

ADDRESS: 2227 PANAMA ST

Proposal: Construct rooftop addition with deck and pilot house

Review Requested: Final Approval

Owner: Jeremy Tobacman and Jean Galbraith

Applicant: Charles Loomis

History: 1963

Individual Designation: None

District Designation: Rittenhouse-Fitler Historic District, Non-contributing, 2/8/1995

Staff Contact: Kim Chantry, kim.chantry@phila.gov

OVERVIEW: This application proposes to construct a fourth-floor addition with roof deck and pilot house on a rowhouse that was built in 1963 and is classified as non-contributing in the Rittenhouse-Fitler Historic District. The staff approved a fourth-floor addition at the adjacent property in 2019, but determined that this proposal, which includes a roof deck and pilot house as well as an addition, exceeds the staff's approval authority.

The addition, deck, and pilot house will be visible from the public right-of-way. The standard established by the Roofs Guideline, inconspicuousness, is not the standard that should be applied in this case because the property is classified as non-contributing in the historic district. The inconspicuous standard is designed to protect historic buildings that contribute to districts. Additions and roof decks can be visible on non-historic buildings and new construction without adversely affecting their surrounds. Conspicuous additions and roof decks are generally prohibited on contributing buildings because they change the spatial characteristics of the historic buildings, and therefore the viewer's perceptions and understandings of those buildings. The question in this case is whether the addition and deck would adversely impact the historic district, not the building itself, which has no historic value. Given that this building is part of a row of non-contributing buildings and is relatively short and squat compared to the historic buildings around it, adding height and mass to this building will not adversely affect its surroundings. Even with the proposed additions, it will not be as tall as the surrounding historic buildings. The character of the environment will be protected.

SCOPE OF WORK:

- Construct rooftop addition with deck and pilot house on non-contributing building.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
 - The building is not historic, so no historic materials would be destroyed with the construction of the addition and deck. The size, scale, proportions, and massing of the proposed addition and deck are compatible with the surroundings and will protect the integrity of the historic district.

STAFF RECOMMENDATION: Approval, with the staff to review details, pursuant to Standard 9.

PROJECT DESCRIPTION

PROJECT	Galbraith Tobacman Residence 2227 Panama Street Philadelphia, PA 19103
DATE	15 March 2021
RE	Review by the Architectural Committee of the Philadelphia Historical Commission

Jean Galbraith and Jeremy Tobacman wish to add a fourth bedroom to allow each of their three growing children to have their own rooms. With the increase in remote working, the two professional parents would like to add a home workspace. The family also desires more outdoor area – accomplished with a roof deck.

The proposed fourth floor addition has been configured to comply with zoning regulations without the need for variances. The stairs to the fourth floor have been placed in line with the existing stairs to place the roof access structure in the northeast corner of the property which, along with providing 7'-6" headroom, minimizes the impact on the Filter Square viewshed. Consistent with this approach, the southern face of the proposed roof deck is 9'-6" from the face of the building, rather than the 5'-0" required. Finally, rooftop mechanical equipment has been placed on the northern face of the rooftop access structure so that it is not visible from the primary ground views.

End





① LOOKING SOUTH on 23rd STREET



② LOOKING WEST on PANAMA STREET

15 March 2020 | 2227 Panama Street



③ LOOKING EAST on PANAMA STREET

Galbraith Tobacman | Charles Loomis Chariss McAfee ARCHITECTS



④ LOOKING EAST on PANAMA STREET



⑤ LOOKING EAST on PINE STREET



⑥ LOOKING EAST from FITLER SQUARE



⑦ LOOKING EAST from FITLER SQUARE

15 March 2020 | 2227 Panama Street

Galbraith Tobacman | Charles Loomis Chariss McAfee ARCHITECTS



⑧ LOOKING NORTH from PINE and 23rd STREETS



⑧ LOOKING NORTH from PINE and 23rd STREETS with PROPOSED MASSING



⑨ PANAMA STREET CONTEXT

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LEGEND

EXISTING CONSTRUCTION	
EXISTING CONSTRUCTION TO BE REMOVED	
NEW CONSTRUCTION	
DETAIL KEY	
ELEVATION KEY	
SECTION KEY	
DOOR TAG	
WINDOW TYPE	
WALL TYPE	
SMOKE DETECTOR	
CO DETECTOR	
ELEVATION MARK	

CLIMATIC and GEOGRAPHICAL DESIGN CRITERIA										
GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAY REQMNT	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
			WEATHERING	FROST LINE DEPTH	TERMITE					
25 psf	115	B	SEVERE	30 in	Moderate to Heavy	14° F	Yes	(a) 1979 (b) 11/18/15	500	55.9° F

BUILDING CLASSIFICATION

NOTE: FOURTH FLOOR ADDITION REQUIRES IBC COMPLIANCE PATHWAY

CODE: _____ IBC 2018
IEBC 2018
IECC 2018

USE GROUP: _____ R-3, Single family dwelling

CONSTRUCTION TYPE: _____ TYPE V A, Protected Residence to receive a sprinkler system in accordance with NFPA S13R allowing the maximum number of stories to be increased by one per 504.4.

FIRE RESISTANCE RATINGS:

STRUCTURAL FRAME: _____ 1 hour

EXTERIOR WALLS:

LOAD BEARING:

Fire Separation 0'-0" to 5'-0" _____ 1 hour, exposure both sides

Fire Separation 5'-0" to 10'-0" _____ 1 hour

Fire Separation greater than 10'-0" _____ 0 hour

NON-LOAD BEARING:

Fire Separation 0'-0" to 5'-0" _____ 1 hour

Fire Separation 5'-0" to 10'-0" _____ 1 hour

Fire Separation greater than 10'-0" _____ 0 hour

INTERIOR WALLS:

Non-Load Bearing _____ 0 hour

Floor/Roof _____ 0 hour

NO CHANGE IN USE OR OCCUPANCY

GENERAL NOTES

- Contractors and Subcontractors, by submitting their bids, represent that they have visited the residence and have familiarized themselves with the conditions under which the work is to be performed.
- Contractors examinations shall include correlation between existing conditions and requirements of the Construction Documents, as well as coordination necessary between adjacent work.
- DO NOT SCALE THE DRAWINGS. Unless otherwise noted, given dimensions are from the face of drywall to the face of drywall or finished openings. Contractor shall field verify all dimensions and the relation of the new work to the existing and report any discrepancies to the Architect. All dimensional discrepancies shall be resolved with the Architect prior to the work commencing on that item. Any changes that the Architect may deem necessary to work done without such resolution shall be done at no additional cost to the Owner.
- Verify the location of existing beams and columns, and other framing members. The Contractor shall exercise caution during demolition and construction so as not to damage or alter existing structural members.
- Substitutions for specified items must be submitted to the Architect and approved by the Architect and Owner in writing.
- The Architect shall not have control or charge of, and shall not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the Contractor, sub-contractors, or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the Contract Documents.

DIVISION 1 - GENERAL REQUIREMENTS

DESCRIPTION OF THE PROJECT:
The existing three story residential masonry and wood frame structure is to be expanded with a fourth floor addition. Third floor hall will be reconfigured to accommodate a new stair. Existing masonry party walls and exterior walls will remain. Existing plumbing, and electrical services will be expanded. A new HVAC system will be provided to serve the fourth floor. A new sprinkle system serving the entire strucutre will be installed.

CONTRACT: The anticipated Construction Contract is AIA Document A105 – 2017: Standard Short Form of Agreement between Owner and Contractor.

PERMITS AND CODES: The Contractor shall secure and pay for all required permits, inspections and approvals. All work shall be done in accordance with and conformance to the building codes, ordinances, and regulations of the authorities having jurisdiction. The Contractor shall notify the Architect of any work which in his opinion does not comply with applicable rules, regulations, laws and ordinances so that adjustments may be made prior to executing the Agreement.

PAYMENTS: The Owner shall make progress payments to the Contractor each month or at intervals as shall be determined at the signing of the Agreement.

The Application for payment shall contain the schedule of values which shall include the percentages of each portion of the work completed in the payment period.

GUARANTEE: Unless otherwise expressly provided in any of the Contract Documents, the Contractor fully guarantees all work and the performance thereof, for a period of one year following the date of final acceptance by the Owner, against all defects and failures occurring or discovered in materials, workmanship, apparatus, equipment or installations and against all failures of anything provided by the Contractor (whether directly or by a Subcontractor) to function, operate or properly perform as intended. All guarantees and warranties that extend beyond this date shall also apply.

PROTECTION OF PROPERTY: The Contractor and all persons working on the job shall take care to protect all features of the existing property and adjacent properties. The Contractor shall exercise caution during demolition and construction so as not to alter existing structural members or to disturb existing adjacent work.

Weather Protection:
The Contractor shall at all times provide protection against weather, rain, wind, storms, frost or heat so as to maintain all work, materials, apparatus, and fixtures free from injury or damage.
Damage:
Any new and existing work damaged by failure to provide protection required or for any other reason, shall be repaired or removed and replaced with new work at the Contractor's expense. Any damage to Owner's or adjacent properties shall be repaired or replaced at Contractor's expense.

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DIVISION 1 - GENERAL REQUIREMENTS (continued)

CLEANING UP: The Contractor shall present the work to the Owner for final acceptance clean and ready to use. All glass shall be cleaned and polished, floors swept broom clean, and fixtures washed with all labels removed.

CUTTING AND PATCHING: Contractor shall do all necessary cutting and patching. The new work shall be properly integrated with the existing to insure a matched and integrated appearance.

DISPOSAL: Remove all rubble and debris from the site on a weekly basis. Contractor shall be responsible for the removal and disposal of all demolition waste in accordance with all applicable laws and regulations.

SHOP DRAWINGS: Shop drawings, data sheets, brochures and/or descriptive pictures are required for all items of construction or equipment fabricated, cut, shaped or assembled in part or in whole before delivery to the site. Submit two copies for the Architect to review prior to fabrication.

PROJECT START UP: Before the commencement of work the Contractor shall administer a kick-off meeting to review and coordinate schedule, contract protocol, the location of laydown space, and the need for any special protection.

SCHEDULE, COORDINATION and ADMINISTRATION: The Contractor shall prepare a construction schedule. It shall be of a type and form as the Contractor shall elect, so long as the Architect and Owner are convinced of its competency as a control method. The Contractor is not required but is strongly encouraged to use the critical path method for both planning and scheduling the work, with a network diagram adequate for the job, posted at the job site, and updated periodically as changes occur.

DIVISION 2 - SITE WORK

DEMOLITION : Remove all work as indicated on the drawings. Salvage items indicated on the drawings or as directed by the Owner for re-use. If not readily available in matching profiles, salvage standing and running trim for re-use. Properly dispose of all other fixtures, fittings, and debris.

DIVISION 3 - CONCRETE

NONE REQUIRED

DIVISION 4 - MASONRY

NONE REQUIRED

DIVISION 5 - STRUCTURAL STEEL

NONE REQUIRED

DIVISION 6 - WOOD AND PLASTICS

WOOD MATERIALS: All wood throughout the work shall be thoroughly kiln dried or properly seasoned; moisture content of finished woodwork shall not exceed 12%; rough woodwork 19% unless otherwise noted. All wood shall be free from rot, sap, splits, pitch pockets or other imperfections that will impair its strength or durability and its appearance if exposed.

All wood for structural framing shall be stress-graded, surface dry Hem-Fir (North) No.2 or better. Grading shall be as per "The National Design Specifications for Wood Construction," latest edition by the American Forest & Paper Association (AFPA). Standard Grade may be used for 2x4's in interior stud wall construction.

Provide 2x or metal cross-bridging not over 8'-0" on center for all wood joists and solid blocking between joists or a band joist at supports.

Provide solid blocking under all posts or multiple studs within the floor framing (see plan for locations).

Timber connectors to be as manufactured by the Simpson Strong-Tie Company, Inc. Connectors by other manufacturers may be used if they have I.C.B.O. approval and their load capacity is equal to or greater than the connector specified. Install connector in accordance with the manufacturer's instructions.

All Micro-Lam and Parallam girders designated ML and PL on plan, to be micro-lam and parallam girders as manufactured by TrusJoist MacMillan.

Plywood shall be American Plywood Association (APA) exterior C-D and shall conform to APA standard PS1-74. Place panels with 8'-0" dimension perpendicular to span of framing member and end joints staggered. Attach to framing with 10d ("penny") nails spaced at 12" along panel edges and interior supports.

Fasten all joists to supports with framing anchors, unless otherwise noted. Fasten all double members together with 12d ("penny") nails at 16" centers top and bottom. Fasten all other multiple members together with 1/2" diameter through bolts at 16" centers top and bottom (staggered), unless noted otherwise.

Plywood Sheathing:
Plywood sheathing shall be APA grade stamped for specific span, shall be C/D made with exterior glue and shall be of the following thickness:
Roof 3/4"
Walls 5/8"
Floor 3/4" T&G plywood subfloor unless otherwise noted.

All plywood shall be glued and screwed to framing using APA approved elastomeric construction adhesive (B.F. Goodrich PL400 or approved equal).

Finish Wood:
Soft wood for paint finish shall be northern white pine, ponderosa pine or other smooth, clear stock, unless otherwise noted.

PRESERVATIVE TREATMENT: All sub-framing, sole plates, roof nailers, cant strips and other wood blocking or furring that is subject to dampness, or is in contact with masonry or concrete shall be pressure treated lumber.

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Drawings, as instruments of services, are and shall remain the property of the Architect, whether the project for which they are made is executed or not. The Drawings shall not be used by the Owner for other projects, for additions to this project, or for the completion of this project by others, except by agreement in writing and with appropriate compensation to the Architect.

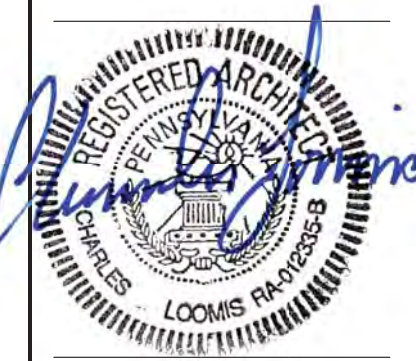
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GALBRAITH TOBACMAN

RESIDENCE

2227 PANAMA STREET
PHILADELPHIA PA 19103



CS1

DIVISION 6 - WOOD AND PLASTICS (continued)

ROUGH CARPENTRY: All wood framing shall conform to the IRC One and Two Family Dwelling Code, current edition. Unless otherwise noted, Interior walls are to be 2 x 4s @ 16" oc and exterior walls 2 x 6s @ 16" oc. All rafters and joists shall align directly with studs below. Unless otherwise noted, provide (2) 2 x 10 headers at all load bearing interior and exterior openings and (2) 2 x 4 headers at non-load bearing openings. Provide solid blocking at framing above beams. Provide cross bridging at a maximum 8'-0" o.c. for all joists. Provide Simpson light gauge metal connectors, or approved equal, for all flush framing conditions.

Provide miscellaneous nailers blocking, fillers, etc. as drawn or required. Furnish all required built-in anchorage as required by other trades. FINISH CARPENTRY: All finish carpentry shall be neatly, properly installed in quality workmanship-like manner; all joints mitered, coped, scribed and fitted, free of warp and twist. Work from field measurements.

RUNNING AND STANDING TRIM: Unless otherwise noted or detailed, all new running and standing trim shall match existing. At Contractor's option, re-use existing salvaged trim. Sand and prepare salvaged trim as required for new paint finish. Back-paint all standing and running trim.

- CASEWORK:
- Field verify all dimensions and equipment locations prior to fabrication.
 - Casework for opaque finish shall comply with "Architectural Woodwork Quality Standards" published by The Architectural Woodwork Institute, Sections 400 and 400A.
 - Cabinets shall be AWI Custom Grade, Flush Overlay. Exposed parts to be painted unless noted otherwise. Exposed interior surfaces (including shelves) to be maple veneer; semi-exposed surfaces to be maple. Edge profile: square-edge with 1/8" applied maple band. Toe kick to be shop painted, color: black.
 - Wood Veneer Cabinet shall be AWI Premium Grade. Exposed parts to be quarter sawn white oak. Exposed interior surfaces to be ash veneer; semi-exposed surfaces to me white oak. Edge profile: square-edge with thick applied white oak band. Toe kick to be shop painted, color: black.
 - Finishes:
Casework for opaque finish: Shop applied paint with clear coat to match architect's sample.
Submit finish samples for approval.
 - Hardware:
Drawer Guides - Full extension heavy-duty undermount. Accuride or approved equal.
Hinges - Concealed, cup hinges. Grass or approved equal.
Pulls - To be determined. Provide \$8.00 allowance per knob/pull as indicated on the drawings.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

ROOF: Install modified bitumen roofing membrane, CertainTeed Flintlastic SA, Mineral Surface (1 ply SA Plybase, 1 ply SA Midply, 1 ply SA Cap Coolstar {Energy Star}; 20 year warranty), or approved equal. Base flashing shall be installed at all terminations and membrane penetrations. Provide aluminum drip edges.

ROOF: 11" Dutch Seam without stiffeningribs standing seam roof by ATAS International. Color to be selected from manufacturers standard color range.

FLASHING & TRIM: Shall comply with SMACNA "Architectural Sheet Metal Manual" current addition. Anchor units of work securely in place by methods indicated, providing for thermal expansion of metal units; conceal fasteners where possible, and set units true to line and level. Install work with laps, joints, and seams which will be permanently water tight and weather proof.

Provide highest quality gauge and gauge commensurate with reference standards. Turn all exposed edges back 13mm (1/2"), UON.

Form all sheet metal accurately and to the dimensions and shapes required, finishing all molded and broken surfaces with true, sharp and straight lines and angles.

Form all sheet metal accurately and to the dimensions and shapes required, finishing all molded and broken surfaces with true, sharp and straight lines and angles.

ROOFING SPECIALTIES & ACCESSORIES:
General: Comply with Manufacturer's instructions and recommendations. Coordinate with installation of roof deck and other substrates to receive accessory units, vapor barriers, roof insulation, roofing and flashing as required to ensure that each element of the work performs properly, and that combined elements are waterproof and weathertight. Anchor units securely to supporting structural substrates, adequate to withstand lateral and thermal stresses as well as inward and outward loading pressures.

Install roof accessory items in accordance with construction detail of "NRCA Roofing and Waterproofing Manual", U.N.O.

INSULATION:
Batt
Insulate new exterior walls with R21 Smartbatt insulation. Existing exterior walls and exposed cavities of existing exterior wall to receive mineral wool insulation at maximum R-value.

Insulate new roof construction with R38 below the deck and 3" XPS R18 above the deck. Exposed roof construction with maximum R-value batt insulation while maintaining minimum 1" space below roof sheathing.

Blown-In:
All-Borate High Density Cellulose insulation 770 by GreenFiber or approved equal.

SOUND ATTENUATION INSULATION:
Rock Wool mineral fiber insulation or APPROVED EQUAL, in all BATH and PDR walls, floors and ceilings.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

AIR BARRIER
At addition, install continuous air barrier. See details.
Testing: Blower door test shall be performed on addition to verify the building envelope air leakage rate does not exceed 5.0 air changes per hour at 50 Pascals.

INSPECTIONS: Air barrier and insulation shall be inspected.

DIVISION 8 - DOORS & WINDOWS

See A4.1

DIVISION 9 - FINISHES

GYPSUM WALL BOARD:
5/8" gypsum wall board, glue and screw, LEVEL 4 finish. Install water resistant gypsum wallboard at bathrooms, unless otherwise noted.

PAINT:
Prepare and paint all new work, both interior and exterior as indicated below. Paint all exterior surfaces as indicated. Exterior and interior paint to be Benjamin Moore. All colors to be selected by Architect and Owner.

Existing Exterior Surfaces:
Existing wood surfaces must be free of grease and oil. Scrape and sand as required to reveal sound substrate or/and to remove mill glaze. Countersink and fill all nails or screws. Prime, and apply two coats of finished paint. Paint vehicle to be appropriate for existing finish. Gloss level of paint to match following schedule.

New and Existing Exterior wood:
One coat Fresh Start All-Purpose Latex Primer (023)
Two coats Aura Waterborne Exterior Paint Semi-Gloss Finish (632)
Exterior Ferrous Metals - New
One coat IronClad Alkyd Low Lustre Metal and Wood Enamel (C163)
Two coats Super Spe HP DTM Alkyd Semi-Gloss (P24)
Interior Ferrous Metals - New
One coat IronClad Alkyd Low Lustre Metal and Wood Enamel (C163)
Two coats Advance Waterborne Interior Alkyd Semi-Gloss Finish (793)
New Interior Drywall
One coat Fresh Start All-Purpose Latex Primer (023)
Two coats Aura Waterborne Interior Paint Matte Finish (522)
New Interior Drywall (Wet Areas):
One coat Fresh Start Multi-Purpose Latex Primer (023)
Two coats Aura Waterborne Interior Paint Eggshell Finish #524
New Interior wood
One coat Fresh Start All-Purpose Latex Primer (023)
Two coats Aura Waterborne Interior Paint Semi-Gloss Finish (528)
Back prime new interior trim.

TILE and STONE:
See plans and interior elevation sheets for materials. Before installing ceramic tile or stone, meet with the Architect on site to verify room centerline and tile and stone layout.

NEW WOOD FLOOR:
Carlisle or Approved Equal 5" unfinished select heart pine, tongue-and-groove wood flooring. Stain to be determined; amber satin finish. Provide all thresholds/transitions as required. Provide material and finish sample prior to order.
Conditioning: Do not proceed with installation of wood flooring until spaces have been enclosed and are at the approximate humidity condition planned for occupancy. Condition wood for 5 days prior to start of installation.
Finishing: Machine sand unfinished flooring to remove all non-level conditions which would be visually noticeable after finishing. Apply wood filler as required. Apply water based urethane finish (Street Shoe, or approved equal), including primer coat, in accordance with manufacturer's instructions

EXISTING WOOD FLOOR:
Screen and re-finish as indicated above.

DIVISION 10 - SPECIALTIES

NONE REQUIRED

DIVISION 11 - EQUIPMENT

See Mechanical and Electrical Notes

DIVISION 12 - FURNISHINGS

NONE REQUIRED

DIVISION 13 - SPECIAL CONSTRUCTION

NONE REQUIRED

DIVISION 14 - CONVEYING SYSTEMS

NONE REQUIRED

DIVISION 15 - MECHANICAL

PLUMBING: Contractor to design and install new supply and waste piping system. New supply piping to be copper. Provide cushioned pipe straps. Insulate any and all piping located in or near an exterior wall with 1/2" thick, 4 pfc density, fiberglass sectional pipe insulation with vapor retarder. See WATER HEATER for insulation on service water piping.

New sanitary piping to be cast iron. Insulate cavity in which sanitary piping runs.

Provide separate shutoff for each bathroom group in location approved by owner. Plumbing supply system shall be configured to allow entire system to be drained.

All sinks shall have minimum 17 gauge traps with clean-out plugs and wall escutcheons, chrome plated, unless otherwise noted.

FIXTURES/FITTINGS: TBD.

- HVAC: Contractor to design and build a new system:
- Provide Central Ducted Split System Heat Pump greater than or equal to 14 SEER/ greater than or equal to 11 EE. System to serve basement and first floor
 - Provide new programable thermostats with wi-fi capability. Equipment, duct runs, and system locations shall be approved by the Architect before ordering or installation. Contractor to provide equipment cut sheets.
 - All duct work shall be rigid. Duct runs outside the thermal envelope shall be insulated to a minimum of R8 where 3" in diameter or greater and R6 where less than 3" in diameter.
 - Duct sealing: Ducts, air handlers and filter boxes shall be sealed.
 - Duct Testing: Ducts shall be pressure tested to determine air leakage.

VENTILATION: Provide and install rigid metal ductwork for bathroom exhaust. Provide and install through the roof shrouds, registers, fans and controls.

DIVISION 16 - ELECTRICAL

ELECTRICAL: Contractor to design and install new electrical distribution system for addition. See Electircal drawings for fixture type, location and switching.
Not less that 75 percent of lamps in permanently installed lighting fixtures shall be high-efficacy.

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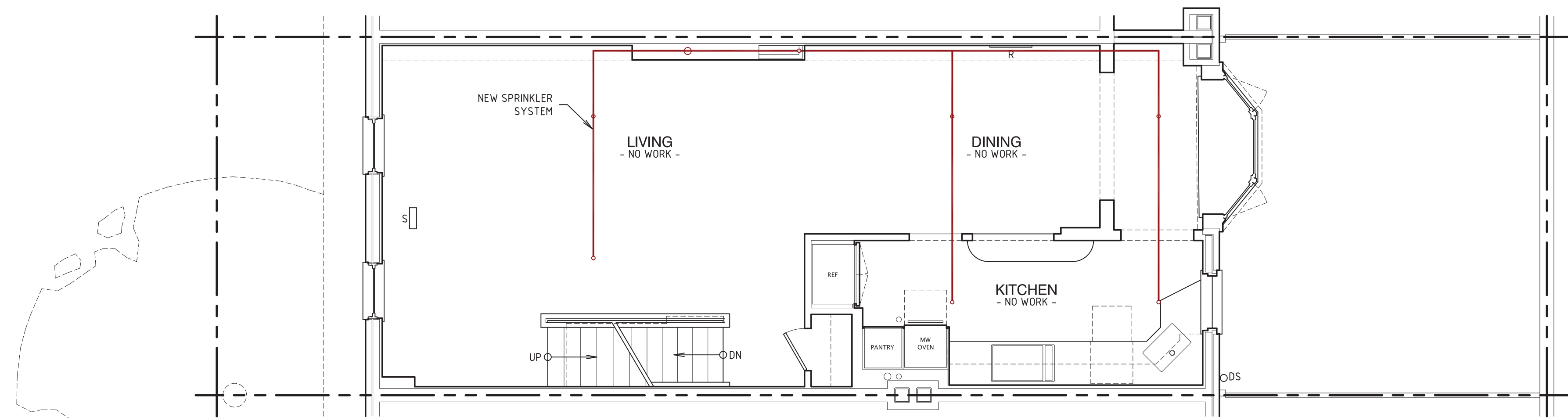
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GENERAL NOTES

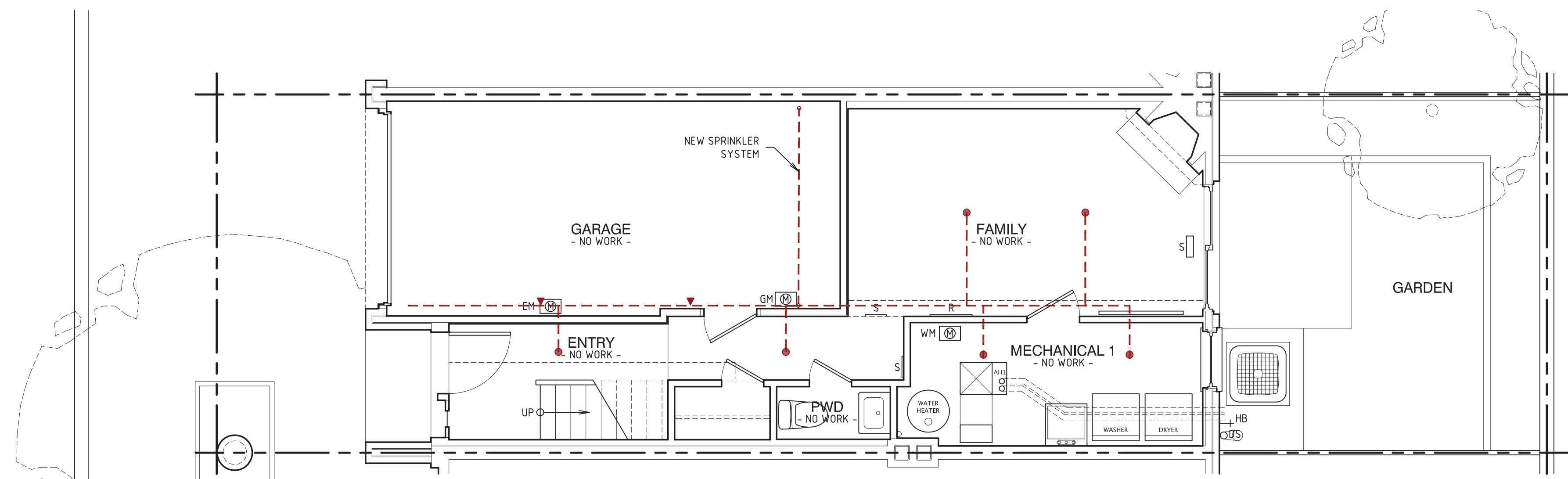
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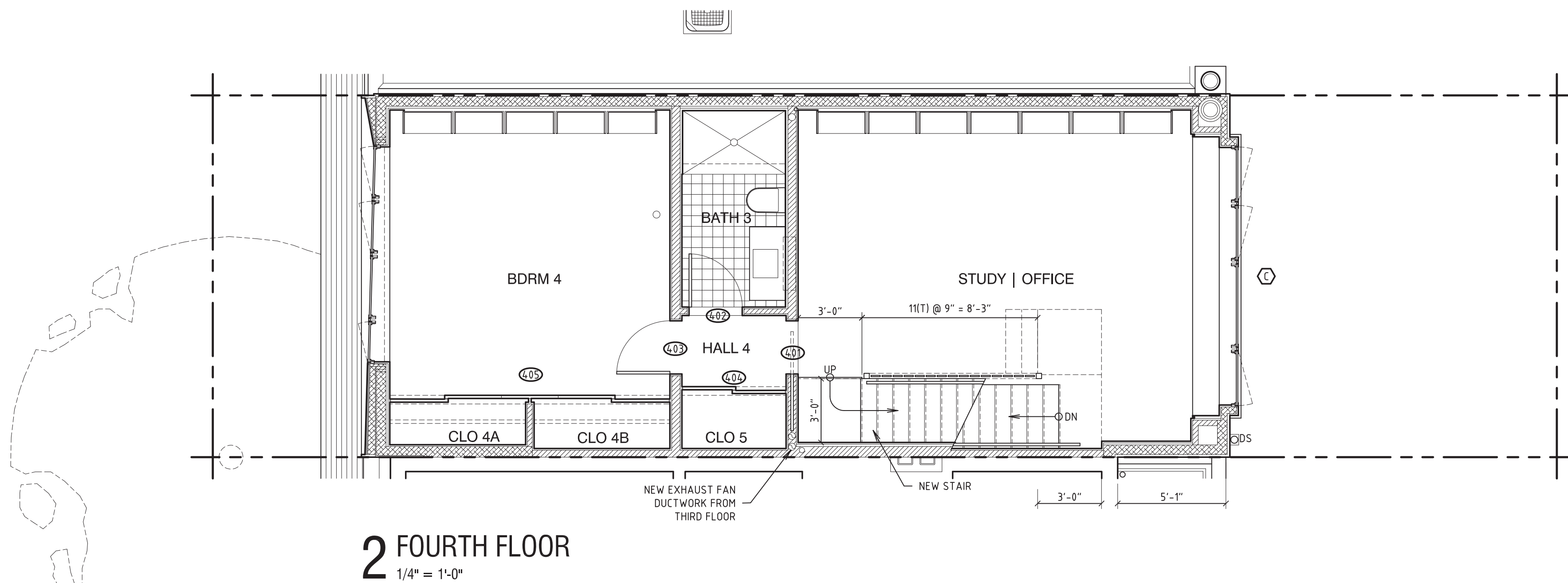
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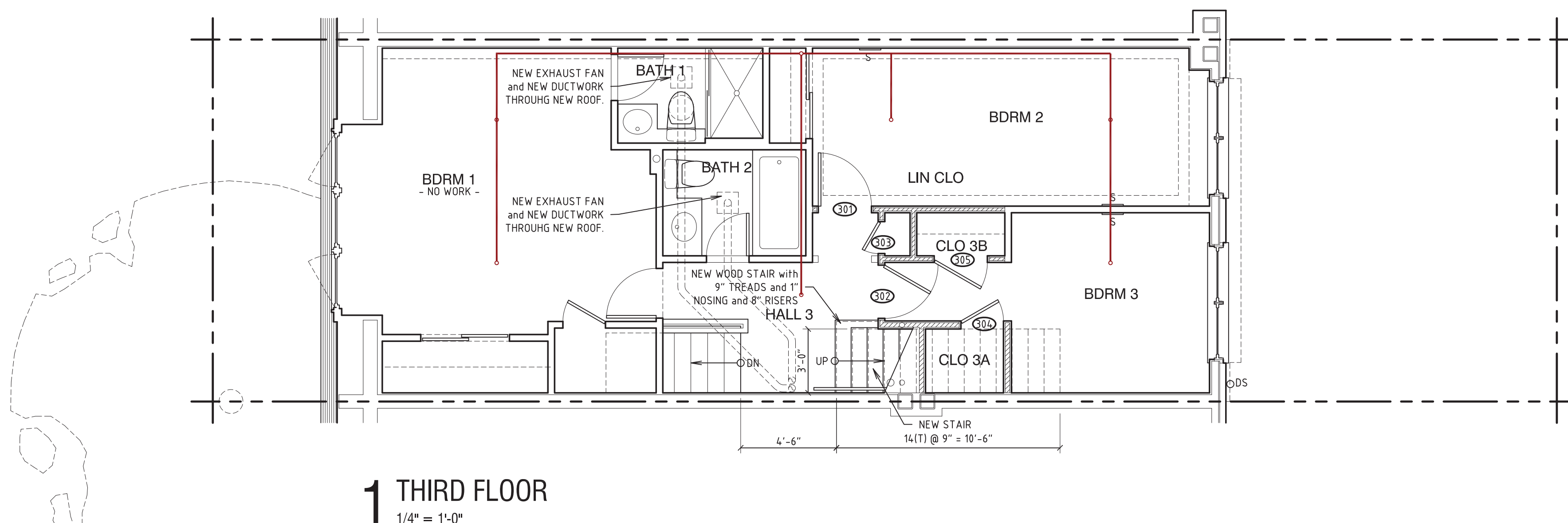
2 SECOND FLOOR
1/4" = 1'-0"



1 GROUND FLOOR
1/4" = 1'-0"



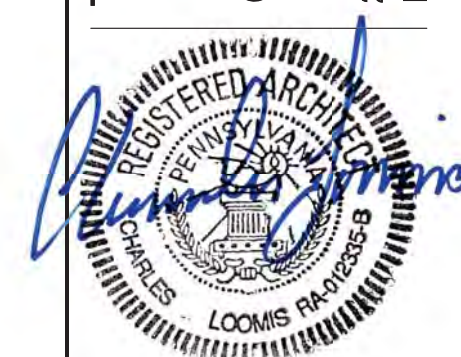
2 FOURTH FLOOR
1/4" = 1'-0"



1 THIRD FLOOR
1/4" = 1'-0"

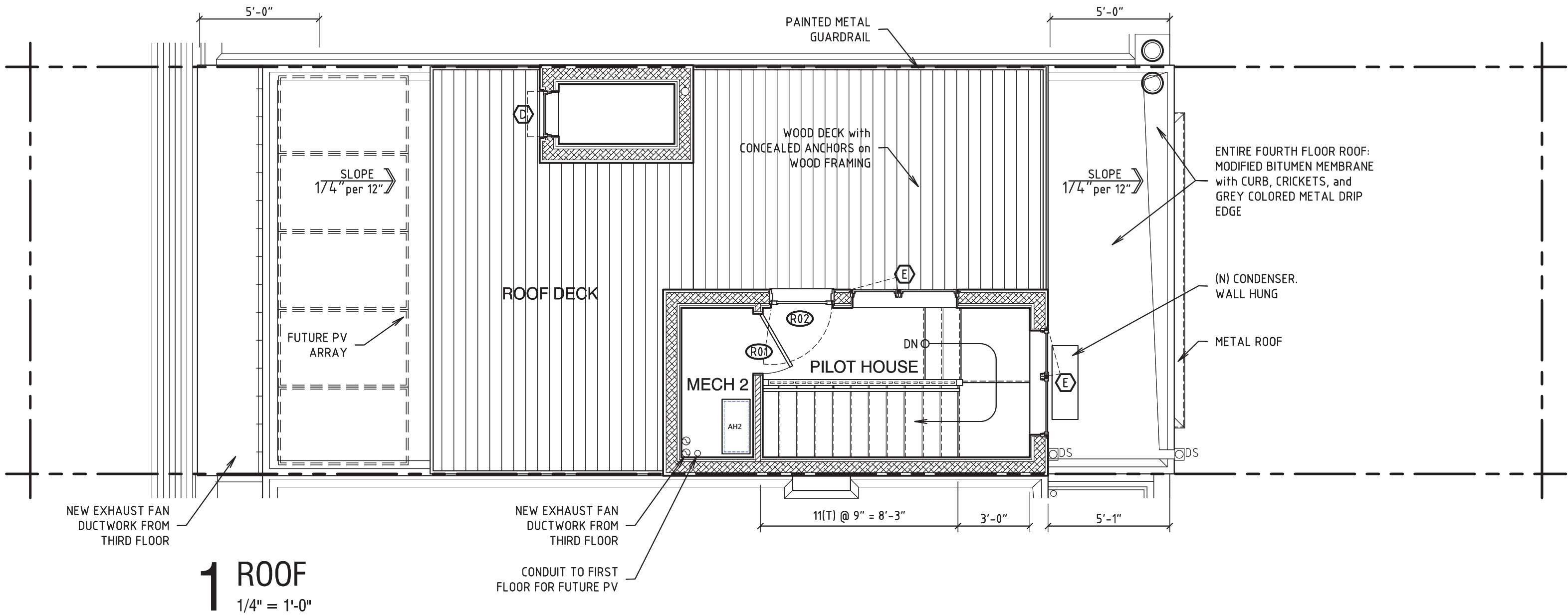
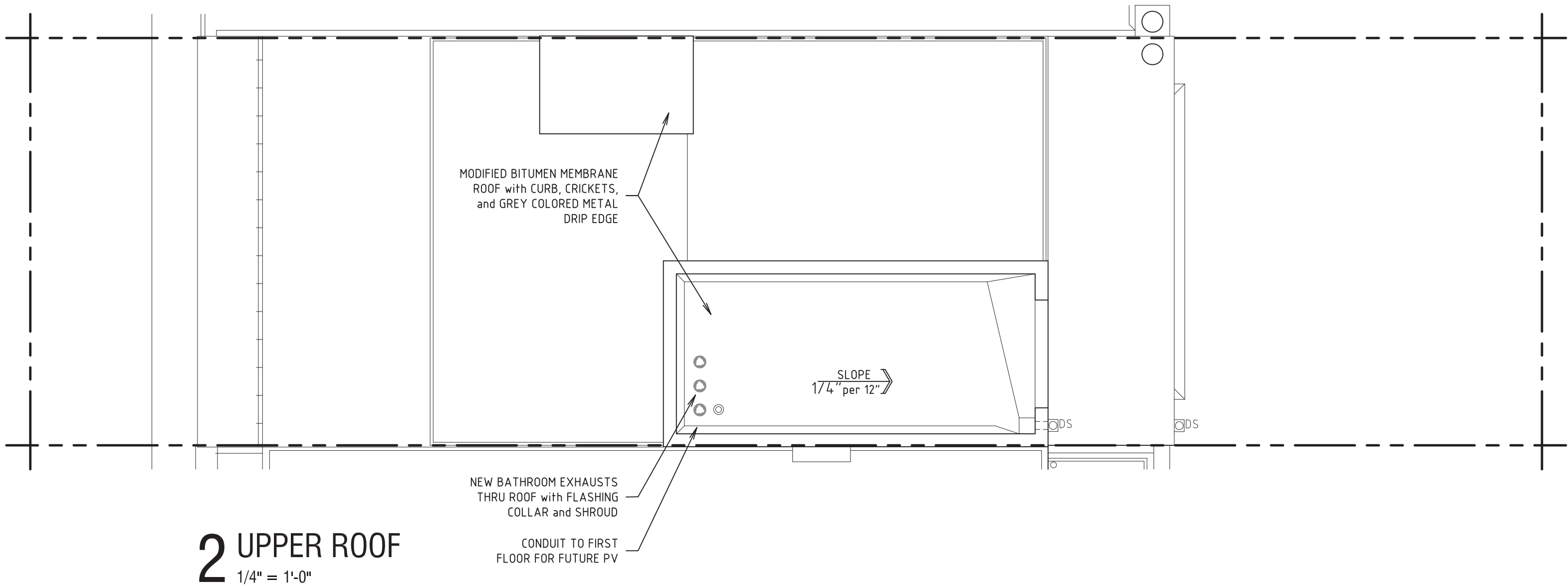
THIRD and FOURTH FLOOR PLANS

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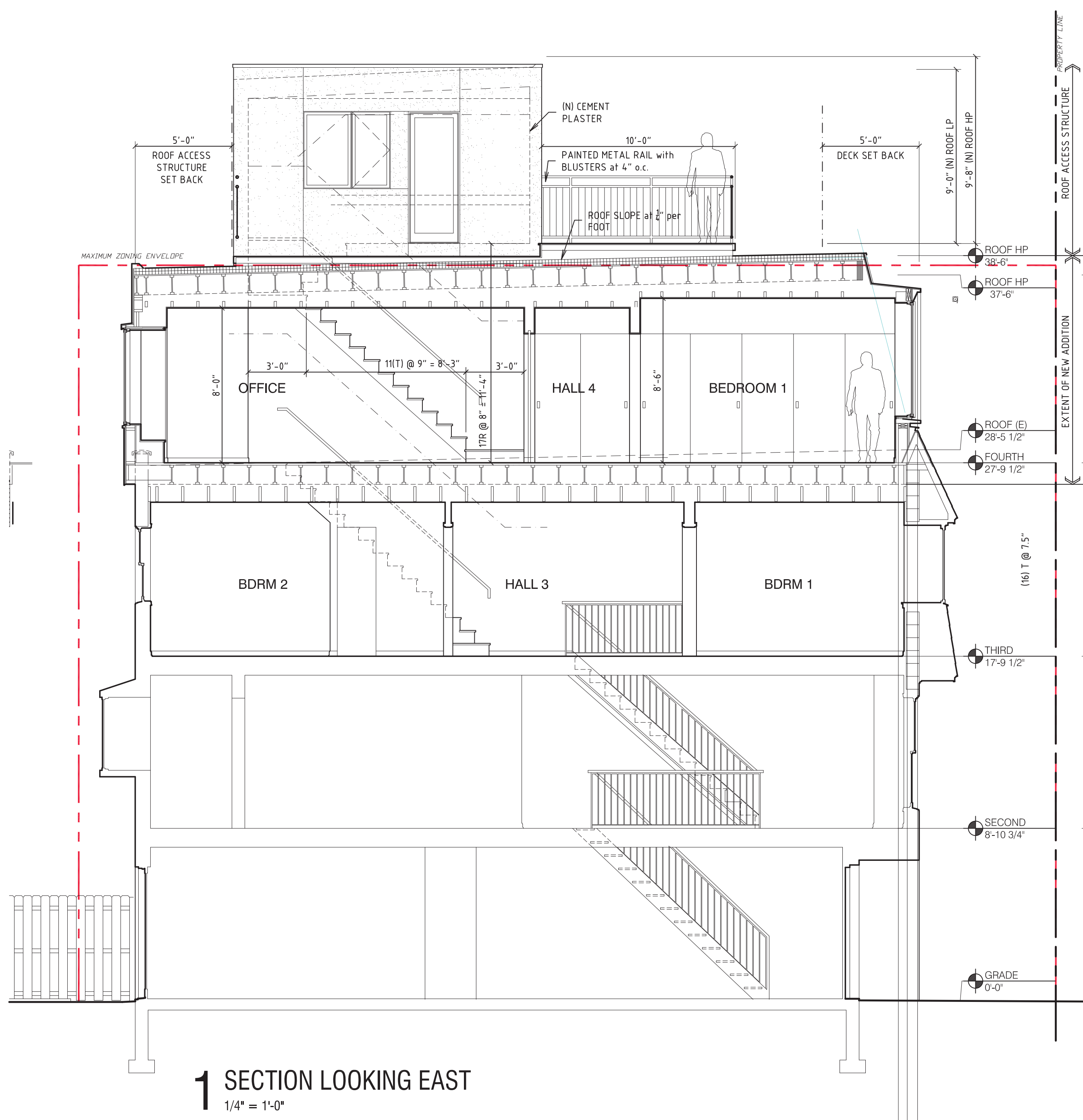
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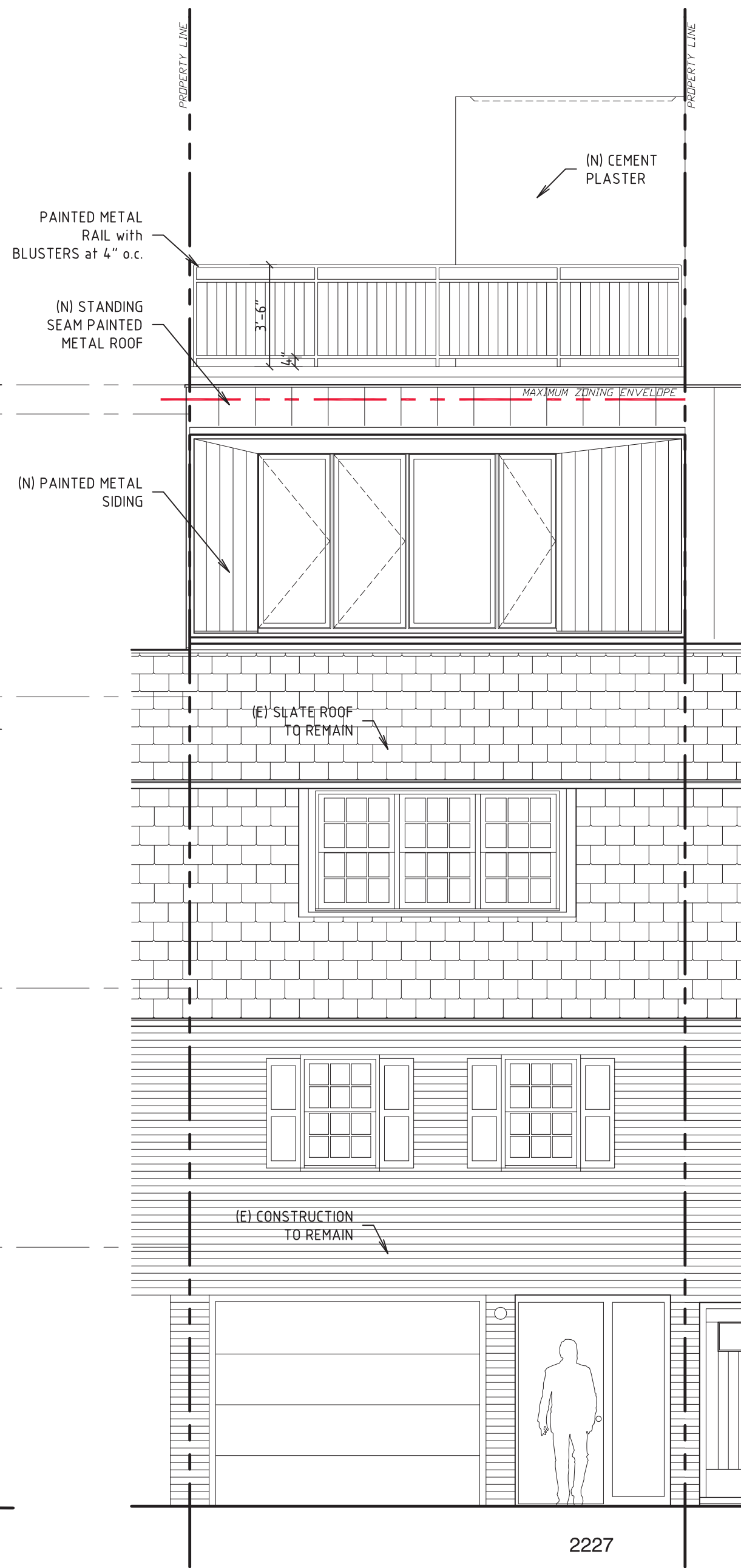
ROOF PLANS

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1 SECTION LOOKING EAST
1/4" = 1'-0"



2 FRONT ELEVATION
1/4" = 1'-0"

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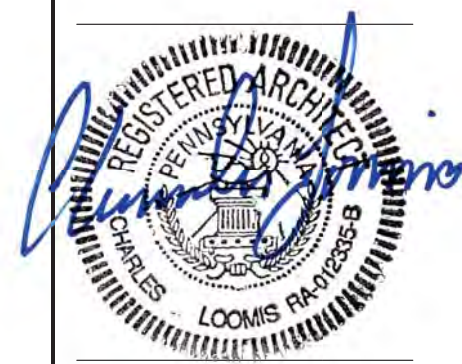
1906 Rittenhouse Square
Philadelphia PA 19103
tel 215 546 4468
fax 215 546 9124

Drawings, as instruments of services, are and shall remain the property of the Architect, whether the project for which they are made is executed or not. The Drawings shall not be used by the Owner for other projects, for additions to this project, or for the completion of this project by others, except by agreement in writing and with appropriate compensation to the Architect.

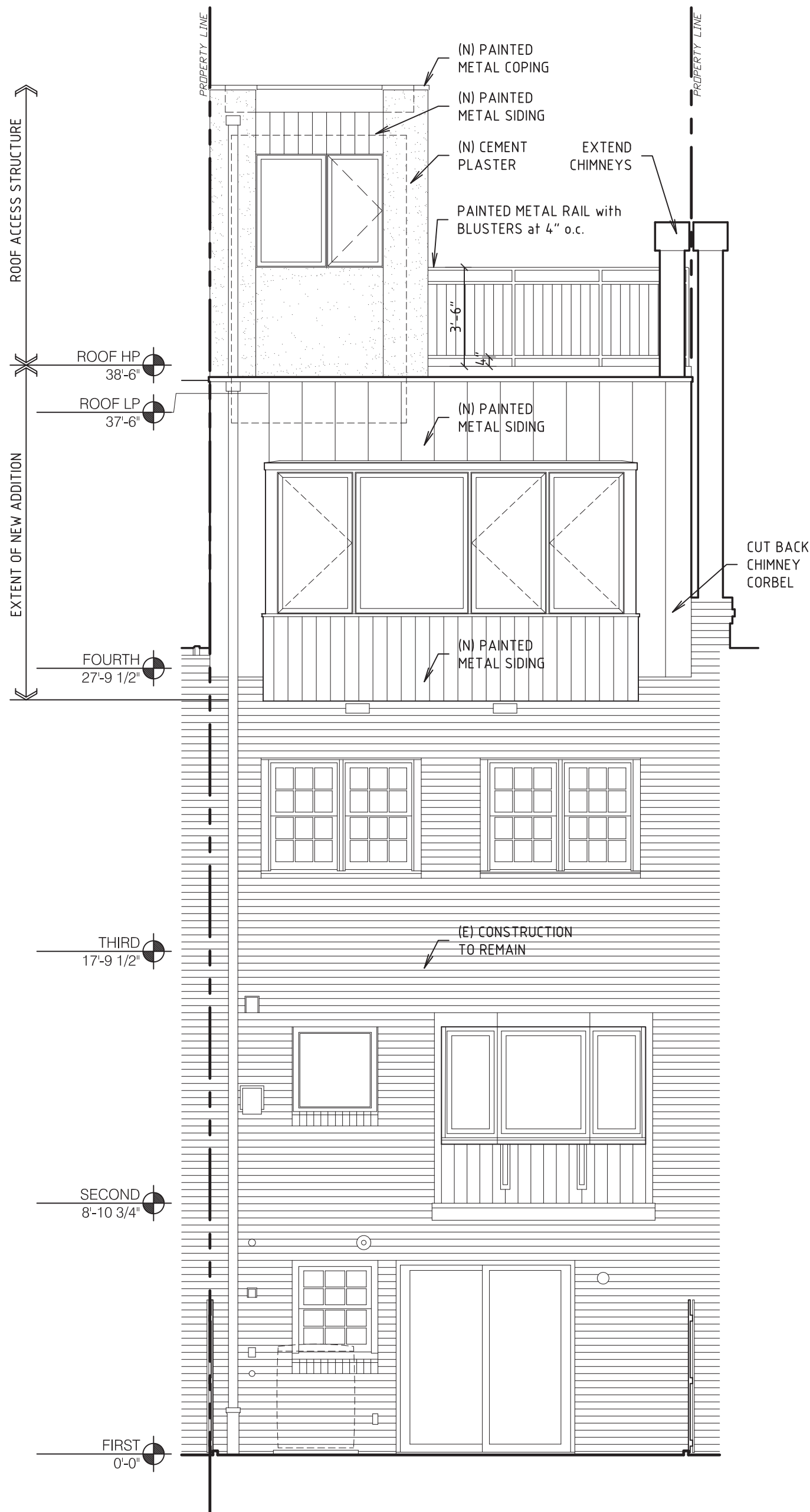
8 MAR 2021 | Historic

FRONT ELEVATION and SECTION

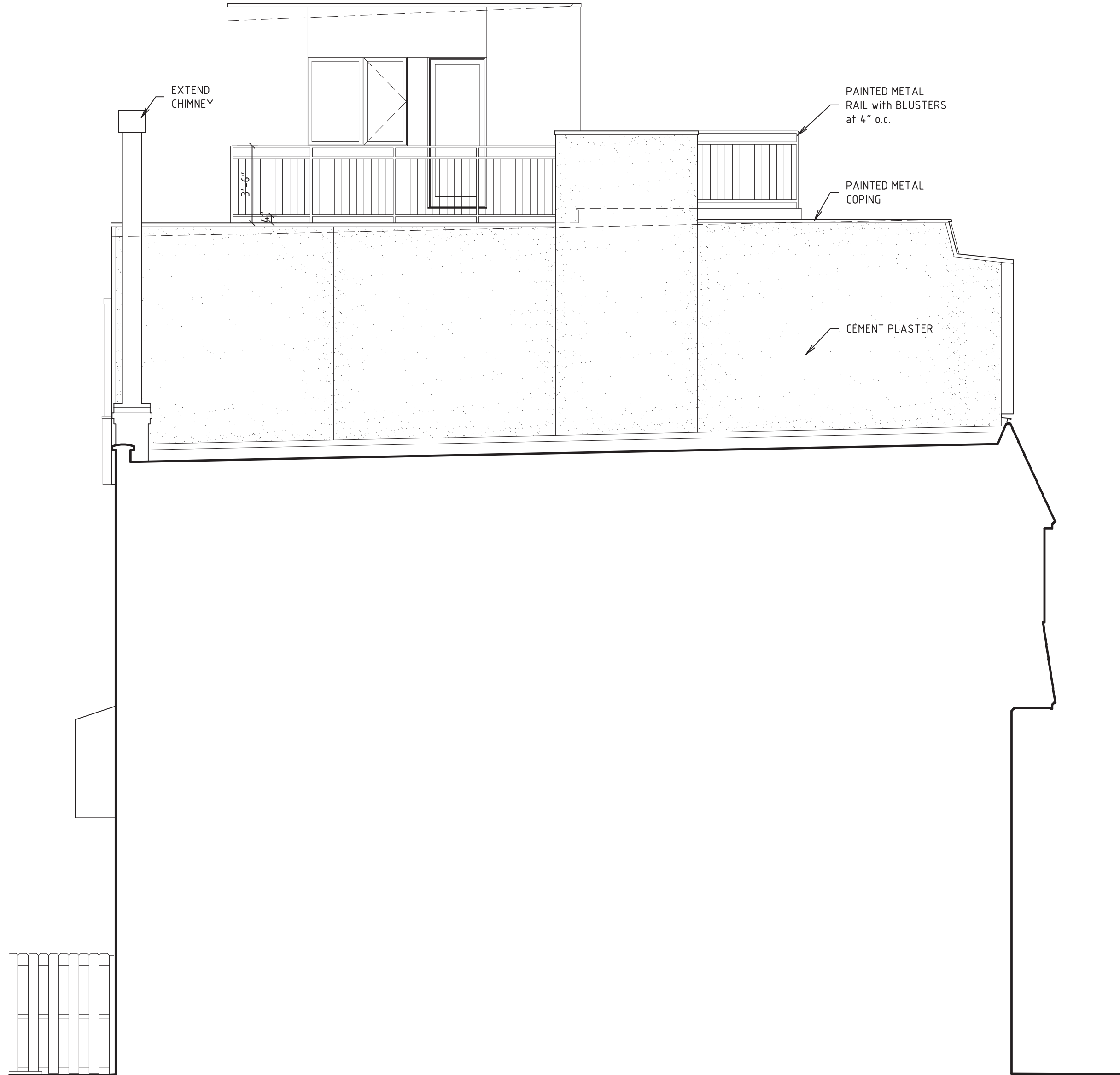
GALBRAITH TOBACMAN
RESIDENCE
2227 PANAMA STREET
PHILADELPHIA PA 19103



A2.1



1 GARDEN ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

CHARLES
LOOMIS
CHARISS
MCAFFEE

ARCHITECTS

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REAR and WEST ELEVATIONS

GALBRAITH TOBACMAN
RESIDENCE

2227 PANAMA STREET
PHILADELPHIA PA 19103



A2.2