

COVER LETTER

April 21, 2021

C. Beige Berryman, AICP
Philadelphia Art Commission
1515 Arch Street, 13th Floor
Philadelphia, PA 19102
Re: Ziehler Playground – Art Commission Submission

Dear Ms. Berryman,

I am pleased to submit the enclosed submission package for proposed site improvements to Ziehler Playground at 200-64 E. Olney Avenue, Philadelphia PA 19120.

Project Information:

Ziehler Playground is an approximately 7-acre Philadelphia Parks & Recreation property located in the Olney neighborhood of Philadelphia. The site is bounded by Olney Avenue to the north, B Street to the east, E. Clarkson Avenue to the south, and the SEPTA Fox Chase regional rail line to the west. The site includes a one-story recreation center building, playground, pool, basketball courts, small picnic area with tables, and recreation fields.

For this project, the scope is limited to improvements on the eastern third of the site. The improvements are focused on addressing critical site and building needs and providing a general refresh of Ziehler. The site scope includes the design of a new playground, improvements to the basketball courts, improvements to the existing picnic area, new site furnishings, and site, court, and recreational field lighting. The building scope includes bathroom upgrades, improvements to interior circulation, roof maintenance, new lighting and HVAC, and general envelope maintenance.

In addition to the scope listed above, Ziehler was identified as a location for a Green Stormwater Infrastructure (GSI) project in partnership with the Philadelphia Water Department (PWD). The project will collect and manage stormwater from adjacent Olney Avenue and B Streets, in addition to managing on site stormwater.

The project budget is currently \$2.8 million dollars for site and building improvements, although Rebuild has applied for an additional \$250,000 grant which would increase the budget. Part of the stormwater management improvements related to the GSI project will be paid by PWD and are not included in the \$2.8 million.

Ziehler is a critical social and recreational asset within the community. It hosts a number of programs, including boxing, dance, summer camp, after school programming, football, baseball, and Narcotics Anonymous meetings. The project began in January 2020 however the schedule was impacted by the shut-downs and restrictions related to the COVID-19 pandemic. Prior to COVID, our team hosted a public meeting to introduce the project and design team to the community and solicit feedback on the community's vision for Ziehler. Our team also hosted a workshop targeted for teens to understand their priorities for recreation and play. We've since been able to host 2 additional community meetings which included activities and feedback exercises to solicit additional input on the design. Some of the significant takeaways from the community engagement activities include the need for 2 full size basketball courts, providing more play opportunities for children of different age ranges and abilities, providing activities for older residents within the community and improving lighting for safety and security.

As the project was ongoing, a portion of the roof on the north side of the building that served as a canopy over an exterior space partially collapsed, necessitating a bigger roof repair scope than originally intended.

The new design includes a series of improvements to the site and building. An overview of these improvements are:

- Entrance plaza at Olney Avenue and B Street intersection provides a small gathering space set off from the busy roadway and includes seating.
- Two new full-size basketball courts with decorative paved surface.
- Rain gardens along B Street and Olney Avenue creates a welcoming green edge to the playground and provides increased plant diversity, habitat, and surface expression of stormwater management.
- Natural grass berm adjacent to the basketball courts creates informal seating for spectators to watch games on the courts and recreational fields. The berm doubles as a play feature with an embankment slide that terminates in the playground.
- New landscape space between courts and playground with mix of canopy and understory trees, shrubs, and perennial low-maintenance grasses.
- New playground with a large signature play piece that includes both ground level and elevated play experiences for children of all ages and abilities, including access for the physically disabled.
- Play spinners and swings.
- Outdoor fitness area that can be used by adults, seniors, and teens.
- New gathering and social space between the recreation center and the playground with picnic tables and a bosque of trees and providing a central location to socialize with good sightlines to the playground.
- Wall ball play area.
- Improvements to picnic area on south side of the recreation center with a walking path and new picnic table.
- Additionally, the plan includes new site furnishings, including benches, waste and recycling receptacles, lighting, an outdoor hydration station and ornamental fencing along the rain garden along B Street.

The building improvements provide functional and cosmetic improvements that improve the usability of and extend the life of the building. Improvements include:

- Interior changes to improve pedestrian flow within the building.
- Enlarged bathrooms with new fixtures.
- A new multi-purpose art/game room and library lounge.
- Complete roof replacement.
- A new exterior canopy structure disconnected from the building to resolve the problems with the existing roof canopy.
- New HVAC.
- New interior lighting.
- Exterior building painting.

Our team presented this plan to the Rebuild Design Excellence Committee and received a first round of comments for consideration in the design. Comments included:

- Extending ornamental fence along B Street to the pool (Included as project alternate due to budget constraints.)

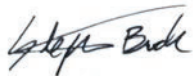
- New exterior painting scheme on the recreation center building to deter graffiti and vandalism.
- The entry plaza at B Street and Olney Avenue is being considered as a location for OACCE sculpture installation, however currently OACCE projects are on hold. Another opportunity to consider is a decorative treatment to the existing chain link fencing along Olney Avenue.
- Utilize permeable pavers at the social gathering space.
- Consider changing grass berm to artificial turf for better durability, however this was not incorporated due to budget and PPR preference for natural grass.
- Confirm trees do not interfere with proposed site lighting.
- Lighting was suggested at the entry plaza however is not included due to budget. This could be included as an alternate.
- Solar lighting was suggested as an option for the new canopy structure however is not included due to budget.
- Investigate ways to increase visibility/prominence of Charles J. Ziebler building signage.

Based on this submission package, our team is requesting a presentation to and approval from the Philadelphia Art Commission.

For questions, comments, and notifications please contact me using the following information:

Steve Buck, RLA
Project Manager / Landscape Architect
SALT DESIGN STUDIO
4100 Main Street, Suite 201
Philadelphia, PA 19127
E: steve@saltdesigns.com
T: (215) 621-7600

Sincerely,



Steve Buck, RLA

PHOTOGRAPHS



EXISTING AERIAL PHOTO AND PROJECT LIMITS



PHOTO 1: Existing B Street entrance to the playground and recreation center.

PHOTOGRAPHS



PHOTO 2: View underneath existing canopy.



PHOTO 3: Existing north side of recreation center looking toward canopy;
Future location of social/gathering space and shade canopy.

PHOTOGRAPHS



PHOTO 4: View of existing area around the west side of the recreation center;
Future location of picnic path leading to the seating area.



PHOTO 5: Existing picnic area on south side of recreation center building;
Future location of picnic path and new ADA-accessible picnic table



PHOTO 6: Existing south side of recreation center.

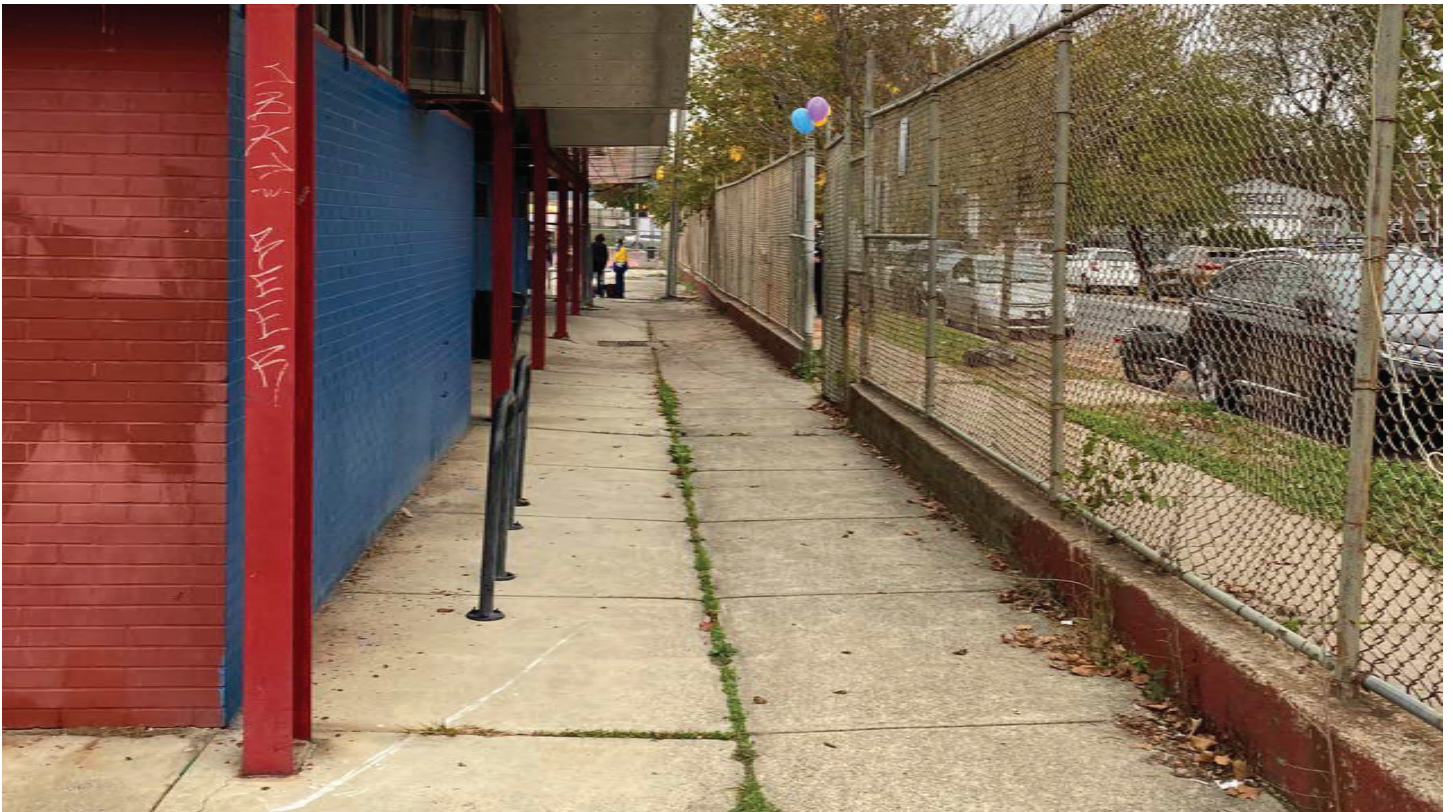


PHOTO 7: Existing east side of the building that runs parallel to B Street.

PHOTOGRAPHS



PHOTO 8: Existing playground and play equipment looking towards the recreation fields; Location of future playground and landscape berm.



PHOTO 9: Existing playground looking towards Olney Ave.; note equipment was removed due to dangerous conditions; location of future playground space.

PHOTOGRAPHS

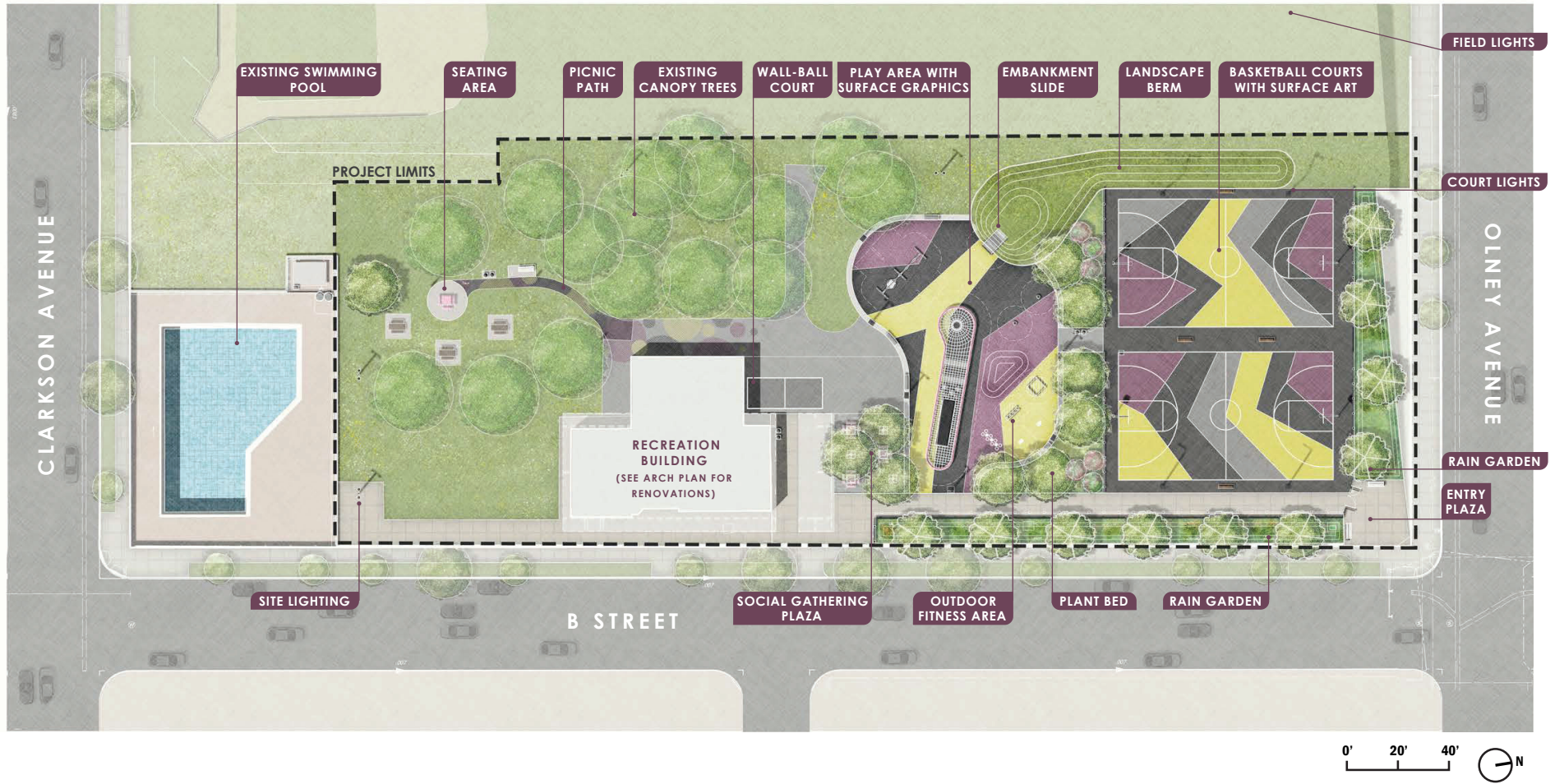


PHOTO 10: Existing open paved asphalt between playground and recreation center building;
Future location of social gathering space.



PHOTO 11: Existing Basketball Court looking towards B Street;
Future location of two full-size basketball courts.

RENDERINGS / DRAWINGS



Note: Drawing for this Submission is Not To Scale, Actual Drawing Size is 24" x 36"
 SITE PLAN RENDERING: Presented at Community Meeting January 28, 2020 and Rebuild Design Excellence Committee Meeting on March 17. Plan has been updated to reflect design changes to align with budget.

PHILADELPHIA PARKS & RECREATION
Rebuild PHILADELPHIA
 ZIEHLER PLAYGROUND & RECREATION CENTER
 200-64 E. OLNEY AVENUE
 PHILADELPHIA, PA 19120
 XX-XXXX-XX
SALT DESIGN STUDIO
 LANDSCAPE ARCHITECTURE, PLANNING & URBAN DESIGN
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DESIGN DEVELOPMENT

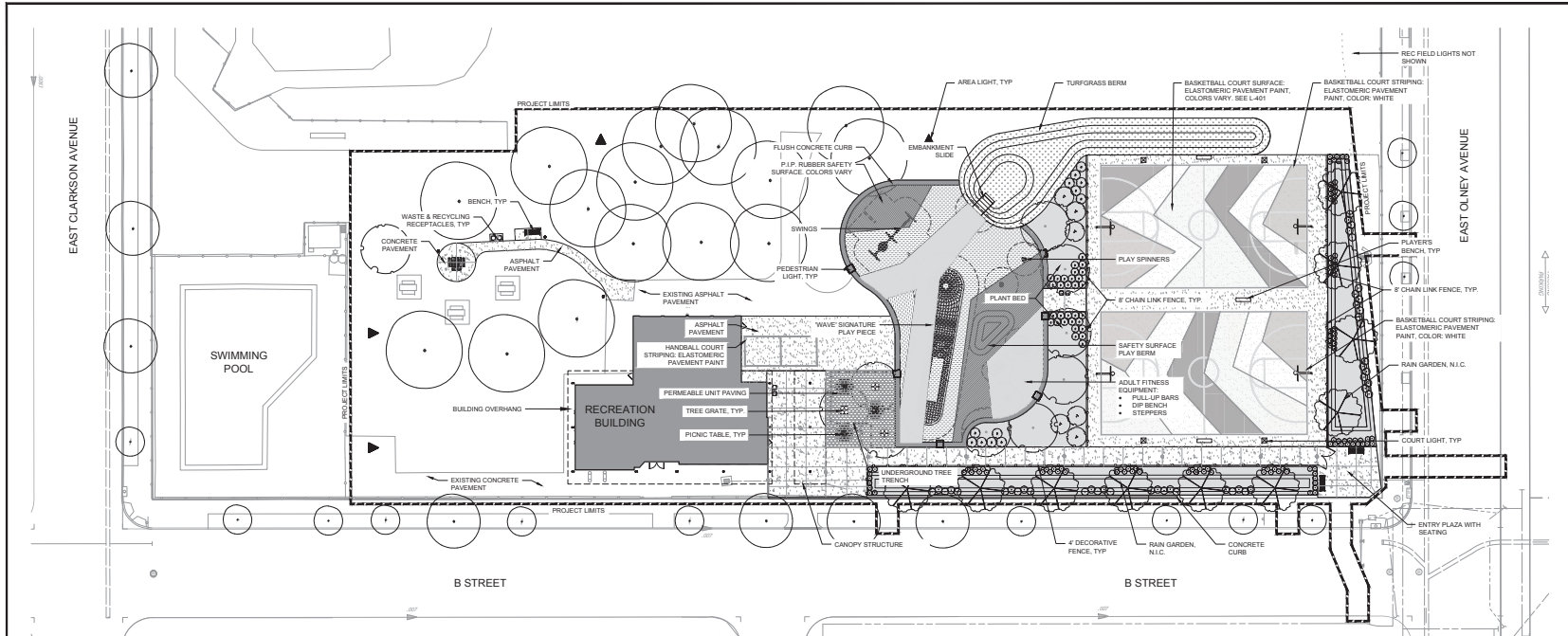
DRAFT - NOT FOR CONSTRUCTION

SITE PLAN

REV.	DATE	DESCRIPTION

L-100

2003



1 SITE MATERIALS PLAN

SCALE: 1" = 20'-0"
 0' 20' 40'
 N

LEGEND:

PROJECT LIMITS	ELASTOMERIC PAVEMENT PAINT COLOR 1
ASPHALT PAVEMENT	ELASTOMERIC PAVEMENT PAINT COLOR 2
CONCRETE PAVEMENT	ELASTOMERIC PAVEMENT PAINT COLOR 3
PERMEABLE UNIT PAVING	PLANT BED
POURED IN PLACE RUBBER SAFETY SURFACE COLOR 1	DOUBLE GATE
POURED IN PLACE RUBBER SAFETY SURFACE COLOR 2	ORNAMENTAL FENCE
POURED IN PLACE RUBBER SAFETY SURFACE COLOR 3	CHAIN LINK FENCE
FLUSH CONCRETE CURB	TREE GRATE
CONTROL JOINT	EXISTING CANOPY TREE
EXPANSION JOINT	LIMITS OF UNDERGROUND TREE TRENCH

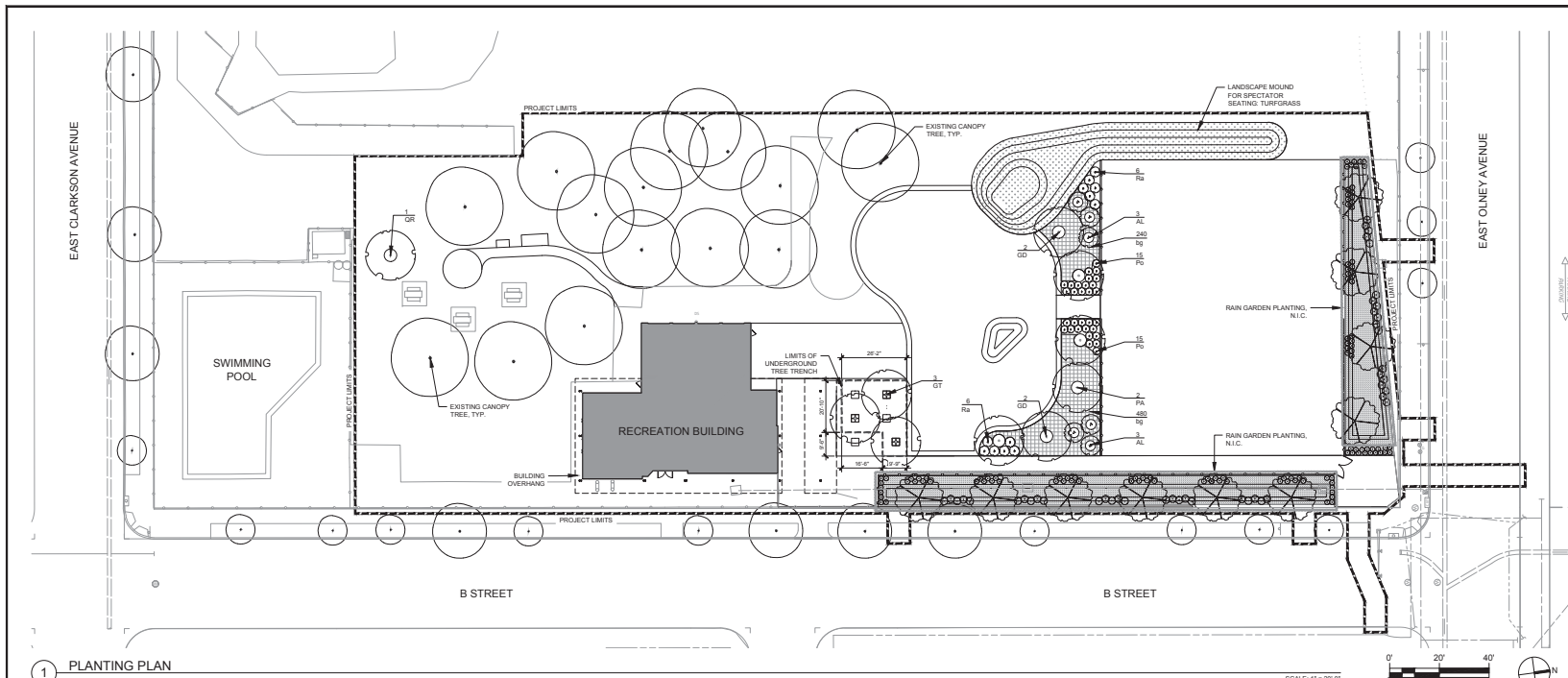
- SITE MATERIAL NOTES:**
1. SITE SURVEY DATA WAS PREPARED BY RODRIGUEZ CONSULTING, LLC. AND PROVIDED TO SALT DESIGN STUDIO ON AUGUST 16, 2019.
 2. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
 3. THESE CONTRACT DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
 4. SEE L-102 FOR SITE LAYOUT PLAN.
 5. EXPANSION JOINTS TO OCCUR AT 40'-0" O.C. MAX. AND WHERE CONCRETE CURBS AND PAVEMENT MEETS CURBS, WALLS, AND OTHER SITE ELEMENTS.
 6. COORDINATE INSTALLATION OF FURNISHINGS AND EQUIPMENT FOUNDATIONS PRIOR TO INSTALLING SITE PAVEMENTS.

Note: Drawing for this Submission is Not To Scale, Actual Drawing Size is 24" x 36"

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 MILLER DESIGN GROUP
 www.millerdsgroup.com/lighting.com

DESIGN DEVELOPMENT
 DRAFT - NOT FOR CONSTRUCTION

PLANTING PLAN
 REV. DATE DESCRIPTION
 AS NOTED
 12/16/2020
L-105
 2003



1 PLANTING PLAN

LEGEND:

- PROJECT LIMITS
- 1 TURFGRASS BERM
- 2 PERENNIAL GRASS PLANTING
- 3 PROPOSED CANOPY TREE
- 4 PROPOSED UNDERSTORY TREE
- 5 PROPOSED SHRUB
- 6 RAIN GARDEN PLANTING, N.I.C.
- 7 RAIN GARDEN CANOPY TREE, N.I.C.
- 8 RAIN GARDEN SHRUB, N.I.C.
- 9 LIMITS OF UNDERGROUND TREE TRENCH
- 10 TREE GRATE
- EXISTING CANOPY TREE

PLANTING NOTES:

1. SITE SURVEY DATA WAS PREPARED BY RODRIGUEZ CONSULTING, LLC, AND PROVIDED TO SALT DESIGN STUDIO ON AUGUST 16, 2019.
2. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
3. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND SUBTERRANEAN ELEMENTS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR RELOCATION INSTRUCTIONS IF A PLANT IS LOCATED WITHIN 3'-0" OF AN UNDERGROUND UTILITY.
4. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCING AND MEASURES AS INDICATED ON ENGINEERS' DRAWINGS.
5. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING OR CONTINUING WORK.
6. ALL EXISTING ROOTS OR REMOVED VEGETATION SHALL BE COMPLETELY REMOVED FROM SITE PRIOR TO INSTALLATION OF NEW PLANTS.
7. THERE WILL BE NO PLANT SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT THE APPROVAL OF LANDSCAPE ARCHITECT. ALL PLANTERS BROUGHT TO THE SITE MUST BE LABELED AND ACCOMPANIED BY A BILL OF SALE FROM NURSERY. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ALL PLANTS ON SITE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL IF DEEMED UNHEALTHY, DISEASED, DAMAGED, INCORRECT SPECIES OR CULTIVAR, SIZING OR CONDITION.
8. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER RETENTION IN TREE AND SHRUB PLANTING LOCATIONS.
9. CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO PREVENT SOIL LOSS AS INDICATED ON ENGINEERS' DRAWINGS.
10. ALL IMPORTED PLANTING OBTAINED FROM LOCAL SOURCE AND FURNISHED WITH NUTRIENT AND PH DATA FROM CERTIFIED TESTING LAB. SOIL AND NUTRIENT DATA TO BE REVIEWED AND APPROVED BY LA PRIOR TO INSTALLATION.
11. SEE PLANT SCHEDULE FOR PLANT SIZES, QUANTITIES, SPECIES AND CONDITION.
12. TREE AND SHRUB LOCATIONS SHALL BE STAKED OR FLAGGED IN FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO STARTING PLANT INSTALLATION.
13. ALL PERENNIAL PLANTINGS SHALL BE LAD OUT IN THE FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO STARTING PLANT INSTALLATION.
14. ALL TREES SHALL HAVE AT LEAST 24" APPROVED PLANTING SOIL AROUND ROOTBALL. ALL SHRUBS SHALL HAVE AT LEAST 18" APPROVED PLANTING SOIL AROUND ROOTBALL.
15. CANOPY TREES SHALL BE LIMBED UP TO 7-F.T. HEIGHT UNDER DIRECTION OF LANDSCAPE ARCHITECT. DO NOT LIMB TREES PRIOR TO INSTALLATION.
16. CONTRACTOR SHALL INSTALL IRRIGATION BAGS FOR ALL NEW CANOPY AND UNDERSTORY TREES IMMEDIATELY UPON COMPLETION OF INSTALLATION.
17. MULCH, COMPOST AND/OR LEAF LITTER IS TO BE INSTALLED AS INDICATED ON DETAILS AND IN SPECIFICATIONS.
18. TEMPORARY PLANT PROTECTION FENCING TO BE INSTALLED IMMEDIATELY UPON COMPLETION OF PLANT INSTALLATION. PROTECTION FENCING TO BE LOCATED BEHIND AND ALONG ENTIRE LENGTH OF CONCRETE CURB TO PROTECT PERENNIAL AND SHRUB PLANTINGS.
19. PROTECTION FENCING SHALL CONSIST OF WOOD STAKES AND NEUTRAL OR BLACK COLORED ROPE. WOOD STAKES SHALL BE SPACED 4'-0" O.C. AND SHALL BE INSTALLED AT 30" HEIGHT RELATIVE TO ADJACENT LANDSCAPE. SUBMIT SAMPLE OF SELECTED MATERIALS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
20. PROTECTION FENCING SHALL REMAIN IN PLACE AND BE MAINTAINED BY CONTRACTOR FOR A MINIMUM OF ONE (1) YEAR.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CANOPY TREES						
GT	3	<i>Ulmus americana</i> var. <i>hormis</i> 'Seymour'	Honeylocust	2.5'-3" CAL.	B&B	AS SHOWN
GD	4	<i>Syringa vulgaris</i> 'Elegant'	Kentucky Coffinwood	2.5'-3" CAL.	B&B	AS SHOWN
PA	2	<i>Platanus x acerifolia</i>	London Planetree	2.5'-3" CAL.	B&B	AS SHOWN
QR	1	<i>Quercus rubra</i>	Red Oak	2.5'-3" CAL.	B&B	AS SHOWN
30 TOTAL CANOPY TREES						
UNDERSTORY TREES						
UR	6	<i>Amelanchier canadensis</i>	Downy Serviceberry	8-10" HT.	B&B OR CONT.	AS SHOWN
6 TOTAL UNDERSTORY TREES						
SHRUBS						
PS	30	<i>Physocarpus opulifolius</i> 'Minimus'	Ninebark	83	CONTAINER	AS SHOWN
RS	12	<i>Rhus aromatica</i> 'Smokey'	Fragrant Sumac	83	CONTAINER	AS SHOWN
42 TOTAL SHRUBS						
PERENNIALS & GROUNDCOVER						
RG	720	<i>Bouteloua gracilis</i>	Blue Grama Grass	1 GAL.	FULLY ROOTED, CONT.	18" O.C.
720 TOTAL PERENNIALS						

NOTE: ALL PLANT QUANTITIES ARE BASED ON TRIANGULAR PLANT SPACING; SEE DETAIL ON SHEET L-504.

PLANT SCHEDULE

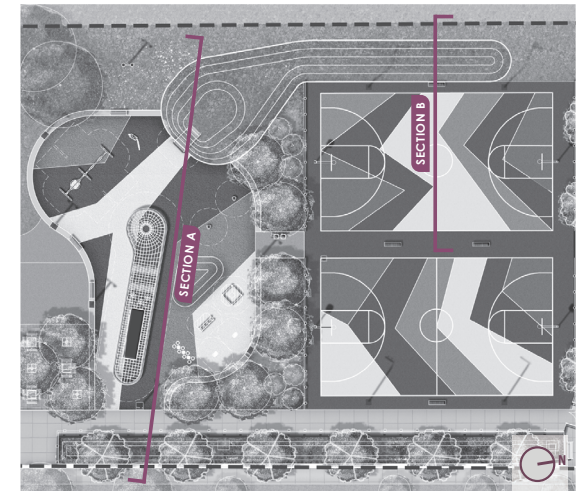
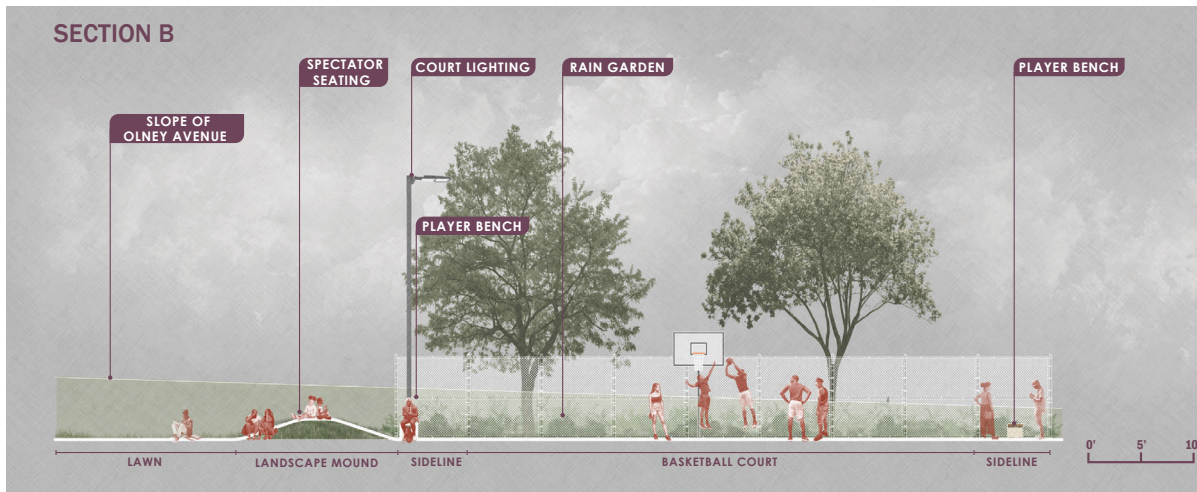
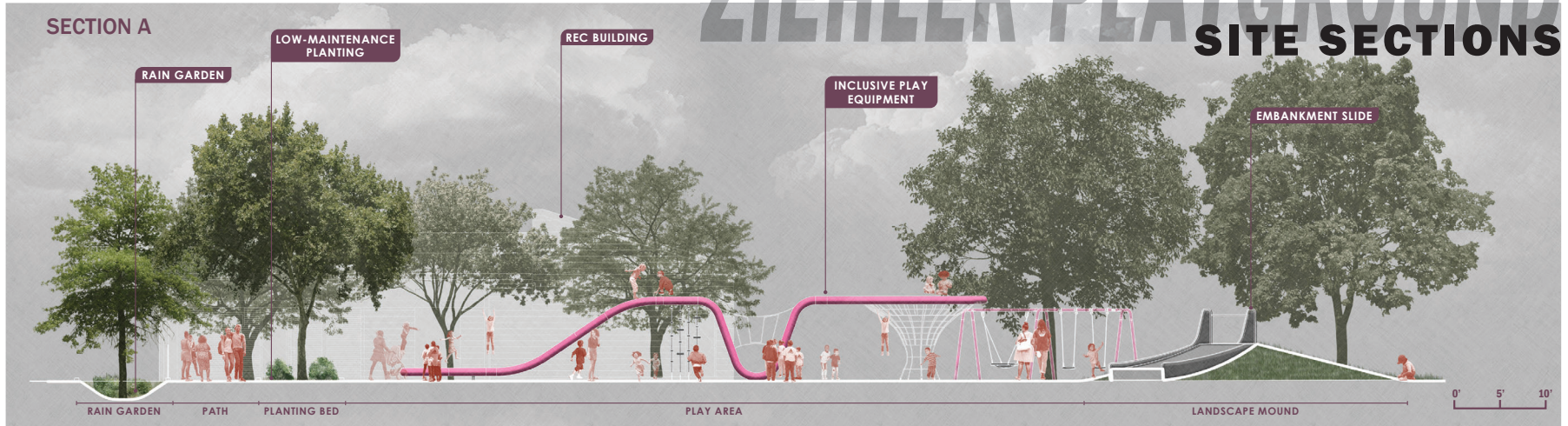
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CANOPY TREES						
GT	3	<i>Gleditsia triacanthos</i> vsr. <i>Inermis</i> 'Skyline'	Honeylocust	2.5-3" CAL.	B&B	AS SHOWN
GD	4	<i>Gymnocladus dioicus</i> 'Espresso'	Kentucky Coffeetree	2.5-3" CAL.	B&B	AS SHOWN
PA	2	<i>Platanus x acerifolia</i>	London Planetree	2.5-3" CAL.	B&B	AS SHOWN
QR	1	<i>Quercus rubra</i>	Red Oak	2.5-3" CAL.	B&B	AS SHOWN
10 TOTAL CANOPY TREES						
UNDERSTORY TREES						
AA	6	<i>Amelanchier arborea</i>	Downy Serviceberry	8-10' HT.	B&B OR CONT.	AS SHOWN
6 TOTAL UNDERSTORY TREES						
SHRUBS						
Po	30	<i>Physocarpus opulifolius</i> 'Nanus'	Ninebark	#3	CONTAINER	AS SHOWN
Ra	12	<i>Rhus aromatica</i> 'Gro-Low'	Fragrant Sumac	#3	CONTAINER	AS SHOWN
42 TOTAL SHRUBS						
PERENNIALS & GROUND COVER						
bg	720	<i>Bouteloua gracilis</i>	Blue Grama Grass	1 GAL.	FULLY ROOTED, CONT.	18" O.C.
720 TOTAL PERENNIALS						

PWD RAIN GARDEN PLANT SCHEDULE

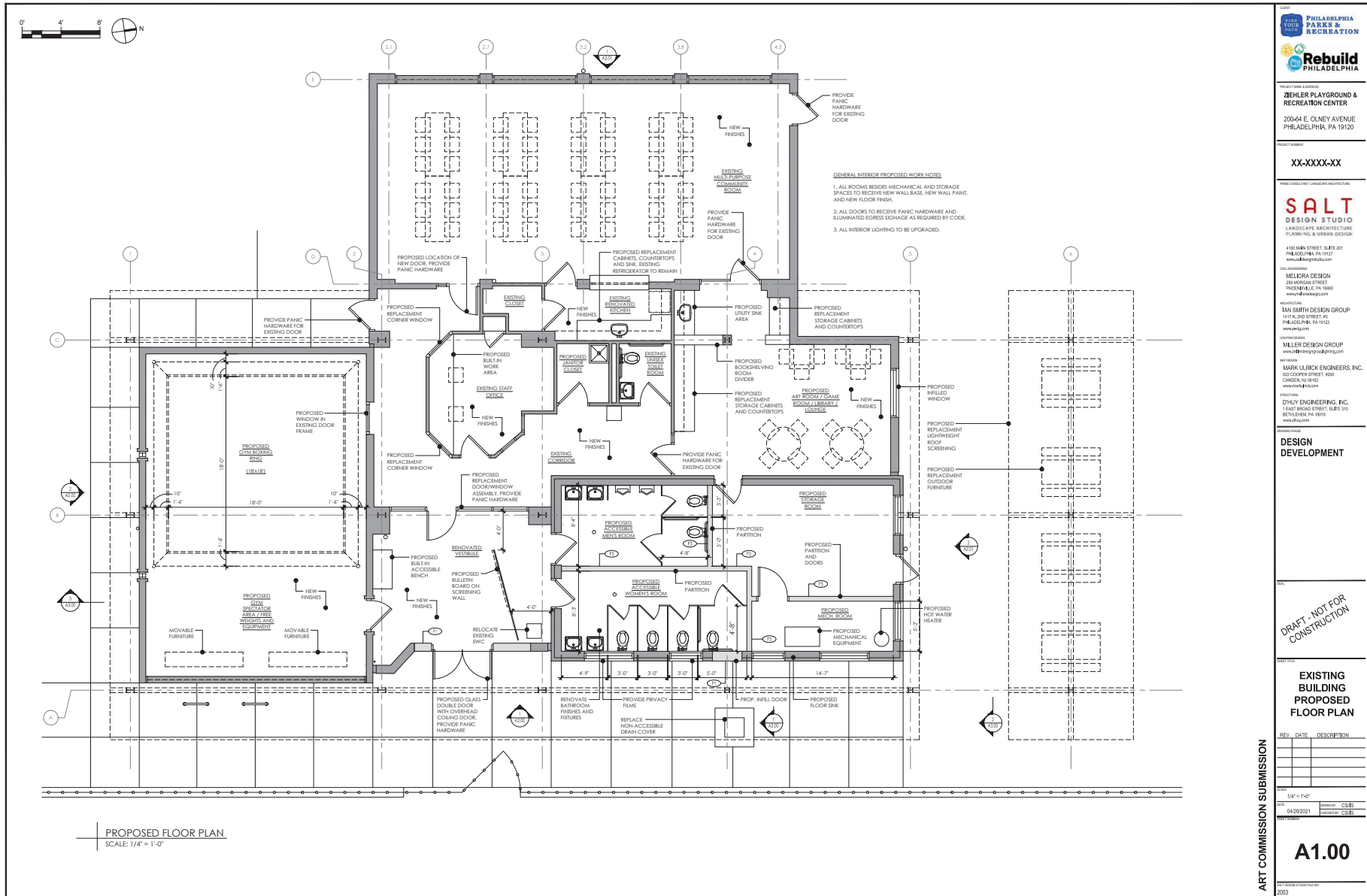
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CANOPY TREES						
AR	6	<i>Acer rubrum</i>	Red Maple	2-2.5" CAL.	B&B	30' O.C.
QP	4	<i>Quercus phellos</i>	Willow Oak	2-2.5" CAL.	B&B	30' O.C.
SHRUBS						
AM	44	<i>Aronia melanocarpa</i>	Black Chokeberry	#3	CONTAINER	36" O.C.
FG	69	<i>Fothergilla gardenii</i>	Dwarf Fothergilla	#3	CONTAINER	24" O.C.
IV	80	<i>Itea virginica</i> 'Little Henry'	Sweetspire	#3	CONTAINER	24" O.C.
HERBACEOUS AND GRASSES						
AB	181	<i>Amsonia</i> 'Blue Ice'	Threadleaf Blustar	1 GAL.	FULLY ROOTED, CONT.	12" O.C.
BA	39	<i>Baptisia australis</i>	Blue False Indigo	1 GAL.	FULLY ROOTED, CONT.	36" O.C.
CV	720	<i>Carex vulpinoidea</i>	Fox Sedge	1 GAL.	FULLY ROOTED, CONT.	12" O.C.
DC	720	<i>Deschampsia cespitosa</i> 'Goldtau'	Tufted Hair Grass	1 GAL.	FULLY ROOTED, CONT.	12" O.C.
IRV	73	<i>Iris versicolor</i>	Blue Flag Iris	1 GAL.	FULLY ROOTED, CONT.	12" O.C.
JE	281	<i>Juncus effusus</i>	Common Rush	1 GAL.	FULLY ROOTED, CONT.	12" O.C.
PD	181	<i>Penstemon digitalis</i>	Foxglove	1 GAL.	FULLY ROOTED, CONT.	12" O.C.
PV	38	<i>Panicum virgatum</i> 'Shenandoah'	Switchgrass	1 GAL.	FULLY ROOTED, CONT.	36" O.C.

ZIEHLER PLAYGROUND

SITE SECTIONS



Note: Drawing for this Submission is Not To Scale, Actual Drawing Size is 24" x 36"



PHILADELPHIA PARKS & RECREATION
Rebuild PHILADELPHIA
 PREPARED BY: ZIEHLER PLAYGROUND & RECREATION CENTER
 200-64 E. OLNEY AVENUE
 PHILADELPHIA, PA 19120

XX-XXXX-XX

SALT
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 LANDSCAPE ARCHITECTURE
 PLANNING & DESIGN

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MILLER DESIGN GROUP
 www.millerdesigngroup.com

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 GARDEN CITY, NY 11530
 www.mue.com

DRAY ENGINEERING, INC.
 1 EAST BRADDOCK STREET, SUITE 310
 BETHLEHEM, PA 18018
 www.dray.com

DESIGN DEVELOPMENT

DRAFT - NOT FOR CONSTRUCTION

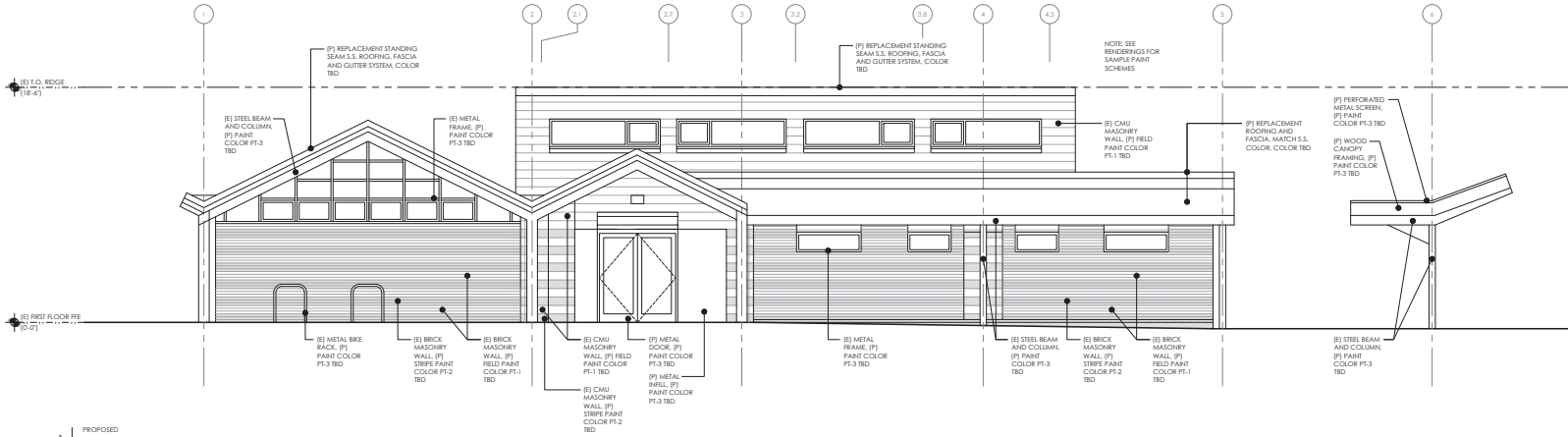
EXISTING BUILDING
 PROPOSED FLOOR PLAN

REV.	DATE	DESCRIPTION

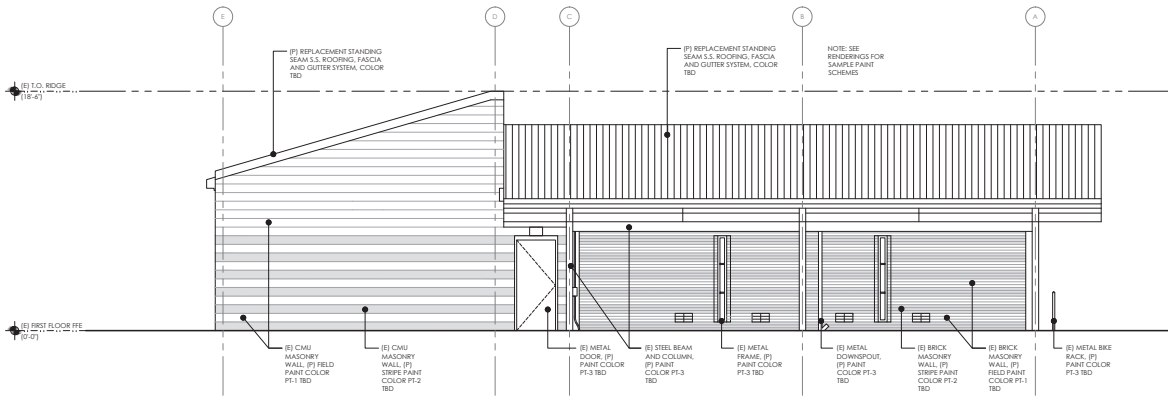
DATE	06/29/2021	PROJECT	CSB
SCALE	1/4" = 1'-0"	DRAWING	CSB

A1.00

ART COMMISSION SUBMISSION



1 PROPOSED
EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PREPARED BY:
ZIEHLER PLAYGROUND & RECREATION CENTER
200-64 E. OLNEY AVENUE
PHILADELPHIA, PA 19120

PROJECT NUMBER:
XX-XXXX-XX

DESIGNER:
SALT DESIGN STUDIO
LANDSCAPE ARCHITECTURE
PLANNING & DESIGN
410 MAIN STREET, SUITE 201
PHILADELPHIA, PA 19107
www.saltstudio.com

ARCHITECT:
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STRUCTURAL ENGINEER:
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www.igdesign.com

MECHANICAL ENGINEER:
MILLER DESIGN GROUP
www.millergroup.com

MECHANICAL ENGINEER:
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MECHANICAL ENGINEER:
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BETHLEHEM, PA 18018
www.dray.com

DESIGN DEVELOPMENT

DRAFT - NOT FOR CONSTRUCTION

EXISTING BUILDING
PROPOSED BUILDING
ELEVATIONS

REV.	DATE	DESCRIPTION

DATE: 04/20/21

SCALE: 1/4" = 1'-0"

PROJECT NUMBER: **A2.00**

DATE: 04/20/21

SCALE: 1/4" = 1'-0"

PROJECT NUMBER: **A2.00**

DATE: 04/20/21

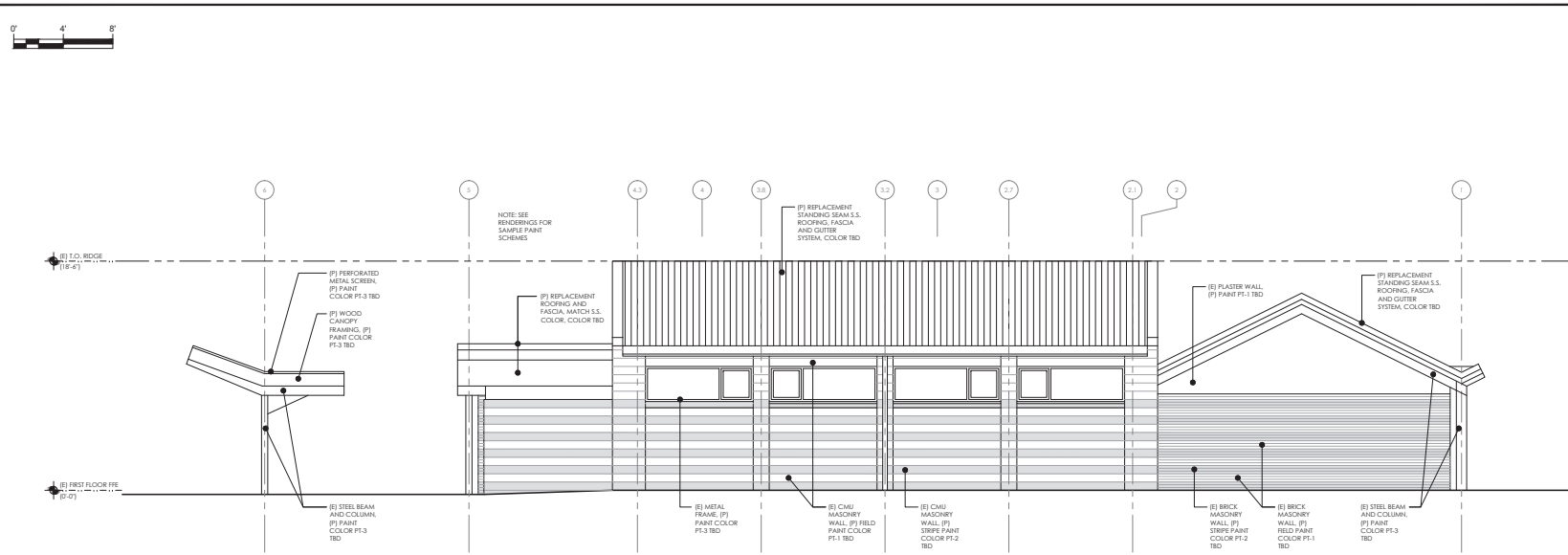
SCALE: 1/4" = 1'-0"

PROJECT NUMBER: **A2.00**

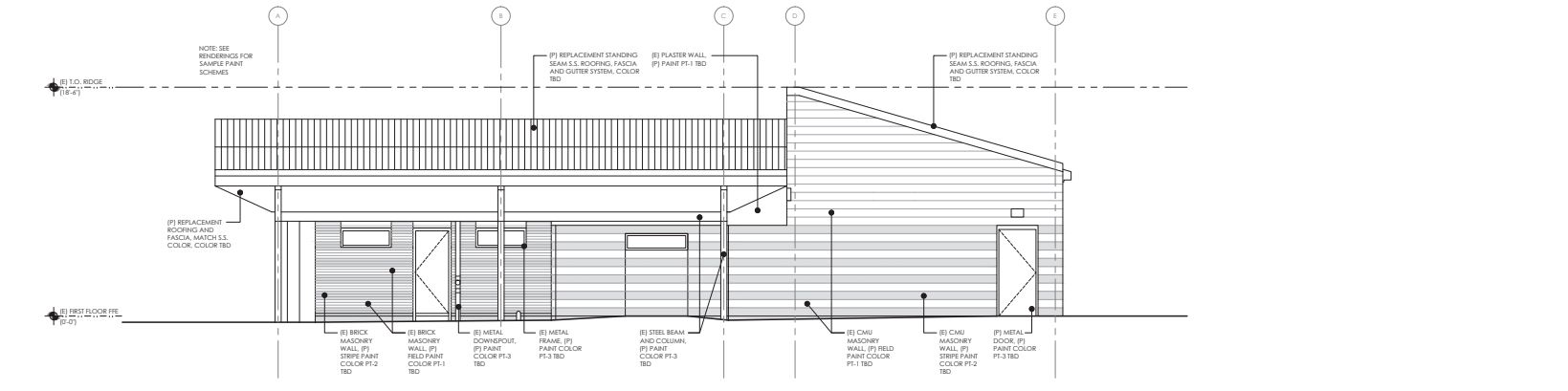
DATE: 04/20/21

SCALE: 1/4" = 1'-0"

PROJECT NUMBER: **A2.00**



PROPOSED
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED
2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PHILADELPHIA PARKS & RECREATION
Rebuild PHILADELPHIA
PROJECT NAME & NUMBER:
ZIEHLER PLAYGROUND & RECREATION CENTER
200-64 E. OLNEY AVENUE
PHILADELPHIA, PA 19120

PROJECT NUMBER:
XX-XXXX-XX

PHASE/CONSULTANT:
SALT DESIGN STUDIO
LANDSCAPE ARCHITECTURE
PLANNING & DESIGN
410 MAIN STREET, SUITE 201
PHILADELPHIA, PA 19107
www.saltstudios.com

PHASE/CONSULTANT:
MELORA DESIGN
300 ARNOLD STREET
PHILADELPHIA, PA 19106
www.melora.com

PHASE/CONSULTANT:
IAN SMITH DESIGN GROUP
1075 2ND STREET, 40
PHILADELPHIA, PA 19122
www.iandsg.com

PHASE/CONSULTANT:
MILLER DESIGN GROUP
www.millerdesigngroup.com

PHASE/CONSULTANT:
MARK ULRICK ENGINEERS, INC.
622 COOPER STREET, 4TH
FLOOR
GARDEN CITY, NY 11530
www.mue.com

PHASE/CONSULTANT:
DRAY ENGINEERING, INC.
1 EAST BRADDOCK STREET, SUITE 310
BETHLEHEM, PA 18018
www.dray.com

PHASE/CONSULTANT:
DESIGN DEVELOPMENT

DRAFT - NOT FOR CONSTRUCTION

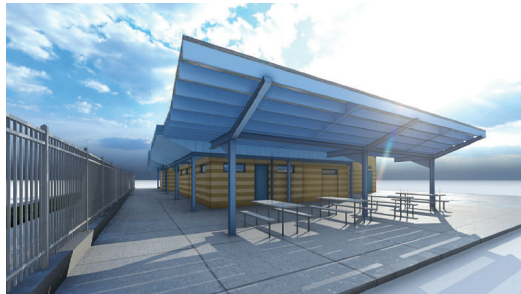
**EXISTING BUILDING
PROPOSED BUILDING
ELEVATIONS**

REV.	DATE	DESCRIPTION

DATE: 06/20/2021	DESIGNER: CSB
	CHECKER: CSB

A2.01

ART COMMISSION SUBMISSION
2023



VIEW FROM NE CORNER



VIEW FROM NORTH



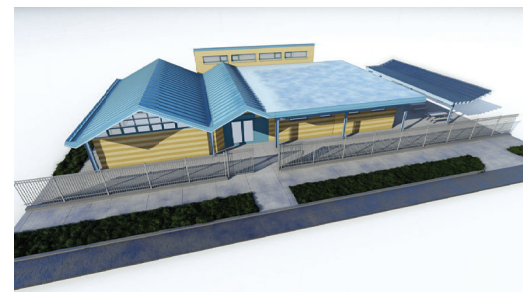
PALETTE BASED ON ADJACENT SCHOOL

VIEW FROM B STREET

SEE APPENDIX REGARDING MEMORIAL ON NW CORNER



ENTRY VIEW



AERIAL VIEW

PHILADELPHIA
PAIRS &
RECREATION
Rebuild
PHILADELPHIA

PROJECT NAME & ADDRESS
ZIEHLER PLAYGROUND &
RECREATION CENTER
200-64 E. OLNEY AVENUE
PHILADELPHIA, PA 19120

PROJECT NUMBER
XX-XXXX-XX

SALT
DESIGN STUDIO
LANDSCAPE ARCHITECTURE
PLANNING & URBAN DESIGN

410 1848 STREET, SUITE 201
PHILADELPHIA, PA 19102
www.saltphila.com

ARCHITECT
MELIORA DESIGN
201 MARKET STREET
PHILADELPHIA, PA 19106
www.meliora.com

ARCHITECTS
IAN SMITH DESIGN GROUP
1418 N. 2ND STREET, 401
PHILADELPHIA, PA 19122
www.isdg.com

ARCHITECTS
MILLER DESIGN GROUP
www.millerdesigngroup.com

MECHANICAL
MARK ULRICK ENGINEERS, INC.
822 COOPER STREET, 400E
CAMDEN, NJ 08102
www.mue.com

STRUCTURAL
DREW ENGINEERING, INC.
1 EAST BRAD STREET, SUITE 110
BETHLEHEM, PA 18018
www.drew.com

DESIGN
DEVELOPMENT

DRAFT - NOT FOR
CONSTRUCTION

EXISTING
BUILDING
PROPOSED
COLOR
PALETTE OPT 3

REV.	DATE	DESCRIPTION

SCALE: 1/8" = 1'-0"
DATE: 04/20/2021
DRAWN BY: CSB
CHECKED BY: CSB

A9.03

ART COMMISSION SUBMISSION



EXISTING MEMORIAL ON NW CORNER