



AREA OF WORK SCOPE OF WORK IS LIMITED TO THE BUILDING LOBBY, CONNECTED SUPPORT AREAS, AND COVERED BIKE AREA BETWEEN LOBBY AND REAR POOL DECK. SCOPE DOES NOT INCLUDE ANY WORK ON FRONT PLAZA OR WALKWAYS..

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412 DeKalb Street Norristown, PA 19401 610.275.4800 www.styergroup.com

LOBBY RENOVATION

No.	Description	Date

Sita	Plan -	∆r⊵a	of Work	

Site Plan - Area of Work		
1921		
01/25/21	SP-01	
MRH		
Checker	Scale 1" = 50'-0"	
	1921 01/25/21 MRH	

INDEPENDENCE PLACE

RENOVATION TO

LOBBY AND SUPPORT AREAS

233 - 241 S. 6TH STREET PHILADELPHIA, PA 19106

VERT VERTICAL
//EST VESTIBULE
F VESTIBULE
F VERIFY IN FIELD
VINYL
VITREOUS

VENEER
VOLUMN
VENT PIPE
VENT RISER
VENT STACK
VINYL TILE
VINYL WALLCOVERING

WEST/WATT
WITH
WITHOUT
WOD BASE
WATER CLOSET/WATER COOLER
WOOD
WINDOW
WIDE FLANGE
WIRE GLASS
WATER HEATER
WHITE
WEID

WT WEIGHT
WTRPF WATERPROOF/WEATHERPROOF
WTW WALL TO WALL
WWF WELDED WIRE FABRIC

INDEX OF DRAWINGS ISSUED FOR REFERENCE ONLY COVER SHEET SELECTIVE DEMOLITION PLAN GRAPHIC SYMBOLS, MATERIAL LEGEND, ADA COMPLIANCE GENERAL NOTES LIFE SAFETY PLAN ARCHITECTURAL PLAN ROOF PLAN ENLARGED PLAN - LOBBY GLAZING - SECTIONS & ELEVATIONS ENLARGED PLAN VESTIBULE RM 100 ENLARGED PLAN - MAIL ONE - RM 101 ENLARGED PLAN MAIL TWO - RM 103 ENLARGED PLAN -PACKAGES-CARTS ENLARGED PLAN - FITNESS CENTER - RM 128 ENLARGED PLAN - ADMIN AREA ENLARGED PLAN - ELEVATOR LOBBIES ENLARGED PLAN - BREAK-JANITOR ENLARGED PLAN - LOCKER-BIKES - TOWER : **ENLARGED PLAN - TOILET ROOMS** GARAGE - ELEVATOR LOBBIES ENLARGED PLAN - STAIRS-LOCKERS MILLWORK - RECEPTION DESK POWER & COMMS PLAN REFLECTED CEILING PLAN FURNITURE, FIXTURES, & EQUIPMENT PLAN DOOR AND HARDWARE SCHEDULE STRUCTURAL LOBBY FRAMING PLAN SECTIONS AND DETAILS S-103 SECTIONS AND DETAILS BIKE SHED PLAN AND DETAILS LOBBY EXPANSION AREA MECHANICAL **HVAC DEMOLITION PLANS** HVAC PLAN PARTIAL HVAC PLAN ELECTRICAL ELECTRICAL DEMOLITION PLAN POWER PLAN LIGHTING PLAN PLUMBING PLUMBING DEMOLITION PLAN PLUMBING PLAN PARTIAL PLUMBING PLAN

BUILDING OWNER One Independence Place & Two Independence Place 29 St. James CT

Philadelphia, PA 19106

EAST
EACH
EXHAUST FAN
EXPANSION JOINT
ELEVATION
ELECTRIC OR ELECTRICAL
ELEVATOR
EMERGENCY
ENCLOSURE
ENGINEER(ED)
ELECTRICAL PANEL
EXTERIOR PAINT SYSTEM
EQUAL
EQUIPMENT
ESCALATOR
ESTIMATE
EXISTING TO REMAIN
ELECTRIC WATER COOLER
EXHAUST
EXPANSION JOINT
EXISTING
EXTERIOR

FS FULL SIZE
FSP FIRE STANDPIPE
FT OR (*)
FOOTIFEET
FTG FOOTING
FURN FURNITURE
FURRED, FURRING
FUT FUTURE
FWC FABRIC WALL COVERING

GAUGE, GAGE
GALLON
GALVANIZED
GENERAL CONTRACTOR
GROUND FAULT INTERUPTER
GLASS, GLAZING
GLASS BLOCK
GROUND
GALVANIZED PIPE
GRADE, GRADING
GROUT

HEIGHT, HIGH
HOSE BIBB
HANDICAP(PED)
HEAVY DUTY
HEADER
D HARDWOOD
R HARDWARE
HOLLOW METAL
HIGH PRESSURE LAMINATE
HIGH POINT

CIRCUMFERENCE
CONTROL JOINT
CEILING
CELING
CELING HEIGHT
CAULK
CAULKING
CLEAR
CLOSURE
CERAMIC MOSAIC TILE
CONCRETE MASONRY UNIT
COLUMN
COMBINATION
COMPRESS(ED)(ION)(IBLE)
CONCRETE
CONSTRUCTION
CONTRUCTION
CONTRUCTION
CONTRUCTION
CONTRUCTION
COPPER
CARPET
COUNTRUCTION
COPPER
CARPET
COUNTESS
CURTAIN WALL
COUNTERSINIC
CASEMENT
CERAMIC TILE
CENTER
CUBIC FEET
CUBIC SEET
CUBIC YARD
T
COVER PLATE
COLD WATER
CYLIND(ER)(RICAL)
CONNECTION

<u>ARCHITECT</u> KAJ Architects, LLC Ken Stevenson 412 DeKalb St Norristown, PA 19401 Phone: 610.275.4600

SOUTH
SANITARY
SOLID CORE
SCHEDULE
SCREEN
SOLID CORE WOOD DOOR
STORM DRAIN
SECTION
SQUARE FOOT/FEET
SAFETY GLASS
SINGLE
SUEL E

TELEPHONE
TOP AND BOTTOM
TONGUE AND GOOVE
TELEPHONE
TEMPORARY/TEMPERATURE
TERRAZZO
THEREAD
THICK(NESS)
THREAD
THICK(NESS)
THREAD
THOUGH
TACKBOARD
TOP OF
TOP OF CONCRETE
TOP OF CONCRETE
TOP OF CONCRETE
TOP OF GONGRETE
TOP OF WASONRY
TOP OF STEEL
TOP OF WALL
TOP OF PAVEMENT
TOP OF STEEL
TOP OF SLAB
THERMOSTAT
TELEPHONE TERMINAL BACKBOARD
TELEVISION
TYPICAL

UNIFORM BUILDING CODE
UNDERCUT
UNIFORM CONSTRUCTION CODE UNDERGROUND
UNDERWRITERS LABORATORIES, INC.

ABBREVIATIONS

METAL
METAL FLOOR DECKING
MANUFACTURER
MAN HOLE
MINIMUM

MEMBRANE
MASONRY OPENING
MODEL
MODULAR
MOVABLE
MOISTURE RESISTANT
MARBLE
MOUNT
MOUNTED
METAL THRESHOLD
METAL

NORTH
NEW
NOT APPLICABLE
NATURAL
NATIONAL ELECTRIC CODE
NEGATIVE
NATIONAL ELECTRICAL
MANUFACTURERS' ASSOCIATION
NATIONAL FIRE
PROTECTION AGENCY
NICKEL

NICKEL
NOT IN CONTRACT
NON-METALLIC
NUMBER
NOMINAL
NOISE REDUCTION
NOISE REDUCTION COEFFICIENT
NOT TO SCALE

PAINT POINT OF CURVE POLISHED POLYVINYL PORCELAIN POINT OF SALE

QT QUART/QUARRY TILE

INTERIOR DESIGNER Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb St Norristown, PA 19401 Phone: 610.275.6000

CODE DATA:

Category of Work:

No. of Stories:

Area Footprint:

Residential (R-2)

Total Allowable Occupants: 57

UNIFORM CONSTRUCTION CODES,

2018 INT'L PLUMBING CODE

2018 INT'L MECHANICAL CODE

WORK TO COMPLY WITH THE FOLLOWING CODES:

2018 INT'L BUILDING CODE (2015 Ch 11 & Appendix E)

2018 INT'L FIRE CODE (AS REFERENCED IN IBC)

2018 INT'L ENERGY CONSERVATION CODE

2017 ICC/ANSI A117.1 BARRIER FREE CODE

CODE INFORMATION

RENOVATION

2B, Non-combustible

AREA OF WORK: 1 STORY

SPRINKLERED

R-2 Residential, Accessory B-Business

STRUCTURAL Structural Design Associates, Inc. Andrew G. Sheerer, P.E. Downingtown, PA 19335 Phone: 610-458-4470

533 West Uwchlan Avenue, Suite 201 395 Circle of Progress

233 S 6th St, Philadelphia, PA 19106

East Center City

LOCATION PLAN

Appel's Society | B &

Marty Jordan Pottstown, PA 19464 Phone: 484-941-5900

<u>Civil</u>

Phone: --

AERIAL IMAGE



STYERGROUP

412 DeKalb Street

Norristown, PA 19401

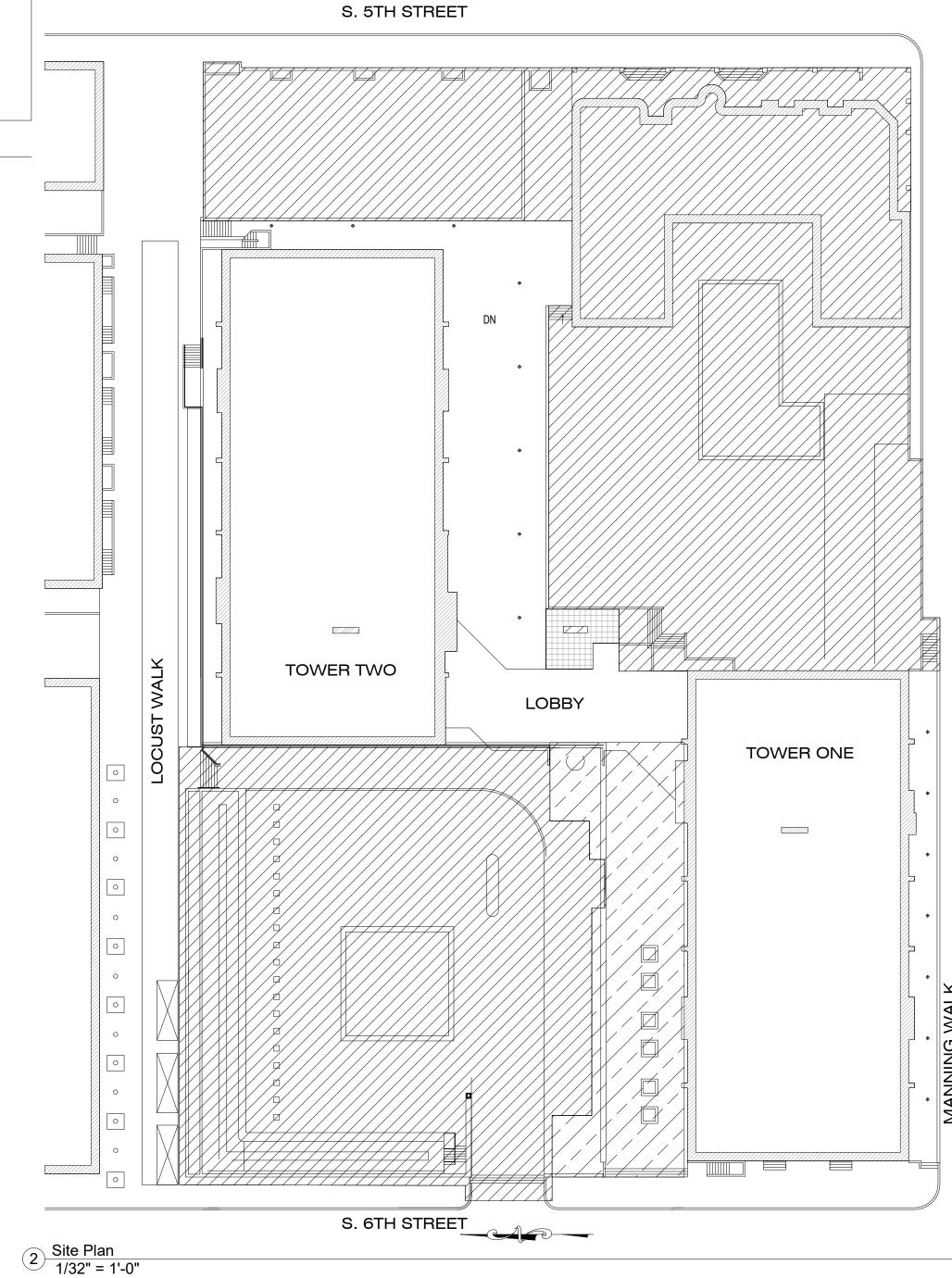
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KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

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STRUCTURAL ENGINEER SDA - Structural Design Associates, Inc. Andrew G. Sheerer, P.E. 533 West Uwchlan Avenue, Suite 201 Downingtown, PA 19335 Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900



Date Description ISSUED FOR PERMIT

INDEPENDENCE PLACE

Lobby Renovation

COVER SHEET

1921

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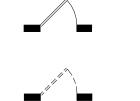
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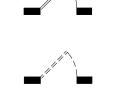
DEMOLITION PLAN LEGEND

EXISTING PARTITION TO BE DEMOLISHED

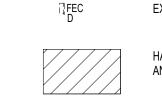
EXISTING PARTITION TO REMAIN



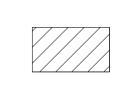
EXISTING DOOR TO REMAIN



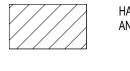
EXISTING DOOR FRAME AND HARDWARE TO BE DEMOLISHED EXISTING WALL MOUNTED FIRE EXTINGUISHER TO BE DEMOLISHED



EXISTING WALL MOUNTED FIRE EXTINGUISHER CABINET TO BE DEMOLISHED HATCHED AREA INDICATED COMPLETE STRUCTURE TO BE REMOVED. SUPPORT



AND PROTECT ADJACENT AREAS AS REQUIRED.



EXISTING TO REMAIN



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SHEET NOTES

1. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED. G.C. SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL DEMOLITION WORK 2. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH STYER & ASSOCIATES BEFORE PROCEEDING. 3. ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES (INCLUDING DOWNLIGHTS AND FLUORESCENTS), AND SPECIAL EQUIPMENT SHOWN TO BE REMOVED AND DISPOSED OF AS

4. THE ELECTRICAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHT AND POWER IN THE SPACE DURING CONSTRUCTION. 5. CAREFULLY REMOVE ALL EXISTING LIGHT FIXTURES AND LENSES (WHERE DEMOLITION IS NOTED) AND ALL TUBES AND/OR BALLASTS SHALL BE DISPOSED OF IN A PROPER MANNER.

6. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION TO REMAIN. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN. IT SHALL BE THE G.C.'S RESPONSIBILITY TO DOCUMENT ANY PREEXISTING DAMAGE AND NOTIFY STYER & ASSOCIATES OF ANY SUCH DAMAGE PRIOR TO PRICING OR BIDDING. 7. CAREFULLY REMOVE ALL EXISTING WALL FINISH AT EXISTING PARTITIONS AND/OR COLUMNS, AS NOTED. PROTECT SUBSTRATE. 8. REMOVE ALL EXISTING FLOOR ALONG WITH IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR

COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC. THIS INCLUDES WET BED SETTING LAYER FOR EXISTING LOBBY AND ELEVATOR LOBBY FLOORS. 9. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS. 10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ITEMS TO REMAIN AND ARE EXPOSED TO SELECTIVE DEMOLITION.

11. COORDINATE DEMOLITION WITH NEW STRUCTURAL WORK. SECURE EXISTING TO REMAIN COMPONENTS AS REQUIRED PRIOR TO REMOVAL TO PROTECT UNTIL NEW STRUCTURAL MEMBERS ARE INSTALLED.SHORE EXISTING AS REQUIRED FOR INSTALLATION OF NEW. 12. REMOVE ALL EXISTING WIRES AND CABLES NOT BEING USED FROM INSIDE PLENUM AND SURFACE MOUNTED ON THE CEILING. 13. TERMINATE AND REMOVE EXISTING POWER AND COMMUNICATIONS RECEPTACLES, FURNITURE WHIPS,

POWER POLES AND ALL RELATED WIRING NOT BEING USED IN THE NEW LAYOUT BACK TO PANEL. CONTRACTOR TO NOTIFY STYER & ASSOCIATES IF RECEPTACLES SHOWN AS DEMOLISHED DO NOT INTERFERE W/NEW LAYOUT AND MAY REMAIN.

14. AIA GENERAL CONDITIONS A-201 1997 IS INCORPORATED BY REFERENCE. 15. FOR FULL EXTENT OF DEMO, SEE ARCHITECTURAL DRAWINGS FOR NEW SCOPE OF WORK AND COORDINATE W/MEP AND STRUCTURAL PLANS. CONSULT W/STYER & ASSOCIATES, INC. FOR ANY QUESTIONS.

DEMOLITION KEY NOTES

REMOVE EXISTING SLIDING GLASS DOORS AND ALL COMPONENTS AT TOWER 1 AND 2. REMOVE BRICK SURROUND TO 6" ABOVE CEILING. COORDINATE WITH NEW WORK AND STRUCTURAL FOR SHORING EXISTING TO REMAIN ABOVE. REMOVE ALL RESTROOM MATERIALS AND COMPONENTS. CAP ANY SYSTEMS NO LONGER REQUIRED

4 RELOCATE SECURITY COMPONENTS FROM 4A TO 4B. SEE A101 REMOVE EXISTING METAL AWNING, COLUMNS AND ASSOCIATED FRAMING.

STOREFRONT FRAMING TO BE REMOVED.

LOCKER STORAGE UNITS TO REMAIN AND BE RELOCATED PER NEW LAYOUT. EXISTING ATRIUM CURTAIN WALL AND LOW WALL TO BE REMOVED IN ITS ENTIRETY. PROTECT AND SECURE LOBBY AS REQUIRED WITH TEMPORARY WATERPROOF PARTITIONS. REMOVE PORTION OF WALL FULL HEIGHT TO RECEIVE NEW DOOR AND GLAZING. COORDINATE WITH ARCHITECTURAL (A101) AND STRUCTURAL PLANS FOR DIMENSIONS AND PROTECTING/SHORING OF EXISITNG TO REMAIN. STORE BRICKS THAT ARE ABLE TO BE REUSED.

EXISTING VESTIUBLE GLAZING, AUTOMATIC DOORS, CURVED CEILING, SUSPENDED SCULPTURE AND PARTIAL EXTERIOR BRICK WALL TO BE REMOVED. COORDIANTE WITH ARCHITECTURAL (A103) AND STRUCTURAL FOR EXTENT TO REMAIN AND SHORING OF EXISTING. REMOVE MILLWORK INCLUDING BACK WALL AND CEILING/SOFFIT COMPONENTS.

REMOVE AND DISPOSE OF EXISTING FURNITURE. REMOVE KITCHEN PLUMBING, MILLWORK, APPLIANCES. CAP ALL UTILITIES NO LONGER REQUIRED.

13 REMOVE ALL FINISHES, FLOORING, AND LIGHT FIXTURES IN EXISTING ELEVATOR LOBBIES. 14 EXISTING DOOR AND FRAME TO BE REMOVED FOR WALL INFILL.

15 EXISTING DOOR AND FRAME TO BE REMOVED TO PREPARE FOR NEW DOOR AND FRAME. 16 EXISTING FIRE HOSE CONNECTION TO BE RELOCATED. RELOCATE ALL PIPING TO NEW LOCATION. 17 REMOVE EXISTING FINISHES, FLOORING, ACT CEILING AND LIGHTING. 18 EXISTING FINISHES TO BE REMOVED INCLUDING FLOORING, ACT CEILING AND LIGHTING. EXISTING

19 EXISTING GWB SOFFIT TO BE REMOVED. 20 EXISTING SANITARY PLUMBING MAIN TO BE RELOCATED TO NEAREST DEMISING PARTITION. REMOVE EXISTING GWB FRAMING AROUND PIPE. 21 REMOVE EXISTING DOOR AND FRAME AND PROVIDE OPENING FOR NEW 36" DOOR. COORDINATE WITH

22 EXISTING EXPANSION JOINT COVER AND COMPRESSIBLE FILLER TO BE REMOVED AND REPLACED WITH NEW AS SPECIFIED FROM J. BLUM CO, INC. OR EQUAL. FINISH TO BE NICKLE OR SILVER TO MATCH FLOORING. VERIFY WITH STYERGROUP PRIOR TO ORDER. 23 REMOVE EXISTING DOOR AND FRAME AND HOLD FOR POSSIBLE REUSE AT NEW OPENING TO STAIR.

24 EXISTING HEATING UNIT ON EXTERIOR OF BUILDING ABOVE EXISTING ATRIUM/STOREFRONT TO BE

REMOVED TO ALLOW FOR INFILLING WITH BRICK. 25 EXISTING BASEBOARD HEATERS TO BE REMOVED AND DISPOSED. TYP FOR ALL IN LOBBY 26 EXISTING SUBSTATE TO BE INVESTIGATED AFTER REMOVAL OF EXISTING FINISHES. NOTIFY STYERGROUP UPON REMOVAL OF EXISTING FINISHES. VARIOUS INCONSISTENCIES WITHIN EXISTING FINISHES. PROVIDE ALLOWANCE FOR FLOOR LEVELING OF FITNESS CENTER AND ADMINISTRATION

27 REMOVE EXISTING CHAIN LINK FENCE, GATE AND ASSOCIATED HARDWARE AND MOUNTING DEVICES, AND MOUNTING BOARD SYSTEM ON THE WALLS. 28 REMOVE EXISTING GWB/PLASTER CEILING.

29 REMOVE ALL WALLS, DOORS, FRAMES, FINISHES INCLUDING FLOORING AND CEILINGS, MILLWORK INCLUDING BUILT-INS, LIGHTING, ELECTRICAL NOT REUSED INCLUDING THERMOSTATS, 30 REMOVE GWB FROM BELOW WINDOW IF NOT PERFORMED DURING WATERPROOFING PROJECT TO INSTALL NEW BATT INSULATION AND GWB. REMOVE AND DISPOSE OF EXISTING MAILBOXES, TV MONITORS. PROVIDE TEMPORARY RELOCATION

OF MAILBOXES DURING CONSTRUCTION UNTIL NEW MAILBOXES ARE INSTALLED. COORDINATE WITH RELOCATE ATM.

MAY OCCUR PRIOR TO REINSTALL.

REMOVE PARTITION TO UNDERSIDE OF STAIR LANDING. 34 EXISTING LIGHTING TO BE REMOVED AND REPLACED. COORDI NATE WITH RCP DRAWINGS. 35 OPEN UP WALL FROM INTERIOR AND REFRAME TO GAIN AS MUCH SPACE AS POSSIBLE FOR CORRIDOR CLEARANCE. HOLD DRYWALL TIGHT TO EXTERIOR WALL AND TURN STUDS AS NEEDED. 36 REMOVE EXISTING WINDOWS, FRAMES, SILLS AS REQUIRED TO ENCLOSE OPENING WITH NEW PARTION TO ALIGN WITH ADJACENT INSIDE AND OUT. 37 EXISTING OPENING TO ELEVATOR TO BE SELECTIVELY DEMOLISHED TO LOCATE EXISTING COLUMN AND

STRUCTURE TO DETERMINE MAXIMUM WIDTH ACHIEVABLE FOR WALL OPENING TO ENTER ELEVATOR. COORDINATE WITH PROJECT MANAGER FOR DEMOLITION AND NEW OPENING. 38 EXISTING ROOFING TO BE REMOVED TO METAL DECKING TO BE REPLACED. SEE A101A. 39 REMOVE EXISTING ELEVATOR CALL PANELS, SANITIZER, ETC AND REINSTALL AFTER NEW FINISHES HAVE BEEN COMPLETED. COORDINATE WITH OWNER FOR ANY NEW/REPLACEMENT OF EXISTING THAT

KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

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STRUCTURAL ENGINEER SDA - Structural Design Associates, Inc. Andrew G. Sheerer, P.E. 533 West Uwchlan Avenue, Suite 201 Downingtown, PA 19335 Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

No.	Description	Date
1	Resulsion of Permit	08/202202

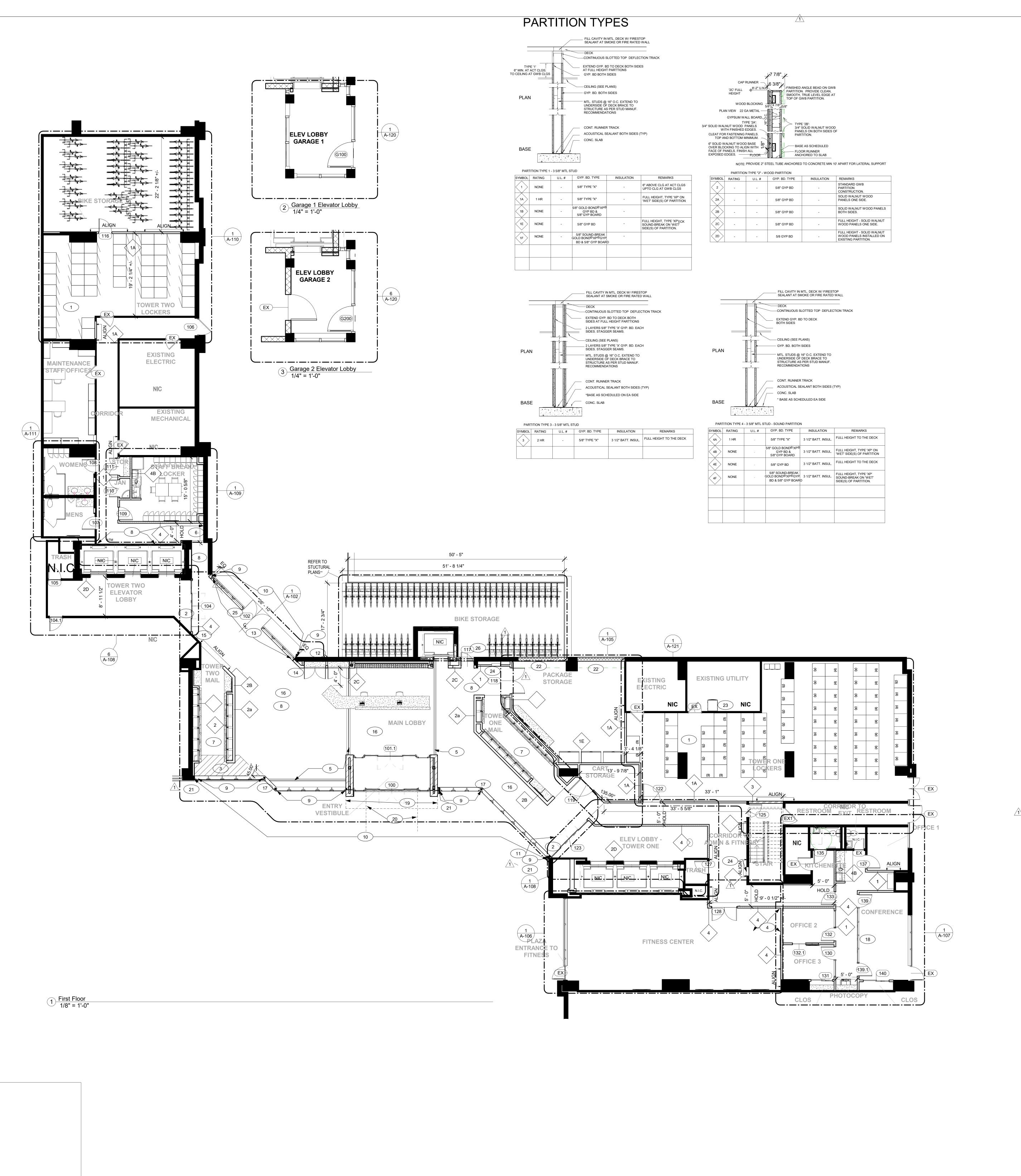
INDEPENDENCE PLACE

Lobby Renovation

SELECTIVE DEMOLITION PLAN

Project Number 10/19/2020 Drawn By AMT Checked By

As indicated

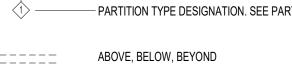


ARCHITECTURAL LEGEND

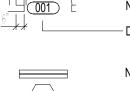
EXISTING PARTITION TO REMAIN



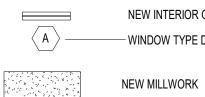




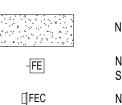




— DOOR NUMBER DESIGNATION. SEE DOOR SCHEDULE FOR DETAILS.



NEW INTERIOR GLASS PARTITION / WINDOW - WINDOW TYPE DESIGNATION. SEE WINDOW TYPES FOR DETAILS.



NEW WALL MOUNTED FIRE EXTINGUISHER - 10 LB TYPE ABC WITH STANDARD BRACKET NEW WALL MOUNTED FIRE EXTINGUISHER CABINET - 10 LB TYPE ABC IN FULLY

RECESSED WALL CABINET. PROVIDE 6' LGM FRAMING MINIMUM. FLOOR DRAIN - MATCH FLOOR FINISH



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SHEET NOTES

- 1. PARTITION DIMENSIONED TO FINISH FACE U.O.N. 2. USE TYPE "X" GWB ON FIRE RATED PARTITIONS.
- 3. USE WATER, MOISTURE, AND MILDEW RESISTANT GWB IN RESTROOMS AND ON ALL PARTITIONS IN WET LOCATIONS OR SCHEDULED TO RECEIVE CERAMIC TILE (U.O.N.). SEE FINISH SCHEDULE FOR TILE LOCATIONS. 4. SEE DETAILS ON A-101 FOR TYPICAL PARTITIONS DETAILS.
- 5. WHERE FURRED PARTITIONS EXCEED MAXIMUM HEIGHT, BRACE TO ADJACENT STURCTURE AT 4'-0" O.C. MAX. 6. FOR NON-RATED PARTITIONS, SEE PARTITION TYPES FOR EXTENT OF FRAMING AND FINISHES.
- 7. FIRE SAFE PENETRATIONS AT RATED PARTITIONS PER APPLICABLE UL ASSEMBLY.
- 8. PROVIDE BLOCKING AS REQUIRED AT LOCATIONS INCLUDING BUT NOT LIMITED TO: GRAB BARS, SHELVING, OVERHEAD CABINETS, SIGNAGE, TOILET ROOMS ACCESSORIES, RAILINGS, ETC.
- 9. ALL INTERIOR PARTITIONS ARE TYPE "1", U.N.O. 10. REFER TO ENLARGED PLANS AND ACCESSORIES SCHEDULE TO COORDINATE LOCATION OF RECESS MOUNTED ACCESSORIES. REFER TO A-001 FOR MOUNTING HEIGHT. SEE SPECIFICATIONS & ENLARGED PLANS FOR
- FIXTURES AND ACCESSORIES. 11. DRYWALL TO BE HELD OFF CONCRETE BY 1" TO PREVENT WICKING MOISTURE FROM CONCRETE
- 12. A FINISH OR FIRE RATING OF A WALL SHALL REFER TO THE ENTIRE LENGTH OF THE WALL. 13. ALL PENETRATIONS OF DUCTWORK, CONDUIT, PIPING, WALLS AND SIMILAR WORK THROUGH FIRE RATED ASSEMBLIES SHALL BE SEALED TO MAINTAIN THE ORIGINAL RATING OF ASSEMBLY.
- 14. ALL CRACKS AND HOLES WITHIN NEW SLAB AND WALLS TO TO BE FILLED. ALL CRACKS IN CONCRETE FLOORS TO BE FILLED AND FLOOR TO BE FULLY PREPPED TO RECEIVE NEW FINISH/EPOXY COATING. 15. FLOORS AT LOCATIONS TO RECEIVE CARPETING TO BE FLASH PATCHED TO PROVIDE SMOOTH TRANSITION
- BETWEEN CARPET AND TILE. 16. PROVIDE EXPANSION JOINTS AND CRACK ISOLATION MEMBRANES AT SLAB INTERSECTIONS.
- 17. VERIFY LOCATION OF TV'S WITH OWNER. PROVIDE BLOCKING AS REQUIRED.
- 18. PROVIDE NEW EXPANSION JOINT COVERS AND COMPRESSIBLE FILLE IN LOBBY. FINISH TO BE NICKLE OR SILVER
- TO MATCH FLOOR. VERIFY WITH STYERGROUP PRIOR TO ORDER.
- 19. SEE ENLARGED DRAWINGS FOR ADDITIONAL DIMENSIONS REQUIRED FOR OVERALL LAYOUT. 20. LAMINATE EXISTING TO REMAIN TEXTURED WALL WITH 3/8" GWB AND FINISH TO LEVEL 4 MINIMUM, TYP ALL
- WALLS IN LOBBY AND ELEVATORS. 21. REFERENCE HARDWARE SCHEDULE ON A-601 FOR ALL DOOR HARDWARE.

KEY NOTES

- RELOCATE EXISTING LOCKERS. SUPPLY AND INSTALL NEW. CONSTRUCT NEW PARTIION AS REQUIRED PER NEW AUTOMATIC SLIDING DOOR REQUIREMENTS. PROVIDE
- INFILL FLOOR SLAB TO MATCH EXISTING INTERIOR FLOOR LEVEL. REFER TO STRUCTURAL PLANS. EXISTING DRAIN LINE TO BE RELOCATED TO NEAREST PARTITION. BOX OUT DRAIN AS REQUIRED. PROVIDE
- ACCESS PANEL FOR ANY REQUIRED CLEAN OUT. EXISTING EXPANSION JOINT COVER AND COMPRESSIBLE FILLER TO BE REMOVED AND REPLACED WITH NEW
- AS SPECIFIED FROM J. BLUM CO, INC. OR EQUAL. FINISH TO BE NICKLE OR SILVER TO MATCH FLOORING. VERIFY WITH STYERGROUP PRIOR TO ORDER. 6 OPEN UP WALL FROM INTERIOR AND REFRAME TO GAIN AS MUCH SPACE AS POSSIBLE FOR CORRIDOR
- CLEARANCE. HOLD DRYWALL TIGHT TO EXTERIOR WALL AND TURN STUDS AS NEEDED. COORDINATE MAILBOX WALLS WITH PRODUCT SPECIFICATIONS, TYP. LAMINATE ALL EXISTING TO REMAIN TEXTURED WALLS WITH 3/8" GWB AND FINISH TO LEVEL 4 MINIMUM,
- NEW COLUMN LOCATION. COORDINATE WITH STRUCTURAL PLANS FOR STRUCTURAL FRAMING AND CONNECTION TO STRUCTURAL SLAB. ALL COLUMNS AT CURTAIN WALL TO BE FINISHED TO MATCH BRONZE
- NEW CMU CURB AND WATERPROOFING APPLICATION PER 'SDA' STRUCTURAL WATERPROOFING PROJECT PLANS AND DETAILS. REFER TO SDA PLANS FOR DETAILS. TYPICAL ALONG ENTIRE LOBBY GLAZING AREAS.
- REMOVE EXISTING HEATER UNIT ON EXTERIOR OF BUILDING ABOVE EXISTING ATRIUM. INFILL WITH BRICK TOOTH IN NEW BRICK INTO VOID FROM REMOVED DOOR AND FRAME. MATCH EXISTING.
- 13 ALTERNATE: REMOVE EXISTING WALL AND REBUILDING NEW PARTITION AND NEW BRICK FULL WIDTH AND HEIGHT OF ANGLED WALL. 14 ALTERNATE: REPLACE EXISTING DOOR AND FRAME WITH NEW STOREFRONT FULL LITE DOOR TO MATCH
- PROJECT BRONZE FINISH. HARDWARE SET 3. RETURN WOOD PANELS AT JAMBS TO DOOR FRAME. PATCH AND INFLL EXISTING WALL TO REMAIN AT LOCATION OF REMOVED SLIDING DOORS. 16 COMPLETELY LEVEL FLOOR TO RECEIVE LARGE FORMAT TILE THROUGHOUT LOBBY. SEE FINISH PLAN FOR
- NEW GLASS CURTAIN WALL WITH EQUALY SPACED GLASZING EACH WALL SECTION. SEE A-102A FOR MORE
- 18 NEW GLASS PARTITION. SEE 1/A-107
- 19 EXISTING OVERHANG TO REMAIN AND TO BE MODIFIED. REFER TO SECTIONS AND STRUCTURAL PLANS. 20 EXISTING SCULPTURE TO REMAIN. FURR NEW COLUMN WITH HATTRACK, 3/4" F.R. PLYWOOD, BUILDING WRAP AND BRONZE BREAKMETAL TO
- MATCH PROJECT CONTROL SAMPLE INFILL EXISTING WINDOW OPENINGS WITH STUD FRAMING WITH NEW BRICK OVER NEW STUD FRAMING. ALIGN FINISH FACES ON BOTH INTERIOR AND EXTERIOR OF WALL. TOOTH-IN BRICKS ON EACH SIDE OF
- PROVIDE AND INSTALL WHIRLPOOL CET9100GQ STACKING WASHER DRYER COMBO UNIT IN PLACE OF
- RELOCATE FIRE HOSE CONNECTION. PROVIDE ALL ASSOCIATED PIPING RELOCATION AS REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM PER CODE.
- 25 PROVIDE 1/2" TEMPERED FULL GLASS DOUBLE DOORS WITH TOP AND BOTTOM RAILS WITH CONCEALED FLOOR CLOSERS. HARDWARE SET 2 26 SUPPLY AND INSTALL MOTORIZED BIKE PUMP, BLACK & DECKER AIR STATION ASI300 INFLATOR

KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER SDA - Structural Design Associates, Inc. Andrew G. Sheerer, P.E. 533 West Uwchlan Avenue, Suite 201 Downingtown, PA 19335 Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464

Phone: 484.941.5900

No.	Description	Date	
	Resulsion of OR PERMIT	08/20/2020	

INDEPENDENCE PLACE

Lobby Renovation ARCHITECTURAL

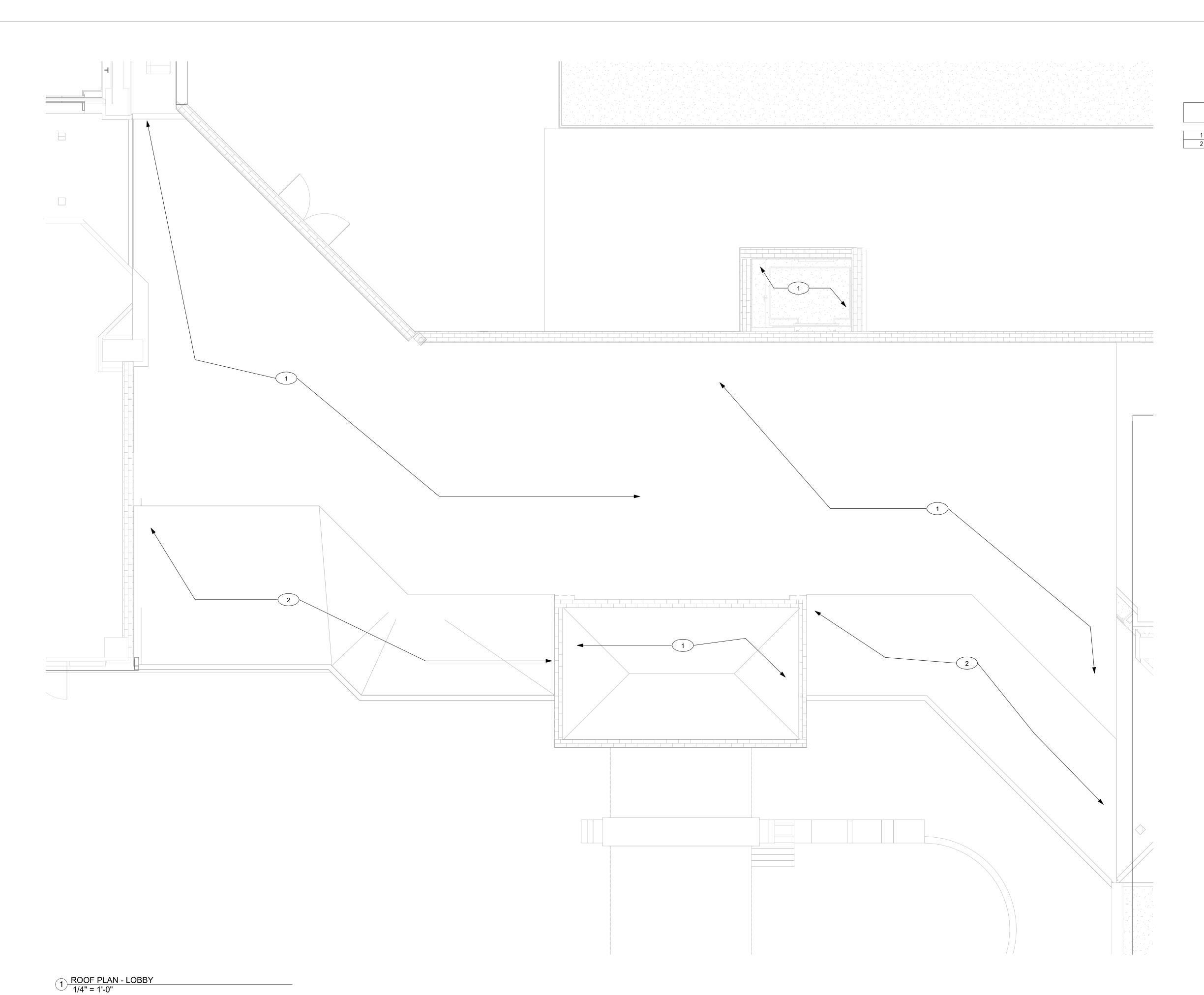
PLAN 1921 10/19/2020

AMT

As indicated

A-101

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KEY NOTES - ROOF

1 EXISTING ROOFING TO BE REMOVED TO METAL DECKING AND REPLACED PER SPECIFICATIONS. 2 PROVIDE AND INSTALL NEW ROOF OVER NEW STRUCTURAL FRAMING AND DECKING PER SPECIFICATIONS.

- ROOFING SPECIFICATION FOR REROOF AND NEW:

 1. Tear-off the existing roof.

 2. Install 1 layer of Carlisle 2.5" polyisocyanurate roof insulation over the metal deck.

 3. Install 1 layer of Carlisle 2.0" polyisocyanurate roof insulation mechanically attached through both layers in accordance with FM-1-90 requirements but
- a minimum of 1 fastener per 2 square feet. Install tapered polyisocyanurate roof insulation with a slope of a ¼" per foot and a minimum thickness of ½".
 Tapered crickets with a slope of ½" per foot sloped will be installed between the drains and at locations necessary to provide proper drainage and
- avoid ponding water.
- avoid ponding water.

 All tapered insulation and crickets will be installed in Carlisle Flex Fast adhesive with beads spaced 4" apart.

 Install Carlisle ½" HD board in Carlisle Flex Fast adhesive with beads spaced 4" apart.

 Install Carlisle Fleeceback 145 EPDM in Carlisle Flex Fast adhesive with beads spaced 4" apart.

 Perform all flashing with EPDM to provide a 20 year warranty.

 All new metal coping and gravel stop will be supplied by the Carlisle and fabricated from a minimum of 050 Kynar finished aluminum.

 The metal coping will be part of the roofing manufacturer warranty.



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ARCHITECT KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

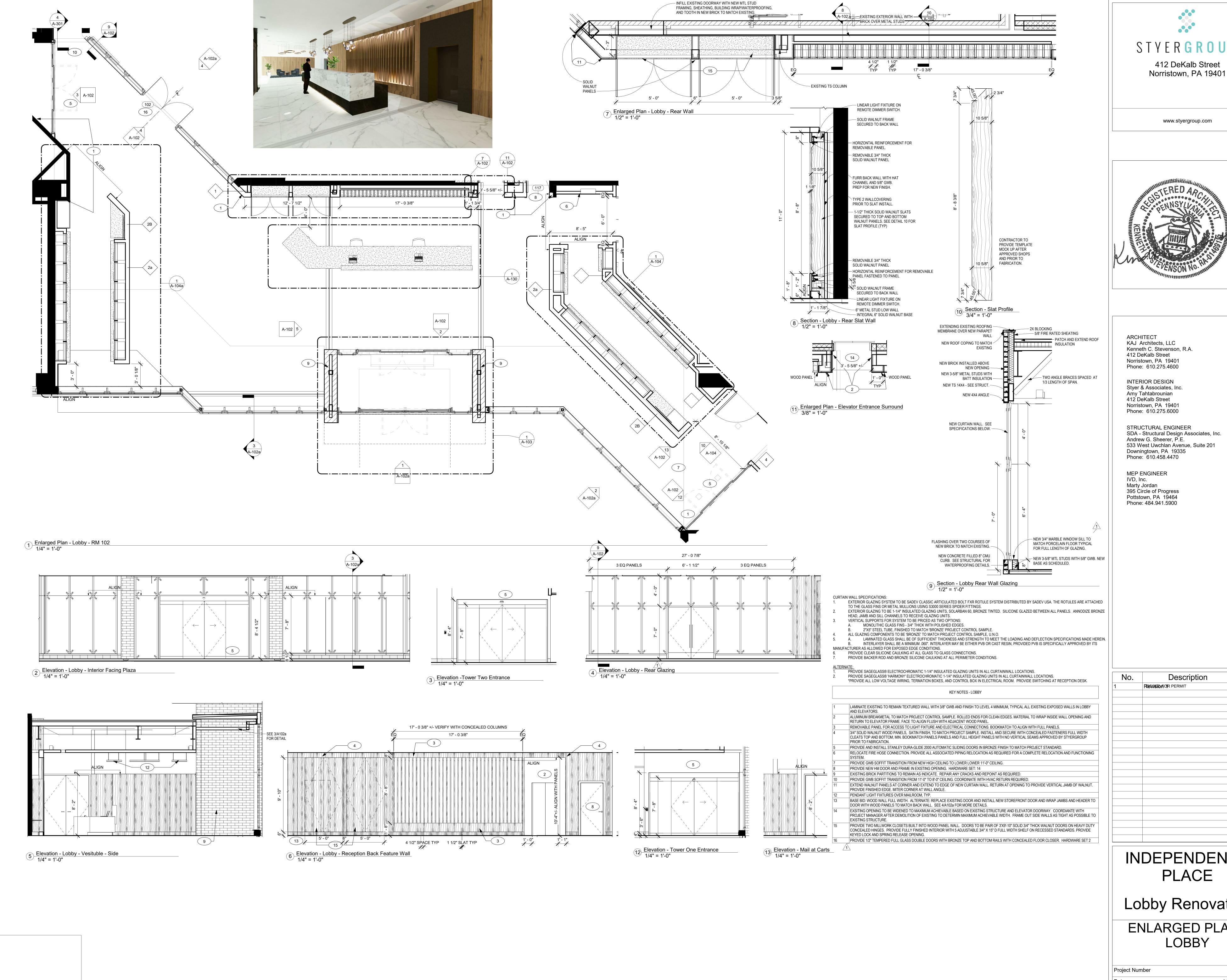
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Lobby Renovation

ROOF PLAN

1921 10/19/2020 AMT







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	RESUISION OR PERMIT	08/20/202

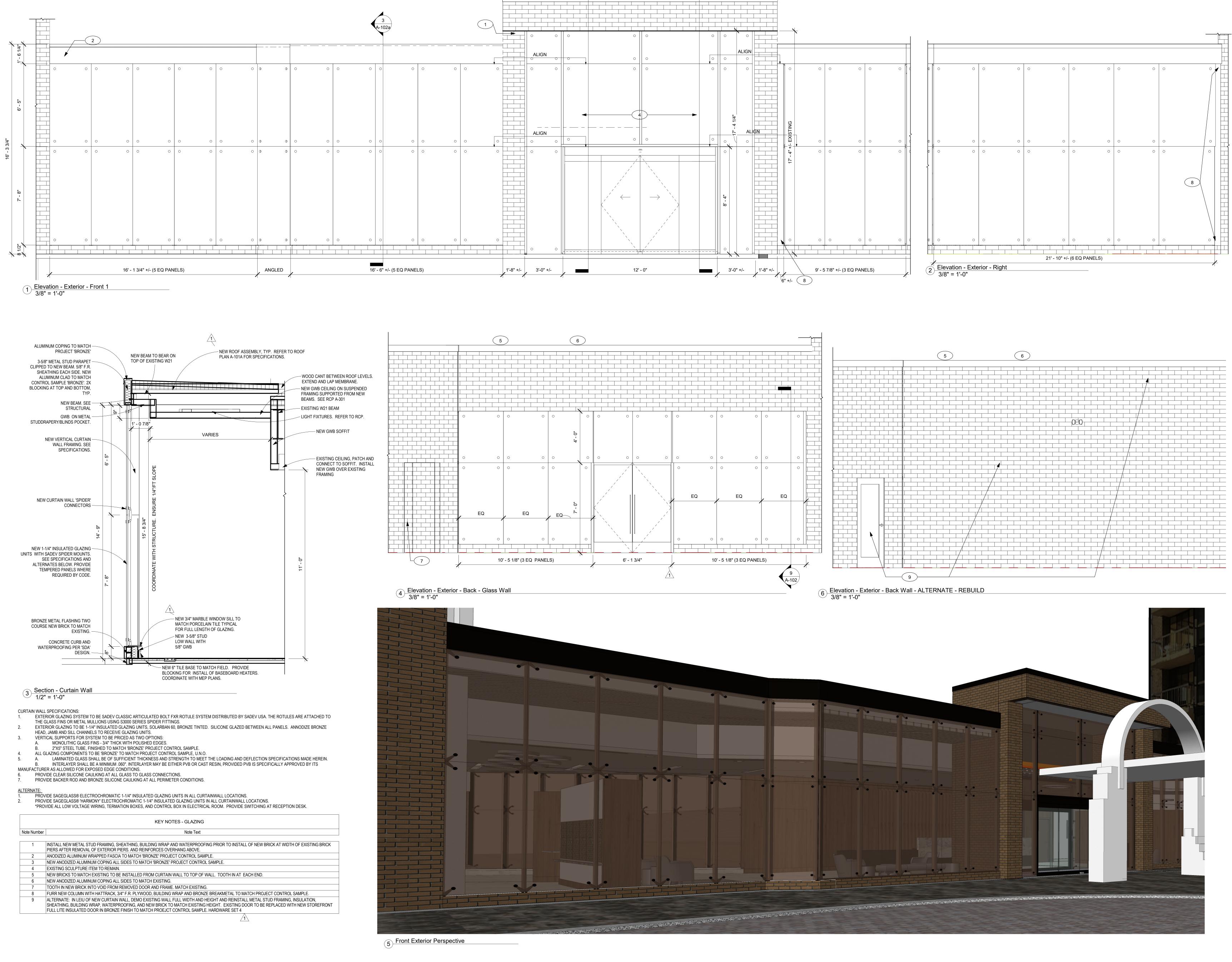
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Lobby Renovation

ENLARGED PLAN -LOBBY

10/19/2020 Drawn By AMT Checked By

> A-102 As indicated





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ARCHITECT KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

No.	Description	Date
	RESIDENCE PERMIT	08/20/2020

INDEPENDENCE PLACE

Lobby Renovation

GLAZING - SECTIONS & ELEVATIONS

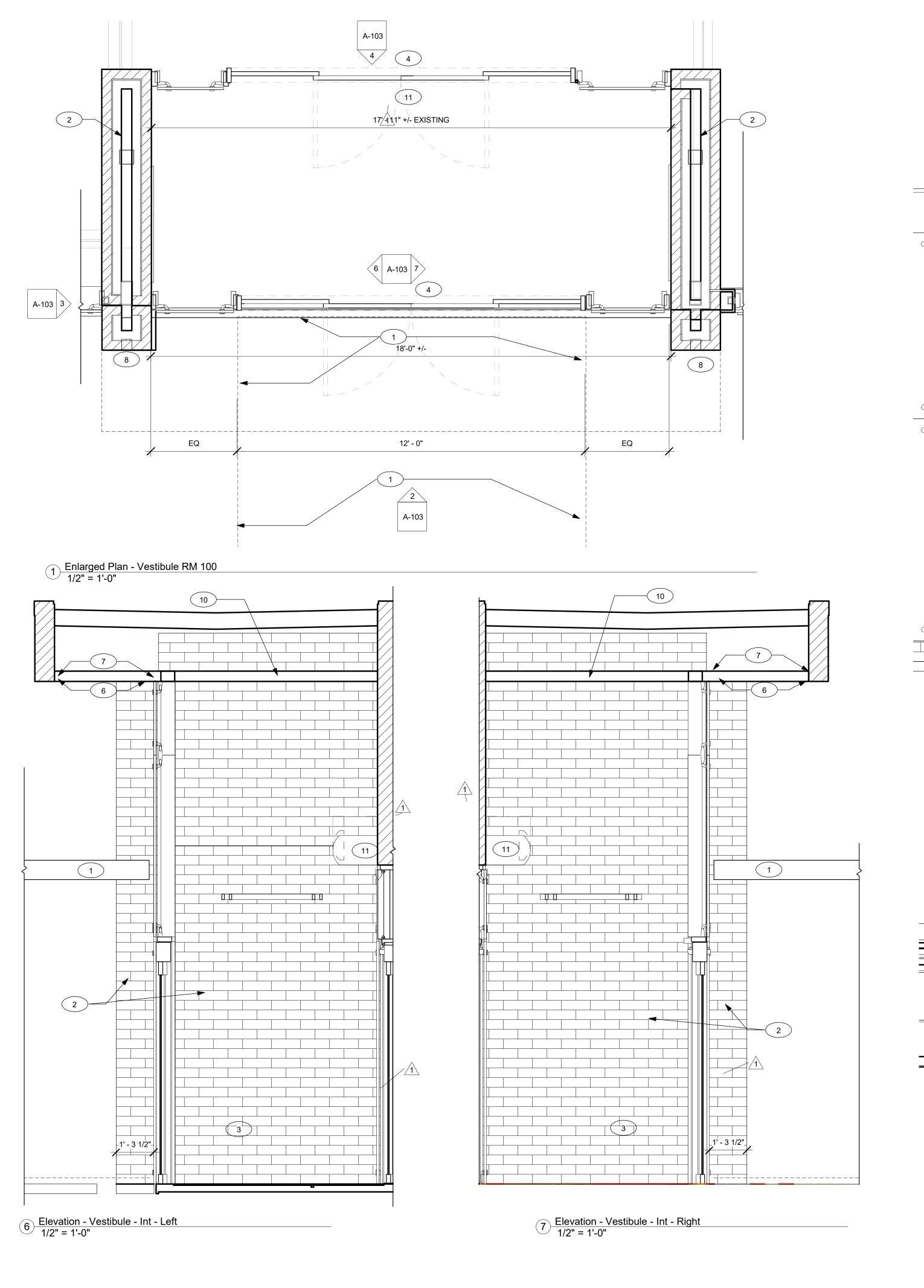
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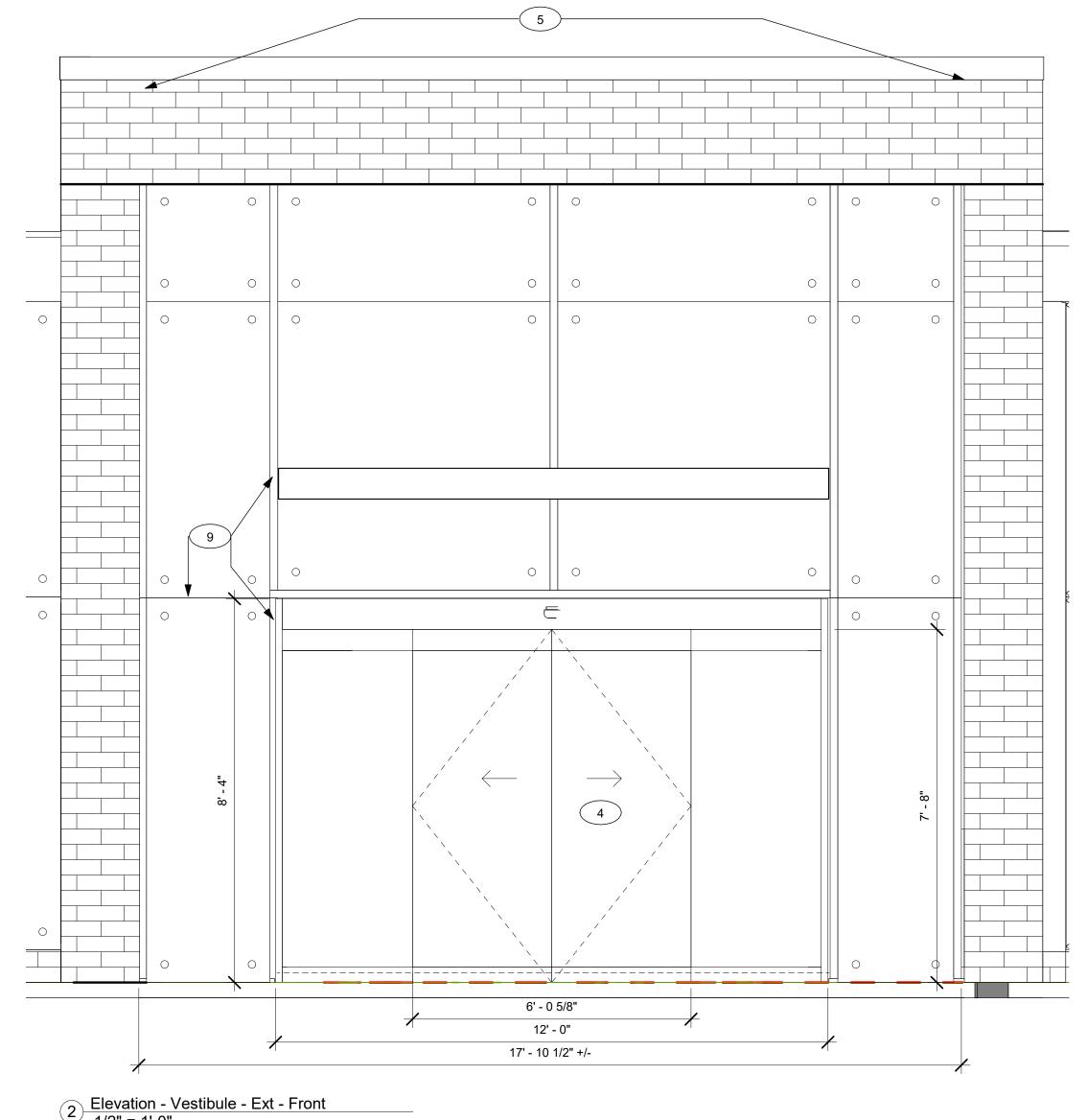
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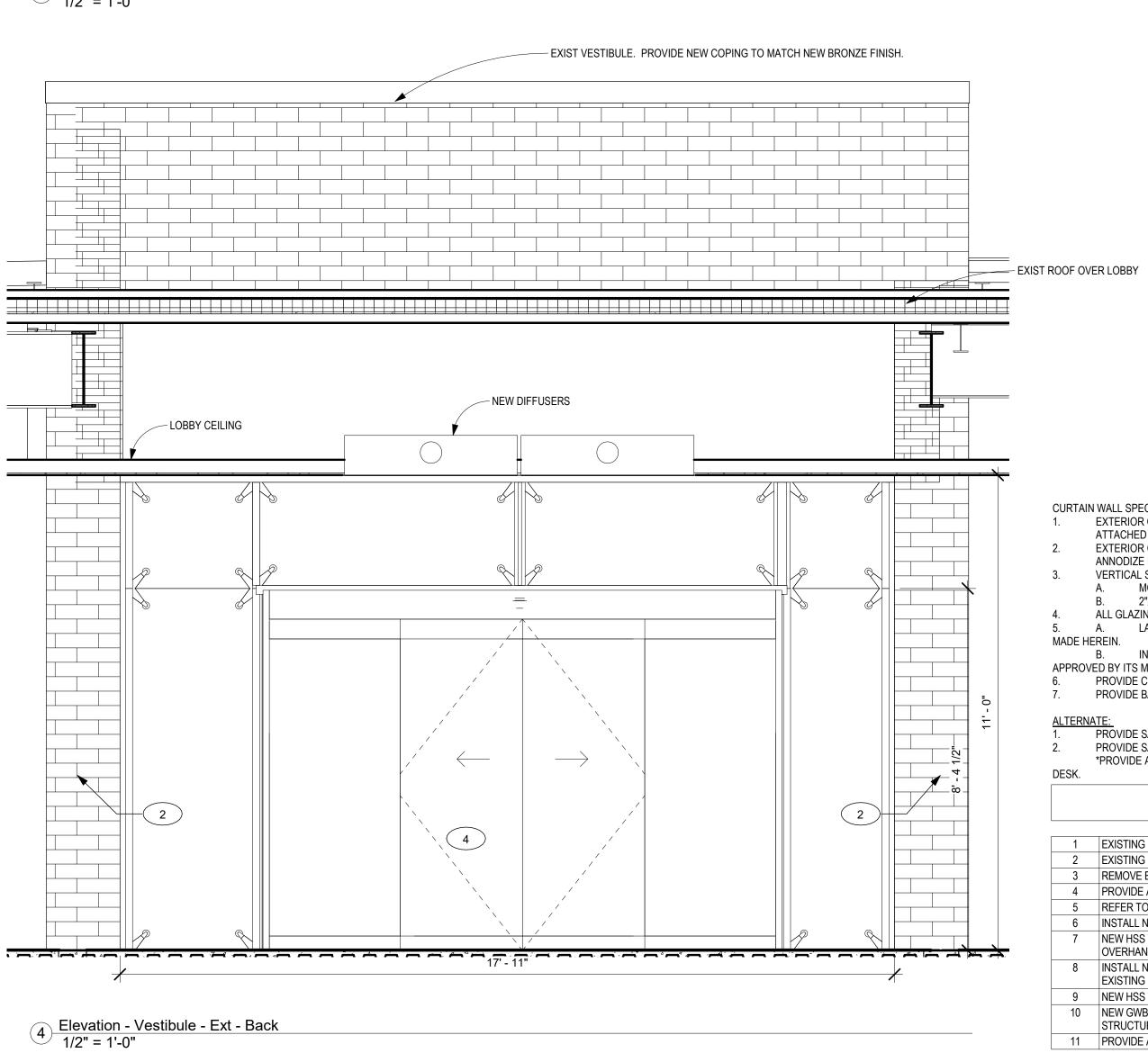
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 MRH

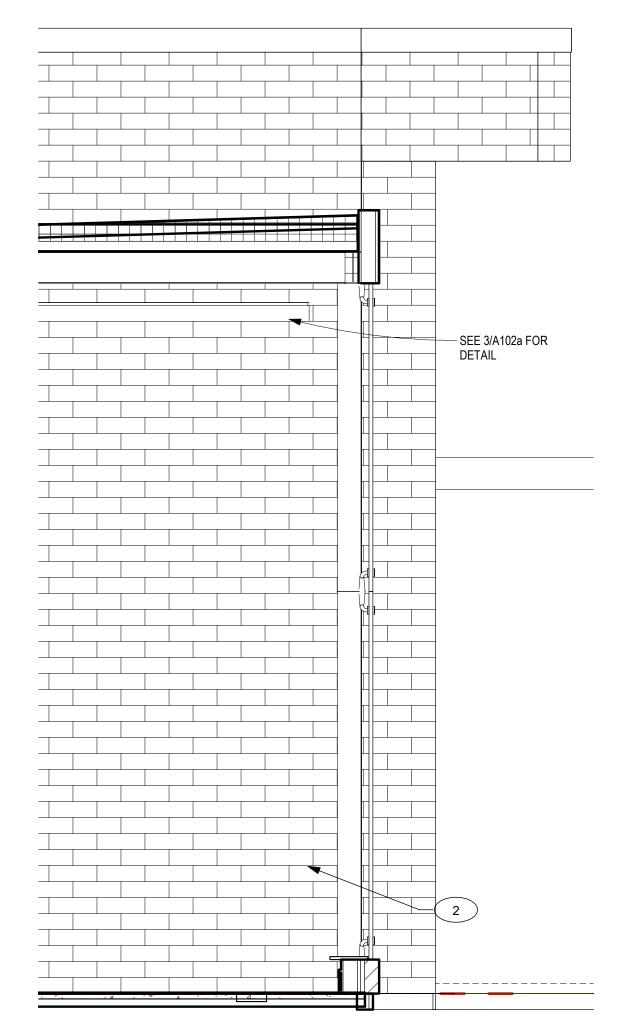
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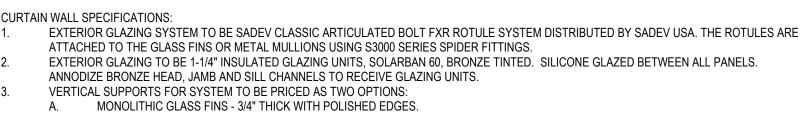
4-102a











2"X5" STEEL TUBE, FINISHED TO MATCH 'BRONZE' PROJECT CONTROL SAMPLE. ALL GLAZING COMPONENTS TO BE 'BRONZE' TO MATCH PROJECT CONTROL SAMPLE, U.N.O. 5. A. LAMINATED GLASS SHALL BE OF SUFFICIENT THICKNESS AND STRENGTH TO MEET THE LOADING AND DEFLECTION SPECIFICATIONS

B. INTERLAYER SHALL BE A MINIMUM .060". INTERLAYER MAY BE EITHER PVB OR CAST RESIN, PROVIDED PVB IS SPECIFICALLY APPROVED BY ITS MANUFACTURER AS ALLOWED FOR EXPOSED EDGE CONDITIONS. PROVIDE CLEAR SILICONE CAULKING AT ALL GLASS TO GLASS CONNECTIONS. PROVIDE BACKER ROD AND BRONZE SILICONE CAULKING AT ALL PERIMETER CONDITIONS.

PROVIDE SAGEGLASS® ELECTROCHROMATIC 1-1/4" INSULATED GLAZING UNITS IN ALL CURTAINWALL LOCATIONS.
PROVIDE SAGEGLASS® 'HARMONY' ELECTROCHROMATIC 1-1/4" INSULATED GLAZING UNITS IN ALL CURTAINWALL LOCATIONS. *PROVIDE ALL LOW VOLTAGE WIRING, TERMATION BOXES, AND CONTROL BOX IN ELECTRICAL ROOM. PROVIDE SWITCHING AT RECEPTION

KEY NOTES - VESTIBULE

- 1 EXISTING EXTERIOR OVERHEAD SCULPTURE ITEM TO REMAIN. EXISTING BRICK PIERS TO REMAIN. PATCH AND REPAIR ANY DAMAGED BRICKS AND REPOINT AS REQUIRED. REMOVE EXISTING WALL HEATER INFILL OPENING WITH BRICK TO MATCH EXISTING. TOOTH-IN NEW BRICK. 4 PROVIDE AND INSTALL STANLEY DURA-GLIDE 2000 AUTOMATIC SLIDING DOORS IN BRONZE FINISH TO MATCH PROJECT STANDARD. REFER TO STRUCTURAL PLANS FOR MODIFICATION OF BRICK PIERS FOR NEW OVERHANG.
- INSTALL NEW METAL STUD FRAMED CEILING WIDH 1/2" DENSLGASS AND PREPARED FOR PAINT. NEW HSS TUBE STEEL AND METAL ANGLE FOR SUPPORTING BRICKS. REFER TO STRUCTURE PLANS. INSTALL NEW BRICKS AT SIDE OF
- OVERHANG. TOOTH INTO EXISTING TO REMAIN. 8 INSTALL NEW METAL STUD FRAMING, SHEATHING, BUILDING WRAP AND WATERPROOFING PRIOR TO INSTALL OF NEW BRICK AT WIDTH OF
- EXISTING BRICK PIERS AFTER REMOVAL OF EXTERIOR PIERS. AND REINFORCES OVERHANG ABOVE.
- 9 NEW HSS TUBE STEEL FRAME AROUND DOORS AND 'SCULPTURE'. REFER TO STRUCTURAL PLANS.

 10 NEW GWB CEILING ALIGNED WITH EXTERIOR CEILING. PROVIDE IN-CEILING BLOCKING AS REQUIRED FOR PENDANT FIXTURES. SECURE TO STRUCTURE.

 11 PROVIDE AND INSTALL AIR CURTAIN. REFER TO ENGINEER PLANS FOR SPEC. PROVIDE IN-WALL BLOCKING.

Description

STYERGROUP

412 DeKalb Street

Norristown, PA 19401

www.styergroup.com

ARCHITECT

KAJ Architects, LLC

412 DeKalb Street Norristown, PA 19401

Phone: 610.275.4600

INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

Kenneth C. Stevenson, R.A.

STRUCTURAL ENGINEER

Andrew G. Sheerer, P.E.

Downingtown, PA 19335 Phone: 610.458.4470

MEP ENGINEER

Marty Jordan 395 Circle of Progress Pottstown, PA 19464

Phone: 484.941.5900

IVD, Inc.

SDA - Structural Design Associates, Inc.

533 West Uwchlan Avenue, Suite 201

INDEPENDENCE PLACE

Lobby Renovation

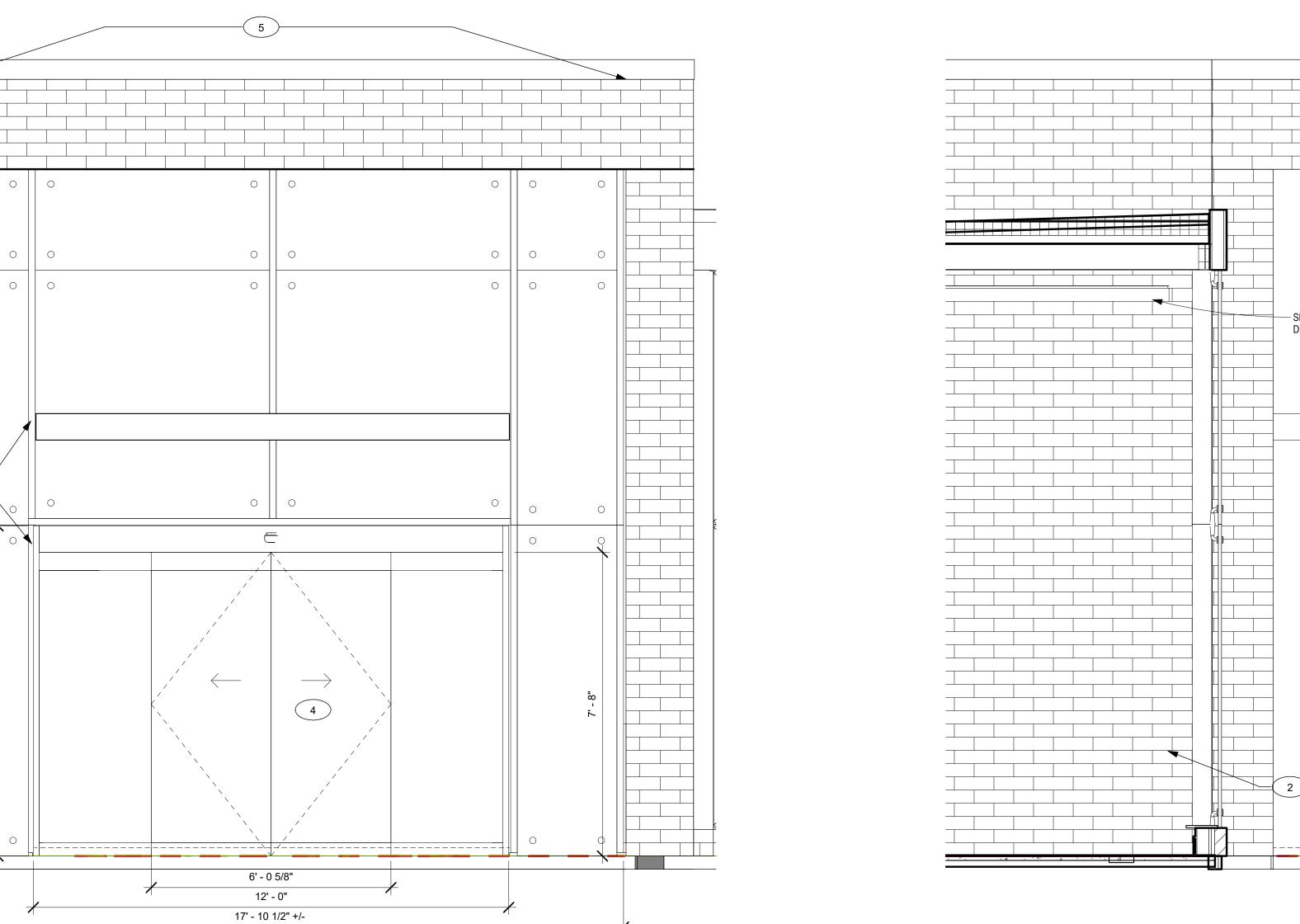
ENLARGED PLAN VESTIBULE RM 100

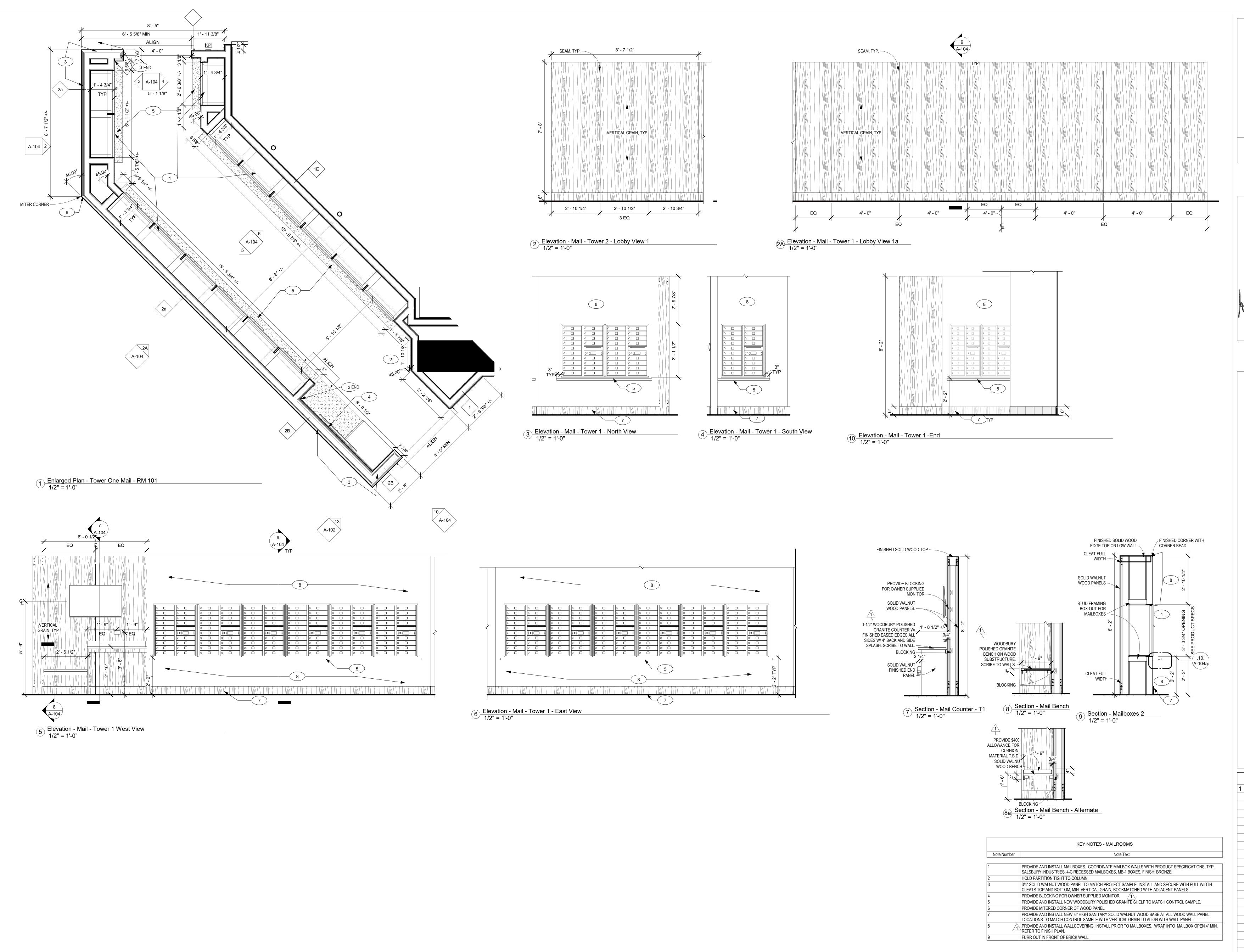
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ARCHITECT KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

No.	Description	Date
1	RESUISION PERMIT	08/2022020

INDEPENDENCE PLACE

Lobby Renovation

ENLARGED PLAN -MAIL ONE - RM 101

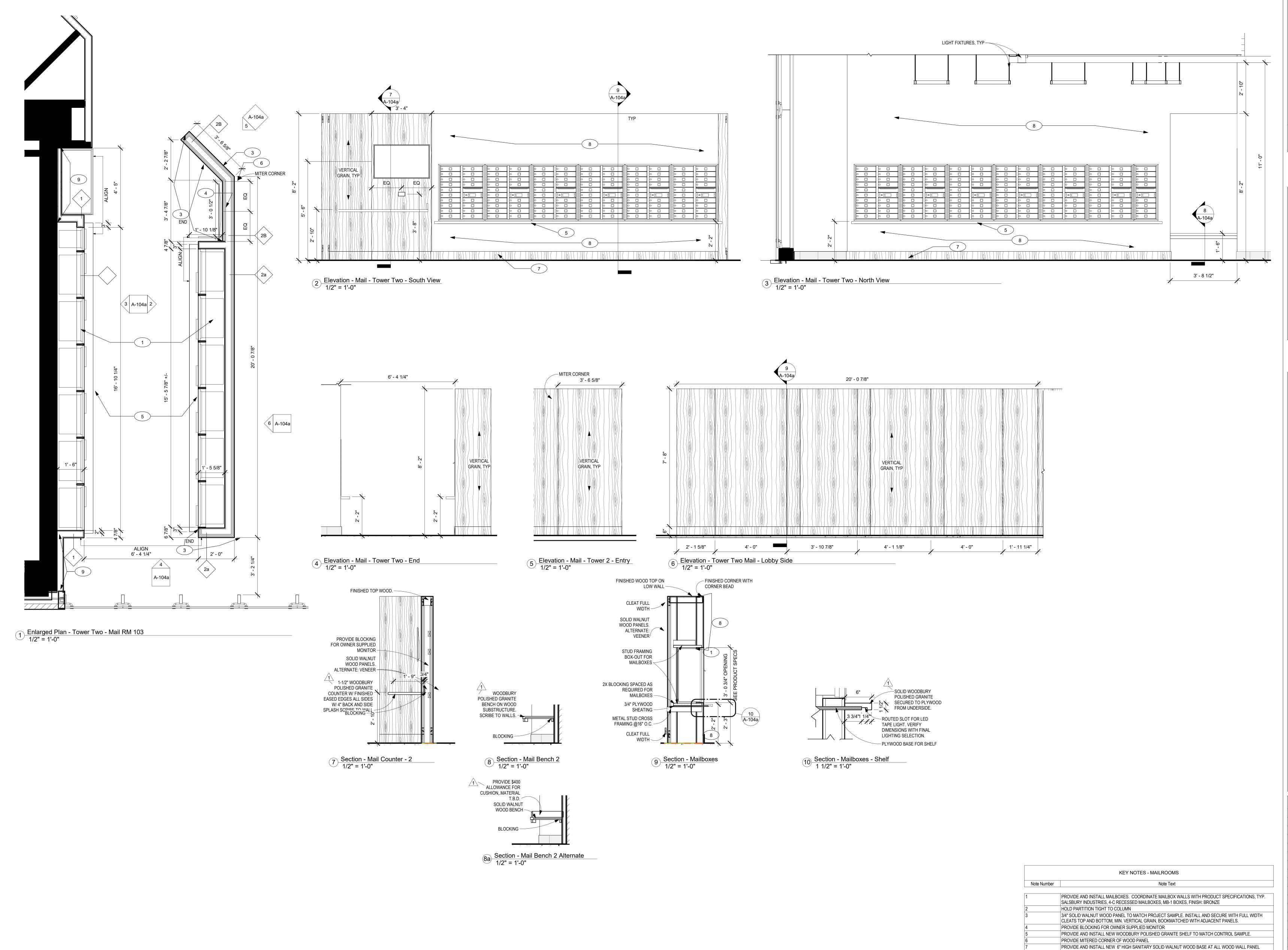
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A-104







ARCHITECT KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

No.	Description	Date
1	RESUISION OR PERMIT	08/202202

INDEPENDENCE PLACE

Lobby Renovation

ENLARGED PLAN MAIL TWO - RM 103

 Project Number
 1921

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 10/19/2020

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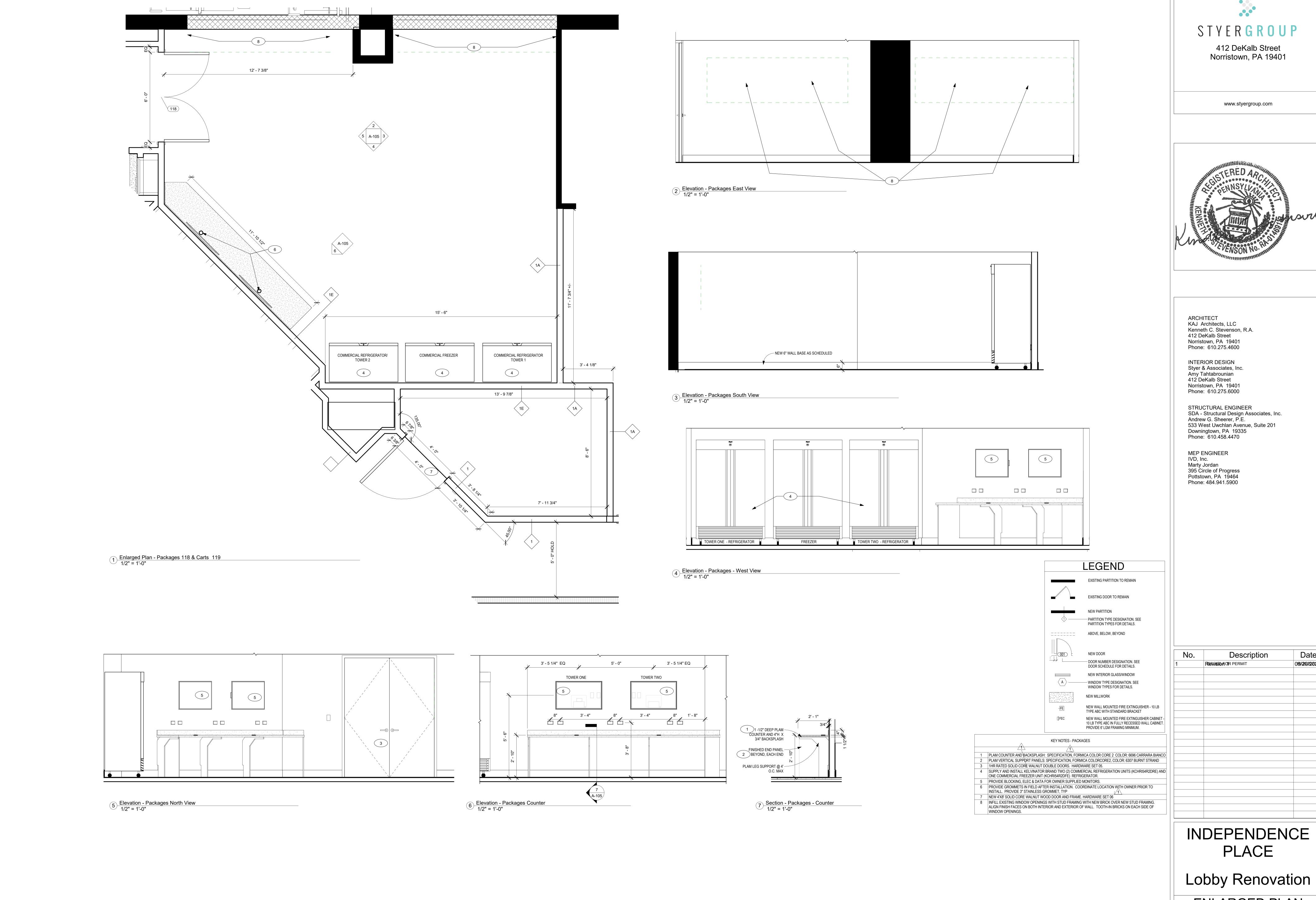
As indicated

LOCATIONS TO MATCH CONTROL SAMPLE WITH VERTICAL GRAIN TO ALIGN WITH WALL PANEL.

REFER TO FINISH PLAN.

FURR OUT IN FRONT OF BRICK WALL.

PROVIDE AND INSTALL WALLCOVERING. INSTALL PRIOR TO MAILBOXES. WRAP INTO MAILBOX OPEN 4" MIN.







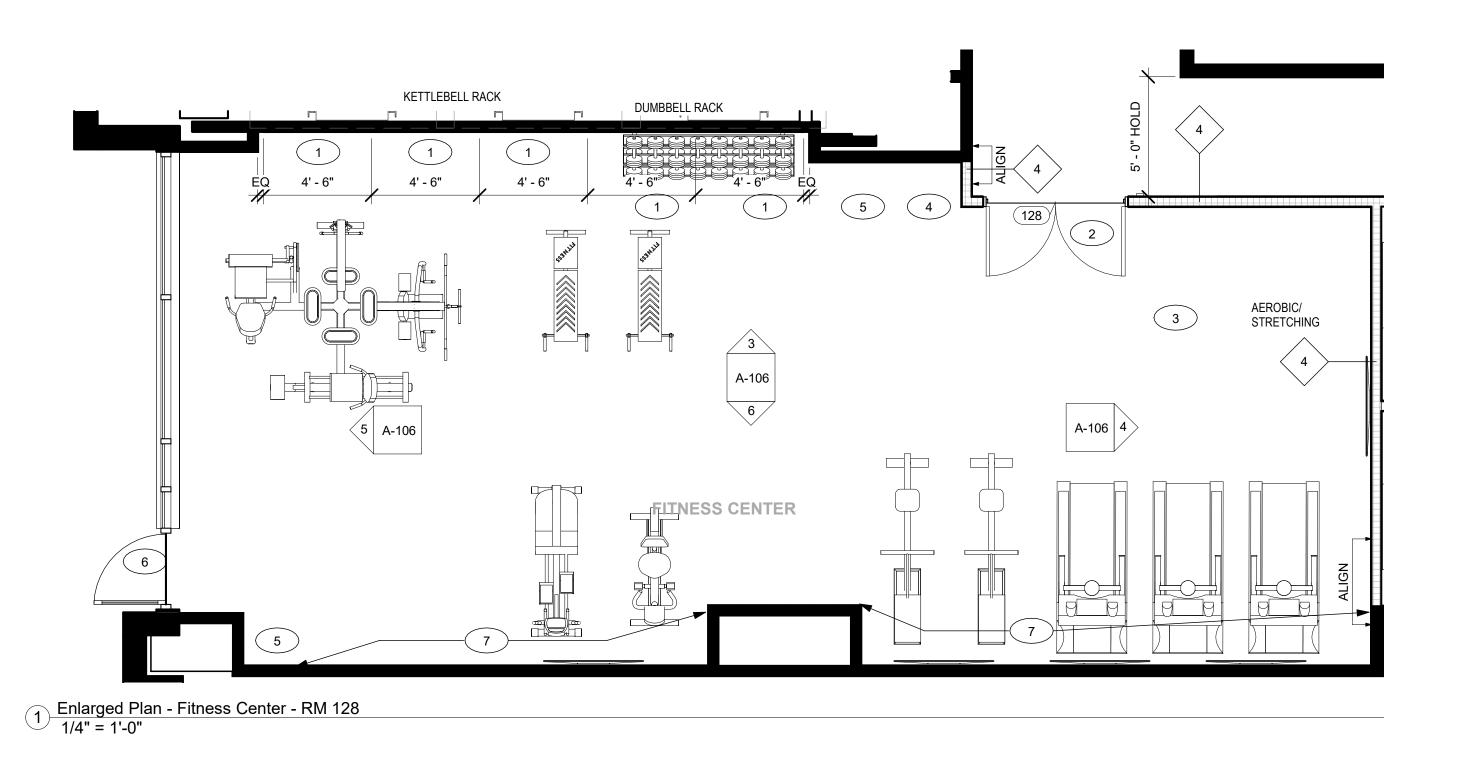
No.	Description	Date
1	REQUISION PERMIT	08/20/202

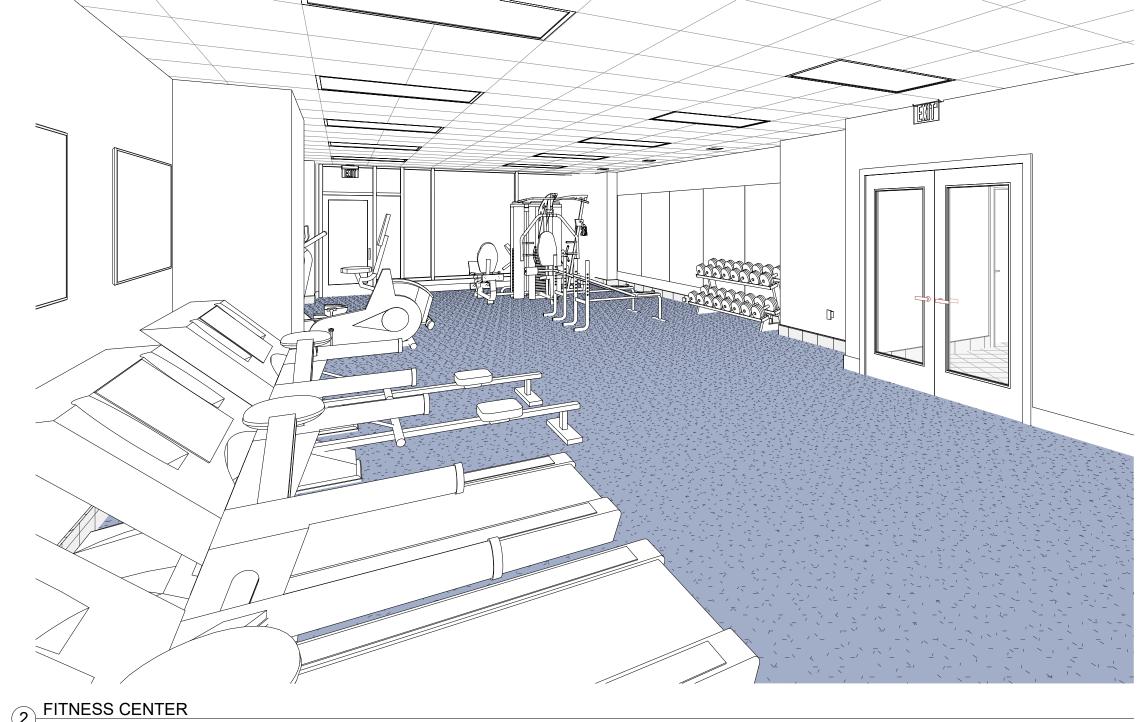
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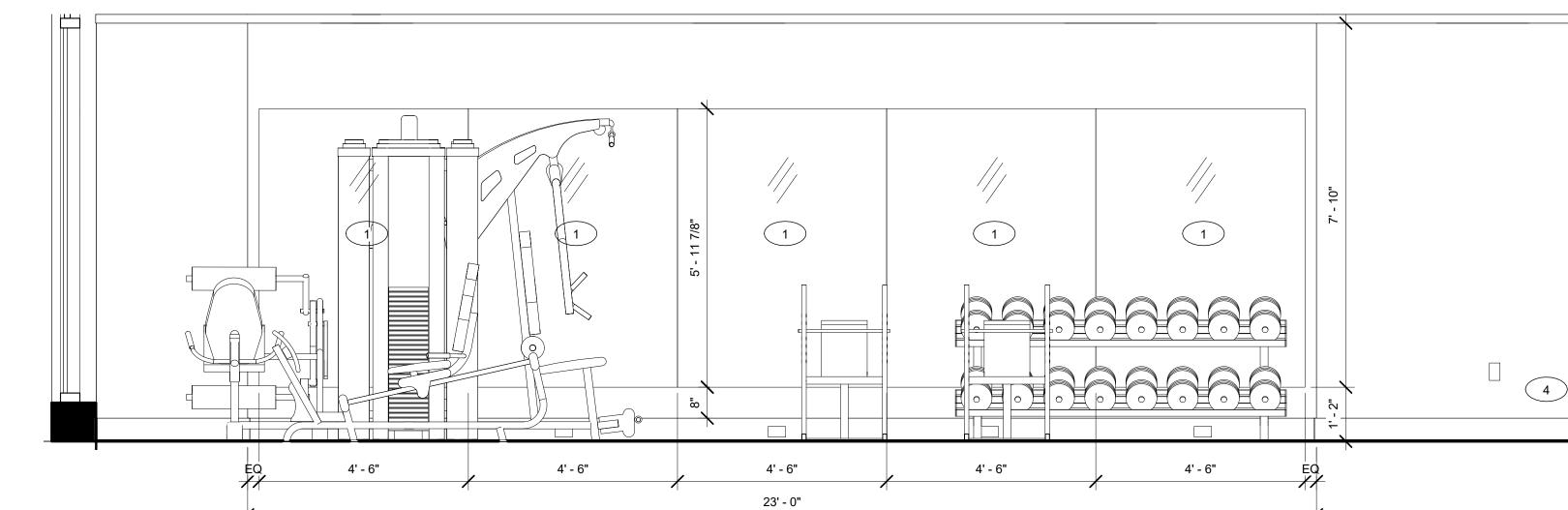
ENLARGED PLAN -PACKAGES-CARTS

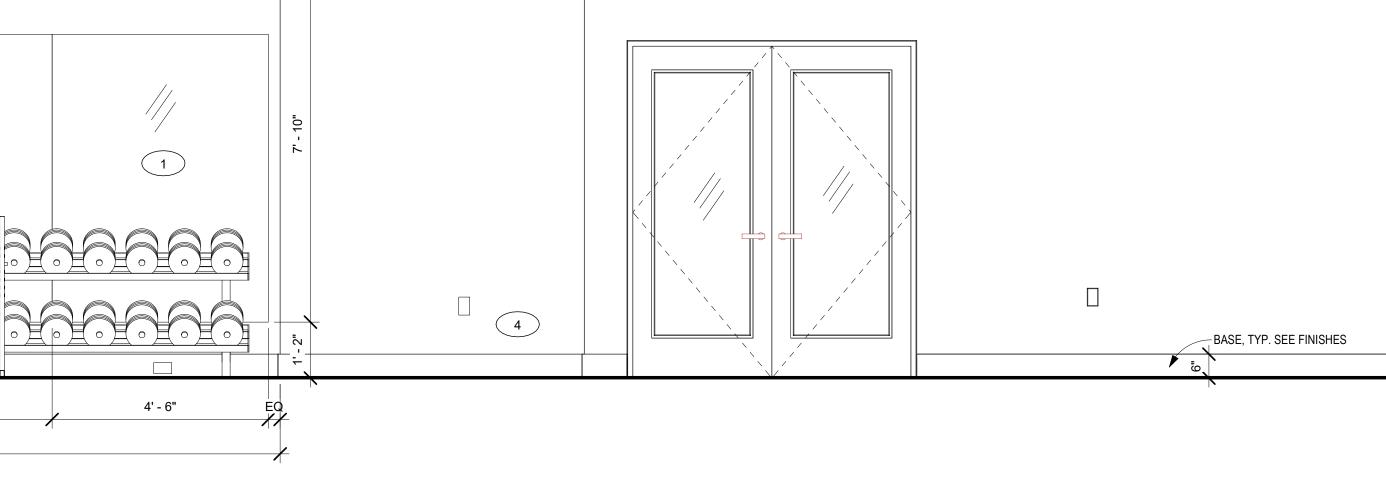
Project Number 10/19/2020 Drawn By AMT Checked By

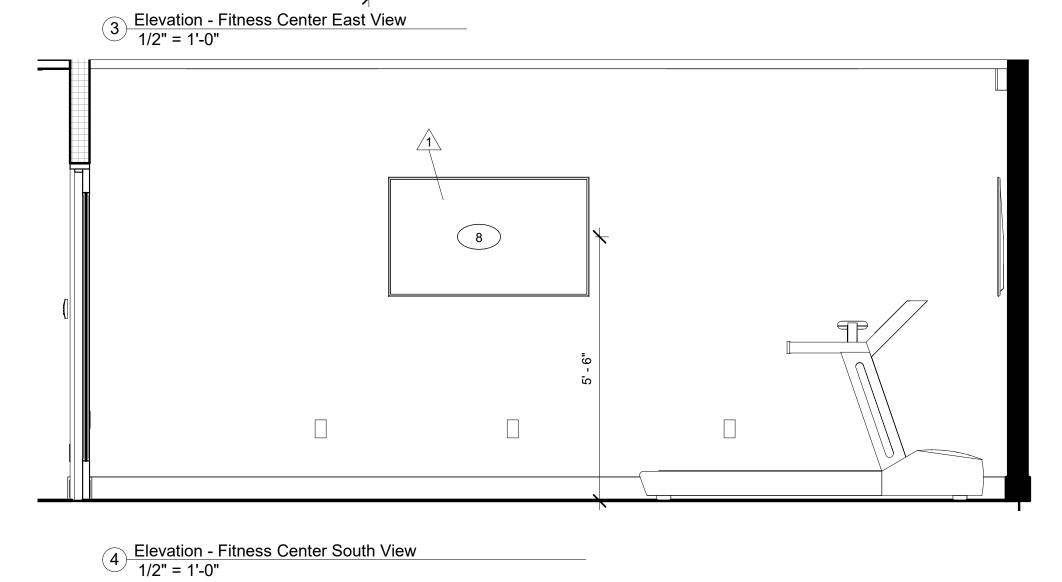
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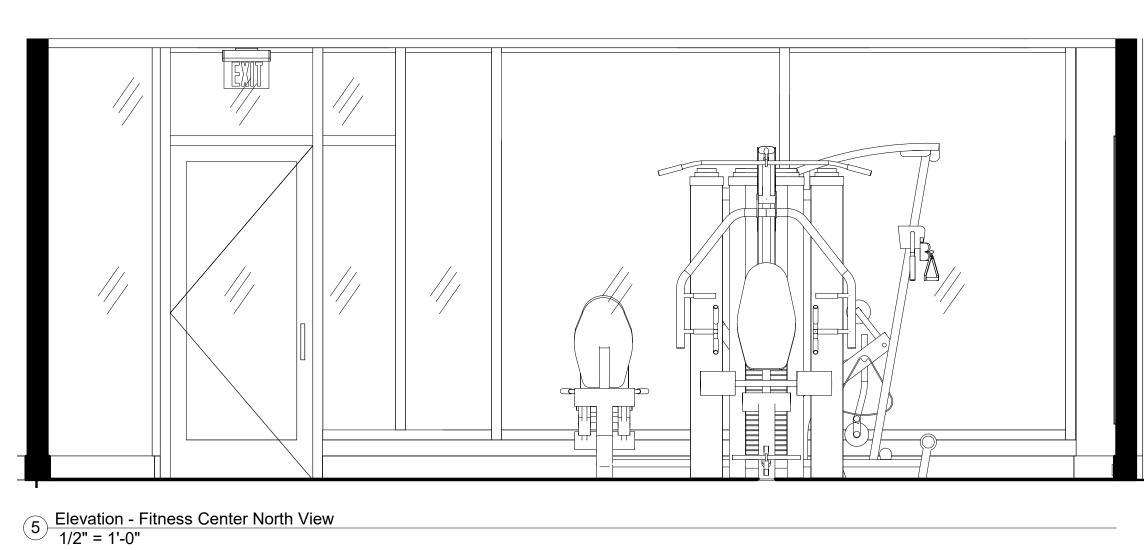


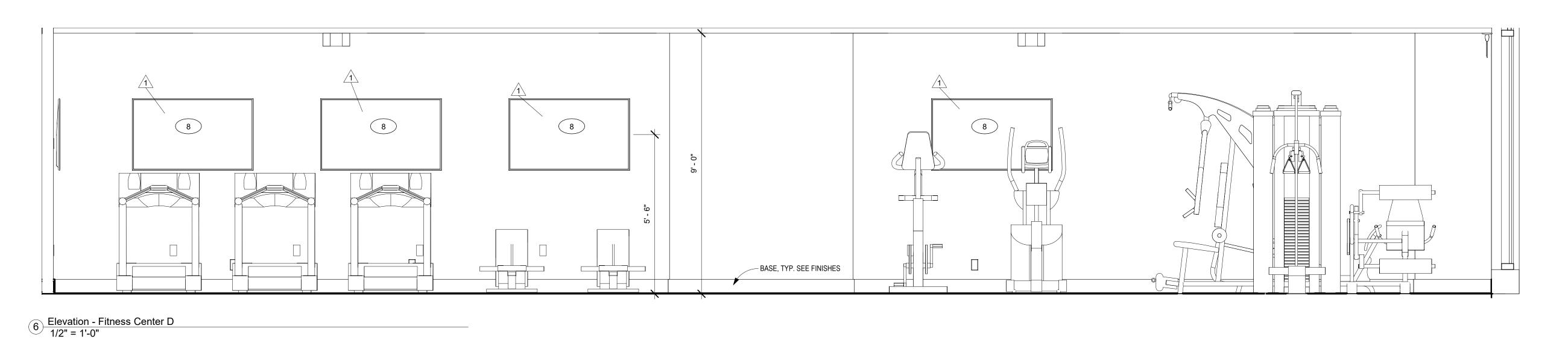












ARCHITECTURAL LEGEND

EXISTING PARTITION TO REMAIN

EXISTING DOOR TO REMAIN

NEW PARTITION

PARTITION TYPE DESIGNATION. SEE PARTITION TYPES FOR DETAILS.

ABOVE, BELOW, BEYOND

NEW DOOR

DOOR NUMBER DESIGNATION. SEE DOOR SCHEDULE FOR DETAILS.

NEW INTERIOR GLASS PARTITION / WINDOW

WINDOW TYPE DESIGNATION. SEE WINDOW TYPES FOR DETAILS.

FLOOR DRAIN - MATCH FLOOR FINISH

NEW MILLWORK

NEW WALL MOUNTED FIRE EXTINGUISHER - 10 LB TYPE ABC WITH STANDARD BRACKET NEW WALL MOUNTED FIRE EXTINGUISHER CABINET - 10 LB TYPE ABC IN FULLY RECESSED WALL CABINET. PROVIDE 6' LGM FRAMING MINIMUM. STYERGROUP

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SHEET NOTES

PARTITION DIMENSIONED TO FINISH FACE U.O.N.
 USE TYPE "X" GWB ON FIRE RATED PARTITIONS.

- USE WATER, MOISTURE, AND MILDEW RESISTANT GWB IN RESTROOMS AND ON ALL PARTITIONS IN WET LOCATIONS OR SCHEDULED TO RECEIVE CERAMIC TILE (U.O.N.). SEE FINISH SCHEDULE FOR TILE LOCATIONS.
 SEE DETAILS ON A-101 FOR TYPICAL PARTITIONS DETAILS.
- WHERE FURRED PARTITIONS EXCEED MAXIMUM HEIGHT, BRACE TO ADJACENT STURCTURE AT 4'-0" O.C. MAX.
 FOR NON-RATED PARTITIONS, SEE PARTITION TYPES FOR EXTENT OF FRAMING AND FINISHES.
 FIRE SAFE PENETRATIONS AT RATED PARTITIONS PER APPLICABLE UL ASSEMBLY.
 PROVIDE BLOCKING AS REQUIRED AT LOCATIONS INCLUDING BUT NOT LIMITED TO: GRAB BARS, SHELVING,
- OVERHEAD CABINETS, SIGNAGE, TOILET ROOMS ACCESSORIES, RAILINGS, ETC.

 9. ALL INTERIOR PARTITIONS ARE TYPE "1", U.N.O.

 10. REFER TO ENLARGED PLANS AND ACCESSORIES SCHEDULE TO COORDINATE LOCATION OF RECESS MOUNTED ACCESSORIES. REFER TO A-001 FOR MOUNTING HEIGHT. SEE SPECIFICATIONS & ENLARGED PLANS FOR FIXTURES AND ACCESSORIES.
- DRYWALL TO BE HELD OFF CONCRETE BY 1" TO PREVENT WICKING MOISTURE FROM CONCRETE
 A FINISH OR FIRE RATING OF A WALL SHALL REFER TO THE ENTIRE LENGTH OF THE WALL.
 ALL PENETRATIONS OF DUCTWORK, CONDUIT, PIPING, WALLS AND SIMILAR WORK THROUGH FIRE RATED ASSEMBLIES SHALL BE SEALED TO MAINTAIN THE ORIGINAL RATING OF ASSEMBLY.
 ALL CRACKS AND HOLES WITHIN NEW SLAB AND WALLS TO TO BE FILLED. ALL CRACKS IN CONCRETE FLOORS TO BE FILLED AND FLOOR TO BE FULLY PREPPED TO RECEIVE NEW FINISH/EPOXY COATING.
 FLOORS AT LOCATIONS TO RECEIVE CARPETING TO BE FLASH PATCHED TO PROVIDE SMOOTH TRANSITION BETWEEN CARPET AND TILE.
- PROVIDE EXPANSION JOINTS AND CRACK ISOLATION MEMBRANES AT SLAB INTERSECTIONS.
 VERIFY LOCATION OF TV'S WITH OWNER. PROVIDE BLOCKING AS REQUIRED.
 PROVIDE NEW EXPANSION JOINT COVERS AND COMPRESSIBLE FILLE IN LOBBY. FINISH TO BE NICKLE OR SILVER TO MATCH FLOOR. VERIFY WITH STYERGROUP PRIOR TO ORDER.
- 19. SEE ENLARGED DRAWINGS FOR ADDITIONAL DIMENSIONS REQUIRED FOR OVERALL LAYOUT.

 20. LAMINATE EXISTING TO REMAIN TEXTURED WALL WITH 3/8" GWB AND FINISH TO LEVEL 4 MINIMUM, TYP ALL WALLS IN LOBBY AND ELEVATORS.
- 21. REFERENCE HARDWARE SCHEDULE ON A-601 FOR ALL DOOR HARDWARE.

KEY NOTES

- PROVIDE AND INSTALL FRAMELESS WALL MIRROR. PROVIDE BLOCKING AS REQUIRED. MIRRORS ARE DULLES GLASS MIRASAFE SAFETY MIRRORS 48"X72" HIGH INSTALLED 8" ABOVE BASEBOARD.

 PROVIDE NEW SOLID CORE WALNUT WOOD FULL-VISION DOUBLE DOORS. HARDWARE SET: 05

 SANITARY DRAIN LINE EXTENDING VERTICALLY THROUGH SPACE TO BE RELOCATED TO NEAREST DEMISING PARTITION. BOX OUT AS REQUIRED. HOLD TIGHT TO PIPE IN NEW LOCATION.

 PROVIDE ELECTRICAL DUPLEX AND 1/4" WATER LINE FOR WATER CHILLER/WATER BOTTLE DISPENSER PROVIDED BY OWNER..

 INSTALL SANITATION STATION PROVIDED BY OWNER. FITNESS EXCHANGE CLEANING STATION ALL-IN-ONE
- 5 INSTALL SANITATION STATION PROVIDED BY OWNER. FITNESS EXCHANGE CLEANING STATION ALL-IN-ONE MODEL:TCS-B
 6 PROVIDE NEW ELECTRIC STRIKE WIRED TO NEW FOB ACCESS DEVICE LOCATED ON ADJACENT WALL OR MULLION. COORDINATE WITH OWNER SECURITY.
 7 PATCH AND REPAIR OR REPLACE EXISTING GWB ALONG FULL LENGTH OF WALL DUE TO REMOVAL OF
- 7 PATCH AND REPAIR OR REPLACE EXISTING GWB ALONG FULL LENGTH C 1 VESTIBULE AND CLOSETS ALONG EXISTING WALL 8 PROVIDE BLOCKING, ELEC & DATA FOR OWNER SUPPLIED MONITORS.

ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
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Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

No.	Description	Date
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INDEPENDENCE PLACE

Lobby Renovation

ENLARGED PLAN -FITNESS CENTER -RM 128

 Project Number
 1921

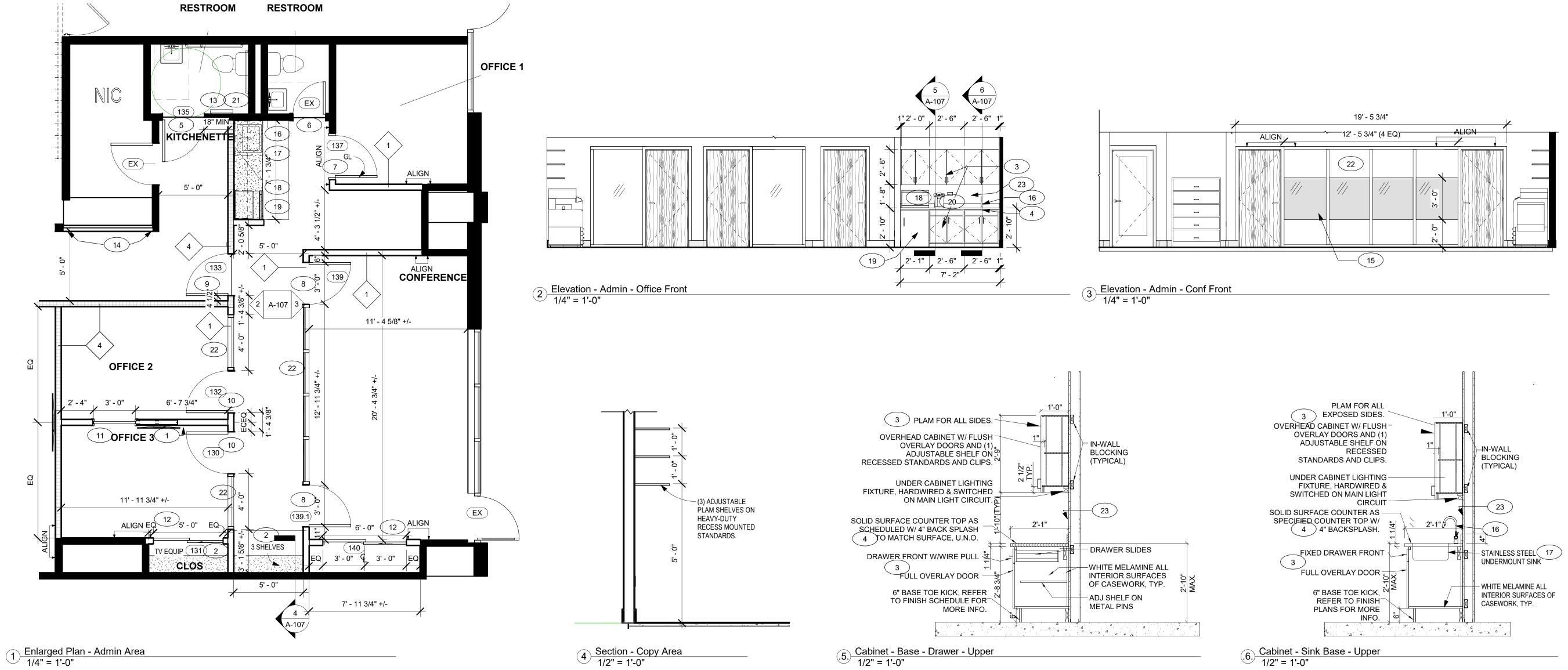
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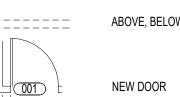
A-106

Scale As indicated





EXISTING PARTITION TO REMAIN EXISTING DOOR TO REMAIN **NEW PARTITION** — PARTITION TYPE DESIGNATION. SEE PARTITION TYPES FOR DETAILS. ABOVE, BELOW, BEYOND



— DOOR NUMBER DESIGNATION. SEE DOOR SCHEDULE FOR DETAILS. NEW INTERIOR GLASS PARTITION / WINDOW — WINDOW TYPE DESIGNATION. SEE WINDOW TYPES FOR DETAILS.

NEW MILLWORK

NEW WALL MOUNTED FIRE EXTINGUISHER - 10 LB TYPE ABC WITH NEW WALL MOUNTED FIRE EXTINGUISHER CABINET - 10 LB TYPE ABC IN FULLY RECESSED WALL CABINET. PROVIDE 6' LGM FRAMING MINIMUM. FLOOR DRAIN - MATCH FLOOR FINISH

AREAS SPECIFIC SHEET NOTES:

PROVIDE ALL BLOCKING FOR SHELVING, CHANGING TABLE, CABINETRY, GC SUPPLIED SHELVING, ETC. FURNITURE BY OTHERS, U.N.O.
PROVIDE STAINLESS STEEL MICROWAVE AND UNDERMOUNT REFRIGERATOR.

SHEET NOTES

1. PARTITION DIMENSIONED TO FINISH FACE U.O.N. 2. USE TYPE "X" GWB ON FIRE RATED PARTITIONS.

- 3. USE WATER, MOISTURE, AND MILDEW RESISTANT GWB IN RESTROOMS AND ON ALL PARTITIONS IN WET LOCATIONS OR SCHEDULED TO RECEIVE CERAMIC TILE (U.O.N.). SEE FINISH SCHEDULE FOR TILE LOCATIONS. 4. SEE DETAILS ON A-101 FOR TYPICAL PARTITIONS DETAILS.
- 5. WHERE FURRED PARTITIONS EXCEED MAXIMUM HEIGHT, BRACE TO ADJACENT STURCTURE AT 4'-0" O.C. MAX. 6. FOR NON-RATED PARTITIONS, SEE PARTITION TYPES FOR EXTENT OF FRAMING AND FINISHES.
- 7. FIRE SAFE PENETRATIONS AT RATED PARTITIONS PER APPLICABLE UL ASSEMBLY.
- 8. PROVIDE BLOCKING AS REQUIRED AT LOCATIONS INCLUDING BUT NOT LIMITED TO: GRAB BARS, SHELVING, OVERHEAD CABINETS, SIGNAGE, TOILET ROOMS ACCESSORIES, RAILINGS, ETC. 9. ALL INTERIOR PARTITIONS ARE TYPE "1", U.N.O.
- 10. REFER TO ENLARGED PLANS AND ACCESSORIES SCHEDULE TO COORDINATE LOCATION OF RECESS MOUNTED ACCESSORIES. REFER TO A-001 FOR MOUNTING HEIGHT. SEE SPECIFICATIONS & ENLARGED PLANS FOR FIXTURES AND ACCESSORIES.
- 11. DRYWALL TO BE HELD OFF CONCRETE BY 1" TO PREVENT WICKING MOISTURE FROM CONCRETE 12. A FINISH OR FIRE RATING OF A WALL SHALL REFER TO THE ENTIRE LENGTH OF THE WALL. 13. ALL PENETRATIONS OF DUCTWORK, CONDUIT, PIPING, WALLS AND SIMILAR WORK THROUGH FIRE RATED ASSEMBLIES SHALL BE SEALED TO MAINTAIN THE ORIGINAL RATING OF ASSEMBLY.
- 14. ALL CRACKS AND HOLES WITHIN NEW SLAB AND WALLS TO TO BE FILLED. ALL CRACKS IN CONCRETE FLOORS TO BE FILLED AND FLOOR TO BE FULLY PREPPED TO RECEIVE NEW FINISH/EPOXY COATING. 15. FLOORS AT LOCATIONS TO RECEIVE CARPETING TO BE FLASH PATCHED TO PROVIDE SMOOTH TRANSITION
- 16. PROVIDE EXPANSION JOINTS AND CRACK ISOLATION MEMBRANES AT SLAB INTERSECTIONS. 17. VERIFY LOCATION OF TV'S WITH OWNER. PROVIDE BLOCKING AS REQUIRED.
- 18. PROVIDE NEW EXPANSION JOINT COVERS AND COMPRESSIBLE FILLE IN LOBBY. FINISH TO BE NICKLE OR SILVER TO MATCH FLOOR. VERIFY WITH STYERGROUP PRIOR TO ORDER.
- 19. SEE ENLARGED DRAWINGS FOR ADDITIONAL DIMENSIONS REQUIRED FOR OVERALL LAYOUT.
- 20. LAMINATE EXISTING TO REMAIN TEXTURED WALL WITH 3/8" GWB AND FINISH TO LEVEL 4 MINIMUM, TYP ALL WALLS IN LOBBY AND ELEVATORS. 21. REFERENCE HARDWARE SCHEDULE ON A-601 FOR ALL DOOR HARDWARE.

KEY NOTES

- PROVIDE BLOCKING FOR OWNER SUPPLIED MONITOR
- PROVIDE MINIMUM THREE (3) PLAM SHELVES ON HEAVY DUTY STANDARDS AND COORDINATE EQUIPMENT RELOCATION FOR SECURITY EQUIPMENT. PLAM SPECIFICATION: FORMICA COLORCORE2, COLOR: 3505
- PLAM SPECIFICATION KITCHENETTE: FORMICA COLORCORE2, COLOR: 6307 BURNT STRAND SOLID SURFACE: CAMBRIA SWANBRIDGE
- NEW 36" PAINTED H.M. DOOR AND FRAME IN WIDENED OPENING. HARDWARE SET: 07. PNSURE 18"
- CLEARANCE AT STRIKE SIDE. PROVIDE NEW SCHLAGE ND40 ATH PRIVACY LEVER LOCKSET ON EXISTING DOOR TO REMAIN. PROVIDE NEW STILE AND RAIL SOLID WALNUT WOOD DOOR WITH TEMPERED GLASS. HARDWARE SET: 08 2 PROVIDE SOLID CORE WALNUT WOOD DOOR IN STOREFRONT FRAMING WITH HARDWARE SET: 08
- PROVIDE NEW 1 HR RATED SOLID WALNUT WOOD DOOR WITH LEVER STOREROOM LOCKSET CONNECTED TO ELECTRIC STRIKE TIED TO KEYPAD. HARDWARE SET: 06 /1 PROVIDE SOLID CORE WALNUT WOOD DOOR IN STOREFRONT FRAMING. HARDWARE SET: 08 1 PROVIDE SOLID CORE, WALNUT LOCKING WOOD POCKET DOOR WITH STAINED WOOD TRIM TO MATCH DOOR.
- HARDWARE SET: 09 /1 PROVIDE SOLID CORE WALNUT WOOD SLIDING DOORS. HARDWARE SET: 10 1 PROVIDE AND INSTALL KOALA KB101 VERTICAL BABY CHANGING STATION. PROVIDE BLOCKING.
- FURR EXISTING COLUMN TO ALIGN WITH ADJACENT PARTITION PROVIDE AND INSTALL OPAQUE FROSTED FILM.
- PROVIDE AND INSTALL MOEN 7565 FAUCET PROVIDE MOEN GS18161 STAINLESS STEEL UNDERMOUNT SINK
- PROVIDE AND INSTALL COUNTERTOP MICROWAVE OVEN AMANA AMC-4322GC PROVIDE STAINLESS STEEL UNDERCOUNTER REFRIGERATOR SUMMIT FF7BSSHVADA
- PROVIDE 1/4" WATER LINE. PROVIDE AND INSTALL COUNTERTOP COFFEE MAKER KEURIG® K150P PATCH AND FINISH GWB WALL AS REQUIRED TO ACCOMMODATE CONNECTION TO EXISTING SANITARY WASTE
- LINES. COORDINATE WITH PLUMBING PLANS. PROVIDE AND INSTALL CLEAR ANODIZED ALUMINUM STOREFRONT COMBINATION UNIT WITH DOORS AND SIDELIGHTS WITH TEMPERED GLASS.
- PROVIDE AND INSTALL TYPE 2 HEAVY DUTY WALLCOVERING 'WC-2' FROM BACKSPLASH TO UNDERSIDE OF



412 DeKalb Street

Norristown, PA 19401

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ARCHITECT KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER SDA - Structural Design Associates, Inc. Andrew G. Sheerer, P.E. 533 West Uwchlan Avenue, Suite 201 Downingtown, PA 19335 Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464

Phone: 484.941.5900

No.	Description	Date
1	Resulsion OR PERMIT	08/2022020
2	Revision 2	08/24/2020

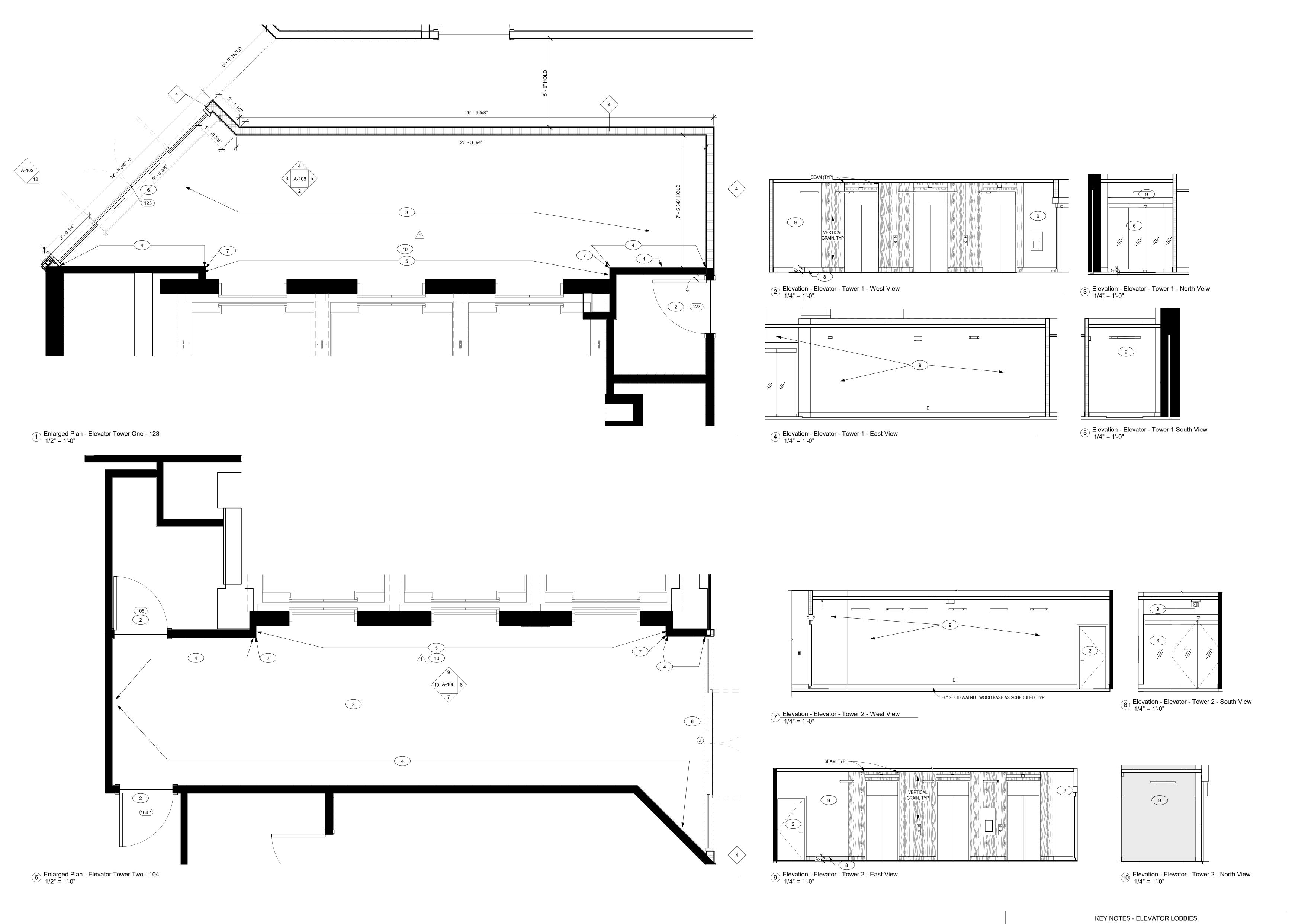
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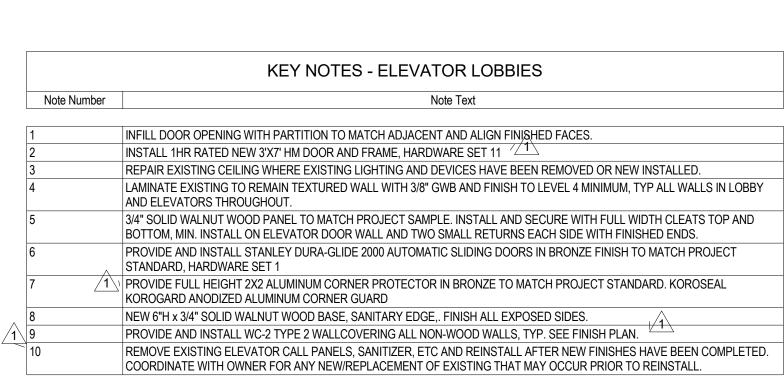
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ENLARGED PLAN -ADMIN AREA

1921 10/19/2020 AMT

A-107









ARCHITECT KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

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1	RESIDENT OR PERMIT	08/20/20

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ENLARGED PLAN -ELEVATOR LOBBIES

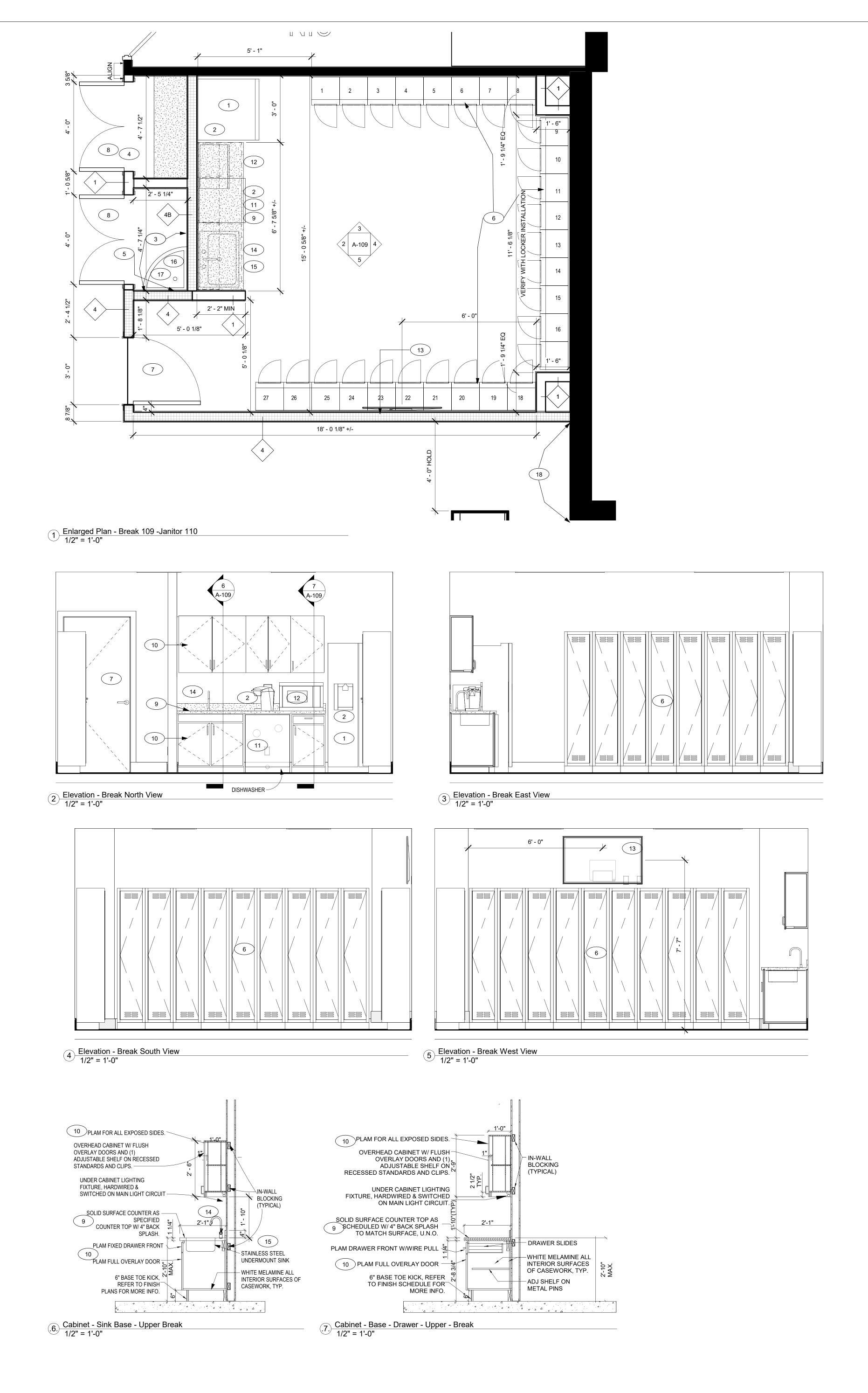
 Project Number
 1921

 Date
 10/19/2020

 Drawn By
 MRH

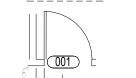
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ARCHITECTURAL LEGEND

EXISTING PARTITION TO REMAIN EXISTING DOOR TO REMAIN **NEW PARTITION** PARTITION TYPE DESIGNATION. SEE PARTITION TYPES FOR DETAILS. ABOVE, BELOW, BEYOND

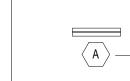


NEW DOOR



— DOOR NUMBER DESIGNATION. SEE DOOR SCHEDULE FOR DETAILS.

WINDOW TYPE DESIGNATION. SEE WINDOW TYPES FOR DETAILS.



NEW MILLWORK

NEW WALL MOUNTED FIRE EXTINGUISHER - 10 LB TYPE ABC WITH NEW WALL MOUNTED FIRE EXTINGUISHER CABINET - 10 LB TYPE ABC IN FULLY

RECESSED WALL CABINET. PROVIDE 6' LGM FRAMING MINIMUM. FLOOR DRAIN - MATCH FLOOR FINISH



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SHEET NOTES

- 1. PARTITION DIMENSIONED TO FINISH FACE U.O.N.
- 2. USE TYPE "X" GWB ON FIRE RATED PARTITIONS. 3. USE WATER, MOISTURE, AND MILDEW RESISTANT GWB IN RESTROOMS AND ON ALL PARTITIONS IN WET LOCATIONS OR SCHEDULED TO RECEIVE CERAMIC TILE (U.O.N.). SEE FINISH SCHEDULE FOR TILE LOCATIONS.
- 4. SEE DETAILS ON A-101 FOR TYPICAL PARTITIONS DETAILS. 5. WHERE FURRED PARTITIONS EXCEED MAXIMUM HEIGHT, BRACE TO ADJACENT STURCTURE AT 4'-0" O.C. MAX.
- 6. FOR NON-RATED PARTITIONS, SEE PARTITION TYPES FOR EXTENT OF FRAMING AND FINISHES.
- 7. FIRE SAFE PENETRATIONS AT RATED PARTITIONS PER APPLICABLE UL ASSEMBLY. 8. PROVIDE BLOCKING AS REQUIRED AT LOCATIONS INCLUDING BUT NOT LIMITED TO: GRAB BARS, SHELVING, OVERHEAD CABINETS, SIGNAGE, TOILET ROOMS ACCESSORIES, RAILINGS, ETC.
- 9. ALL INTERIOR PARTITIONS ARE TYPE "1", U.N.O. 10. REFER TO ENLARGED PLANS AND ACCESSORIES SCHEDULE TO COORDINATE LOCATION OF RECESS MOUNTED
- ACCESSORIES. REFER TO A-001 FOR MOUNTING HEIGHT. SEE SPECIFICATIONS & ENLARGED PLANS FOR FIXTURES AND ACCESSORIES.
- 11. DRYWALL TO BE HELD OFF CONCRETE BY 1" TO PREVENT WICKING MOISTURE FROM CONCRETE 12. A FINISH OR FIRE RATING OF A WALL SHALL REFER TO THE ENTIRE LENGTH OF THE WALL.
- 13. ALL PENETRATIONS OF DUCTWORK, CONDUIT, PIPING, WALLS AND SIMILAR WORK THROUGH FIRE RATED ASSEMBLIES SHALL BE SEALED TO MAINTAIN THE ORIGINAL RATING OF ASSEMBLY.
- 14. ALL CRACKS AND HOLES WITHIN NEW SLAB AND WALLS TO TO BE FILLED. ALL CRACKS IN CONCRETE FLOORS TO BE FILLED AND FLOOR TO BE FULLY PREPPED TO RECEIVE NEW FINISH/EPOXY COATING.
- 15. FLOORS AT LOCATIONS TO RECEIVE CARPETING TO BE FLASH PATCHED TO PROVIDE SMOOTH TRANSITION BETWEEN CARPET AND TILE.
- 16. PROVIDE EXPANSION JOINTS AND CRACK ISOLATION MEMBRANES AT SLAB INTERSECTIONS.
- 17. VERIFY LOCATION OF TV'S WITH OWNER. PROVIDE BLOCKING AS REQUIRED. 18. PROVIDE NEW EXPANSION JOINT COVERS AND COMPRESSIBLE FILLE IN LOBBY. FINISH TO BE NICKLE OR SILVER
- TO MATCH FLOOR. VERIFY WITH STYERGROUP PRIOR TO ORDER.
- 19. SEE ENLARGED DRAWINGS FOR ADDITIONAL DIMENSIONS REQUIRED FOR OVERALL LAYOUT. 20. LAMINATE EXISTING TO REMAIN TEXTURED WALL WITH 3/8" GWB AND FINISH TO LEVEL 4 MINIMUM, TYP ALL
- WALLS IN LOBBY AND ELEVATORS. 21. REFERENCE HARDWARE SCHEDULE ON A-601 FOR ALL DOOR HARDWARE.

KEY NOTES

- PROVIDE STAINLESS STEEL REFRIGERATOR WITH ICE MAKER. SAMSUNG RT18M6215SR
- PROVIDE 1/4" WATER LINE WALL VALVE SHUTOFF FOR ICE MAKER IN REFRIGERATOR AND COFFEE PROVIDE FRP PANELS TO 48" MIN AFF, MIN 1'-0" ABOVE FAUCET - 2 WALLS. SPEC: 490N SMOOTH LIGHT 1
- PROVIDE (5) ADJUSTABLE 18" D X 3/4" PLAM SHELVES ON HEAVY DUTY STANDARDS. PLAM SPECIFICATION: FORMICA COLORCORE2, COLOR: 3505 STORM SOLIDZ
- PROVIDE MOP HOLDER AND SHELF ABOVE JANITOR BASIN, BOBRICK B239 PROVIDE AND INSTALL NEW SCRANTON PRODUCTS TUFTEC SOLID PLASITC LOCKERS, COLOR T.B.D. VERIFY DIMENSION PRIOR TO ROUGH IN OF WALLS.
- PROVIDE 3' X 7' PAINTED H.M DOOR AND FRAME, HARDWARE SET: 07 PROVIDE 6' X 7' DOUBLE H.M. DOORS AND FRAME, HARDDWARE SET: 12
- 9 SOLID SURFACE COUNTER AND 4" BACK AND SIDE SPLASH: CORIAN LEVEL 3, COLOR T.B.D. PLAM CABINETS SPECIFICIATION: FORMICA COLORCORE2, COLOR: 6307 BURNT STRAND PROVIDE AND INSTALL ADA HEIGHT STAINLESS STEEL DISHWASHER - SAMSUNG DW60R2014US
- PROVIDE AND INSTALL COUNTERTOP MICROWAVE OVEN AMANA AMC-4322GC PROVIDE BLOCKING FOR OWNER SUPPLIED TELEVISION.
- PROVIDE AND INSTALL MOEN 7565 FAUCET PROVIDE MOEN GS18161 STAINLESS STEEL UNDERMOUNT SINK PROVIDE FIATPRODUCTS MOLDED-STONE FLOOR MOUNTED STONE MOP SERVICE BASIN MSB3624
- PROVIDE CHICAGO FAUCETS-8" BODY, WALL MOUNTED SINK MANUAL FAUCET, WITH BUILT IN VACUUM BREAKER AND PAIL HOOK, ROUGH CHROME

18 OPEN UP WALL FROM INTERIOR AND REFRAME TO GAIN AS MUCH SPACE AS POSSIBLE FOR CORRIDOR CLEARANCE. HOLD DRYWALL TIGHT TO EXTERIOR WALL AND TURN STUDS AS NEEDED.

- ARCHITECT KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600
- INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000
- STRUCTURAL ENGINEER SDA - Structural Design Associates, Inc. Andrew G. Sheerer, P.E. 533 West Uwchlan Avenue, Suite 201 Downingtown, PA 19335 Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

No.	Description	Date
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INDEPENDENCE PLACE

Lobby Renovation

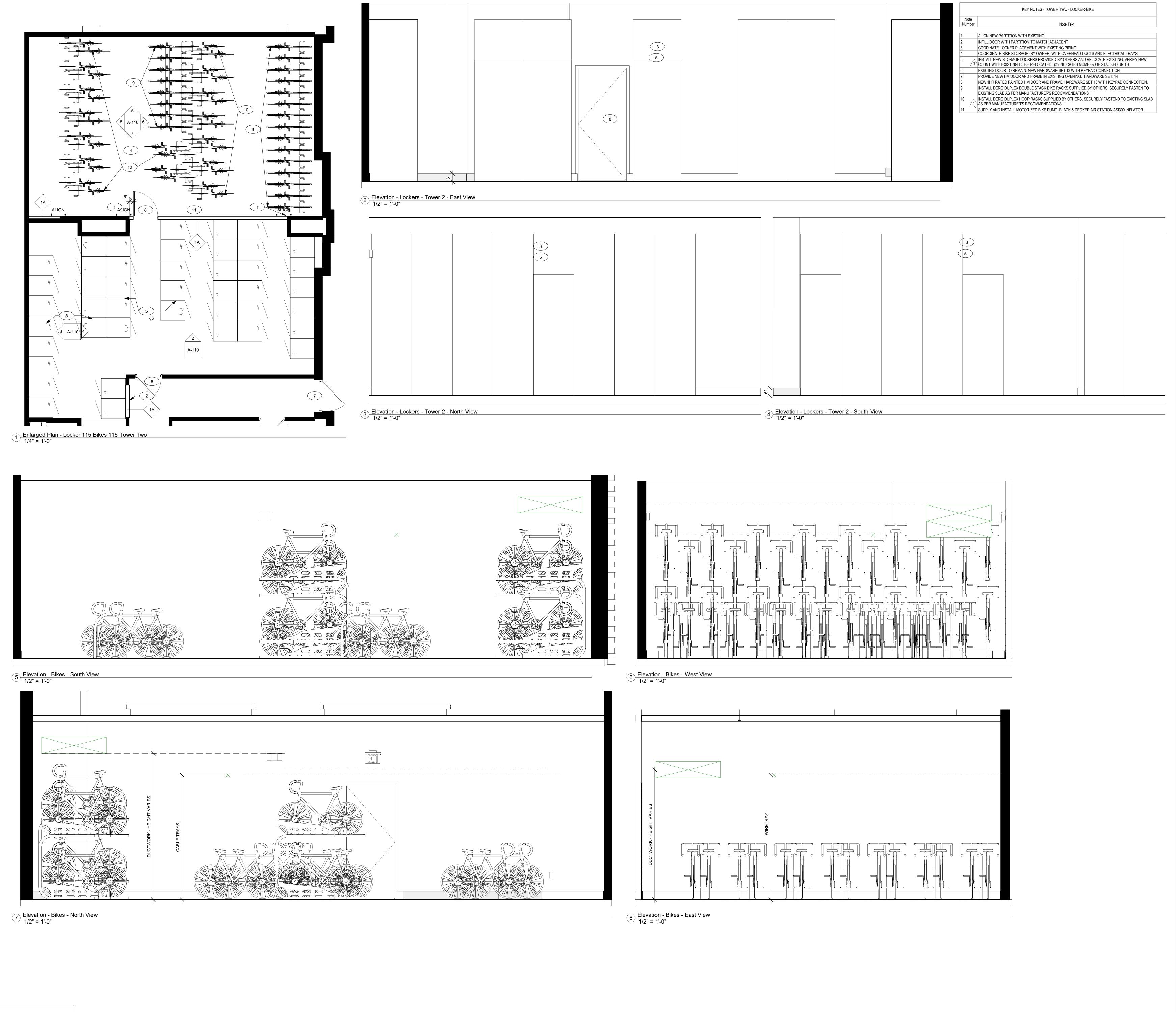
ENLARGED PLAN -**BREAK-JANITOR**

1921 10/19/2020 MRH Drawn By AMT Checked By

A-109

As indicated

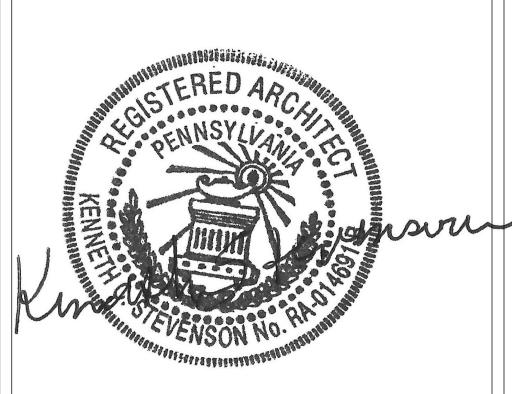
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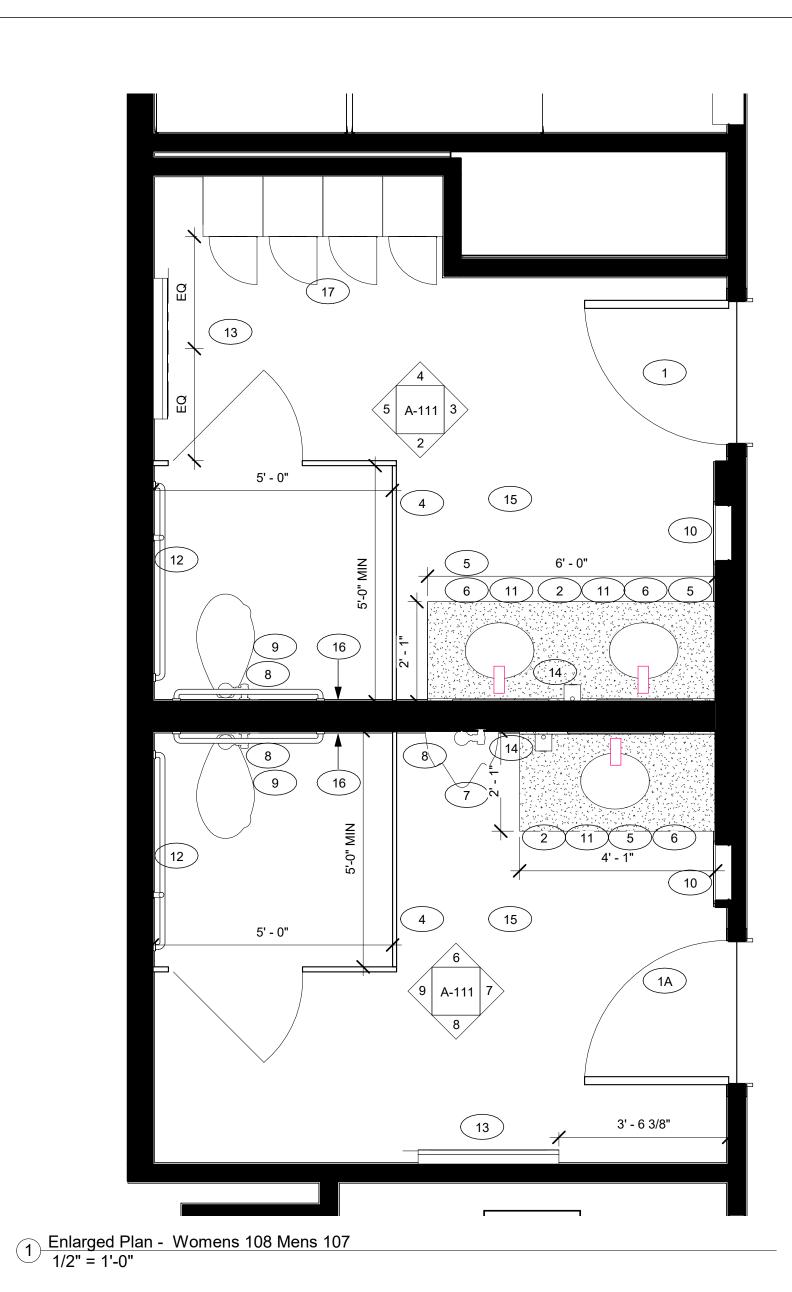
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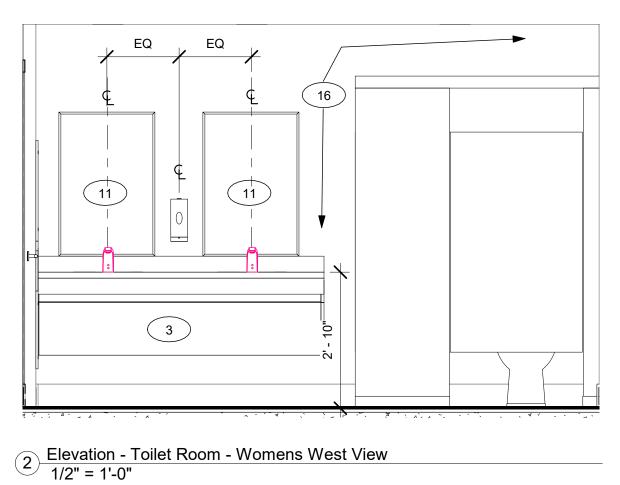
Lobby Renovation

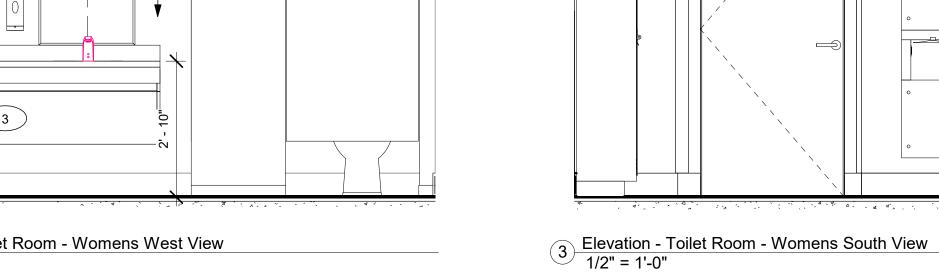
ENLARGED PLAN -LOCKER-BIKES -TOWER 2

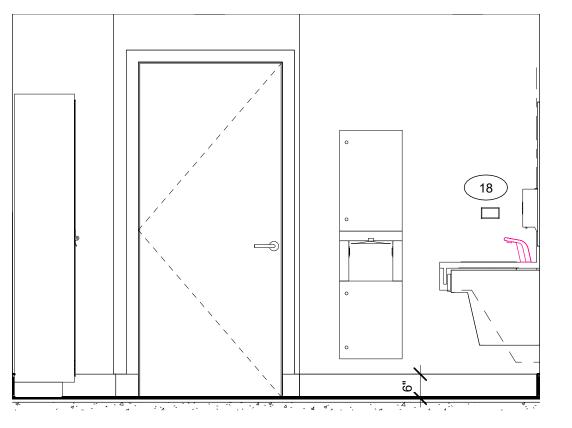
1921 10/19/2020 AMT

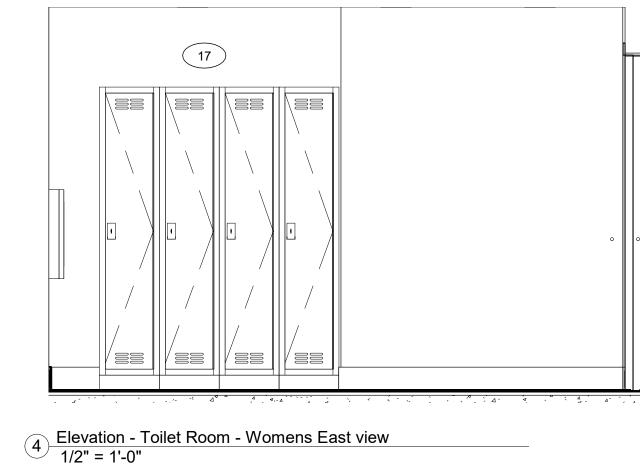
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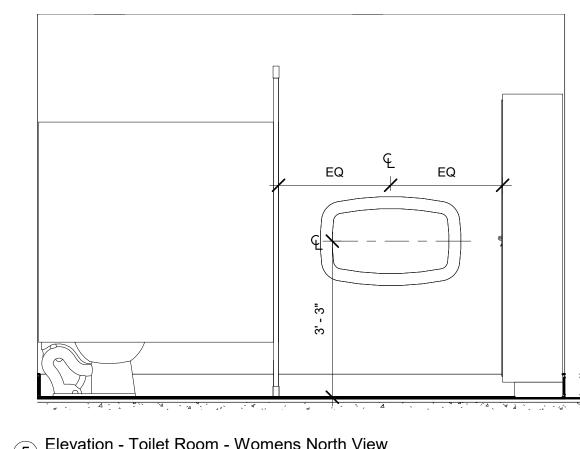




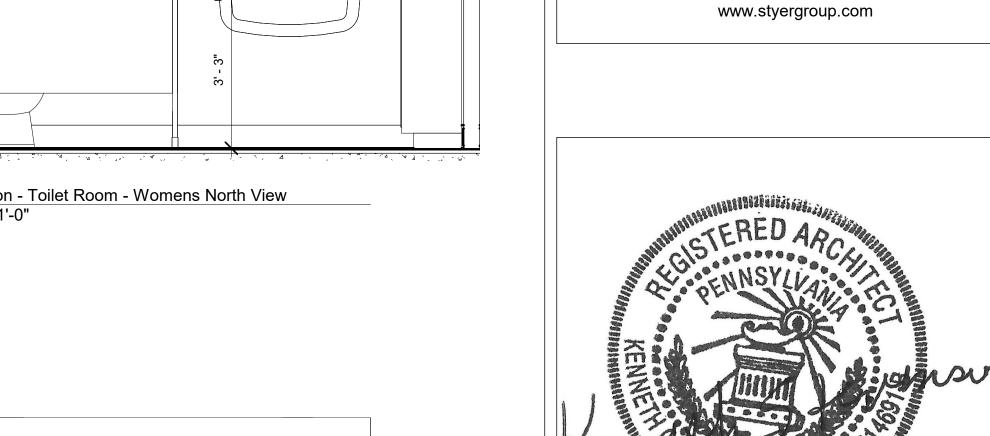




5' - 0"

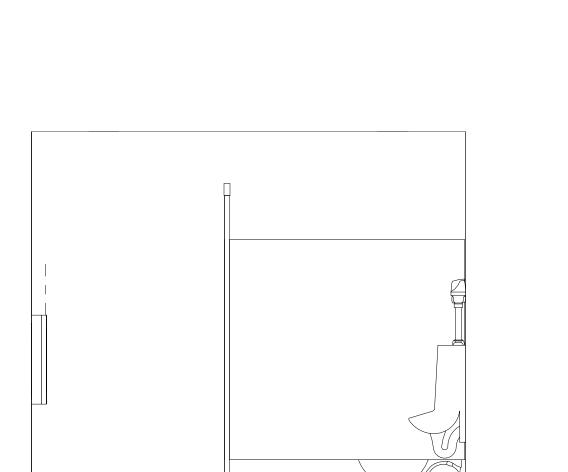


5 Elevation - Toilet Room - Womens North View 1/2" = 1'-0"

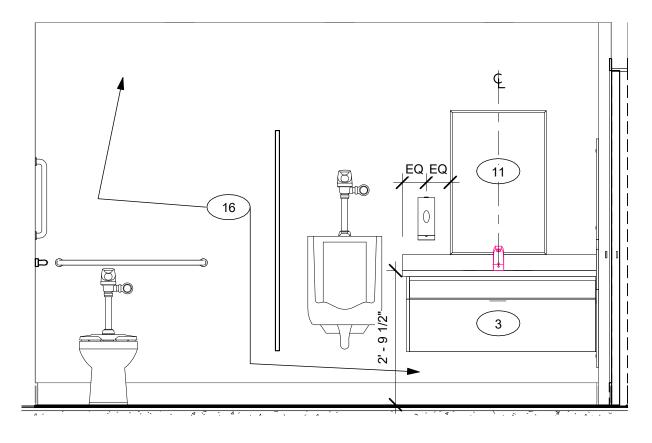


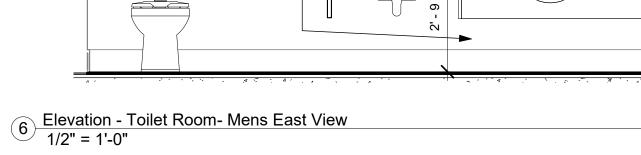
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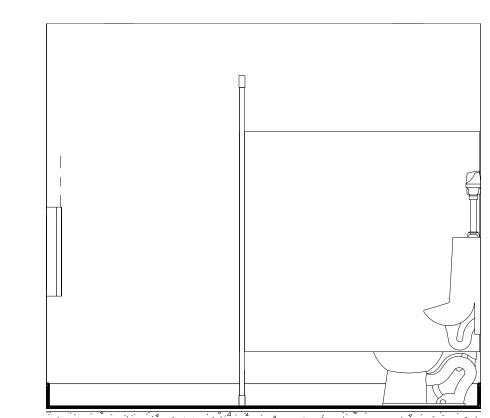
9 Elevation - Toilet Room- Mens North View 1/2" = 1'-0"











Phone: 610.275.6000 STRUCTURAL ENGINEER SDA - Structural Design Associates, Inc. Andrew G. Sheerer, P.E. 533 West Uwchlan Avenue, Suite 201 Downingtown, PA 19335 Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401

Phone: 610.275.4600

INTERIOR DESIGN

Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401

	KEY NOTES - TOILETS		
1	PROVIDE AND INSTALL NEW PAINTED HM DOOR AND FRAME IN EXISTING LOCATION. SWING OF DOOR TO BE FLIPPED FROM EXISTING. PROVIDE NEW PRIVACY LEVER LOCKSET AND NEW HINGES.		
1A	PROVIDE AND INSTALL NEW PAINTED H.M. DOOR AND FRAME. SWING OF DOOR TO BE FLIPPED FROM EXISTING. PROVIDE NEW PRIVACY LEVER LOCKSET AND NEW HINGES.		
2	CORIAN SOLID SURFACE COUNTER AND 4" BACKSPLASH - SPEC: SANDSTORM		
3	NEW PLAM ADA BASE WITH REMOVABLE ADA ACCESS PANEL. FORMICA COLORCORE2, COLOR: 3505 STORM SOLIDZ		
4	PROVIDE AND INSTALL FLOOR MOUNTED, OVERHEAD BRACED SCRANTON PRODUCTS, HINEY HIDERS SOLID PLASTIC TOILET PARTITIONS, COLOR T.B.D. ALTERNATE: BRUSHED STAINLESS STEEL TOILET PARTITIONS.		
5	KOHLER BACHATA STAINLESS UNDERMOUNT SINK - K2609SU		
6	KOHLER SCULPTED FAUCET - K-13463-CP		
7	KOHLER BARDON HIGH-EFFICIENCY URINAL		
8	SLOAN SOLIS 8111 AUTOMATIC FLUSHVALVE		
9	KOHLER HIGHCLIFF ELONGATED BOWL K-4368-0		
10	BOBRICK TRIMLINE COMBINATION HAND DRYER, PAPER TOWEL AND WASTE BASKET B-38030		
11	BOBRICK B165 24X36 FRAMED MIRROR INSTALLED WITH BOTTOM OF VIEW SURFACE AT 40" MAXIMUM A.F.F		
12	FULL SET ADA GRAB BARS - STAINLESS STEEL - BOBRICK B5806 - 1 EA OF 18", 24", 36", 42" MOUNTED 33" TO CENTERLINE		
13	PROVIDE AND INSTALL KOALA KB200 BABY CHANGING STATION. PROVIDE BLOCKING.		
14	BOBRICK 2012 AUTOMATIC SOAP DISPENSER - STAINLESS FINISH		
15	REFER TO SHEET A-001 FOR MOUNTING HEIGHTS, CLEARANCES, ETC.		
16	PROVIDE AND INSTALL PORCELAIN TILE FULL HEIGHT ON WET WALL. SEE FINISH PLAN		
17	PROVIDE AND INSTALL NEW SCRANTON PRODUCTS TUFTEC SOLID PLASITC LOCKERS, COLOR T.B.D. VERIFY DIMENSION PRIOR TO ROUGH IN OF WALLS.		
18	REMOVE AND DISPOSE OF EXISTING FURNITURE.		

No.	Description	Date
1	Resultion of Permit	08/20/2020

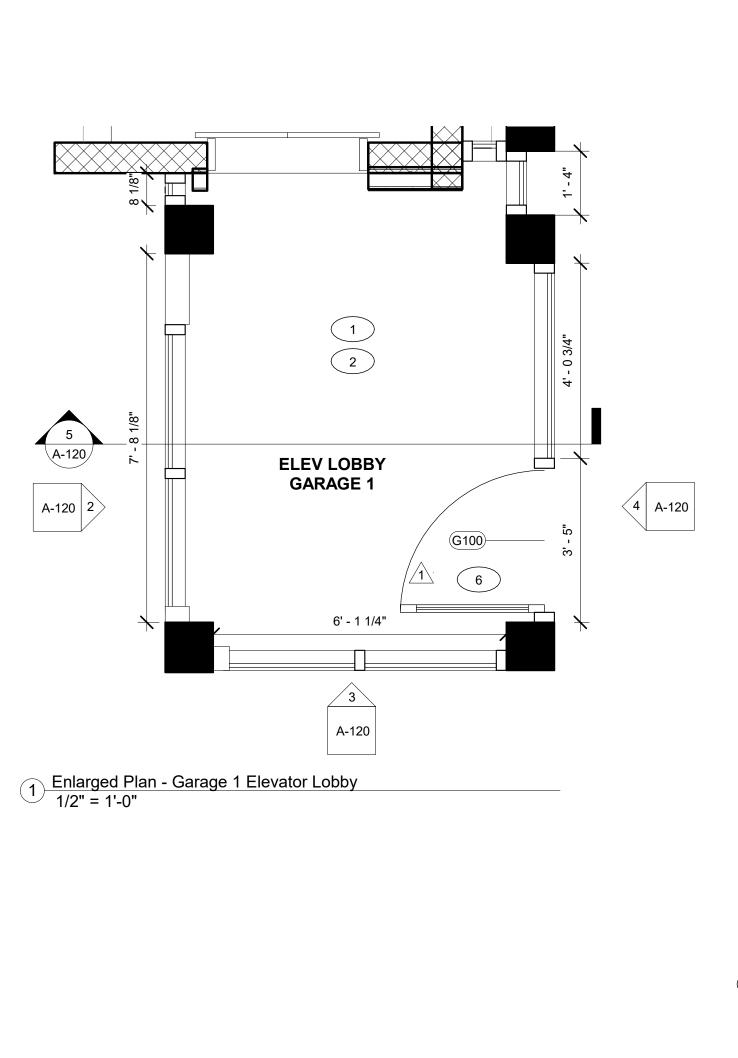
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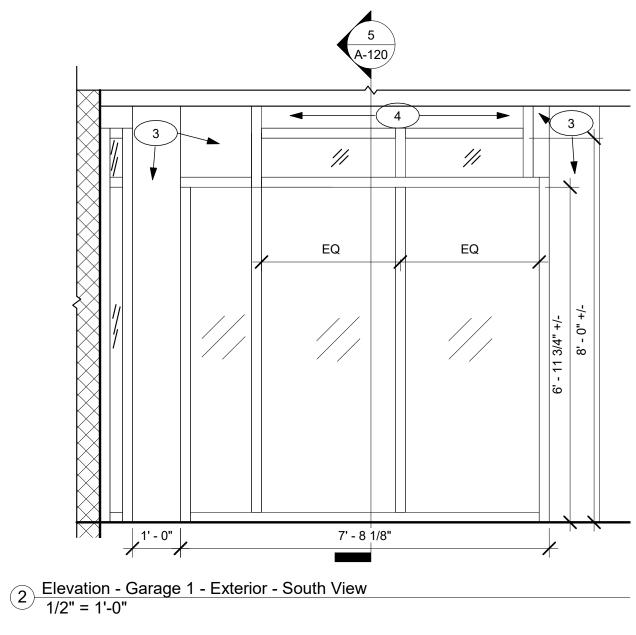
Lobby Renovation

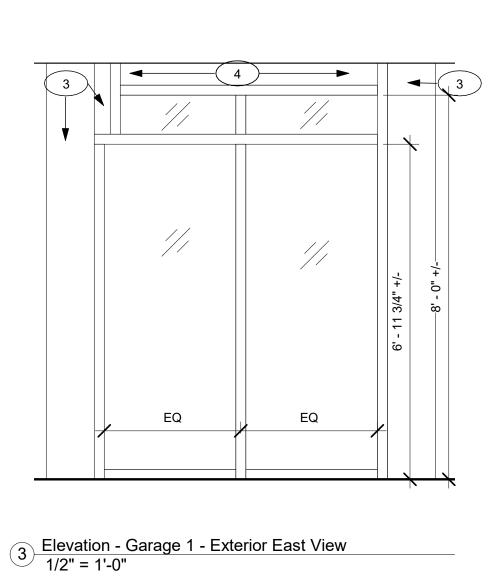
ENLARGED PLAN -TOILET ROOMS

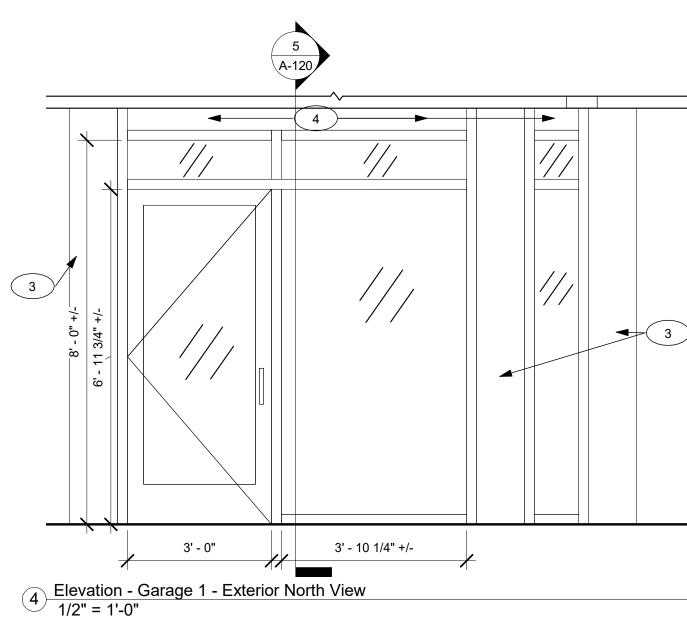
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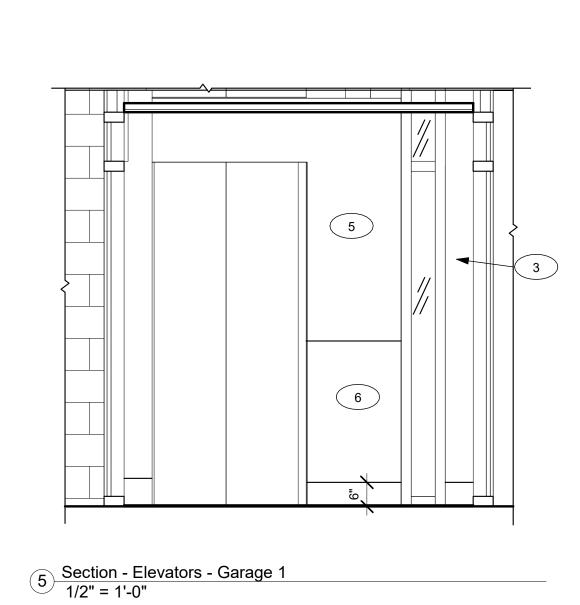
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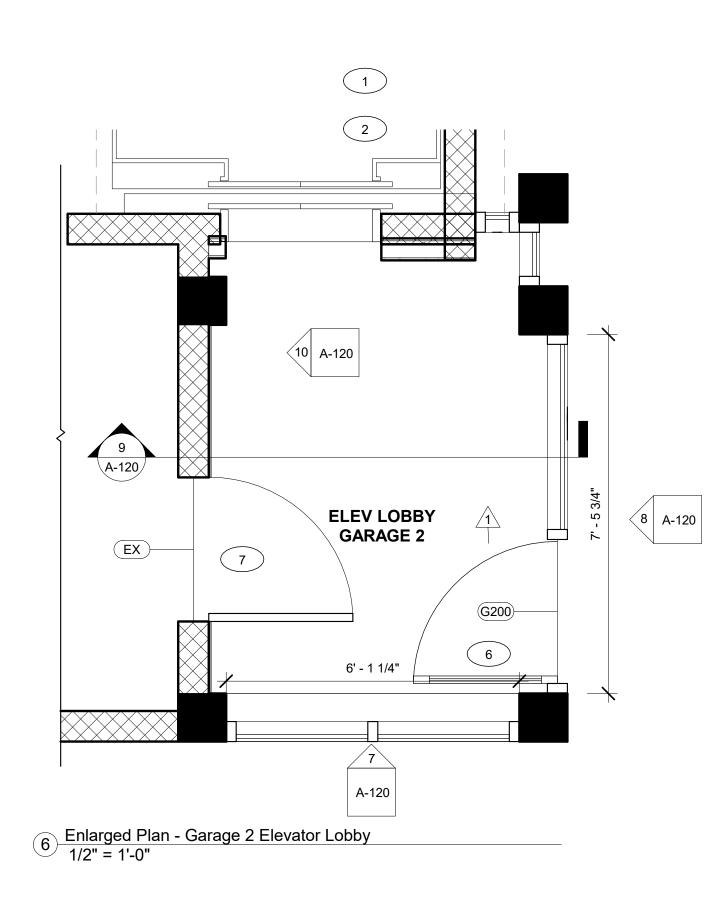


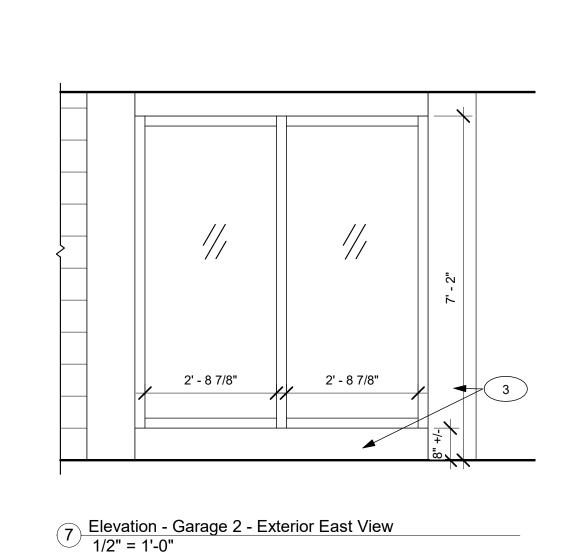


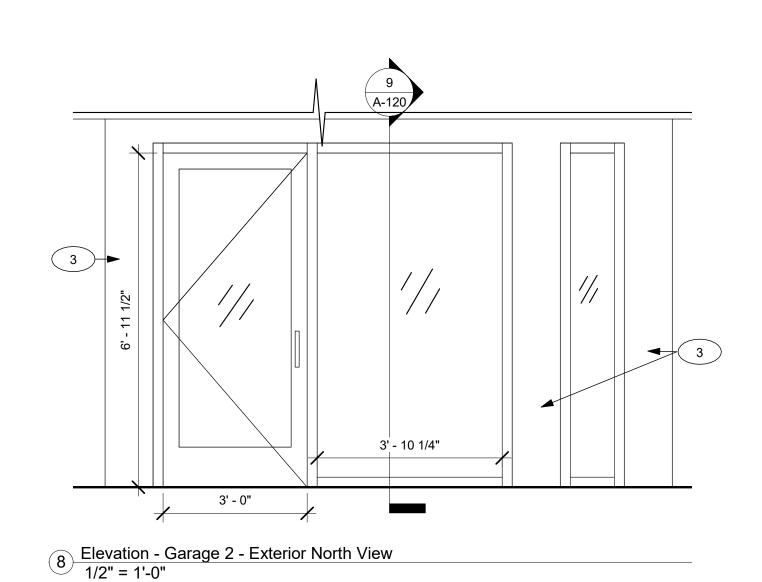


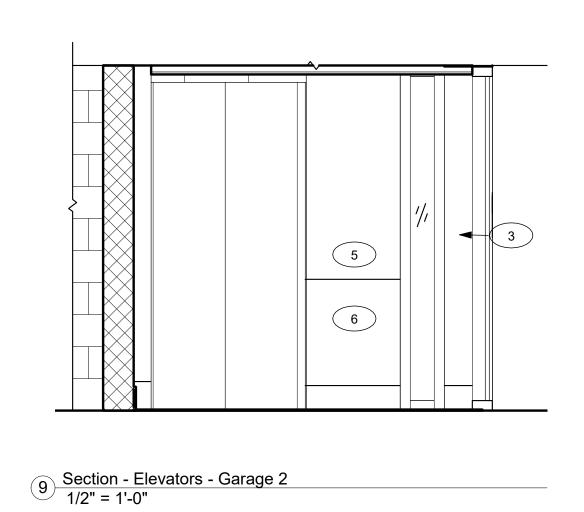


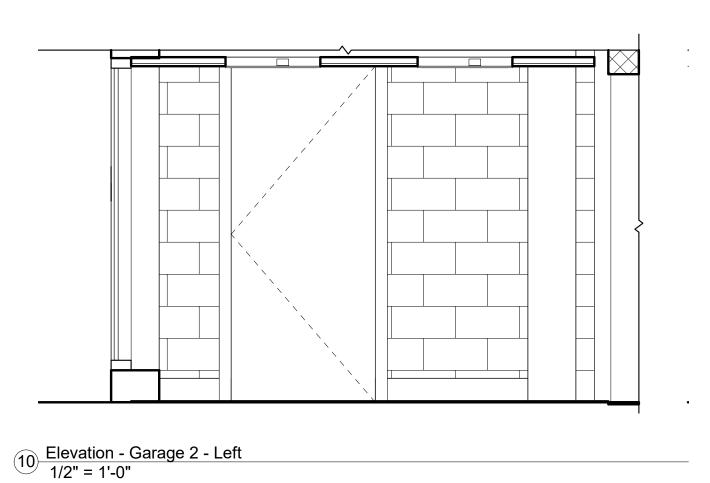






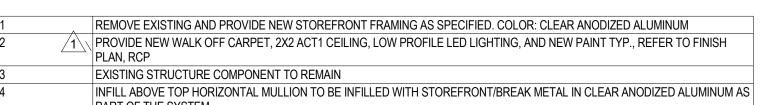






KEY NOTES - GARAGE ELEVATOR LOBBIES

Note Text



PATCH/REPLACE EXISTING GWB AND PREPARE FOR NEW FINISHES. EXISTING METAL WALL GUARD TO REMAIN OR BE REMOVED AND REINSTALLED AS REQUIRED AND PAINTED TO MATCH WALL

PROVIDE NEW FULL VISION STORFEFRONT DOOR WITHIN NEW GLAZING SYSTEM. HARDWARE SET 15 EXSITING DOOR AND HARDWARE TO REMAIN.

NEW STOREFRONT MATERIAL TO BE CLEAR ANODIZED ALUMINUM. GLASS TO BE TEMPERED. CEILING TO BE MOUNTED AS HIGH AS POSSIBLE.
UTILIZE LOW PROFILE FLAT LED PANELS TO MINIMIZE CLEARANCE NEEDED FROM

Note Number

CEILING TO DECK. STOREFRONT TO BE TO CEILING HEIGHT.
INFILL ABOVE TOP HORIZONTAL MULLION TO BE INFILLED WITH STOREFRONT/BREAK
METAL IN CLEAR ANODIZED ALUMINUM AS PART OF THE SYSTEM.
ALL DIMENSIONS TO BE VERIFIED IN THE FIELD PRIOR TO SHOP DRAWINGS.

REMOVE EXISTING SIGNAGE TO REPLACE FINISHES AND STOREFRONT. REINSTALL

SIGNAGE OR COORDIANTE WITH OWNER FOR NEW SIGANGE. REMOVE EXISTING ELEVATOR CALL PANELS, SANITIZER, ETC AND REINSTALL AFTER NEW FINISHES HAVE BEEN COMPLETED. COORDINATE WITH OWNER FOR ANY NEW/REPLACEMENT OF EXISTING THAT MAY OCCUR PRIOR TO REINSTALL.



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ARCHITECT KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

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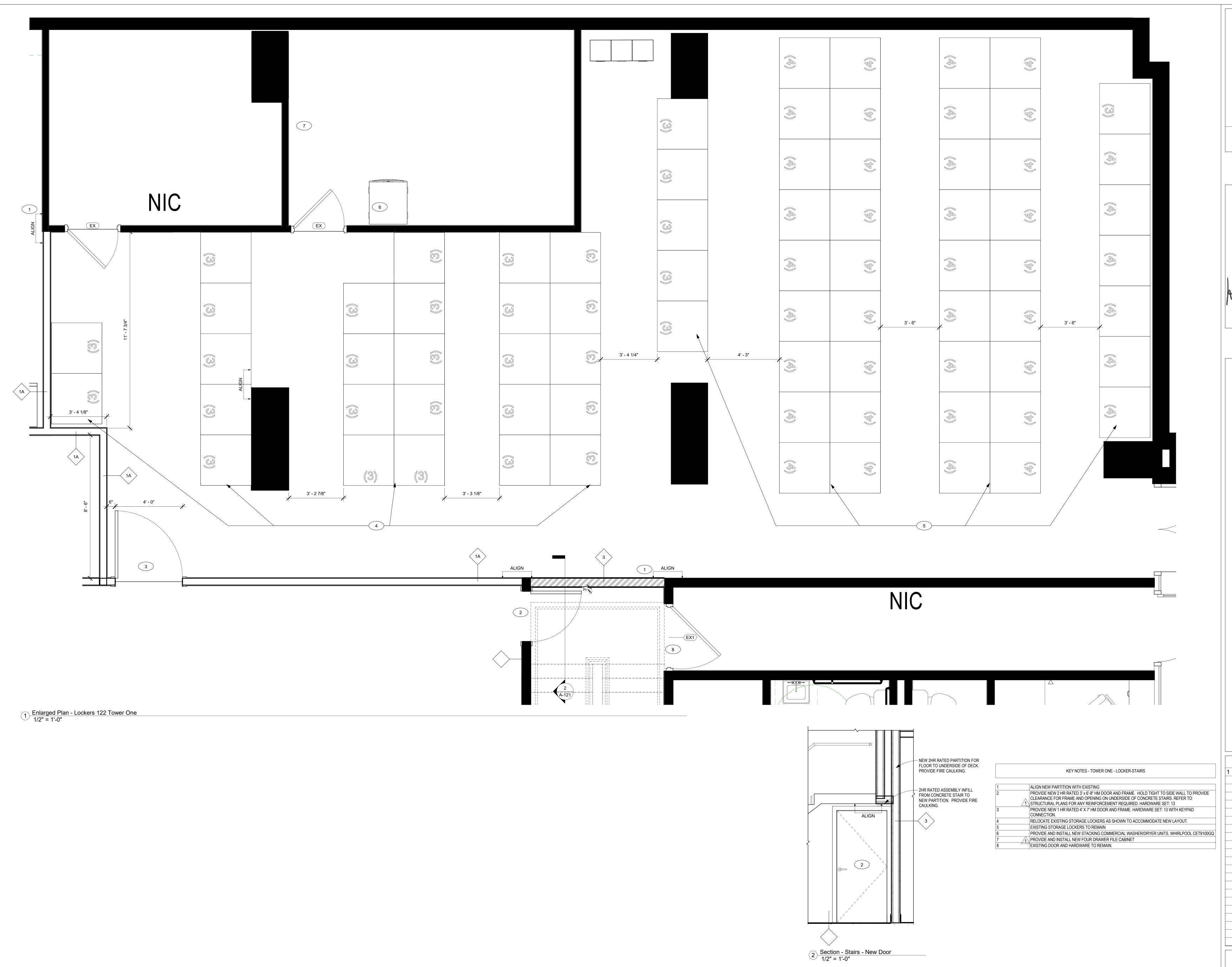
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GARAGE - ELEVATOR LOBBIES

1921 10/19/2020 AMT

A-120

1/2" = 1'-0"







ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian

INTERIOR DESIGN Styer & Associates, Inc Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

No.	Description	Date
1	ROSAUSIO FOR PERMIT	08/202202

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Lobby Renovation

ENLARGED PLAN -STAIRS-LOCKERS

 Project Number
 1921

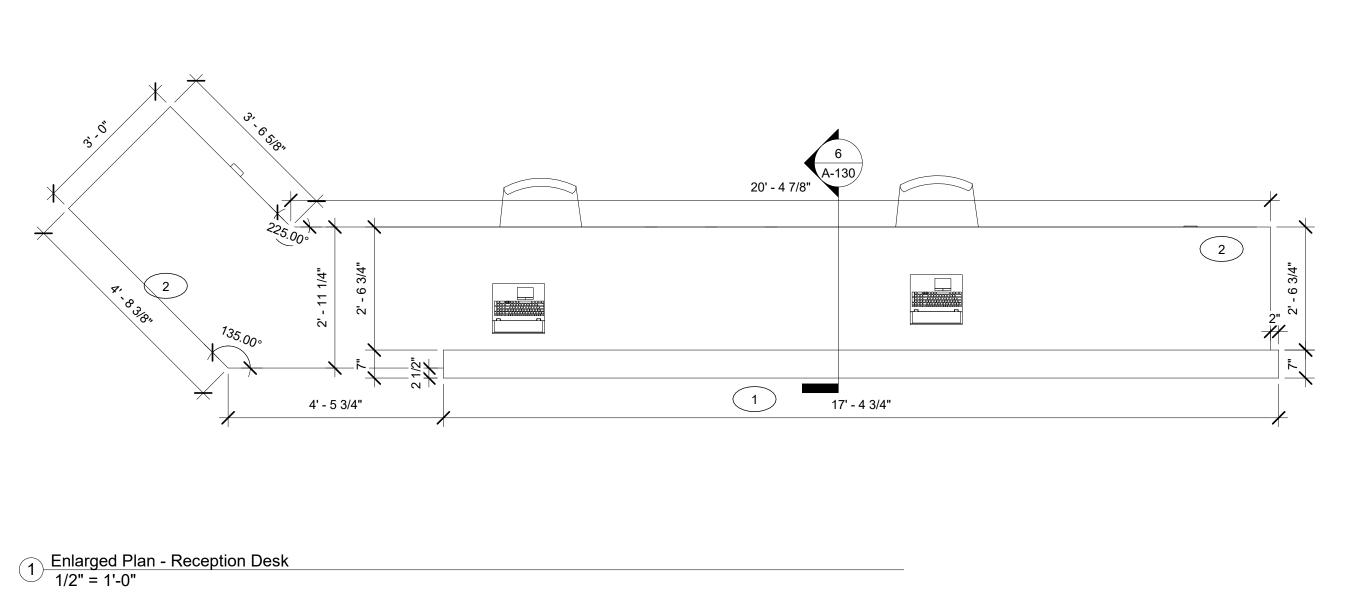
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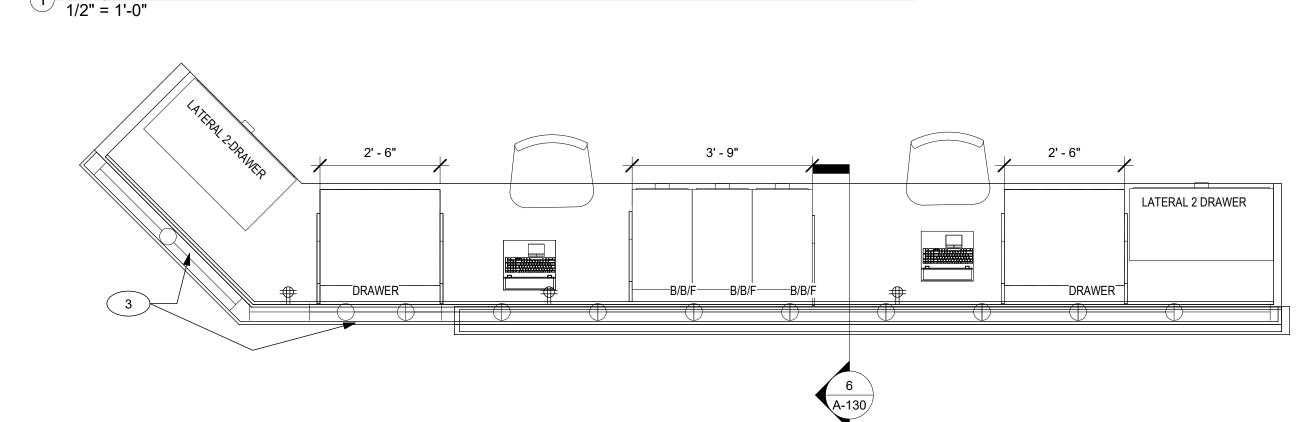
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 MRH

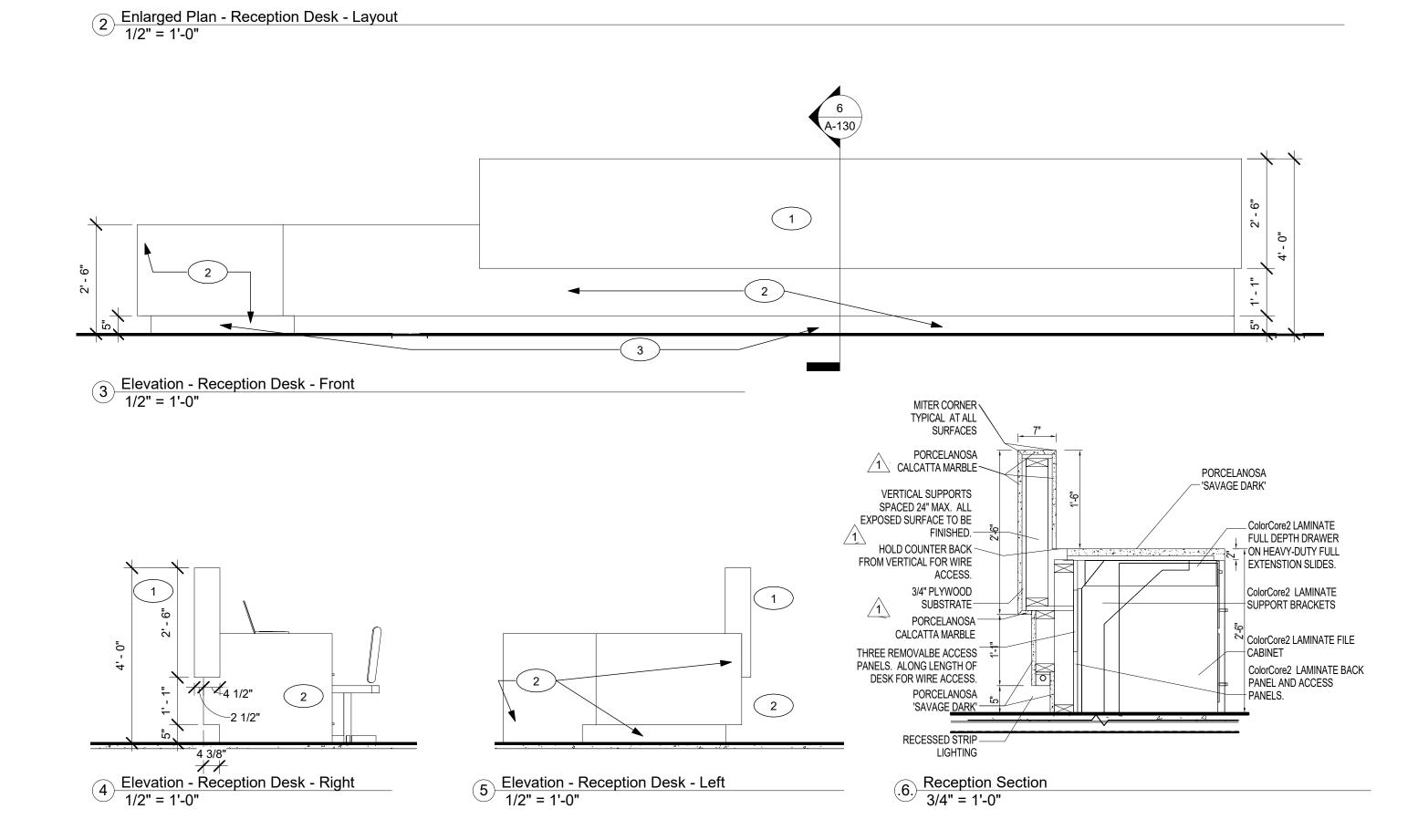
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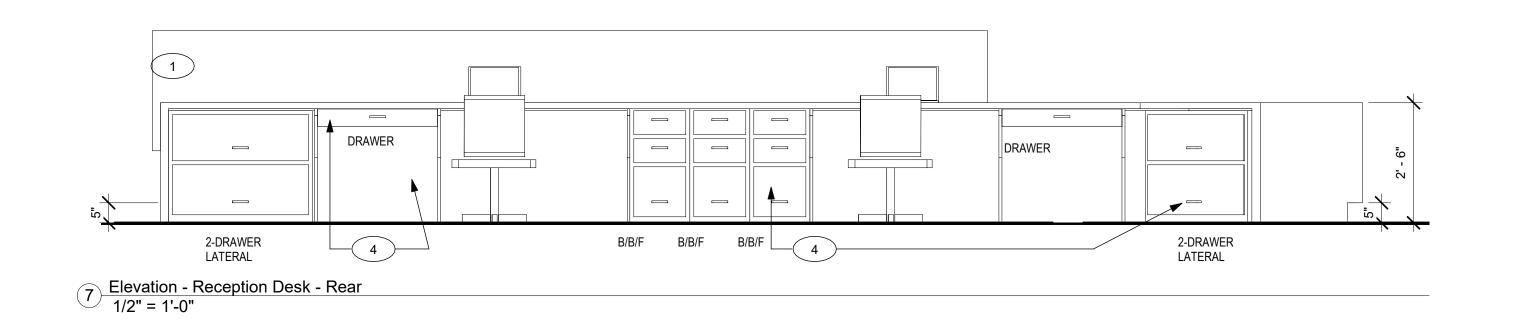
A-121

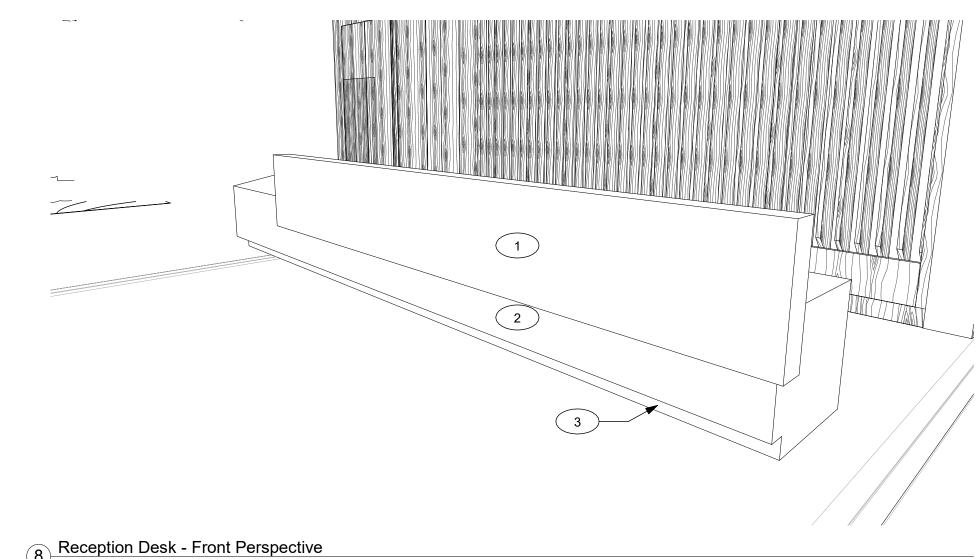
1/2" = 1'-0"

















Reception Desk - Rear Color Perspective

KEY NOTES - RECEPTION DESK

1 SOLID SURFACE(LIGHT): PORCELANOSA, CALCATTA MARBLE SLAB - POLISHED
2 SOLID SURFACE(DARK): PORCELANOSA, "SAVAGE DARK" POLISHED FULL SHEET
3 PROVIDE AND INSTALL LINEAR STRIP LIGHTING CONCEALED IN TOE-KICK OVERHANG FULL LENGTH OF DESK
4 PROVIDE FOMICA ColorCore2 SOLID COLOR LAMINATE, COLOR: '949 WHITE' FOR FILE CABINETS, VERTICAL SUPPORTS, AND DRAWERS. PROVIDE HEAVY-DUTY FULL EXTENSION GLIDES, TYP AND QUIET CLOSE.

SHEET NOTES:
1. PROVIDE MITERED CORNERS AND WATERFALL EDGES ON ALL SURFACES/SIDES, TYP.



www.styergroup.com



ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER SDA - Structural Design Associates, Inc. Andrew G. Sheerer, P.E. 533 West Uwchlan Avenue, Suite 201 Downingtown, PA 19335 Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

No.	Description	Date
1	ROSAUSIO FOR PERMIT	08/202202

INDEPENDENCE PLACE

Lobby Renovation

MILLWORK -RECEPTION DESK

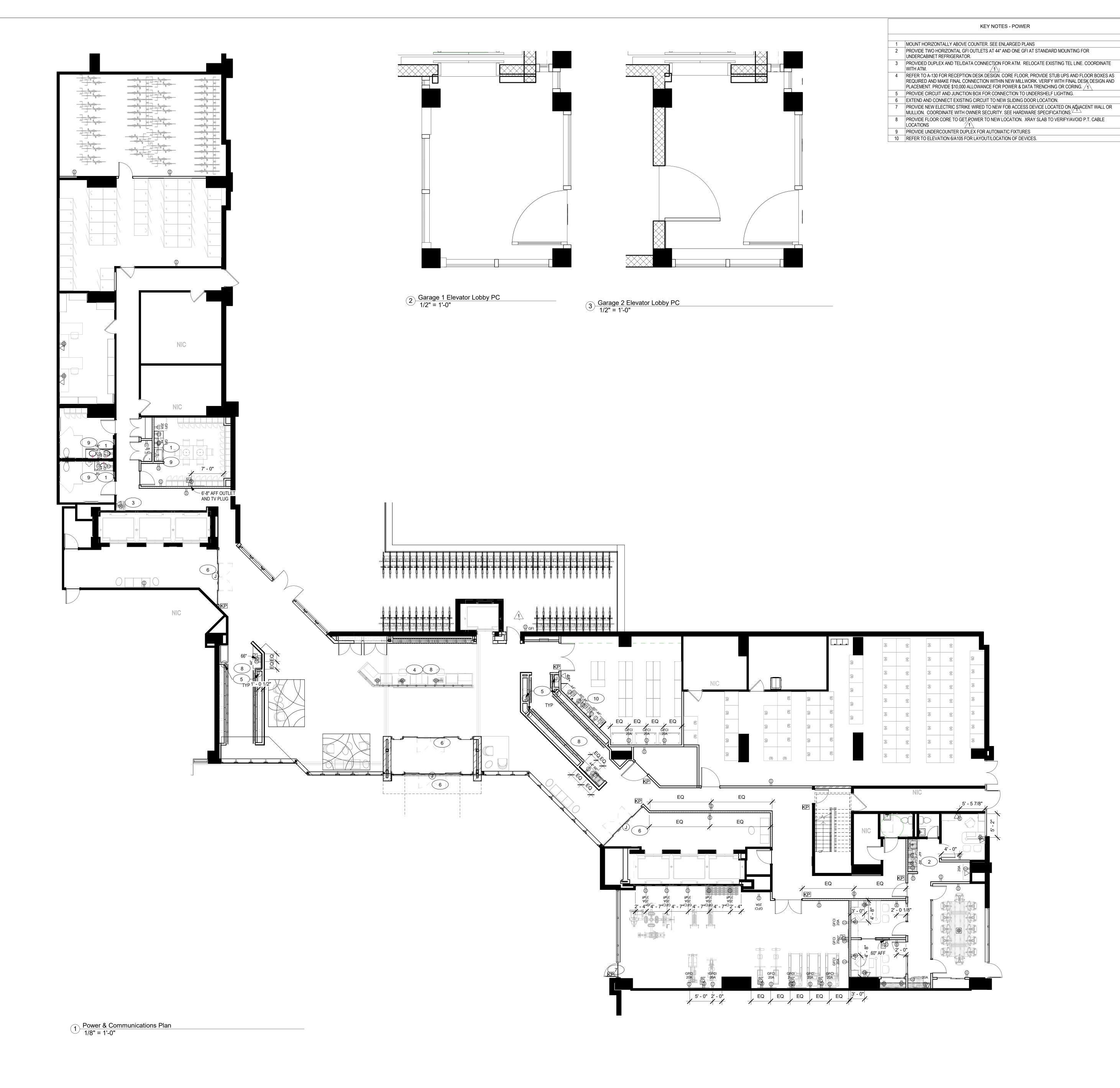
 Project Number
 1921

 Date
 10/19/2020

 Drawn By
 MRH

 Checked By
 AMT

A-130



EQUIPMENT LEGEND Norristown, PA 19401

POWER/COMMUNICATIONS LEGEND

WALL MOUNTED 20 AMP DEDICATED CIRCUIT DUPLEX OUTLET

WALL MOUNTED TELEPHONE OUTLET W/BRACKET FOR MOUNT

WALL MOUNTED COMBINATION TELEPHONE & DATA OUTLET

WALL MOUNTED DATA OUTLET - (1) CAT5 FOR DATA AND VOIP PHONE

INDICATES RECESSED BOX/POKE-THRU WITH DEVICES AS INDICATED.

INDICATES ABOVE CEILING MOUNTED RECEPTACLES WITH DEVICES AS INDICATED.

PUSH BUTTON ACCESS PANEL/ELECTRIC STRIKE. PROVIDE POWER AS REQUIRED.

STUB UP: PROVIDE CONDUIT FOR ELECTRICAL & DATA WIRING.

INDICATES FLOOR MOUNTED RECEPTACLES WITH

FURNITURE WHIP - MINIMUM 1 QUA, 2 DATA CAT5

WIFI LOCATION - POWER AND DATA CONNECTION

AUTO SLIDING DOOR ACTIVATORS

KEYPAD/FOP ACCESS POINT

TELEVISION/MONITOR

& VOICE PER STATION. "()" INDICATES NO OF STATIONS. "FC" INDICATES FLOOR CORE, ALL OTHERS

WALL MOUNTED DUPLEX OUTLET

WALL MOUNTED QUADRAPLEX OUTLET

WALL MOUNTED SIMPLEX

WALL MOUNTED JUNCTION BOX

PLUG MOLD. INSTALL 6" ABV. WORKSURFACE.

COAXIAL CABLE RECEPTACLE (FOR T.V.)

WALL MOUNTED.

CARD READER

THERMOSTAT

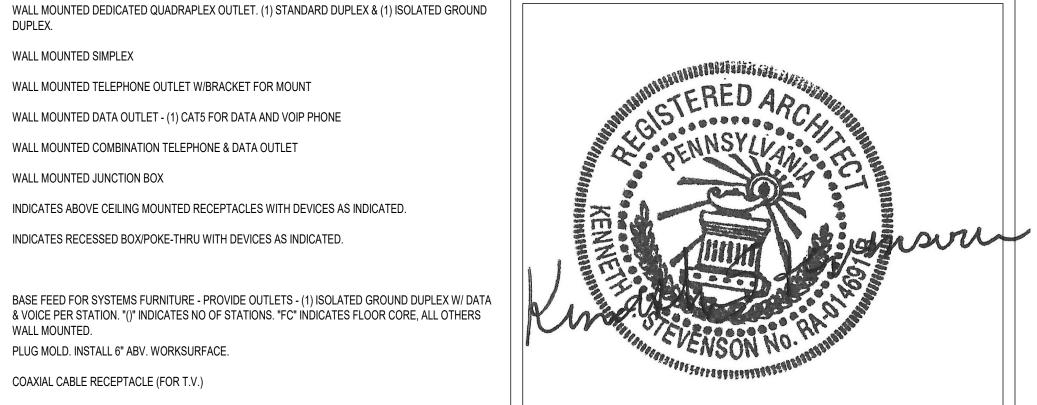
CLOCK RECEPTACLE

ABOVE CEILING DUPLEX

WALL MOUNTED DEDICATED DUPLEX OUTLET

STYERGROUP 412 DeKalb Street

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ARCHITECT KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

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Phone: 484.941.5900

ANNOTATIONS

34 WALL MOUNTED DUPLEX OUTLET TYPICAL (HEIGHT A.F.F. AS INDICATED, IF APPLIES) EXISTING WALL MOUNTED DUPLEX OUTLET ("E" DENOTES EXISTING)

NO. DESCRIPTION 1 BY OWNER

- EXISTING WALL MOUNTED DUPLEX OUTLET TO BE REMOVED AND RELOCATED ("R" DENOTES TO
- BE RELOCATED/RELOCATED POSITION) GFI WALL MOUNTED GROUND FAULT INTERUPT DUPLEX OUTLET
- ₩ WALL MOUNTED DUPLEX OUTLET MOUNTED HORIZONTALLY. SEE POWER/COMMUNICATIONS NOTES.
- WALL MOUNTED COMBINATION TELEPHONE/DATA OUTLET (#V) INDICATES NUMBER OF LINES TO (2V/2D) BE TERMINATED AT COMMUNICATIONS DEVICE.

SHEET NOTES

VERIFY REQUIRED RECEPTACLE TYPE WITH COPIERS & OTHER EQUIPMENT. COORDINATE ALL WORK RELATED TO EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.

- INSTALL WALL MOUNTED OUTLETS 18 INCHES ABOVE FINISHED FLOOR, U.O.N. ALL DUPLEX OUTLETS MOUNTED ABOVE 18" SHALL BE MOUNTED HORIZONTALLY AT 44 INCHES, U.N.O. HEIGHTS SHALL BE DETERMINED FROM FINISHED FLOOR TO THE CENTERLINE OF COVERPLATE, INSTALLED VERTICALLY, GROUNDING POLE AT BOTTOM, U.O.N. OUTLETS NOTED AS HORIZONTALLY MOUNTED SHALL HAVE GROUNDING POLE AT LEFT, U.O.N. QUADRAPLEX OUTLETS TO BE INSTALLED VERTICALLY, U.O.N.
- 3. ELECTRICAL CONTRACTOR AND/OR ENGINEER SHALL FIELD VERIFY CONDITIONS. 4. ALL NEW WALL OUTLETS TO BE LOCATED CENTERLINE OF WALL U.N.O. INDICATED DIMENSIONS ARE TO THE CENTER OF THE COVERPLATE. CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, U.O.N. GANG COVERPLATES SHALL BE ONE-PIECE TYPE, U.O.N.
- 5. ADJACENT OUTLETS SHALL NOT BE GREATER THAN 6" O.C. APART U.O.N. 6. SECURITY TO BE COORDINATED WITH CLIENT'S SECURITY CONTRACTOR. 7. COORDINATE ARCHITECTURAL & MEP DRAWINGS AND RFI TO STYERGROUP ANY
- INCONSISTENCIES OR QUESTIONS PRIOR TO PRICING. NOT USED
- 9. OUTLETS SHOWN BACK TO BACK ON PARTITION WALLS SHALL BE OFFSET 1'-0", MAXIMUM, OR MOUNTED AT DIFFERENT HEIGHTS IF INDICATED. 10. FURNITURE, IF SHOWN, IS FOR REFERENCE ONLY AND IS NOT IN CONTRACT, U.O.N. 11. MAINTAIN A 4-INCH HORIZONTAL CLEARANCE IN ALL DIRECTIONS, MIN. FROM EDGE OF COVERPLATE, FOR WALL MOUNTED OUTLETS, OR FROM EDGE OF MONUMENT FOR FLOOR
- MOUNTED OUTLETS, WHEN ADJACENT TO A WALL, COLUMN, OR SIMILAR ELEMENTS, U.O.N. 12. OUTLETS INSIDE AND/OR ATTACHED TO CABINETRY SHALL BE FURNISHED AND INSTALLED TO MATCH SIMILAR CONDITIONS SUCH AS WALL, FLOOR, AND THE LIKE. FURNISH AND INSTALL BOX EXTENSION OR OTHER APPROPRIATE DEVICES AS REQUIRED. DEVICES INSIDE CABINETRY TO BE WHITE. DEVICES ON OUSIDE OF CABINETRY TO MATCH CABINETRY.
- 13. ELECTRICAL CONTRACTOR TO MAKE FINAL CONNECTIONS TO TENANT'S FURNITURE SYSTEM 14. PROVIDE POWER FOR HAND DRYERS, SOAP DISPENSERS, FAUCETS, FLUSH VALVES IN WOMEN'S ROOM, MEN'S ROOM, AND TOILET ROOMS. SEE PRODUCT SPECIFICATIONS FOR REQUIREMENTS. LOCATION TO BE DETERMINED
- 15. ALL ELECTRICAL DEVICES TO BE DECORA STYLE DEVICES AND COVER PLATES. COLOR OF RECEPTACLES & SWITCH PLATE COVERS TO BE WHITE ON PAINTED DRYWALL WALLS AND GRAY ON BLOCK WALL, U.N.O. FLOOR BOXES/COVERS TO BE BRUSHED STAINLESS. REFER TO FINISH PLANS FOR COLOR OF DEVICES ON ACCENT COLORED WALLS AND AT WALL TILE/BACKSPLASH LOCATIONS. NOT USED
- 17. COORDINATE POWER REQUIREMENTS FOR AUTOMATIC DOORS, EXIT SIGNS & LIFE SAFETY
- 18. SEE ENLARGED DETAIL DRAWINGS AS INDICATED FOR FURTHER INFORMATION ON QUANTITY AND LOCATION OF OUTLETS.
- 19. COORDINATE PAGING AND PHONE REQUIREMENTS WITH OWNER'S VENDOR. SYSTEM TO BE PROVIDED TO ALL LOCATIONS.
- 20. COORDINATE FIRE ALARM REQUIREMENTS WITH OWNER'S VENDOR. 21. TELEVISIONS BY OWNER.

No.	Description	Date
1	ROBUSION OR PERMIT	08/202202

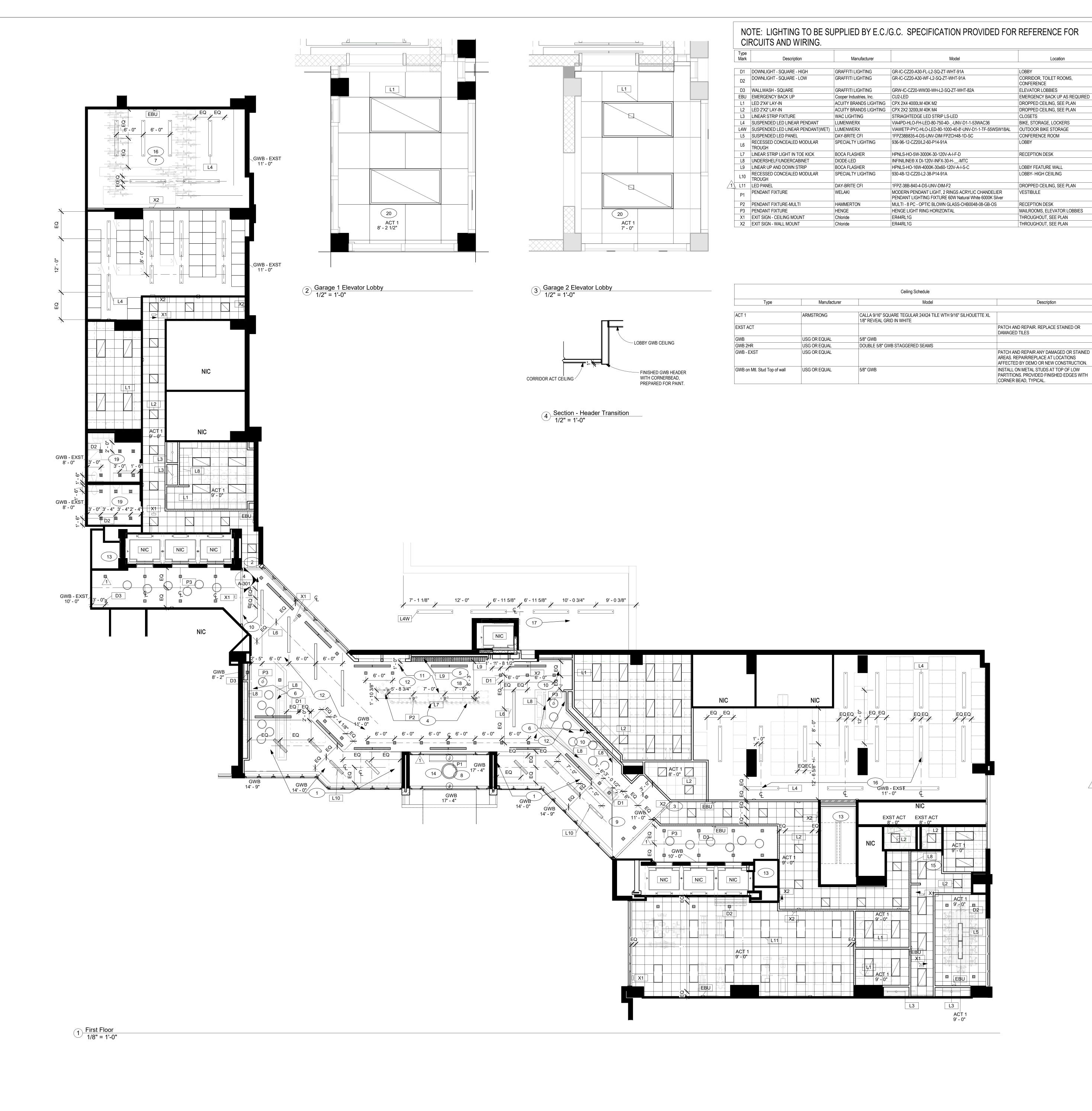
INDEPENDENCE PLACE

Lobby Renovation

POWER & COMMS PLAN

Project Number 10/19/2020 Drawn By AMT Checked By

A-201



REFLECTED CEILING LEGEND

ACOUSTICAL CEILING AND GRID GWB CEILING/SOFFIT 2' x 4' LAY-IN LED LIGHT FIXTURE 2' x 2' LAY-IN LED LIGHT FIXTURE 1' x 4' LAY-IN LED LIGHT FIXTURE 🛛 OR 🔘 RECESSED DOWNLIGHT ≺Ø OR ⊖ RECESSED WALLWASHER WALL MOUNTED SCONCE ILLUMINATED EXIT SIGN - HATCH INDICATES LIGHTED FACE - ARROW(S) INDICATE DIRECTION CABLE OR RAIL HUNG FIXTURES. NUMBER OF FIXTURES AS INDICATED. SEE LIGHTING SCHEDULE. STRIP FIXTURE HARDWIRED TO GENERAL SWITCHING - UNDER CABINET, BEHIND MIRRORS, CLOSETS (ON CONTACT SWITCH) LINEAR UNDERCOUNTER ACCENT FIXTURE PENDANT FIXTURE - SYMBOL VARIES HORN/STROBE EMERGENCY LIGHT EMERGENCY LIGHT: SINGLE HEAD

EMERGENCY LIGHT WAL PACK EMERGENCY LIGHT, DOUBLE EMERGENCY LIGHTING - REMOTE HEAD EMERGENCY LIGHTING - DOUBLE REMOTE HEAD BUILDING MOUNTED FIXTURE CONCRETE FILLED PIPE BOLLARDS, PLASTIC COVER AND FLASHING

BEACON CONNECTED TO DOOR OPENING. CONCRETE FILLED PIPE BOLLARDS W/ IDEALSHEILD PLASTIC COVER DIMMER SWITCH AUTOMATIC DOOR, JAMB SWITCH EXHAUST FAN SUPPLY AIR DIFFUSER RETURN AIR GRILLE

SPRINKLER HEAD - UPTURNED IN EXPOSED CEILINGS SPRINKLER HEAD = CONCEALED WHITE CEILING MOUNTED CEILING MATERIAL TAG - INDICATES MATERIAL - INDICATES HEIGHT ABOVE FINISHED FLOOR

DENOTES CEILING GRID STARTING POINT. HOLD CONTROL DIMENSIONS. **ANNOTATIONS**

2' x 2' LAY-IN FLUORESCENT FIXTURE (UPPER CASE LETTER AND/OR NUMBER INDICATES FIXTURE TYPE RELATIVE TO THE LIGHTING SCHEDULE.) 2' x 2' LAY-IN FLUORESCENT FIXTURE TO REMAIN("E" INDICATES EXISTING TO REMAIN) 2' x 2' LAY-IN FLUORESCENT FIXTURE ("D" INDICATES EXISTING TO BE DEMOLISHED) 2' x 2' LAY-IN FLUORESCENT FIXTURE TO BE REMOVED AND RELOCATED ("R" INDICATES RELOCATED POSITION) 2' x 2' LAY-IN FLUORESCENT FIXTURE (LOWER CASE LETTER INDICATES SWITCH

NL NIGHT LIGHT TO REMAIN ON AT ALL TIMES - 1/2 INFILLED

CIRCUITING. REFER TO ENGINEERING PLANS IF APPLICABLE)

COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO INSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS, VERIFY IN FIELD. UNUSED EXISTING TILE SHALL BE SAVED AND USED TO REPLACE DAMAGED, STAINED, OR BROKEN TILES IN OTHER AREAS, IF NEEDED. PROPERLY DISPOSE OF ALL REMAINING TILES NOT RESUED. PERIMETER CEILING ANGLE, WHERE OCCURS, SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH. REFER TO SPECIFICATIONS THIS PAGE FOR NEW CEILING GRID AND TILE, SOFFITS, CEILINGS AND EXPOSED DECK TO BE PAINTED. 5. CONTRACTOR TO COORDINATE HVAC AS REQUIRED TO ACCOMODATE THE NEW LIGHTING LAYOUT. LIGHT

FIXTURES, EXIT SIGNS, SPRINKLERS AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN CENTER OF INDIVIDUAL CEILING TILE OR ROOM U.O.N. CONTRACTOR TO PROVIDE SPRINKLER LAYOUT TO STYERGROUP FOR APPROVAL PRIOR TO INSTALL. 5. FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, FIXTURE LAMPS, AND BRACING AS REQUIRED. ALL LAMPS SHALL BE FURNISHED BY CONTRACTOR.

ALL ELECTRICAL DEVICES, SWITCHES, DIMMERS AND COVERPLATES TO BE 'DECORA' AND SHALL BE LOCATED VERTICALLY 48" ABOVE FINISHED FLOOR TO CENTER OF SWITCH U.O.N.. MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND FINISHED WITH ONE COVER PLATE U.O.N. COLOR OF RECEPTACLES & SWITCH PLATE COVERS TO BE WHITE ON PAINTED DRYWALL WALLS AND GRAY ON BLOCK WALL, U.N.O. FLOOR BOXES/COVERS TO BE BRUSHED STAINLESS, ALTERNATE: ALUMINUM. REFER TO FINISH PLANS FOR COLOR OF DEVICES ON ACCENT COLORED WALLS AND AT WALL TILE/BACKSPLASH LOCATIONS. NOTIFY STYER OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, STRUCTURES,

HVAC, AND/OR CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S CEILING

GRID LOCATION & ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH STYER PRIOR TO FRAMING. 9. ALL SOFFITS AND CEILING HEIGHTS ARE DIMENSIONED FROM FINISHED FLOOR TO BOTTOM OF FINISHED GYPSUM BOARD OR CEILING TILE, U.N.O. 10. PROVIDE AND INSTALL ALL LIFE SAFETY DEVICES, AND EMERGENCY LIGHTING AS REQUIRED BY CODE. 11. PROVIDE FIRE SHUTTERS WHERE INDICATED AND REQUIRED BY CODE. 12. VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL DUCTS, STRUCTURAL ELEMENTS AND

ANY AND ALL OTHER APPLICABLE ITEMS. INSTALL APPLICABLE NEW PLUMBING, MECHANICAL FANS, DUCTS, CONDUITS, AND OTHER RELATED AND APPURTENANT ITEMS SO AS TO NOT CONFLICT WITH LUMINARES AND ANY AND ALL FIELD CONDITIONS. 13. FURNISH AND INSTALL UNDERWRITERS LABORATORIES INC. (UL) LABELED DEVICES THROUGHOUT. 14. INSTALL LIGHT FIXTURES WITH PROTECTIVE FILM OR SIMILAR COVER OVER LOUVER, LENS, BAFFLE, AND THE LIKE,

TO AVOID FIXTURE SOILING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. LAMPS SHALL BE NEW AT PROJECT COMPLETION, COLOR AS SPECIFIED BY STYER & ASSOCIATES. 15. INSTALL HVAC DIFFUSERS & RETURNS AS REQUIRED TO ACCOMMODATE NEW LIGHTING LAYOUT. 16. REFER TO ENGINEERING PLANS FOR ADDITIONAL CIRCUITING AND SWITCHING. STYERGROUP DRAWINGS SUPERCEDE ENGINEERING DRAWINGS. 17. ALL OPEN CEILING TO DECK CONDITIONS TO BE DRYFALL PAINTED. SEE FINISH SCHEDULE. 18. CENTER GRIDS IN HALLWAYS AND ROOMS TO ACCOMMODATE LIGHTING LAYOUT.

19. COORDINATE PAGING AND PHONE REQUIREMENTS WITH OWNER'S VENDOR. VERIFY DATA PRIOR TO INSTAL (CAT5 OR6) 20. EXPOSED METAL AND GYPSUM BOARD CEILINGS AND SOFFITS TO BE PAINTED. SEE FINISHES FOR COLOR. 21. PATCH EXSITING TO REMAIN CEILINGS AND SOFFITS AFFECTED BY THE REMOVAL OF EXISTING ELECTRICAL & MECHANICAL 22. EXISTING FIRE PROTECTION SYSTEM/AUTOMATIC SPRINKLERS AND EMERGENCY DEVICES TO BE MODIFIED TO

ACCOMMODATE THE NEW LAYOUT AND TP BE INSTALLED ON A DESIGN BUILD BASIS. SPRINKLER HEADS ARE TO BE FULLY RECESSED WITH WHITE CAPS. SPRINKLERS TO BE CENTERED WITHIN TILES IN ACT CEILING AND TO BE ALIGNED WITH LIGHT FIXTURES WHERE POSSIBLE IN GWB CEILINGS. SHOP DRAWINGS OF LAYOUTS TO BE PROVIDED TO STYER FOR APPROVAL/COMMENT PRIOR TO INSTALLATION. LIGHTING TAKES PRECEDENCE ON LAYOUTS AND ALL OTHER DEVICES TO BE WORKED AROUND THE LIGHTING LAYOUT.

KEY NOTES

NEW SUPENDED GWB CEILING FINISHED AT 14'-0" TO BOTTOM. SEE SPECIFICATIONS.

PROVIDE FINISHED GWB SOFFIT @8'-11" AFF PROVIDE FINISHED GWB SOFFIT TRANSITION FROM HIGH TO LOW CEILING. PROVIDE GWB SOFFIT PER DETAIL PROVIDE AND INSTALL NEW LED LINEAR STRIP LIGHTING WITHIN FULL LENGTH OF TOE KICK OF NEW

LED LINEAR STRIP FIXTURES ABOVE AND BELOW BACK FEATURE WALL TO PROVIDE EVEN UP AND DOWN GLOW. REFER TO SECTION 8/A102 FOR DETAIL. 6 LED TAPE LIGHT TO BE INSTALLED IN GROOVE UNDERNEATH NEW SHELF BENEATH MAILBOXES AT ALL

COORDINATE LAYOUT OF LIGHTING AROUND EXISTING DUCTWORK AND ELECTRICAL TRAY. EXISTING SUSPENDED SCULPTURE ITEM TO BE REMOVED. PROVIDE GWB SOFFIT TRANSITION FROM NEW HIGH CEILING TO LOWER LOWER 11'-0" CEILING. EXTEND EXISTING LOBBY CEILING TO NEW PARTITION

PATCH AND EXTEND EXISTING LOBBY CEILING WHERE EXISTING SOFFIT AND CASEWORK HAS BEEN PROVIDE NEW SUSPENDED 5/8" GWB CEILING. PROVIDE NEW FRAMING, GWB AND FINISH TO PREPARE PAI RELAMP EXISTING FIXTURE TO LED OR PROVIDE NEW LED TO MATCH EXISITNG. 14 EXISTING CURVE CEILING TO REMAIN. PATCH AND REPAIR AS REQUIRED AFTER NEW CURTAINWALL

PROVIDE UNDERCABINET STRIP LIGHITNG FULL WIDTH CONNECTED TO MAIN LIGHTING CIRCUIT/SWITCH REMOVE EXISTING FIXTURES AND INSTALL NEW LED FIXTURES IN NEW LOCATIONS AROUND EQUIPMENT. EXPOSED DECK AND STRUCTURE MEMBERS TO BE DRYFALL PAINTED P-7. VERIFY LOCATION OF PENDANT FIXTURES WITH STYER PRIOR TO ROUGH TO COORDINATE FINAL SELECTION AND LOCATION IN RELATIONSHIP TO NEW RECEPTION DESK.

PATCH AND REPAIR CELING AFTER REMOVAL OF EXISTING AND INSTALLATION OF NEW LIGHT FIXTURES. NEW ACT CEILING TO BE HELD A HIGH AS POSSIBLE WITH LOW PROFILE LED FIXTURES. COORDINATE INSTALL HEIGHT WITH FIXTURES, EXISTING COMPONENTS.



Norristown, PA 19401

www.styergroup.com



ARCHITECT KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600

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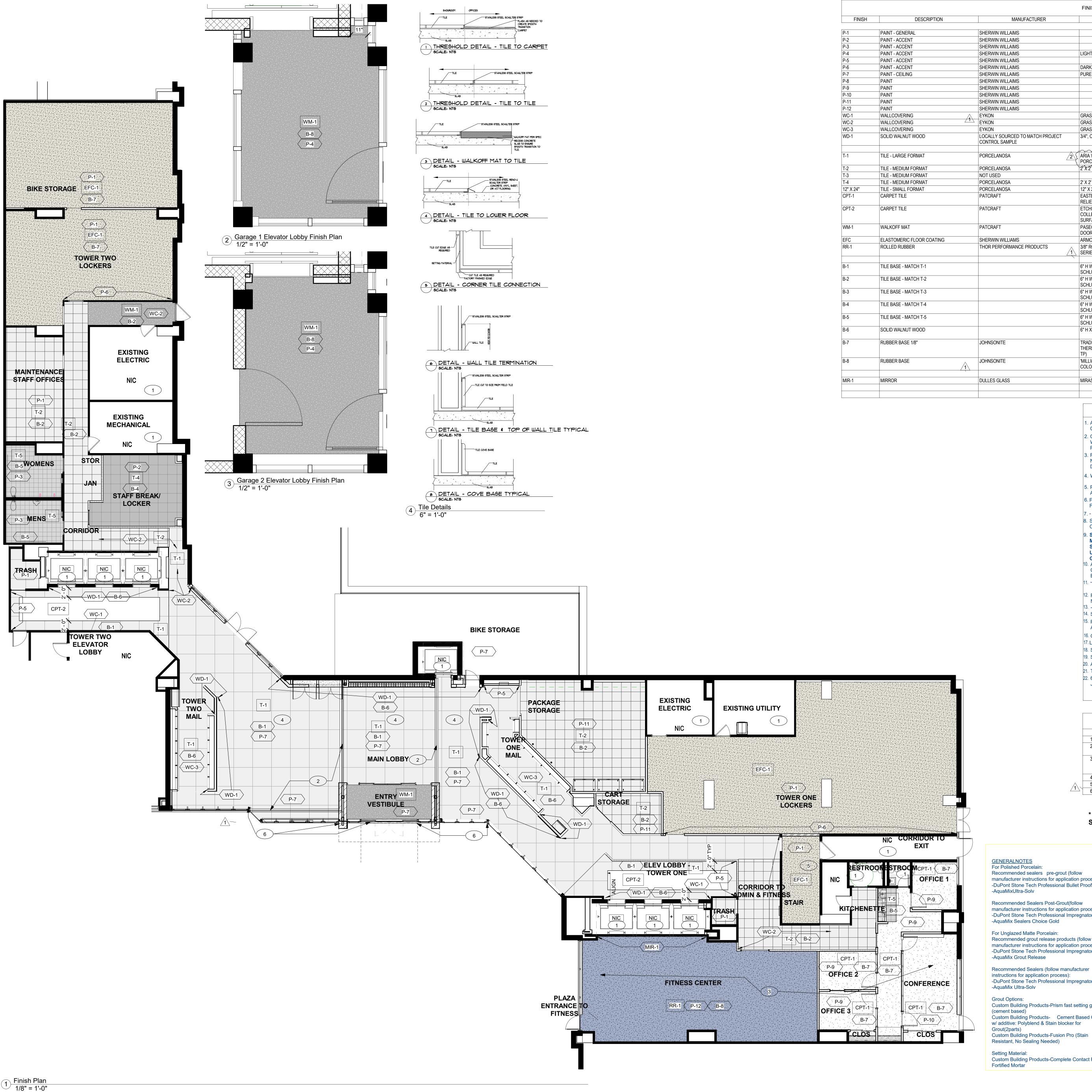
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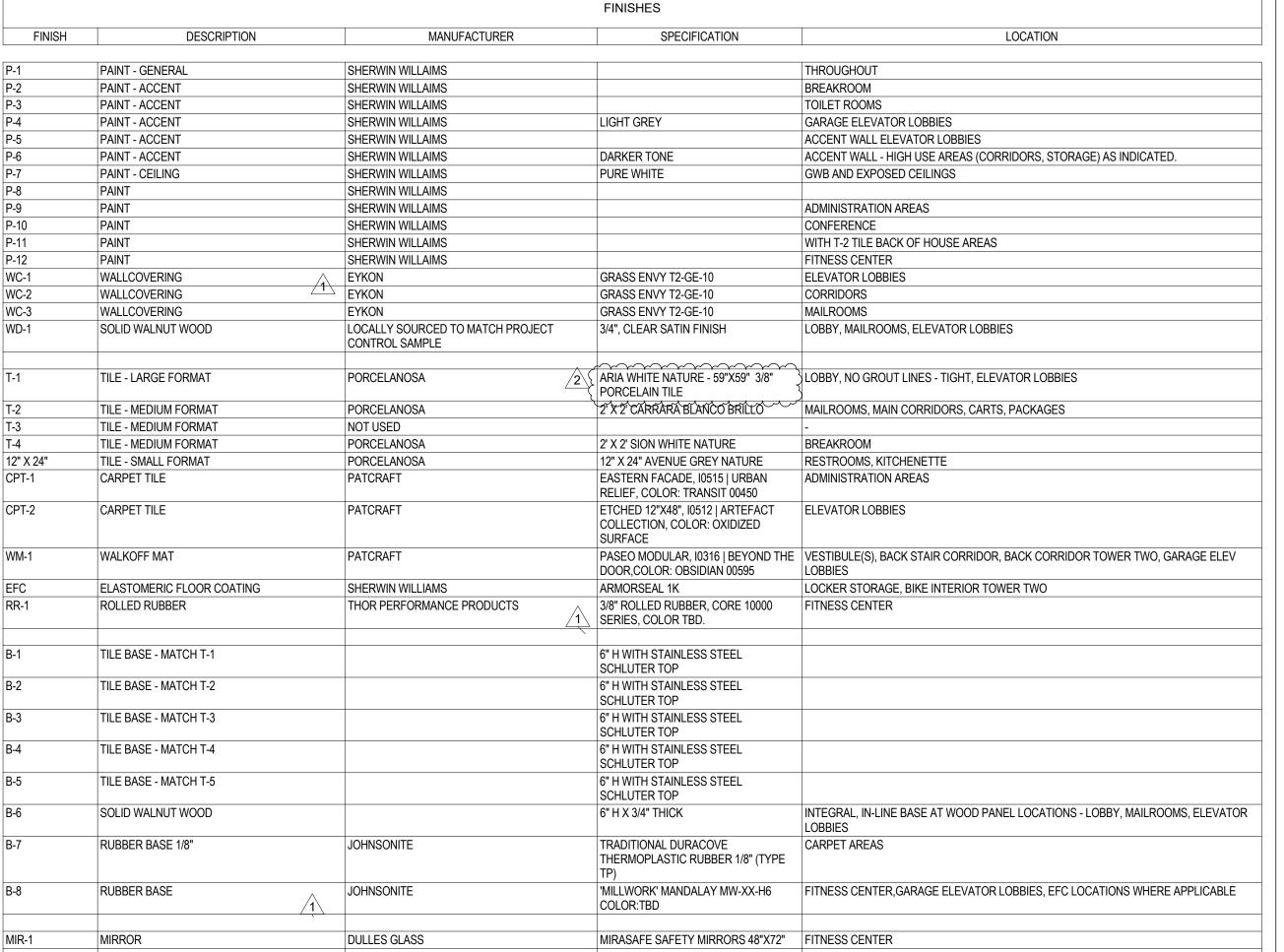
INDEPENDENCE PLACE

Lobby Renovation

REFLECTED CEILING PLAN

Project Number 10/19/2020 Drawn By Checked By **AMT**







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KAJ Architects, LLC

412 DeKalb Street

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Phone: 610.275.4600

INTERIOR DESIGN

Amy Tahtabrounian

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STRUCTURAL ENGINEER

Andrew G. Sheerer, P.E.

Downingtown, PA 19335

Phone: 610.458.4470

395 Circle of Progress

Pottstown, PA 19464

Phone: 484.941.5900

MEP ENGINEER

IVD, Inc.

Marty Jordan

SDA - Structural Design Associates, Inc.

533 West Uwchlan Avenue, Suite 201

Styer & Associates, Inc.

Kenneth C. Stevenson, R.A.

SHEET NOTES

1. ALL HOLLOW METAL FRAMES SHALL BE PAINTED THE SAME COLOR AS THE WALLS IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE, AND SHALL BE IN A SEMI-GLOSS FINISH. 2. CLEANING AND CARE INSTRUCTIONS ARE TO BE SUPPLIED TO THE OWNER FOR MAINTENANCE OF WOOD, CARPET, VCT, AND ALL PRODUCTS SPECIFIED UPON SUBSTANTIAL COMPLETION OF PROJECT OR PUNCH LIST WALK THROUGH. 3. FLOOR MATERIAL CHANGES SHALL OCCUR AT THE CENTERLINE OF THE DOORS EXCEPT WHERE NOTED OTHERWISE. COORDINATE FLOORING SEAM LOCATIONS WITH SWING AND LOCATION OF

4. WOOD MILLWORK WALLS TO HAVE 6" INTEGRAL HARDWOOD BASE WITH FACE ALIGNED TO WALL. 5. PREP AND PAINT INTERIOR OF EXISTING WALLS, DOORS, FRAMES, AND EXPOSED CEILING IN ALL AREAS INCLUDED IN SCOPE.

6. PAINT EXISTING AND NEW EXPOSED CEILING AND CEILING MOUNTED EQUIPMENT. PROTECT/WRAP FIXTURES/HEATERS TO REMAIN AND REMOVE UPON COMPLETION. 8. SEE FINISH PLAN AND ENLARGED DRAWINGS FOR FINISH LOCATIONS. SEE RCP FOR GWB AND OPEN

CEILING LOCATIONS TO BE PAINTED. 9. SELF LEVELING COMPOUND TO BE INSTALLED THROUGHOUT AREAS TO RECEIVE NEW TILE. MAXIMUM ALLOWABLE SUBSTRATE VARIATION FOR TILES LARGER THAN 15" AND FOR NATURAL STONE CAN BE NO MORE THAN 1/8" IN 10' AND 1/16" IN 24". WHEN THEN BED EPOXY MORTAR IS USED, THE VARIATION CAN BE NO MORE THAN 1/16" IN 36" WITH NO ABRUPT IRREGULARITIES

GREATER THAN 1/32". 10. ALL CRACKS AND HOLES WITHIN NEW AND EXISTING GWB PARTITIONS TO TO BE FILLED. ALL CRACKS IN CONCRETE FLOORS TO BE FILLED AND FLOOR TO BE FULLY PREPPED TO RECEIVE NEW EPOXY COATING.

2. PROVIDE EXPANSION JOINTS AND CRACK ISOLATION MEMBRANES AT EXISTING AND NEW SLAB INTERSECTIONS.

14. SEE ENLARGED DWGS FOR ALL WALL TILE LOCATIONS IN RESTROOMS AND KITCHENETTES 15. PROVIDE STAINLESS STEEL SCHLUTER AT ALL TRANSITIONS BETWEEN CHANGE IN TILE, RUBBER

AND CARPETING SURFACES, UNO. SEE DETAILS THIS SHEET. 16. GWB FINISHED AND EXPOSED CEILINGS TO BE PAINTED P-7. 17. LEVEL FLOORS AT ALL GLASS STOREFRONT DOORS & WALLS TO ACCEPT SCHEDULED GLAZING DIM. 18. SEE ENLARGED PLANS, DETAILS, & ELEVATIONS FOR WALL FINISHES, LOCATIONS, AND TERMINATIONS.

20. ALL MILLWORK IS TO LOCK. 21. TILE INSTALLER TO USE "PROGRESS PROFILES PROLEVELING SYSTEM" FOR INSTALLATION OF ALL TILE. 22. 6" TILE BASE TO BE INSTALLED AT ALL TILE FLOOR LOCATIONS. RUBBER BASE AT CARPET AND VCT. JOHNSONITE 1/4" RUBBER BASE WITH ROLLED RUBBER FLOORS & EFC.

KEY NOTES - FINISHES

1 FLOORING N.I.C. IN THIS ROOM

with wringer

19. SEE DETAIL 4 THIS SHEET FOR TRANSITION DETAILS.

2 EXISTING EXPANSION JOINT COVER AND COMPRESSIBLE FILLER TO BE REMOVED AND REPLACE WITH NEW AS SPECIFIED FROM J. BLUM CO, INC. EXISTING SUBSTATE TO BE INVESTIGATED AFTER REMOVAL OF EXISTING FINISHES. NOTIFY STYERGROUP UPON REMOVAL OF EXISTING FINISHES. VARIOUS INCONSISTENCIES WITHIN EXISTING FINISHES. PROVIDE ALLOWANCE FOR

FLOOR LEVELING OF FITNESS CENTER AND ADMINISTRATION AREA. COMPLETELY LEVEL FLOOR TO RECEIVE LARGE FORMAT TILE THROUGHOUT LOBBY. SEE FINISH PLAN FOR EXTENT. PAINT ALL WALLS THAT DO NOT EXTEND TO NEXT LEVEL. PAINT NEW CEILING.

* CONTRACTOR TO PROVIDE ALLOWANCE FOR ALL MATERIALS NOT SPECIFIED WITH A SQUARE FOOT PRICING IDENTIFIED PER PRODUCT.

6 PAINT EXPOSED COLUMNS AND TUBE STEEL TO MATCH 'BRONZE' PROJECT SAMPLE IN SATIN FINISH.

For Polished Porcelain: Recommended sealers pre-grout (follow manufacturer instructions for application process):

-DuPont Stone Tech Professional Bullet Proof -AquaMixUltra-Solv Recommended Sealers Post-Grout(follow manufacturer instructions for application process): -DuPont Stone Tech Professional Impregnator Pro -AquaMix Sealers Choice Gold

For Unglazed Matte Porcelain: Recommended grout release products (follow manufacturer instructions for application process): -DuPont Stone Tech Professional Impregnator Pro -AquaMix Grout Release

-DuPont Stone Tech Professional Impregnator Pro -AquaMix Ultra-Solv Grout Options: Custom Building Products-Prism fast setting grout (cement based) Custom Building Products- Cement Based Grout

Resistant, No Sealing Needed) Setting Material: Custom Building Products-Complete Contact RS

TILE MAINTENANCE NOTES Maintenance - Routine Product Recommendation: Aqua Mix "Concentrated Stone & Tile Cleaner" Equipment: Sponge, synthetic mop, white nylon scrub brush, white cotton towels and bucket

Coverage: Approximately 10,000 - 20,000 sq. ft. per gallon Mix 2 to 4 ounces of "Concentrated Stone & Tile Cleaner" per gallon of water. Apply solution onto surface.

For heavy soiled areas, allow solution to dwell 3 to 5 minutes. 5. Do not allow cleaning solution to dry on surface. Apply additional solution if necessary. 6. Agitate with a white nylon scrub brush or scrub pad by hand or using a floor scrub machine. Completely mop up dirty solution; Best to extract dirty solution with a wet/dry vac. Rinse thoroughly with clean water, changing water every 300 to 400 sq. ft. or as needed. Polish dry with cotton towels. Maintenance - Periodic Heavy-Duty

Product Recommendation: Aqua Mix "Heavy-Duty Tile & Grout Cleaner" Equipment: Synthetic mop and bucket with wringer and scrub brush or scrub machine utilizing white nylon pad or soft scrub brush Coverage: Approximately 500 - 600 sq. ft. per gallon

Sweep or vacuum surface. Mix 1 part of "Heavy-Duty Tile & Grout Cleaner" to 4 parts water. Apply solution onto surface. Allow cleaning solution to dwell 3 to 5 minutes on heavy soiled areas. Do not allow cleaning solution to dry on surface. Apply additional solution if necessary. Agitate with a white nylon scrub brush or pad by hand or using a floor scrub machine. Completely mop up dirty solution; Best to extract cleaning solution with a wet/dry vac. Rinse thoroughly with clean water, changing water every 100 sq. ft. or as needed.

9. Polish dry with cotton towels.

These recommendations are intended as general guidelines for the care and maintenance of and unpolished porcelain tile. The actual product dilution ratios and maintenance requirements may vary depending on the use and contaminants common to the area. READ PRODUCT DIRECTIONS THOROUGHLY PRIOR TO USE. ALWAYS TEST FIRST.

No.	Description	Date
	ROSAUSIO FOR PERMIT	08/2072020
)	Revision 2	08/24/2020

INDEPENDENCE PLACE

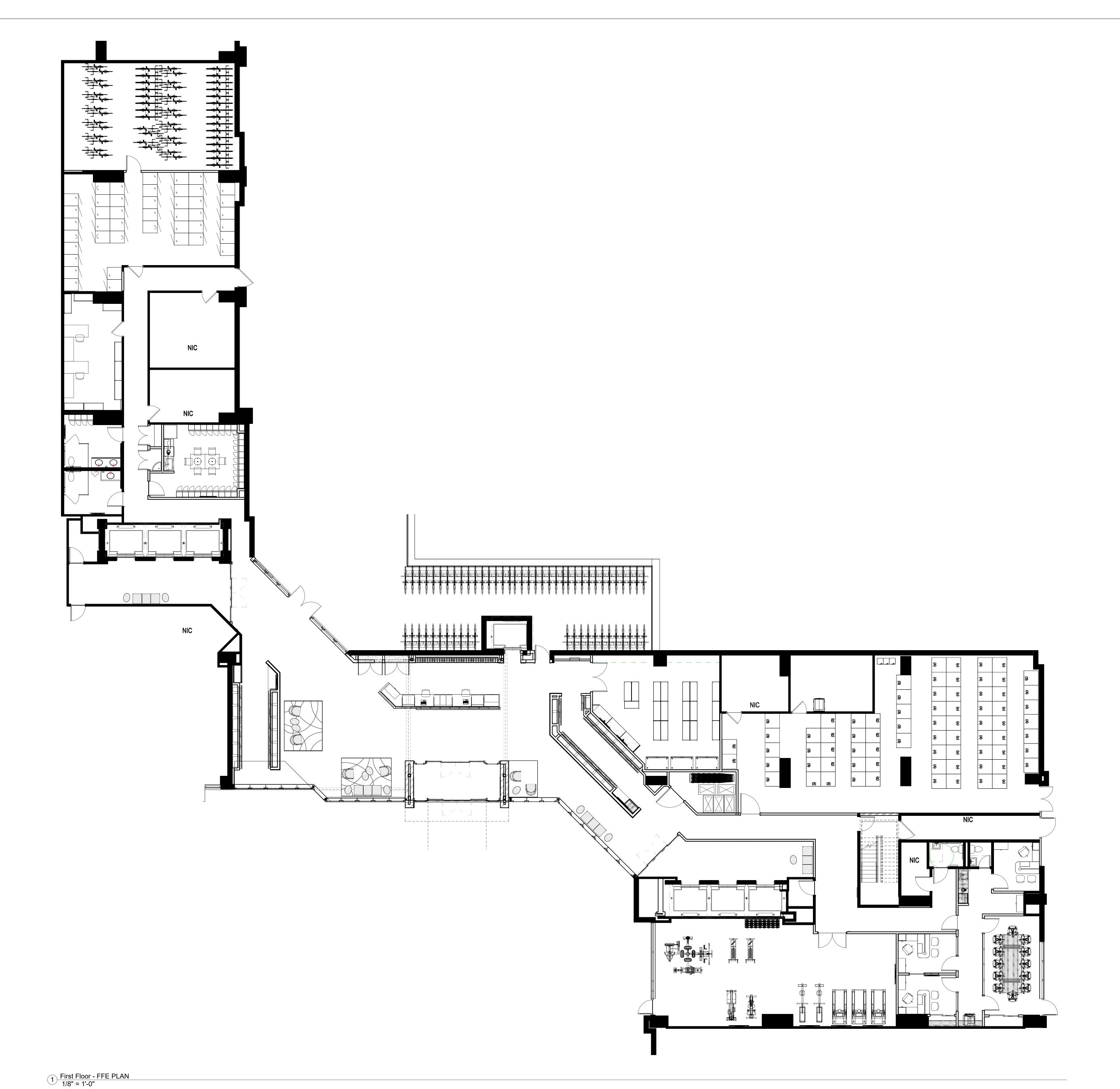
Lobby Renovation

FINISH PLAN

Project Number 10/19/2020 Drawn By AMT Checked By

As indicated

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ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401 Phone: 610.275.4600

INTERIOR DESIGN Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER SDA - Structural Design Associates, Inc. Andrew G. Sheerer, P.E. 533 West Uwchlan Avenue, Suite 201 Downingtown, PA 19335 Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

No.	Description	Date	
1	RSSAUSION OR PERMIT	08/2022020	

INDEPENDENCE

Lobby Renovation

PLACE

FURNITURE, FIXTURES, & **EQUIPMENT PLAN**

A-501

1/8" = 1'-0"

10/19/2020 AMT

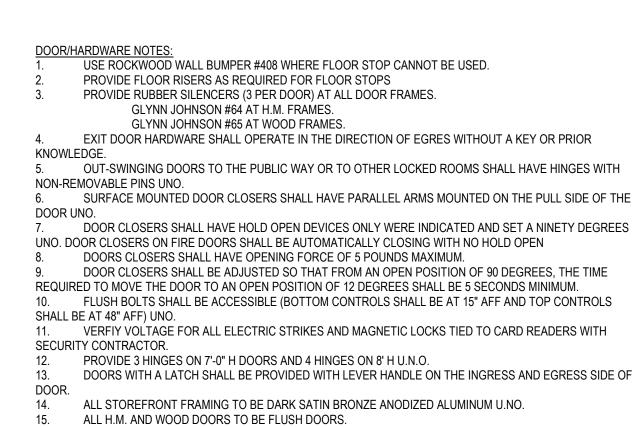
KEY NOTES - FURNITURE

1 TELEVISION 1
2 MOTORIZED BIKE PUMP, BLACK & DECKER AIR STATION ASI300 INFLATOR
3 PROVIDE AND INSTALL NEW 30"X 36" LOCKER UNITS. NUMBER INDICATES NUMBER OF UNITS HIGH PER LOCATION.
EXST EXISTING STORAGE LOCKERS TO REMAIN
REL RELOCATE EXISTING STORAGE LOCKERS AS SHOWN TO ACCOMMODATE NEW LAYOUT.

Door & Frame Schedule									
Door	Locations	Туре	Size	Door Material	Frame Material	Rating	Hardware Set	Notes	
100	Vestibule	Stanley Dura-Glide 200AG-BP	12' x 7'-8"	Glass Tempered	Aluminum	-	1	Dark Bronze	
100.1	Vestibule	Stanley Dura-Glide 200AG-BP	12' x 7'-8"	Glass Tempered	Aluminum	-	1	Dark Bronze	
102	Lobby to Rear Deck	Double Full Glass- Exterior	6'-0" x 7'-0"(PR)	1/2" Tempered Glass	Curtain Wall	-	2		
104	Elevator Lobby - Tower Two	Stanley Dura-Glide 200AG-BP	12' x 7'-8"	Glass Tempered	Aluminum	-	1	Dark Bronze	
104.1	Elevator Lobby to Corridor	Hinged	3'-0"x7'-0"	НМ	НМ	1 hr	11		
105	Trash	Hinged	3'-0"x7'-0"	НМ	НМ	1 hr	11		
106	Corridor to Exterior	Hinged	3'-8"x7'-0"	НМ	НМ	1 hr	14		
107	Mens	Hinged	3'-0 x 7'-0"	НМ	EXST	-	7		
108	Womens	Hinged	3'-0 x 7'-0"	НМ	НМ	-	7		
109	Staff Break/Locker	Hinged	3'-0 x 7'-0"	HM	НМ	-	7		
110	Janitor	Double - Hinged	6'-0 x 7'-0"	НМ	НМ	-	12		
111	Storage	Double - Hinged	6'-0 x 7'-0"	НМ	НМ	-	12		
115	Tower Two Locker	Exst	Exst	Exst	Exst	Exst	13	Coordinate with Security	
116	Bike Storage	Hinged	3'-0"x7'-0"	НМ	НМ	1 hr	13	Coordinate with Security	
117	Lobby to Bike Storage	Hinged	3'-0"x7'-0"	НМ	НМ	-	14		
118	Packages	Double - Hinged	6'-0 x 8'-0"	Solid Core Walnut	НМ	1 hr	5		
119	Cart/Storage	Hinged	4'-0 x 8'-0"	Solid Core Walnut	Walnut Wood	-	6		
122	Lockers	Hinged	4'-0 x 7'-0"	НМ	НМ	1 hr	13		
123	Elevator Lobby - Tower One	Stanley Dura-Glide 200AG-BP	12' x 7'-8"	Glass Tempered	Aluminum		1	Dark Bronze	
125	Stair	Hinged	3'-0" x 6'-8"	НМ	НМ	2hr	13	Coordinate with Security	
127	Trash	Hinged	3'-0"x7'-0"	НМ	НМ	1 hr	11		
128	Fitness Center	Double Hinged	6'-0" x 7'-0"(PR)	Solid Core Walnut	НМ	-	5		
								New electric strike wired to new fob access	
129	Fitness Center to Exterior	Exst	Exst	Exst	Exst	-	*	device. Coordinate with Security	
130	Office 3	Hinged	3'-0 x 7'-0"	Solid Core Walnut	Aluminum	-	8		
131	Closet	Sliding-bypass	5'-0 x 7'-0" (Pr 2'-6")	Solid Core Walnut	GWB	-	10		
132	Office 2	Hinged	3'-0 x 7'-0"	Solid Core Walnut	Aluminum	-	8		
132.1	Office 3 to Office 2	Pocket Door	3'-0"x7'-0"	Solid Core Walnut	Walnut Wood	-	9		
133	Admin to Corridor	Hinged	3'-0"x7'-0"	Solid Core Walnut	Aluminum	1 hr	6		
135	Restroom	Hinged	3'-0 x 7'-0"	НМ	НМ	-	7		
137	Office 1	Hinged	3'-0 x 7'-0"	Solid Core Walnut	Aluminum	-	8		
139	Conference	Hinged	3'-0 x 7'-0"	Solid Core Walnut	Aluminum	-	8		
139.1	Conference	Hinged	3'-0 x 7'-0"	Solid Core Walnut	Aluminum	-	8		
140	Closet	Sliding-bypass	6'-0 x 7'-0" (Pr 3'-0")	Solid Core Walnut	GWB	-	10		
G100	Garage Elevator Lobby 1	Storefront	3'-0 x 7'-0"	Aluminum/Glass	Aluminum	-	15	Clear Anodized	
G200	Garage Elevator Lobby 2	Storefront	3'-0 x 7'-0"	Aluminum/Glass	Aluminum	-	15	Clear Anodized	

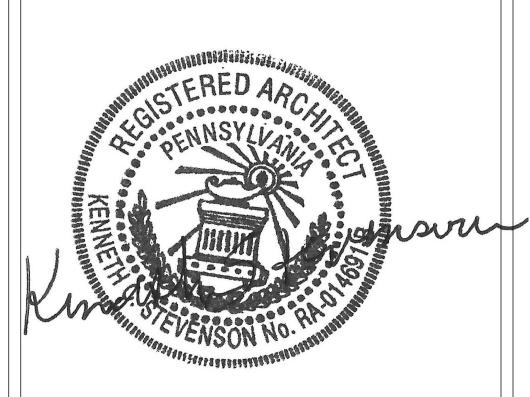
HARDWARE SCHEDULE PRODUCT NUMBER FINISH MANUFACTURER 1 EA BY DOOR VENDERBY DOOR VENDOR 2 EA CONCEALED FLOOR CLOSER MODEL 28 x 554 ARM 613E RIXSON 2 SET 10" BOTTOM RAIL, 4" BOTTOM RAIL, KEYED LOCK IN BASE US10B -2 SETS PUSH AND OFFSET PULL SET CRL 2958BRZ BRZ CRLAURENCE 643 STANLEY FBB-191 4.5X4.5 3 EA HINGES 1 EA STOREROOM US10B SCHLAGE ND80 ATH 1 EA SURFACE CLOSER 1461 HCUSH 613E LCN 1 EA FLOOR STOP US26D ROCKWOOD 8400 8" X 2" LDW 643 IVES 1 EA KICK PLATE 1 SET SEALS 5050B BRN NAT. GUARD PROD. 1 EA MOP PLATE 8400 8" X DOOR WIDTH 643 IVES 3 EA FULL MORTISE BUTT HINGES 1 EA HOOKBOLT WITH THUMBTURN 4066-01-313 313 ADAMS RITE 613E LCN 1 EA SURFACE CLOSER 1 EA FLOOR STOP US26D ROCKWOOD 1 EA SMART SERIES PUSH PULL 1" DIA 613 YKK 1 EA WEATHER-STRIPPING PACKAGE BLACK YKK 6 EA HINGES 643 STANLEY FBB-1914.5X4.5 ND80 ATH US10B SCHLAGE 1 EA STOREROOM 1 EA DUMMY ND170 ATH US10B SCHLAGE US10B ROCKWOOD 1 EA COORDINATOR #1672 2 EA MANUAL FLUSH BOLT US10B ROCKWOOD 1461 SCUSH 1 EA SURFACE CLOSER 613E LCN 1 EA WOOD ASTRAGAL MATCH DOOR 613E ADAMS RITE US10B IVES 1 EA ELECTRIC STRIKE 8400 8" X 2" LDW 2 EA KICK PLATE 1 EA FLOOR STOP US26D ROCKWOOD * COORDINATE WITH KEYPAD INSTALLATION. PROVIDE CHANNEL/BORE IN DOOR FOR ELECTRIC STRIKE. 3 EA HINGES FBB-191 4.5X4.5 643 STANLEY 1 EA STOREROOM ND80 ATH US10B SCHLAGE 1 EA CONCEALED OVERHEAD CLOSER 700 613E LCN 1 EA ELECTRIC STRIKE 7170 613E ADAMS RITE #441 US26D ROCKWOOD 8400 8" X 2" LDW 643 IVES BRN NAT. GUARD PROD. 1 EA FLOOR STOP 1 EA KICK PLATE 1 SET SEALS 5050B 8400 8" X DOOR WIDTH 643 IVES 1 EA MOP PLATE * COORDINATE WITH KEYPAD INSTALLATION. US26D STANLEY 3 EA HINGES FBB-191 4.5X4.5 US26D SCHLAGE 689 LCN US26D ROCKWOOD 1 EA PRIVACY ND40 ATH 1 EA SURFACE CLOSER 1461 SCUSH 1 EA FLOOR STOP 1 EA MOP PLATE 8400 8" X DOOR WIDTH 630 IVES 3 EA HINGE 1 EA OFFICE/ENTRANCE FBB-191 4.5X4.5 26D STANLEY US26D SCHLAGE ND50 ATH 1 EA FLOOR STOP US26D ROCKWOOD 1 EA POCKET DOOR HARDWARE 9628 US26D HAGER 1 EA MORTISE LOCKING HARDWARE 211315-138 EMTEK HARDWARE HDWR SET: 10 1 EA BYPASS SLIDING DOOR KIT 405666 STANLEY HDWR SET: 11 3 EA HINGES FBB-191 4.5X4.5 1 EA PASSAGE ND10 ATH US10B SCHLAGE 1 EA SURFACE CLOSER 1461 HCUSH 613E LCN 1 EA FLOOR STOP US26D ROCKWOOD 8400 8" X 2" LDW 643 IVES 1 EA KICK PLATE 1 SET SEALS 5050B BRN NAT. GUARD PROD. 8400 8" X DOOR WIDTH 643 IVES 1 EA MOP PLATE 26D STANLEY US26D SCHLAGE FBB-1914.5X4.5 1 EA STOREROOM ND80 ATH 1 EA DUMMY ND170 ATH US26D SCHLAGE 1 EA COORDINATOR #1672 US26D ROCKWOOD EA MANUAL FLUSH BOLT US26D ROCKWOOD 613E LCN US10B IVES EA SURFACE CLOSER 1461 SCUSH EA KICK PLATE 8400 8" X 2" LDW US26D ROCKWOOD EA FLOOR STOP HDWR SET: 13 3 EA HINGES FBB-191 4.5X4.5 1 EA STOREROOM ND80 ATH US10B SCHLAGE 1461 HCUSH 613E LCN
7170 613E ADAMS RITE
#441 US26D ROCKWOOD
8400 8" X 2" LDW 643 IVES 1 EA SURFACE CLOSER 1 EA ELECTRIC STRIKE 1 EA FLOOR STOP 1 EA KICK PLATE BRN NAT. GUARD PROD. 8400 8" X DOOR WIDTH 643 IVES 1 SET SEALS 5050B 1 EA MOP PLATE * COORDINATE WITH KEYPAD INSTALLATION. HDWR SET 14:
3 EA HINGES FBB-191 4.5X4.5 26D STANLEY
1 EA PANIC DEVICE 25-R RIM EXIT DEVICE US26D FALCON
1 EA LEVER LOCKSET 25R-510L DANE US26D FALCON 1 EA LEVER LOCKSET 29R-9TOL DAINE USZOD FALCON
1 EA SURFACE CLOSER 1461 SCUSH (NON-HOLD OPEN) 689 LCN
1 EA KICK PLATE 8400 8" X 2" LDW 630 IVES
1 SET SEALS 5050B BRN NAT. GUARD PROD.
1 ea DRIP CAP 16A AL NAT. GUARD PROD. 1 EA DOOR SWEEP B606A AL NAT. GUARD PROD.
1 EA THRESHOLD 896SS 630 NAT. GUARD PROD. 3 EA FULL MORTISE BUTT HINGES 4.5X4 NRP US26D STANLEY US26D ADAMS RITE US26D LCN 1 EA HOOKBOLT WITH THUMBTURN 4066-01-313 1 EA SURFACE CLOSER 1461 HCUSH US26D ROCKWOOD 1 EA FLOOR STOP 1 EA SMART SERIES PUSH PULL 1" DIA US26D YKK 1 EA WEATHER-STRIPPING PACKAGE BLACK YKK







www.styergroup.com



ARCHITECT KAJ Architects, LLC Kenneth C. Stevenson, R.A. 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.4600 INTERIOR DESIGN

Styer & Associates, Inc. Amy Tahtabrounian 412 DeKalb Street Norristown, PA 19401 Phone: 610.275.6000

STRUCTURAL ENGINEER SDA - Structural Design Associates, Inc. Andrew G. Sheerer, P.E. 533 West Uwchlan Avenue, Suite 201 Downingtown, PA 19335 Phone: 610.458.4470

MEP ENGINEER IVD, Inc. Marty Jordan 395 Circle of Progress Pottstown, PA 19464 Phone: 484.941.5900

No.	Description	Date
	ISSUED FOR PERMIT	10/20/2020

INDEPENDENCE PLACE

Lobby Renovation

DOOR AND HARDWARE SCHEDULE

Project Number 10/19/2020 Drawn By Checker Checked By

3/4" = 1'-0"