

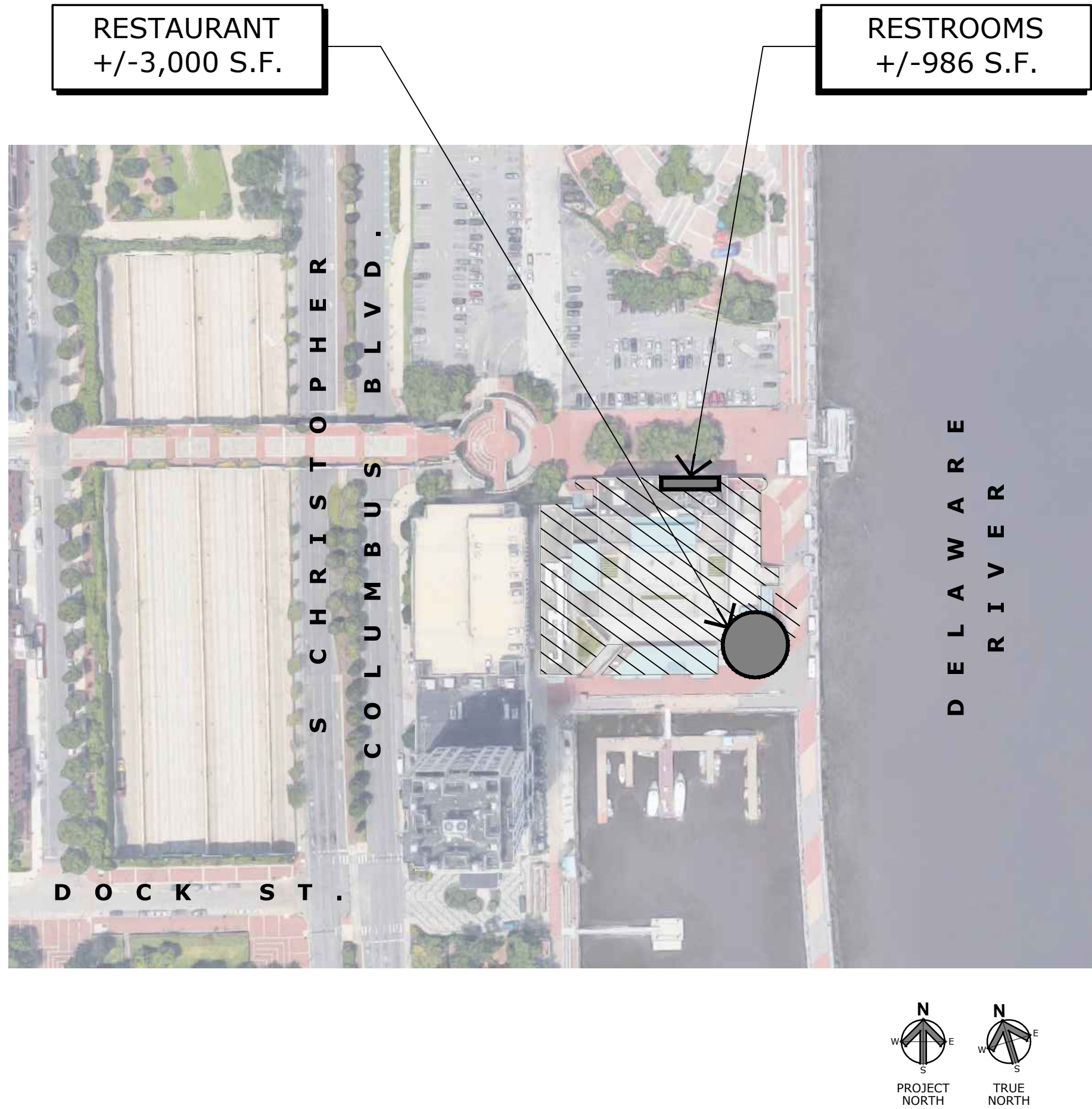
RENOVATION TO EXISTING

SEAPORT MUSEUM RESTAURANT AND OUTDOOR DINING

AT

211 S CHRISTOPHER COLUMBUS BLVD PHILADELPHIA, PA 19106

VICINITY MAP

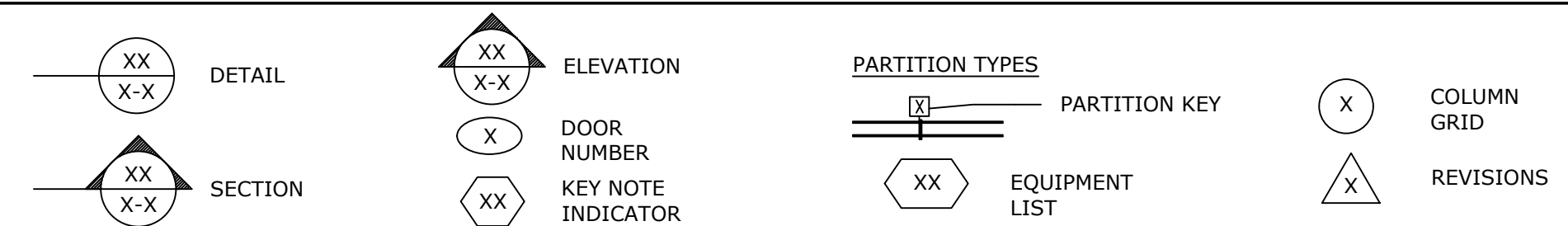


ACCESSIBILITY NOTES

IT IS OUR INTENT TO PROVIDE ACCESSIBILITY TO INDIVIDUALS WITH DISABILITIES. IT IS OUR GOAL AND EXPECTATION THAT ALL DEVELOPERS, DESIGNERS, ENGINEERS AND CONTRACTORS INVOLVED IN THIS FACILITIES COMPLY, BOTH ON THE INTERIOR AND EXTERIOR OF THIS BUILDING SPACE, WITH THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990 & ICC/ANSI 117.1- 2009. IN ADDITION, LOCAL, STATE OR FEDERAL CODES DEALING WITH ACCESSIBILITY THAT ARE MORE STRINGENT WILL TAKE PRECEDENCE.

INFORMATION ON THIS SHEET AND IN THIS SET OF PLANS IS PRESENTED FOR GENERAL CONFORMANCE WITH THE ANSI ACCESSIBILITY REQUIREMENT FOR PEOPLE WITH PHYSICAL DISABILITY. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THIS SITE AND FACILITY IN FULL COMPLIANCE WITH THE APPLICABLE CODE STANDARDS FOR THIS SPECIFIC STORE JURISDICTION.

SYMBOL LEGEND



BUILDING CODE DATA

- A. **BUILDING CODE DATA:**
BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE
PLUMBING CODE: 2018 INTERNATIONAL PLUMBING CODE
MECHANICAL CODE: 2018 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE: 2017 NATIONAL ELECTRIC CODE
FIRE CODE: 2009 INTERNATIONAL FIRE CODE
ACCESSIBILITY: 2017 ICC A117.1
CONSTRUCTION CLASSIFICATION: ----- 2B
OCCUPANCY: ----- A-2 (RESTAURANT)
- B. **AREA CALCULATIONS:**
FIRST FLOOR ----- +/- 6,783 S.F.
SECOND FLOOR ----- +/-16,869 S.F.
THIRD FLOOR ----- +/-8,649 S.F.
FOURTH FLOOR ----- +/-3,556 S.F.
- C. **OCCUPANT LOAD:** (TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT)
FIRST FLOOR
DINING (INDOOR): +/-597 SF (FIXED) = 28
DINING (OUTDOOR): +/-3,837 (/ 15) = 256
KITCHEN: +/-770 SF (/ 200) = 4
UTILITY/STOCK: +/-860 SF (/ 300) = 3
RESTROOMS/ CORRIDOR/STAIRS: +/-773 SF (/ 00) = 0
TOTAL : = 291
SECOND FLOOR
DINING (INDOOR): +/-550 SF (FIXED) = 26
SEATING AREA (OUTDOOR): +/-10,128 SF (/ 15) = 676
KITCHEN: +/-1,586 SF (/ 200) = 8
UTILITY/STOCK: +/-368 SF (/ 300) = 1
RESTROOMS/ CORRIDOR/STAIRS: +/-3,976 SF (/ 00) = 0
TOTAL : = 711
THIRD FLOOR
SEATING AREA (OUTDOOR): +/-5,881 SF (/ 15) = 392
BAR AREA: +/-354 SF (/ 200) = 2
UTILITY: +/-87 SF (/ 300) = 1
STAIRS: +/-918 SF (/ 00) = 0
TOTAL : = 395
TOTAL OCCUPANTS: = **1397**
E. **EGRESS WIDTH PER OCCUPANT SERVED:** TABLE 1005.1 (LOSS OF ONE EXIT SHALL NOT REDUCE THE TOTAL CAPACITY TO LESS THAN 50% OF REQUIRED CAPACITY)
FIRST FLOOR: 35 OCCUPANTS (INDOOR) X 0.20 EGRESS WIDTH FACTOR = 7.0 INCHES (REQUIRED)
EXIT WIDTH PROVIDED: = 204 INCHES
EXIT #1: (2) EXISTING ENTRY DOORS @ 36" @ 6'-0" = 72 INCHES
EXIT #2: (2) EXISTING ENTRY DOORS @ 36" @ 6'-0" = 72 INCHES
EXIT #3: (2) EXISTING EXIT DOORS @ 30" @ 5'-0" = 60 INCHES
TOTAL EGRESS WIDTH = 204 INCHES
SECOND FLOOR: 35 OCCUPANTS (INDOOR) X 0.20 EGRESS WIDTH FACTOR = 7.0 INCHES (REQUIRED)
EXIT WIDTH PROVIDED: = 204 INCHES
EXIT #4: (1) EXISTING ENTRY DOORS @ 36" @ 3'-0" = 72 INCHES
EXIT #5: (2) EXISTING ENTRY DOORS @ 36" @ 3'-0" = 72 INCHES
TOTAL EGRESS WIDTH = 204 INCHES
F. **REMOVEDNESS OF EXITS IN A BUILDING OR SPACE SHALL BE:**
1/2 MIN. OR 1/2 MIN. (FOR BUILDINGS W/ AUTOMATIC SPRINKLER SYSTEM) OF THE BUILDING DIAGONAL DIM.

NOTE:
SEE CS-2 FOR
OUTDOOR SEATING
AREAS AND OCCUPANCY

INDEX OF DRAWINGS

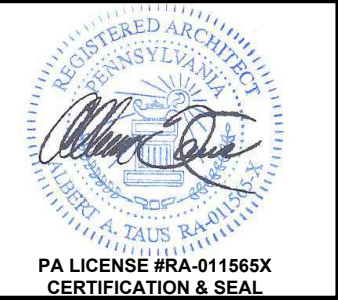
SHEET#	DESCRIPTION	ISSUE RECORD									
		REV	DATE	ISSUED	ISSUED WITH REVISION	ISSUED FOR COORDINATION PURPOSES ONLY					
	ARCHITECTURAL DRAWINGS										
CS-1	COVER SHEET										
CS-2	OCCUPANCY PLANS										
LS-1	LIFE SAFETY PLANS										
LS-1.1	LIFE SAFETY PLANS										
A-1.0	OVERALL ARCHITECTURAL SITE PLAN										
A-1.1	FIRST FLOOR PLAN AND REFLECTED CEILING PLAN										
A-1.2	MEZZANINE FLOOR PLAN AND REFLECTED CEILING PLAN										
A-1.3	THIRD FLOOR OUTDOOR PATIO AND REFLECTED CEILING PLAN										
A-1.4	RESTROOM FLOOR PLAN AND REFLECTED CEILING PLAN										

GENERAL NOTES

- THERE ARE TO BE NO CHANGES IN THE FOLLOWING SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS UNLESS APPROVED IN WRITING BY THE ARCHITECT.
- CHANGES AS STATED ABOVE INCLUDE SUBSTITUTION OF MATERIALS, PRODUCTS, MANUFACTURERS, OR CONSTRUCTION SHOWN, IMPLIED OR WRITTEN IN THE CONSTRUCTION DOCUMENTS SET.
- GENERAL CONTRACTOR & THEIR SUB-CONTRACTORS TO REVIEW ALL DRAWINGS WITHIN THE SET.
- GENERAL CONTRACTOR TO PROVIDE A COMPLETE BUILD OUT WITH ALL FINISHES, STRUCTURAL, MECHANICAL AND ELECTRICAL COMPONENTS AS SHOWN OR INDICATED ON DRAWINGS. GENERAL CONTRACTOR TO PROVIDE ALL ITEMS SHOWN ON DRAWINGS, UNLESS NOTED OTHERWISE.
- ALL ITEMS SHOWN ON DRAWINGS ARE TO BE PROVIDED (FURNISHED AND INSTALLED) BY GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.
- GENERAL CONTRACTOR IS RESPONSIBLE TO MAINTAIN A CURRENT SET OF DRAWINGS ON SITE AT ALL TIMES AND TO INSURE THE DISTRIBUTION OF NEW DRAWINGS TO SUBCONTRACTORS AND OTHER RELEVANT PARTIES AS SOON AS THEY ARE MADE AVAILABLE. ALL OLD DRAWINGS ARE TO BE MARKED 'VOID' AND REMOVED FROM SITE AND RENDERED USELESS.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FIELD CONDITIONS & DIMENSION PRIOR TO INSTALLATION OF MATERIALS & CONSTRUCTION.
- GENERAL CONTRACTOR TO FURNISH SUBCONTRACTORS AND RELATED PARTIES WITH COMPLETE SET OF DRAWING. NO PARTIAL SET OR SHEETS REMOVED FROM SET WILL BE PERMITTED.
- GENERAL CONTRACTOR TO PROVIDE A RECORD SET OF DRAWINGS TO TENANT UPON COMPLETION OF BUILD-OUT.
- GENERAL CONTRACTOR TO REVIEW ALL SHOP DRAWINGS AND SUBMIT COPIES AS REQUIRED FOR REVIEW BY PROJECT ARCHITECT. NO DRAWINGS WILL BE REVIEWED W/O GENERAL CONTRACTOR'S REVIEW STAMP AND CLIENT'S PRIOR APPROVAL AND MARK-UP.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ITEMS BUILT OR INSTALLED TO BE TRUE AND PLUMB (WALLS, WINDOWS, ETC.)
- GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING AND FASTENERS, INCLUDING SOLID F.WOOD BLOCKING FOR GRAB BARS, SHELVES, AND ANY AND ALL OTHER WALL OR CEILING MOUNTED ITEMS.
- GENERAL CONTRACTOR TO PROVIDE ALL MATERIALS NECESSARY & AS REQUIRED BY ITEM & FIELD CONDITIONS FOR COMPLETE CONSTRUCTION OF BUILD-OUT.
- GENERAL CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR, AND EQUIPMENT TO COMPLETE ALL WORK AND PROVIDE A COMPLETED JOB IN ACCORDANCE WITH LOCAL, STATE, AND NATIONAL GOVERNING AUTHORITIES AND OTHER AUTHORITIES HAVING LAWFUL JURISDICTION OVER THE WORK.
- THE GENERAL CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED.
- LOCATION OF EQUIPMENT AND WORK SUPPLIED BY OTHERS THAT IS DIAGRAMMATICALLY INDICATED ON THESE DRAWINGS SHALL BE VERIFIED & DETERMINED BY THE GC. THE GENERAL CONTRACTOR SHALL DETERMINE LOCATIONS AND DIMENSIONS SUBJECT TO STRUCTURAL CONDITIONS AND WORK OF THE OTHER SUBCONTRACTORS.
- DRAWINGS INDICATE THE MINIMUM STANDARDS, BUT IF ANY WORK SHOULD BE INDICATED TO BE SUBSTANDARD TO ANY ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS BEARING ON THE WORK, THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS WORK AND SHALL EXECUTE THE WORK CORRECTLY IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS WITH NO INCREASE IN COSTS. THE INCLUSION OF SUCH WORK SHALL BE NOTED IN THE GENERAL CONTRACTOR'S BID.
- ALL EQUIPMENT AND ALL PRODUCTS PURCHASED ARE TO BE REVIEWED BY THE G.C. AND ALL APPLICABLE SUBCONTRACTORS FOR ANY CONDITION PER MANUFACTURER'S RECOMMENDATIONS.
- ANY AND ALL ERRORS, DISCREPANCIES, AND OMITTED ITEMS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT DURING THE BIDDING PROCESS BY THE GENERAL CONTRACTOR. ALL THESE ITEMS ARE TO BE NOTED AND INCLUDED IN THE BID.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ON-SITE SAFETY (TO CONTRACTORS & TO THE PUBLIC) FROM THE TIME JOB IS AWARDED UNTIL ALL WORK IS COMPLETED AND ACCEPTED BY THE TENANT.
- CONSTRUCTION TO BE INSTALLED LEVEL, PLUMB, TRUE, AND WITHIN THE TOLERANCES SET FORTH IN THE APPROPRIATE SPECIFICATION SECTION. PROPERLY INSTALLED NON-COMPLIANT WORK SHALL BE REMOVED AND REINSTALLED AT NO COST TO THE PROJECT.
- EACH PRIME CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL MATERIALS STORED OR INSTALLED ON THE SITE SUBJECT TO DAMAGE OR THEFT.
- CONTRACTOR TO VERIFY ALL DIMENSIONS THROUGH OUT THE SET OF DRAWINGS. IF DISCREPANCY OCCURS, IMMEDIATELY CONTACT THE ARCHITECT FOR CLARIFICATIONS.
- NOTICE TO ALL GENERAL CONTRACTORS AND SUB-CONTRACTORS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS. IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS AND IF IT IS SHOWN ON THE DRAWINGS, IT IS TO BE BUILT. IT IS AT THE DISCRETION OF THE CONSTRUCTION MANAGER AND ARCHITECT TO DECIDE ON ANY DISCREPANCIES DURING CONSTRUCTION AND THE GENERAL CONTRACTOR AND SUB-CONTRACTOR ARE RESPONSIBLE TO BUILD IT.
- IF THERE ARE ANY DISCREPANCIES IN THE COMPLETE SET OF PERMIT OR CONSTRUCTION DOCUMENTS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN A WRITTEN FORM OF A R.F.I. "REQUEST FOR INFORMATION" FROM THE GENERAL CONTRACTOR DURING THE BIDDING STAGE AND PRIOR TO SUBMITTING BIDS.
- GENERAL CONTRACTOR AND SUB-CONTRACTOR ARE TO BID THIS PROJECT AS DESIGNED. VALUE ENGINEERING IS WELCOMED AND IS ALSO ENCOURAGED IN AN EFFORT TO GET THE BEST VALUE. GENERAL CONTRACTOR SHALL SUBMIT HIS BID PER PLANS AND SPECIFICATIONS AND SUBMIT VALUE ENGINEERING ITEM SEPARATELY.
- GENERAL CONTRACTOR TO GIVE A 5 DAY ADVANCE NOTICE OF INTENTION TO POUR SLAB. IF THE SLAB ROUGH-IN ARE INCORRECT, THEY WILL BE CORRECTED AT GENERAL CONTRACTOR'S EXPENSES.
- GENERAL CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY FROM ALL OF HIS SUB-CONTRACTORS FOR ALL LABOR, PRODUCTS, AND/OR ANY SYSTEMS PUT INTO THIS PROJECT. ONE YEAR WARRANTY START AT POSSESSION OF CERTIFICATE OF OCCUPANCY.
- GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING AT ALL FAUCETS, GRAB BARS, LAVATORIES, HAND DRYERS, MIRRORS, SOAP TOWEL DISPENSERS, SOAP DISPENSERS, OTHER ACCESSORIES, ETC.
- MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING HVAC EQUIPMENT AND MODIFYING AS REQUIRED FOR HEATING & COOLING LOADS. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL BEFORE ORDERING EQUIPMENT OR BEGINNING WORK.
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED.
- G.C. MUST TAKE MEASURES TO PREVENT DISRUPTION TO ADJACENT TENANTS.
- ANY ADDITIONAL WORK WILL ONLY BE PAID IF IT IS SIGNED BY THE OWNER AND ARCHITECT PRIOR TO COMMENCEMENT OF THE SAID WORK.

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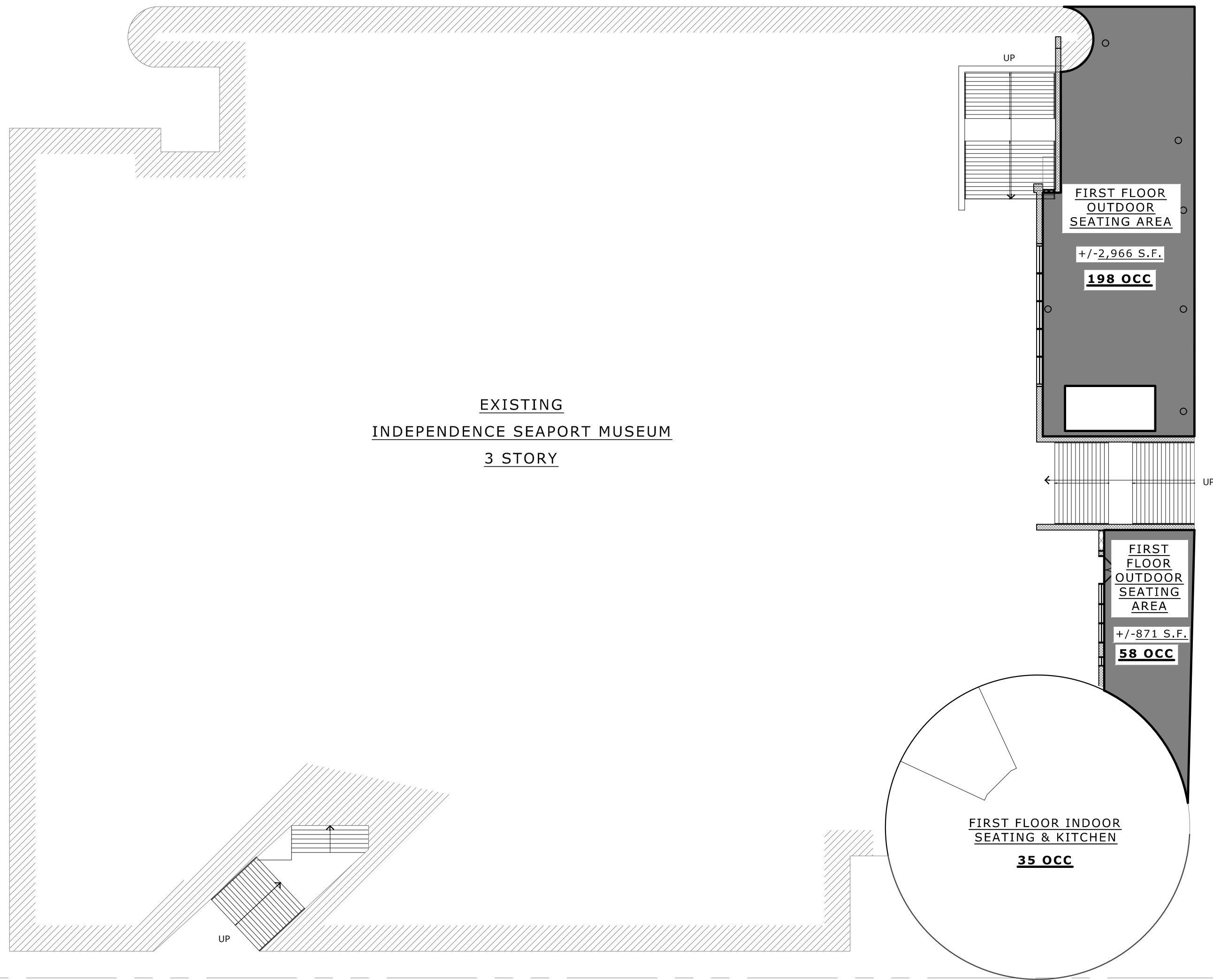
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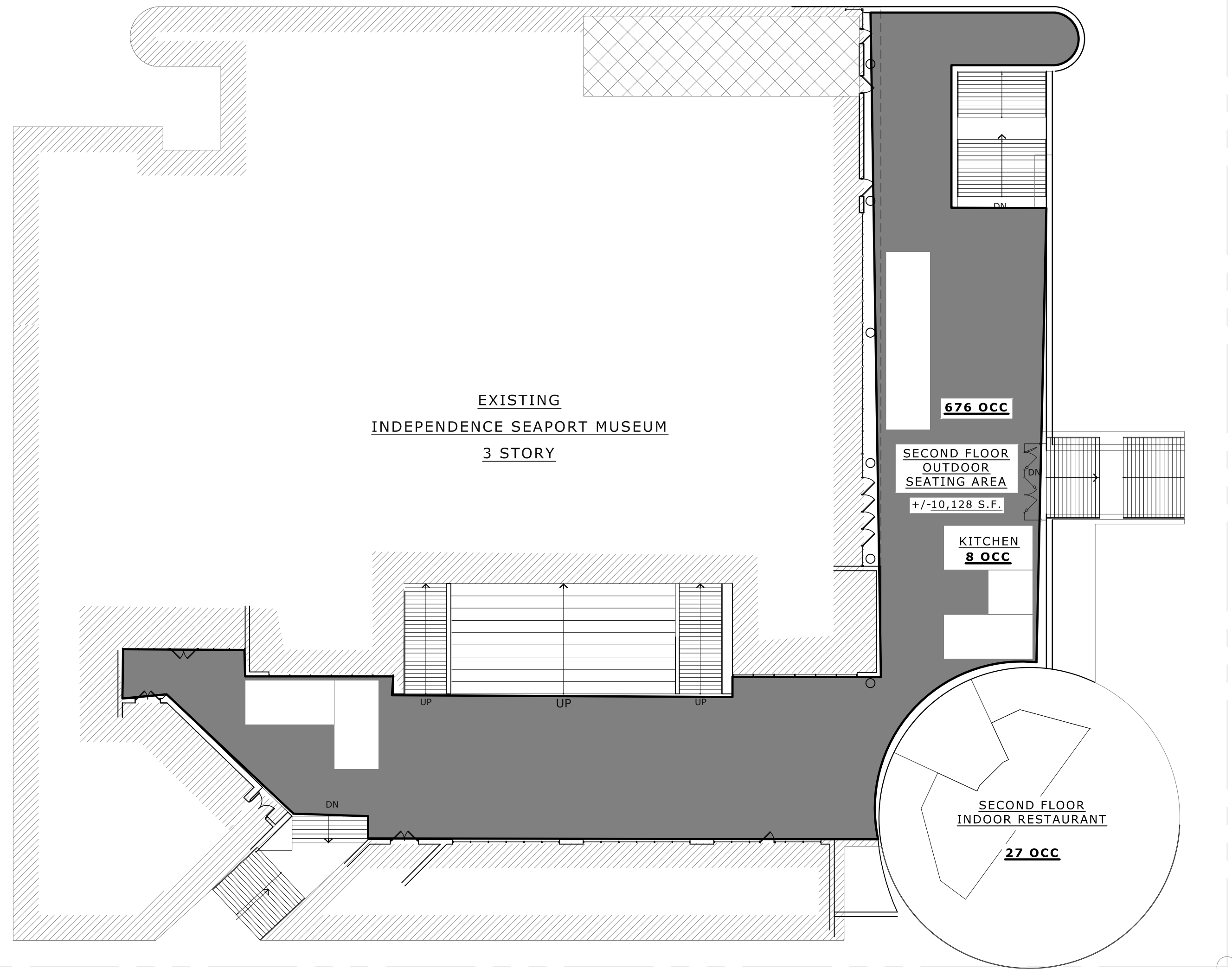
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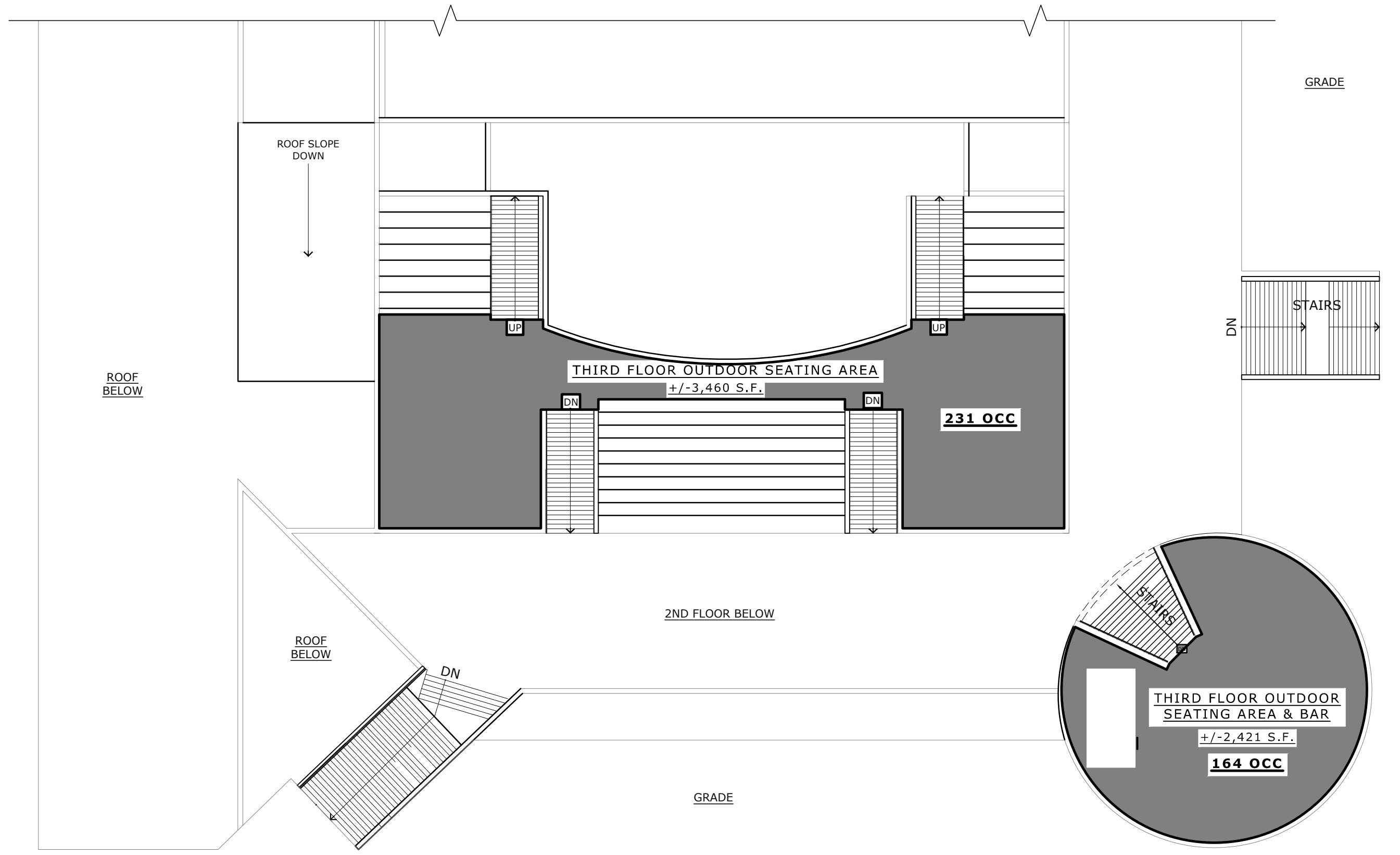
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PM: A.B.
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CS-1



A FIRST FLOOR OCCUPANCY PLAN
SCALE: 1" = 20'-0"



B SECOND FLOOR OCCUPANCY PLAN
SCALE: 1" = 20'-0"



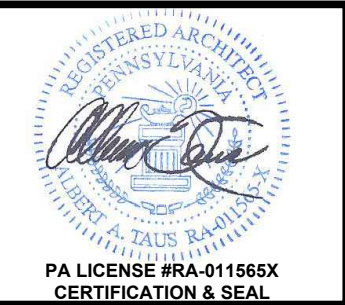
A THIRD FLOOR OCCUPANCY PLAN
SCALE: 1" = 20'-0"



NOTE:
ACCESSIBLE RESTROOM,
INDOOR DINING & OUTDOOR
DINING @ GROUND LEVEL.



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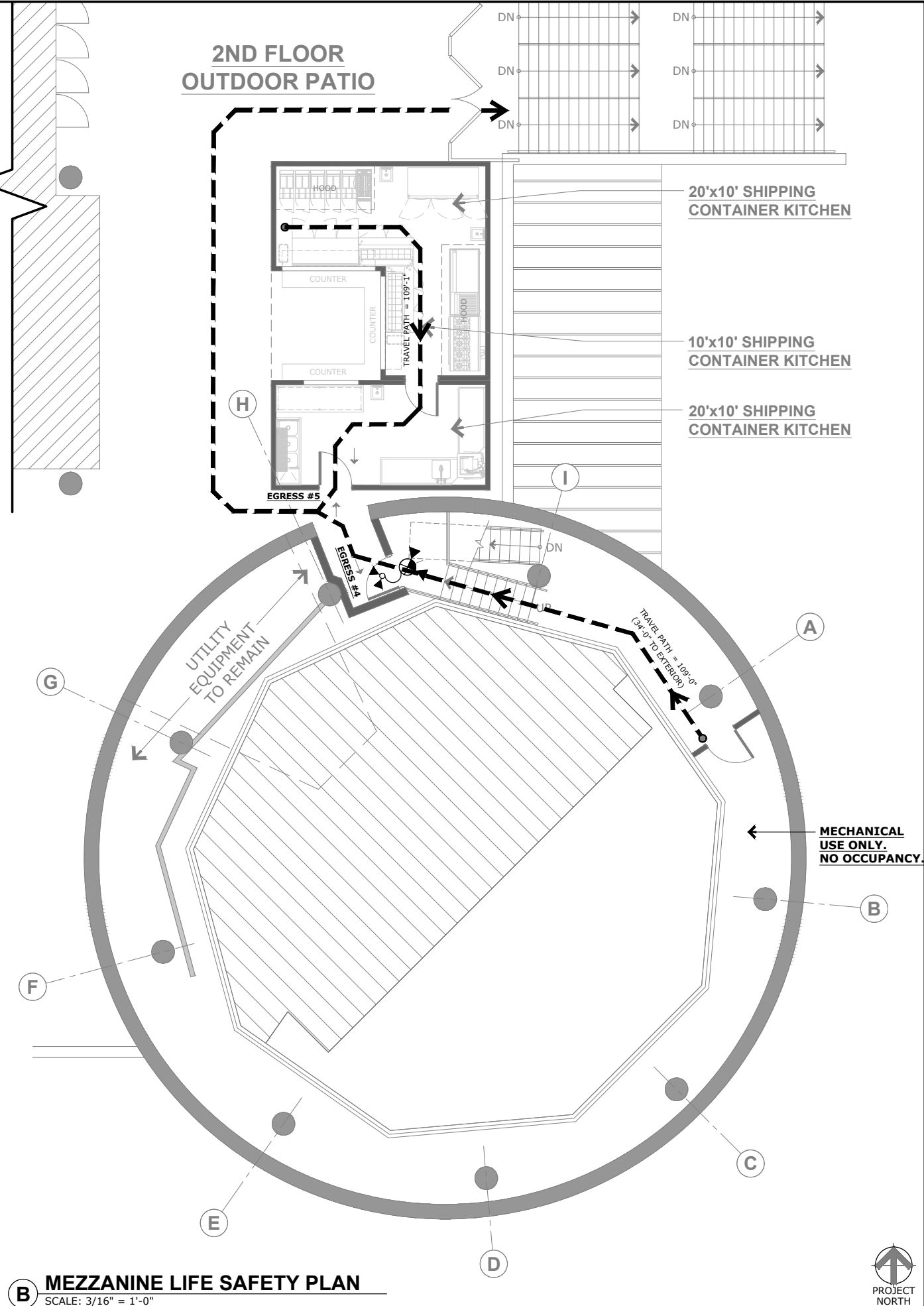
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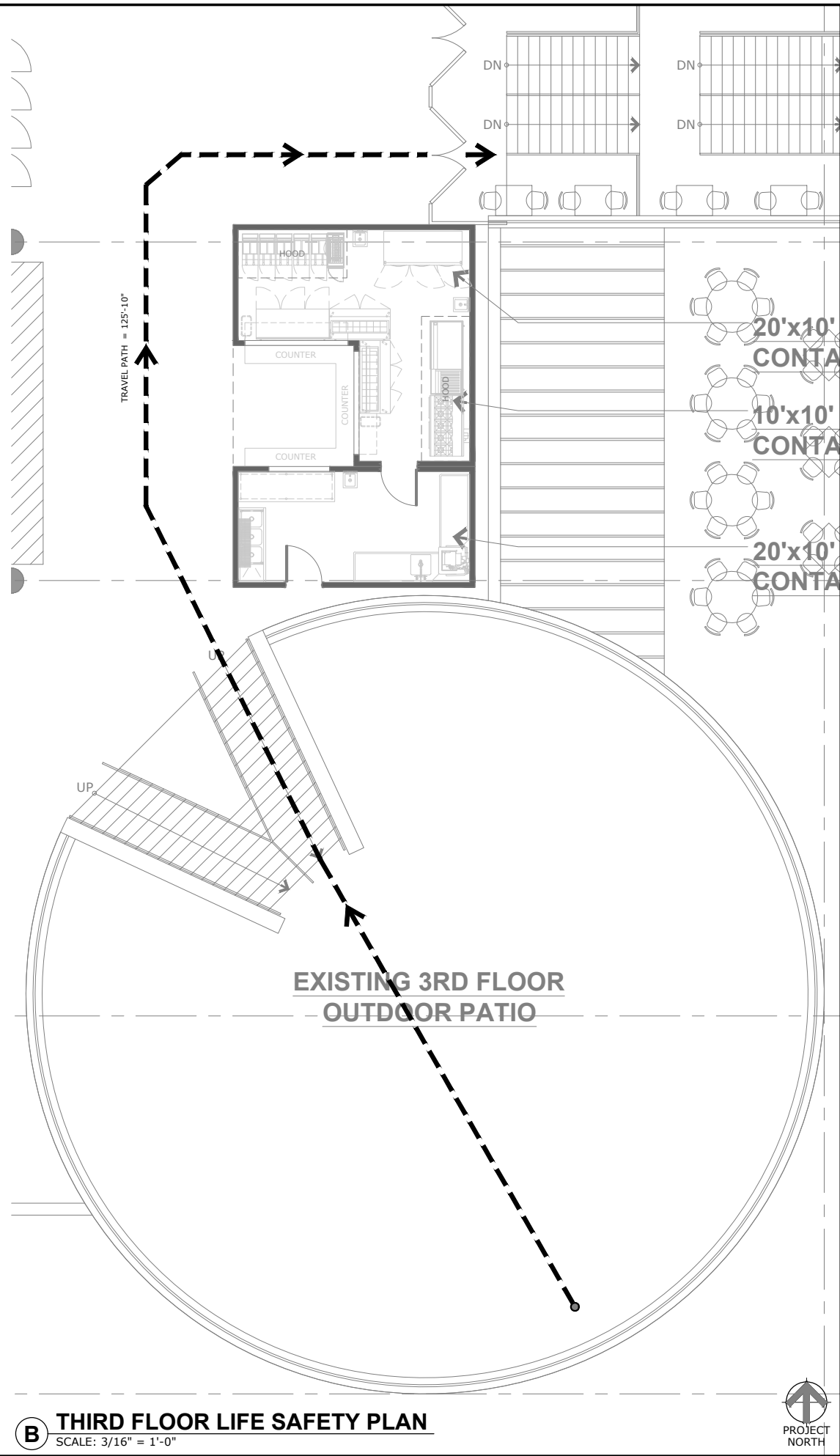
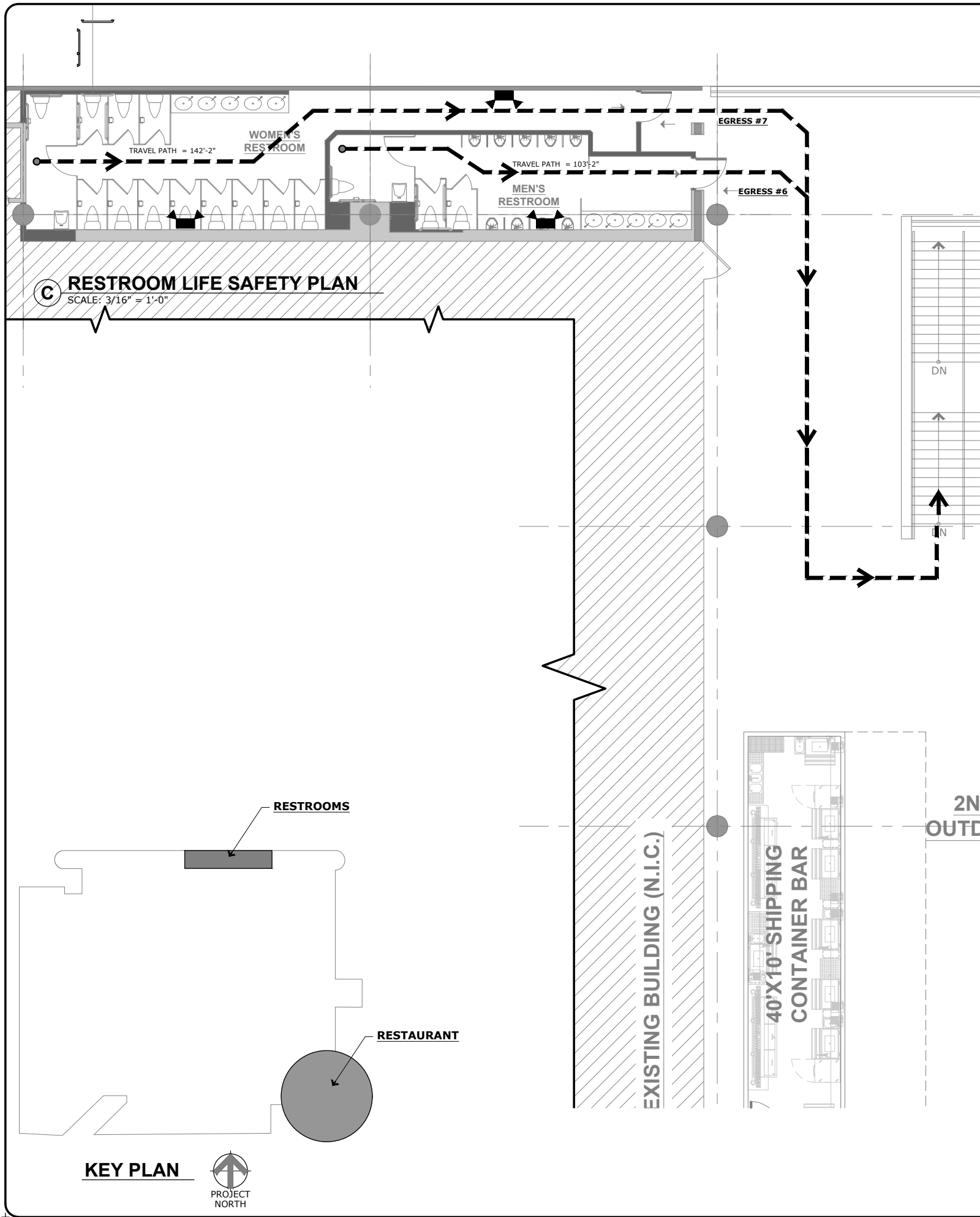
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CS-2



LS-1.0



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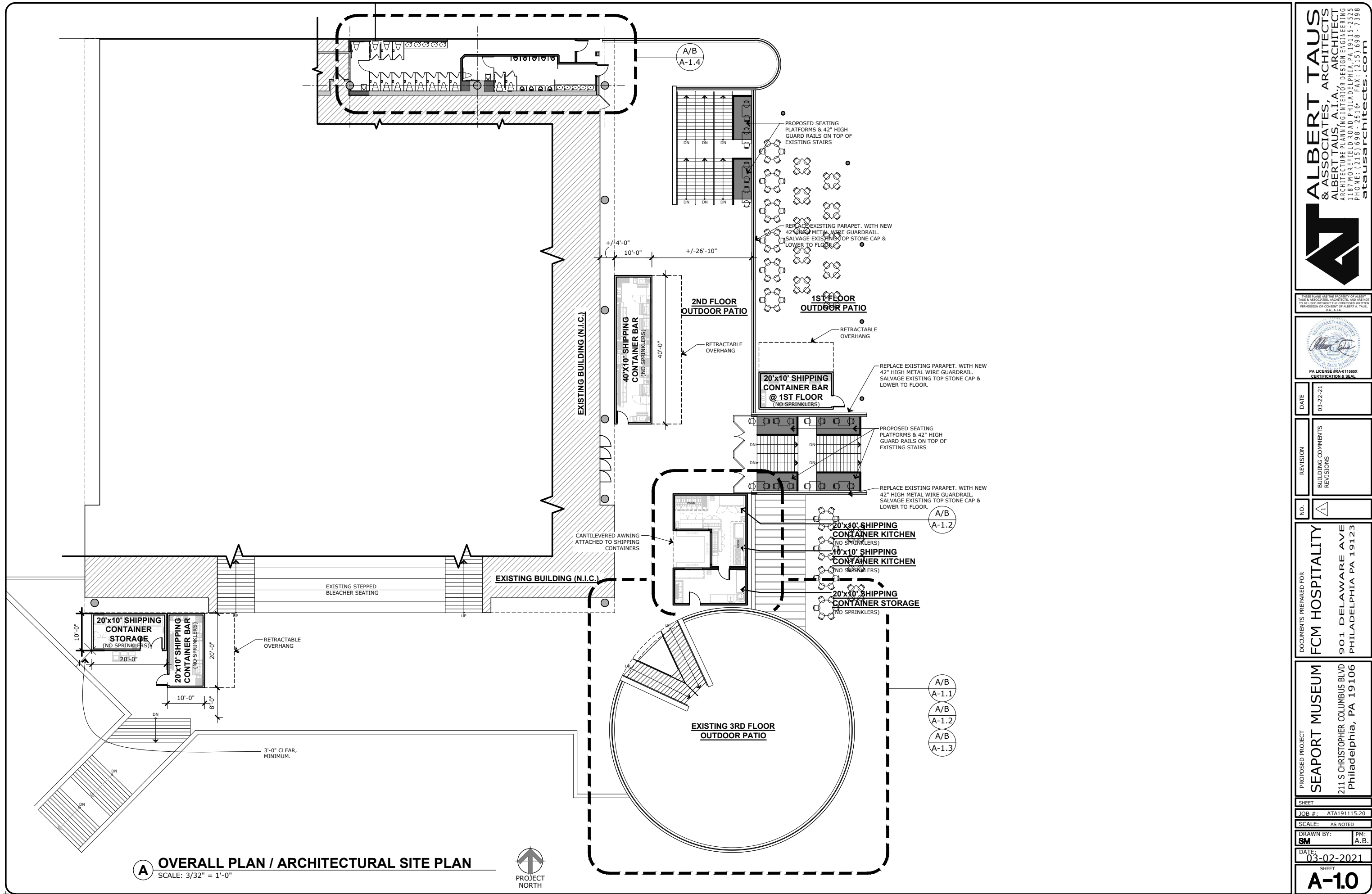
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LS-11



A OVERALL PLAN / ARCHITECTURAL SITE PLAN
SCALE: 3/32" = 1'-0"



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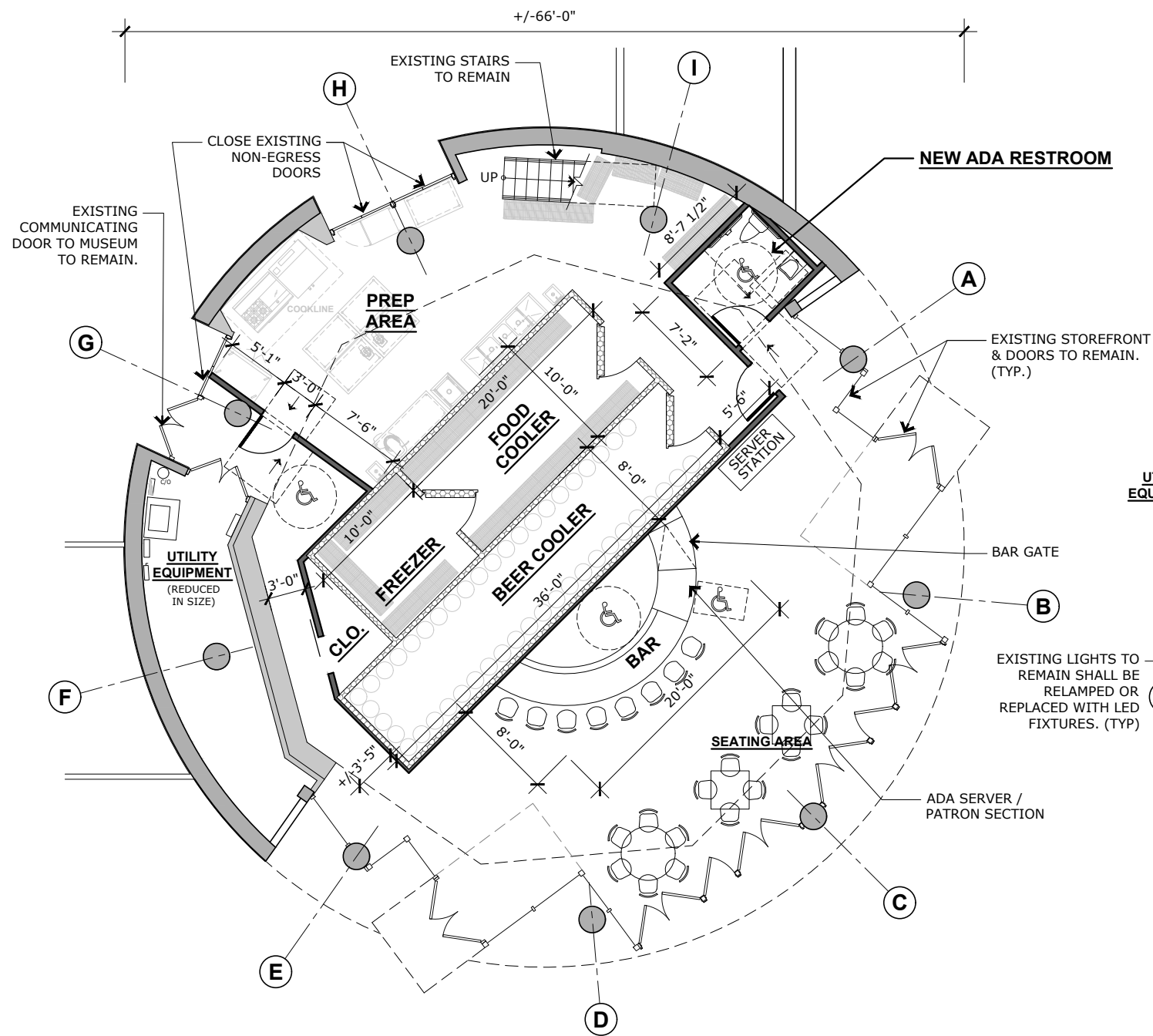
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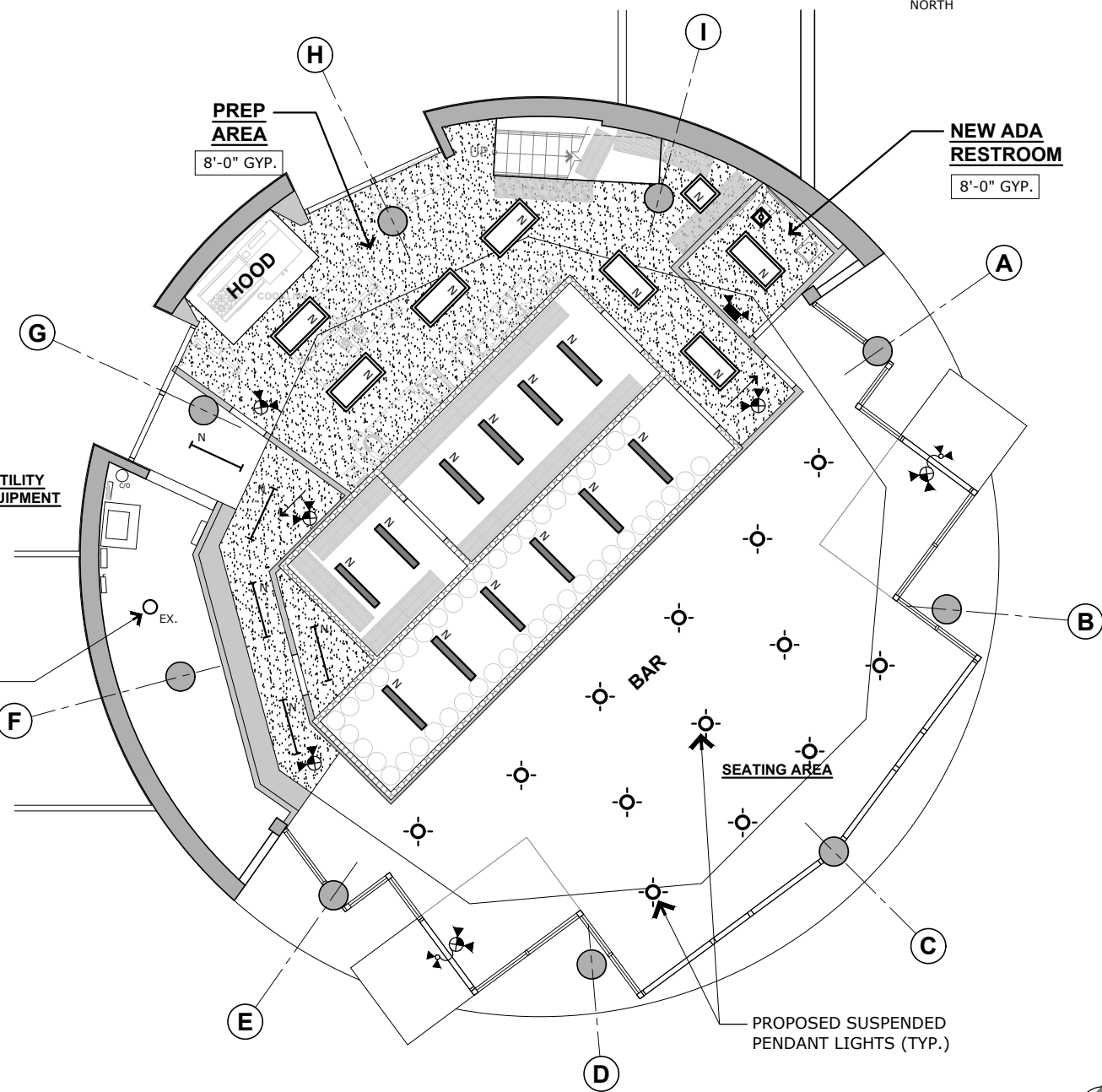
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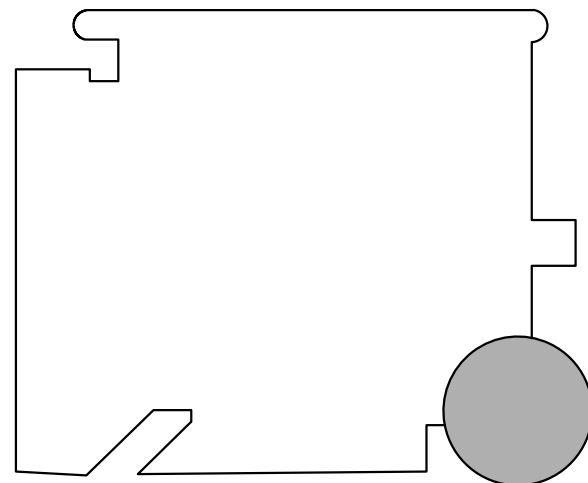
A-10



A PROPOSED 1ST FLOOR PLAN
SCALE: 3/16" = 1'-0"



B 1ST FLOOR REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"



KEY PLAN



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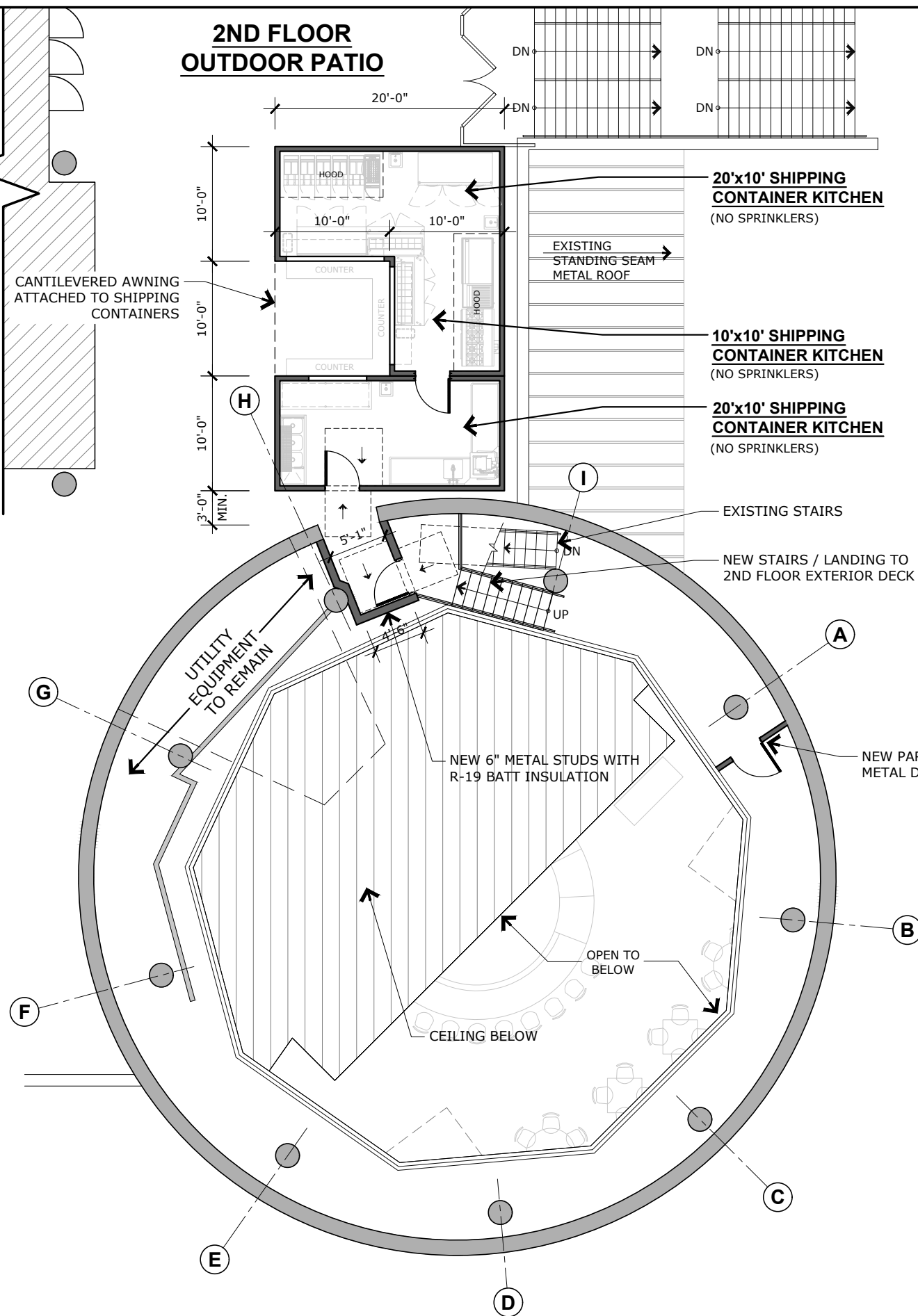
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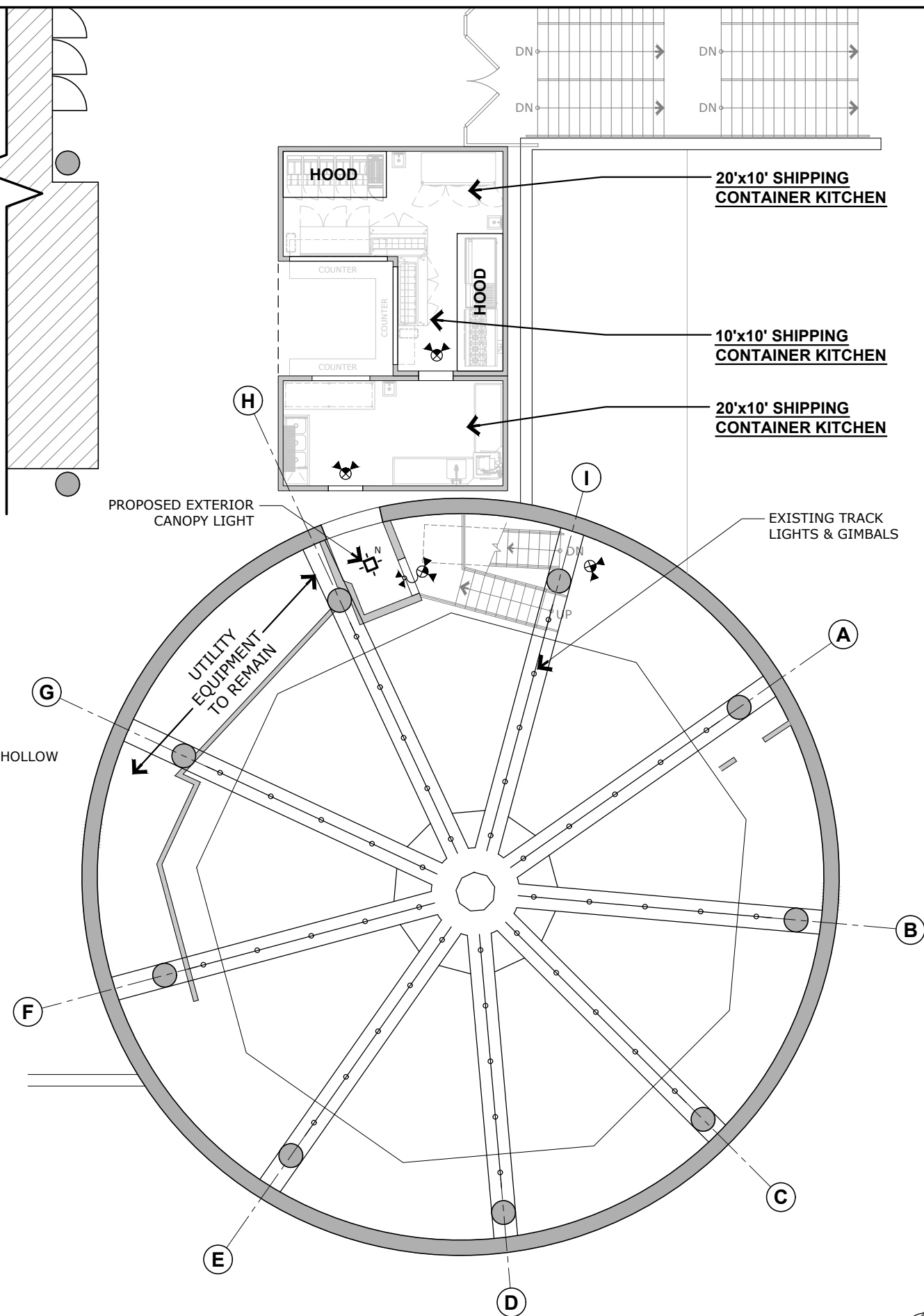


2ND FLOOR

OUTDOOR PATIO



A PROPOSED MEZZANINE FLOOR PLAN
SCALE: 3/16" = 1'-0"



B MEZZANINE FLOOR REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

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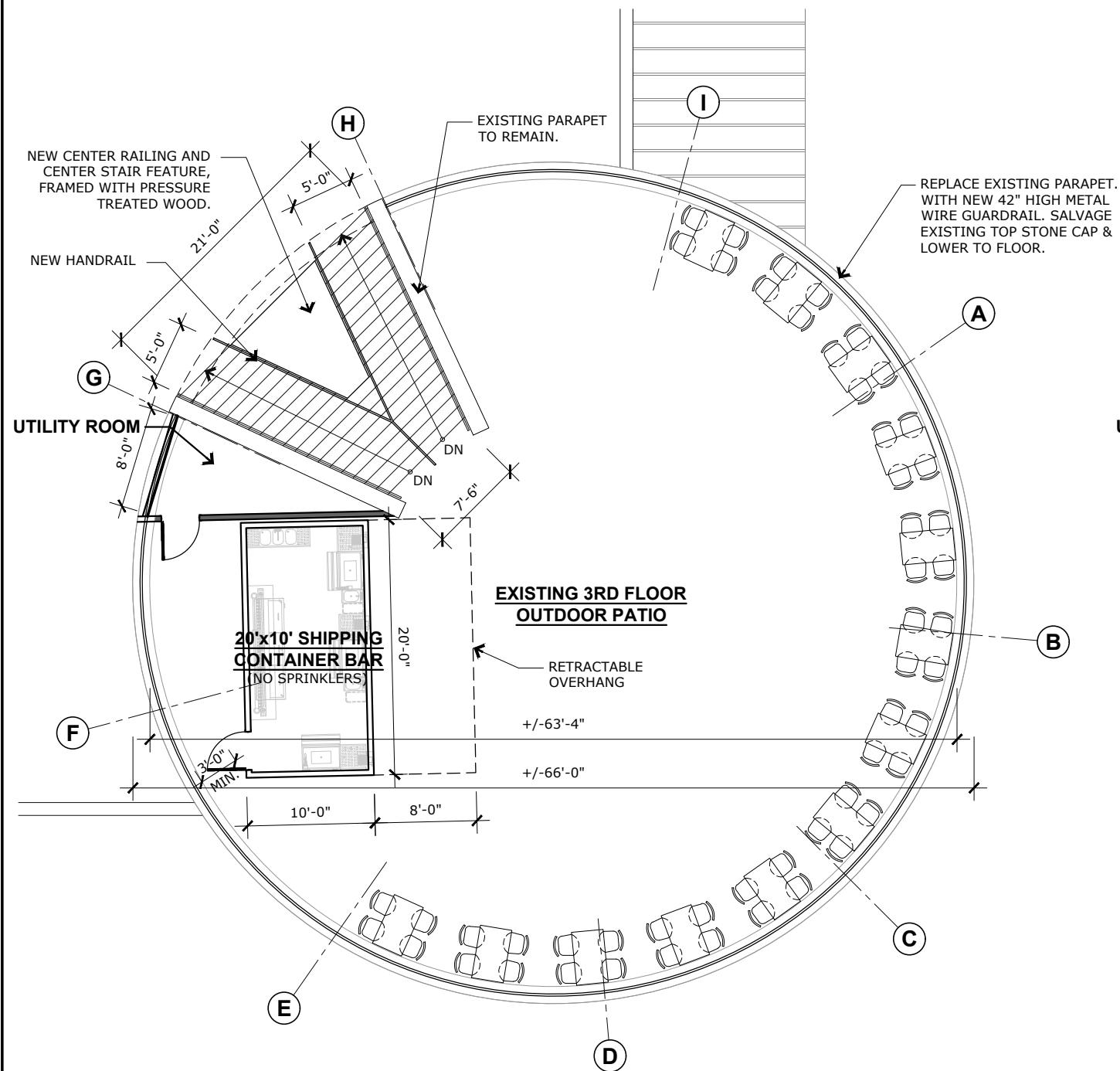
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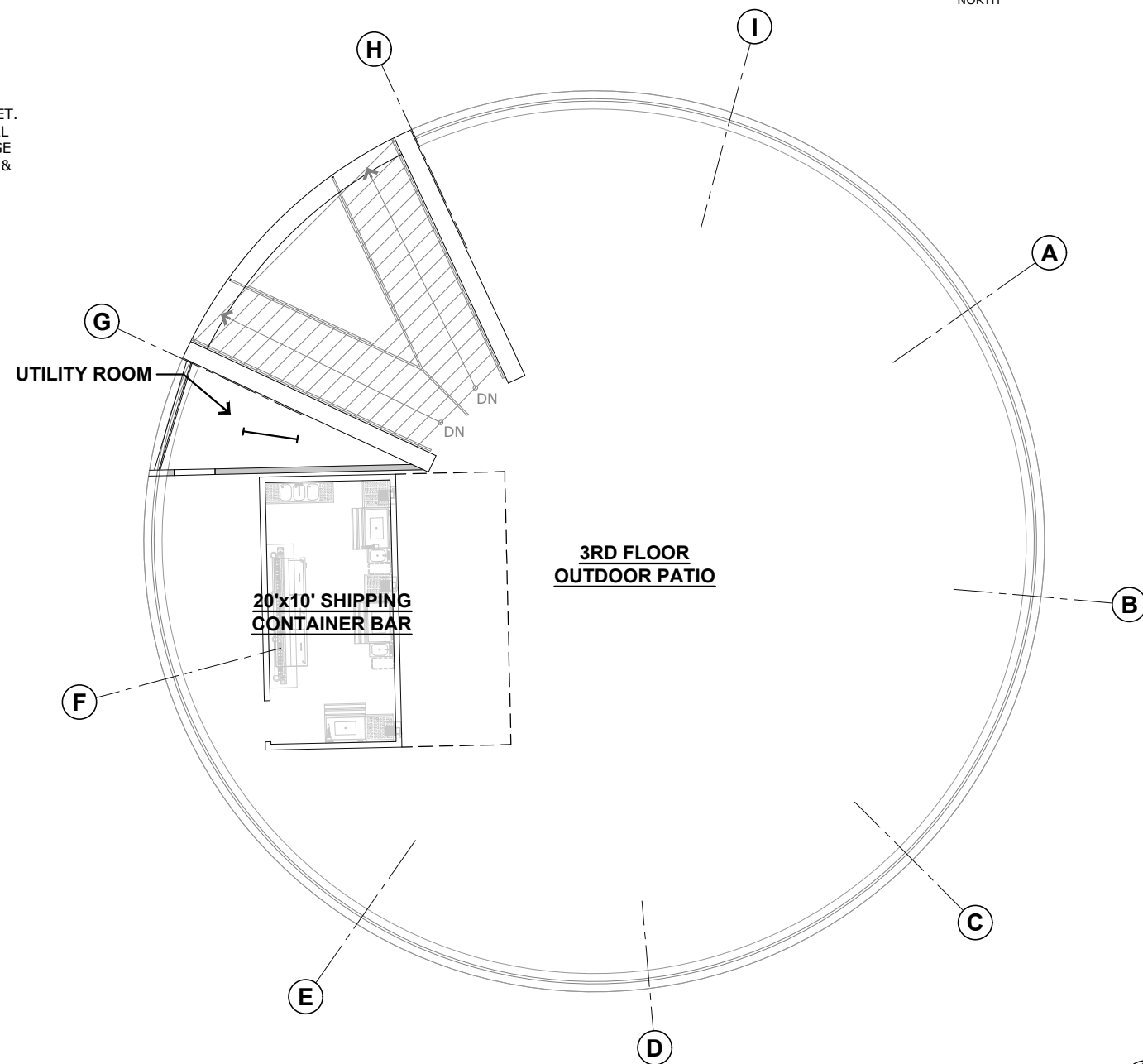
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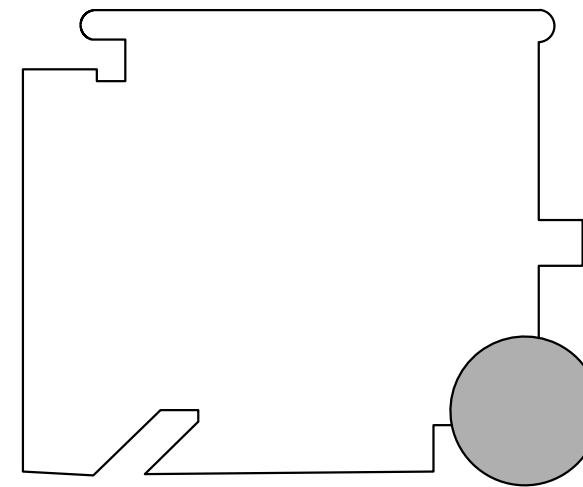




A PROPOSED 3RD FLOOR PLAN
SCALE: 3/16" = 1'-0"

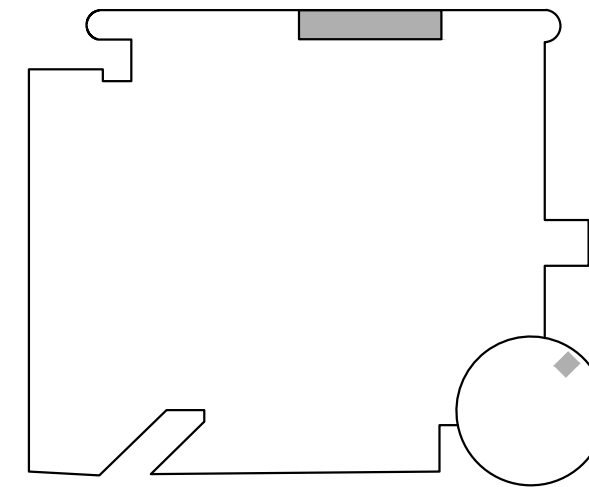
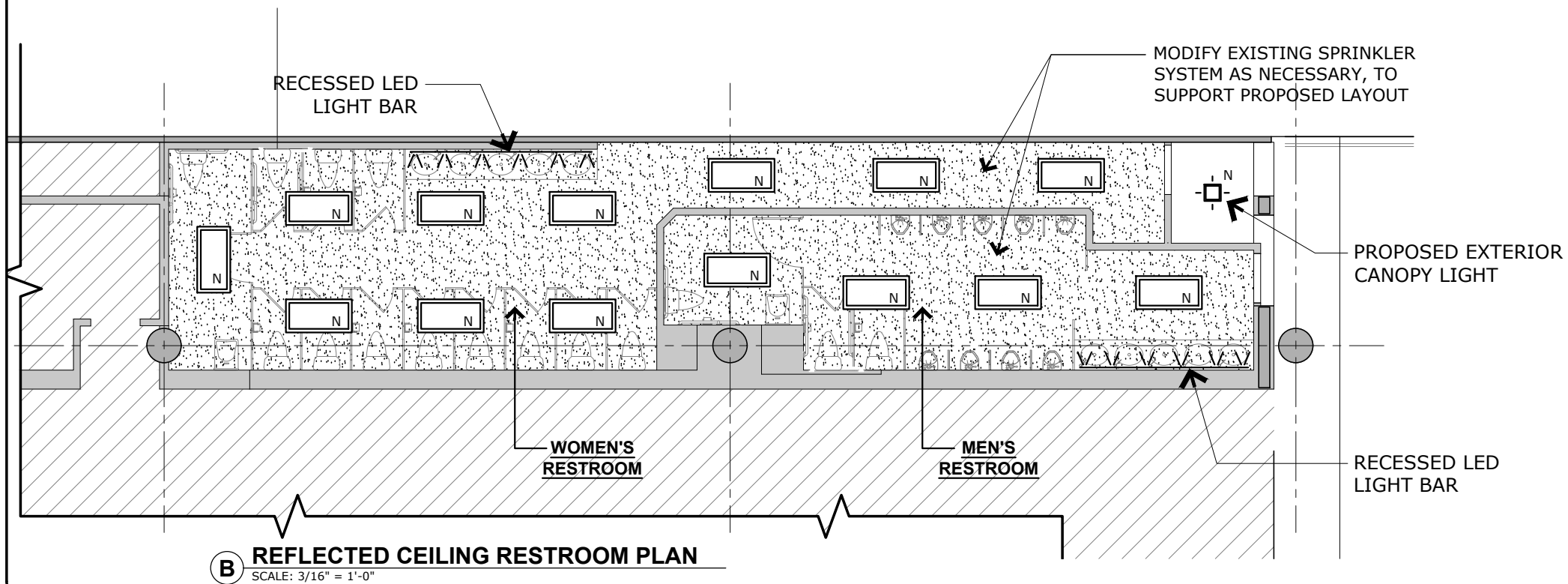
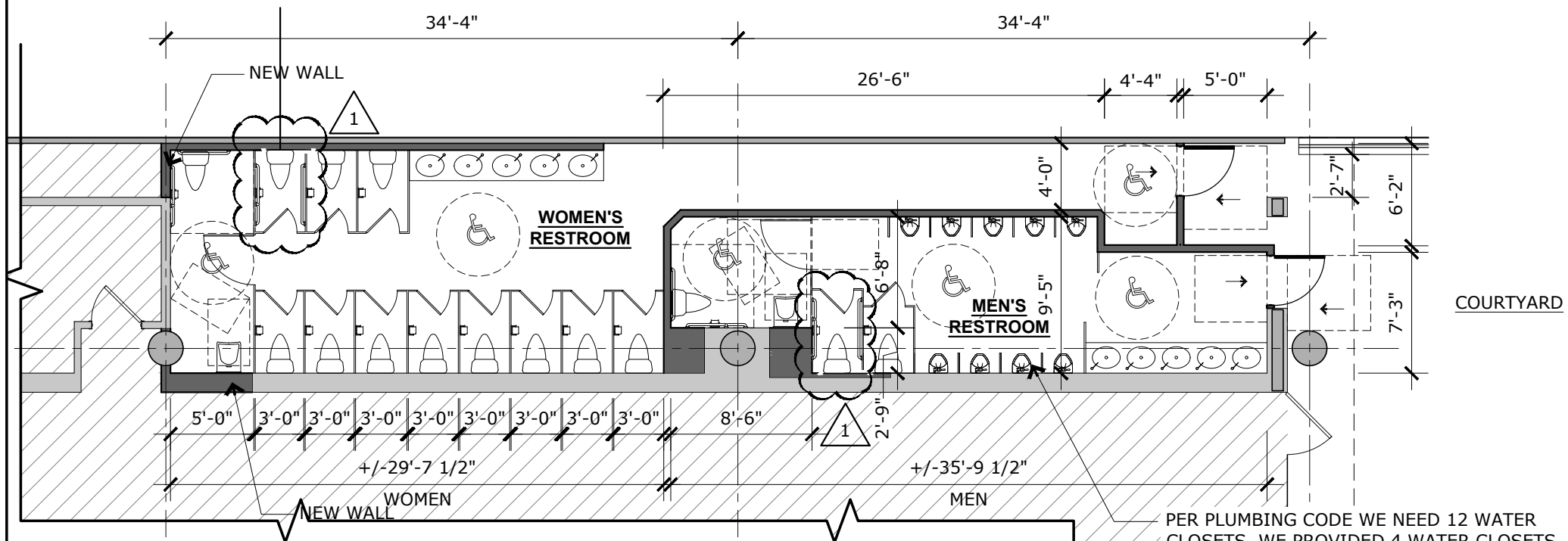


B 3RD FLOOR REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"



KEY PLAN





KEY PLAN



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DRAWN BY: SM A.B.

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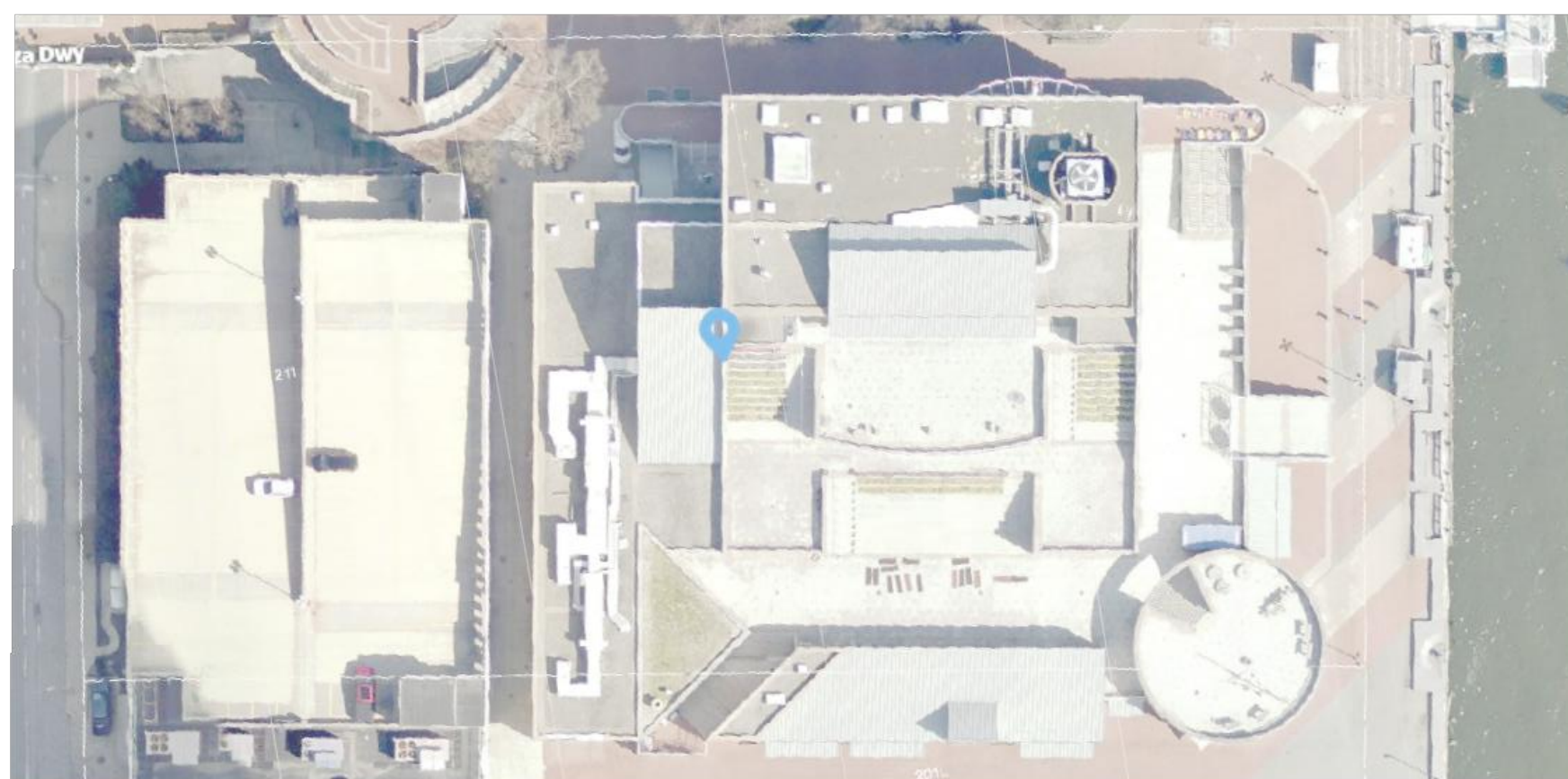
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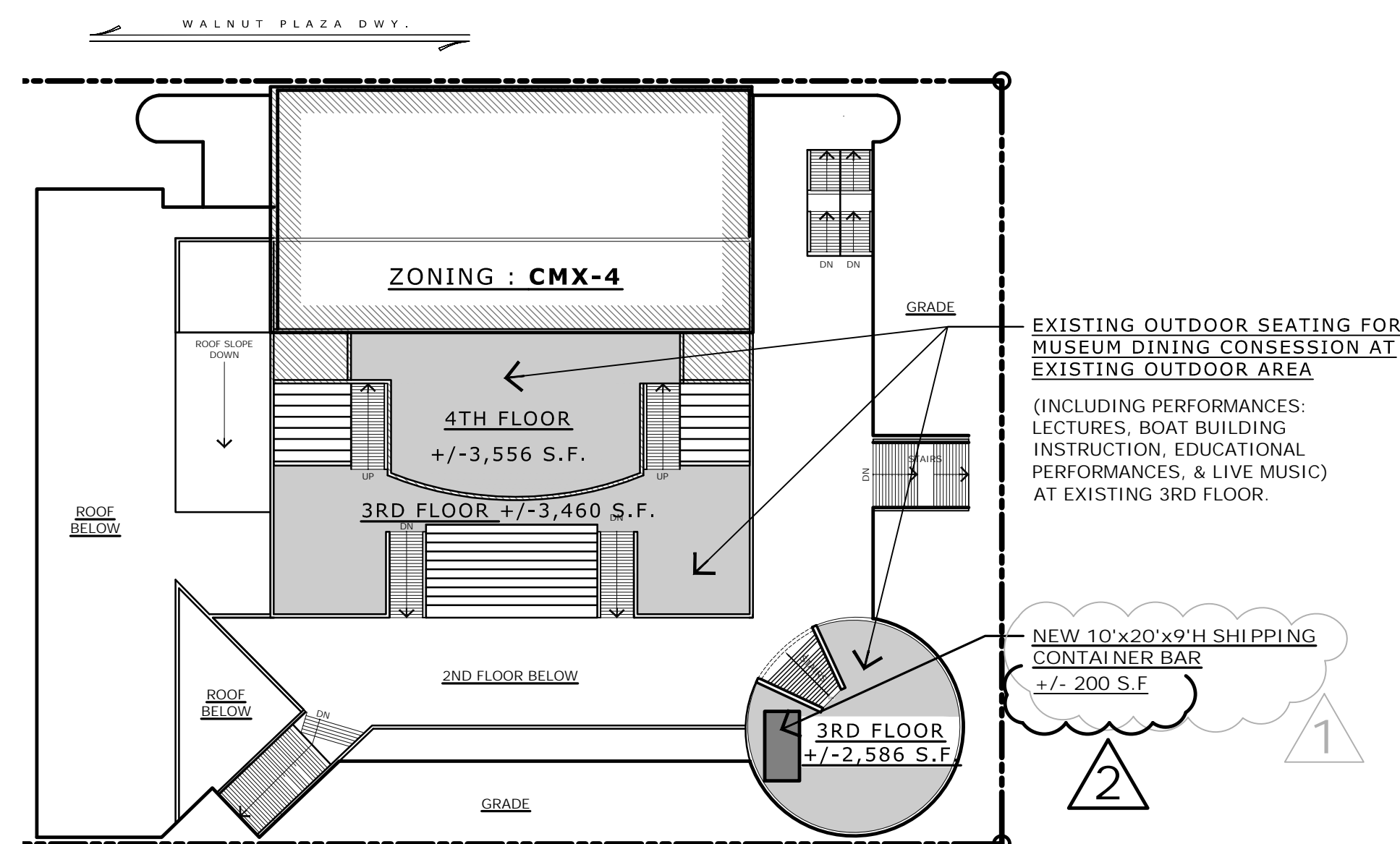




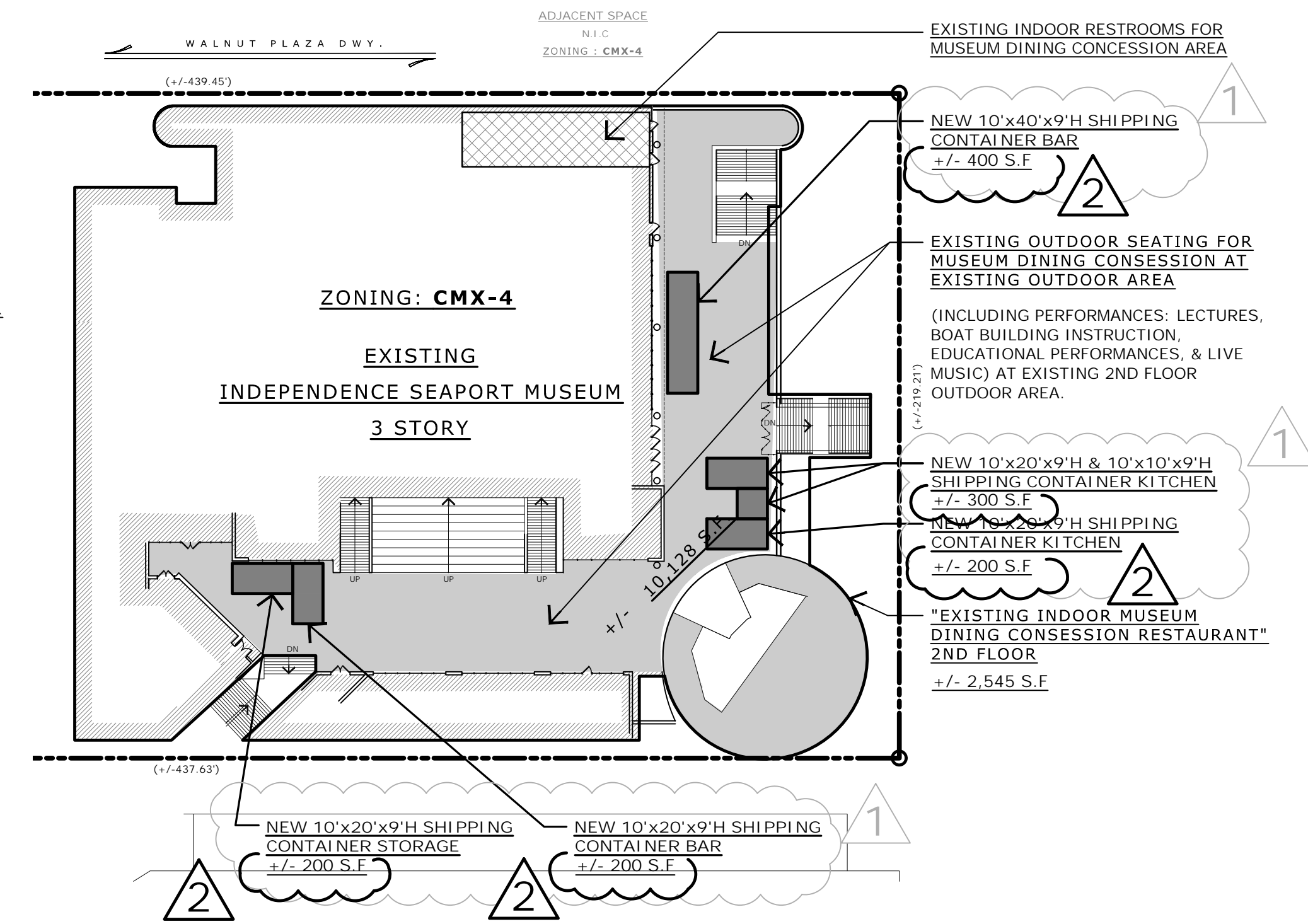
EXISTING 3D PERSPECTIVE



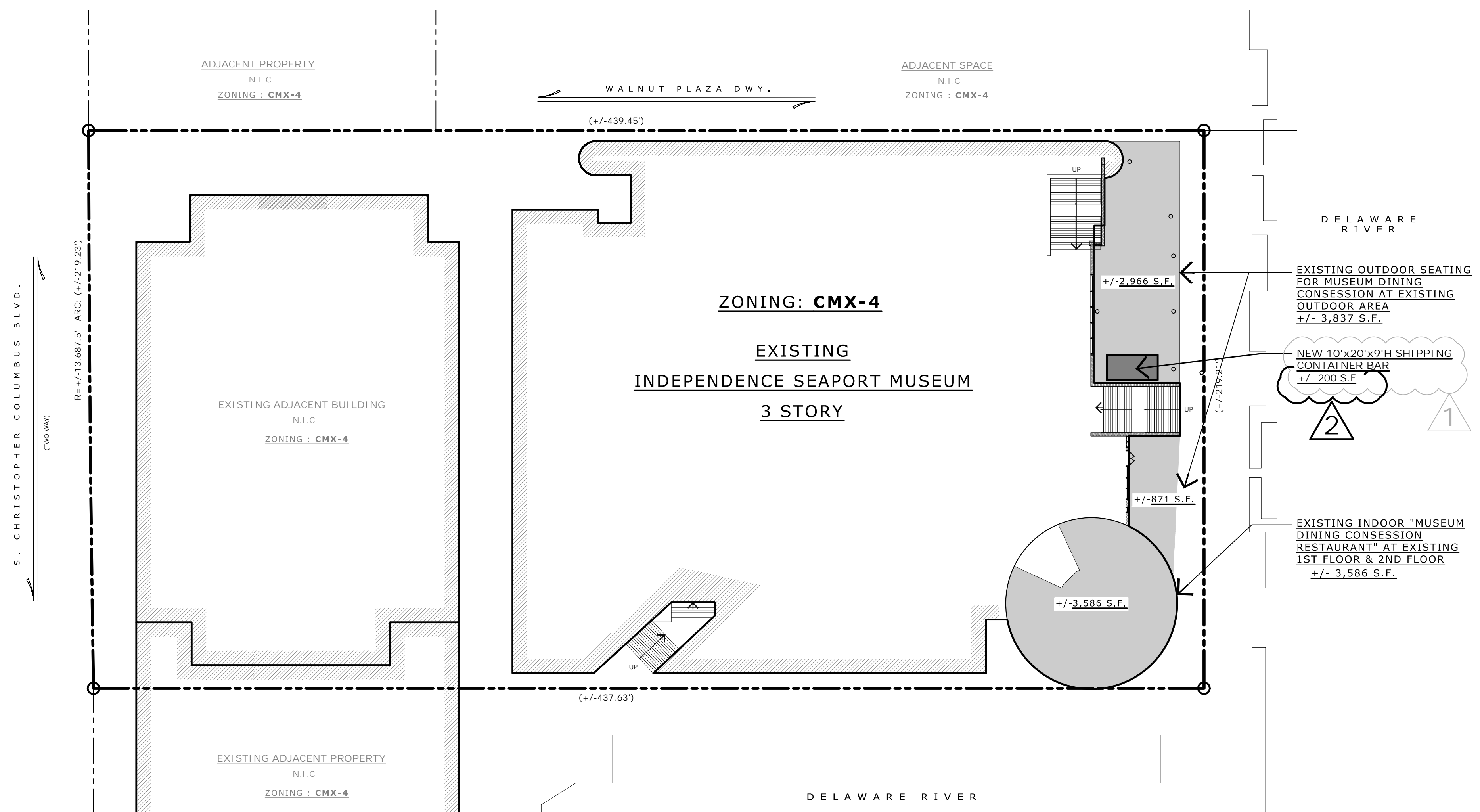
EXISTING BUILDING AERIAL



C EXISTING 3RD & 4TH FLOOR KEY PLAN
SCALE: 1" = 40'-0"



B EXISTING 2ND FLOOR KEY PLAN
SCALE: 1" = 40'-0"

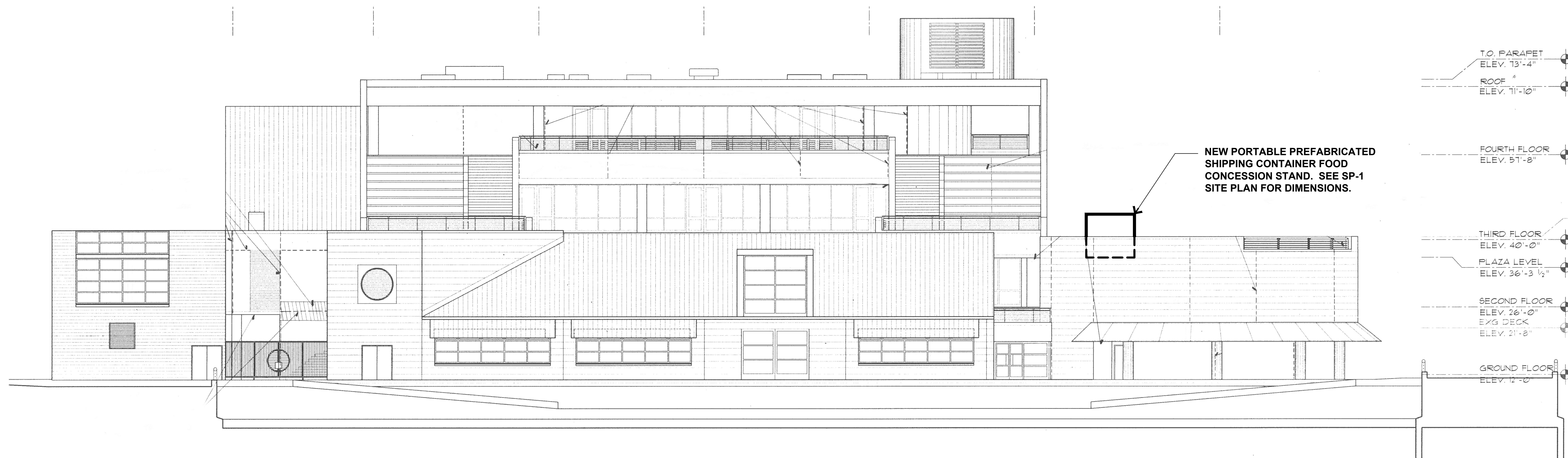


A EXISTING 1ST FLOOR KEY SITE PLAN
SCALE: 1" = 30'-0"

CORE ADVANTAGES
Quality Manufacturing

- shipping container
20ft/40ft
ISO standard
- Automatic opening and closing
Saving your time greatly
changing your life
- Accessories
Multiple choices is available
- Perfect Production Process
To provide you the best
products and services

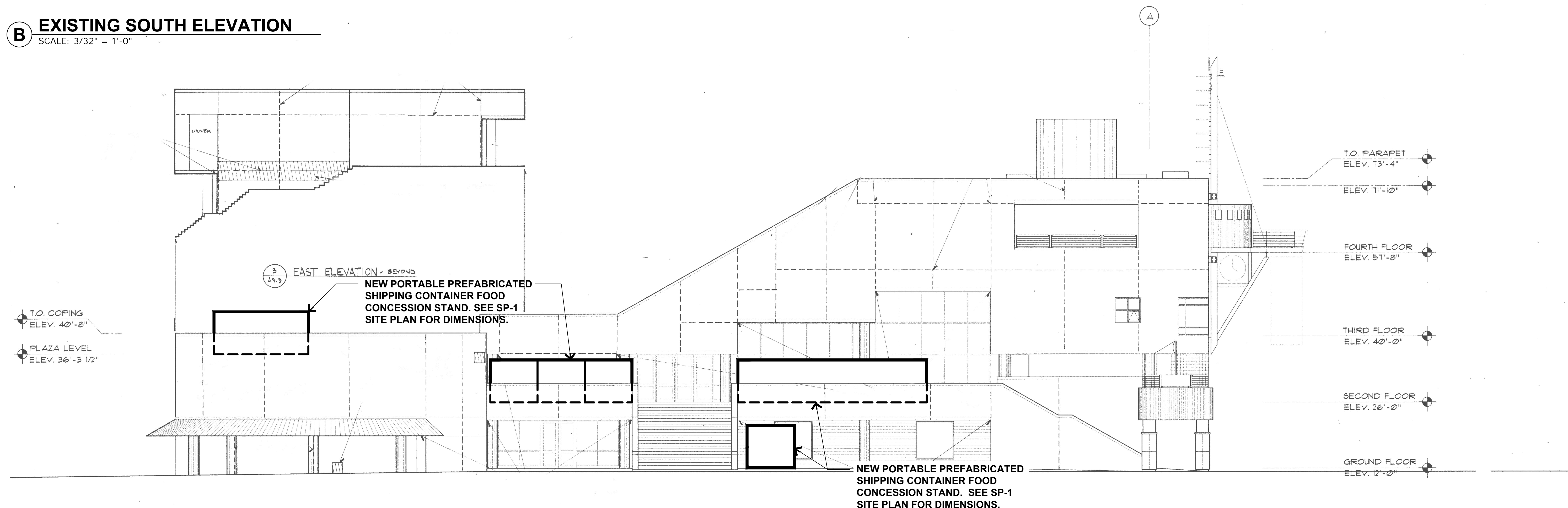
SHIPPING CONTAINER DETAILS



NEW PORTABLE PREFABRICATED
SHIPPING CONTAINER FOOD
CONCESSION STAND. SEE SP-1
SITE PLAN FOR DIMENSIONS.

B EXISTING SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



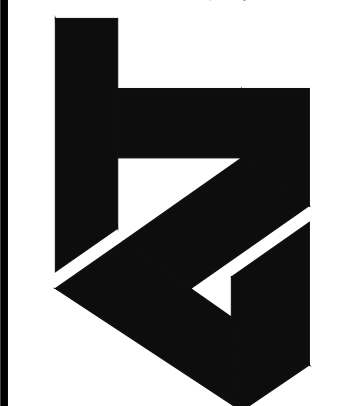
NEW PORTABLE PREFABRICATED
SHIPPING CONTAINER FOOD
CONCESSION STAND. SEE SP-1
SITE PLAN FOR DIMENSIONS.

NEW PORTABLE PREFABRICATED
SHIPPING CONTAINER FOOD
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SITE PLAN FOR DIMENSIONS.

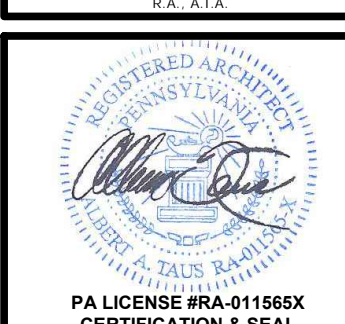
A EXISTING EAST ELEVATION

SCALE: 3/32" = 1'-0"

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PA LICENSE #RA-011555X
CERTIFICATION & SEAL

DATE

REVISION

NO.

DOCUMENTS PREPARED FOR
FCM HOSPITALITY
901 DELAWARE AVE
PHILADELPHIA PA 19123

PROPOSED PROJECT
SEAPORT MUSEUM
211 S CHRISTOPHER COLUMBUS BLVD
Philadelphia, PA 19106

SHEET

JOB #: ATA191115.20

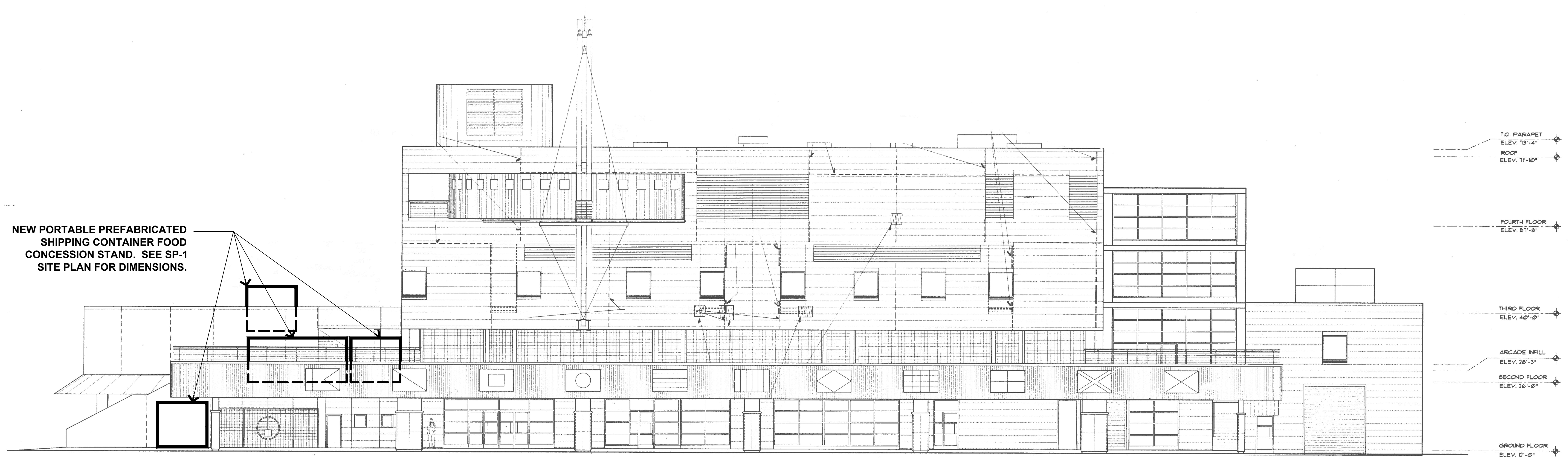
SCALE: AS NOTED

DRAWN BY: **SM** PM: **A.B.**

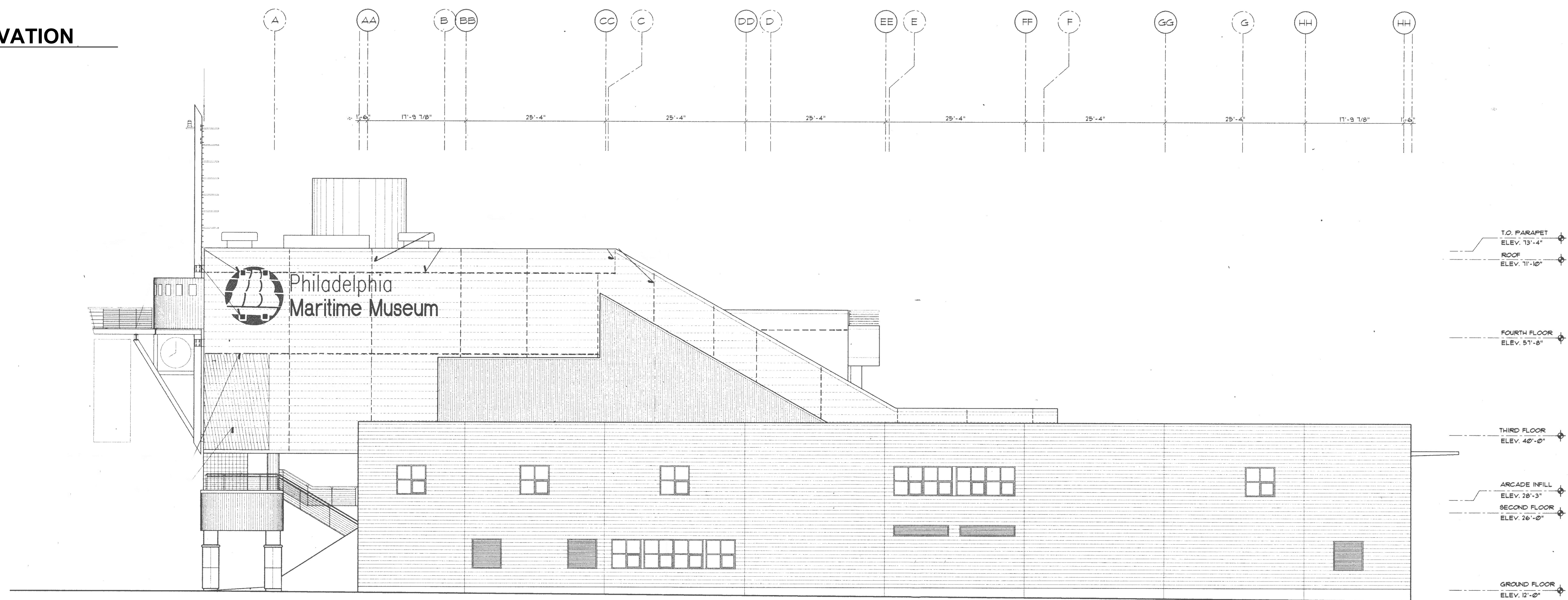
DATE: 03-02-2021

SHEET

A-2.0



B EXISTING NORTH ELEVATION
SCALE: 3/32" = 1'-0"

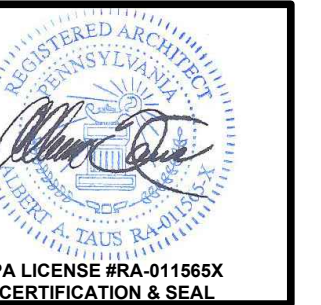


A EXISTING WEST ELEVATION
SCALE: 3/32" = 1'-0"

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SHEET	
JOB #:	ATA191115.20
SCALE:	AS NOTED
DRAWN BY:	PM: A.B.
DATE:	03-02-2021
SHEET	A-2.1