUDS AT 10 X OR 12 X BEAMS.
15. PROVIDE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL STUD WALLS. BOTTOM SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" DIAMETER BOLTS AT 4'-0" O.C. MAXIMUM SPACING. TOP PLATE SHALL BE LAP SPLICED AT 4'-0" O.C. WITH EIGHT (8) 16D NAILS. USE SIMPSON STRONG-TIE "PHA12 STRAP TIES" EACH SIDE WHERE LAP NOT POSSIBLE. ANCHOR BOLTS SHALL BE EMBEDDED A MINIMUM OF 15" INTO GROUTED CMU OR 7" INTO CAST-IN-PLACE CONCRETE FOUNDATIONS. ANCHOR BOLTS MAY BE POST-INSTALLED WITH HILTI HIT-HY 200 (4.5" EMBED).
16. FRAMING MEMBERS INDICATED ON FRAMING PLANS ARE INTENDED ONLY TO SHOW THE SPANS, THE SUPPORTS AND THE SPECIAL LOADING CONDITIONS. THE CONTRACTOR SHALL COORDINATE AND MEET ALL THE REQUIREMENTS INCLUDED IN THE CONTRACT DOCUMENTS. PROVIDE ADDITIONAL FRAMING MEMBERS AS REQUIRED TO CARRY EXTRA WEIGHT, AVOID OPENINGS, AND MAINTAIN PLYWOOD MODULE, ETC.
17. PROVIDE CONTINUOUS SOLID BLOCKING UNDER CONCENTRATED WALL LOADS FROM POSTS AND SHEAR WALL CHORDS DOWN THROUGH THE FLOOR FRAMING TO SLAB ON GRADE OR FOUNDATIONS.
18. PROVIDE DOUBLE JOISTS UNDER ALL PARTITION WALLS PARALLEL TO THE FLOOR JOIST SPAN.
19. AT TOP OF NON-LOAD BEARING PARTITION WALLS, PROVIDE SIMPSON STC CLIP ANGLES OR SIMPSON SDPW DEFLECTION SCREWS AT 48" O.C. FROM TOP PLATE TO FLOOR FRAMING.

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COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
NATALIE ELIZABETH BIRD
ENGINEER
PE079245
8/16/2021

DATE	DESCRIPTION

Revisions	2020-37
Date	08.16.21
Drawn by	Author

GENERAL NOTES

S-001

IBC 2018 TABLE 2304.10.1
FASTENING SCHEDULE

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
ROOF		
1. BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FRAMING BELOW	3 - 8d COMMON (2 1/2" X 0.131"); OR 3 - 10d BOX (3" X 0.128"); OR 3 - 3" X 0.131" NAILS; OR 3 - 3" 14 GAGE STAPLES, 7/16" CROWN	EACH END, TOENAIL
BLOCKING BETWEEN RAFTERS OR TRUSS NOT AT WALL TOP PLATE, TO RAFTER OR TRUSS	2 - 8d COMMON (2 1/2" X 0.131") 2 - 3" X 0.131" NAILS 3 - 3" 14 GAGE STAPLES	EACH END, TOENAIL
	2 - 16d COMMON (3 1/2" X 0.162") 3" X 0.131" NAILS AT 6" O.C. 3" X 14 GAGE STAPLES AT 6" O.C.	END NAIL
FLAT BLOCKING TO TRUSS AND WEB FILLER	16d COMMON (3 1/2" X 0.162") AT 6" O.C. 3" X 0.131" NAILS AT 6" O.C. 3" X 14 GAGE STAPLES AT 6" O.C.	FACE NAIL
2. CEILING JOISTS TO TOP PLATE	3 - 8d COMMON (2 1/2" X 0.131"); OR 3 - 10d BOX (3" X 0.128"); OR 3 - 3" X 0.131" NAILS; OR 3 - 3" 14 GAGE STAPLES, 7/16" CROWN	EACH JOIST, TOENAIL
3. CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVERPARTITIONS (NO THRUST) (SEE IBC 2015 SECTION 2308.7.3.1, TABLE 2308.7.3.1)	3 - 16d COMMON (3 1/2" X 0.162"); OR 4 - 10d BOX (3" X 0.128"); OR 4 - 3" X 0.131" NAILS; OR 4 - 3" 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
4. CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) (SEE IBC 2015 SECTION 2308.7.3.1, TABLE 2308.7.3.1)	PER IBC 2015 TABLE 2308.7.3.1	FACE NAIL
5. COLLAR TIE TO RAFTER	3 - 10d COMMON (3" X 0.148"); OR 4 - 10d BOX (3" X 0.128"); OR 4 - 3" X 0.131" NAILS; OR 4 - 3" 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
6. RAFTER OR ROOF TRUSS TO TOP PLATE (SEE IBC 2015 SECTION 2308.7.5, TABLE 2308.7.5)	3 - 10d COMMON (3" X 0.148"); OR 3 - 16d BOX (3 1/2" X 0.135"); OR 4 - 10d BOX (3" X 0.128"); OR 4 - 3" X 0.131" NAILS; OR 4 - 3" 14 GAGE STAPLES, 7/16" CROWN	TOENAIL[c]
7. ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS; OR ROOF RAFTER TO 2-INCH RIDGE BEAM	2 - 16d COMMON (3 1/2" X 0.162"); OR 3 - 10d BOX (3" X 0.128"); OR 3 - 3" X 0.131" NAILS; OR 3 - 3" 14 GAGE STAPLES, 7/16" CROWN	END NAIL
	3 - 10d COMMON (3 1/2" X 0.148"); OR 3 - 16d BOX (3 1/2" X 0.135"); OR 4 - 10d BOX (3" X 0.128"); OR 3 - 3" X 0.131" NAILS; OR 4 - 3" 14 GAGE STAPLES, 7/16" CROWN	TOENAIL
	WALL	
8. STUD TO STUD (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" X 0.162");	24" O.C. FACE NAIL
	10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS; OR 3 - 3" 13 GAGE STAPLES, 7/16" CROWN	16" O.C. FACE NAIL
9. STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d COMMON (3 1/2" X 0.162"); OR	16" O.C. FACE NAIL
	16d BOX (3 1/2" X 0.135"); OR	12" O.C. FACE NAIL
	3" X 0.131" NAILS; OR 3 - 3" 14 GAGE STAPLES, 7/16" CROWN	12" O.C. FACE NAIL
10. BUILT-UP HEADER (2" TO 2" HEADER)	16d COMMON (3 1/2" X 0.162"); OR	16" O.C. EACH EDGE, FACE NAIL
	16d BOX (3 1/2" X 0.135"); OR	12" O.C. EACH EDGE, FACE NAIL
11. CONTINUOUS HEADER TO STUD	4 - 8d COMMON (2 1/2" X 0.131"); OR 4 - 10d BOX (3" X 0.128")	TOENAIL
12. TOP PLATE TO TOP PLATE	16d COMMON (3 1/2" X 0.162");	16" O.C. FACE NAIL
	10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS; OR 3 - 3" 13 GAGE STAPLES, 7/16" CROWN	12" O.C. FACE NAIL
13. TOP PLATE TO TOP PLATE, AT END JOINTS	8 - 16d COMMON (3 1/2" X 0.162"); OR 12 - 10d BOX (3" X 0.128"); OR 12 - 3" X 0.131" NAILS; OR 12 - 3" 14 GAGE STAPLES, 7/16" CROWN	EACH SIDE OF END JOINT, FACE NAIL (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
14. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" X 0.162");	16" O.C. FACE NAIL
	16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS; OR 3" 13 GAGE STAPLES, 7/16" CROWN	12" O.C. FACE NAIL
15. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING AT BRACED WALL PANELS	2 - 16d COMMON (3 1/2" X 0.162"); OR 3 - 16d BOX (3 1/2" X 0.135"); OR 4 - 3" X 0.131" NAILS; OR 4 - 3" 14 GAGE STAPLES, 7/16" CROWN	16" O.C. FACE NAIL
16. STUD TO TOP OR BOTTOM PLATE	4 - 8d COMMON (2 1/2" X 0.131"); OR 4 - 10d BOX (3" X 0.128"); OR 4 - 3" X 0.131" NAILS; OR 4 - 3" 14 GAGE STAPLES, 7/16" CROWN	TOENAIL
	2 - 16d COMMON (3 1/2" X 0.162"); OR 2 - 10d BOX (3" X 0.128"); OR 3 - 3" X 0.131" NAILS; OR 3 - 3" 14 GAGE STAPLES, 7/16" CROWN	END NAIL
17. TOP OR BOTTOM PLATE TO STUD	2 - 16d COMMON (3 1/2" X 0.162"); OR 3 - 10d BOX (3" X 0.128"); OR 3 - 3" X 0.131" NAILS; OR 3 - 3" 14 GAGE STAPLES, 7/16" CROWN	END NAIL
18. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	2 - 16d COMMON (3 1/2" X 0.162"); OR 3 - 10d BOX (3" X 0.128"); OR 3 - 3" X 0.131" NAILS; OR 3 - 3" 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
19. 1" BRACE TO EACH STUD AND PLATE	2 - 8d COMMON (2 1/2" X 0.131"); OR 2 - 10d BOX (3" X 0.128"); OR 2 - 3" X 0.131" NAILS; OR 2 - 3" 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
20. 1" X 6" SHEATHING TO EACH BEARING	2 - 8d COMMON (2 1/2" X 0.131"); OR 2 - 10d BOX (3" X 0.128")	FACE NAIL
21. 1" X 8" AND WIDER SHEATHING TO EACH BEARING	3 - 8d COMMON (2 1/2" X 0.131"); OR 3 - 10d BOX (3" X 0.128")	FACE NAIL

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
FLOOR		
22. JOIST TO SILL, TOP PLATE, OR GIRDER	3 - 8d COMMON (2 1/2" X 0.131"); OR 3 - 10d BOX (3" X 0.128"); OR 3 - 3" X 0.131" NAILS; OR 3 - 3" 14 GAGE STAPLES, 7/16" CROWN	TOENAIL
23. RIM JOIST, BAND JOIST, OR BLOCKING TO TOP PLATE, SILL OR OTHER FRAMING BELOW	8d COMMON (2 1/2" X 0.131"); OR 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS; OR 2" 14 GAGE STAPLES, 7/16" CROWN	6" O.C. TOENAIL
24. 1" X 6" SUBFLOOR OR LESS TO EACH JOIST	2 - 8d COMMON (2 1/2" X 0.131"); OR 2 - 10d BOX (3" X 0.128")	FACE NAIL
25. 2" SUBFLOOR OR LESS TO EACH JOIST	2 - 16d COMMON (3 1/2" X 0.162")	FACE NAIL
26. 2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	2 - 16d COMMON (3 1/2" X 0.162")	EACH BEARING, FACE NAIL
27. BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	20d COMMON (4" X 0.192")	32" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
	10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS; OR 3" 13 GAGE STAPLES, 7/16" CROWN	24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
	AND: 2 - 20d COMMON (4" X 0.192"); OR 3 - 10d BOX (3" X 0.128"); OR 3 - 3" X 0.131" NAILS; OR 3 - 3" 14 GAGE STAPLES, 7/16" CROWN	ENDS AND AT EACH SPLICE, FACE NAIL
28. LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3 - 16d COMMON (3 1/2" X 0.162"); OR 4 - 10d BOX (3" X 0.128"); OR 4 - 3" X 0.131" NAILS; OR 4 - 3" 14 GAGE STAPLES, 7/16" CROWN	EACH JOIST OR RAFTER, FACE NAIL
29. JOIST TO BAND JOIST OR RIM JOIST	3 - 16d COMMON (3 1/2" X 0.162"); OR 4 - 10d BOX (3" X 0.128"); OR 4 - 3" X 0.131" NAILS; OR 4 - 3" 14 GAGE STAPLES, 7/16" CROWN	END NAIL
30. BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS	2 - 8d COMMON (2 1/2" X 0.162"); OR 4 - 10d BOX (3" X 0.128"); OR 4 - 3" X 0.131" NAILS; OR 4 - 3" 14 GAGE STAPLES, 7/16" CROWN	END NAIL, TOENAIL

WOOD STRUCTURAL PANELS (WSP), SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING[a]			
		EDGES (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
31. 3/8" - 1/2"	6d COMMON OR DEFORMED (2" X 0.113") (SUBFLOOR AND WALL)	6	12
	8d BOX OR DEFORMED (2 1/2" X 0.113") (ROOF)	6	12
	2 3/8" X 0.113" NAIL (SUBFLOOR AND WALL)	6	12
	1 3/4" 16 GAGE STAPLE, 7/16" CROWN (SUBFLOOR AND WALL)	4	8
	2 3/8" X 0.113" NAIL (ROOF)	4	8
	1 3/4" 16 GAGE STAPLE, 7/16" CROWN (ROOF)	3	6
32. 19/32" - 3/4"	8d COMMON (2 1/2" X 0.131"); OR 6d DEFORMED (2" X 0.113")	6	12
	2 3/8" X 0.113" NAIL; OR 2" 16 GAGE STAPLE, 7/16" CROWN	4	8
33. 7/8" - 1 1/4"	10d COMMON (3 1/2" X 0.148"); OR 8d DEFORMED (2 1/2" X 0.131")	6	12
OTHER EXTERIOR WALL SHEATHING			
34. 1/2" FIBERBOARD SHEATHING[b]	1 1/2" GALVANIZED ROOFING NAIL (7/16" HEAD DIAMETER); OR 1 1/4" 16 GAGE STAPLE WITH 7/16" OR 1" CROWN	3	6
35. 25/32" FIBERBOARD SHEATHING[b]	1 3/4" GALVANIZED ROOFING NAIL (7/16" HEAD DIAMETER); OR 1 1/2" 16 GAGE STAPLE WITH 7/16" OR 1" CROWN	3	6
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
36. 3/4" AND LESS	8d COMMON (2 1/2" X 0.131"); OR 6d DEFORMED (2" X 0.113")	6	12
37. 7/8" - 1"	8d COMMON (2 1/2" X 0.131"); OR 8d DEFORMED (2 1/2" X 0.131")	6	12
38. 1 1/8" - 1 1/4"	10d COMMON (3" X 0.148"); OR 8d DEFORMED (2 1/2" X 0.131")	6	12
PANEL SIDING TO FRAMING			
39. 1/2" OR LESS	6d CORROSION-RESISTANT SIDING (1 7/8" X 0.106"); OR 6d CORROSION RESISTANT CASING (2" X 0.099")	6	12
40. 5/8"	8d CORROSION-RESISTANT SIDING (3 3/8" X 0.128"); OR 8d CORROSION RESISTANT CASING (2 1/2" X 0.113")	6	12
INTERIOR PANELING			
41. 1/4"	4d CASING (1 1/2" X 0.080"); OR 4d FINISH (1 1/2" X 0.072")	6	12
42. 3/8"	6d CASING (2" X 0.099"); OR 6d FINISH (PANEL SUPPORTS AT 24 INCHES)	6	12

NOTES:

a. NAILS SPACED AT 6 INCHES AT INTERMEDIATE SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON BOX OR CASING.

b. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS. PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).

c. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE AND THE CEILING JOIST IS FASTENED TO THE TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE, THE NUMBER OF TOENAILS IN THE RAFTER SHALL BE PERMITTED TO BE REDUCED BY ONE NAIL.

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PE074745

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Date	08.16.21
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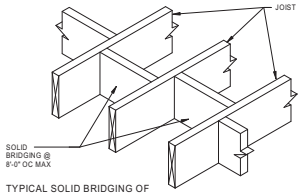
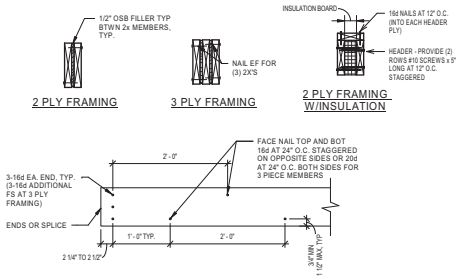
GENERAL NOTES

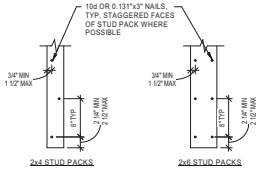
S-002



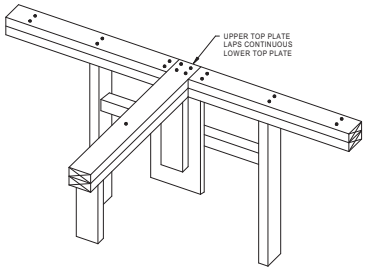
TYPICAL SOLID BRIDGING OF FLOOR JOISTS - CONVENTIONAL FRAMING
8 NO SCALE



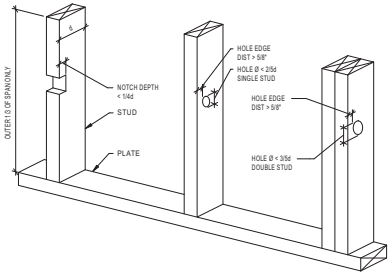
TYPICAL BUILT UP HEADER
7 1" = 1'-0"



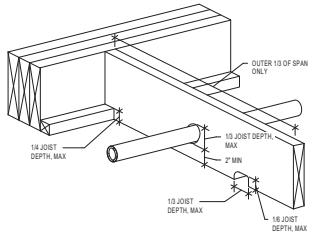
TYPICAL BUILT-UP 2x STUD NAILING
6 1" = 1'-0"



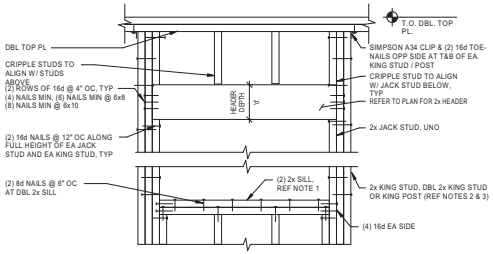
TYPICAL TOP PLATE INTERSECTION
5 1 1/2" = 1'-0"



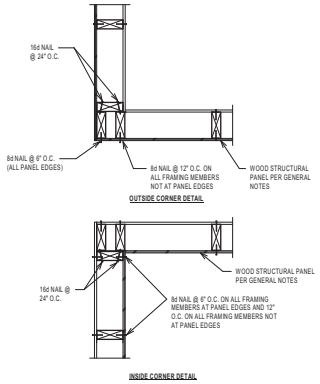
TYPICAL STUD NOTCHING AND BORING LIMITS
4 1 1/2" = 1'-0"



TYPICAL SOLID SAWN JOIST AND RAFTER NOTCHING AND BORING LIMITS
3 NO SCALE



TYPICAL EXTERIOR HEADER/SILL DETAIL
2 1" = 1'-0"

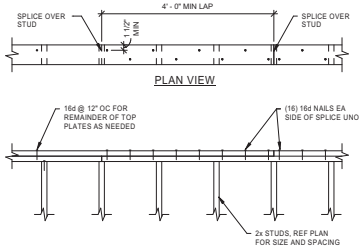


TYPICAL EXTERIOR WALL FRAMING DETAIL
1 3/4" = 1'-0"

LOOSE LINTEL SCHEDULE	
0' - 4'-0"	L4x4x1/4
4'-1" - 5'-6"	L4x4x5/16
5'-7" - 7'-6"	L6x4x5/16 (LLV)
7'-7" - 10'-0"	L6x4x3/8 (LLV)

NOTES:
1. ALL ANGLES EXPOSED TO WEATHER SHALL BE GALVANIZED.
2. MINIMUM BEARING SHALL BE 8" EACH END.

LOOSE LINTEL SCHEDULE
10 3/4" = 1'-0"



TYPICAL NAILED TOP PLATE SPLICE
9 3/4" = 1'-0"

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COMMONWEALTH OF PENNSYLVANIA
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NATALIE ELIZABETH BIRD
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PE079245
8/16/2021

DATE	DESCRIPTION

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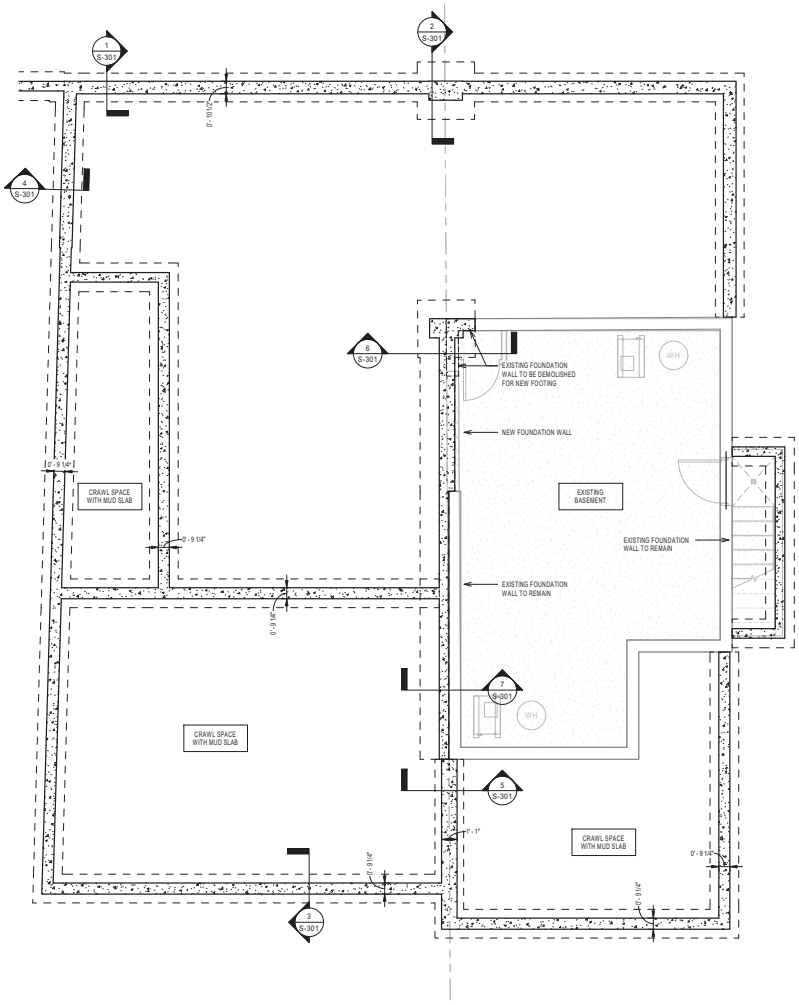
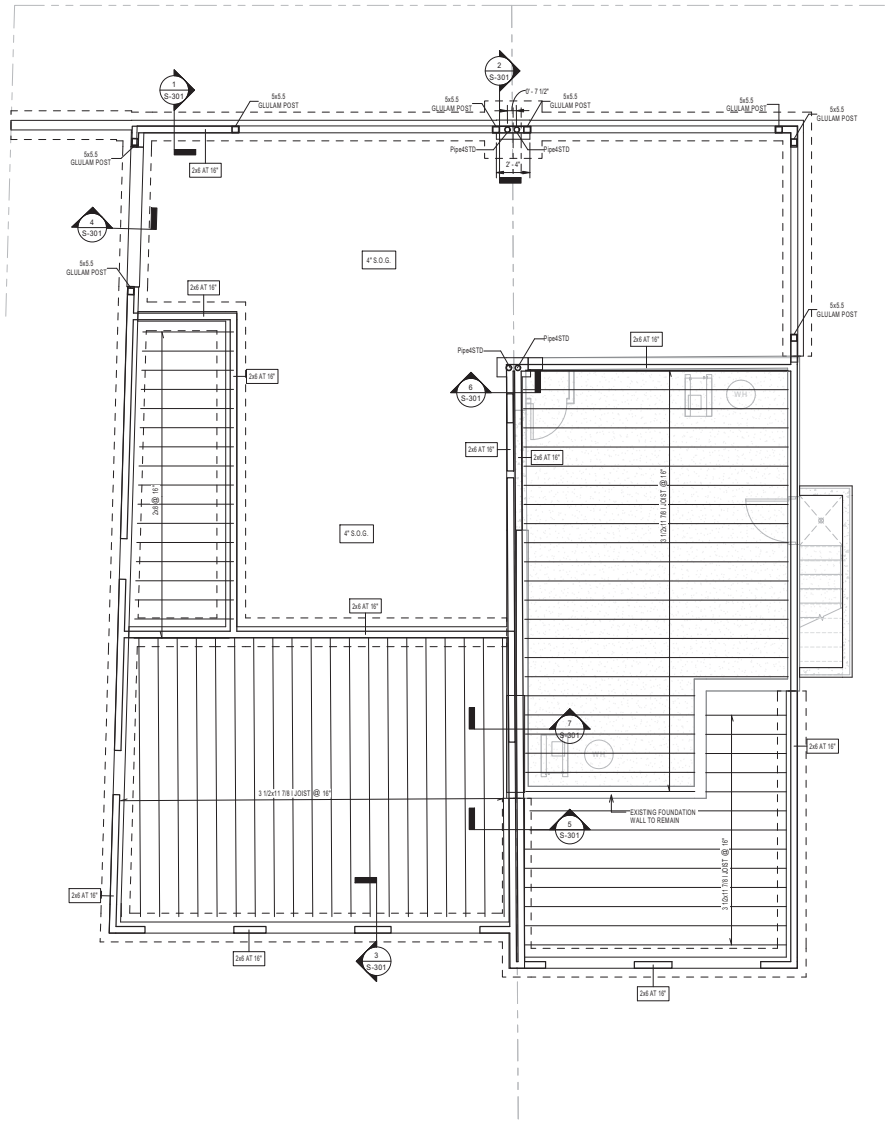
TYPICAL DETAILS

S-003



1 BASEMENT/CRAWL SPACE FRAMING PLAN
1/4" = 1'-0"



2 FOUNDATION PLAN
1/4" = 1'-0"

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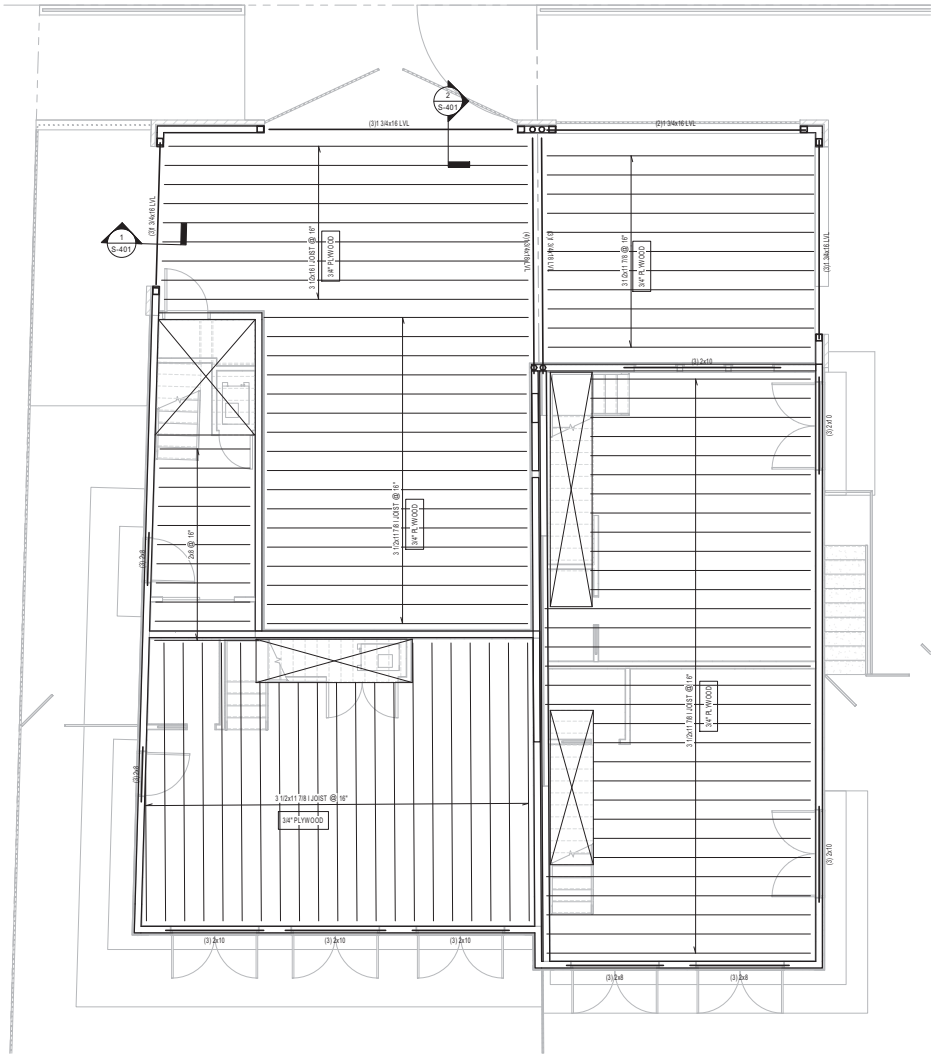
NATALIE ELIZABETH BIRD
PE076745
8/16/2021

DATE	DESCRIPTION

Revisions	2020-37
Date	08.16.21
Drawn by	NB

FOUNDATION AND FIRST FLOOR FRAMING PLANS

S-101



1 SECOND FLOOR PLAN
1/4" = 1'-0"

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Philadelphia, PA 19144

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General Contractor+
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PO Box 24, 1137 N. Gravel Pike
Zieglerville, PA 19492

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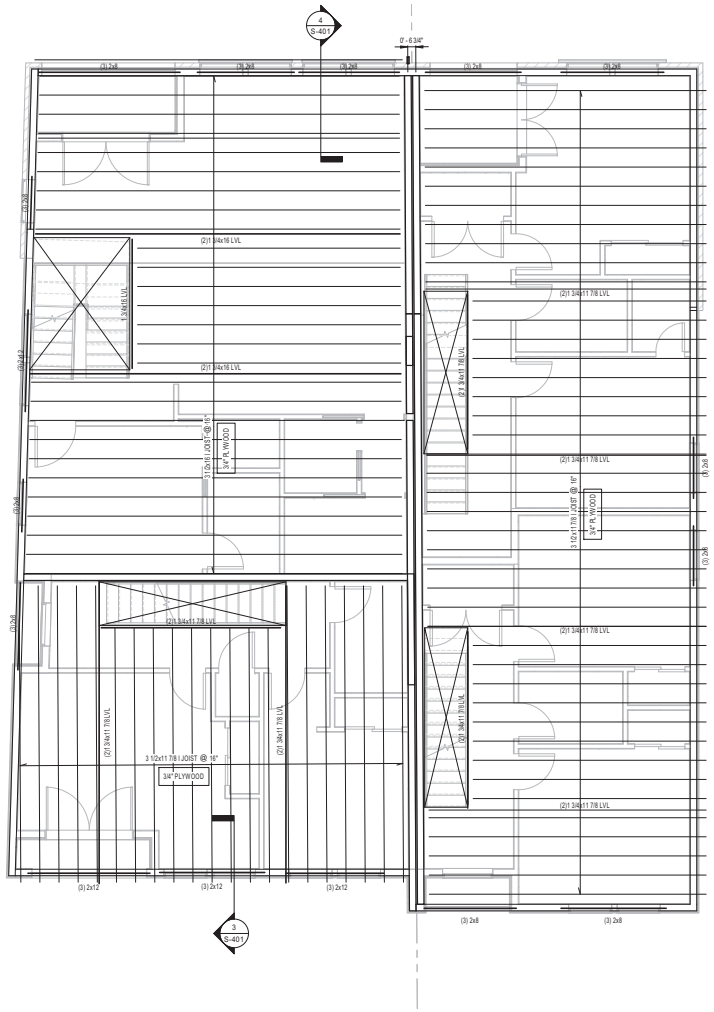
SECOND FLOOR FRAMING PLAN

S-102



1 THIRD FLOOR PLAN
1/4" = 1'-0"

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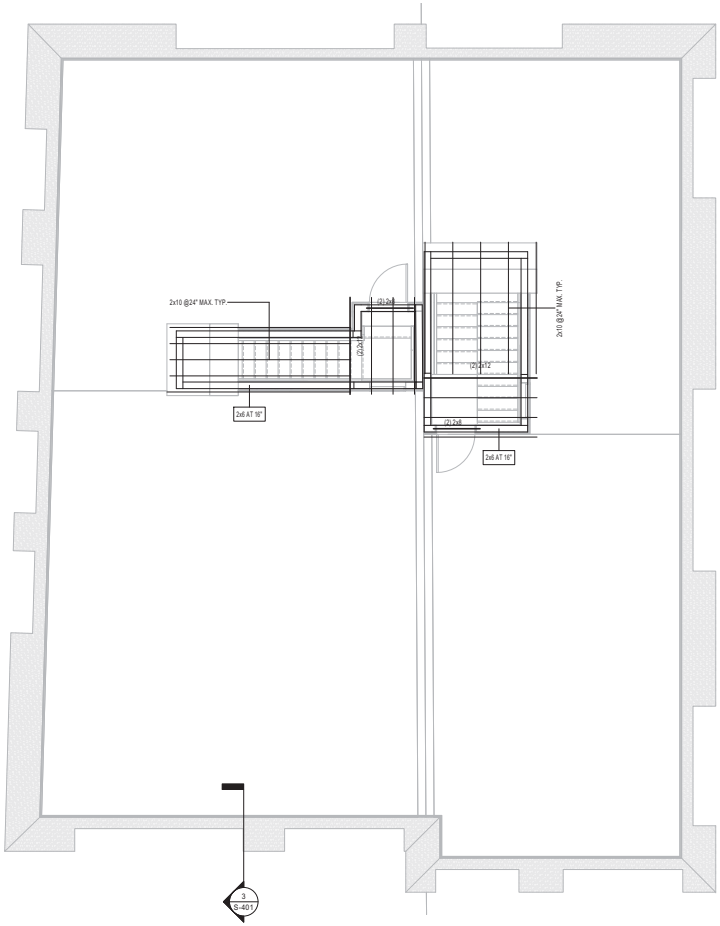
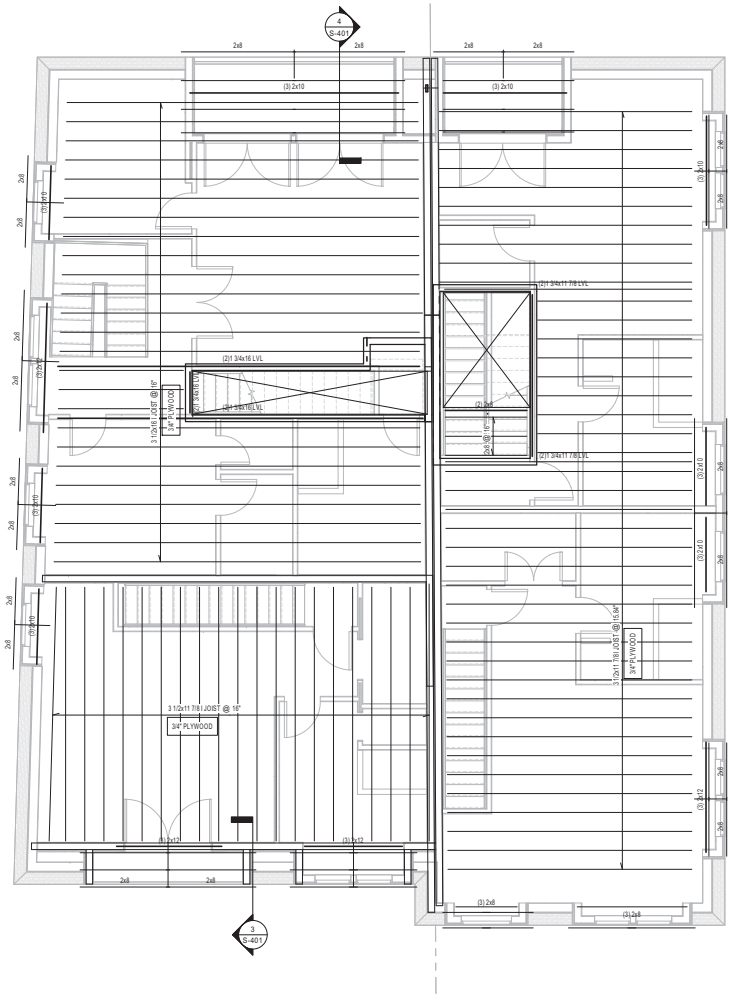
THIRD FLOOR FRAMING PLAN

S-103



② PILOT HOUSE ROOF FRAMING PLAN
1/4" = 1'-0"



① ROOF FRAMING PLAN
1/4" = 1'-0"

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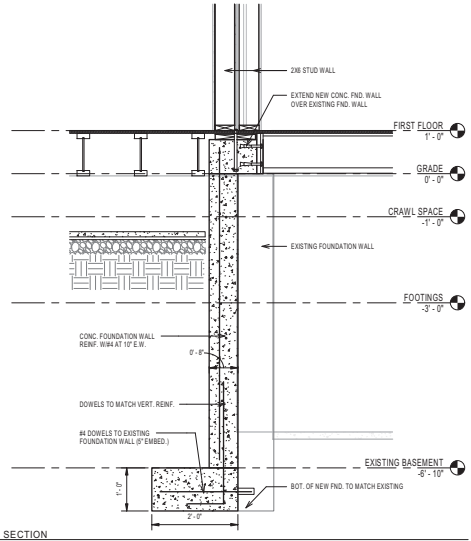
ROOF FRAMING PLAN

S-104



7 SECTION
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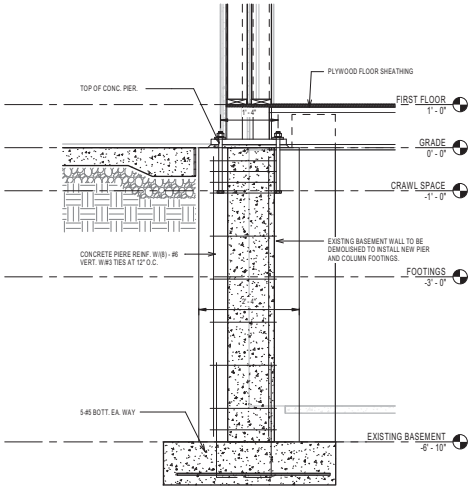

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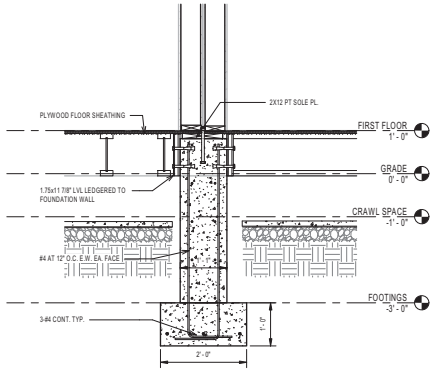

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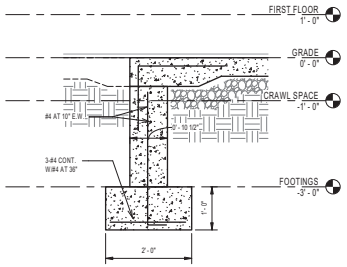
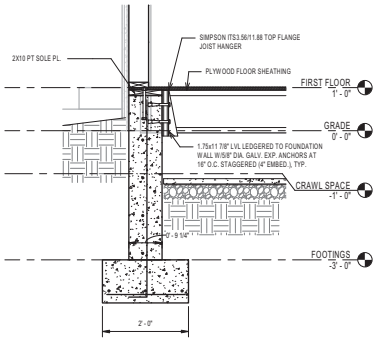


4 SECTION
3/4" = 1'-0"



3 SECTION
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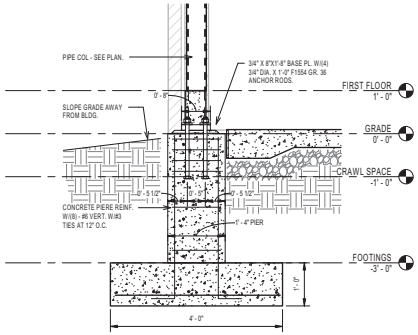
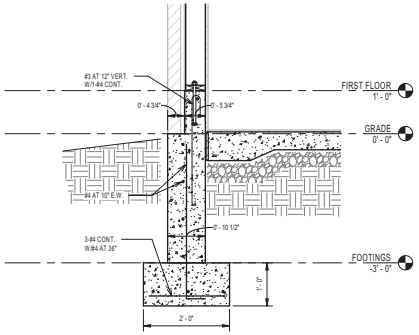


2 SECTION
3/4" = 1'-0"



1 SECTION
3/4" = 1'-0"

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COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
NATALIE ELIZABETH BIRD
ENGINEER
PE079245
8/16/2021

DATE	DESCRIPTION

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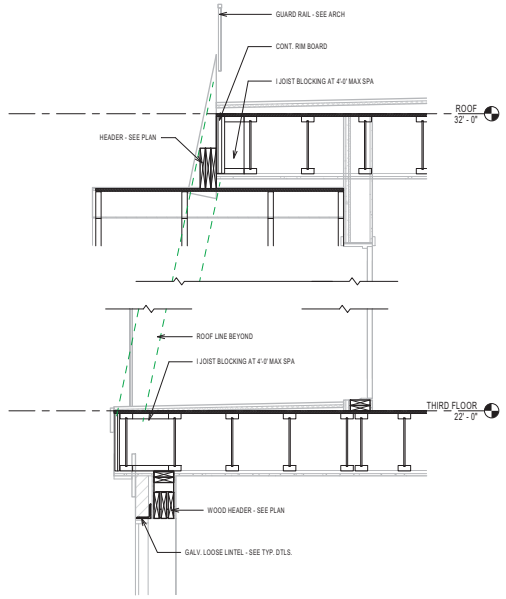
Drawn by	Author

WALL SECTIONS

S-301



4 SECTION
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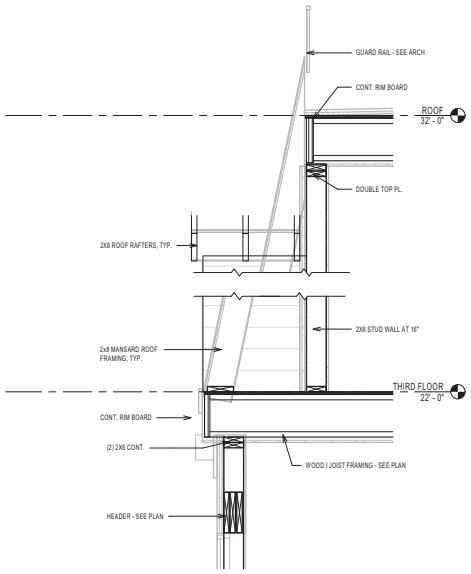

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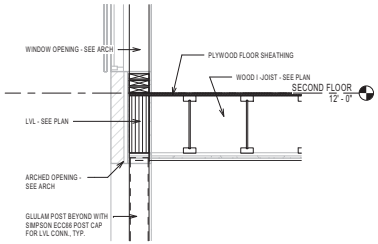

2 SECTION
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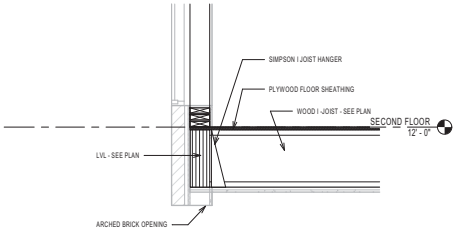

1 SECTION
3/4" = 1'-0"

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WALL SECTIONS

S-401

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Philadelphia, City of - License and Inspections, PA

eCLIPSE Application

Confirmation Number:	142489
Payment Date:	Thursday, October 21, 2021
Payment Time:	04:19PM ET

Payer Information

Name:	benjamin estepani
Street Address:	1221 S Warnock St PhiladelphiA, PA 19147 United States
Daytime Phone Number:	(484) 243 - 0718
E-mail Address:	ben@pace-ad.com
Account Number:	405269453
SourceCodeFundIndex:	360101263601

Card Information

Card Type:	American Express
Card Number:	**********1003

Payment Information

Payment Type:	eCLIPSE Application
Payment Amount:	$375.00
Convenience Fee:	$8.44
Total Payment:	$383.44

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