

ADDRESS: 111 S INDEPENDENCE E MALL

Proposal: Cut-down openings and install doors; install canopy

Review Requested: Review In Concept

Owner: MRP Realty attn. Charles McGrath

Applicant: Eleanor Krause, MV+A

History: 1893; Philadelphia Bourse Building; Hewitt Brothers, architects

Individual Designation: 1/26/1971

District Designation: Old City Historic District, Significant, 12/12/2003

Staff Contact: Laura DiPasquale, laura.dipasquale@phila.gov

BACKGROUND:

This application seeks in-concept approval for the installation of an ADA-accessible entrance for the eastern end of the Bourse Building. Presently, the only accessible entrances to the building are located on the west elevation facing Independence Mall, over 360 feet away.

The application proposes to cut the new entrances in the first two or three bays of windows in from 4th Street on the southern, Ranstead Street elevation. The new entrances would be the width of the existing windows. A new glass canopy and signage would be installed over the entrance.

The application also proposes to close off the entrance to the lower level of the building from 4th Street. The existing glass enclosures are not historic, but the below-grade entrance has always been present.

SCOPE OF WORK:

- Cut two or three ADA-accessible entrances on the eastern portion of the Ranstead Street elevation
- Install glass canopy
- Pave over stairs and install glass and metal wall

STANDARDS FOR REVIEW:

- *Code-Required Work—Accessibility Guideline | Recommended: Identifying the historic building's character-defining exterior features... which may be affected by accessibility code-required work. | Recommended: Complying with barrier-free access requirements in such a manner that the historic building's character-defining exterior features... are preserved or impacted as little as possible.*
 - This application proposes to remove historic material, but the proposed accessible entrances are located on a secondary elevation, and maintain the width and general appearance of the historic openings. The staff suggests, if possible, maintaining the first bay in from the corner and cutting down the two openings to the west.
- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
 - The paving over of the 4th Street steps and installation of a glass and metal wall destroys spatial relationships that characterize the property. This portion of the application fails to satisfy this Standard. The staff recommends the installation of a simple metal gate to block the entrance, if it is no longer in use.

- The attachment of the proposed canopy into brownstone masonry has the potential to compromise and cause permanent damage beyond the holes required for the attachment. The staff recommends that any canopies be free-standing or attached into the window frames, and that the canopy be as minimal as possible.

STAFF RECOMMENDATION: Approval in-concept of the addition of ADA accessible entrances and a canopy, provided they are as minimal as possible, but denial of the paving of the 4th Street steps and installation of a glass and metal wall to block the entrance, pursuant to the Accessibility Guideline and Standard 9.



April 13, 2021

Ms. Laura Dipasquale
Philadelphia Historical Commission
Philadelphia, Pennsylvania

RE: CONCEPTUAL REVIEW
Proposed Exterior Alterations to The Philadelphia Bourse
111 South Independence Mall East, Philadelphia, PA 19106

Ms. Dipasquale:

Following up on our conversation last month, we would like to submit the enclosed package to the Philadelphia Historical Commission for a conceptual review of possible exterior alterations to The Bourse.

As we discussed, the owners of The Bourse are exploring alternatives for tenants to occupy the main floor and concourse levels of the building. Given the size and architectural character of the interior space, particularly on the main floor, we are looking at large tenants, such as a grocery store, that would not require significant subdivision of the space. We are in the very preliminary stages of planning for this but want to understand if the exterior alterations that would be required to accommodate these uses would be possible within the parameters of the PHC's guidelines.

There are two driving factors that necessitate any alteration to the exterior facades of The Bourse. They are accessibility and visibility. The existing building has an accessible entrance from the Independence Mall end of the building, but Ranstead and Ludlow Streets both slope down to the east, such that the South 4th Street entrance is over 5' above grade, creating an access issue at the east end of the building.

While the Mall entrance will be retained, for grocery or similar retail uses vehicular access is a critical issue. There is a parking garage at the corner of Ranstead and South 4th Streets that would provide parking for The Bourse, but its elevator entrance is onto Ranstead Street adjacent 4th Street. To create an accessible entrance to the southeast corner of The Bourse, opposite the garage, we would propose a new side entrance to the building on Ranstead Street. This would require lowering the floor inside the corner room of the building to grade, with new stair and elevator access within that space to access the main and lower concourse levels of the building.

At the exterior we propose to cut down the sill of the first three existing windows to grade within the existing masonry jambs, for access to the lowered floor. We propose installing new automatic doors in these openings that would allow customer (with shopping cart) access and egress. The three eastern window openings on Ranstead Street are flanked by rusticated pilasters and an exaggerated cornice. We are proposing a glass canopy across this tri-partite portion of the façade, providing cover to the retail entrances and an opportunity for retail signage without attaching anything else to the historic building fabric.

On the 4th Street façade, the exterior stairs to the lower concourse level would no longer be functional due to the lowered floor in the corner bay. While the metal and glass covering of this entrance is a later addition, as shown by the HABS photographs from the 1970s, we propose to leave them in place because the matching construction at the northeast corner of the building would still be functional, and the symmetry of the 4th street façade is significant. We propose adding a wall across the stairs to match the walls of the existing enclosure, slightly recessed to allow the

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curved masonry base to remain visible, but blocking entrance to the existing stairs, which would remain so as to make the change reversible.

To summarize, the proposed alterations to the exterior façade of The Bourse would be as follows:

- Removal of masonry sills at first three windows on the east end of Ranstead Street façade to create accessible at-grade access and egress at the east end of the building.
- Installation of a glass canopy at the east end of the Ranstead Street façade.
- Installation of partition across stair to lower level on the south end of the 4th Street façade.

A conceptual design package is attached that further explains these proposed alterations, and we look forward to discussing them with you at the Architectural Committee meeting and the PHC meeting.

Sincerely,



Eleanor F. Krause, AIA
Senior Associate, Historical Architect

cc: Charley McGrath, MRP Realty
Neville Fernandez, MV+A



Figure 1 - Historic Photograph South 4th Street Façade ca 1920s



Figure 2 - HABS photograph of South 4th Street Façade ca 1974

New Entrance at SE corner
AT THE BOURSE

111 Independence Hall, Philadelphia, PA
April 13, 2021



NATIONAL MUSEUM OF
AMERICAN JEWISH HISTORY

400 MARKET STREET

LUDLOW STREET

S. INDEPENDENCE MALL

Accessible route limited
to entrances along
Independence Mall

No accessible
entrances along S.
4th Street

S. 4TH STREET

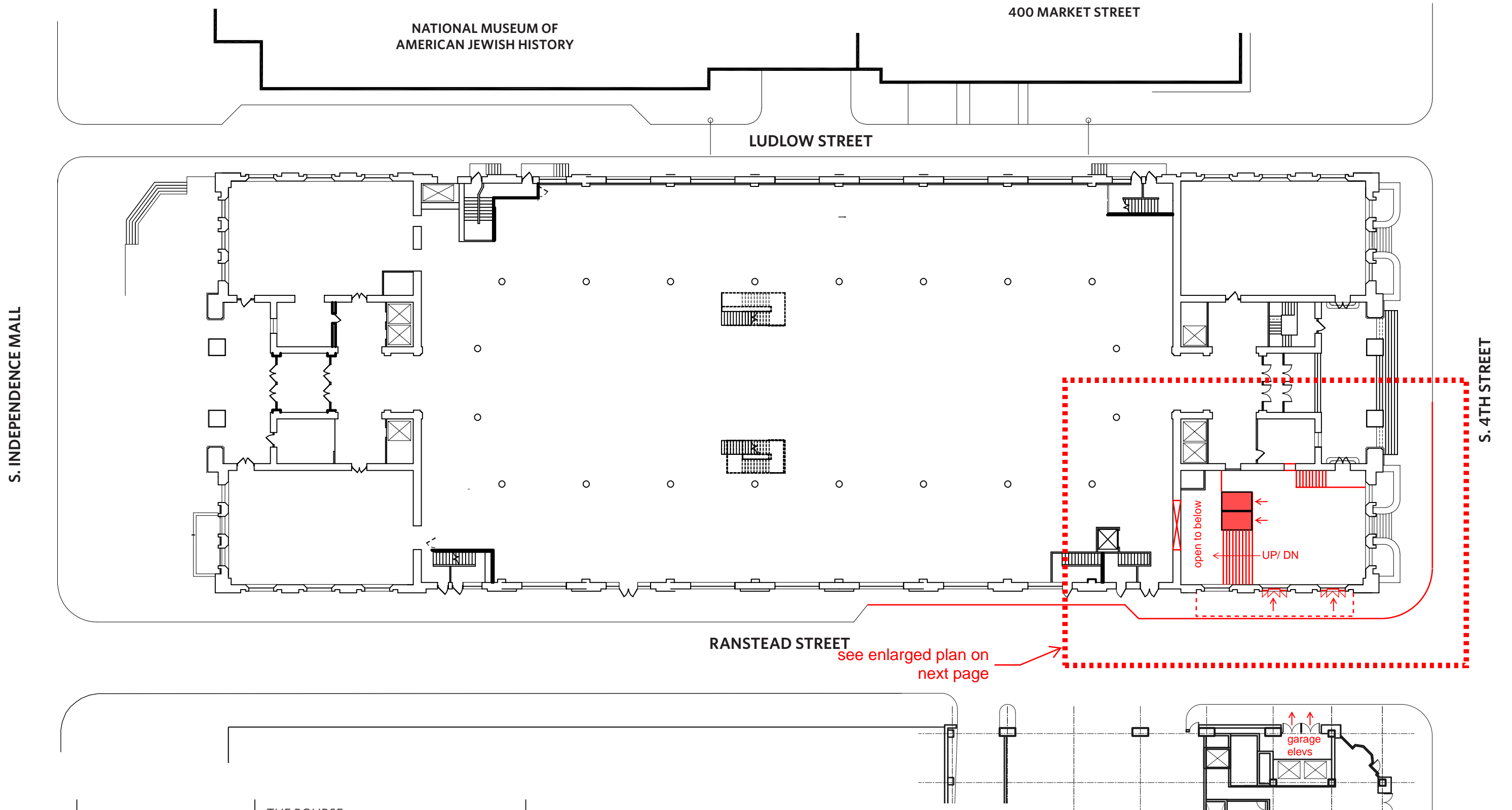
RANSTEAD STREET

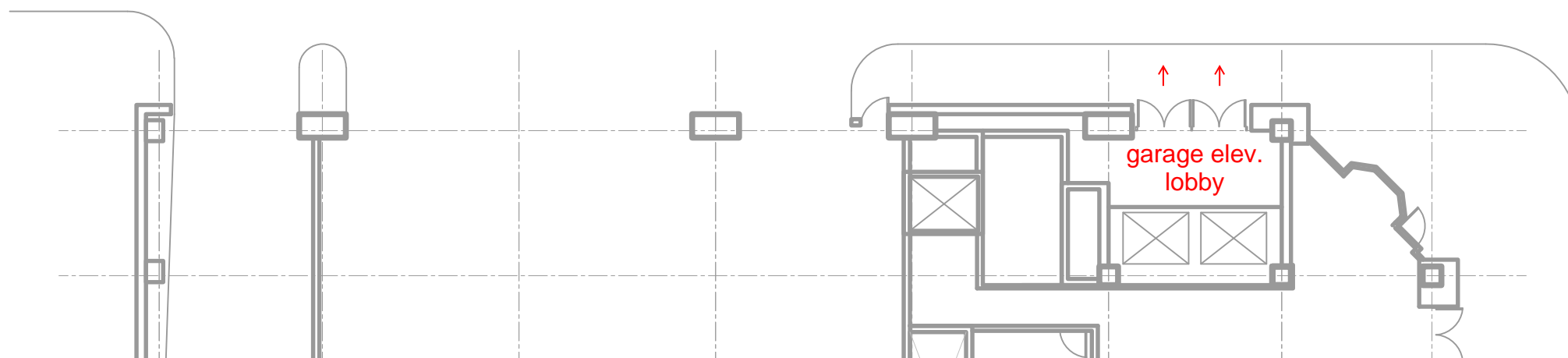
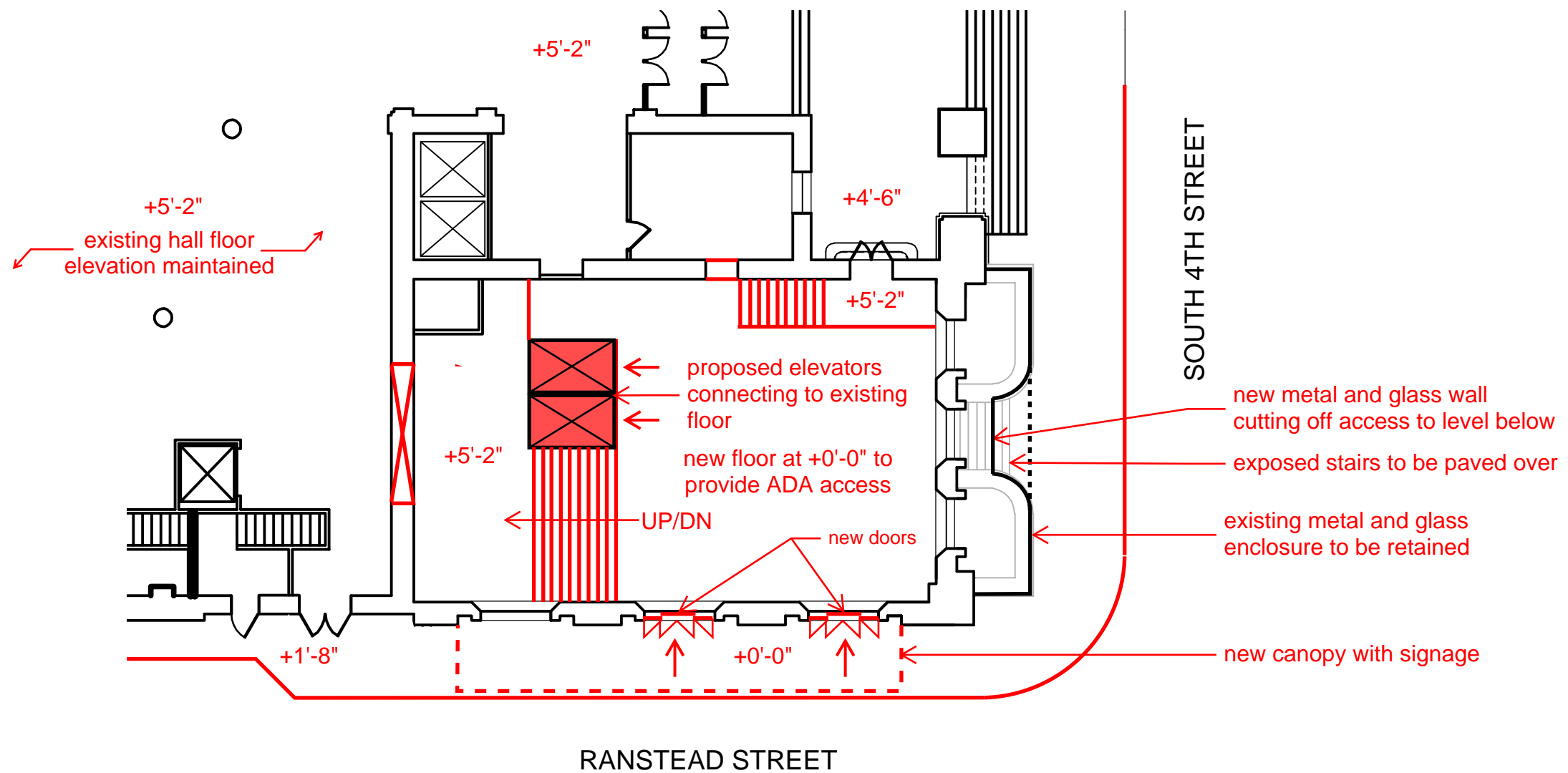
Garage elevators
drop customers at SE
corner of The Bourse

Parking garage for
The Bourse

garage
elevs







NOTE: Proposed interior lobby stair and elevator placement is conceptual and may change depending on tenant / structural needs





