

AREA OF WORK
SCOPE OF WORK IS LIMITED TO THE BUILDING LOBBY, CONNECTED SUPPORT AREAS, AND COVERED BIKE AREA BETWEEN LOBBY AND REAR POOL DECK. SCOPE DOES NOT INCLUDE ANY WORK ON FRONT PLAZA OR WALKWAYS..

©Copyright 2020 Notice All Rights Reserved Styer & Associates, Inc.



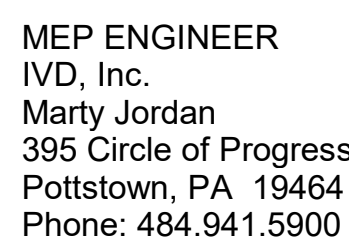
STYER GROUP
412 DeKalb Street Norristown, PA 19401
610.275.4800 www.styergroup.com

INDEPENDENCE PLACE
233-241 S. 6th St, Philadelphia, PA 19106
LOBBY RENOVATION

No.	Description	Date

Site Plan - Area of Work		
Project number	1921	SP-01 Scale 1" = 50'-0"
Date	01/25/21	
Drawn by	MRH	
Checked by	Checker	

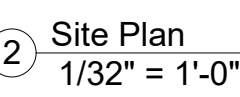
Civil
--
--
--
--
Phone: --

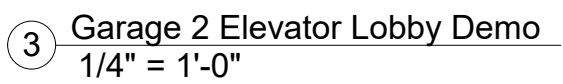
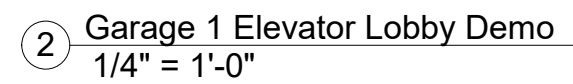
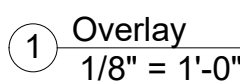


Scale	As indicated
-------	--------------

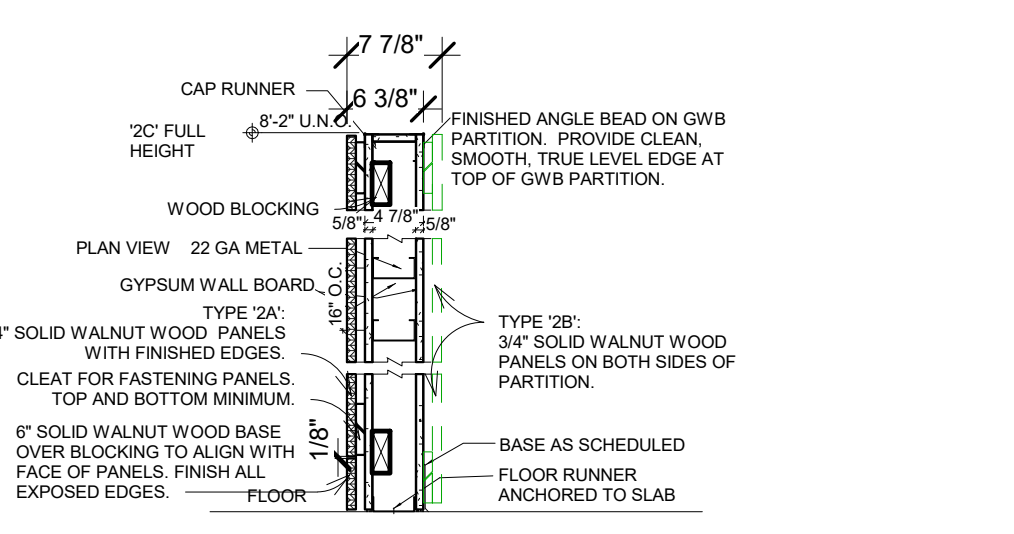
ISSUED FOR REFERENCE ONLY

ISSUED

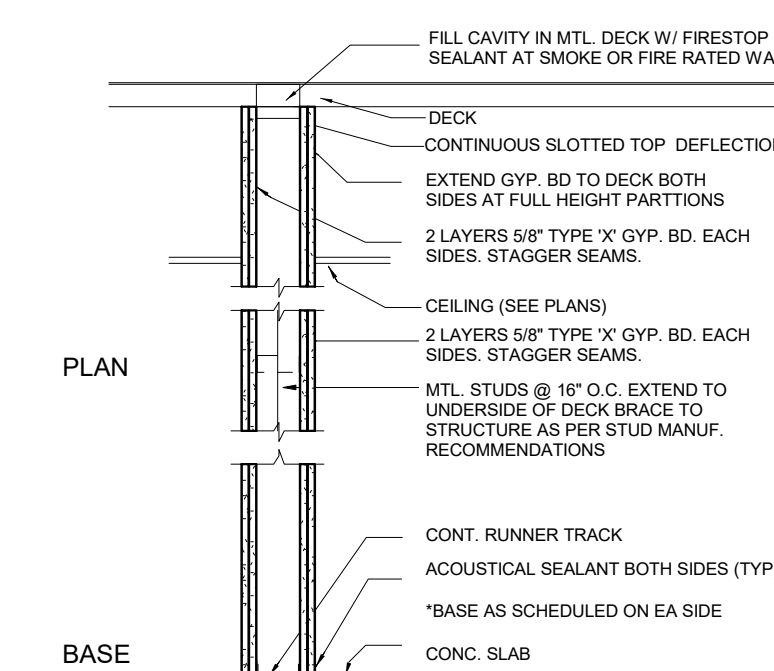





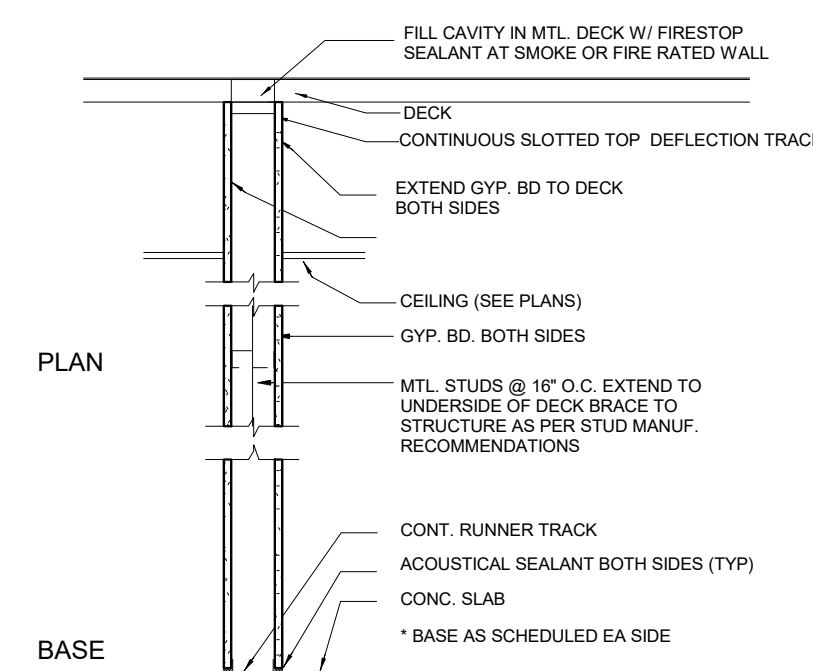
PARTITION TYPE 1 - 55F MFL STUD						
SUBJECT	RATING	ULI #	GYP BD TYPE	INSULATION	REMARKS	
1A	NONE	-	5F TYPE "X"	-	IF ABOVE CLG AT ACT LOGS FLOOR CLG AT DWS CLUS	
1B	1 HR	-	5F TYPE "X"	-	FULL HEIGHT, TYPE XP ON WET BEES/ OF PARTITION	
1C	NONE	-	5F GOLD BOND/XP/5F GYP BD BOARD	-		
1E	NONE	-	5F GYP BD	-	FULL HEIGHT, TYPE XP/5F SOUND BREAK ON WET BEES/ OF PARTITION.	
1F	NONE	-	5F SOUND-BREAK GOLD BOND/XP/5F BD & 5F GYP BOARD	-		



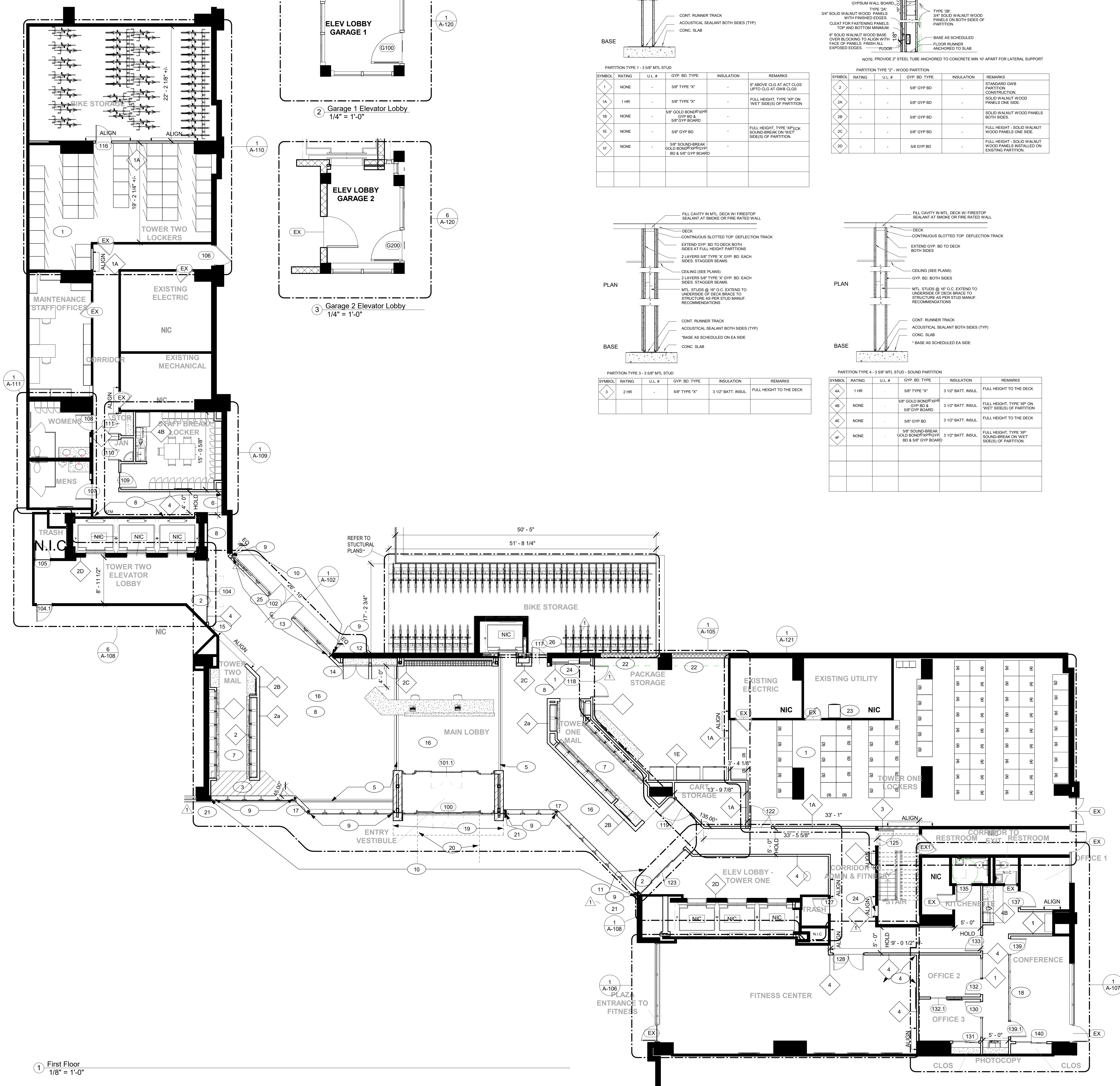
PARTITION TYPE "2" - WOOD PARTITION					
SYMBOL	RATING	U/L #	GYP BD. TYPE	INSULATION	REMARKS
2	-	-	5/8" GYP BD	-	STANDARD 5/8" PARTITION CONSTRUCTION
2A	-	-	5/8" GYP BD	-	SOLID WALNUT WOOD PANELS ONE SIDE
2B	-	-	5/8" GYP BD	-	SOLID WALNUT WOOD PANELS BOTH SIDES
2C	-	-	5/8" GYP BD	-	FULL HEIGHT - SOLID WALNUT WOOD PANELS ONE SIDE
2D	-	-	5/8" GYP BD	-	FULL HEIGHT - SOLID WALNUT WOOD PANELS INSTALLED ON SLIGHT SWAN



PARTITION TYPE 3 - 3 5/8" MTL STUD					
SYMBOL	RATING	U.L. #	GYP. BD. TYPE	INSULATION	REMARKS
	2 HR	-	5/8" TYPE "X"	3 1/2" BATT. INSUL.	FULL HEIGHT TO THE DECK



PARTITION TYPE 4 - 5 1/2" ML STUD - SOUND PARTITION					
SYMBOL	RATING	U.L.#	Q.P. BD TYPE	INSULATION	REMARKS
1A	1 HR	-	5P TYPE "A"	3 1/2" BATT. INSUL	FULL HEIGHT TO THE DECK
1B	NONE	-	5P GOLD-BONDTYPE 5P QP BD 5 1/2" QP BOARD	3 1/2" BATT. INSUL	FULL HEIGHT TYPE "X" ON WET DECK(S) OF PARTITION
1C	NONE	-	5P QP BD	3 1/2" BATT. INSUL	FULL HEIGHT TO THE DECK
1D	NONE	-	5P GOLD-BREAK GOLD-BONDTYPE QP BD & 5P QP BOARD	3 1/2" BATT. INSUL	FULL HEIGHT TYPE "X" ROUND-BREAK ON WET DECK(S) OF PARTITION



① First Floor
1/8" = 1'-0"

EXISTING PARTITION TO REMAIN

EXISTING DOOR TO REMAIN

NEW PARTITION

PARTITION TYPE DESIGNATION. SEE PARTITION TYPES FOR DETAILS

ABOVE, BELOW, BEYOND

NEW DOOR

DOOR NUMBER DESIGNATION. SEE DOOR SCHEDULE FOR DETAILS

NEW INTERIOR GLASS PARTITION / WINDOW

WINDOW TYPE DESIGNATION. SEE WINDOW TYPES FOR DETAILS

NEW MILLWORK

NEW WALL MOUNTED FIRE EXTINGUISHER - 10 LB TYPE ABC WITH STANDARD BRACKET

NEW WALL MOUNTED FIRE EXTINGUISHER CANNON - 10 LB TYPE ABC RECESSED WALL MOUNT. PROVIDE 6" LUM FRAMING MINIMUM

FLOOR DRAIN - MATCH FLOOR FINISH

1. PARTITION DEMOLITION TO FINISH FACE U.O.N.
2. USE "TYPE G" GYPSUM ON FIRE RATED PARTITIONS.
3. USE WATER, MEDIUM, AND MILDREW RESISTANT GYPS IN RESTRINGS AND ON ALL PARTITIONS IN WET LOCATION (SCHEDULED TO RESISTE CORROSION). USE TYPE "G" GYPSUM ON ALL PARTITIONS.
4. USE DETAILS 10A-101 FOR PARTITION DETAILS.
5. WHERE FURRED PARTITIONS EXCEED MAXIMUM HEIGHT (GRADE TO BRACKET) AND CANNOT BE STURDIED AT 4" O.C. MAX. FOR MAXIMUM STURDING, PROVIDE 2" O.C. MAX. STURDING FOR PARTING AND FINISHING.
6. PROVIDE FIRE PENETRATIONS AT RATED PARTITIONS PER APPLICABLE UL ASSEMBLY.
7. FIRE-PROOFING AS REQUIRED AT LOCATIONS INCLUDING BUT NOT LIMITED TO: GRAB BARS, SHELVING, OVERHEAD CABINETS, SINKS, TUBS, ROOMS ACCESSORIES, RAILINGS, ETC.
8. ALL INTERIOR PARTITIONS SHALL BE FINISHED TO MATCH EXISTING PARTITIONS.
9. REFER TO ENLARGED PLANS AND ACCESSORIES SCHEDULE TO COORDINATE LOCATION OF RECESSED MOUNTED ACCESSORIES. REFER TO A-101 FOR MOUNTING HEIGHT. SEE SPECIFICATIONS & ENLARGED PLANS FOR OUTLINE AND FINISH.
10. DRYWALL TO BE FELD OF CONCRETE (1") TO PREVENT WINDING MOMENTS FROM CONCRETE.
11. A FINISH OR FIRE RATING OF WALL SHALL REFER TO THE ENTIRE LENGTH OF THE WALL.
12. ALL PENETRATIONS OF OUTDOOR, CLOSET, PIPING, WALLS AND SINKS WORK THROUGH FIRE RATED PARTITIONS SHALL BE SEALED TO MATCH EXISTING ORIGINAL FINISH OF ASSEMBLY.
13. ALL CRACKS AND HOLES WITHIN NEW SLAB AND WALLS TO BE FIELDED. ALL CRACKS IN THROUGH FIRE RATED FLOORS TO BE FIELDED AND FLOORS TO BE REPAIRED TO RECEIVE NEW FINISHES. CONTACT FIRE PROTECTION CONSULTANT FOR FLOOR REPAIRS.
14. PROVIDE 1/2" MIN. GROUTING TO BE FLASHPATCHED TO PROVIDE SMOOTH TRANSITION BETWEEN CARPET AND TILE.
15. PROVIDE EXPANSION JOINTS AND CRACK ISOLATION MEMBRANES AT WALL INTERSECTIONS.
17. VERIFY LOCAL CODES FOR ANY ADDITIONAL REQUIREMENTS FOR WALLS.
16. PROVIDE NEW EXPANSION JOINT COVERS AND COMPRESSIBLE FILL. MINOR FILL TO BE NOOKS OR SLOPS TO MATCH FLOOR. VERIFY STEELGRIP PATTERN TO ORDER.
18. SEE ENLARGED DRAWINGS FOR ADDITIONAL DEMANDS REQUIRED FOR OVERALL CULVERT.
20. LAMINATE EXISTING TO REMAIN TEXTURED VENEER WITH 3/8" GRAB AND FINISH TO LEVEL MINIMUM. TYPE ALL VENEER TO MATCH EXISTING ELEVATOR.
21. REFERENCE HARDWARE SCHEDULE ON A-101 FOR ALL HARDWARE.

- RELOCATE EXISTING LOCKERS, SUPPLY AND INSTALL NEW
- CONSTRUCT NEW PARTITION AS REQUIRED PER NEW AUTOMATIC SLIDING DOOR REQUIREMENTS. PROVIDE 1/2" MIN. INSULATION.
- INFILL FLOOR SLAB TO MATCH EXISTING FLOOR/FLOOR LEVEL. REFER TO STRUCTURAL PLANS.
- EXISTING DRAIN AREA TO BE RELOCATED TO NEAREST PARTITION. BOX OUT DRAIN AS REQUIRED. PROVIDE 1/2" MIN. INSULATION.
- REMOVE EXISTING PARTITION AND REFRAMER TO EXPOSE EXISTING FLOOR/FLOOR LEVEL.
- EXISTING EXPANSION JOINT COVER AND COMPRESSIBLE FILLER TO BE REMOVED AND REPLACED WITH AS SPECIFIED FROM J. BLUM OR CO. OR EQUAL. FILLER TO BE NOBLE OR SILVER WITH MATCHING FINISH.
- REMOVE EXISTING PARTITION AND REFRAMER TO EXPOSE EXISTING FLOOR/FLOOR LEVEL.
- OPEN UP WALL INTO DRAIN AND REFRAME TO GAIN MAXIMUM SPACE AS POSSIBLE FOR CORNER CLEARANCE. HOLD DRYWALL THICK TO EXISTING WALL AND TURN STUDS AS NEEDED.
- DOOR/SLIDING DOOR TO BE RELOCATED TO EXISTING PARTITION.
- TERMINATE ALL EXISTING IN-REAR TEXTURED WALLS WITH 3/8" GWB AND FINISH TO LEVEL 4 MINIMUM.
- NEW COLUMN LOCATIONS. COORDINATE WITH STRUCTURAL PLANS FOR STRUCTURAL FRAMING AND REINFORCEMENT. STRUCTURAL SLAB ALL COLUMN AT CURTAIN WALL TO BE FINISHED TO MATCH REAR ALUMINUM SLAB.
- NEW CURB AND WATERPROOFING APPLICATION PER SDA STRUCTURAL WATERPROOFING PROJECT MANUAL, SECTION 05400.00, PART 1.01, AND SDA STRUCTURAL WATERPROOFING PROJECT MANUAL, SECTION 05400.00, PART 1.02.
- REMOVE EXISTING HEATER UNIT ON EXTERIOR OF BUILDING ABOVE EXISTING ATRIUM. INFILL WITH BRICK TO MATCH EXISTING.
- TOOTH HANG INTO VOID FROM REMOVED DOOR. MATCH EXISTING.
- 3. ALTERNATE: REMOVE EXISTING WALL AND REBUILDING NEW PARTITION AND NEW BRICK FILL WITH HEIGHT OF ANGLED WALL.
- 4. ALTERNATE: REMOVE EXISTING WALL AND FRAME WITH NEW STRENGTH FULL LITE DOOR TO MATCH PROJECT BROCKLE FINISH. HARDWARE SET 3. RETURN WOOD PANELS AT SLIDING DOORS.
- 5. PATCH AND INFILL EXISTING WALL TO REPAIR AT LOCATION OF REMOVED GLASSING DOORS.
- 6. EXISTING LEVEL FLOOR TO RECEIVE LARGE FORMATE TILE THROUGHOUT LOBBY. SEE FINISH PLAN FOR COMMENT.
- NEW GLASS CURTAIN WALL WITH EQUAL SPACE GLAZING EACH WINDOW. SEE A-1024 FOR MORE INFORMATION.
- NEW GLASS PARTITION. SEE U-1047
- EXISTING OVERHANG TO REMAIN AND TO BE MODIFIED. REFER TO SECTIONS AND STRUCTURAL PLANS.
- EXISTING STUPEL FLOOR TO REMAIN.
- FURR NEW COLUMN WITH HATTRICK, 3/4" F.R. PLYWOOD, BUILDING WRAP AND BRONZE BRACKETRY TO MATCH PROJECT CONTROL SAMPLE.
- REMOVE EXISTING PARTITION AND REFRAMER TO EXPOSE EXISTING FLOOR/FLOOR LEVEL. SLIDING FRAME ALL FINISHES ON BOTH INTERIOR AND EXTERIOR OF WALL. TOOTH COMB ON EACH SIDE OF WINDOW OPENINGS.
- REMOVE EXISTING WHIRLPOOL, GET10910232000 WASHING MACHINERY COMB UNIT IN PLACE OF EXISTING UNITS.
- RELOCATE FIRE FIRE CONNECTION. PROVIDE ALL ASSOCIATED PIPING RELOCATION AS REQUIRED PER A-1024 AND FUNCTIONING SYSTEM RISK LOG.
- PROVIDE 1/2" TEMPERED GLASS DOUBLE DOORS WITH TOP AND BOTTOM RAILS WITH CONCEALED LOCKING MECHANISM.
- SUPPLY AND INSTALL MOTORIZED BLEND SLAB & DECKER AIR SUPPLY AIRSINK INFLATOR



www.styergroup.com



ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

[illegible]

Lobby Renovation

Object Number	
Date	10/19/2011
Drawn By	
Checked By	

Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

A-101

Scale	As indicated
-------	--------------



www.styergroup.com



ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

[illegible]

Lobby Renovation

ROOF PLAN

Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

A-101A

Scale	1/4" = 1'-0"
-------	--------------

©Copyright 2020 Notice All Rights Reserved Styer & Associates, Inc.

1 ROOF PLAN - LOBBY
1/4" = 1'-0"

KEY NOTES - ROOF	
1	EXISTING ROOFING TO BE REMOVED TO METAL DECKING AND REPLACED PER SPECIFICATIONS.
2	PROVIDE AND INSTALL NEW ROOF OVER NEW STRUCTURAL FRAMING AND DECKING PER SPECIFICATIONS.

ROOFING SPECIFICATION FOR REROOF AND NEW

Tear-off the existing roof.

Install 1 layer of Carlisle's 2.5' polycarbonate roof insulation over the metal deck.

Install 1 layer of Carlisle's 2.0' polycarbonate roof insulation mechanically attached through both layers in accordance with FM-96 requirements but a minimum of 1 fastener per 2 square feet.

Install tapered polycarbonate roof insulation with a slope of .1% per foot and a minimum thickness of .75" over the insulation with a slope of .1% per foot and a minimum thickness of .75" at locations where needed to provide proper drainage and avoid ponding water.

All tapered insulation and boards will be installed in Carlisle's Flat adhesive with beads spaced 8" apart.

Install Carlisle's VHD bonded in Carlisle's Flat adhesive with beads spaced 4" apart.

Install Carlisle's Paedocarb 145 EPDM in Carlisle's Flat adhesive with beads spaced 4" apart.

Perform all flashing with EPDM to provide a watertight seal.

All new metal roofing and gravel slope will be supplied by the Carlisle and fabricated from a minimum of 50S Kynar finished aluminum.

Use galvanized steel with paint of your choice.



ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

[illegible]

INDEPENDENCE
PLACE

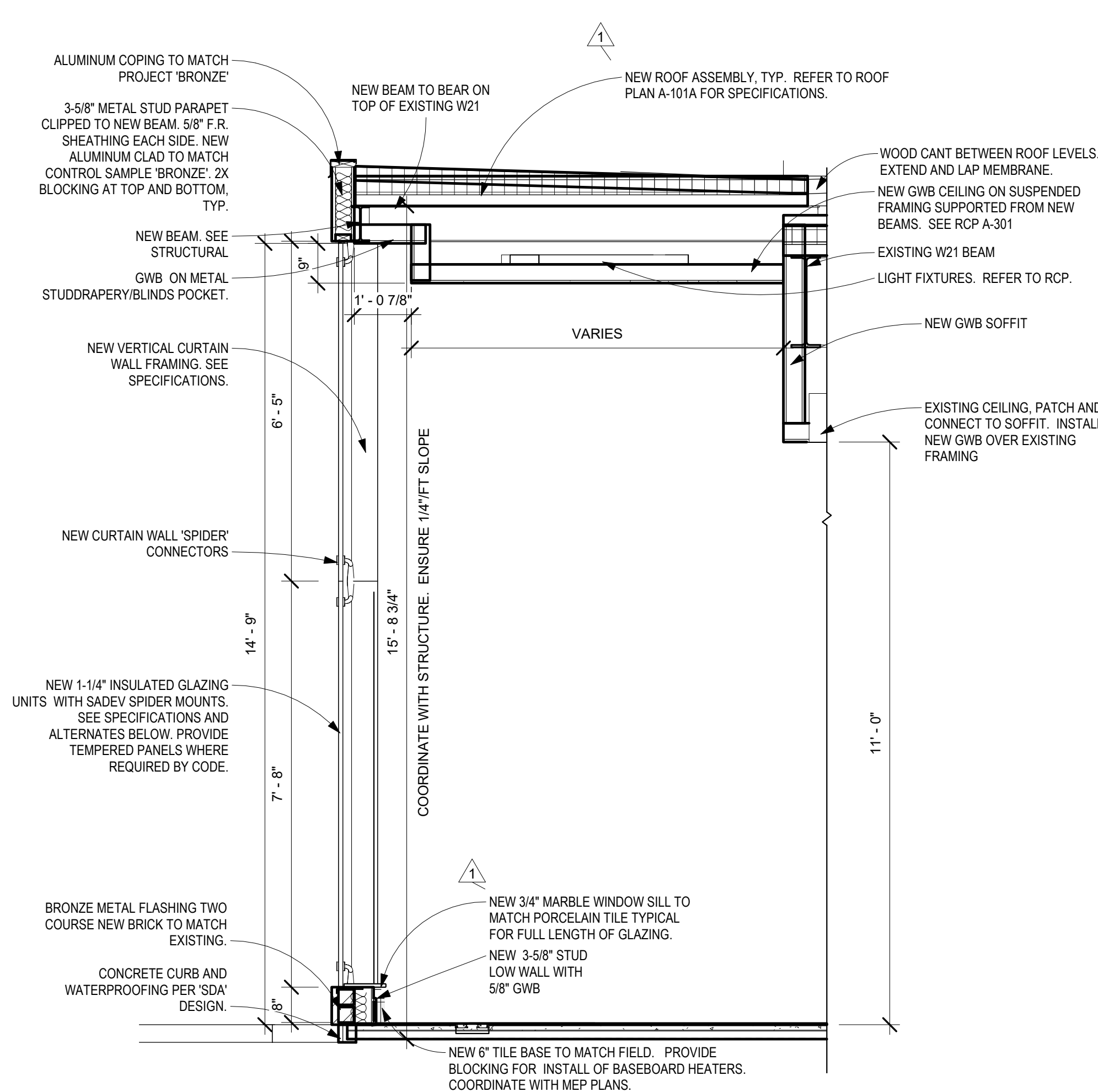
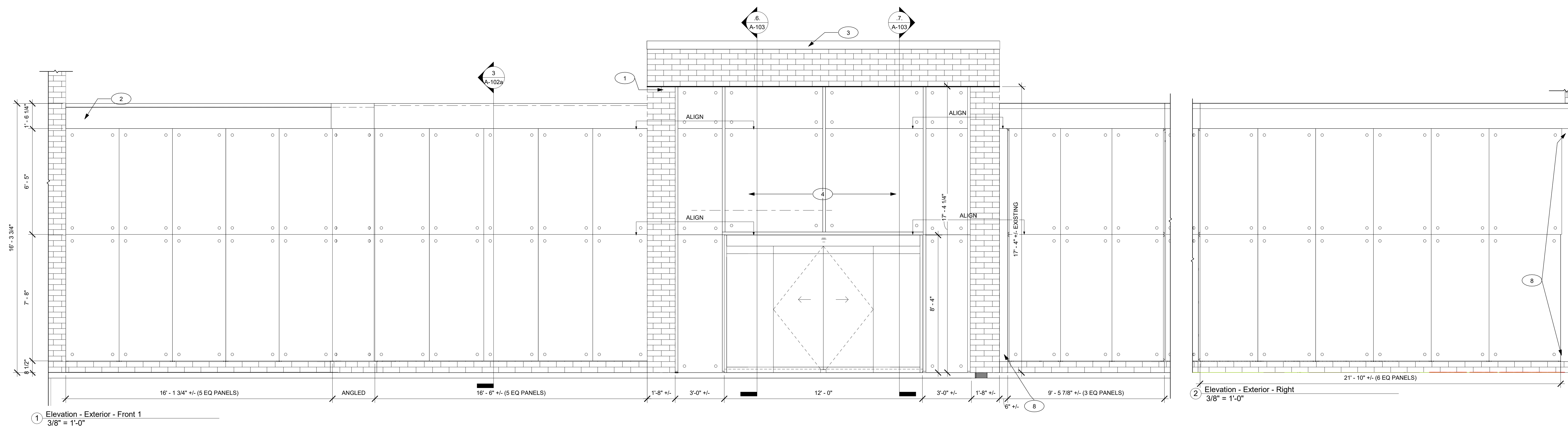
Lobby Renovation

GLAZING - SECTIONS & ELEVATIONS

Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

A-102a

Scale	As indicated
-------	--------------



3 Section - Curtain Wall
4.10" = 41.0"

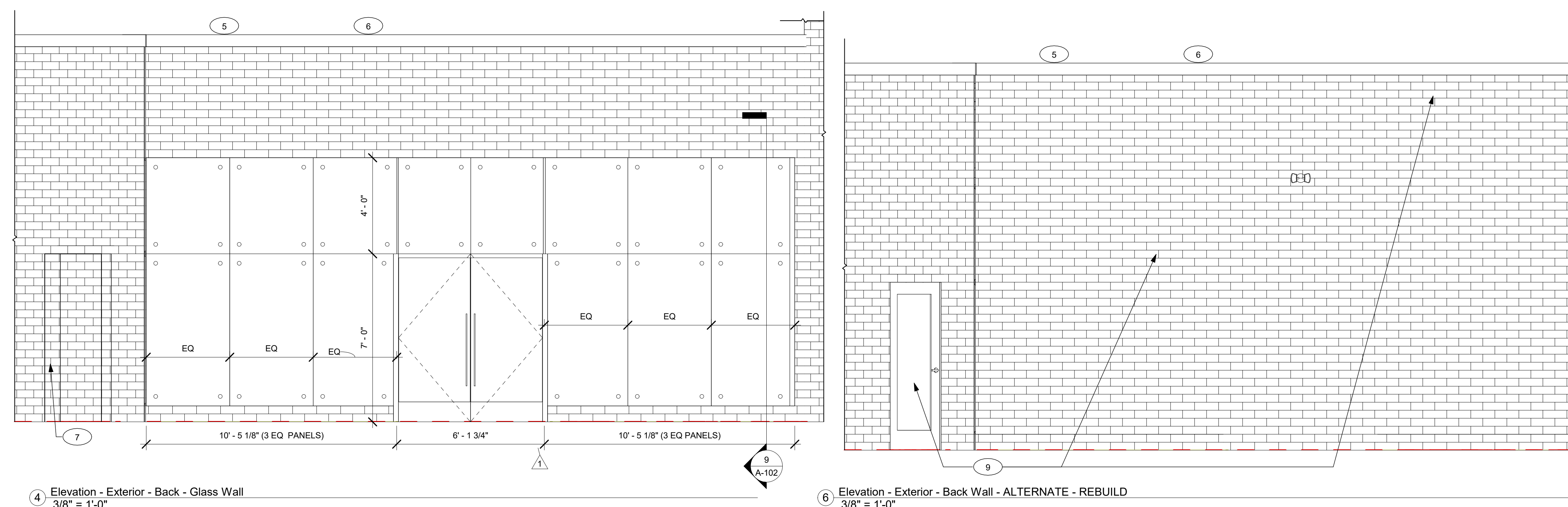
CURTAIN WALL SPECIFICATIONS:

1. EXTERIOR GLAZING SYSTEM TO BE SADEK GLASS SERIES 8001 ARTICULATED BUTT JOINT ROTULE SYSTEM DISTRIBUTED BY SADEK USA. THE ROTULES ARE ATTACHED TO THE GLASS FINISH OR METAL WALL USING 3000 SERIES BOLT WITH GASKETING.
2. EXTERIOR GLAZING TO BE 1-1/4" INSULATED GLAZING UNITS, SOLARBAN B6, GLAZING TINTED SILICONE GLAZING BETWEEN ALL PANELS. ANODIZE BRONZE BRONZE ANODIZED CHROME CHROME.
3. VERTICAL SUPPORT SYSTEM TO BE PROVIDED AS TWO OPTIONS:
 - A. MONOLITHIC GLASS SYSTEMS: 3/4" THICK WITH POLISHED EDGES.
 - B. ZINX[®] STEEL, TIE FINISH TO MATCH BRONZE PROJECT COLOR, SAMPLE R.
4. GLAZING COMPONENTS TO BE BRONZE TO MATCH PROJECT COLOR, SAMPLE R.
5. LAMINATED GLASS TO BE OF SUFFICIENT THICKNESS AND STRENGTH TO MEET THE LOADING AND DEFLECTION SPECIFICATIONS MADE HEREIN.
6. GLAZING SHALL BE A MINIMUM 1/4" THICK. GLAZING MAY BE EITHER PVDF OR CAST RESIN, PROVIDED PVDF IS SPECIFICALLY APPROVED BY ITS MANUFACTURER AS ALLOWED FOR EXPOSED EXTERIOR CONDITIONS.
7. PROVIDE CLEAR SILICONE GLAZING AT ALL GLASS TO GLASS CONNECTIONS.
8. PROVIDE BRONZE OR BRONZE GLAZING AT ALL GLASS TO FRAME CONNECTIONS.

ALTERNATE:

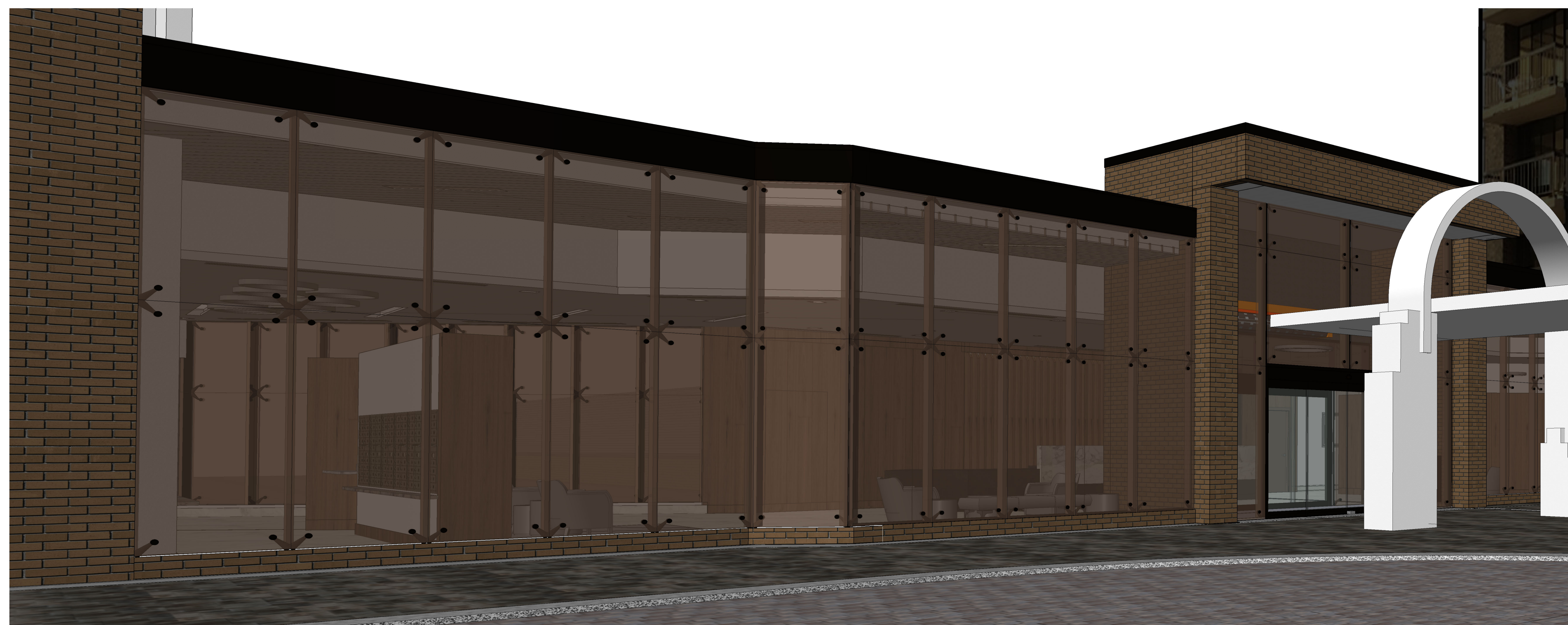
1. PROVIDE SAGEGLASS® ELECTROCHROMATIC 1-1/4" INSULATED GLAZING UNITS IN ALL CURTAINWALL LOCATIONS.
2. PROVIDE SAGEGLASS® HARMONY® ELECTROCHROMATIC 1-1/4" INSULATED GLAZING UNITS IN ALL CURTAINWALL LOCATIONS.
*PROVIDE ALL LOW VOLTAGE WIRING, TERMINATION BOXES, AND CONTROL BOX IN ELECTRICAL ROOM. PROVIDE SWITCHING AT RECEPTION DESK

KEY NOTES - GLAZING	
Note Number	Note Text
1	INSTALL NEW METAL STUD FRAMING, SHEATHING, BUILDING WRAP AND WATERPROOFING PRIOR TO INSTALL OF NEW BRICK AT WIDTH OF EXISTING BRICK PERS. AFTER REMOVAL OF EXISTING PERS. AND REINFORCES OVERHANG.
2	ANNOZED ALUMINUM WRAPPED FASCIA TO MATCH "BRONZE" PROJECT CONTROL SAMPLE.
3	NEW ANNOZED ALUMINUM COPING ALL SIDES TO MATCH "BRONZE" PROJECT CONTROL SAMPLE.
4	EXISTING SCULPTURE ITEM TO REMAIN.
5	NEW BRICK TO MATCH EXISTING TO BE INSTALLED FROM CURTAIN WALL TO TOP OF WALL. TOOTH IN AT EACH END.
6	NEW ANNOZED ALUMINUM COPING ALL SIDES TO MATCH EXISTING.
7	TOOTH IN NEW BRICK INTO VOID FROM REMOVED DOOR AND FRAME. MATCH EXISTING.
8	FURR NEW BUILDING WITH HATTRICK, 3/4" P. PLYWOOD, BUILDING WRAP AND BRICK BREAKMATEL TO MATCH PROJECT CONTROL SAMPLE.
9	ALTERNATE: N/A. LEAVE OF ALUMINUM BRICK WALL, DRAIN EDGE, 1/2" OF HEIGHT AND RENEWAL METAL STUD FRAMING, INSULATION, SHEATHING, BUILDING WRAP, WATERPROOFING, AND NEW BRICK TO MATCH EXISTING HEIGHT. EXISTING DOOR TO BE REPLACED WITH NEW STOREFRONT GLASS DOOR WITH 1/2" OF HEIGHT.



④ Elevation - Exterior - Back - Glass Wall
 $\frac{3}{8}'' = 1'-0''$

⑥ Elevation - Exterior - Back Wall - ALTERNATE - REBUILD
3/8" = 1'-0"



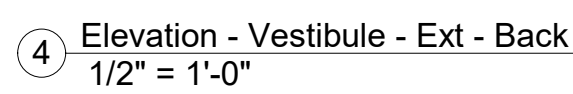
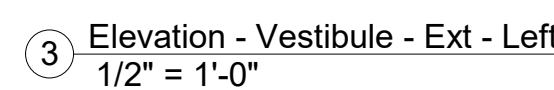
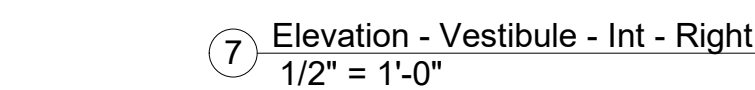
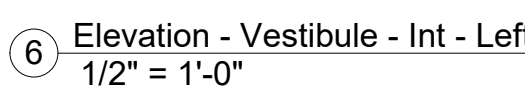
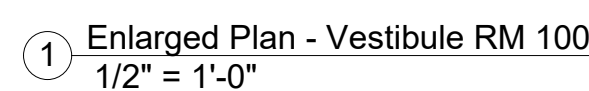
5 Front Exterior Perspective



INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900



CURTAIN WALL SPECIFICATIONS:

1. THE CURTAIN WALL SHALL BE TO BE SAEY CLASS 3000 SERIES PIVOT STYLE DISTRIBUTED BY SAEY USA. THE RETULERS ARE ATTACHED TO THE GLASS FINS OR METAL MALLIONS USING ANTIKNOX SERIES SPOTFITTING.

2. THE CURTAIN WALLING TO BE 1 1/2" THICK GLASS-GLAZED ALUMINUM TINTED. SILICONE GLAZED WITH PANSOL.

3. ANODIZE BRONZE HEAD, JAMB AND SILL CHANNELS. TO RECEIVE GLAZING UNITS.

4. PROVIDE 1/2" ALUMINUM ANGLE TO SUPPORT GLAZING UNITS.

5. A. MONOTYPE GLASS PANELS - 3/4" THICK WITH POLISHED EDGES.

6. B. 2X4" STEEL TUBES FINISHED TO MATCH CURTAIN WALL SAMPLE.

7. ALL GLAZING COMPONENTS TO BE BROUGHT TO MATCH PROJECT CURTAIN WALL SAMPLE U.N.D.

8. LAMINATED GLASS SHALL OF BE SUFFICIENT THICKNESS AND STRENGTH TO MEET THE LOADING AND DEFLECTION SPECIFICATIONS.

9. INTERSEAL SHALL BE A MINIMUM .060". INTERSEAL MAY BE EITHER PVB OR CRP. PROVIDE PVB IS SPECIFICALLY APPROVED BY THE MANUFACTURER AS ALLOWED FOR EXPANSION JOINTS.

10. PROVIDE CLEAR SILICONE CALLKING AT ALL GLASS TO GLASS CONNECTIONS.

11. PROVIDE THE BRONZE ROD AND BRONZE SILICONE GASKETS ON CONDITIONS.

ALTERNATE:

1. PROVIDE SAGEGLASS® ELECTROCHROMATIC 1-1/4" INSULATED GLAZING UNITS IN ALL CURTAINWALL LOCATIONS.
2. PROVIDE SAGEGLASS® HARMONY® ELECTROCHROMATIC 1-1/4" INSULATED GLAZING UNITS IN ALL CURTAINWALL LOCATIONS.

*PROVIDE ALL LOW VOLTAGE WIRING, TERMINATION BOXES, AND CONTROL BOX IN ELECTRICAL ROOM. PROVIDE SWITCHING AT RECEPTION DESK.

KEY NOTES - VESTIBULE	
1	EXISTING EXTERIOR OVERHEAD SLOPPHOLE ITEM TO REMAIN.
2	EXISTING BROCK PIERS TO REMAIN. PATCH AND REPAIR ANY DAMAGED BROCKS AND REPORT AS REQUIRED.
3	REMOVE EXISTING WALL HEATER UNIT. OPENING WITH BROCK TO MATCH EXISTING. TIGHTEN IN NEW BROCK.
4	INSTALL NEW METAL STAINLESS OVERHEAD SLOPPHOLE. PROVIDE NEW BROCKS FINISHED TO MATCH PROJECT STANDARD.
5	REFER TO STRUCTURAL PLANS FOR MODIFICATION OF BROCK PIERS FOR NEW OVERHANG.
6	INSTALL NEW METAL STUD FRAMED CEILING WITH 1/2" DENSGLASS AND PREPARED FOR PAINT.
7	NEW HISS TUBE STEEL, 12" METAL ANGLE, FOR SUPPORTING BROCKS. REFER TO STRUCTURE PLANS. INSTALL NEW BROCKS AT SIDE OF OVERHANG. TIGHTEN INTO EXISTING BROCKS.
8	INSTALL NEW METAL STUD FRAMING, SHEATHING, BUILDUP AND WATERPROOFING PRIOR TO INSTALL OF NEW BROCK AT WIDTH OF EXISTING BROCK PIERS. AFTER REMOVAL OF EXISTING BROCK PIERS, AND REINFORCING OVERHANG.
9	NEW HISS TUBE STEEL FRAME AROUND DOORS AND SLOPPHOLE. REFER TO STRUCTURAL PLANS.
10	NEW GWB CEILING ANCHORING WITH EXISTING CEILING. PROVIDE IN CEILING BOLDING AS REQUIRED FOR PENDANT FIXTURES. SECURE TO STRUCTURE.
11	PROVIDE AND INSTALL CURTAIN. REFER TO ENGINEER PLANS FOR SCL. PROVIDE IN-WALL BROCKING.

[illegible]

Lobby Renovation

ENLARGED PLAN
VESTIBULE RM 100

Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

A-103

Scale	As indicated
-------	--------------



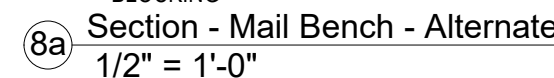
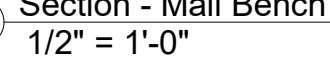
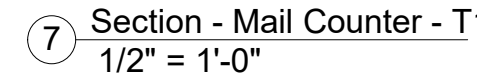
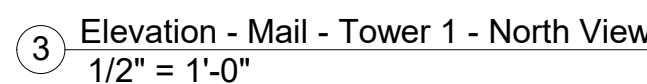
INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

Scale $1/2" = 1'-0"$



KEY NOTES - MAILROOMS	
Notes Number	Notes Text
1	PROVIDE AND INSTALL MAILBOXES. COORDINATE MAILBOX WALLS WITH PRODUCT SPECIFICATIONS, TYP. SALISBURY INDUSTRIES, 4" RECESSED MAILBOXES, MB-1 BOXES, FINISH: BRONZE.
2	WOOD PARTITION TYP. TO OULUM.
3	3/4" SOLID WALNUT WOOD PANEL TO MATCH PROJECT SAMPLE. INSTALL AND SECURE WITH WALL WITH CLEATS TOP AND BOTTOM, MIN. VERTICAL GRAIN, BOOMKAMMED WITH ADJACENT PANELS.
4	PROVIDE BLOCKING FOR OWNERS SUPPLIED LAMINATE.
5	PROVIDE AND INSTALL NEW WOODBURY POLISHED GRANGE SHELF TO MATCH CONTROL, SAMPLE. PROVIDE MITERED CORNER OF WOOD PANEL.
6	PROVIDE AND INSTALL NEW 1/2" HIGH SANITARY SOLID WALNUT WOOD BASE AT ALL WOOD WALL PANEL LOCATIONS. TO MATCH CONTROL, SAMPLE WITH VERTICAL GRAIN TO MATCH WITH ADJACENT PANEL.
7	PROVIDE AND INSTALL WALLCOVERING, INSTALL PAPER TO MAILBOX OPENING 4" MIN. PERMIT TO FINISH PLAN.
8	PERFORM FIRST OF BRICK WALL.



412 DeKalb Street
Norristown, PA 19401

www.styergroup.com

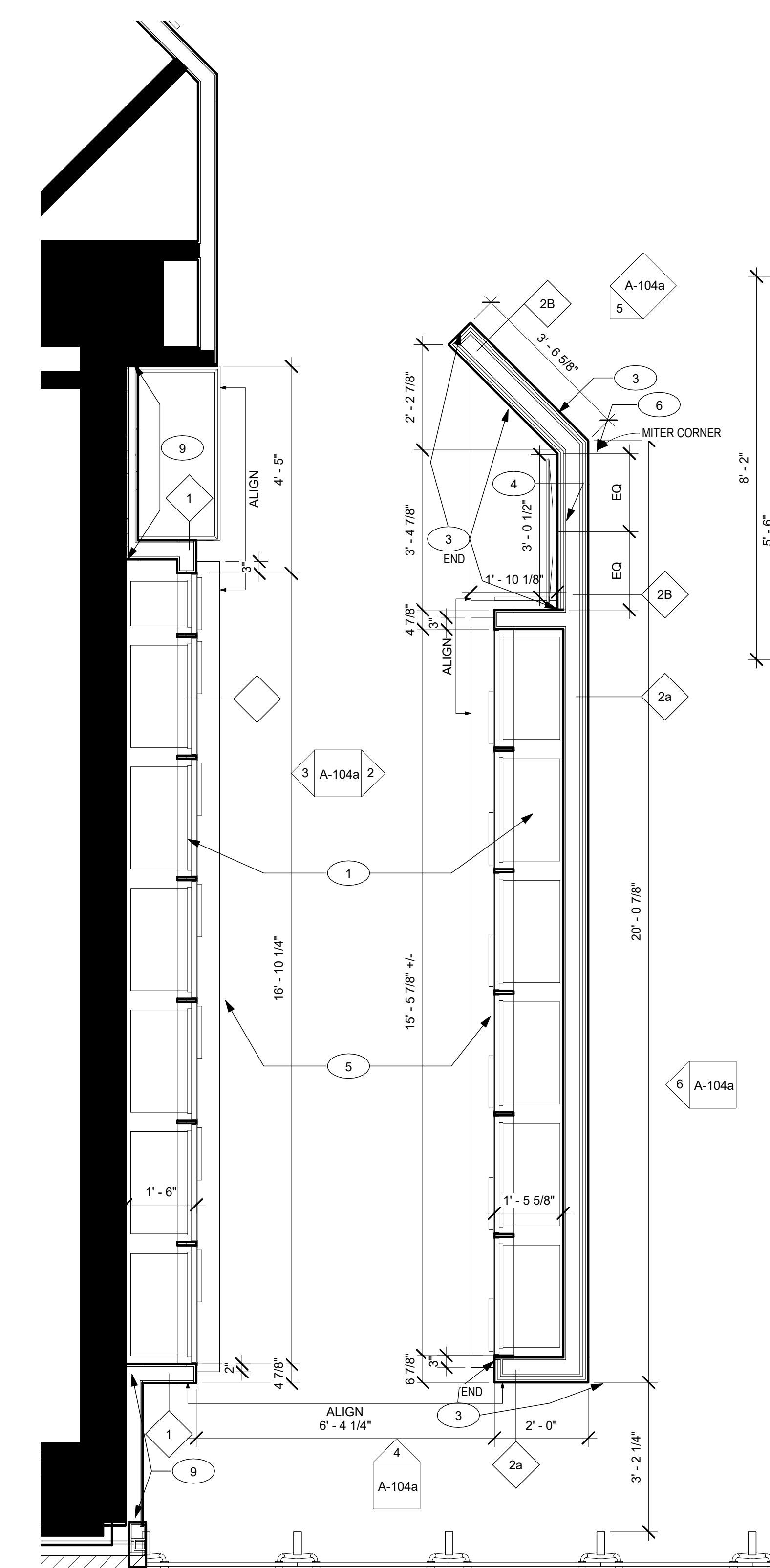


ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

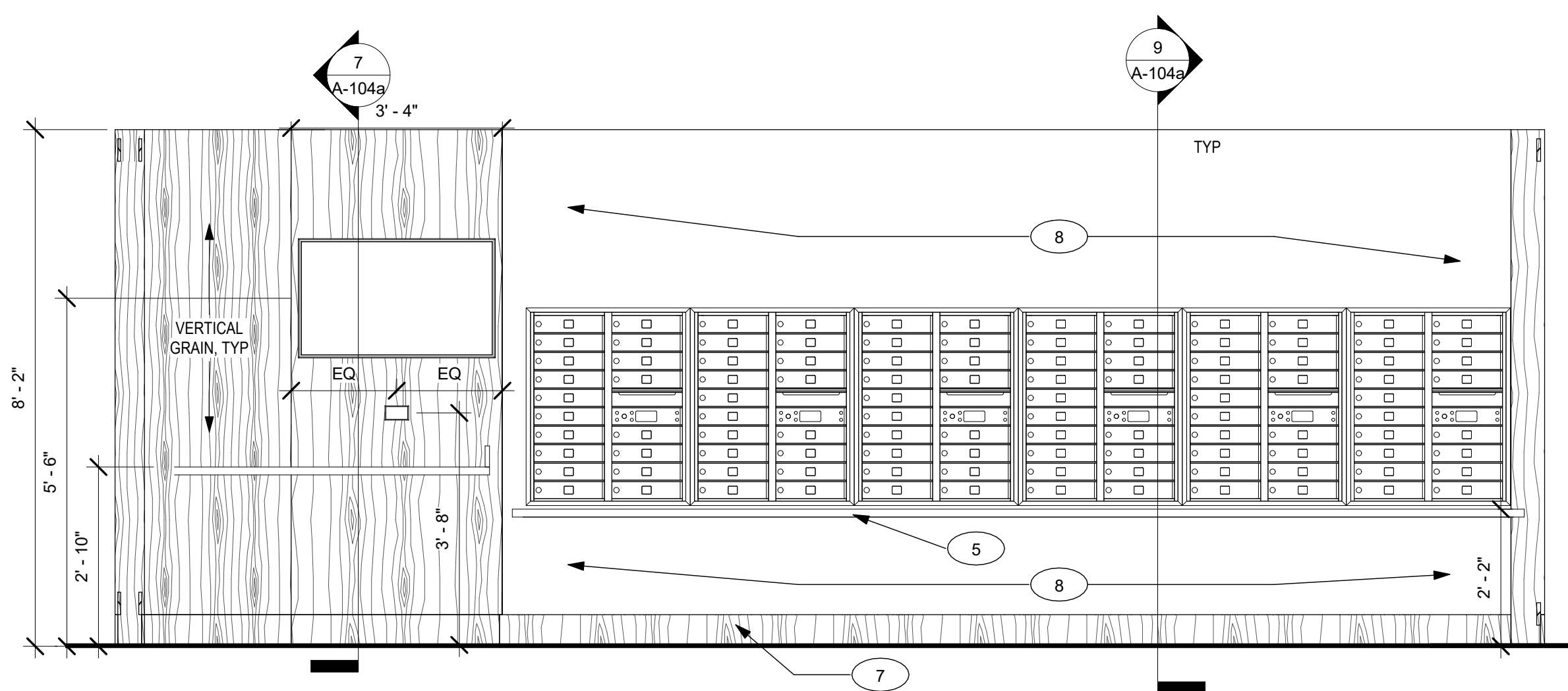
INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

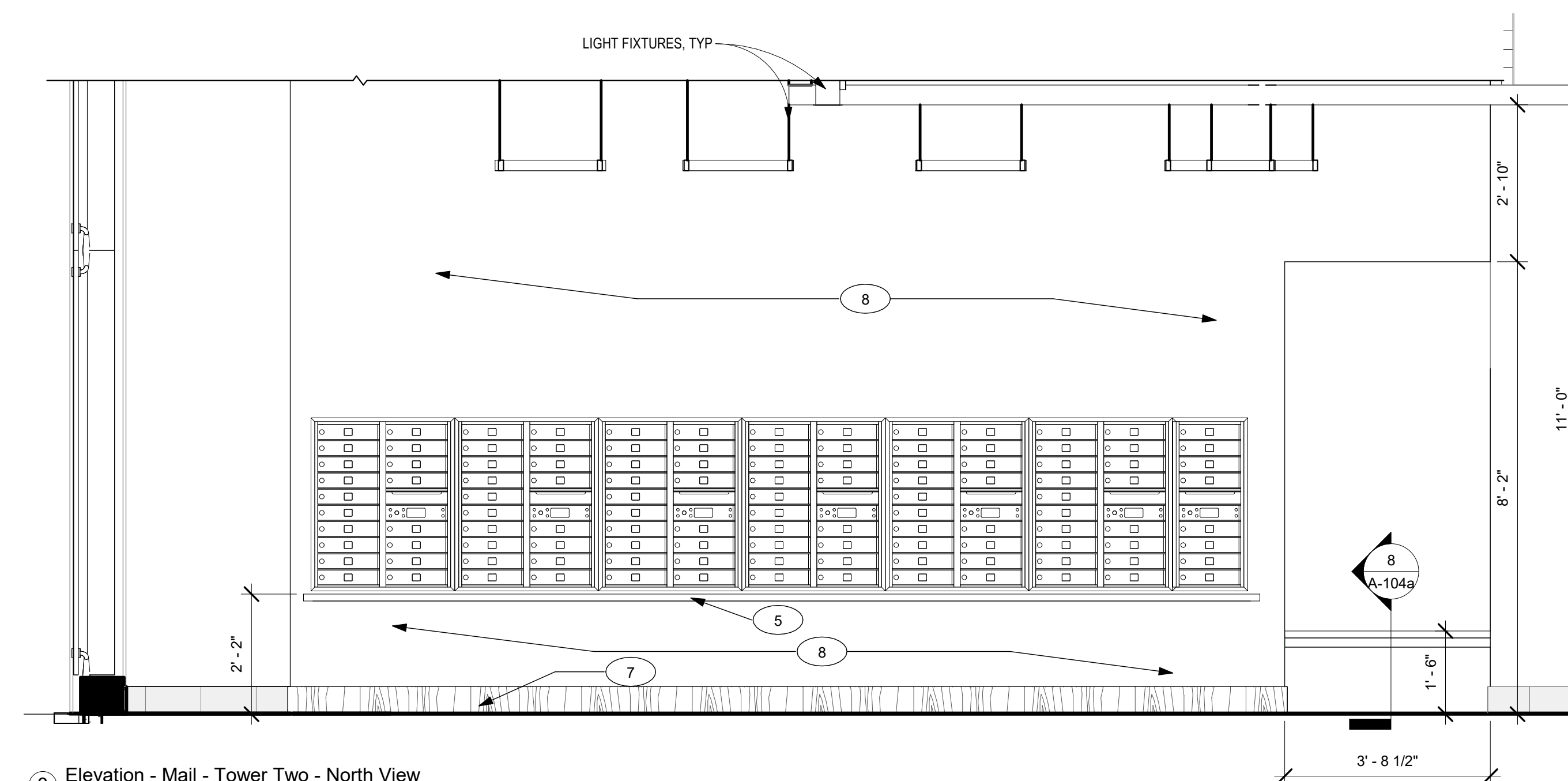
MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900



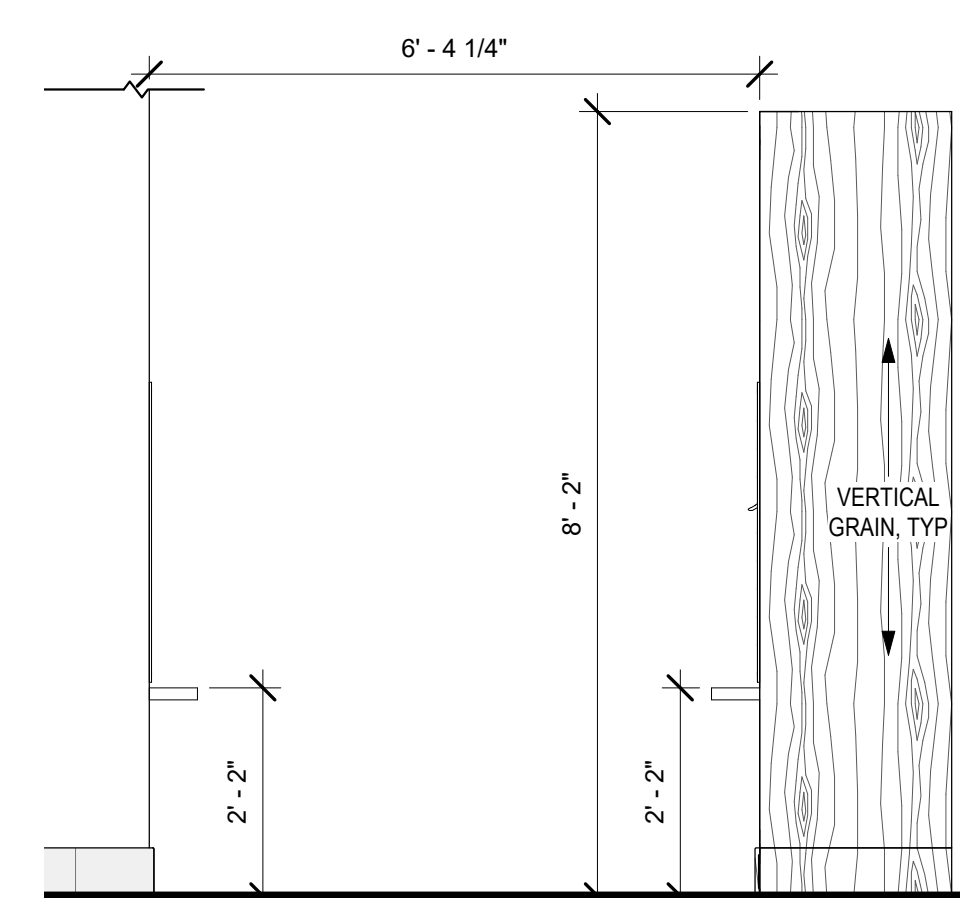
① Enlarged Plan - Tower Two - Mail RM 103
1/2" = 1'-0"



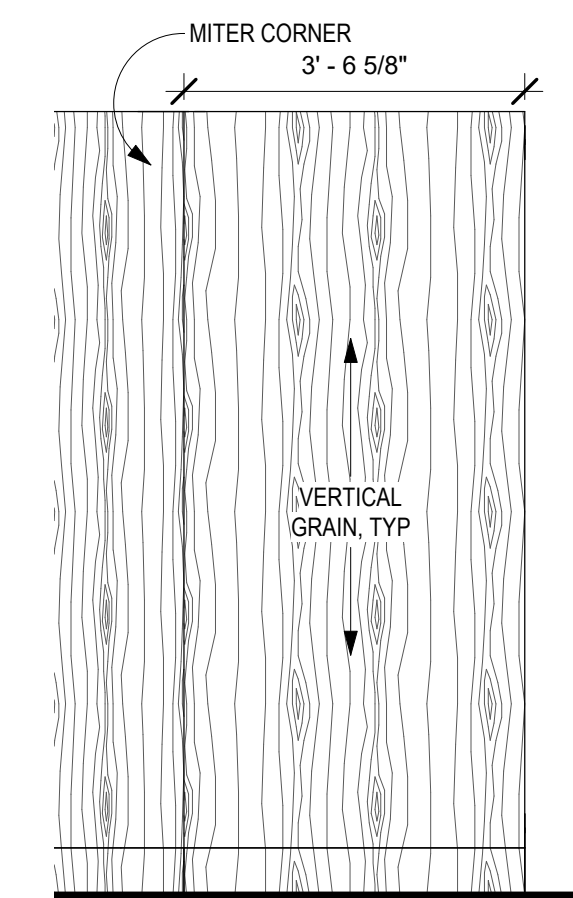
② Elevation - Mail - Tower Two - South View
1/2" = 1'-0"



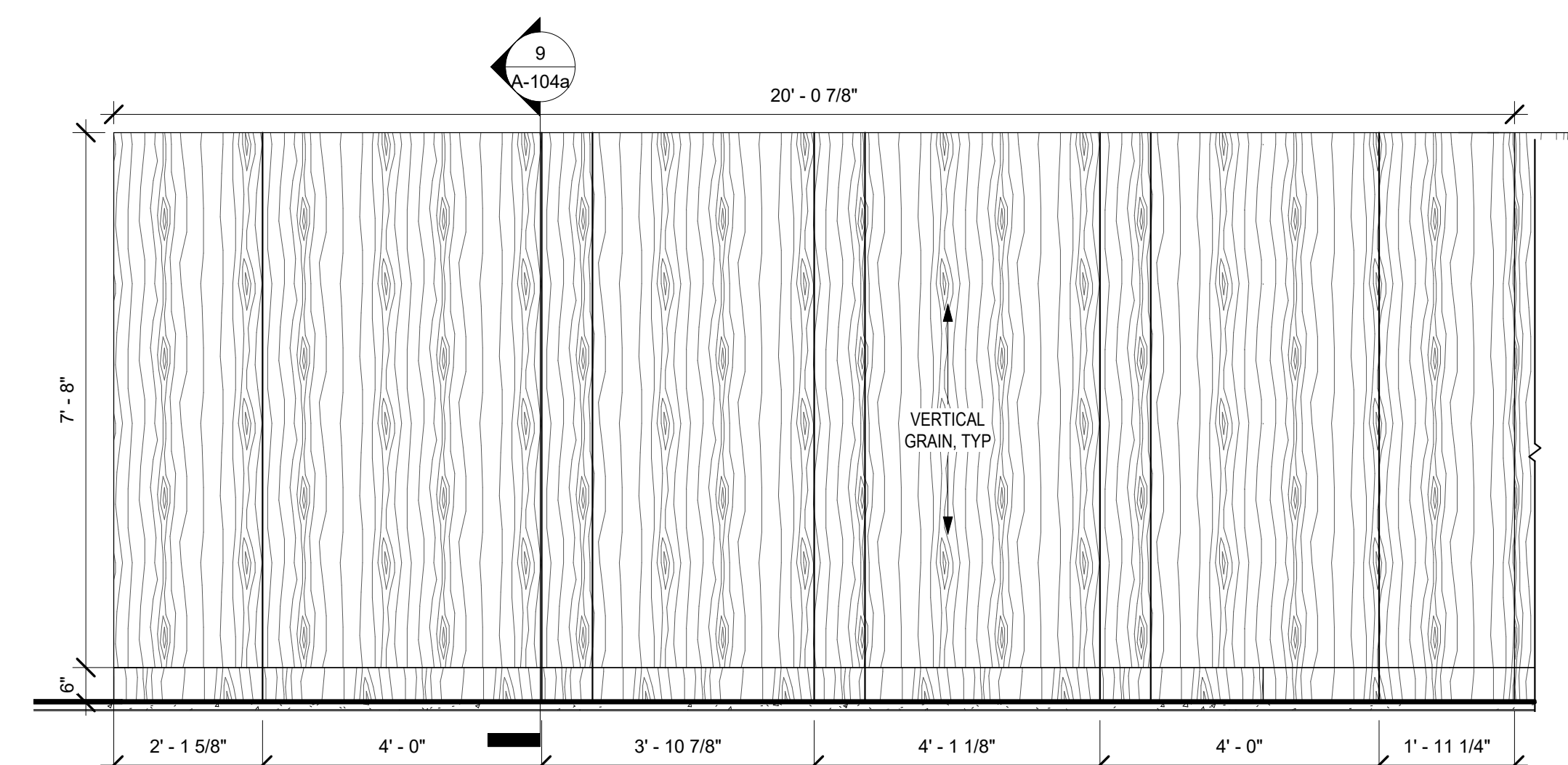
③ Elevation - Mail - Tower Two - North View
1/2" = 1'-0"



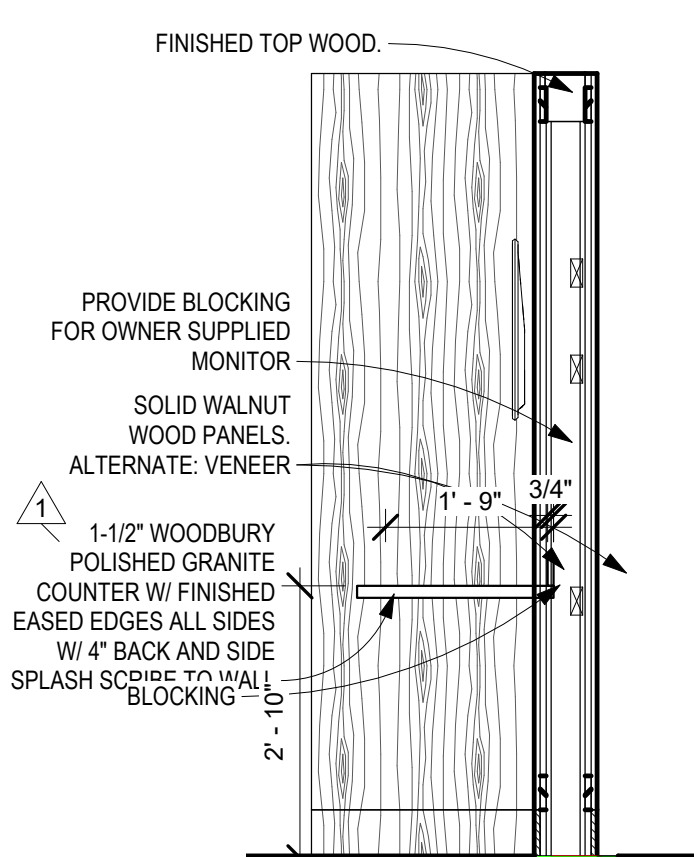
④ Elevation - Mail - Tower Two - End
1/2" = 1'-0"



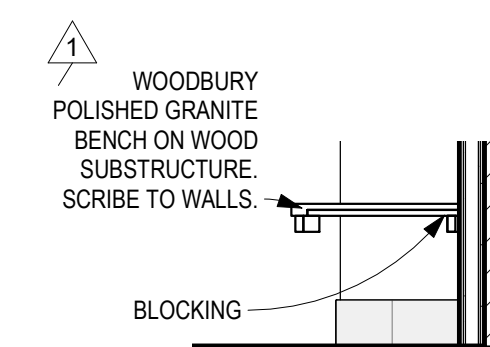
⑤ Elevation - Mail - Tower
1/2" = 1'-0"



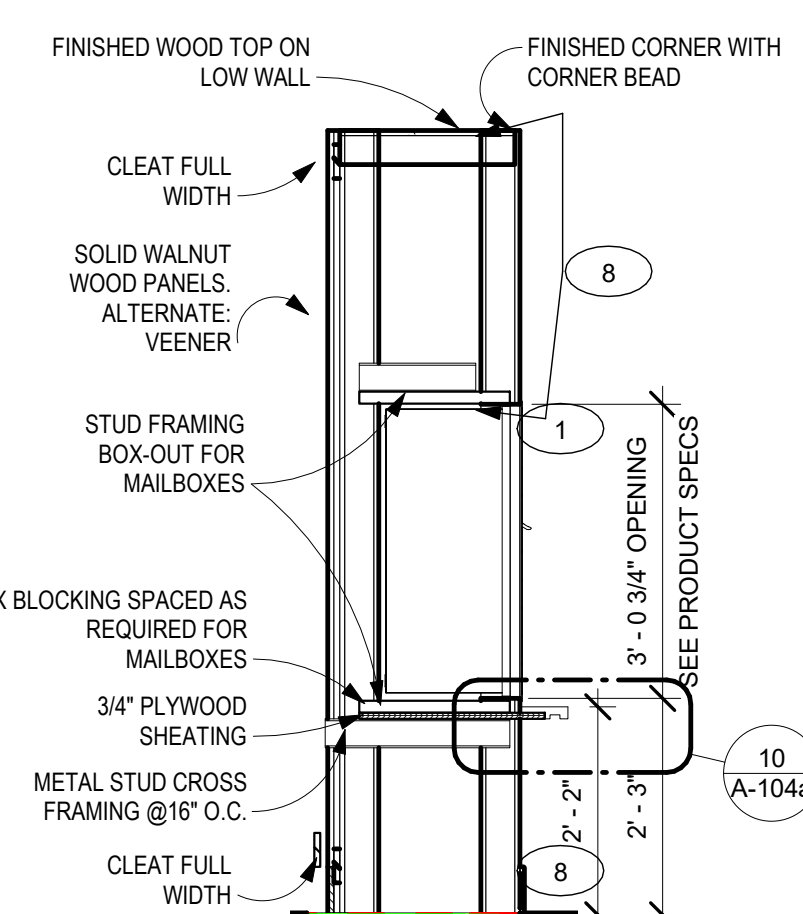
6 Elevation - Tower Two Mail - Lobby Side
1/2" = 1'-0"



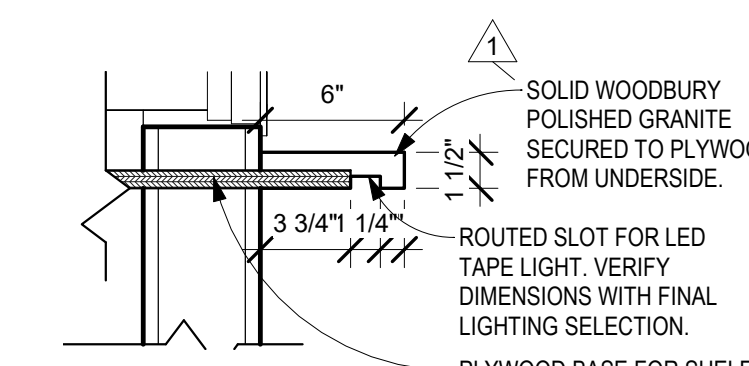
7 Section - Mail Counter - 2
1/2" = 1'-0"



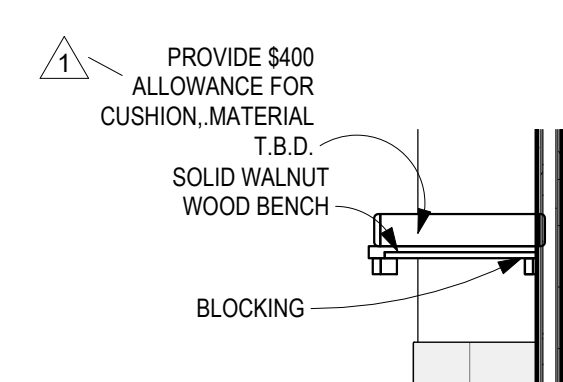
8 Section - Mail Bench 2
1/2" = 1'-0"



9 Section - Mailboxes
1/2" = 1'-0"



⑩ Section - Mailboxes - Shel
1 1/2" = 1'-0"



8a Section - Mail Bench 2 Alternate
1/2" = 1'-0"

KEY NOTES - MAILROOMS	
Note Number	Note Text
1	PROVIDE AND INSTALL MAILBOXES. COORDINATE MAILBOX WALLS WITH PROJECT SPECIFICATIONS. TYPE 304 STAINLESS STEEL. 4" RECESSED MAILBOXES. MB-1BOXES. FINISH BRUSH.
2	HOLD PARTITION TIE TO COLUMN.
3	3/4" X 5/8" X 16" WALNUT WOOD PANEL. TO MATCH PROJECT SAMPLE. INSTALL AND SECURE WITH FULL WIDTH GLAZING TOP AND BOTTOM. MIN. VERTICAL GRAN. BOARDED WITH MATCH ACQUANT PANEL.
4	PROVIDE AND INSTALL NEW WALNUT POLISHED GRANTIE SHELF TO MATCH CONTROL SAMPLE.
5	PROVIDE MITERED CORNER 3/4" X 5/8" X 16" WALNUT WOOD BASE AT ALL WOOD WALL PANEL INTERIORS TO MATCH CONTROL. COORDINATE WITH PROJECT GRANTIE TO MATCH WITH CONTROL SAMPLE.
6	PROVIDE AND INSTALL WALLCOVERINGS. INSTALL CORNER TO MAILBOXES. WRAP INTO MAILBOX OPEN 1" TO REFINISH PANEL.
7	5/8" X 16" X 16" BRICK WALL.

[illegible]

INDEPENDENCE
PLACE

Lobby Renovation

ENLARGED PLAN
MAIL TWO - RM 103

Project Number	1921
----------------	------

Date	10/19/2020
------	------------

Drawn By	MRH
----------	-----

Checked By	AMT
------------	-----

A-104a

Scale	As indicated
-------	--------------

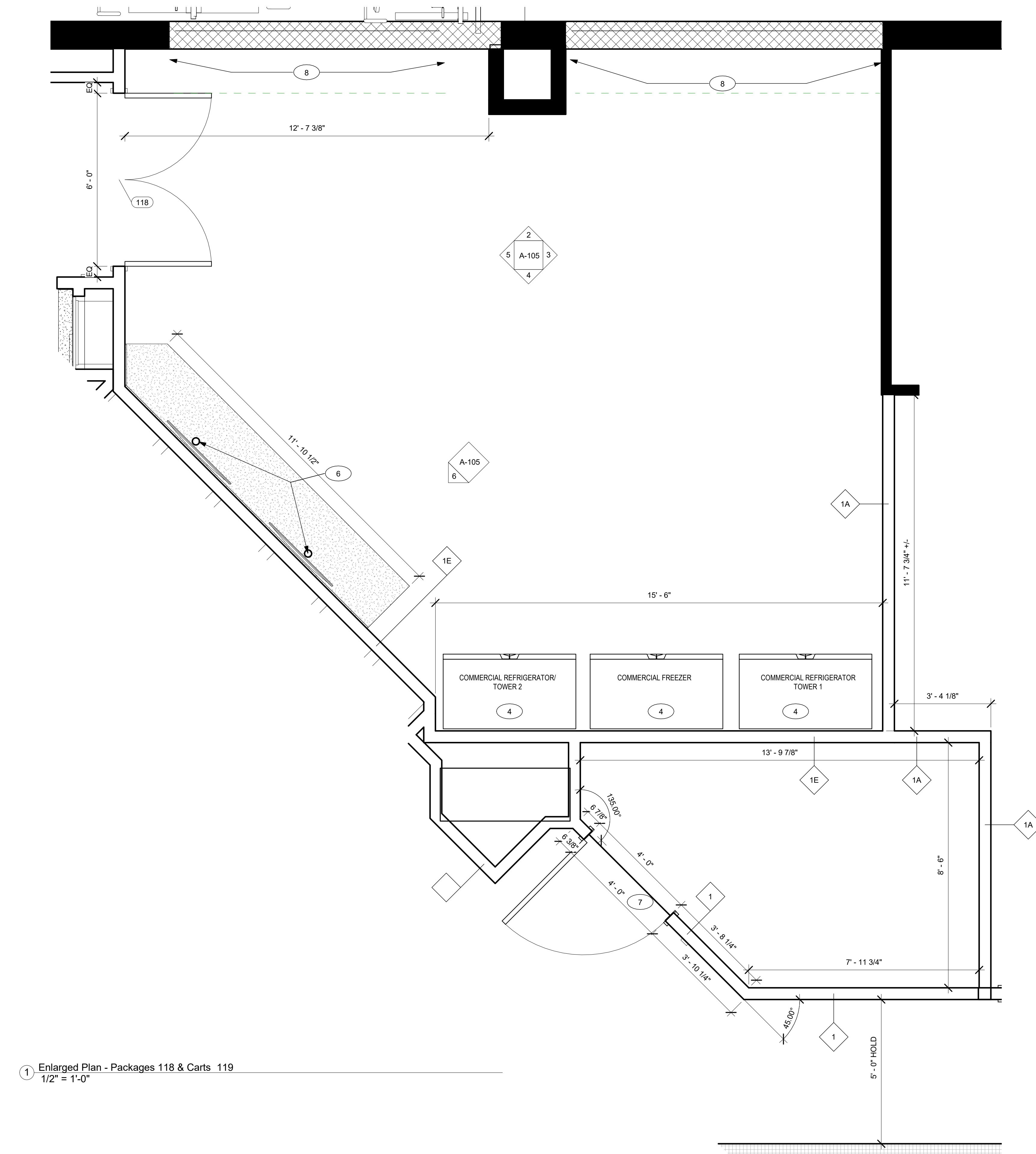


ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

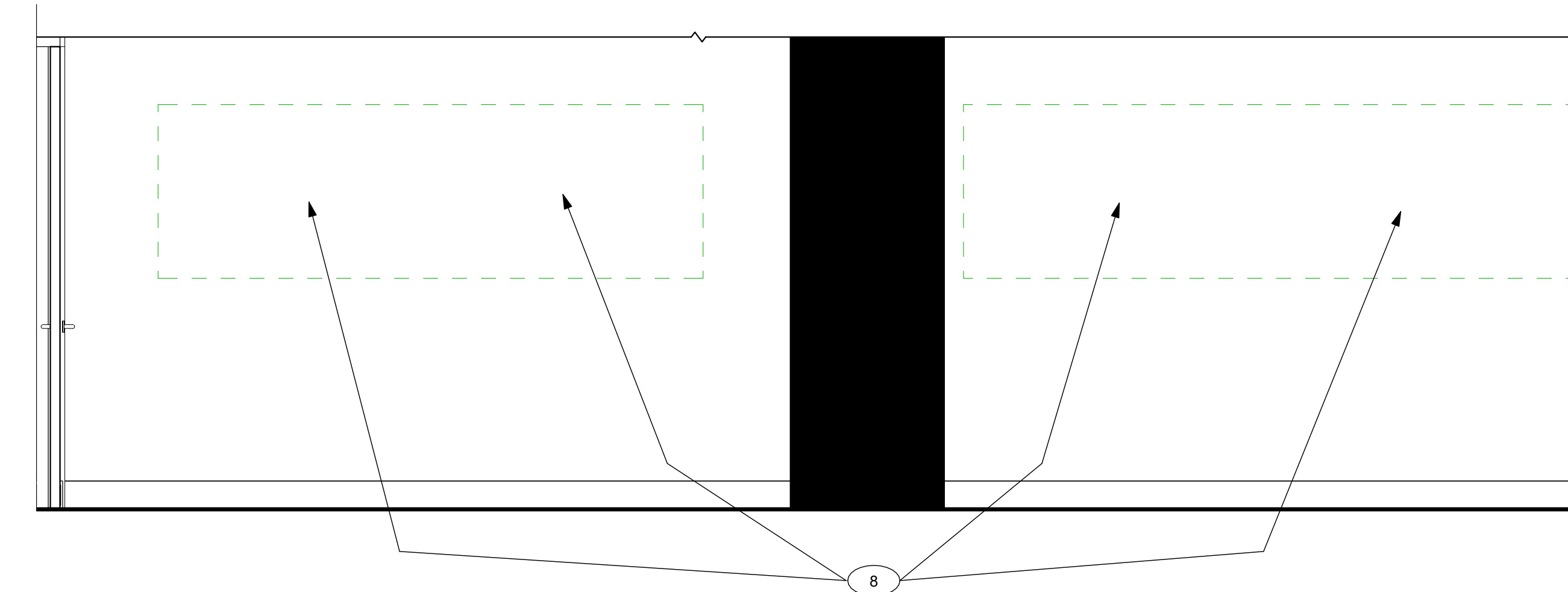
INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Shearer, P.E.
533 West Union Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

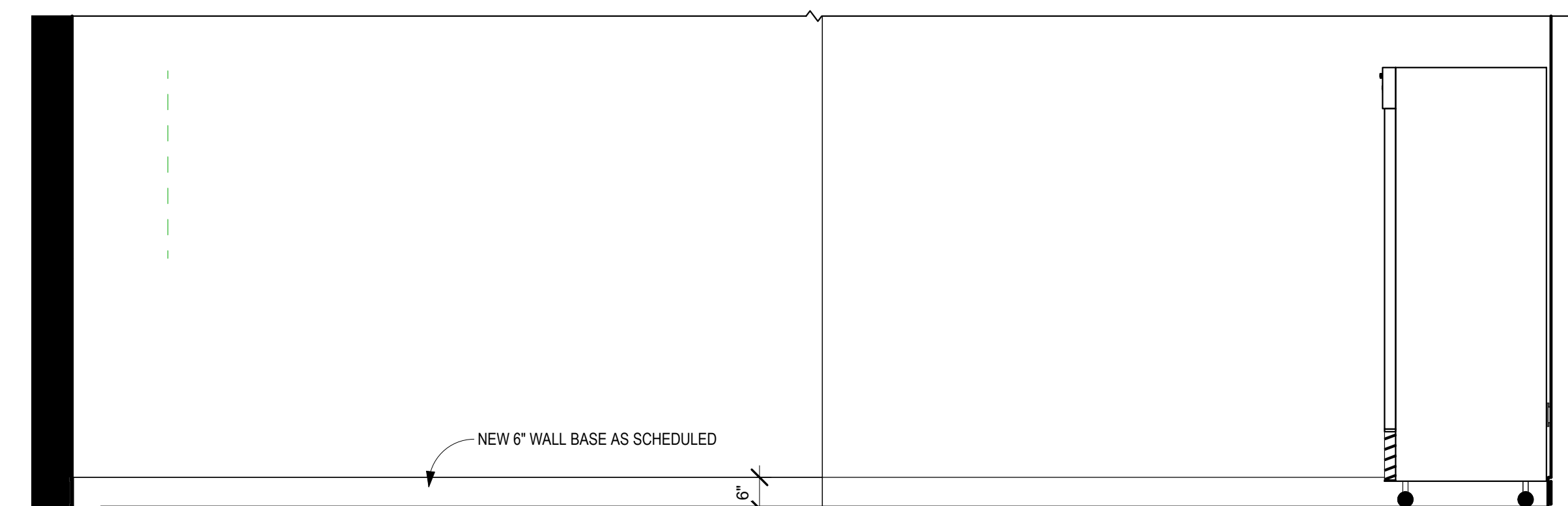
MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900



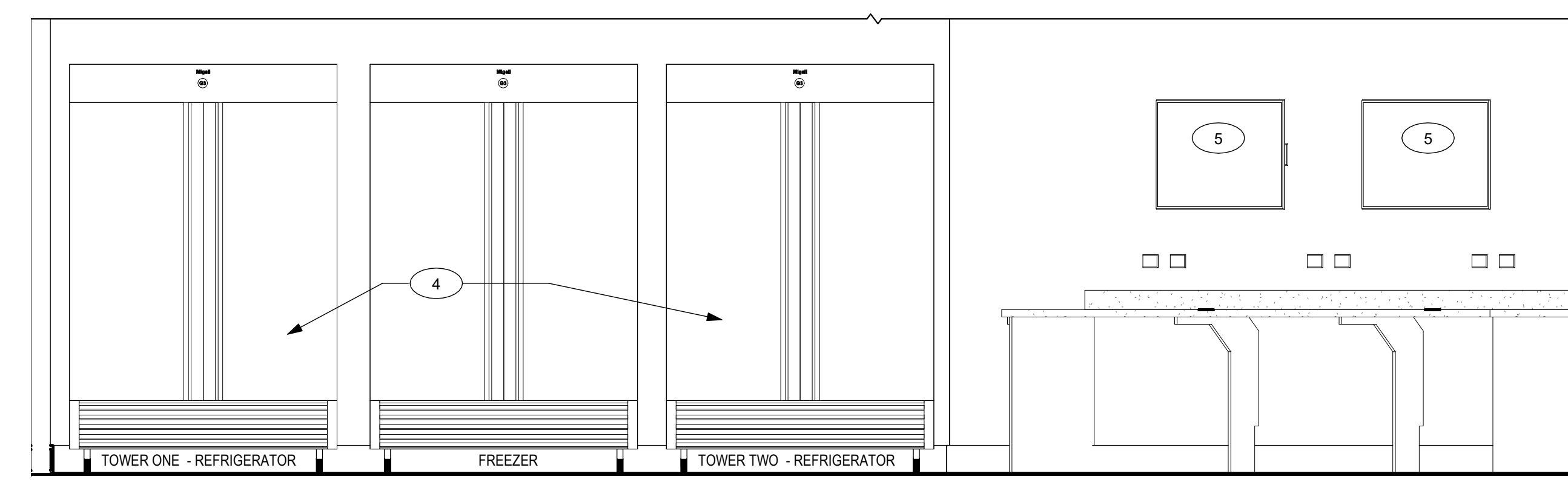
1 Enlarged Plan - Packages 118 & Carts 119
1/2" = 1'-0"



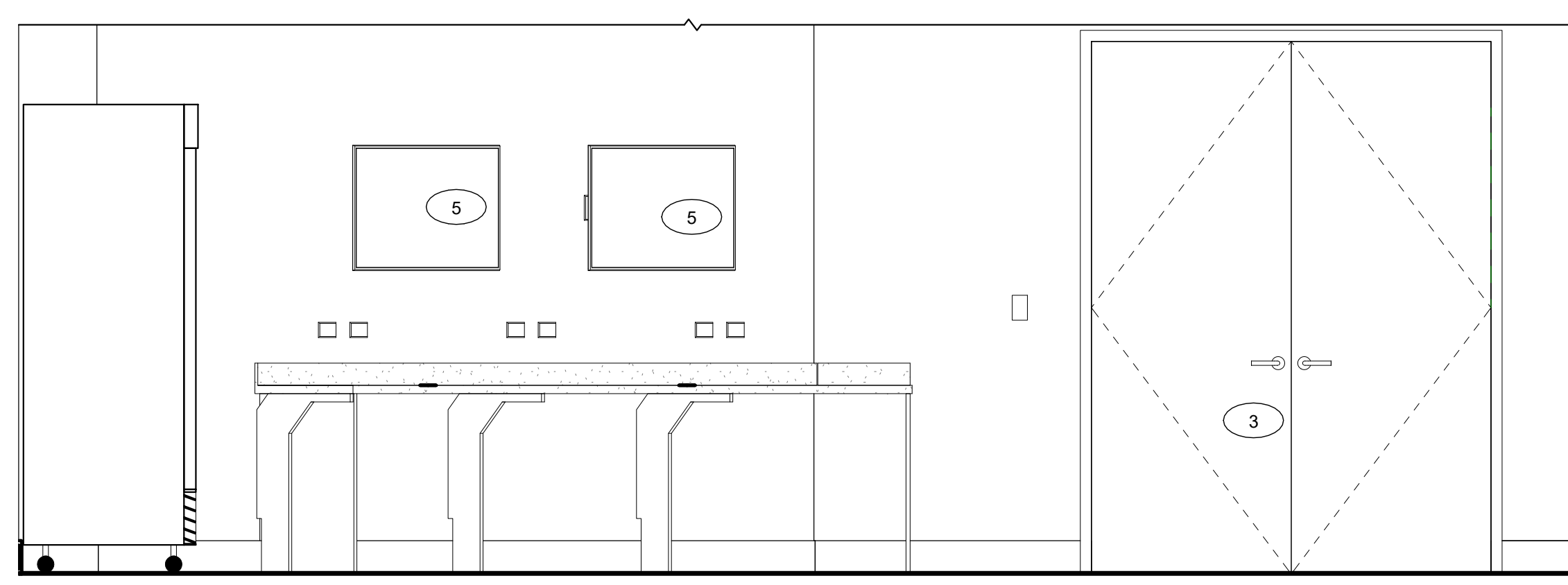
2 Elevation - Packages East View
1/2" = 1'-0"



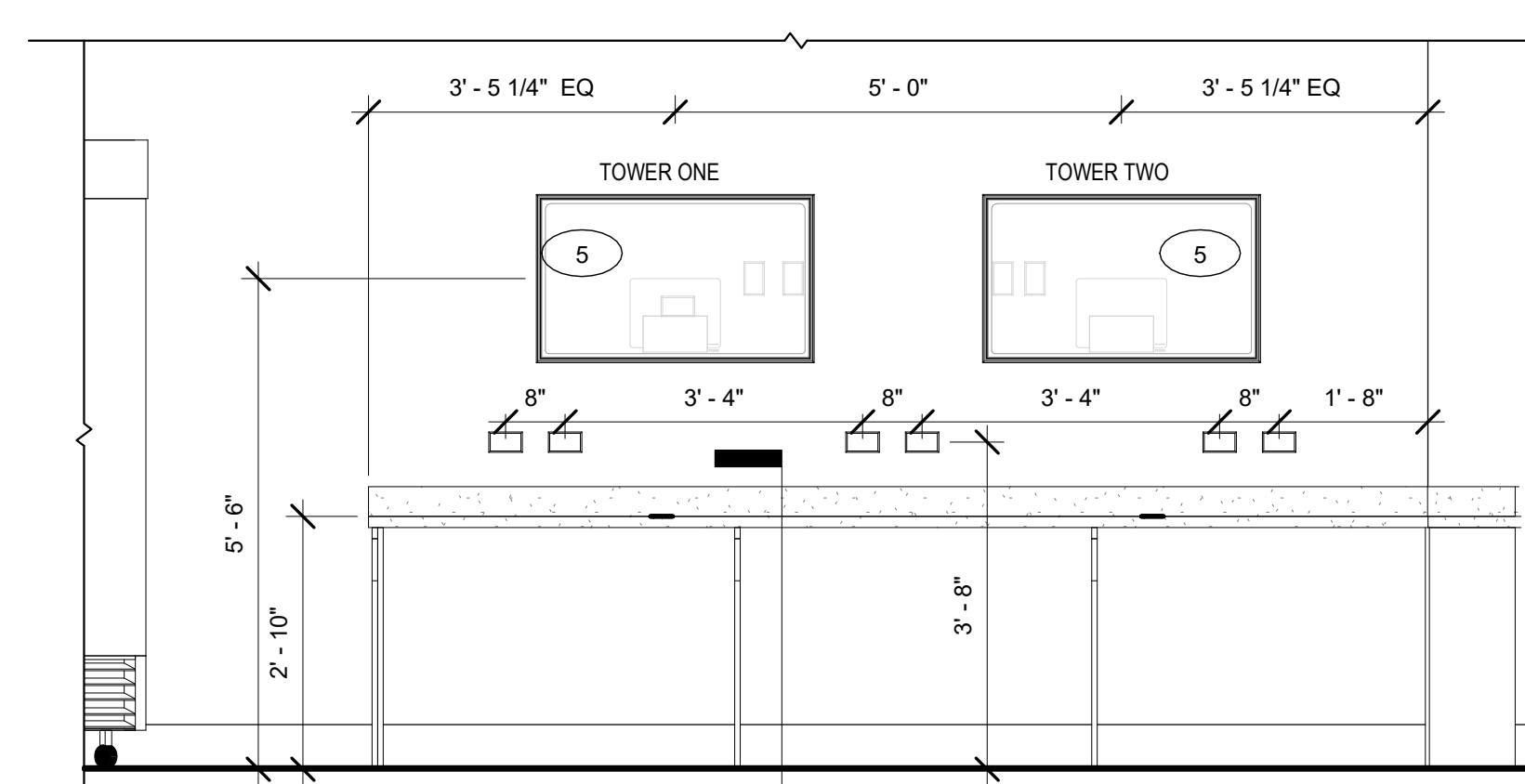
3 Elevation - Packages South View
1/2" = 1'-0"



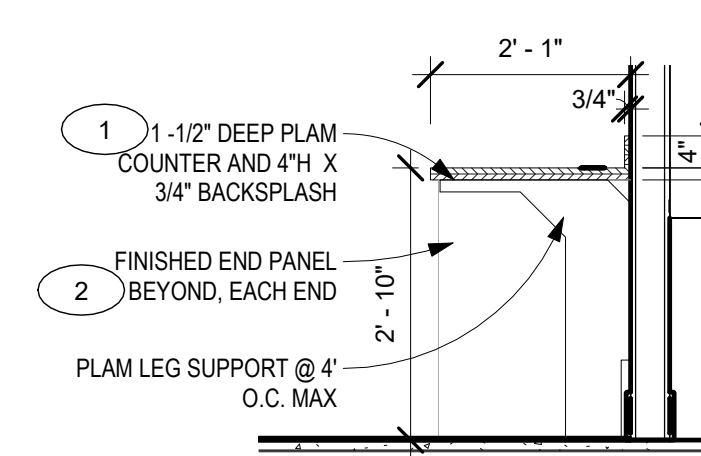
4 Elevation - Packages - West View
1/2" = 1'-0"



5 Elevation - Packages North View
1/2" = 1'-0"



6 Elevation - Packages Counter
1/2" = 1'-0"



7 Section - Packages - Counter
1/2" = 1'-0"

LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW PARTITION
- PARTITION TYPE DESIGNATION. SEE PARTITION TYPES FOR DETAILS
- ABOVE, BELOW, BEYOND
- NEW DOOR
- DOOR NUMBER DESIGNATION. SEE DOOR SCHEDULE FOR DETAILS
- NEW INTERIOR GLASS WINDOW
- WINDOW TYPE DESIGNATION. SEE WINDOW TYPES FOR DETAILS
- NEW MLTWORK
- NEW WALL MOUNTED FIRE EXTINGUISHER - 10 LB TYPE ABC WITH STANDARD BRACKET
- NEW WALL MOUNTED FIRE EXTINGUISHER CABINET - 10 LB TYPE ABC FULLY RECESSED WALL CABINET. PROVIDE 6" LGM FRAMING MINIMUM.

KEY NOTES - PACKAGES

- PLUM COUNTER AND BACKSPLASH. SPECIFICATION: FORMICA COLOR CORE 2 COLOR: 6696 CARRARA BIANCO
- PLUM VERTICAL SUPPORT PANELS. SPECIFICATION: FORMICA COLOR CORE 2 COLOR: 6307 BURNT STRAND
- THIR RATED SOLID CORE WALNUT DOUBLE DOORS. HARDWARE SET IS.
- SUPPLY AND INSTALL KELLINATOR BRAND TWO (2) COMMERCIAL REFRIGERATION UNITS (KCHR18R20RE) AND ONE COMMERCIAL FREEZER UNIT (KCHR18R20FE) REFRIGERATOR.
- PROVIDE BLOCKING, ELEC. & DATA FOR OWNER SUPPLIED MONITORS.
- PROVIDE GROMMETS IN FIELD AFTER INSTALLATION. COORDINATE LOCATION WITH OWNER PRIOR TO INSTALL. PROVIDE 3" STAINLESS GROMMET, TYP.
- NEW 1X6 SOLID CORE WALNUT WOOD DOOR AND FRAME. HARDWARE SET IS.
- INFILL EXISTING WINDOW OPENINGS WITH STUD FRAMING WITH NEW BRICK OVER NEW STUD FRAMING. ALIGN FINISH FACES ON BOTH INTERIOR AND EXTERIOR OF WALL. TOOTH-IN BRICKS ON EACH SIDE OF WINDOW OPENINGS.

INDEPENDENCE PLACE

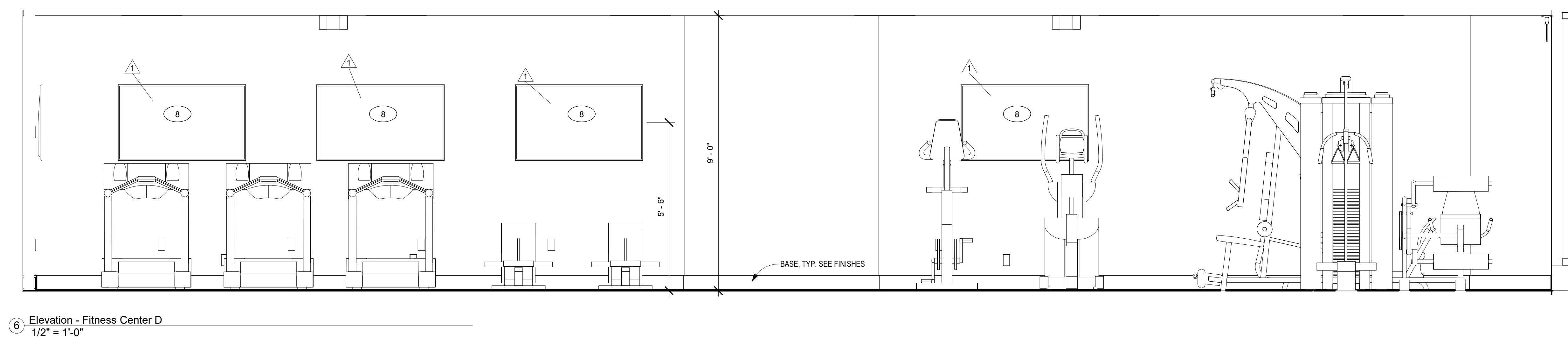
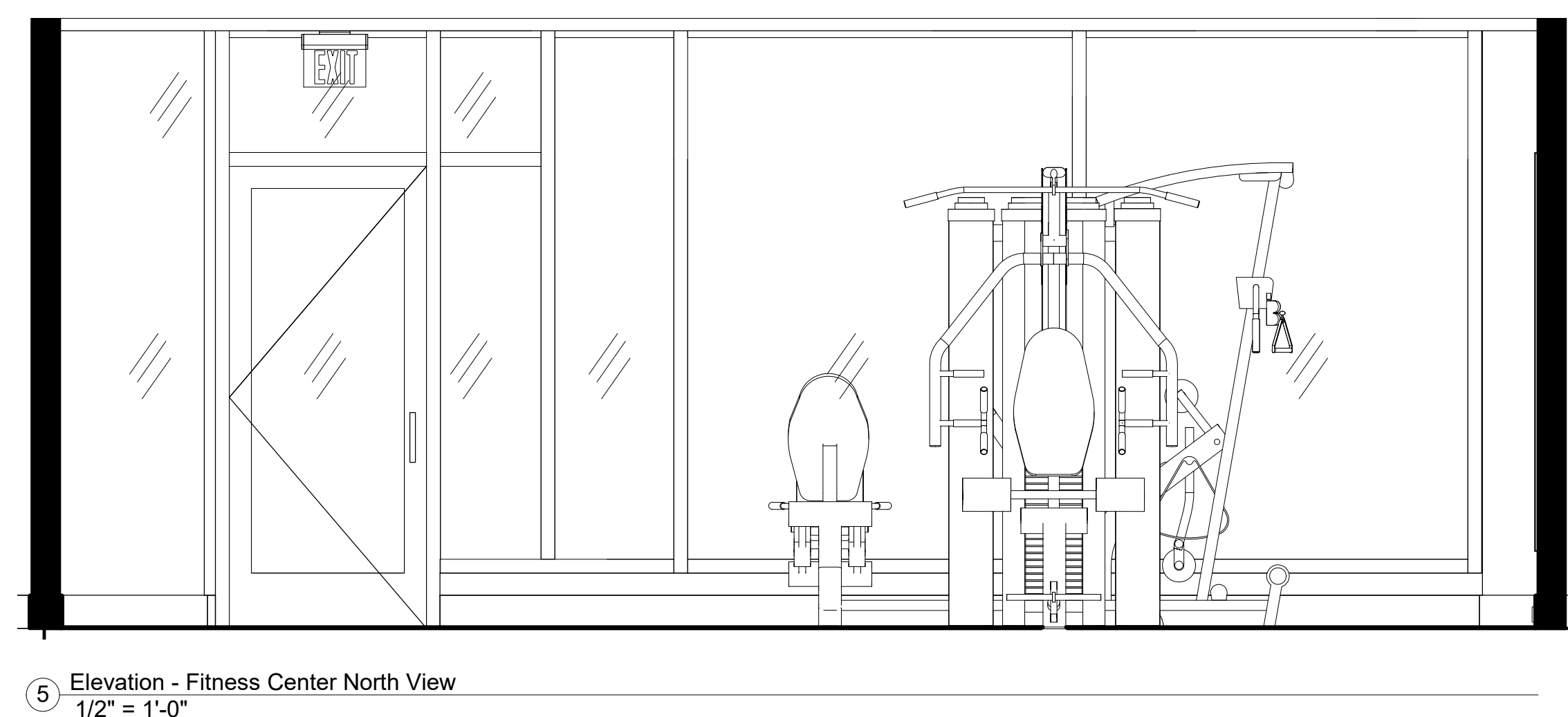
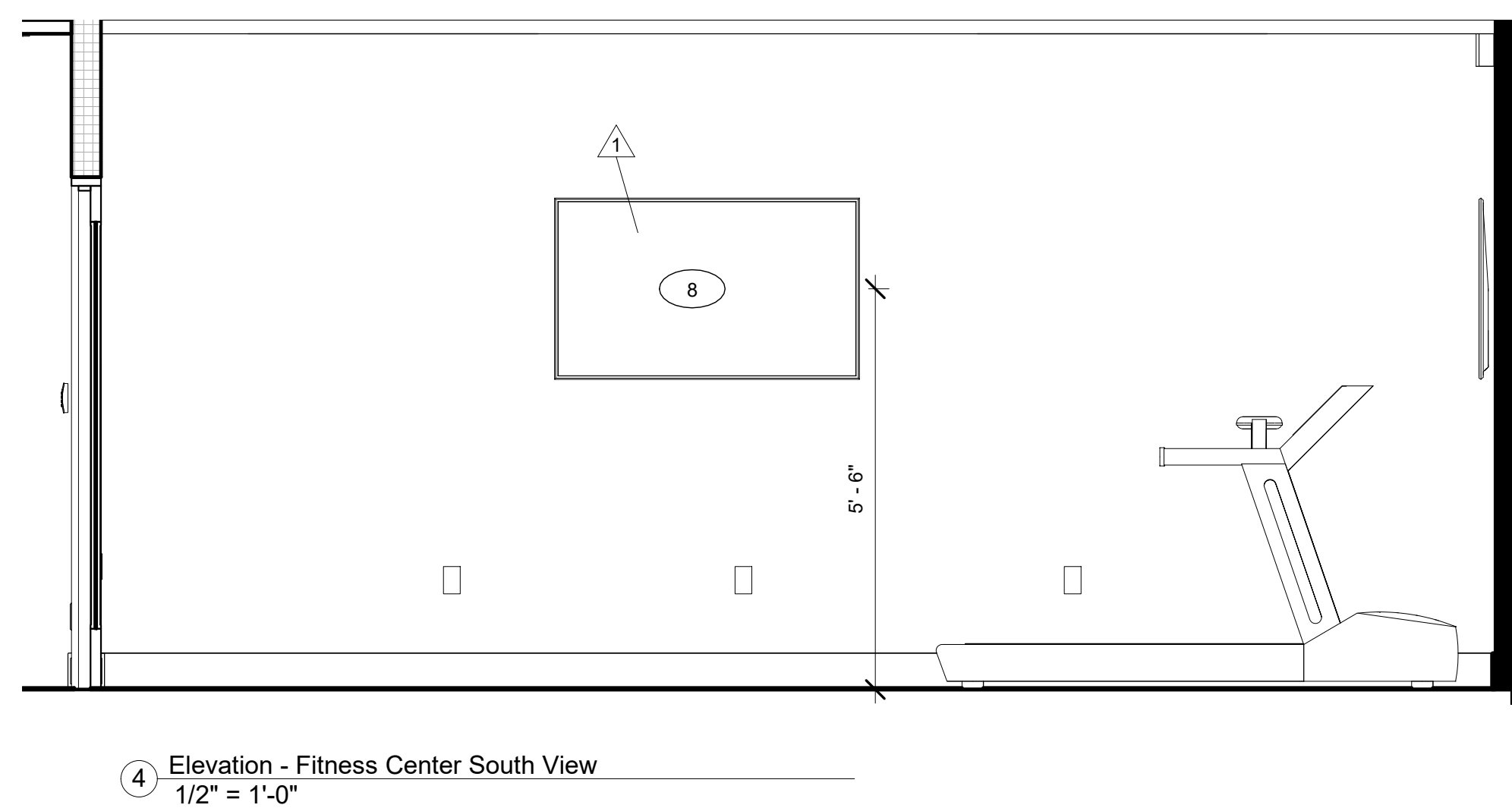
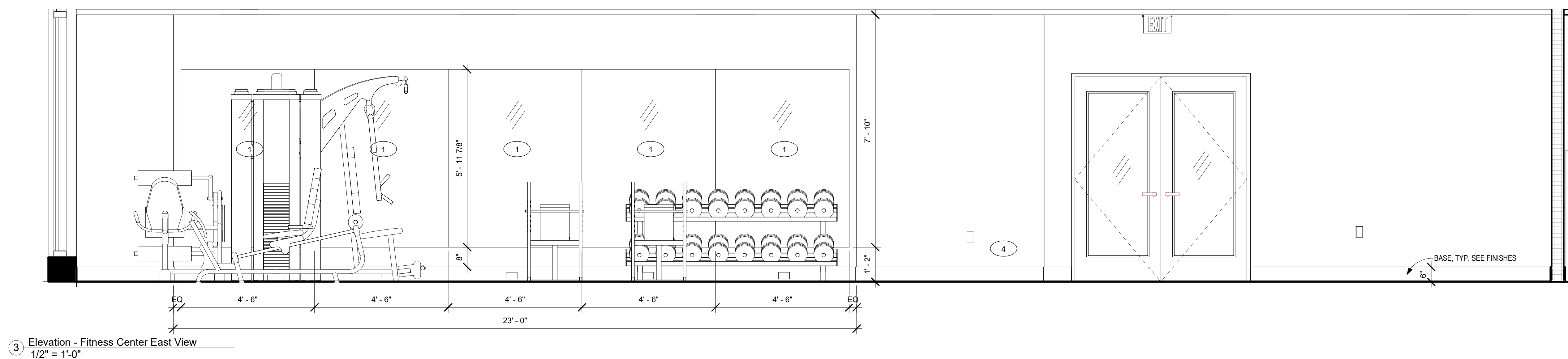
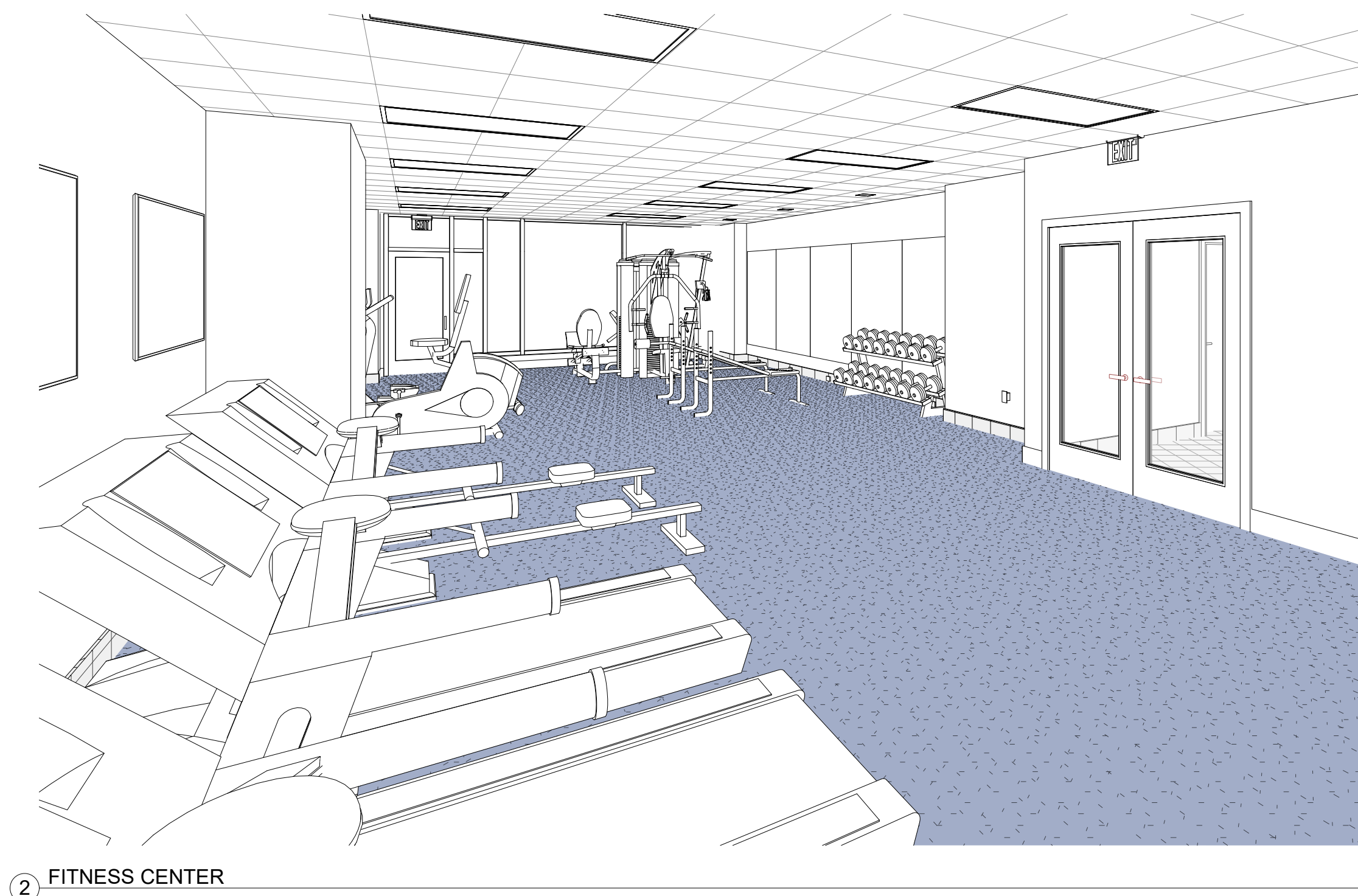
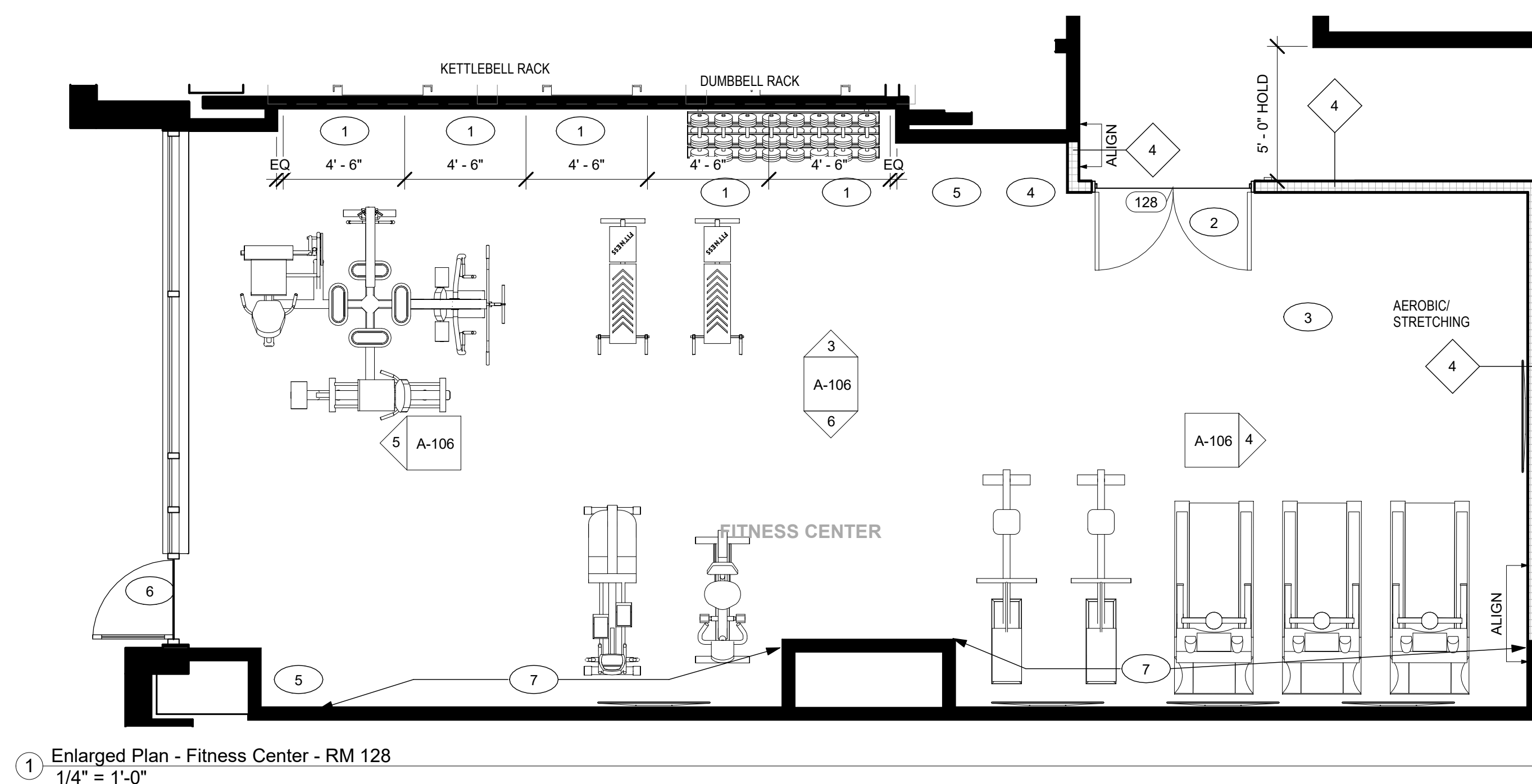
Lobby Renovation

ENLARGED PLAN - PACKAGES-CARTS

Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

A-105

Scale As indicated





ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahabrouian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Shearer, P.E.
533 West Lincoln Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

ARCHITECTURAL LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW PARTITION
- PARTITION TYPE DESIGNATION. SEE PARTITION TYPES FOR DETAILS.
- ABOVE, BELOW, BEYOND
- NEW DOOR
- DOOR NUMBER DESIGNATION. SEE DOOR SCHEDULE FOR DETAILS.
- NEW INTERIOR GLASS PARTITION / WINDOW
- WINDOW TYPE DESIGNATION. SEE WINDOW TYPES FOR DETAILS.
- NEW MILLWORK
- NEW WALL MOUNTED FIRE EXTINGUISHER - 10 LB TYPE ABC WITH STANDARD BRACKET
- NEW WALL MOUNTED FIRE EXTINGUISHER CABINET - 10 LB TYPE ABC IN FULLY RECESSED WALL CABINET. PROVIDE 6" LGN FRAMING MINIMUM.
- FLOOR DRAIN - MATCH FLOOR FINISH

AREAS SPECIFIC SHEET NOTES:

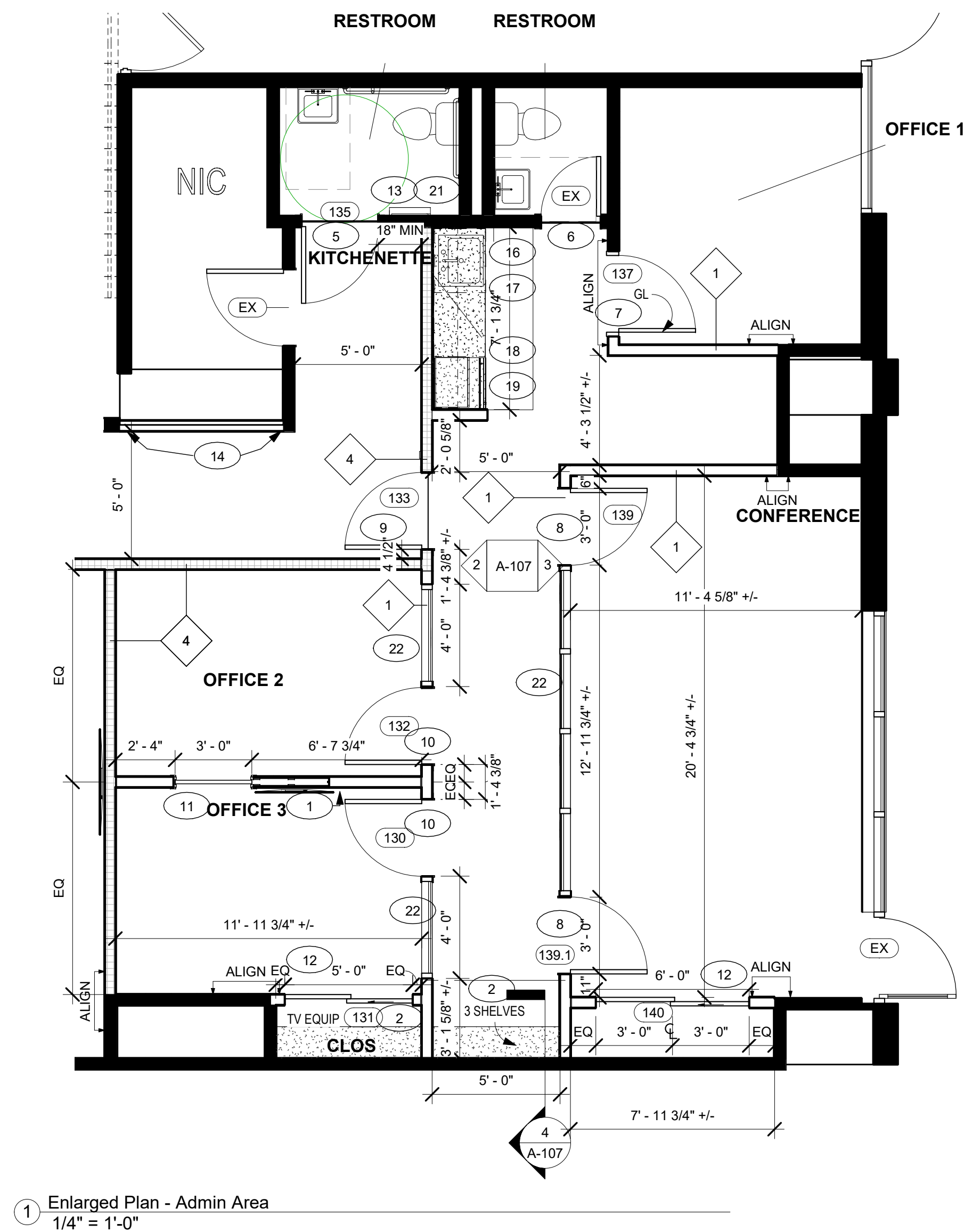
- PROVIDE ALL BLOCKING FOR SHELVING, CHANGING TABLE, CABINETRY, GC SUPPLIED SHELVING, ETC.
- FURNITURE BY OTHERS, U.N.O.
- PROVIDE STAINLESS STEEL MICROWAVE AND UNDERMOUNT REFRIGERATOR.

SHEET NOTES

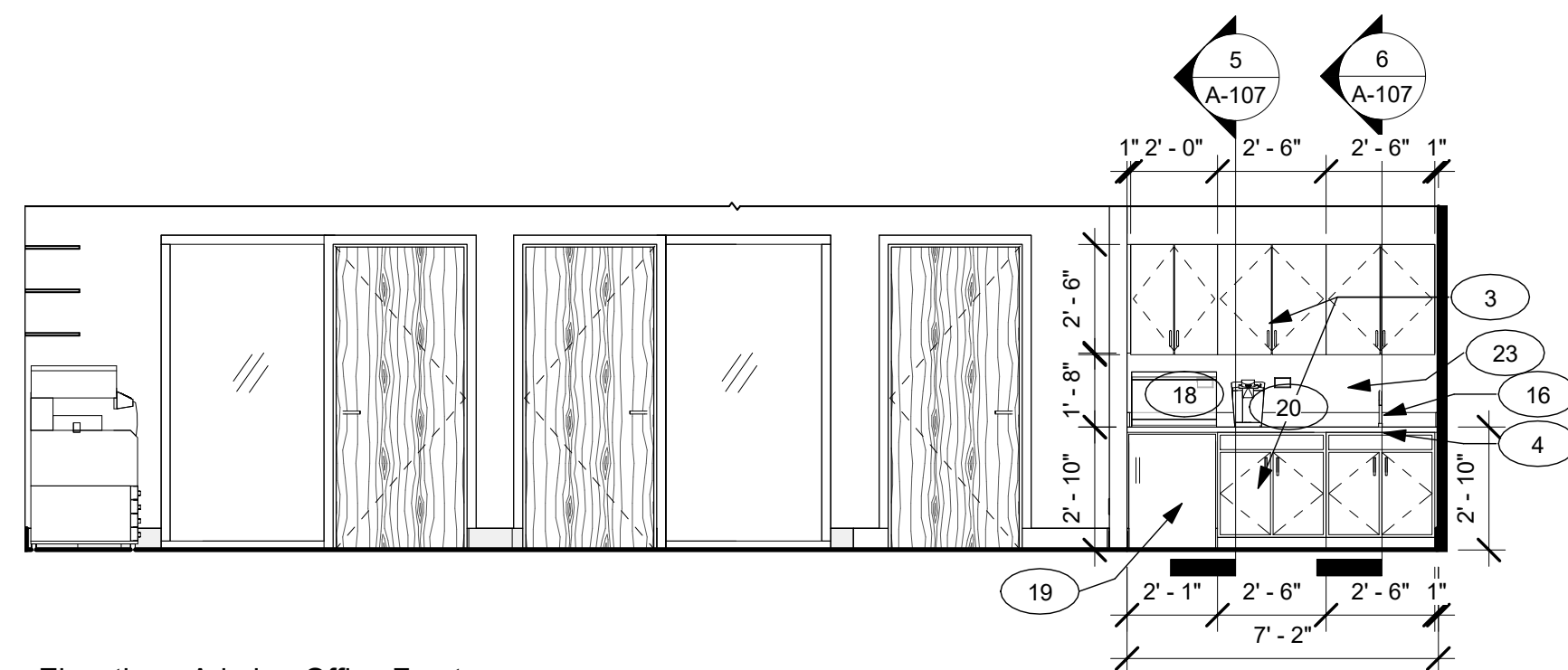
- PARTITION DIMENSIONED TO FINISH FACE U.O.N.
- USE TYPE "X" GWS ON FIRE RATED PARTITIONS.
- USE WATER, MOISTURE, AND MILDEW RESISTANT GWS IN RESTROOMS AND ON ALL PARTITIONS IN WET LOCATIONS OR SCHEDULED TO RECEIVE CERAMIC TILE (U.O.N.). SEE FINISH SCHEDULE FOR TILE LOCATIONS.
- SEE DETAILS ON A-109 FOR TYPICAL PARTITION DETAILS.
- WHERE FURRED PARTITIONS EXCEED MAXIMUM HEIGHT, BRACE TO ADJACENT STRUCTURE AT 4'-0" O.C. MAX.
- FOR NON-RATED PARTITIONS, SEE PARTITION TYPES FOR EXTENT OF FRAMING AND FINISHES.
- FIRE SAFE PENETRATIONS AT RATED PARTITIONS PER APPLICABLE U.A. ASSEMBLY.
- PROVIDE BLOCKING AS REQUIRED AT LOCATIONS INCLUDING BUT NOT LIMITED TO: GRAB BARS, SHELVING, OVERHEAD CABINETS, SIGNAGE, TOILET ROOMS ACCESSORIES, RAILINGS, ETC.
- ALL INTERIOR PARTITIONS ARE TYPE "1", U.O.N.
- REFER TO ENLARGED PLANS AND ACCESSORIES SCHEDULE TO COORDINATE LOCATION OF RECESS MOUNTED ACCESSORIES. REFER TO A-101 FOR MOUNTING HEIGHT. SEE SPECIFICATIONS & ENLARGED PLANS FOR FIXTURES AND ACCESSORIES.
- DRYWALL TO BE HELD OFF CONCRETE BY 1" TO PREVENT WICKING MOISTURE FROM CONCRETE.
- A FINISH OR FIRE RATING OF A WALL SHALL REFER TO THE ENTIRE LENGTH OF THE WALL.
- ALL PENETRATIONS OF OUTWORK, CONDUIT, PIPING, WALLS AND SIMILAR WORK THROUGH FIRE RATED ASSEMBLIES SHALL BE SEALED TO MAINTAIN THE ORIGINAL RATING OF ASSEMBLY.
- ALL CRACKS AND HOLES WITHIN NEW SLAB AND WALLS TO BE FILLED. ALL CRACKS IN CONCRETE FLOORS TO BE FILLED AND FLOOR TO BE FULLY PREPARED TO RECEIVE NEW FINISHES/POY COATING.
- FLOORS AT LOCATIONS TO RECEIVE CARPETING TO BE FLASH PATCHED TO PROVIDE SMOOTH TRANSITION BETWEEN CARPET AND TILE.
- PROVIDE EXPANSION JOINTS AND CRACK ISOLATION MEMBRANES AT SLAB INTERSECTIONS.
- VERIFY LOCATION OF TV'S WITH OWNER. PROVIDE BLOCKING AS REQUIRED.
- PROVIDE NEW EXPANSION JOINT COVERS AND COMPRESSIBLE FILL IN LOBBY. FINISH TO BE NICKLE OR SILVER TO MATCH FLOOR. VERIFY WITH STYERGROUP PRIOR TO ORDER.
- SEE ENLARGED DRAWINGS FOR ADDITIONAL DIMENSIONS REQUIRED FOR OVERALL LAYOUT.
- MAINTAIN EXISTING TO REMAIN TEXTURED WALL WITH 3/8" GWS AND FINISH TO LEVEL 4 MINIMUM, TYP. ALL WALLS IN LOBBY AND ELEVATORS.
- REFERENCE HARDWARE SCHEDULE ON A-601 FOR ALL DOOR HARDWARE.

KEY NOTES

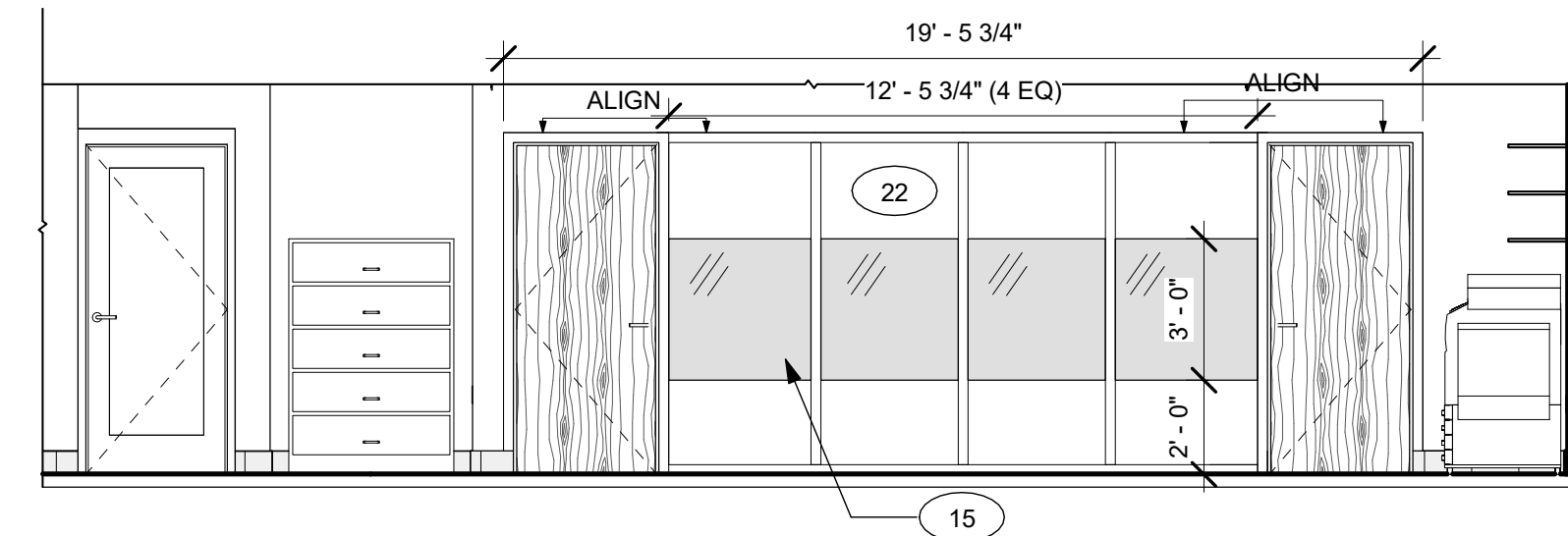
- PROVIDE BLOCKING FOR OWNER SUPPLIED MONITOR
- PROVIDE MINIMUM THREE (3) PLAIN SHELVES ON HEAVY DUTY STANDARDS AND COORDINATE EQUIPMENT RELOCATION FOR SECURITY EQUIPMENT. PLAIN SPECIFICATION: FORMICA COLORCORE2, COLOR: 3505, STONE SOLID.
- PLAIN SPECIFICATION - KITCHENETTE: FORMICA COLORCORE2, COLOR: 6307 BURNIT STRAND
- SOLID SURFACE: CAMBRIA SWANERIDGE 2
- NEW 3/8" PAINTED HLM DOOR AND FRAME IN WIDENED OPENING. HARDWARE SET: 07, FINISH: 18" CLEARANCE AT STONE SIDE.
- PROVIDE NEW SCHLAGE NODATH PRIVACY LEVER LOCKSET ON EXISTING DOOR TO REMAIN.
- PROVIDE NEW STYLE AND RAIL SOLID WALNUT WOOD DOOR WITH TEMPERED GLASS. HARDWARE SET: 08
- PROVIDE SOLID CORE WALNUT WOOD DOOR IN STOREFRONT FRAMING WITH HARDWARE SET: 08
- PROVIDE NEW 1 HR RATED SOLID WALNUT WOOD DOOR WITH LEVER STOREFRONT LOCKSET CONNECTED TO ELECTRIC STRIKE TIED TO KEYPAD. HARDWARE SET: 08
- PROVIDE SOLID CORE WALNUT WOOD DOOR IN STOREFRONT FRAMING. HARDWARE SET: 08
- PROVIDE SOLID CORE WALNUT LOOKING WOOD POCKET DOOR WITH STAINED WOOD TRIM TO MATCH DOOR. HARDWARE SET: 09
- PROVIDE SOLID CORE WALNUT WOOD SLIDING DOORS. HARDWARE SET: 10
- PROVIDE AND INSTALL KOALA KB101 VERTICAL BABY CHANGING STATION. PROVIDE BLOCKING.
- REMOVE EXISTING COLUMN TO ALIGN WITH ADJACENT PARTITION.
- PROVIDE AND INSTALL OPAQUE FROSTED FILM.
- PROVIDE AND INSTALL MOEN 7565 FAUCET
- PROVIDE MOEN GS1911 STAINLESS STEEL UNDERMOUNT SINK
- PROVIDE AND INSTALL COUNTERTOP MICROWAVE OVEN - AMANA AMC4320GC
- PROVIDE STAINLESS STEEL UNDERCOUNTER REFRIGERATOR SUMMIT FF7BSSHVA0A
- PROVIDE 1/4" WATER LINE. PROVIDE AND INSTALL COUNTERTOP COFFEE MAKER KEURIG K150P
- PATCH AND FINISH GWS WALL AS REQUIRED TO ACCOMMODATE CONNECTION TO EXISTING SANITARY WASTE LINES. COORDINATE WITH PLUMBING PLANS.
- PROVIDE AND INSTALL CLEAR ANODIZED ALUMINUM STOREFRONT COMBINATION UNIT WITH DOORS AND SIDELIGHTS WITH TEMPERED GLASS.
- PROVIDE AND INSTALL TYPE 2 HEAVY DUTY WALL COVERING W/C-2 FROM BACKSPLASH TO UNDERSIDE OF COUNTER.



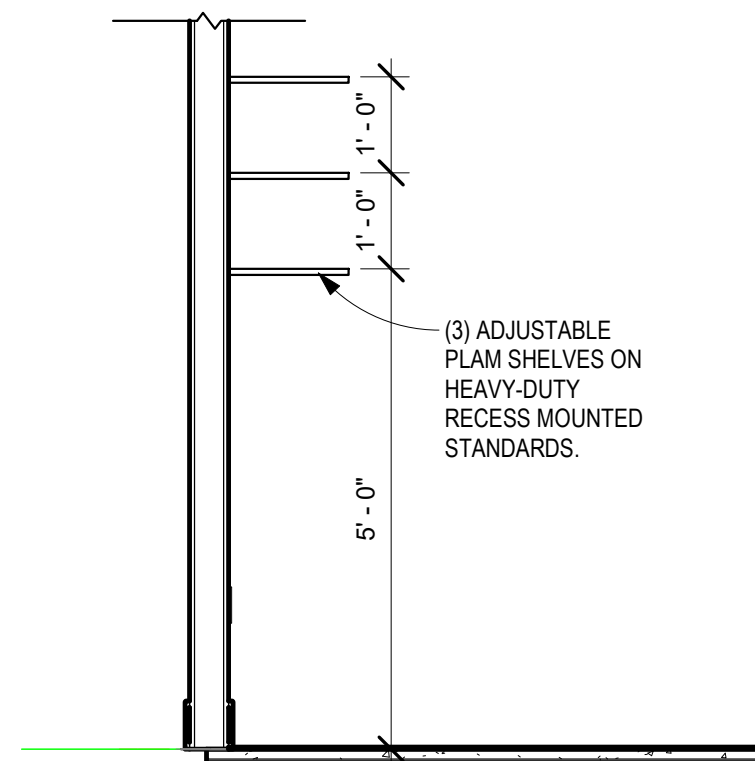
1 Enlarged Plan - Admin Area
1/4" = 1'-0"



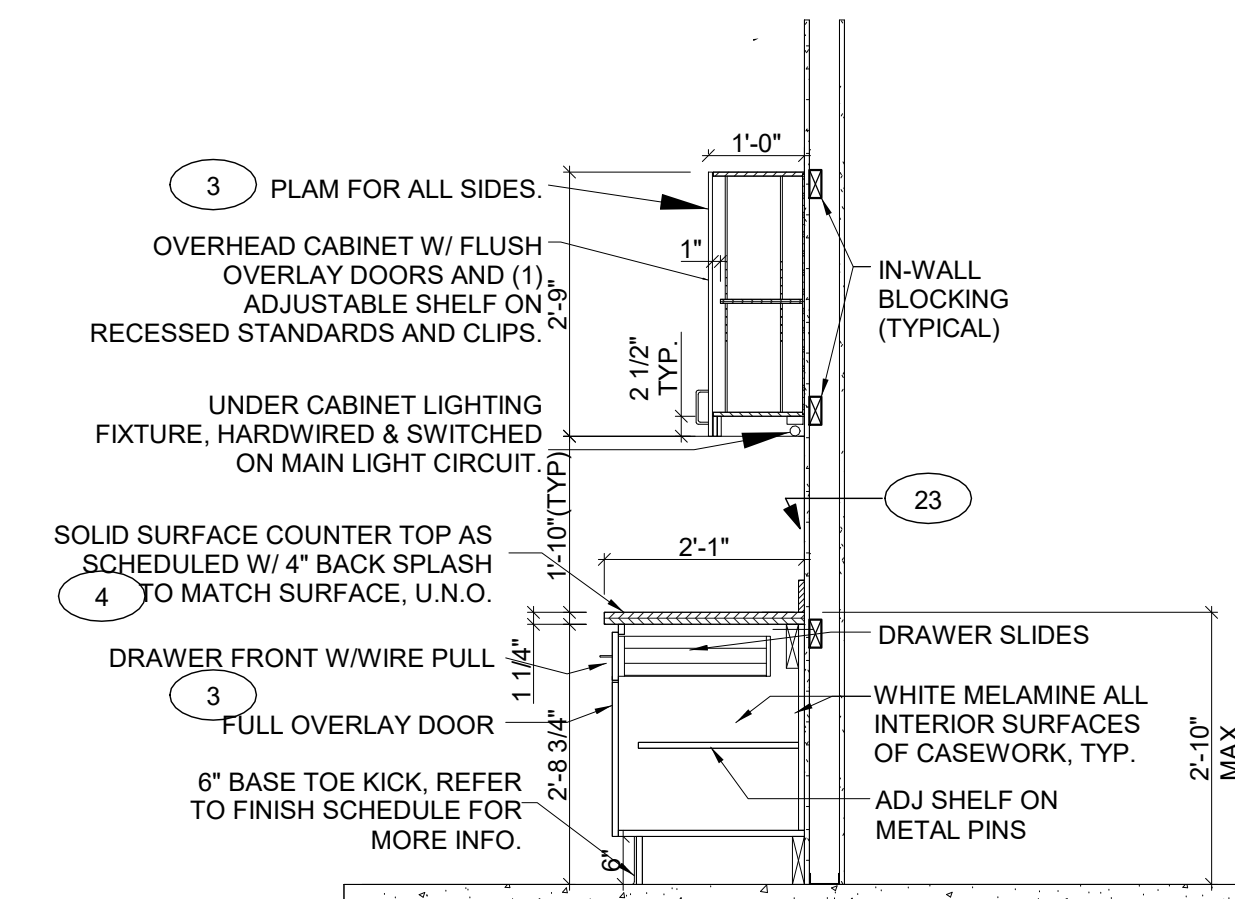
2 Elevation - Admin - Office Front
1/4" = 1'-0"



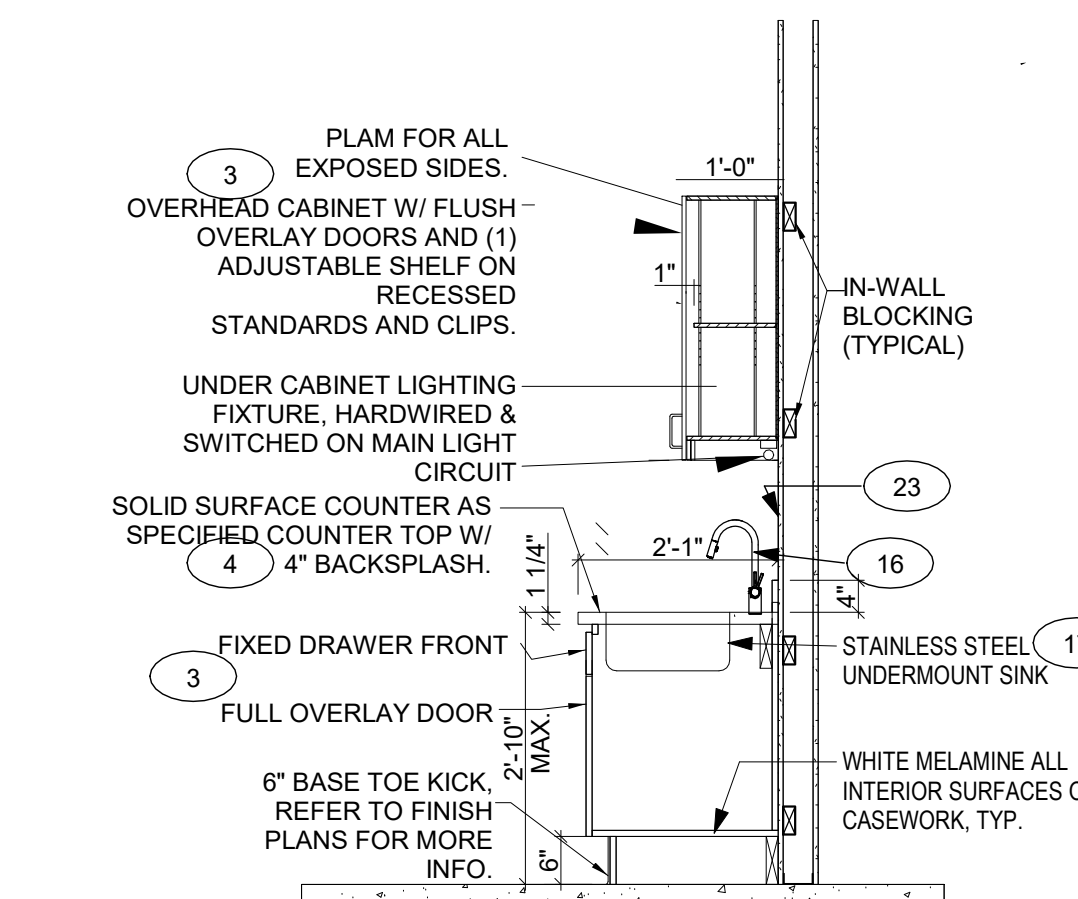
3 Elevation - Admin - Conf Front
1/4" = 1'-0"



4 Section - Copy Area
1/2" = 1'-0"



5 Cabinet - Base - Drawer - Upper
1/2" = 1'-0"



6 Cabinet - Sink Base - Upper
1/2" = 1'-0"

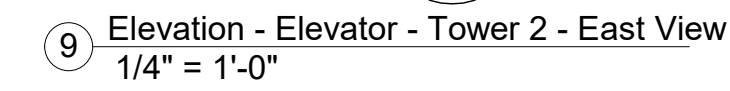
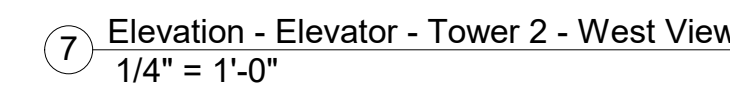
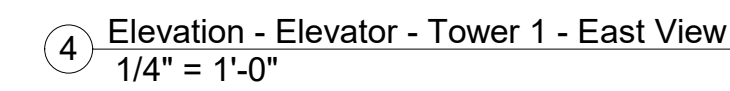
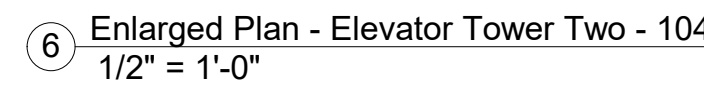


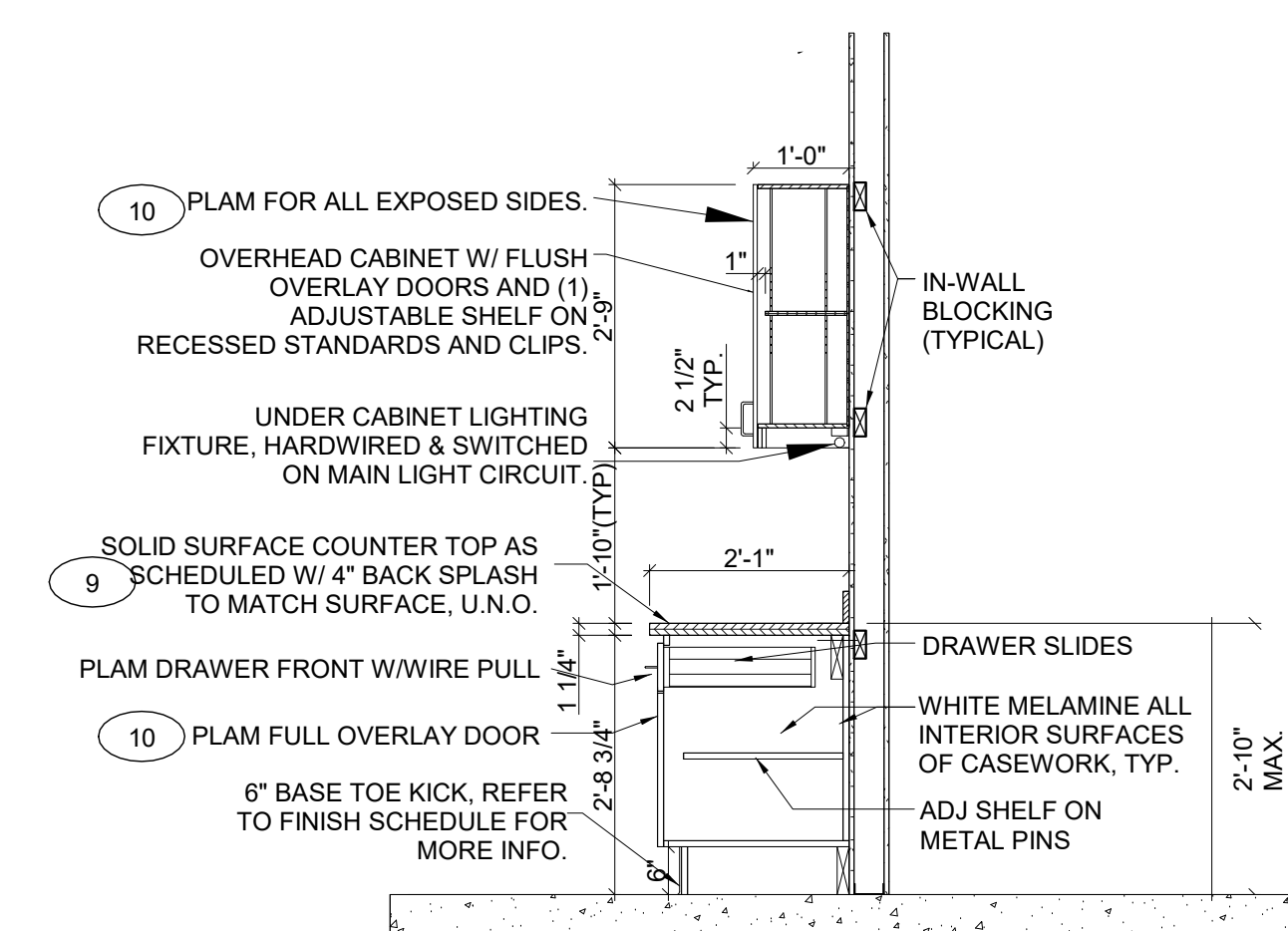
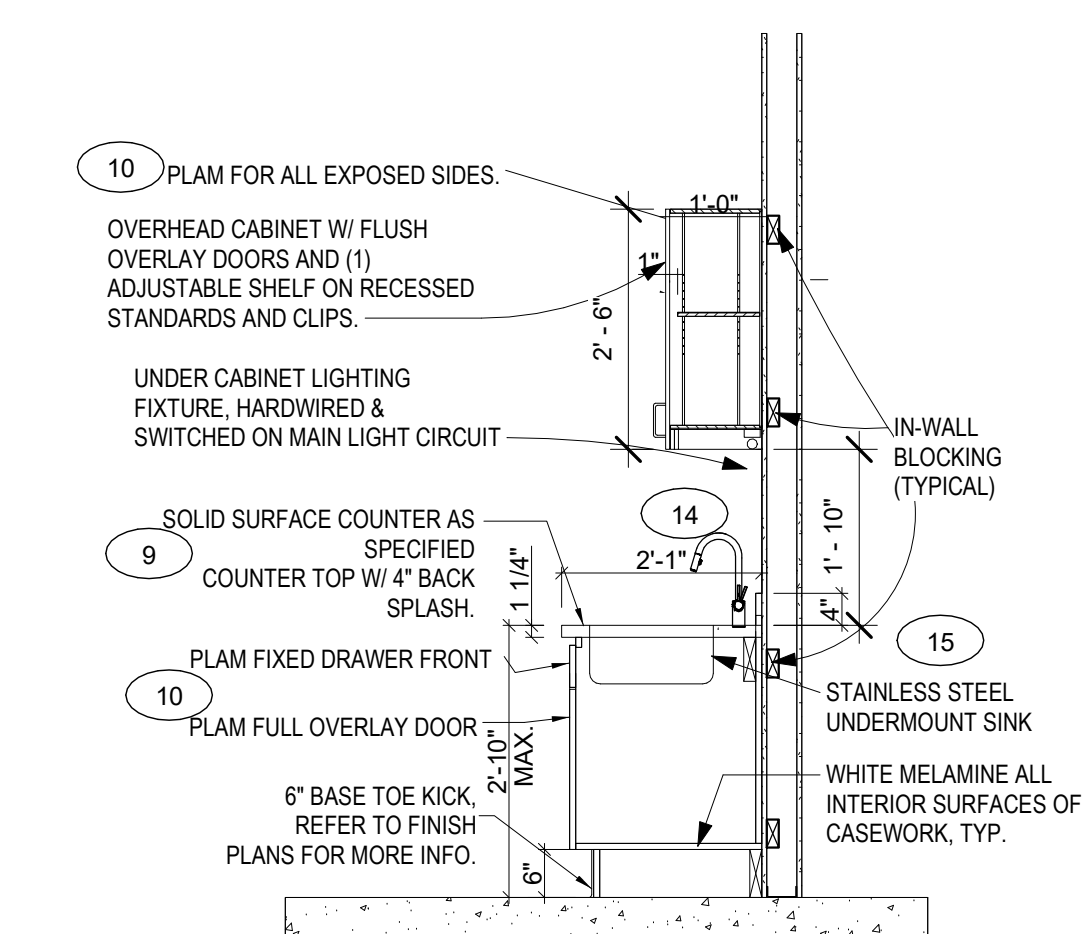
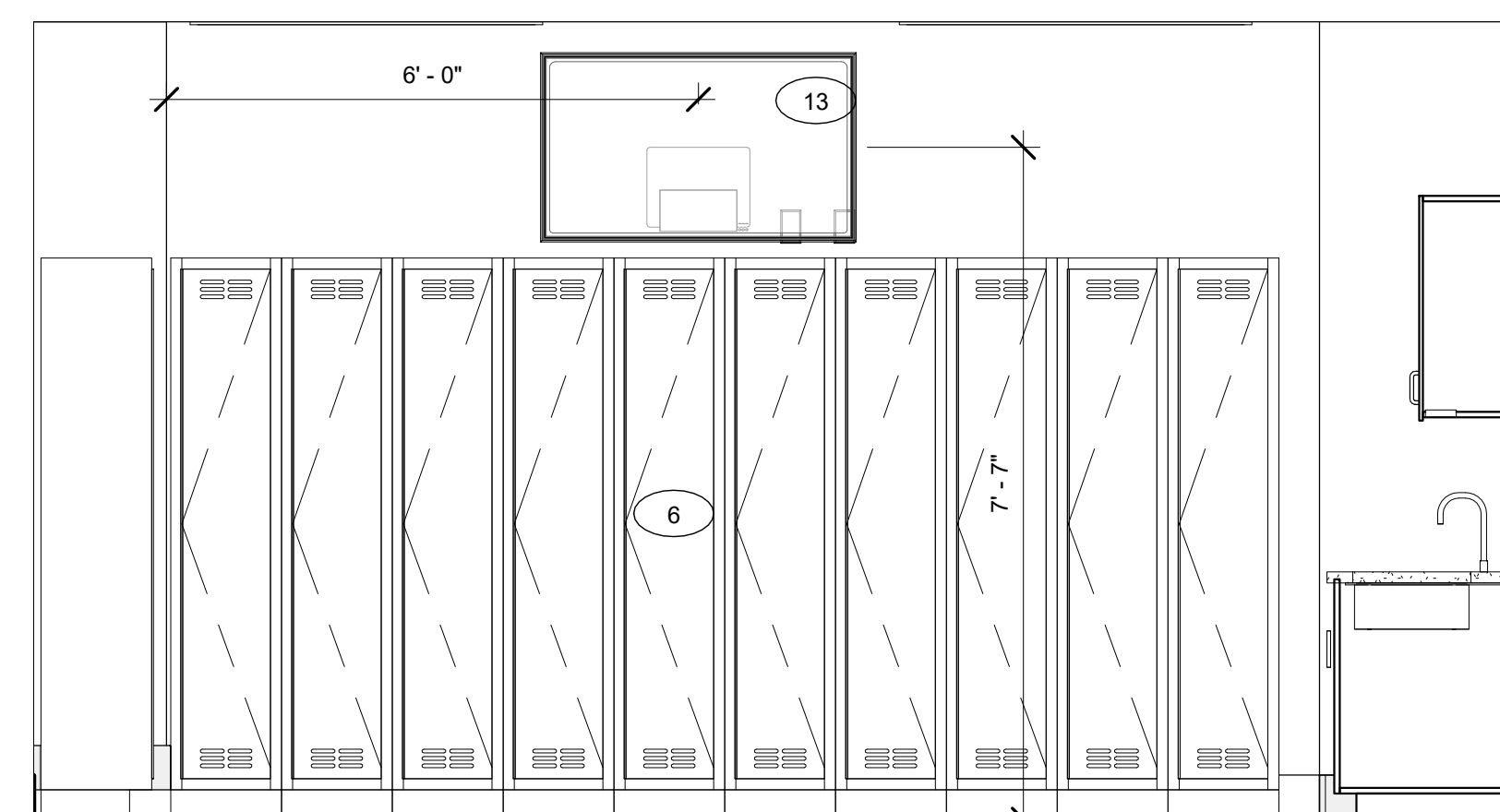
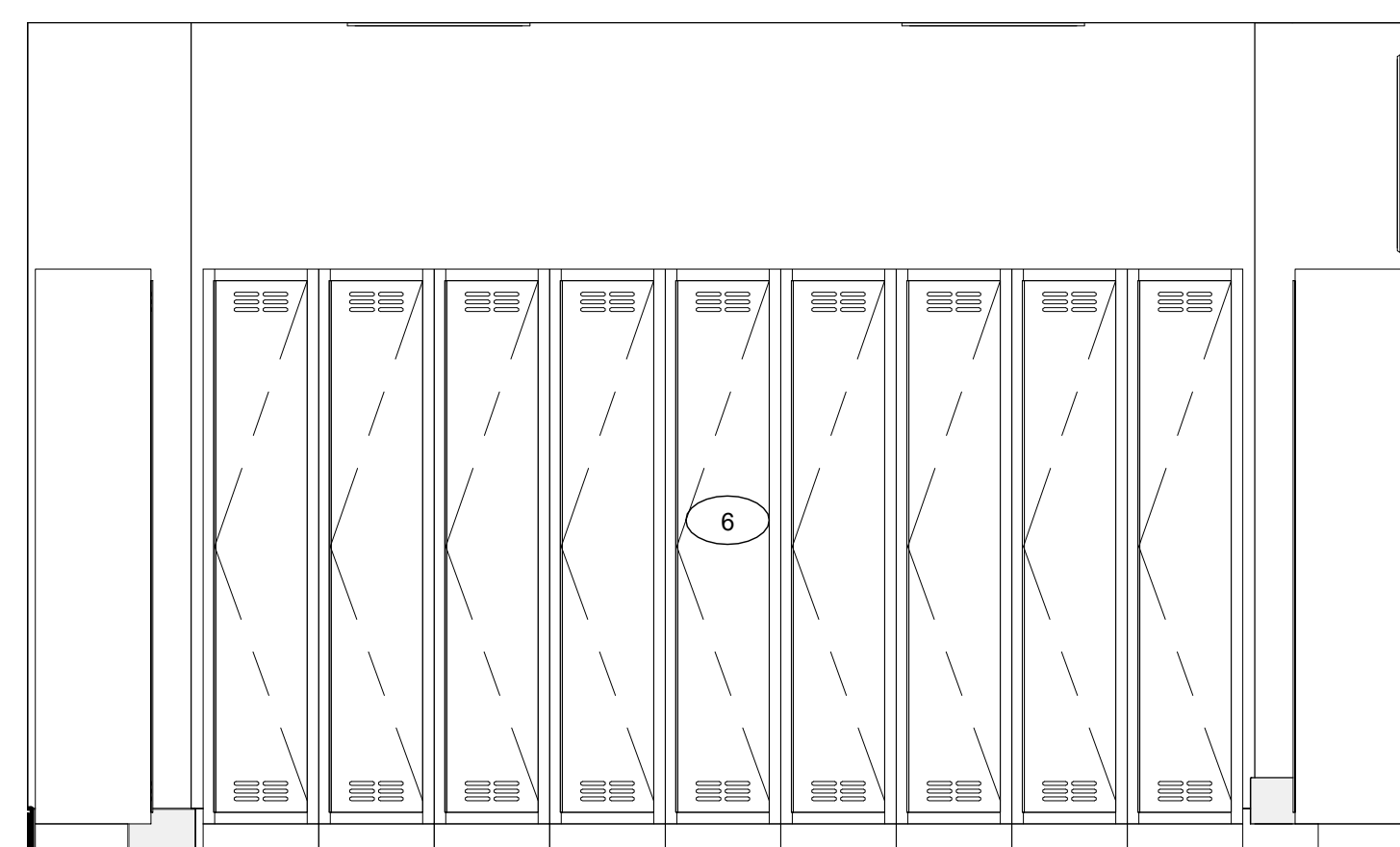
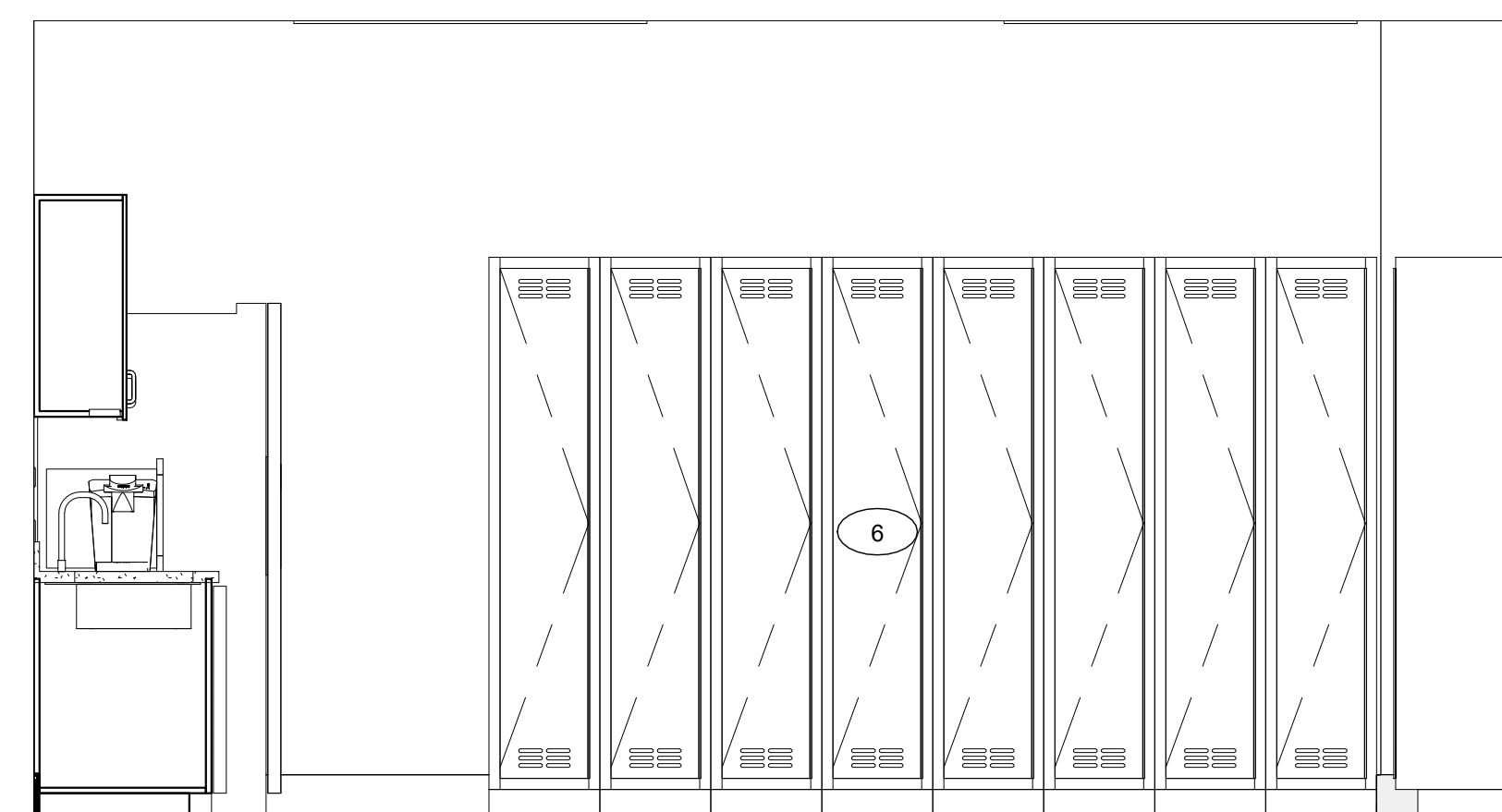
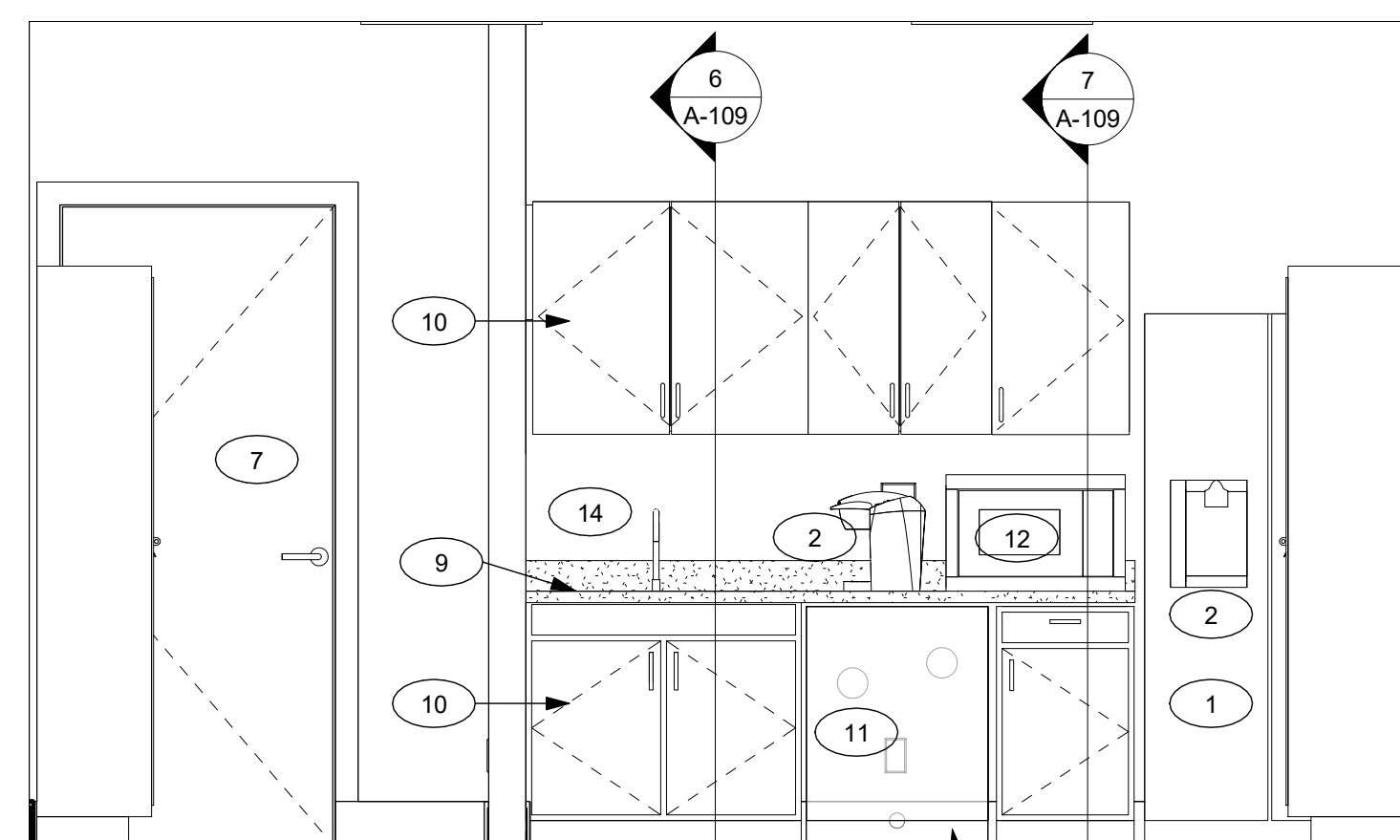
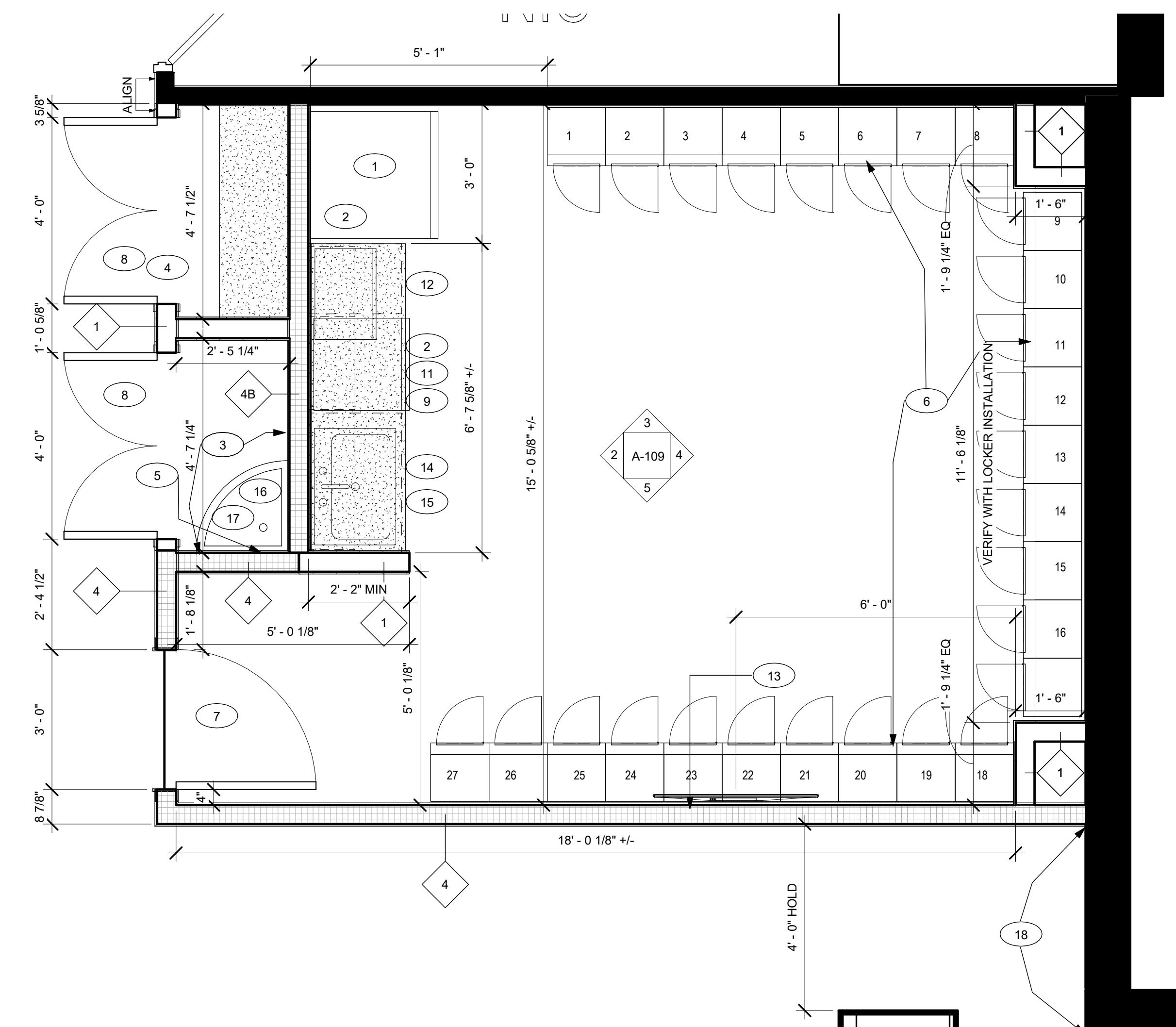
INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

Scale	As indicated
-------	--------------

[illegible]





www.styergroup.com



ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

[illegible]

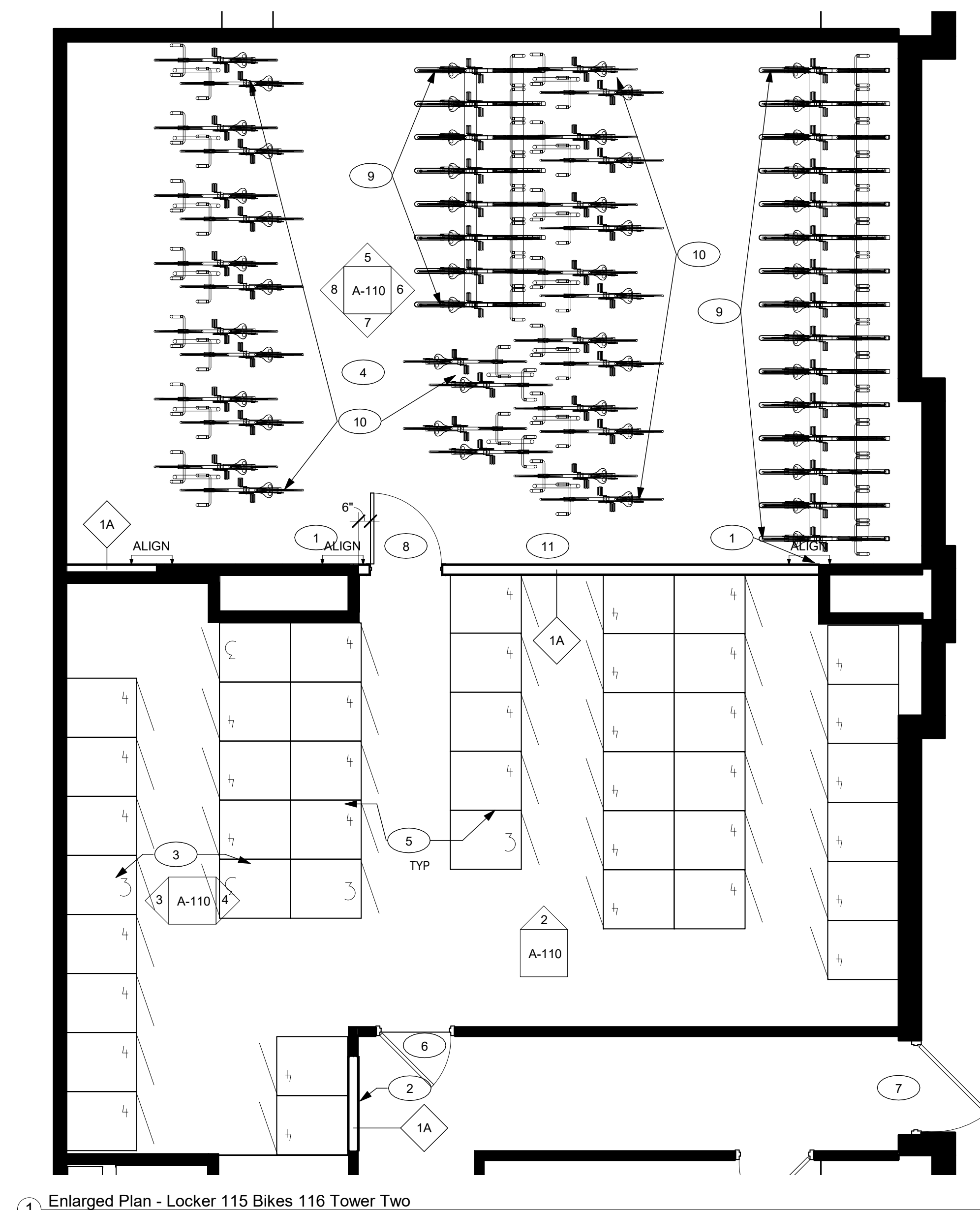
Lobby Renovation

ENLARGED PLAN -
LOCKER-BIKES -
TOWER 2

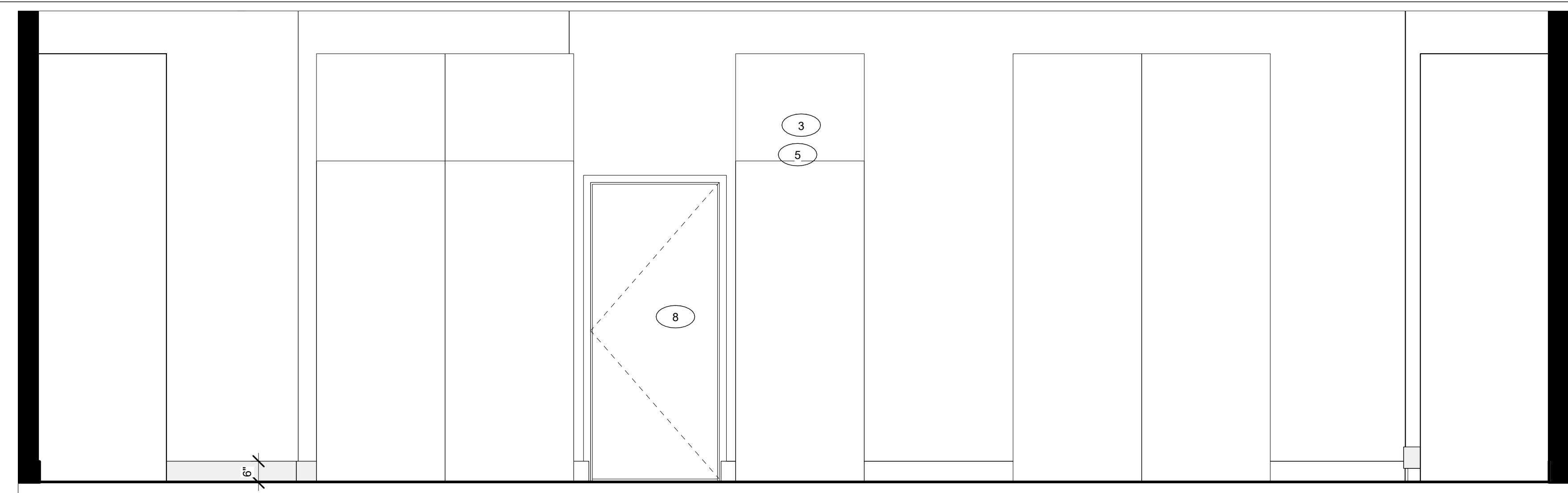
Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

A-110

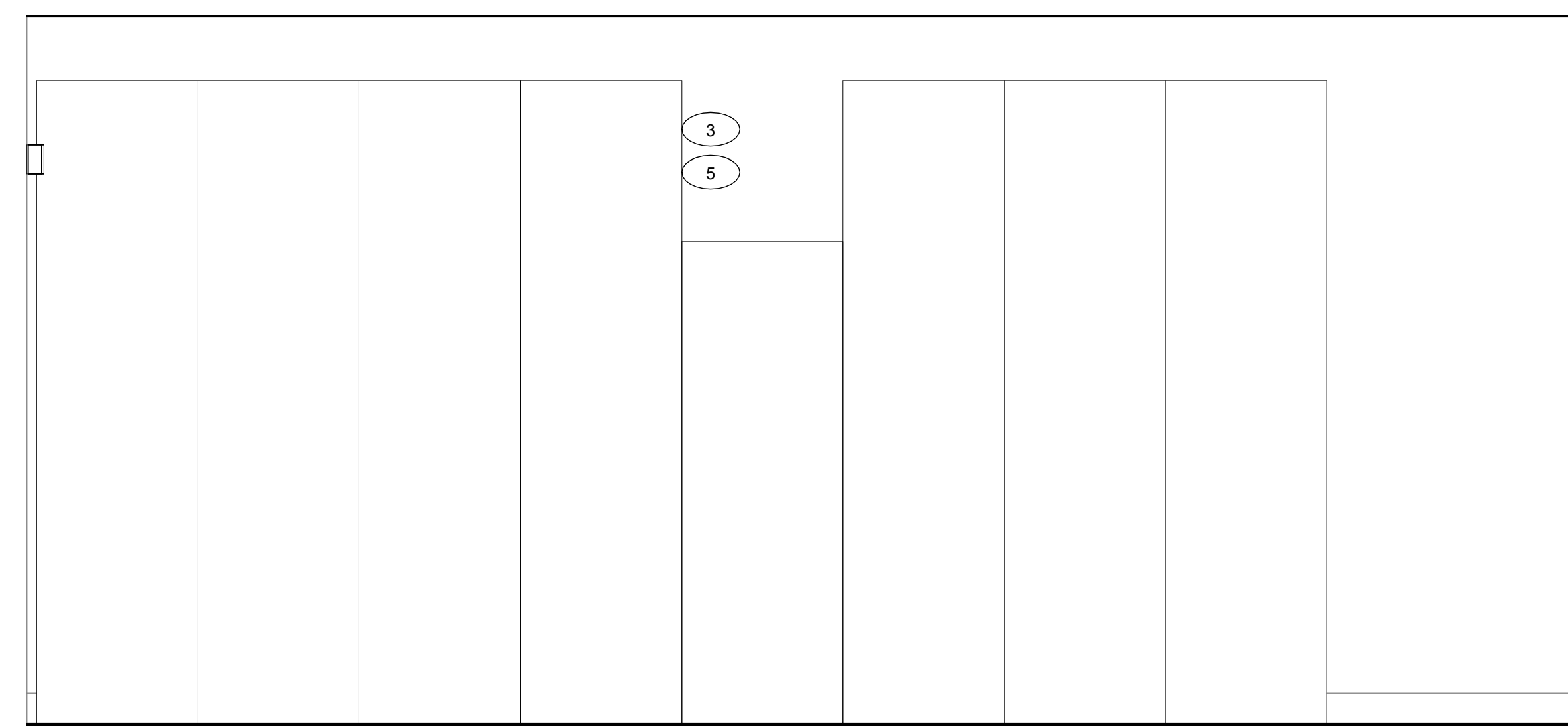
Scale	As indicated
-------	--------------



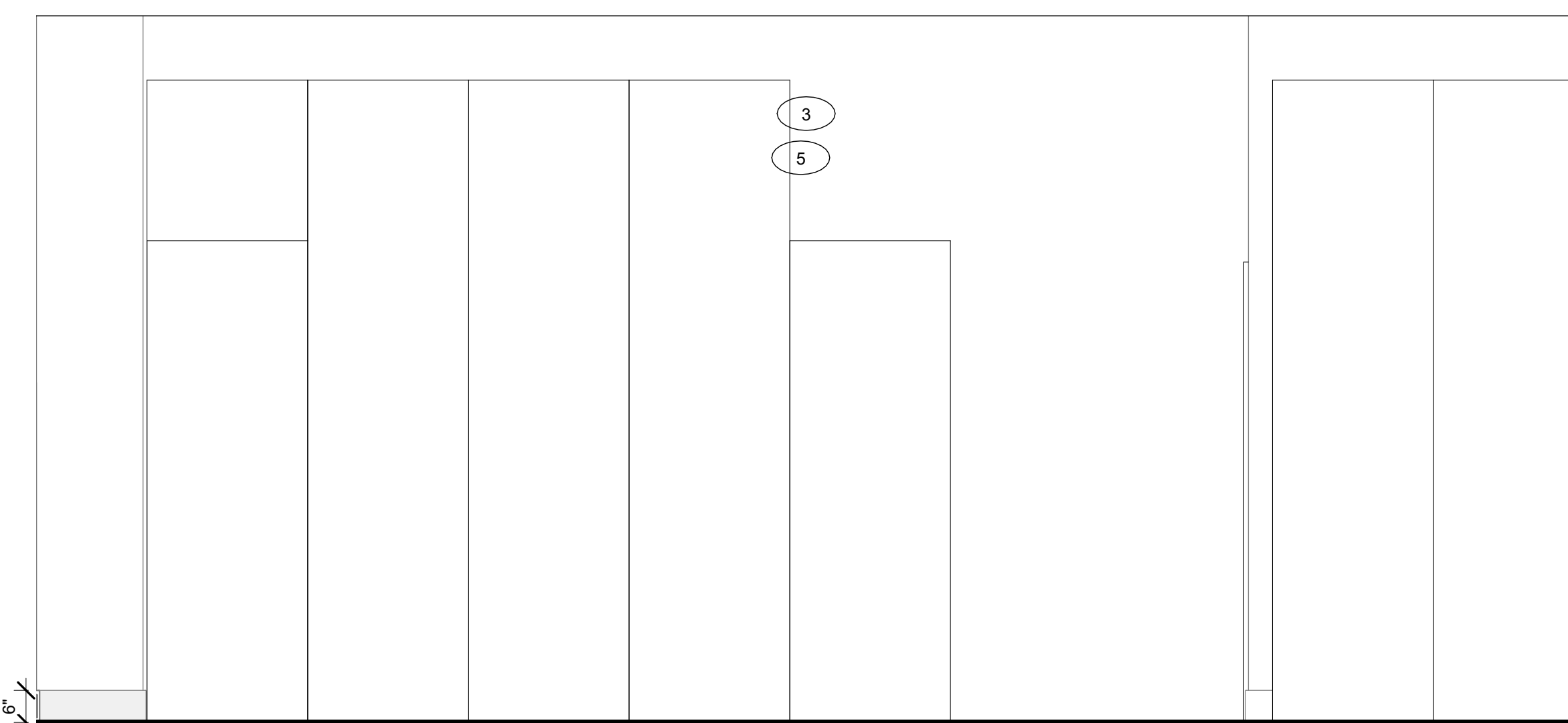
1 Enlarged Plan - Locker 115 Bikes 116 Tower Two
1/4" = 1'-0"



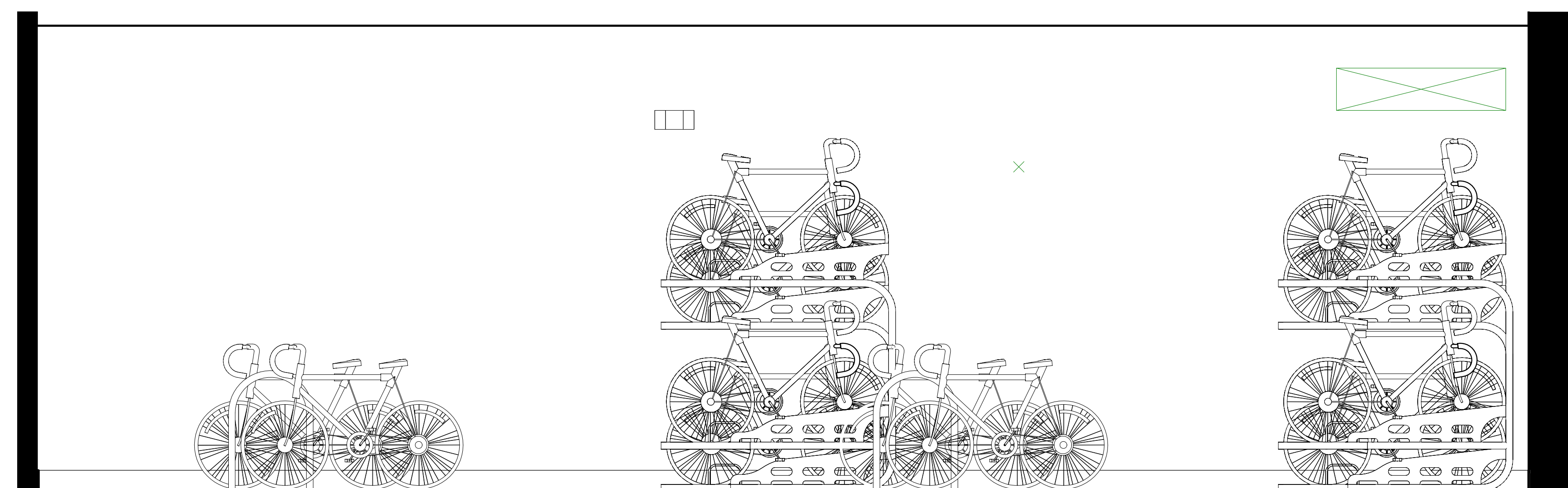
② Elevation - Lockers - Tower 2 - East View
1/2" = 1'-0"



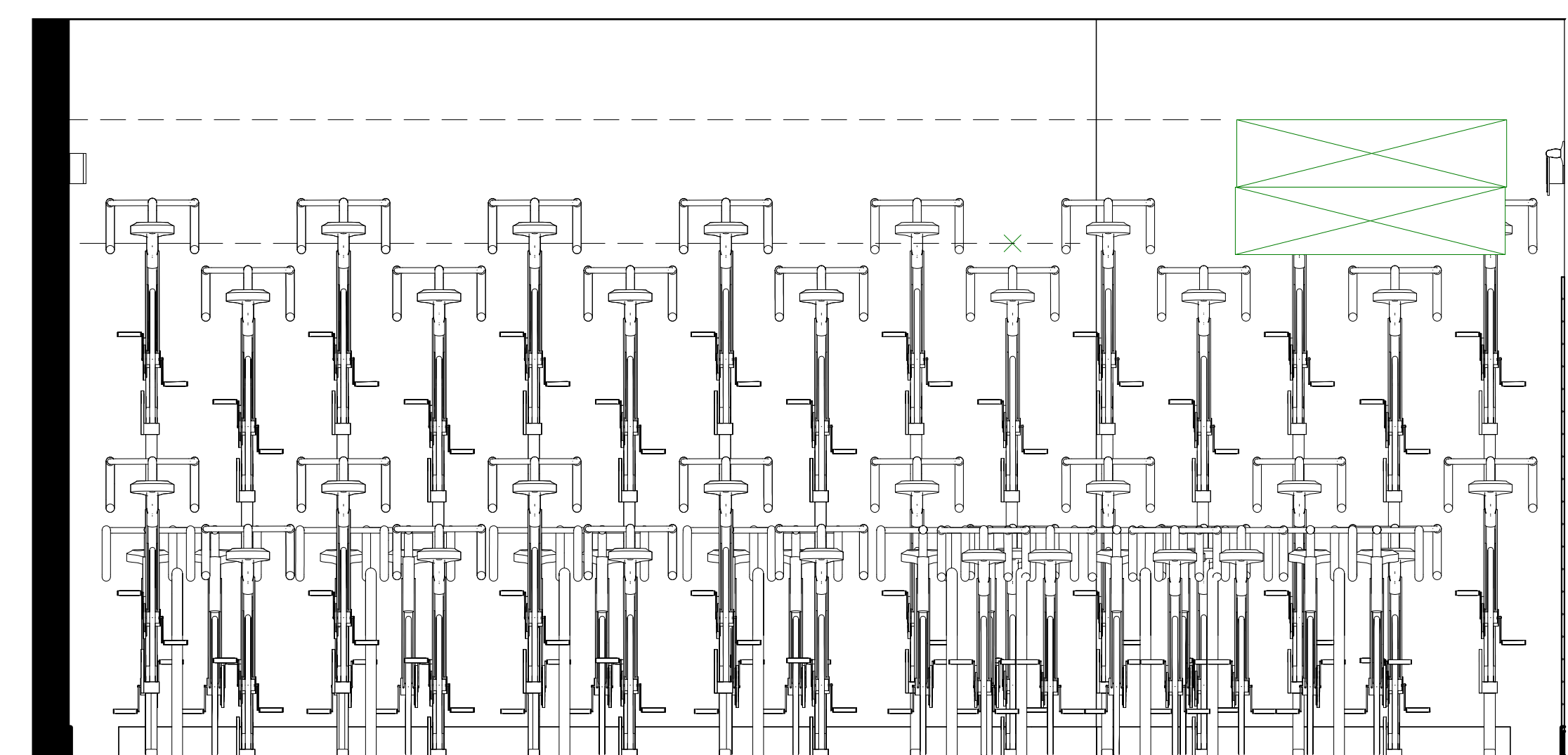
③ Elevation - Lockers - Tower 2 - North View
1/2" = 1'-0"



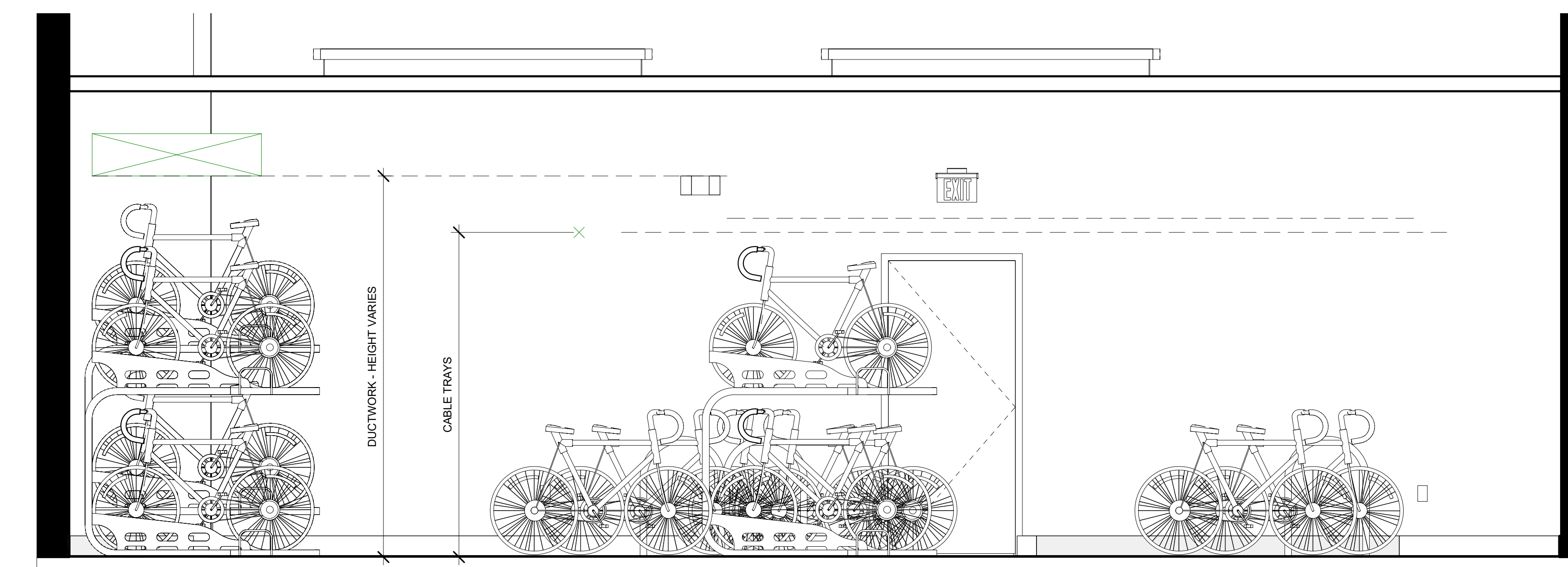
4 Elevation - Lockers - Tower 2 - South View
1/2" = 1'-0"



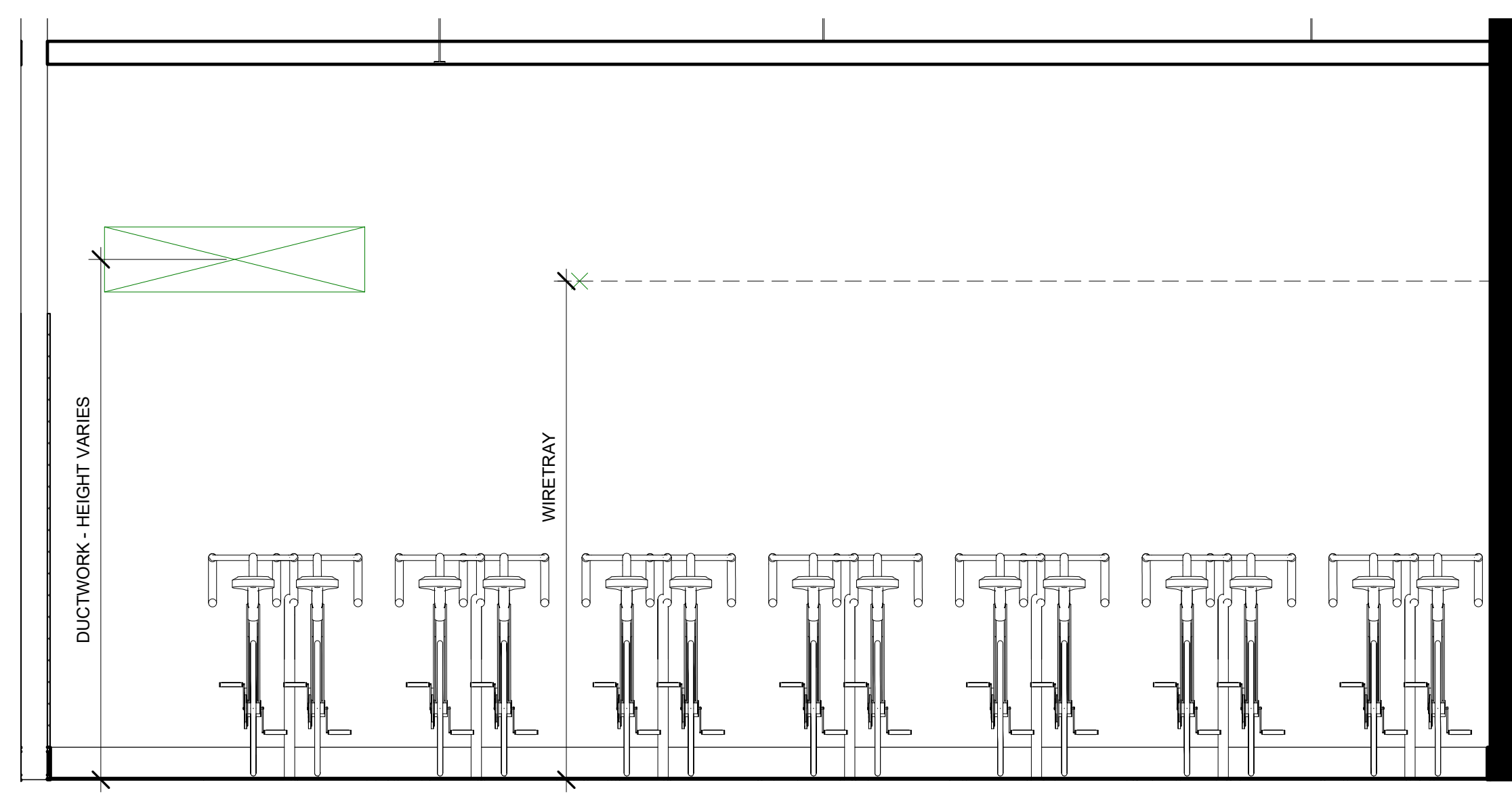
5 Elevation - Bikes - South View
1/2" = 1'-0"



6 Elevation - Bikes - West View
1/2" = 1'-0"



7 Elevation - Bikes - North View
1/2" = 1'-0"



8 Elevation - Bikes - East View
1/2" = 1'-0"

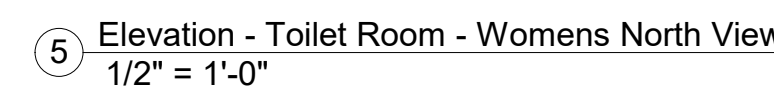
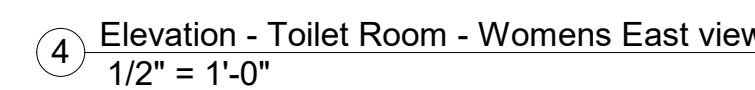
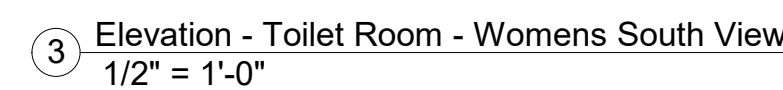
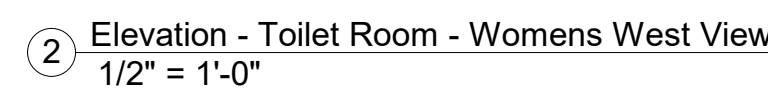
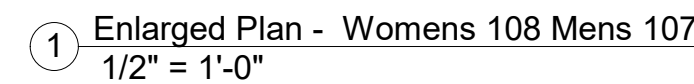


INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

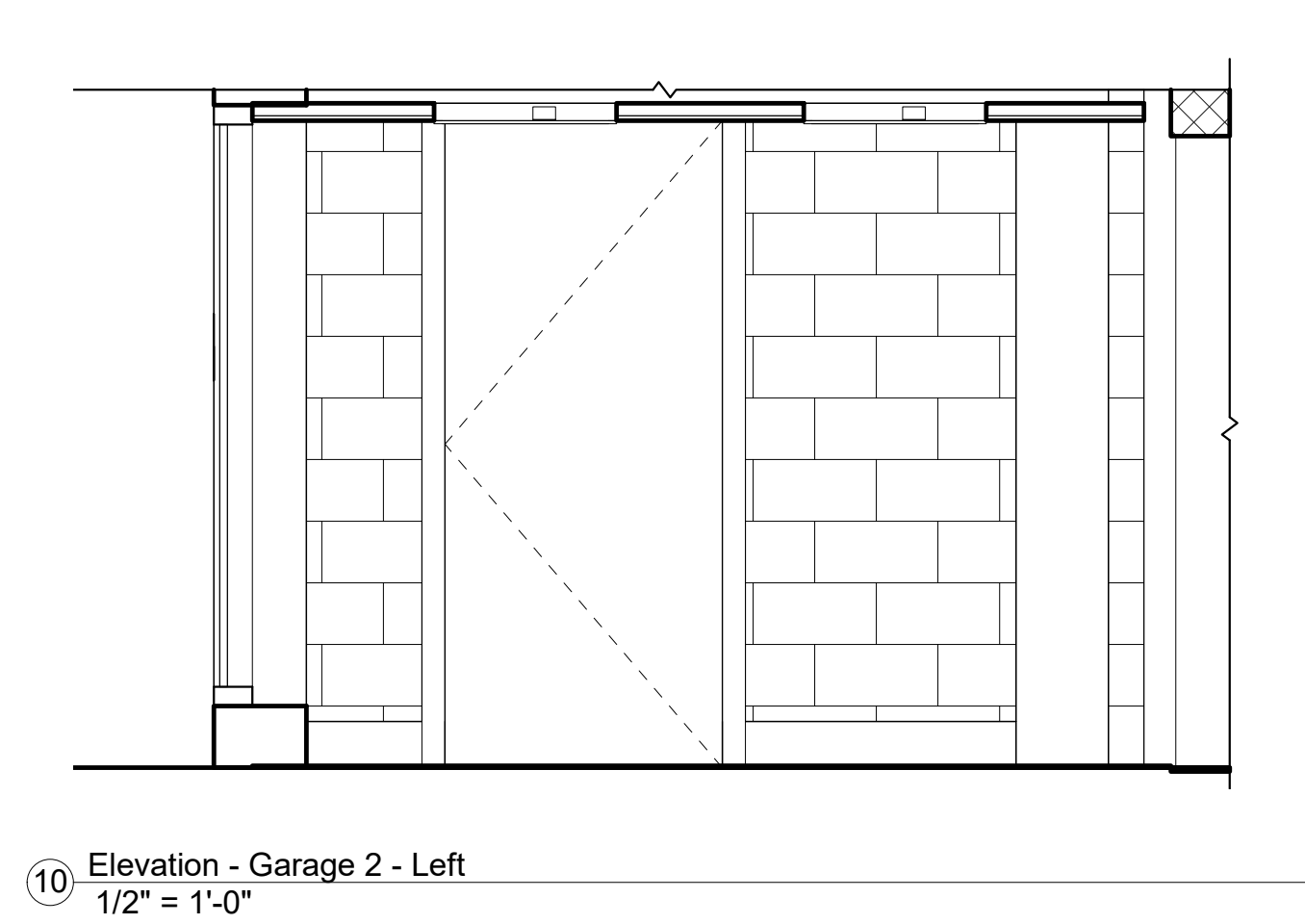
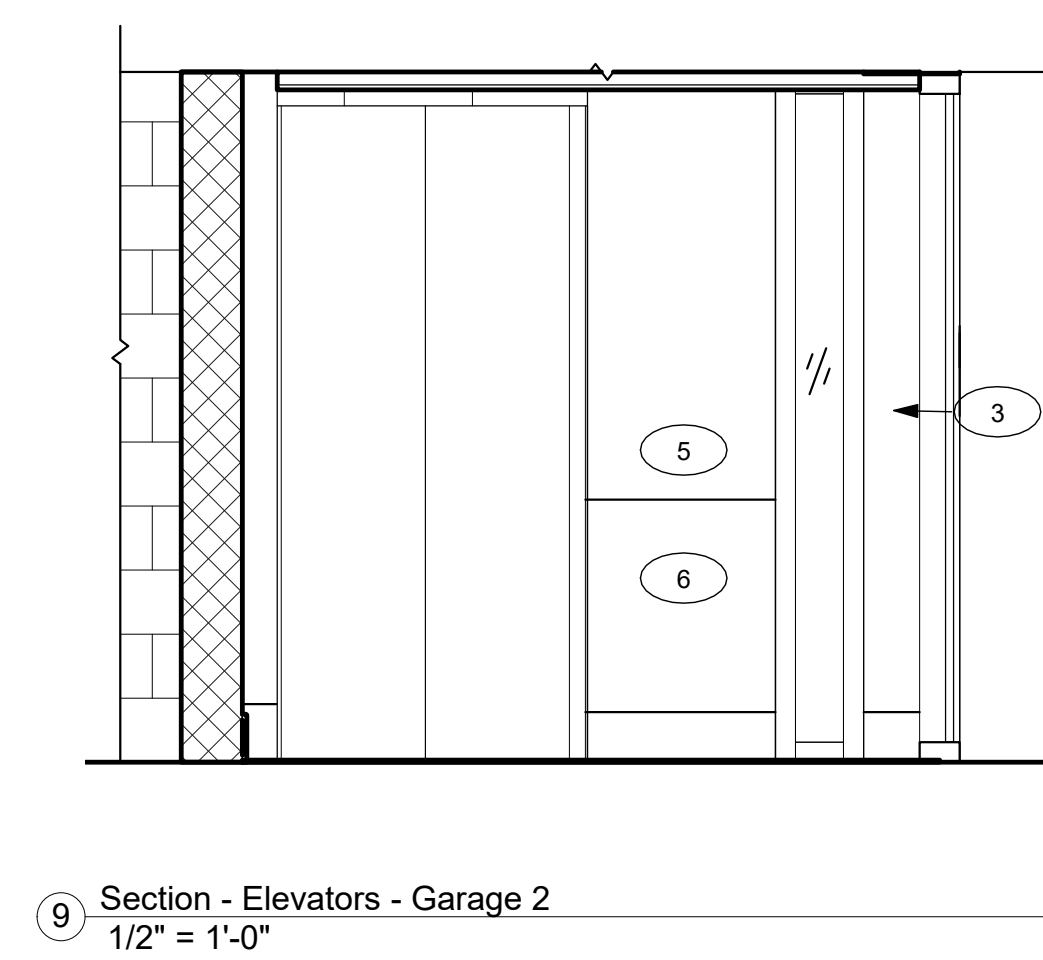
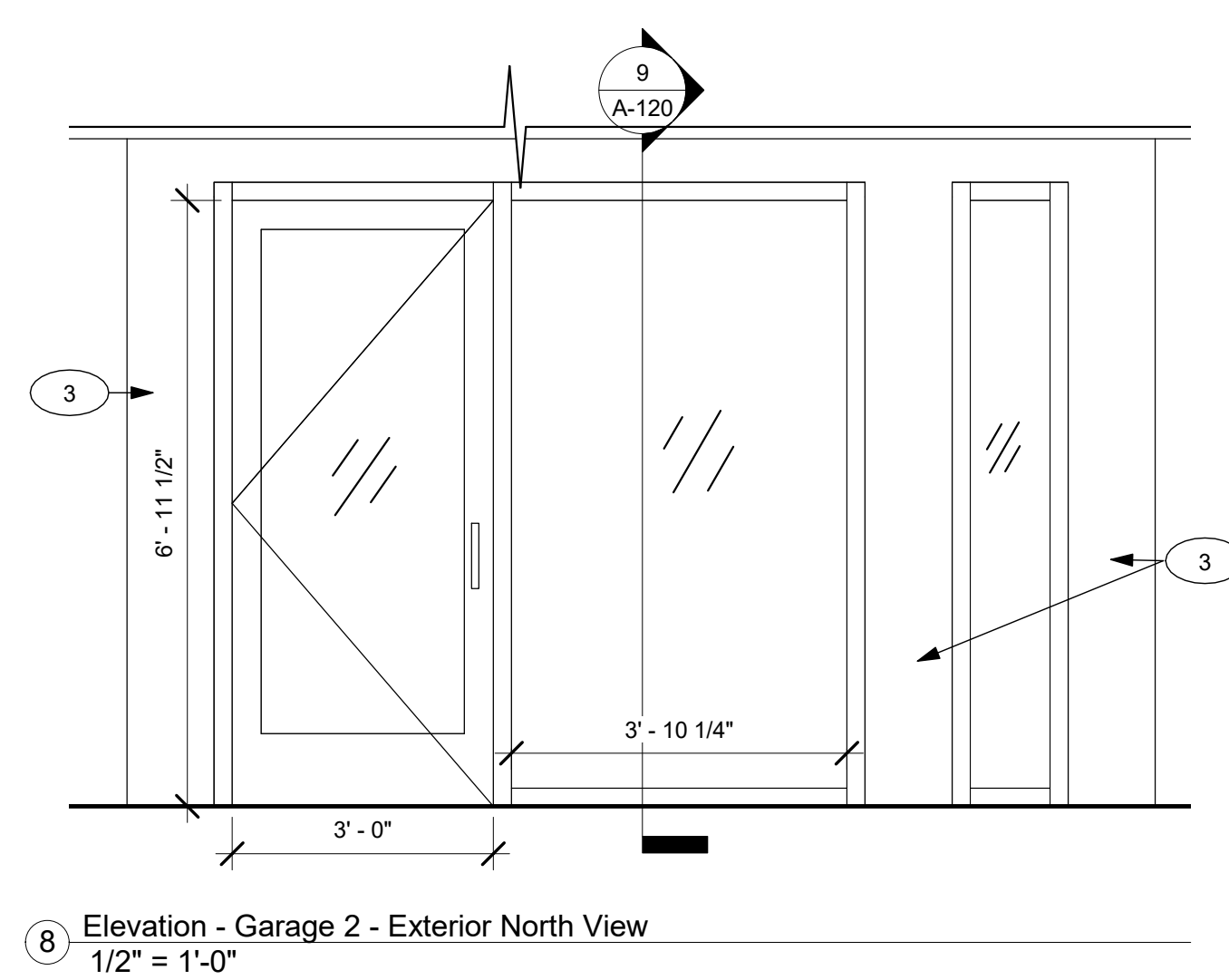
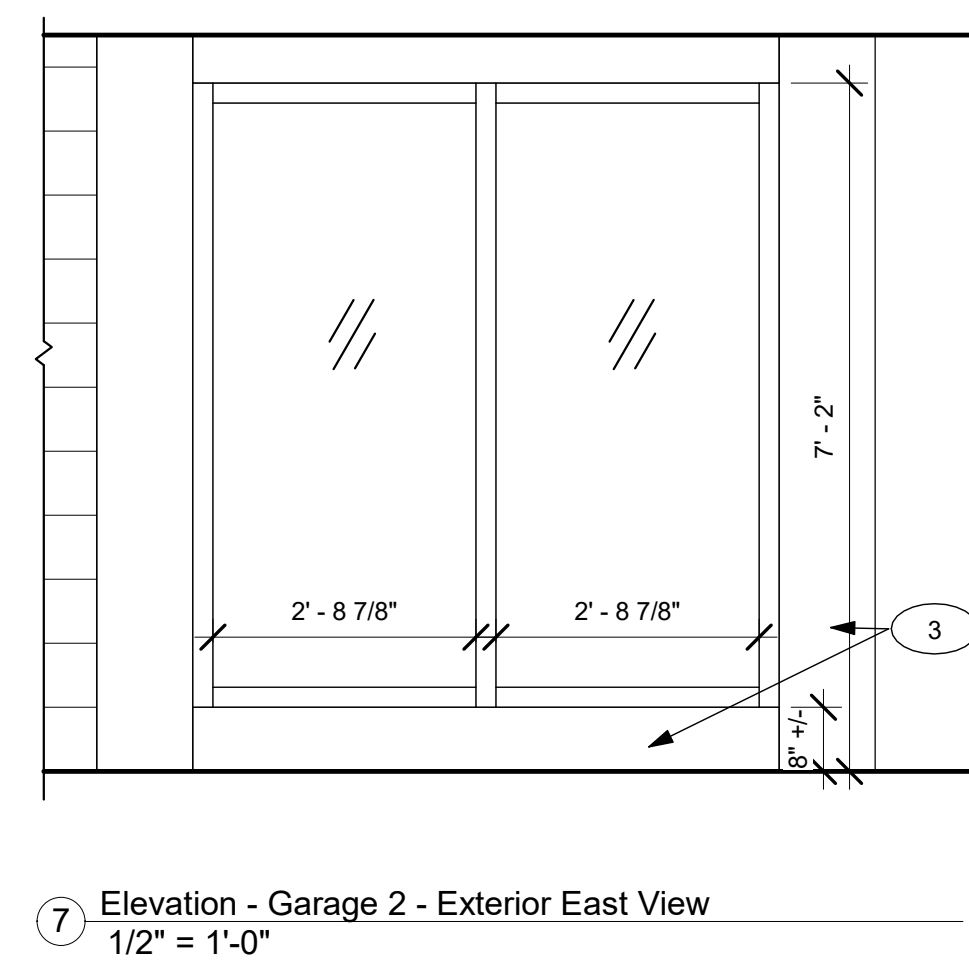
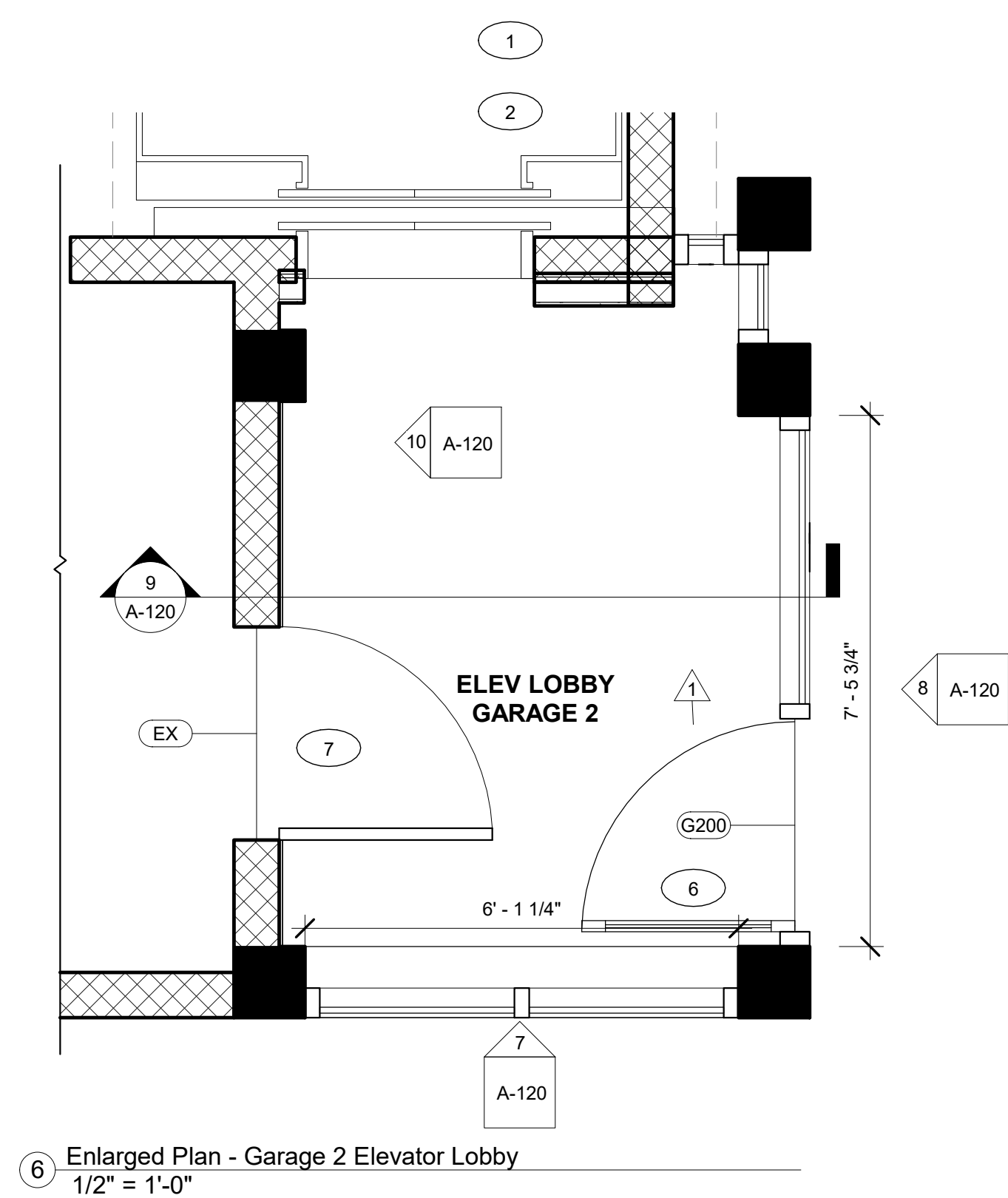
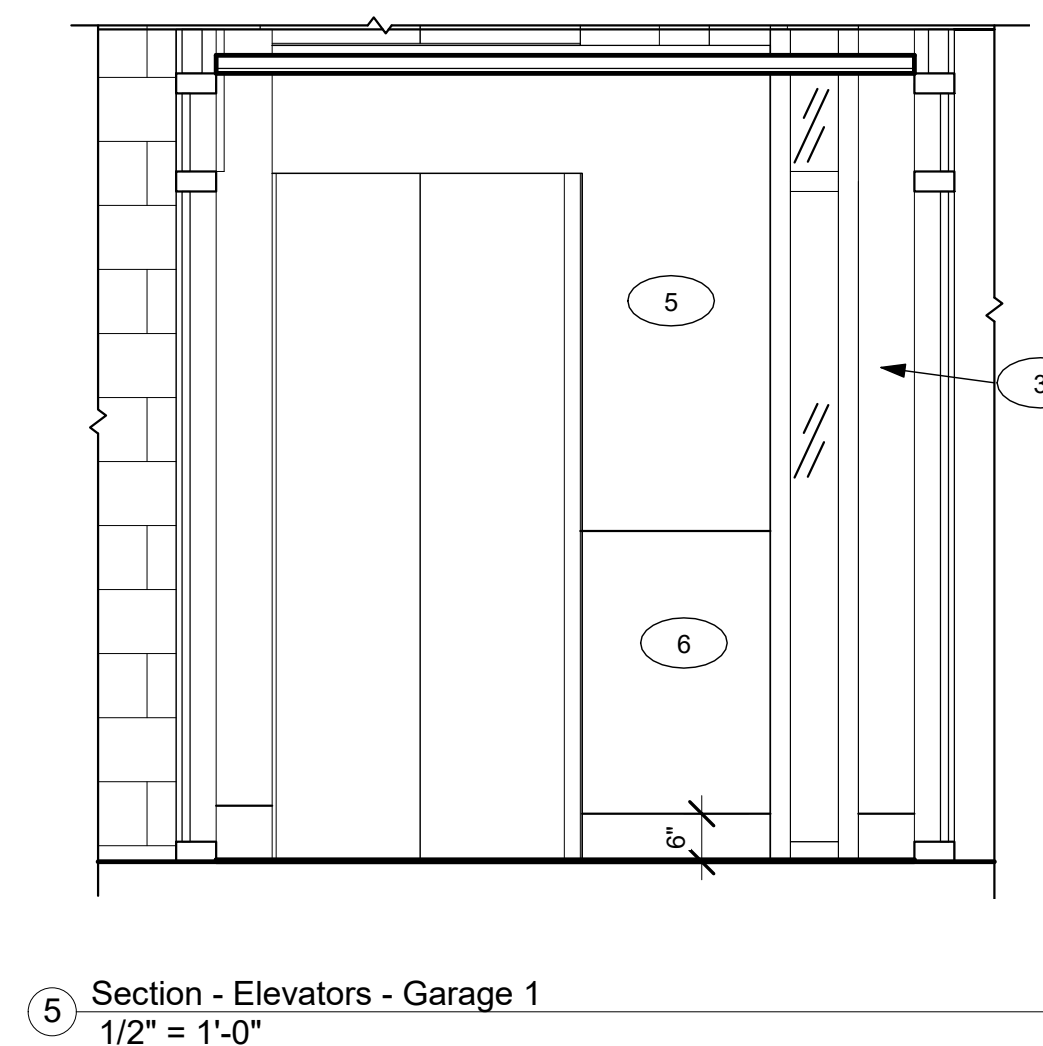
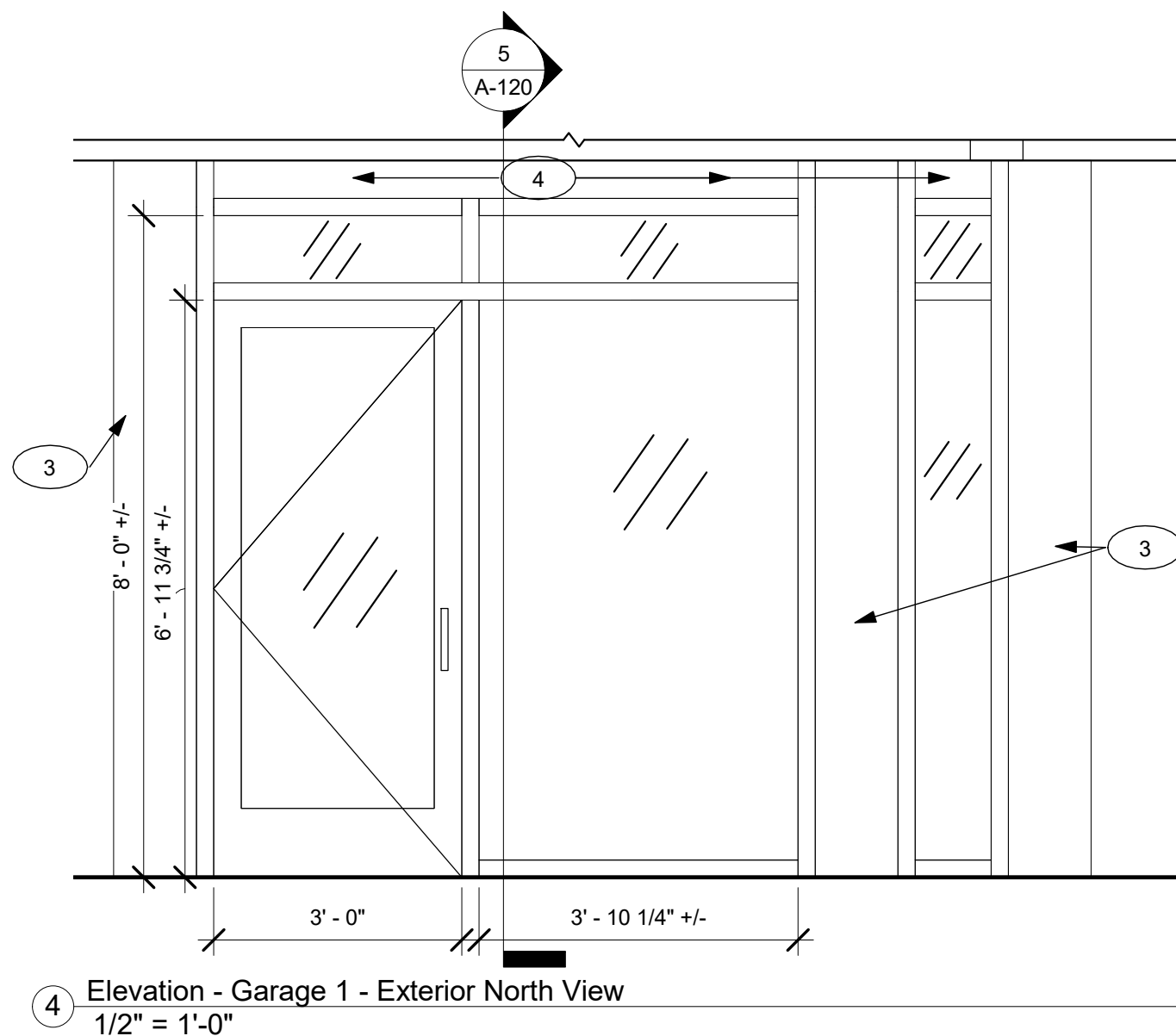
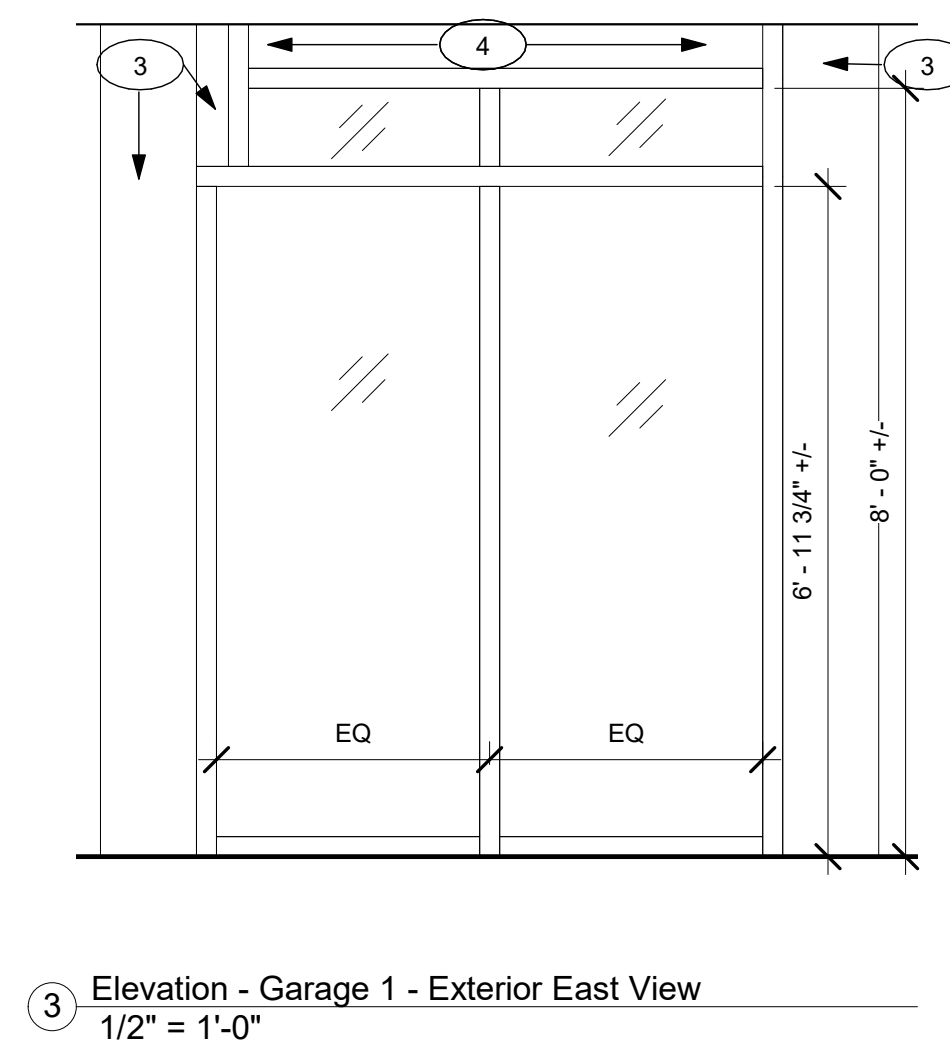
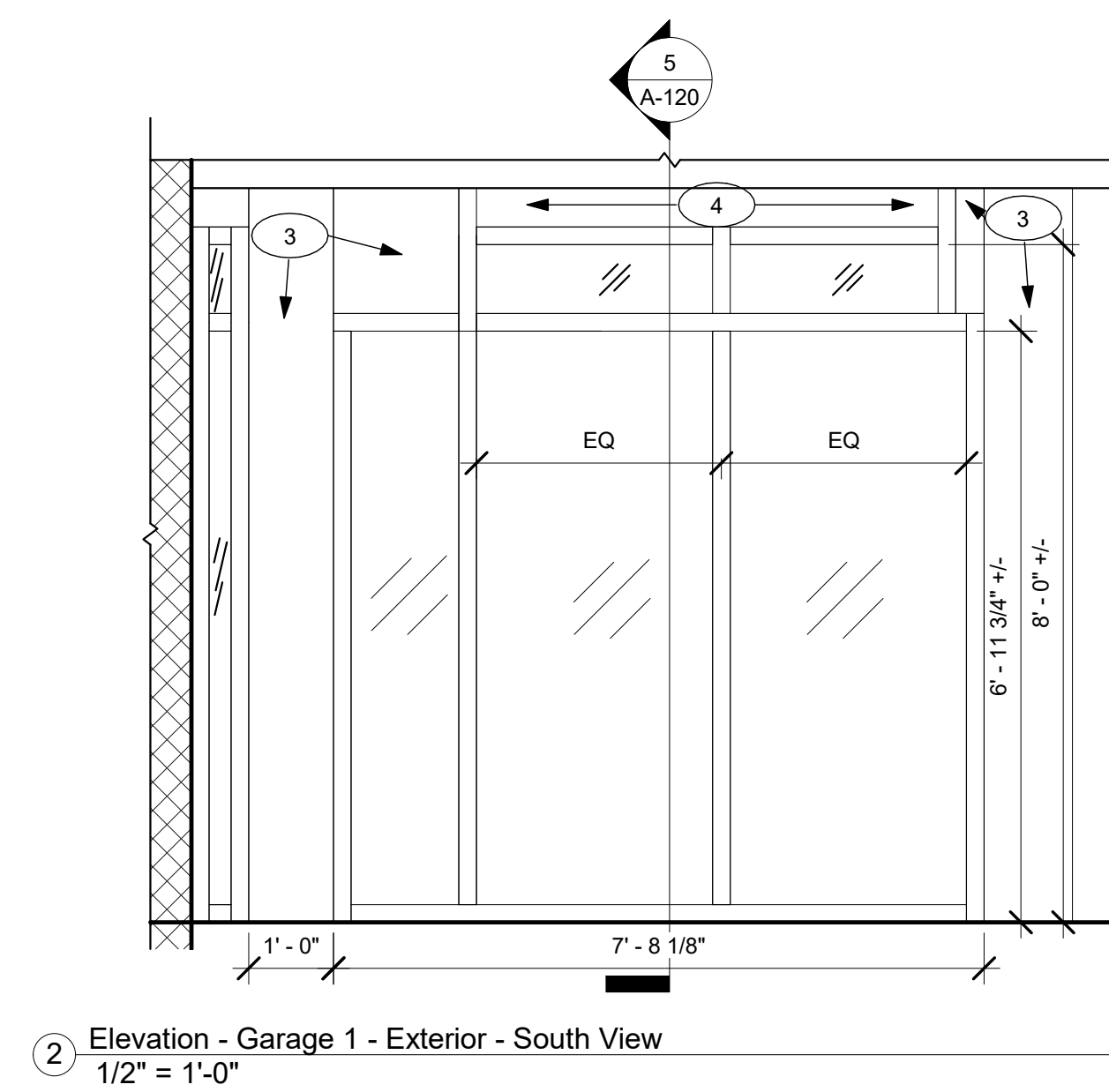
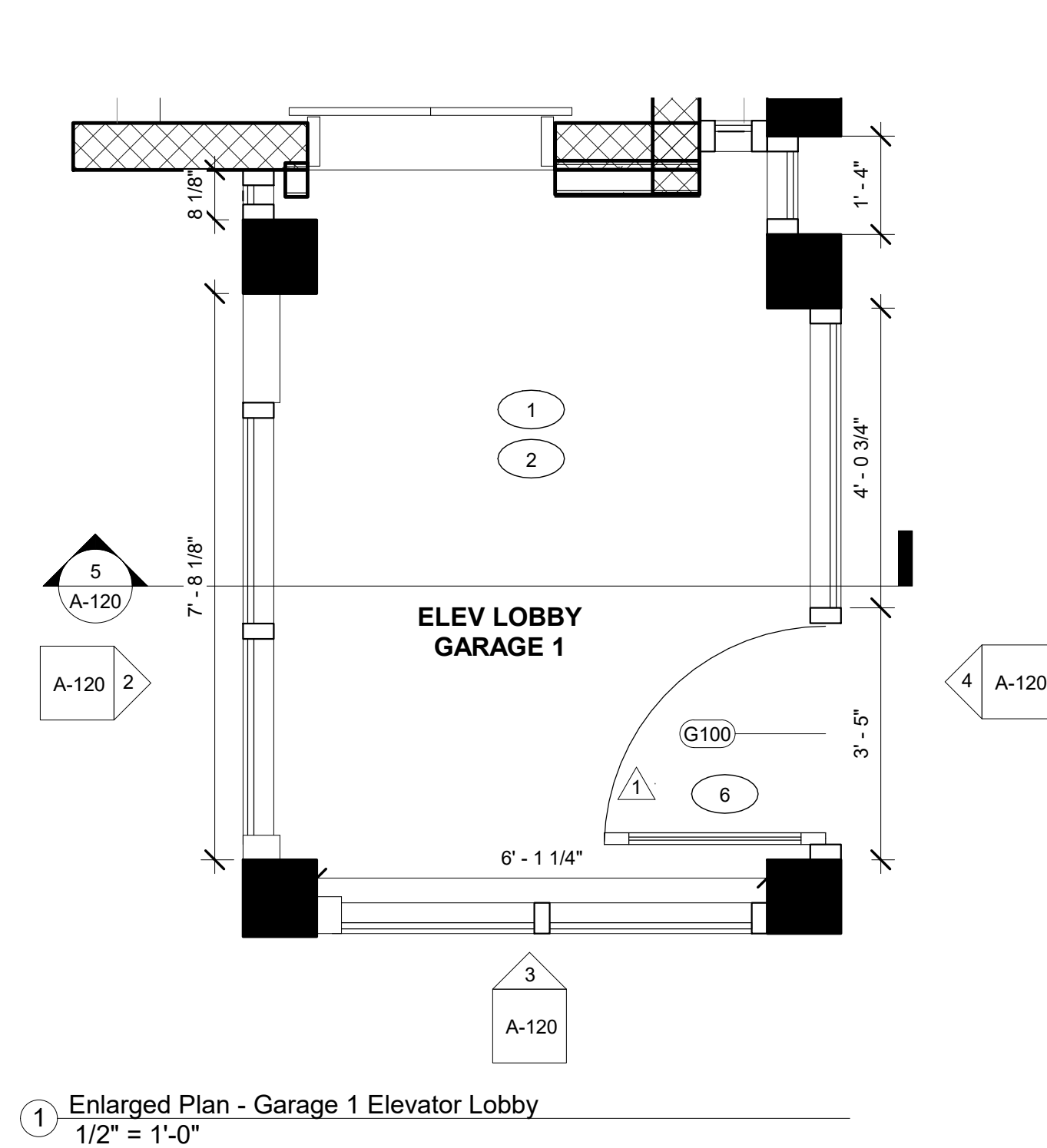
STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

Scale	$1/2" = 1'-0"$
-------	----------------



KEY NOTES - TOILETS	
1	PROVIDE AND INSTALL NEW PAINTED HM DOOR AND FRAME IN EXISTING LOCATION. SWING OF DOOR TO BE FLIPPED FROM EXISTING. PROVIDE NEW PRIVACY LEVER LOCKSET AND NEW HINGES.
1A	PROVIDE AND INSTALL NEW PAINTED HM DOOR AND FRAME. SWING OF DOOR TO BE FLIPPED FROM EXISTING. PROVIDE NEW PRIVACY LEVER LOCKSET AND NEW HINGES.
2	CORIAN SOLID SURFACE COUNTER AND 4" BACKSLAP. SPEC: SANDSTORM ¹
3	NEWLY M-J-A-BASE WITH REMOVABLE ADA ACCESS PANEL. FORWARD COLORED. COLOR: 3056 STORM SOLID.
4	PROVIDE AND INSTALL FLOOR MOUNTED OVERHEAD BRACED SCISSOR CLOSETS. HINEY HINDERS SOLID PLASTIC TOILET PARTITIONS. COLOR T.B.D. ALTERNATE: BRUSHED STAINLESS STEEL TOILET PARTITIONS.
5	NEWLY M-J-A-BASE WITH REMOVABLE ADA ACCESS PANEL. FORWARD COLORED. COLOR: 3056 STORM SOLID.
6	KOHLER SCULPTED FAUCET - K-1563-0.
7	KOHLER BAROON HIGH EFFICIENCY URINAL.
8	SLOW SOLID 8111 AUTOMATIC FLUSHVALVE.
9	KOHLER HENRIC FL ELONGATED BOWL 4-8860.
10	BOSBORIC TRAILLINE COMBINATION HAND DRYER, PAPER TOWEL AND WASTE BASKET B-38020.
11	BOSBORIC 8185 24X36 FRAMED MIRROR INSTALLED WITH BOTTOM OF VENT SURFACE AT 47" MAXIMUM A.F.F. ¹
12	FULL SET ADA GRAB BARS - STAINLESS STEEL. BOSBORIC B8066 - 1 EA OF 18", 24", 36" 42" MOUNTED 30" TO CENTERLINE.
13	PROVIDE AND INSTALL KOALA H2000 BABY CHANGING STATION. PROVIDE BLOODING.
14	BOSBORIC 2012 AUTOMATIC SOAP DISPENSER - STAINLESS FINISH.
15	REFER TO SHEET A01 FOR MOUNTING HEIGHTS, CLEARANCES, ETC.
16	PROVIDE AND INSTALL PORCELAIN FLOOR TILE, FULL HEIGHT ON VENT WALL. SEE FINISH PLAN. ¹
17	PROVIDE AND INSTALL NEW GRANITE COUNTER TOPS/TIFFED SOLID PLASTIC LOCKERS. COLOR T.B.D. VERIFY DIMENSION PRIOR TO ROUGH IN OF WALLS.
18	REMOVE AND DISPOSE OF EXISTING FINISHES.



KEY NOTES - GARAGE ELEVATOR LOBBIES	
Note Text	
Number	
1	REMOVE EXISTING AND PROVIDE NEW STOREFRONT FRAMING AS SPECIFIED. COLOR: CLEAR ANODIZED ALUMINUM
2	EXISTING NEW WALK OFF CARPET, 2' X 2' ACTING, LOW PROFILE LED LIGHTING, AND NEW PAINT TYP. REFER TO FINISH SCHEDULE
3	EXISTING STRUCTURE COMPOSITE TO REMAIN
4	WALL ABOVE TOP HORIZONTAL GLAZING TO BE INFILLED WITH BROWN METAL IN CLEAR ANODIZED ALUMINUM AS PART OF THE SYSTEM
5	PATCH/REPLACE EXISTING GWS AND PREPARE FOR NEW FINISHES.
6	EXISTING METAL WALL GUARD TO REMAIN OR BE REPAIRED AND REINSTALLED AS REQUIRED AND PAINTED TO MATCH WALL COLOR.
7	EXISTING NEW FULL VISION STOREFRONT DOOR WITH NEW GLAZING SYSTEM. HARDWARE SET IS
8	EXISTING DOOR AND HARDWARE TO REMAIN.

NOTES:

1. NEW STOREFRONT MATERIAL TO BE CLEAR ANODIZED ALUMINUM.
2. GLASS TO BE TEMPERED.
3. CEILING TO BE MOUNTED AS HIGH AS POSSIBLE.
4. UTILIZE LOW PROFILE FLAT LED PANELS TO MINIMIZE CLEARANCE NEEDED FROM CEILING TO DECK.
5. STOREFRONT TO BE TO CEILING HEIGHT.
6. INFILL ABOVE TOP HORIZONTAL MULLION TO BE INFILLED WITH STOREFRONT BREAK METAL IN CLEAR ANODIZED ALUMINUM AS PART OF THE SYSTEM.
7. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD PRIOR TO SHOP DRAWINGS.
8. REMOVE EXISTING SIGNAGE TO REPLACE FINISHES AND STOREFRONT. REINSTALL SIGNAGE COORDINATE WITH OWNER FOR NEW SIGNAGE.
9. REMOVE EXISTING GLASS AND GLASS GLAZER, ETC AND REINSTALL AFTER NEW FINISHES HAVE BEEN COMPLETED. COORDINATE WITH OWNER FOR ANY NEW/REPLACEMENT OF EXISTING THAT MAY OCCUR PRIOR TO REINSTALL.



ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

[illegible]

INDEPENDENCE PLACE

Lobby Renovation

GARAGE - ELEVATOR
LOBBIES

Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

A-120

Scale $1/2" = 1'-0"$



412 DeKalb Street
Norristown, PA 19401

www.styergroup.com

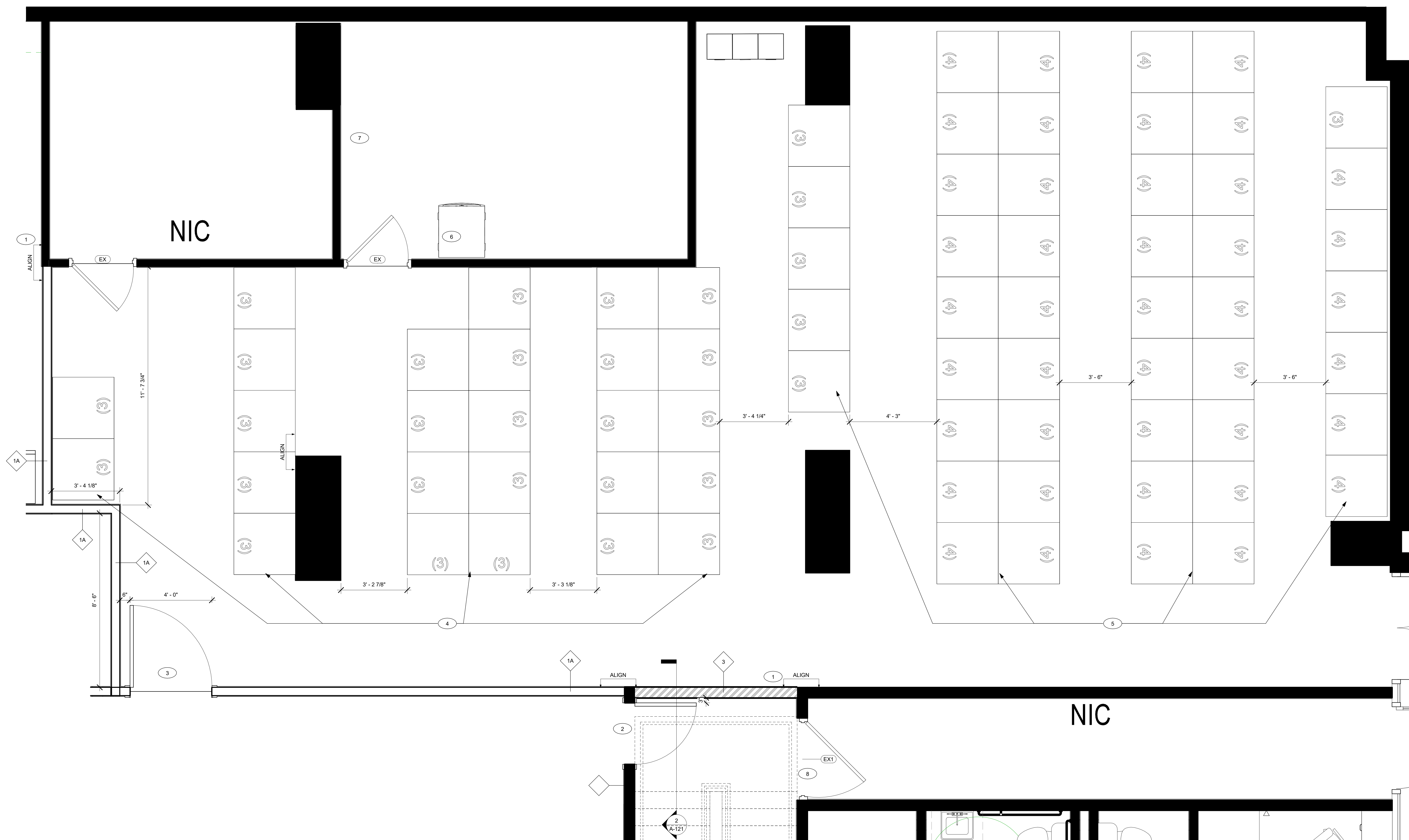


ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

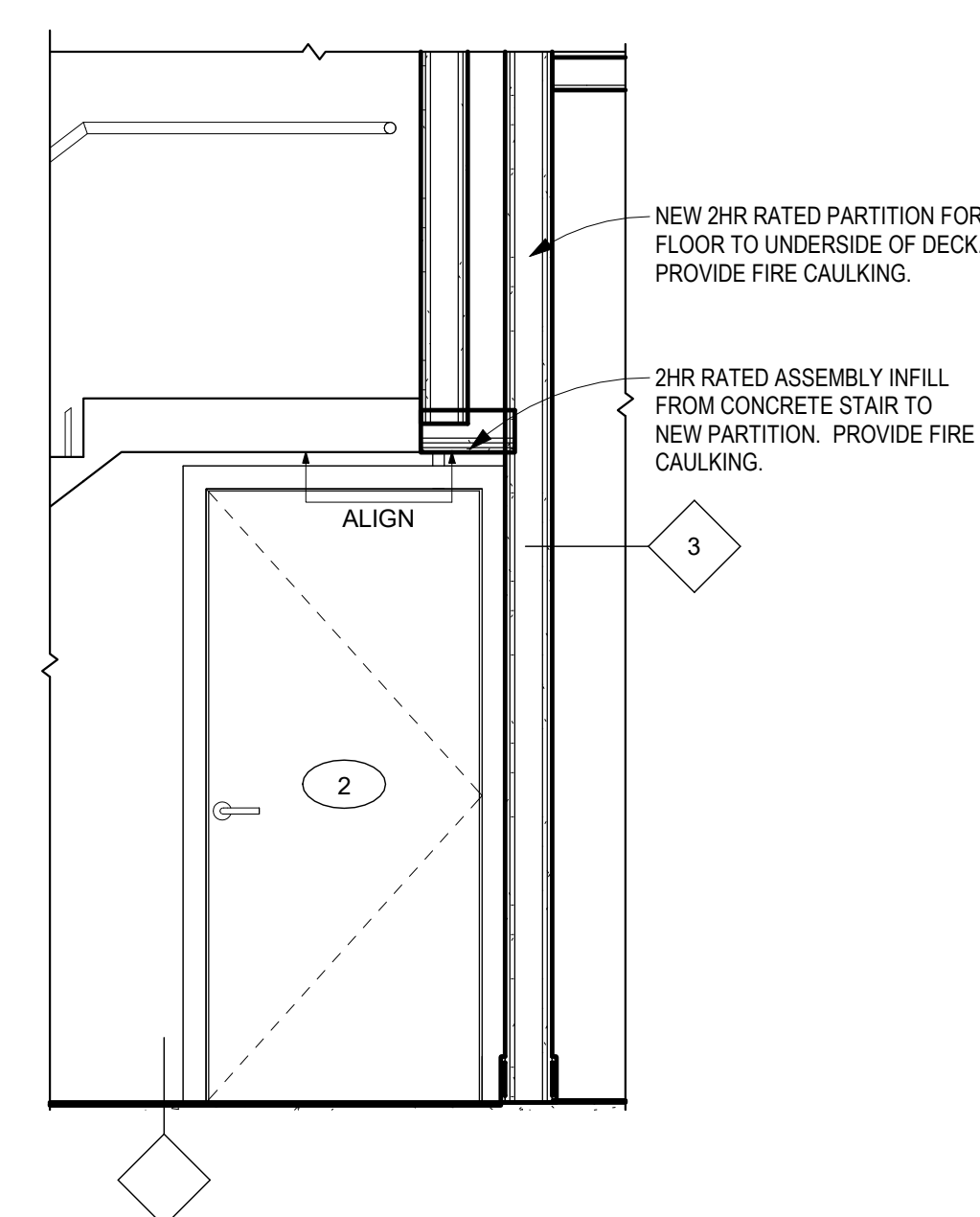
INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900



1 Enlarged Plan - Lockers 122 Tower One
1/2" = 1'-0"



2 Section - Stairs - New Door
1/2" = 1'-0"

KEY NOTES - TOWER ONE - LOCKER-STAIRS	
1	ALIGN NEW PARTITION WITH EXISTING
2	REMOVE 2 HR RATED 4" x 6" SHI DOOR AND FRAME. HOLD TIGHT TO SIDE WALL TO PROVIDE CLEARANCE FOR FRAME AND OPENING ON UNDERSIDE OF CONCRETE STAIRS. REFER TO STRUCTURAL PLANS FOR ANY REINFORCEMENT REQUIRED. HARDWARE SET: 13
3	PROVIDE NEW 1 HR RATED 4" x 7" SHI DOOR AND FRAME. HARDWARE SET: 13 WITH KEYPAD CONNECTION.
4	RELOCATE EXISTING STORAGE LOCKERS AS SHOWN TO ACCOMMODATE NEW LAYOUT.
5	EXISTING STORAGE LOCKERS TO REMAIN.
6	PROVIDE AND INSTALL NEW STAINLESS COMBINATION WASH/DRYER UNIT: WHIRLPOOL CETH1000.
7	PROVIDE AND INSTALL NEW 1/2" X 1/2" X 1/2" CABINET.
8	EXISTING DOOR AND SHOWER TO REMAIN.

[illegible]

INDEPENDENCE
PLACE

Lobby Renovation

ENLARGED PLAN -
STAIRS-LOCKERS

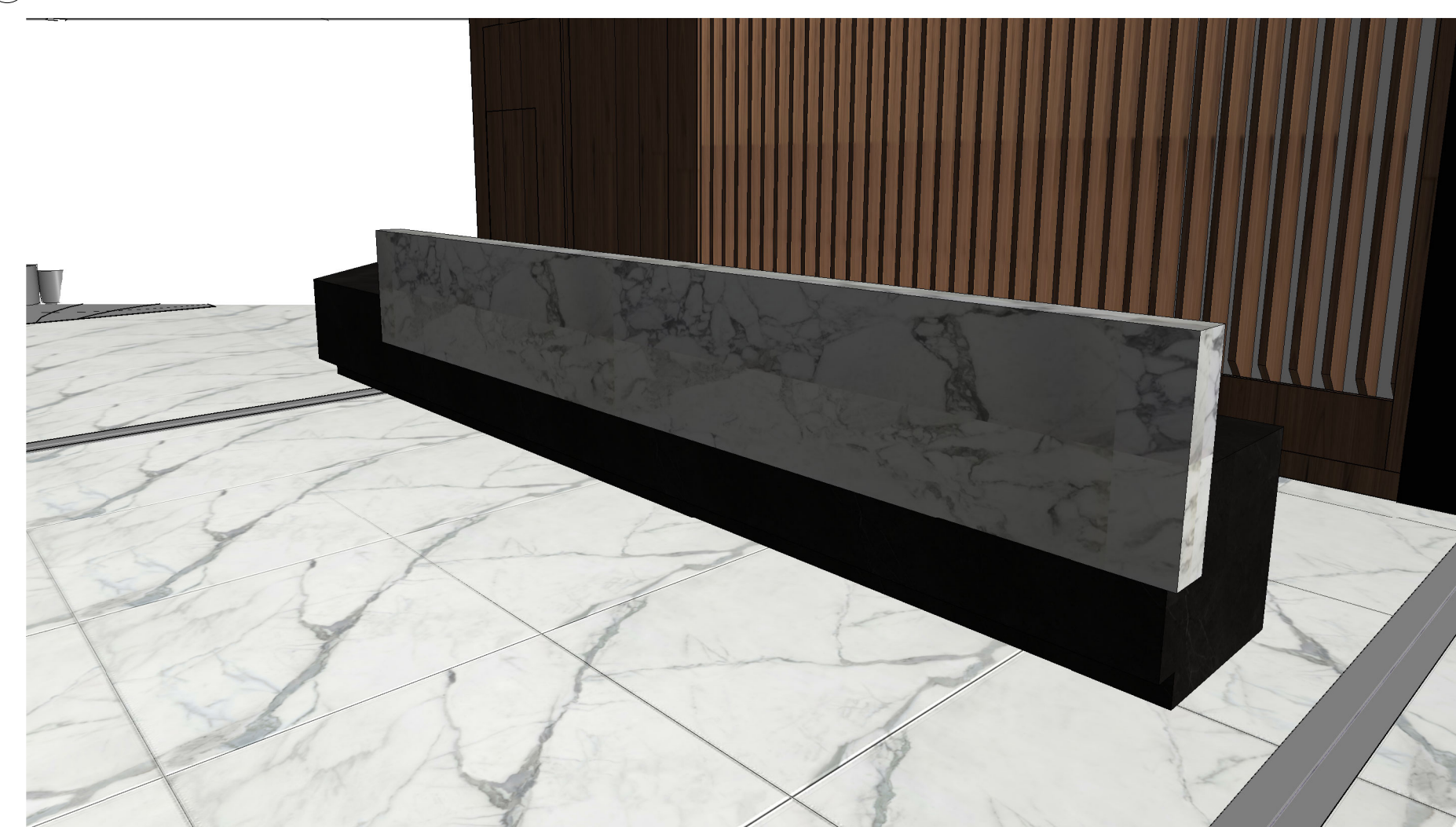
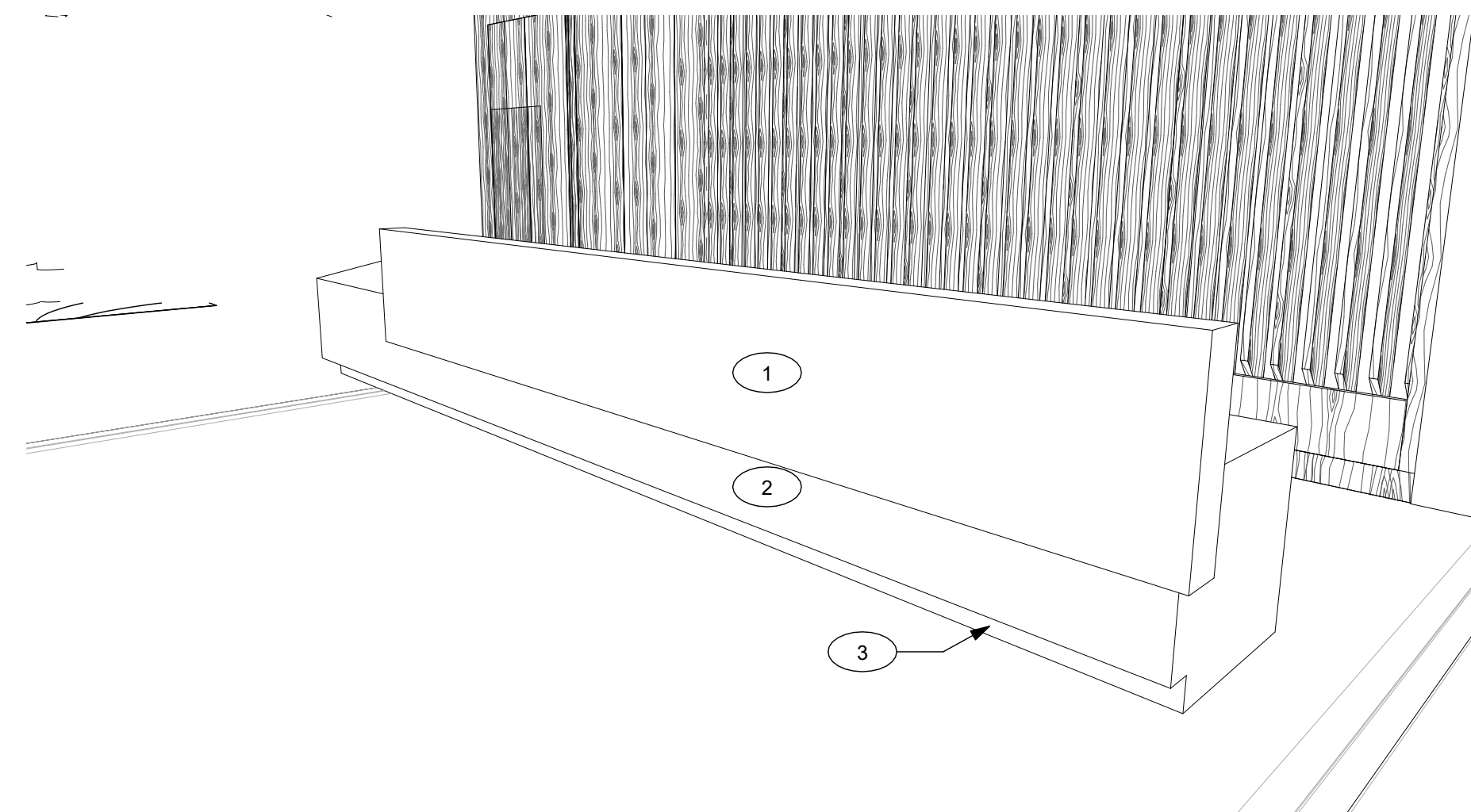
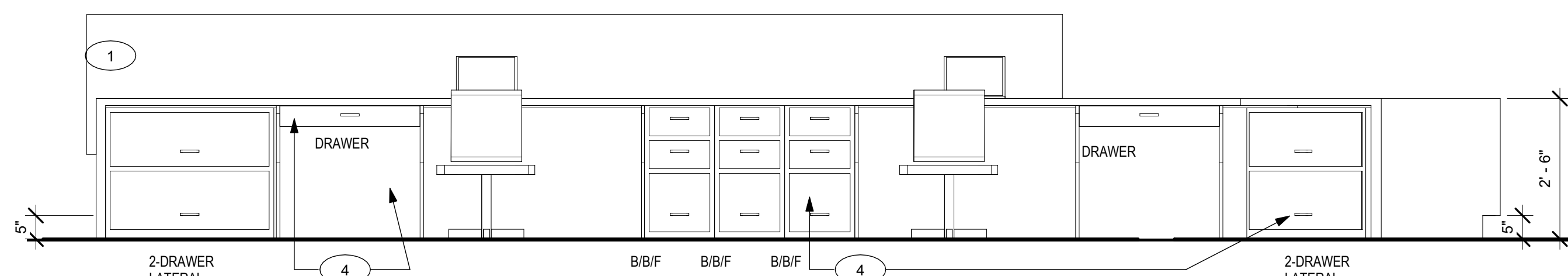
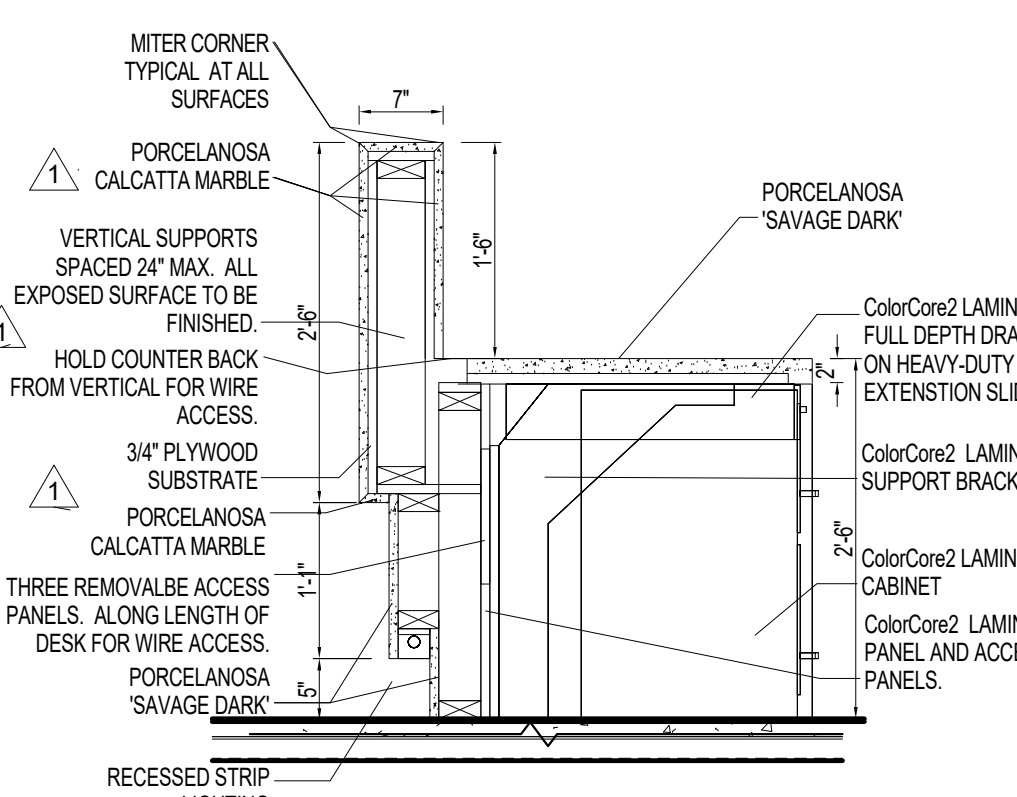
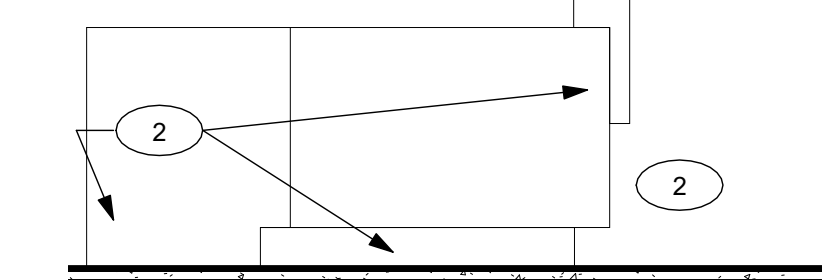
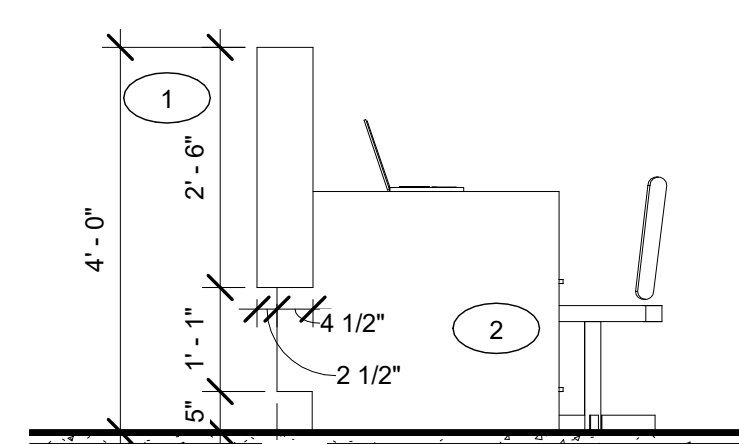
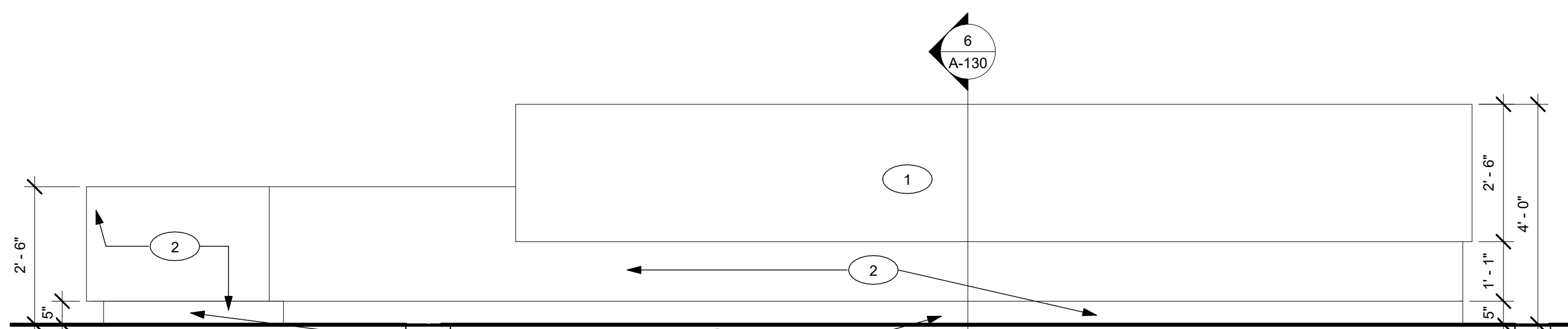
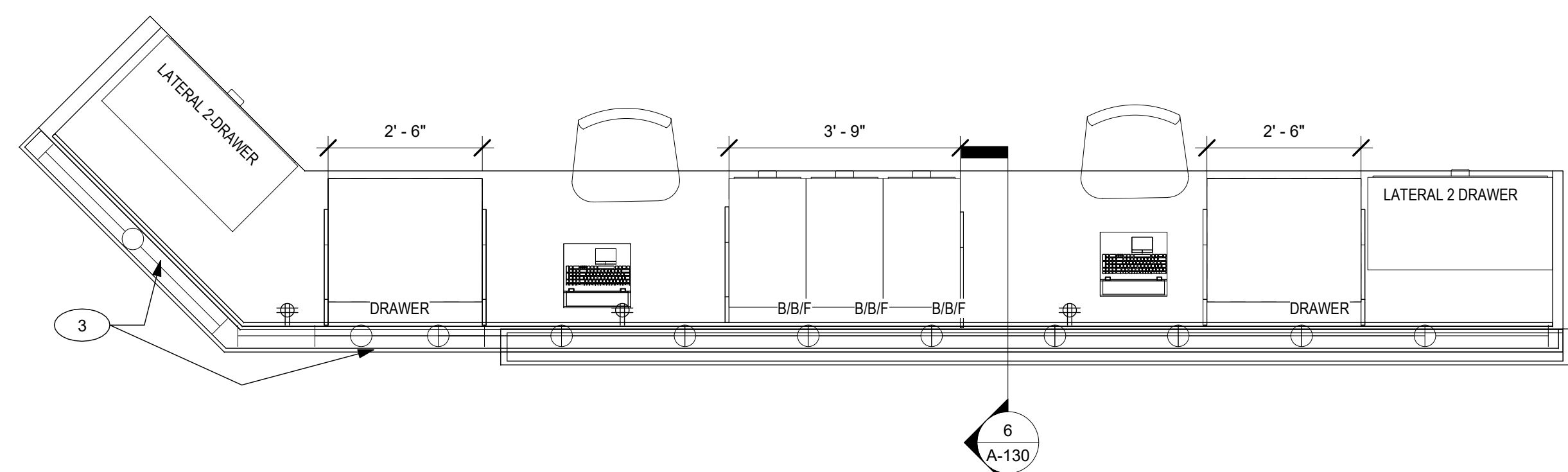
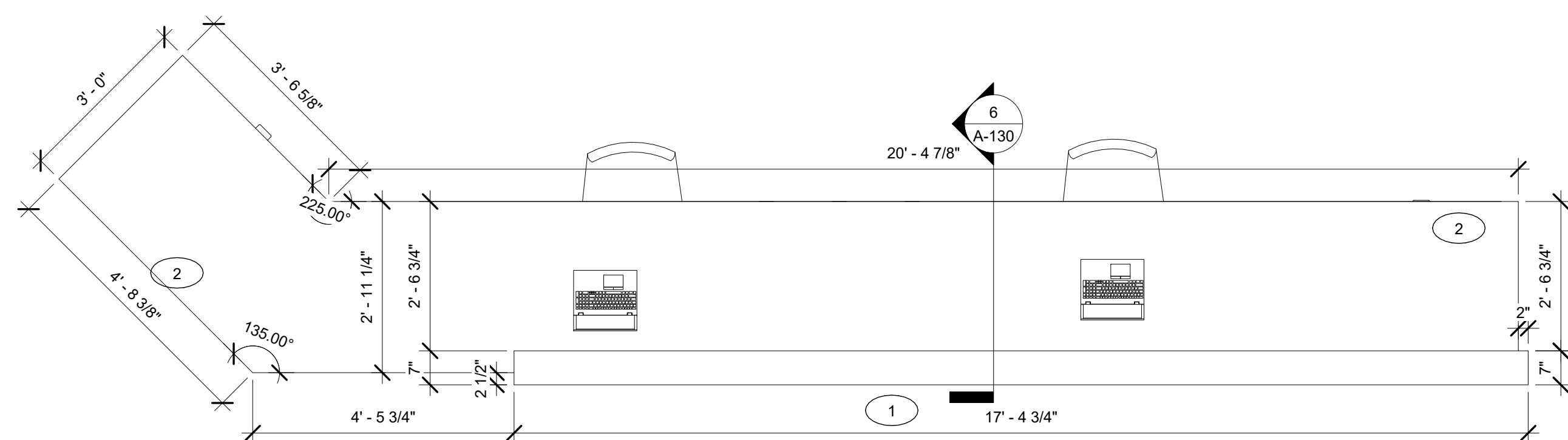
Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT


A-121

Scale $1/2" = 1'-0"$

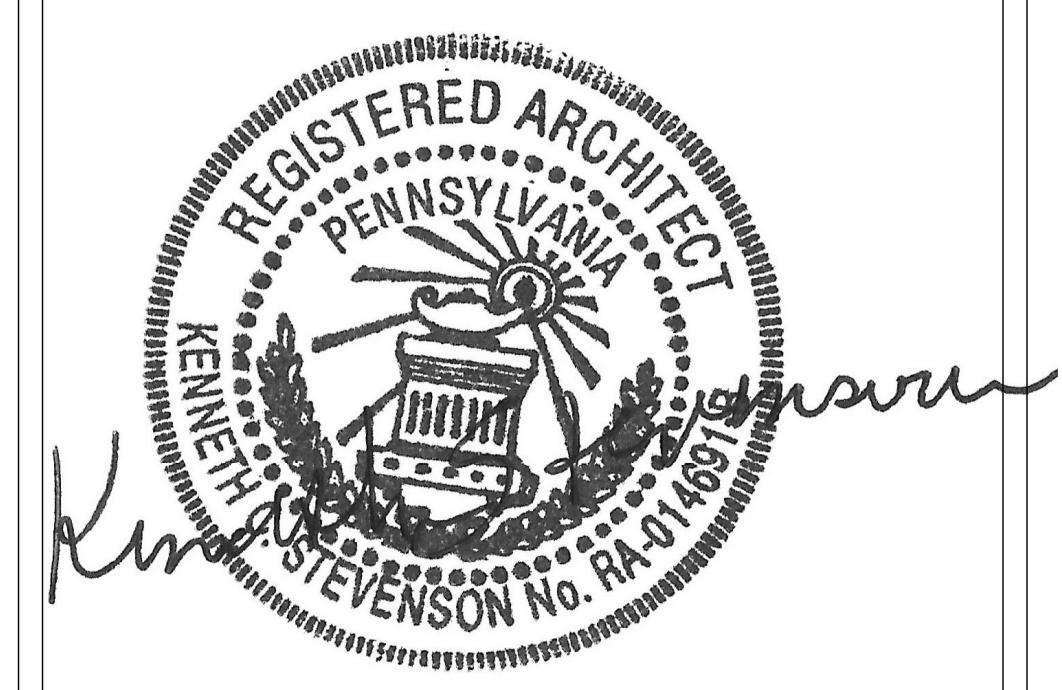
©Copyright 2020 Notice All Rights Reserved Styer & Associates, Inc.

=		T
10/23/2020 1:30:02 PM		



KEY NOTES - RECEPTION DESK	
	
1	SOLID SURFACE(LIGHT): PORCELANOSA, CALCATTA MARBLE SLAB - POLISHED
2	SOLID SURFACE(DARK): PORCELANOSA, "SAVAGE DARK" POLISHED FULL SHEET
3	PROVIDE AND INSTALL LINE STRIP LIGHTING CONCEALED IN TIE-KICK OVERHANG FULL LENGTH OF DESK
4	PROVIDE FOMICA ColorCore2 Solid Color LAMINATE, COLOR: "949 WHITE" FOR FILE CABINETS, VERTICAL SUPPORTS, AND DRAWERS. PROVIDE HEAVY-DUTY FULL EXTENSION GLIDES, TYP AND QUIET CLOSE.

SHEET NOTES:
1. PROVIDE MITERED CORNERS AND WATERFALL EDGES ON ALL SURFACES/SIDES, TYP.



ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

[illegible]

INDEPENDENCE PLACE

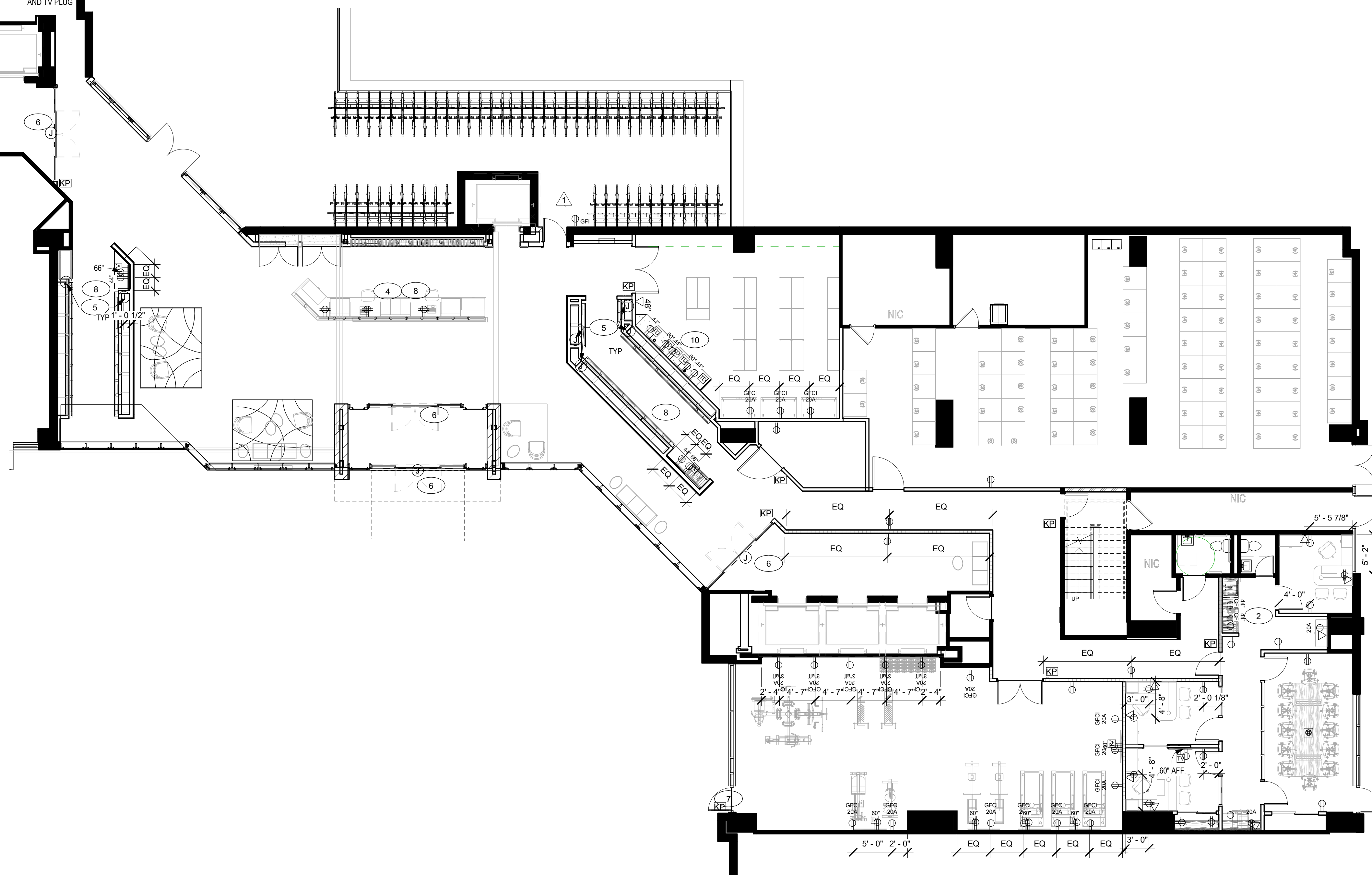
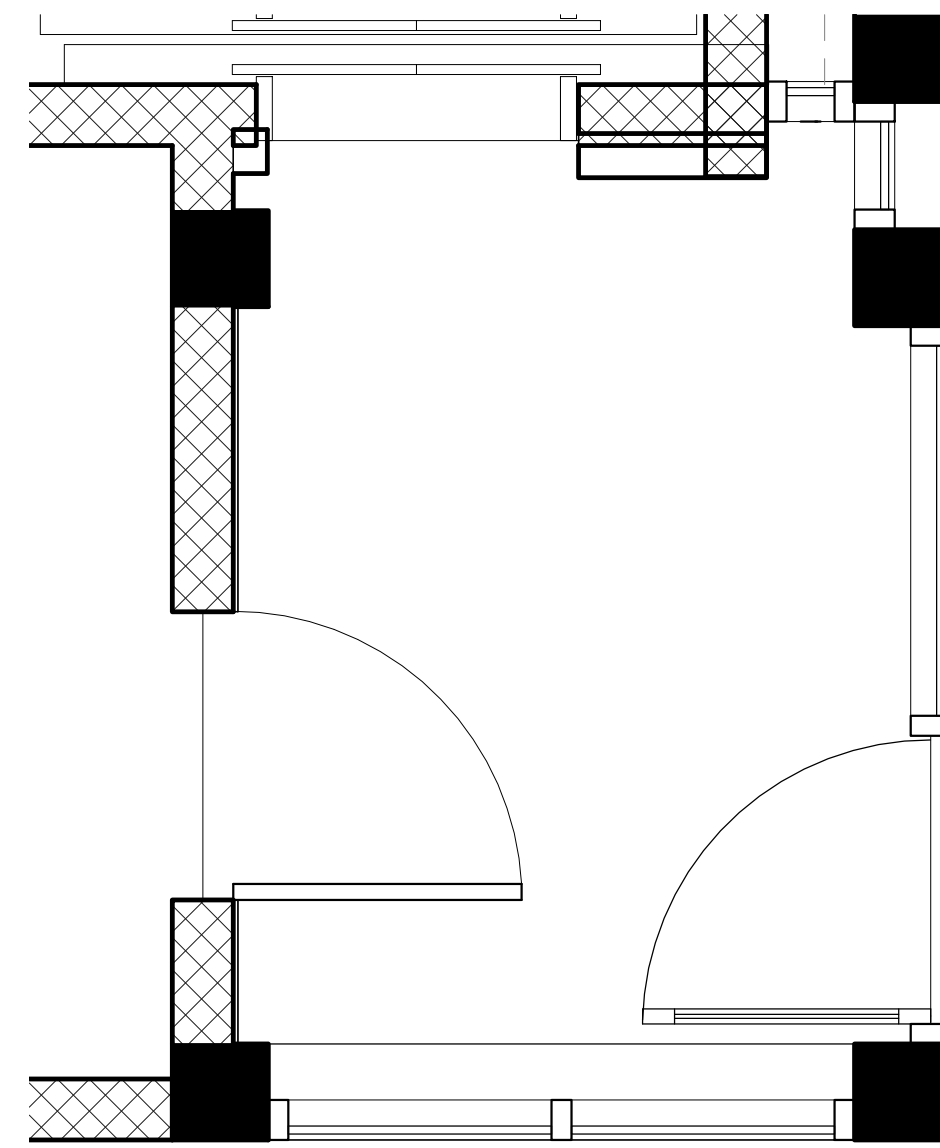
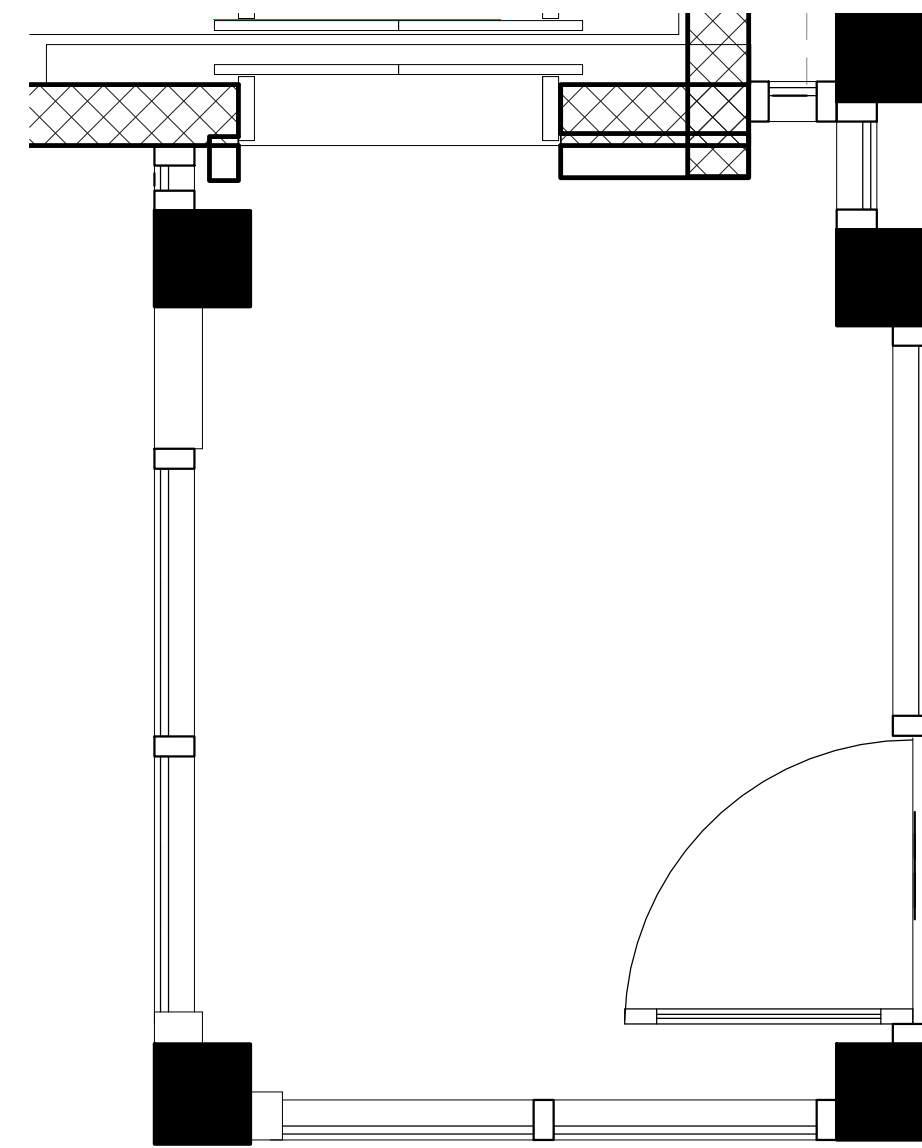
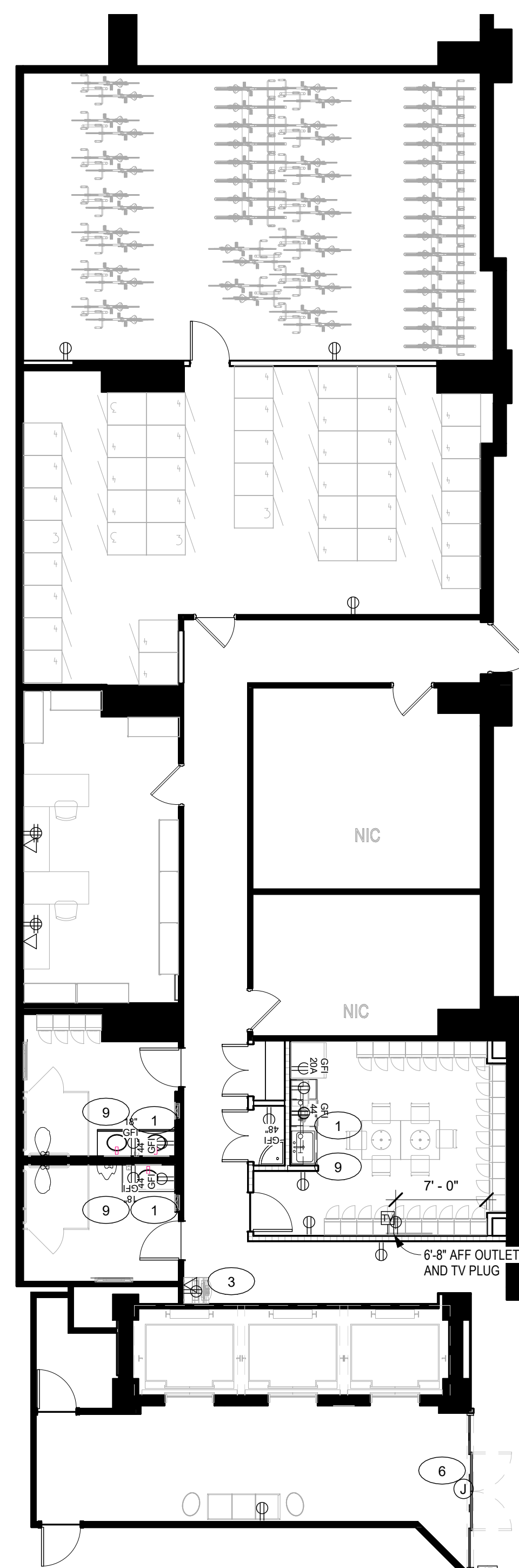
Lobby Renovation

MILLWORK -
RECEPTION DESK

Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

A-130

Scale	As indicated
-------	--------------










KEY NOTES - POWER	
1	MOVE HORIZONTALLY ABOVE COUNTER, SEE ENLARGED PLANS
2	PROVIDE TWO HORIZONTAL, GFI OUTLETS AT 4' AND ONE GFI AT STANDARD MOUNTING HEIGHT FOR UNDERCABINET REFRIGERATION
3	PROVIDE DUPLEX AND TELEDATA CONNECTION FOR FAN. RELOCATE EXISTING TEL. LINE. COORDINATE WITH TELEPHONE
4	TO A-130 FOR RECEPTION DESK, CORE FLOOR. PROVIDE STUDS AND FLOOR BOARDS AS REQUIRED AND MAKE FAN JUNCTION BOX FROM NEW MILKWEED. VERIFY WITH FINAL DESIGN AND PLUMBING. PROVIDE \$100.00 ALLOWANCE FOR FAN, FAN HOSE, FAN PENDING CORING, (X)
5	REMOVE CIRCUIT AND CONNECTION BOX FOR CONNECTION TO UNDERSHELF LIGHTING
6	EXTEND AND CONNECT EXISTING CIRCUIT TO NEW SLOW BLOW CIRCUIT BREAKER
7	PROVIDE NEW ELECTRIC STRAP WIRE TO NEW CIRCUIT BREAKER LOCATED ON ADJACENT WALL OR MILLIUM. COORDINATE WITH OWNER SECURITY. SEE HARDWARE SPECIFICATIONS
8	REMOVE FLOORING TO EXPOSE EXISTING WIRING. GLUE TO VERYPANADY P.C. CABLE LOCATIONS (X)
9	REFER TO ELECTRICAL CADD FOR AUTOMATIC FEEDS
10	REFER TO LAYOUT 6/15 FOR LAYOUT/LOCATION OF DEVICES.

EQUIPMENT LEGEND					
NO.	DESCRIPTION	W	O	H	ICMAB03
[1]	BY OWNER				
[2]					
[3]					
[4]					
[5]					
[6]					
[7]					
[8]					
[9]					
[10]					
[11]					
[12]					
[13]					
[14]					
[15]					
[16]					
[17]					
[18]					

POWER/COMMUNICATIONS LEGEND

	WALL MOUNTED DUPLEX OUTLET
	WALL MOUNTED 2 AMP DEDICATED CIRCUIT DUPLEX OUTLET
	WALL MOUNTED QUADRAPLEX OUTLET
	WALL MOUNTED DEDICATED DUPLEX OUTLET
	WALL MOUNTED DEDICATED QUADRAPLEX OUTLET (1) STANDARD DUPLEX & (1) ISOLATED GROUND DUPLEX
	WALL MOUNTED SIMPLEX
	WALL MOUNTED TELEPHONE OUTLET WITH BRACKET FOR MOUNT
	WALL MOUNTED DATA OUTLET - (1) CAT5 FOR DATA AND VOIP PHONE
	WALL MOUNTED COMBINATION TELEPHONE & DATA OUTLET
	WALL MOUNTED JUNCTION BOX
	INDICATES ABOVE CEILING MOUNTED RECEPTACLES WITH DEVICES AS INDICATED.
	INDICATES RECESSED BOX/POLE-THRU WITH DEVICES AS INDICATED.
	BASIC FLEX FOR SYSTEMS FURNITURE - PROVIDE OUTLETS - (1) ISOLATED GROUND DUPLEX W/ 1A & VOICE PER STATION, "Y" INDICATES NO OF STATIONS, "YC" INDICATES FLOOR COVER. ALL OTHERS WALL MOUNTED
	FLUSH MOUNT, INSTALL 1" AWAY, WORKSURFACE.
	COAXIAL CABLE RECEPTACLE (FOR T.V.)
	PUSH BUTTON ACCESS PANEL/ELECTRIC STRIKE. PROVIDE POWER AS REQUIRED.
	CARD READER
	ABOVE CEILING DUPLEX
	STUB UP. PROVIDE CONDUIT FOR ELECTRICAL & DATA WIRING.
	THERMOSTAT
	CLOCK RECEPTACLE
	POWER POLE
	INDICATES FLOOR MOUNTED RECEPTACLES WITH DEVICES AS INDICATED.
	AUTO SLIDING DOOR ACTUATORS
	FURNITURE WHIP - MINIMUM 1 QUA, 2 DATA CAT5
	TIME CLOCK
	WIFI LOCATION - POWER AND DATA CONNECTION
	KEYPAD/PO ACCESS POINT
	TELEVISION/MONITOR

ANNOTATIONS

	WALL MOUNTED DUPLEX OUTLET TYPICAL HEIGHT A.F.F. AS INDICATED, IF APPLIES
	EXISTING WALL MOUNTED DUPLEX OUTLET ("E" DENOTES EXISTING)
	EXISTING WALL MOUNTED DUPLEX OUTLET TO BE DEMOLISHED ("D" DENOTES DEMOLITION)
	EXISTING WALL MOUNTED DUPLEX OUTLET TO BE REMOVED AND RELOCATED ("R" DENOTES TO BE RELOCATED/RELOCATED AND RELOCATED)
	WALL MOUNTED GROUND FAULT INTERRUPT DUPLEX OUTLET
	WALL MOUNTED DUPLEX OUTLET MOUNTED HORIZONTALLY. SEE POWER/COMMUNICATIONS NOTES.
	WALL MOUNTED COMBINATION TELEPHONE/ DATA OUTLET ("W") INDICATES NUMBER OF LINES TO BE TERMINATED AT COMMUNICATIONS DEVICE.

SHEET NOTES

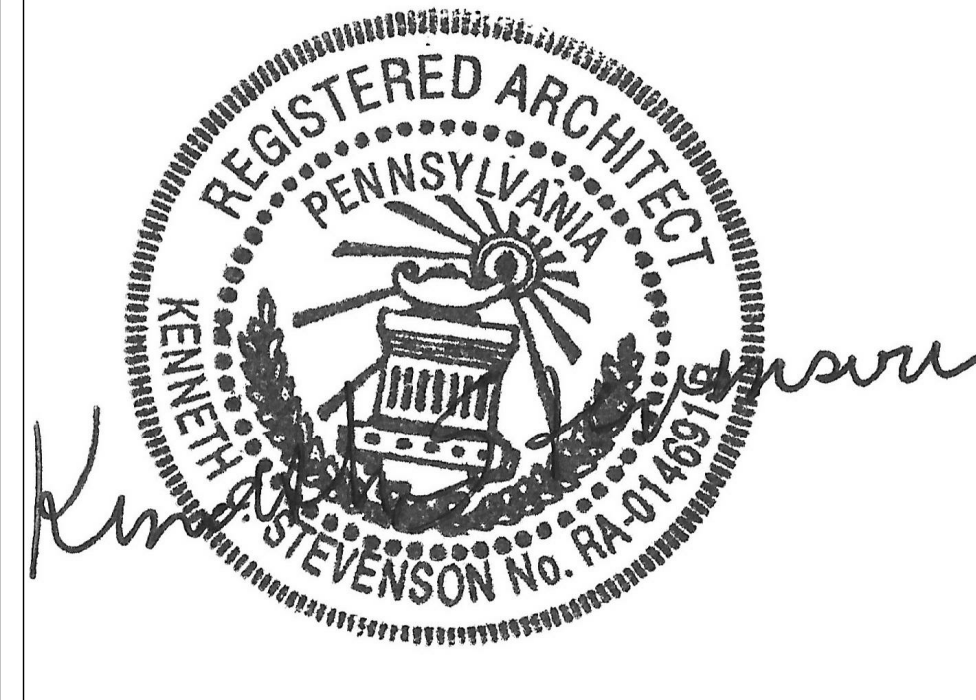
1. VENTRY REQUIRED RECEPTACLE TYPE WITH COMPERS & OTHER EQUIPMENT. COORDINATE ALL WORK RELATED TO EQUIPMENT WITH MANUFACTURERS RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.
2. INSTALL WALL MOUNTED OUTLETS IN ROOMS ABOVE FINISHED FLOOR. U.S. ALL DUPLEX OUTLETS MOUNTED ABOVE IF NOT MOUNTED HORIZONTAL/AT 48 INCHES U.S. ALL DUPLEX OUTLETS MOUNTED BELOW IF NOT MOUNTED HORIZONTAL/AT 48 INCHES U.S. ALL DUPLEX RECEPTACLE INSTALLS VERTICALLY. GROUNDING PUL AT BOTTOM U.S. OUTLETS NOTED AS HORIZONTAL/ MOUNTED SHALL HAVE GROUNDING PUL AT LEFT U.S. U.S. QUADRAPOLE OUTLETS TO BE INSTALLED VERTICALLY. U.S.
3. ELECTRICAL CONTRACTOR AND/OR ENGINEER SHALL FIELD VENTRY CONDITIONS.
4. ALL NEW WALL OUTLETS TO BE LOCATED CENTER OF CENTER OF WALL U.S. INDICATED DIMENSIONS ARE TO THE CENTER OF THE COVER PLATE. CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER. U.S. ON GANG COVER PLATES SHALL BE ONE-PHASE TYPE. U.S.
5. ADJACENT OUTLETS SHALL NOT BE GREATER THAN 6" OF APART U.S.
6. SECURITY TO BE COORDINATED WITH ALL OTHER SECURITY CONTRACTORS.
7. COORDINATE ARCHITECTURAL & MEP DRAWINGS AND RFI TO SYNERGIZE ANY INCONSISTENCIES OR QUESTIONS PRIOR TO PRICING.
8. NOT USED
9. OUTLETS SHOWN BACK TO BACK ON PARTITION WALLS SHALL BE OFFSET 1" MAXIMUM, OR MOUNTED AT DIFFERENT HEIGHTS IF NECESSARY.
10. FURNITURE, IF SHOWN, IS FOR REFERENCE ONLY AND IS NOT IN CONTRACT. U.S.
11. MAINTAIN A CLEAR HORIZONTAL CLEARANCE IN ALL DIRECTIONS MIN. FROM EDGE OF COVER PLATE TO WALL MOUNTED OUTLETS. MAINTAIN MIN. CLEARANCE FROM FLOOR MOUNTED OUTLETS WHICH ADJACENT TO WALL, COLUMN, OR SIMILAR ELEMENTS U.S.
12. OUTLETS INSIDE AND/OR ATTACHED TO CABINETS SHALL BE FURNISHED AND INSTALLED TO MATCH SIMILAR CONDITIONS SUCH AS WALL, FLOOR, AND THE LIKE. FURNISH AND INSTALL BOX EXTENSION OR OTHER APPROPRIATE DEVICES AS REQUIRED. DEVICES INSIDE CABINETS TO BE WHITE. DEVICES OUTSIDE OF CABINETS TO MATCH CABINETS.
13. ELECTRICAL CONTRACTOR TO MAKE COORDINATION WITH ALL OTHERS. FURNITURE SYSTEM DURING FURNITURE INSTALLATION. PRIOR TO OCCUPANCY.
14. PROVIDE POWER FOR HAND DRYERS, SPIN DISPENSERS, FACIUS FLUSH VALVES IN WOMENS ROOMS AND MEN AND WOMENS ROOMS. PROVIDE SINKS, SINKS, SINKS, LOCATION TO BE DETERMINED BY CLIENT.
15. ELECTRICAL DEVICES TO BE DECORATIVE DEVICES AND COVER PLATES. COLOR OF RECEPTACLES & SWITCH PLATE DEVICES TO BE WHITE ON PAINTED WALLS AND GRAY ON BLACK WALL. U.S. FLOOR BOOKS/COVERS TO BE BRUSHED STAINLESS. REFER TO FINISH PLANS FOR COLOR OF DEVICES ON NON-COLORED WALLS AND FLOOR. U.S. THERMOSTATS. REFER TO FINISH PLANS.
16. NOT USED
17. COORDINATE POWER REQUIREMENTS FOR AUTOMATIC DOORS, EXT. SIGNS & BLUE SAFETY DEVICES.
18. **SEE ENLARGED DETAIL DRAWINGS AS INDICATED FOR FURTHER INFORMATION ON QUANTITY AND LOCATION OF OUTLETS.**
19. COORDINATE PAGING AND PHONE REQUIREMENTS WITH OWNERS' VENDOR. VENDOR TO BE PROVIDED WITH LOCATIONS.
20. COORDINATE PRE-ALARM REQUIREMENTS WITH OWNERS' VENDOR.
21. TELEVISIONS OWNER.



STYER GROUP

412 DeKalb Street
Norristown, PA 19401

www.styergroup.com



ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.4600

INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

[illegible]

INDEPENDENCE
PLACE

Lobby Renovation

POWER & COMMS
PLAN

Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

A-201

Scale	As indicated
-------	--------------



INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

Scale	As indicated
-------	--------------

©Copyright 2020 Notice All Rights Reserved Styer & Associates, Inc.

① First Floor
1/8" = 1'-0"

Checked By AMT



INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

INDEPENDENCE
PLACE
Lobby Renovation
FINISH PLAN

Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

A-401

Scale	As indicated
-------	--------------

SHEET NOTES

1. ALL HOLLOW METAL FRAMES SHALL BE PAINTED THE SAME COLOR AS THE WALLS IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE, AND SHALL BE IN A SEMI-GLOSS FINISH.
2. ALL WALLS AND CEILING SHALL BE FINISHED TO THE SATISFACTION OF THE OWNER FOR MAINTENANCE OF WOOD, CARPET, VENT, AND ALL PRODUCTS SPECIFIED UPON SUBSTANTIAL COMPLETION OF PROJECT OR PUNCH LIST WALK THROUGH.
3. ALL FINISH MATERIAL CHANGES SHALL OCCUR AT THE CENTERLINE OF THE DOORS EXCEPT WHERE NOTED OTHERWISE. COORDINATE FLOORING SEAM LOCATIONS WITH SWING AND LOCATION OF DOORS.
4. WALL MILLWORK WALLS TO HAVE 1/2" INTEGRAL HARDWOOD BASE WITH FACE ALIGNED TO WALL.
5. PREP AND PAINT INTERIOR OF EXISTING WALLS, DOORS, FRAMES, AND EXPOSED CEILING IN AREAS INCLUDED IN SCOPE.
6. PAINT EXISTING AND NEW EXPOSED CEILING AND CEILING MOUNTED EQUIPMENT. PROTECT/WRAP EXISTING HEATERS TO REMAIN AND REMOVE UPON COMPLETION.
7. FINISH.
8. SEE FINISH PLAN AND ENLARGED DRAWINGS FOR FINISH LOCATIONS. SEE RCP FOR GVB AND OPEN CEILING LOCATIONS TO BE PAINTED.
9. SELF-LEVELING COMPOUND TO BE INSTALLED THROUGHOUT AREAS TO RECEIVE NEW TILE. MAXIMUM ALLOWABLE CRACKS SHALL BE NO MORE THAN 1/8" AND 1/16" IN 36" WHEN THEN BED DRYEPOLY MORTAR IS USED. THE VARIATION CAN BE NO MORE THAN 1/16" IN 36" WITH NO ABRUPT IRREGULARITIES PER SECTION 912.122.
10. ALL CRACKS AND HOLES WITHIN NEW AND EXISTING GVB PARTITIONS TO TO BE FILLED. ALL CRACKS IN CONCRETE FLOORS TO BE FILLED AND FLOOR TO BE FULLY PREPARED TO RECEIVE NEW GVB POLY COATING.
11. NEW SUB INTERSECTION.
12. PROVIDE EXPANSION JOINTS AND CRACK ISOLATION MEMBRANES AT EXISTING AND NEW SUB INTERSECTION.
13. SEE ENLARGED DWGS FOR ALL WALL, TILE LOCATIONS IN RESTROOMS AND KITCHENETTES.
14. PROVIDE STAINLESS STEEL SILLER AT ALL TRANSITIONS BETWEEN CHANGE IN TILE, RUBBER AND CARPETING SURFACES. UP. SEE DETAILED THIS.
15. GVB FINISHED AND EXPOSED CEILINGS TO BE PAINTED #7.
16. SEE LEVELLED FLOORS AT ALL GLAZING AND PARTITION DOORS & WALLS TO ACCEPT SCHEDULED GLAZING DM.
17. SEE ENLARGED PLANS, DETAILS, & ELEVATIONS FOR WALL FINISHES, LOCATIONS, AND TERMINATIONS.
18. SEE DETAIL A THIS SET FOR TRANSITION DETAILS.
19. ALL MILLWORK IS TO LOC.
20. THE INSTALLER TO USE "PROGRESS PROFILES PROLEVELING SYSTEM" FOR INSTALLATION OF ALL VCL.
21. "THE BASE TO BE INSTALLED AT ALL THE FLOOR LOCATIONS. RUBBER BASE AT CARPET AND VCL.

KEY NOTES - FINISHES	
1	FLOORING N.I.C. IN THIS ROOM
2	EXISTING EXPOSURE JOINT COVER AND COMPRESSIBLE FILLER TO BE REMOVED AND REPLACED WITH NEW AS SPECIFIED UNDER J. BLUM CO., INC.
3	EXISTING SUBSTRATE TO BE INVESTIGATED AFTER REMOVAL OF EXISTING FINISHES. NOTIFY STYERGROUP UPON REMOVAL OF EXISTING FINISHES. VARIOUS INCONSISTENCIES WITH EXISTING FINISHES. PROVIDE ALLOWANCE FOR FLOOR LEVELING OF FINISHES CENTER AND ADMINISTRATION AREA.
4	COMPLETELY LEVEL FLOOR TO FITCESS, LARGE FORMATE THROUGHOUT LOBBY. SEE FINISH PLAN FOR EXTENT.
5	PAINT ALL WALLS THAT DO NOT EXTEND TO NEXT LEVEL. PAINT NEW CEILING.
6	PAINT EXPANDED COLUMNS AND TIE STEEL. TO MATCH BRONZE PROJECT SAMPLE IN SATIN FINISH.

*** CONTRACTOR TO PROVIDE ALLOWANCE FOR ALL MATERIALS NOT SPECIFIED WITH A SQUARE FOOT PRICING IDENTIFIED PER PRODUCT**

GENERAL NOTES

For Polished Porcelain:
• Apply Aqua-Mix Sealer in a pre-grout (follow manufacturer's instructions for application process).
• DuPont Stone-Tite Professional Buff Proof
• Aqua-Mix Sealer

Recommended Sealers: Post-Grout Buff Proof (follow manufacturer's instructions for application process).
• DuPont Stone-Tite Professional Impregnator Pro
• Aqua-Mix Sealers

For Un glazed Matte Porcelain:
Recommended grout release products. Follow manufacturer's instructions for application process.
• DuPont Stone-Tite Professional Impregnator Pro
• Aqua-Mix Grout Release

Recommended Sealers (Follow manufacturer instructions for application process).
• DuPont Stone-Tite Professional Impregnator Pro
• Aqua-Mix Sealers

Grout Options:
• Custom Building Products-Prism fast setting grout (cement based)
• Custom Building Products- Cement Based Grout
• Available: Polyblend & Stan blocker for Grout(Guards)
• Custom Building Products-Fusion Pro (Stain Resistant, No Sealing Needed)

TILE MAINTENANCE NOTES

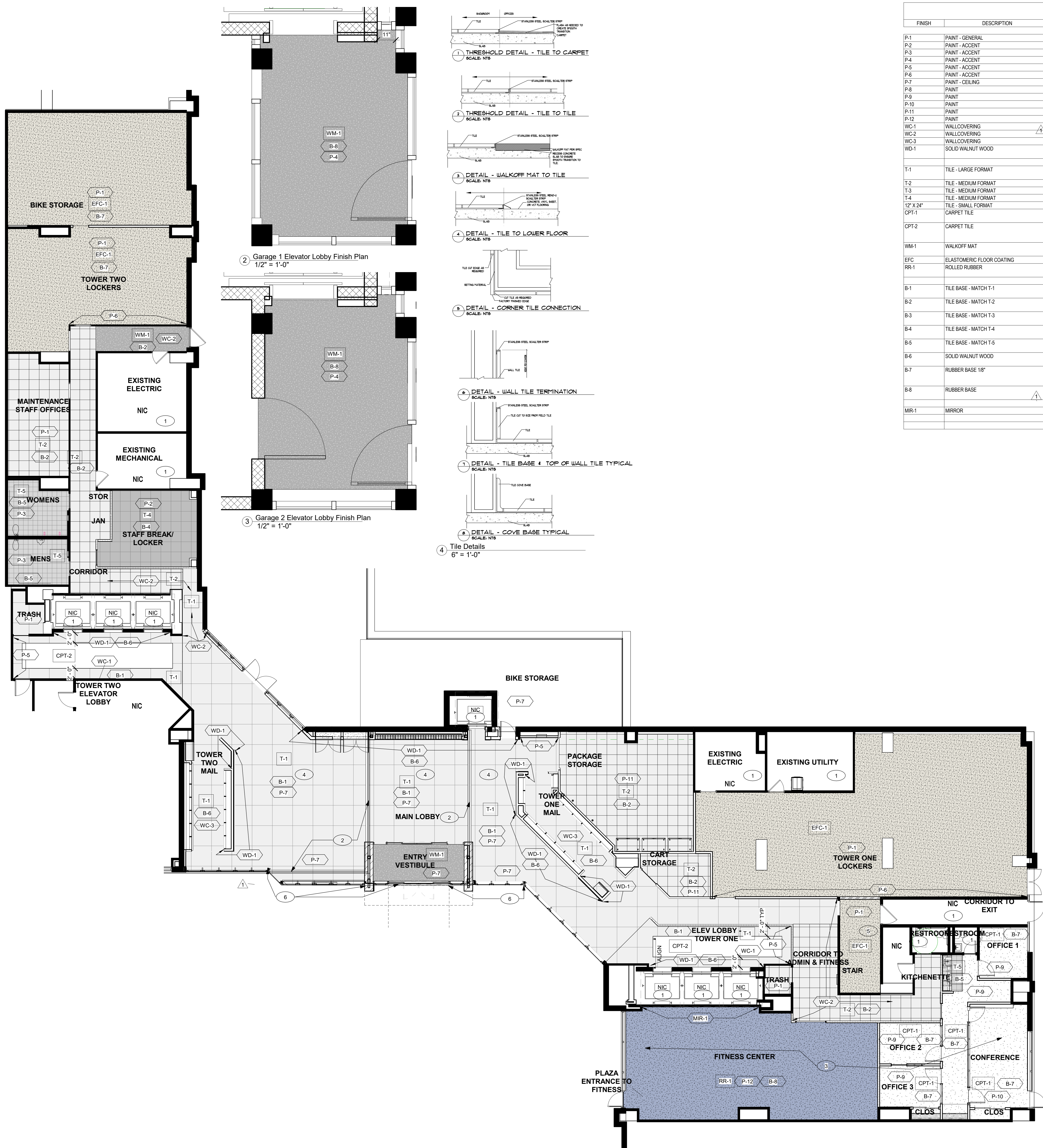
Product Recommendation: Aqua Mix "Concentrated Stone & Tile Cleaner"
Equipment: Sweep, synthetic mop, white nylon scrub brush, white cotton towels and bucket with water.
Coverage: Approximately 10,000 - 20,000 sq. ft. per gallon
Procedure:
1. Sweep or vacuum surface.
2. Mix 2 to 4 ounces of "Concentrated Stone & Tile Cleaner" per gallon of water.
3. Apply solution onto entire surface.
4. For highly soiled areas, allow solution to dwell 3 to 5 minutes.
5. Do not allow cleaning solution to dry on surface. Apply additional solution if necessary.
6. Agitate with a white nylon scrub brush or scrub pad by hand or using a floor scrub machine.
7. Completely mop up with dry solution. Best to extract dirty solution with a wet/dry vac.
8. Rinse thoroughly with clean water, changing water every 200 - 400 sq. ft. as needed.
9. Polish dry with cotton towels.

Product Recommendation: Aqua Mix "Heavy-Duty Tile & Grout Cleaner"
Equipment: Synthetic mop and bucket with wet/dry and scrub brush or scrub machine utilizing white nylon pad or soft bristle brush.
Coverage: Approximately 500 - 600 sq. ft. per gallon
Procedure:
1. Sweep or vacuum surface.
2. Mix 1 part of "Heavy-Duty Tile & Grout Cleaner" to 4 parts water.
3. Apply solution onto surface.
4. Allow cleaning solution to dwell 3 to 5 minutes on highly soiled areas.
5. Do not allow cleaning solution to dry on surface. Apply additional solution if necessary.
6. Agitate with a white nylon scrub brush or pad by hand or using a floor scrub machine.
7. Completely mop up with dry solution. Best to extract clean water with a wet/dry vac.
8. Rinse thoroughly with clean water, changing water every 100 sq. ft. as needed.
9. Polish dry with cotton towels.

These recommendations are intended as general guidelines for the care and maintenance of polished and unpolished porcelain tile. The actual product dilution ratios and maintenance requirements may vary depending on the specific tile and grout used. The area. READ PRODUCT DIRECTIONS. **THOUGHLY PRIOR TO USE. ALWAYS TEST FIRST.**

These recommendations are intended as general guidelines for the care and maintenance of polished and unpolished porcelain tile. The actual product dilution ratios and maintenance requirements may vary depending on the use and contaminants common to the area. READ PRODUCT DIRECTIONS THOROUGHLY PRIOR TO USE. ALWAYS TEST FIRST.

©Copyright 2020 Notice All Rights Reserved Styer & Associates, Inc.



① **Finish Plan**
1/8" = 1'-0"



412 DeKalb Street
Norristown, PA 19401

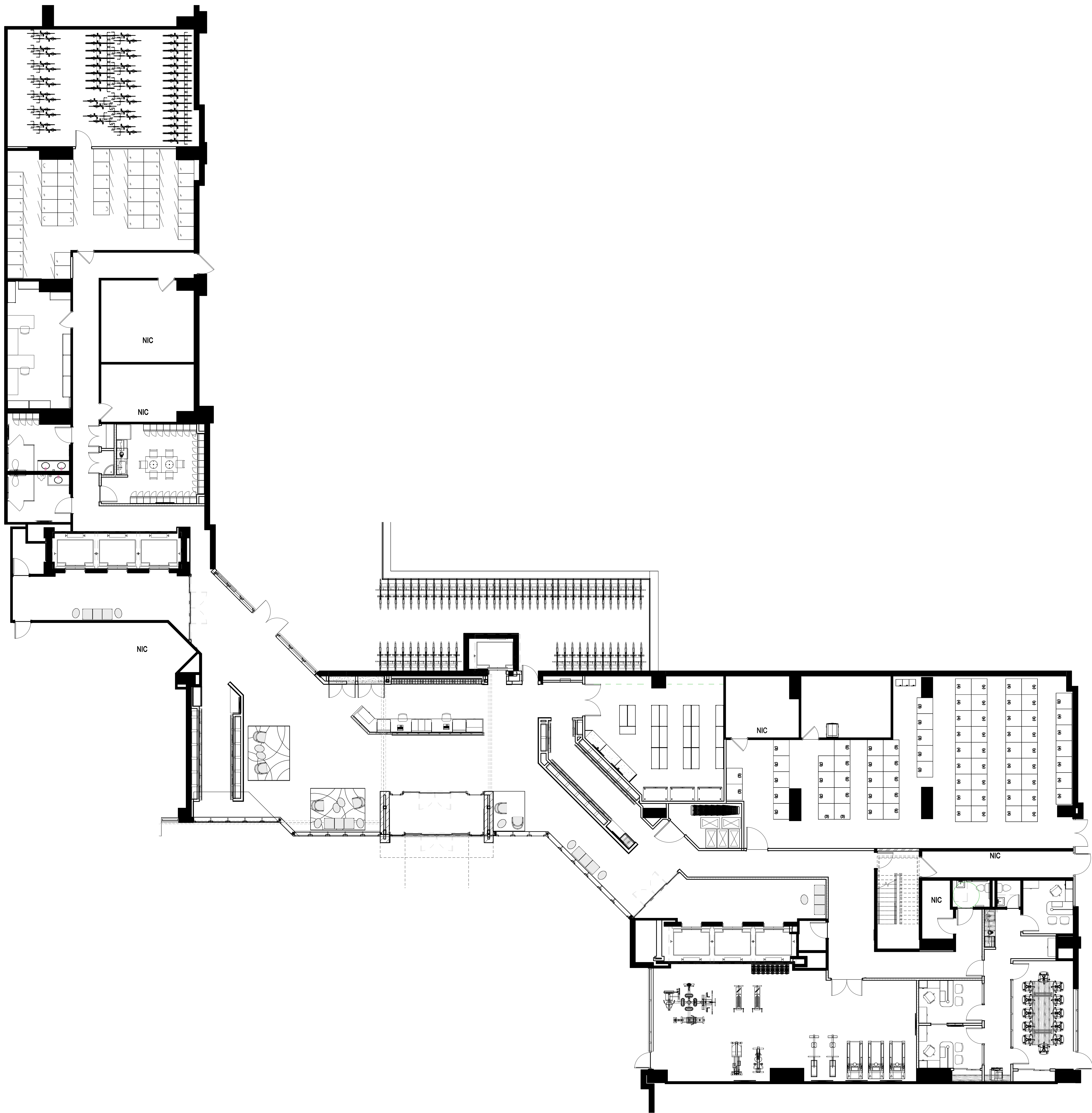
www.styergroup.com



INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900



① First Floor - FFE PLAN
1/8" = 1'-0"

KEY NOTES - FURNITURE	
1	TELEVISION
2	MOTORIZED BIKE PUMP, BLACK & DECKER AIR STATION AS1300 INFLATOR
3	PROVIDE AND INSTALL NEW 30X36" LOCKER UNITS. NUMBER INDICATES NUMBER OF UNITS HIGH PER LOCATION.
EXIST	EXISTING STORAGE LOCKERS TO REMAIN
REL	RELOCATE EXISTING STORAGE LOCKERS AS SHOWN TO ACCOMMODATE NEW LAYOUT.

[illegible]

INDEPENDENCE PLACE

Lobby Renovation

FURNITURE,
FIXTURES, &
EQUIPMENT PLAN

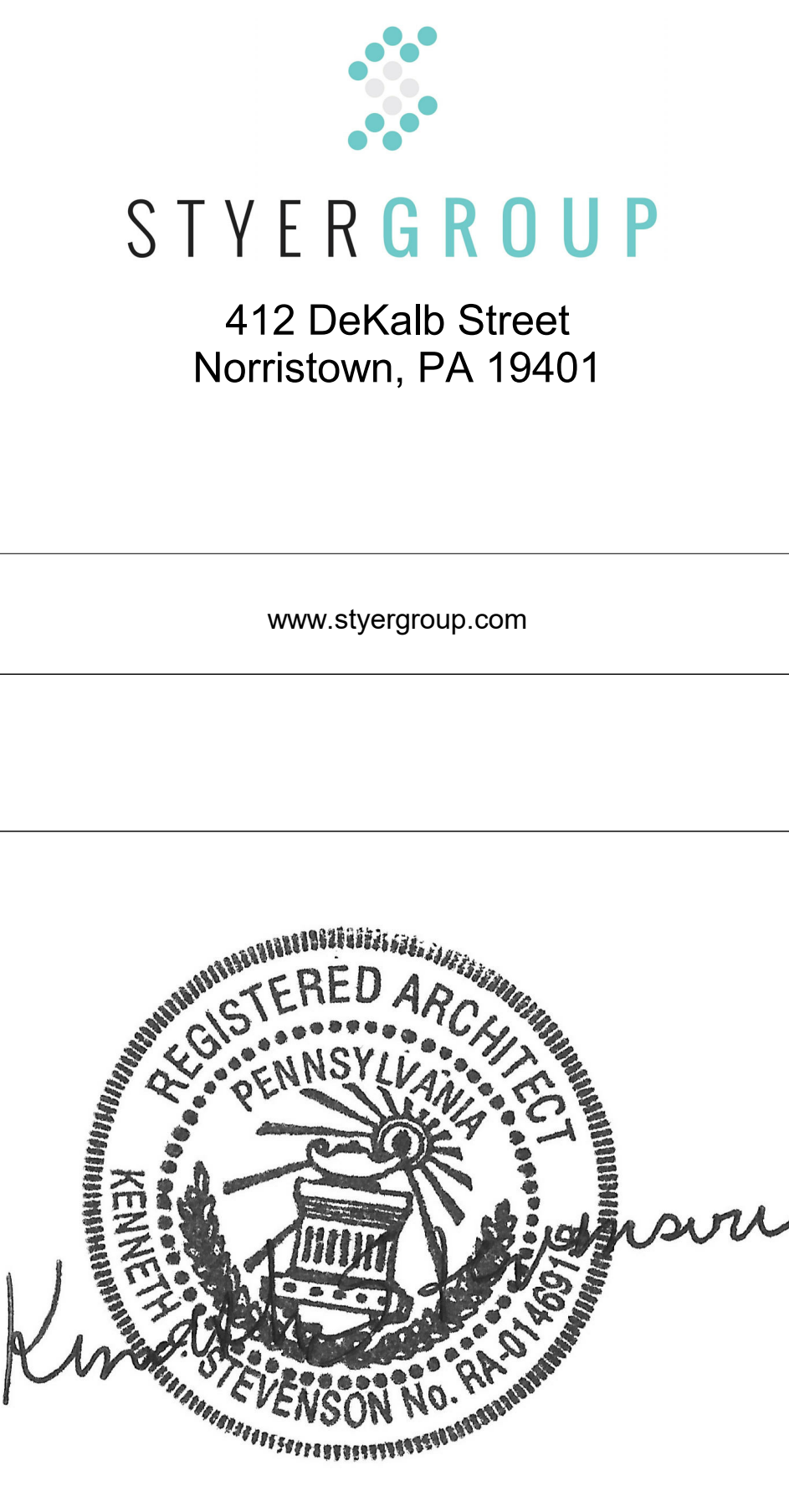
Project Number	1921
Date	10/19/2020
Drawn By	MRH
Checked By	AMT

A-501

Scale $1/8" = 1'-0"$

Door	Locations	Type	Size	Door Material	Frame Material	Rating	Hardware Set	Notes
100	Vestibule	Stanley Dura-Glide 200AG-BP	12' x 7'-8"	Glass Tempered	Aluminum	-	1	Dark Bronze
100.1	Vestibule	Stanley Dura-Glide 200AG-BP	12' x 7'-8"	Glass Tempered	Aluminum	-	1	Dark Bronze
102	Lobby to Rear Deck	Double Full Glass- Exterior	6'-0" x 7'-0"(PR)	1/2" Tempered Glass	Curtain Wall	-	2	
104	Elevator Lobby - Tower Two	Stanley Dura-Glide 200AG-BP	12' x 7'-8"	Glass Tempered	Aluminum	-	1	Dark Bronze
104.1	Elevator Lobby to Corridor	Hinged	3'-0"x7'-0"	HM	HM	1 hr	11	
105	Trash	Hinged	3'-0"x7'-0"	HM	HM	1 hr	11	
106	Corridor to Exterior	Hinged	3'-8"x7'-0"	HM	HM	1 hr	14	
107	Mens	Hinged	3'-0 x 7'-0"	HM	EXST	-	7	
108	Womens	Hinged	3'-0 x 7'-0"	HM	HM	-	7	
109	Staff Break/Locker	Hinged	3'-0 x 7'-0"	HM	HM	-	7	
110	Janitor	Double - Hinged	6'-0 x 7'-0"	HM	HM	-	12	
111	Storage	Double - Hinged	6'-0 x 7'-0"	HM	HM	-	12	
115	Tower Two Locker	Exst	Exst	Exst	Exst	Exst	13	Coordinate with Security
116	Bike Storage	Hinged	3'-0"x7'-0"	HM	HM	1 hr	13	Coordinate with Security
117	Lobby to Bike Storage	Hinged	3'-0"x7'-0"	HM	HM	-	14	
118	Packages	Double - Hinged	6'-0 x 8'-0"	Solid Core Walnut	HM	1 hr	5	
119	Cart/Storage	Hinged	4'-0 x 8'-0"	Solid Core Walnut	Walnut Wood	-	6	
122	Lockers	Hinged	4'-0 x 7'-0"	HM	HM	1 hr	13	
123	Elevator Lobby - Tower One	Stanley Dura-Glide 200AG-BP	12' x 7'-8"	Glass Tempered	Aluminum	-	1	Dark Bronze
125	Stair	Hinged	3'-0" x 6'-8"	HM	HM	2hr	13	Coordinate with Security
127	Trash	Hinged	3'-0"x7'-0"	HM	HM	1 hr	11	
128	Fitness Center	Double Hinged	6'-0" x 7'-0"(PR)	Solid Core Walnut	HM	-	5	
129	Fitness Center to Exterior	Exst	Exst	Exst	Exst	-	*	New electric strike wired to new fob access device. Coordinate with Security
130	Office 3	Hinged	3'-0 x 7'-0"	Solid Core Walnut	Aluminum	-	8	
131	Closet	Sliding-bypass	5'-0 x 7'-0" (Pr 2'-6")	Solid Core Walnut	GWB	-	10	
132	Office 2	Hinged	3'-0 x 7'-0"	Solid Core Walnut	Aluminum	-	8	
132.1	Office 3 to Office 2	Pocket Door	3'-0"x7'-0"	Solid Core Walnut	Walnut Wood	-	9	
133	Admin to Corridor	Hinged	3'-0"x7'-0"	Solid Core Walnut	Aluminum	1 hr	6	
135	Restroom	Hinged	3'-0 x 7'-0"	HM	HM	-	7	
137	Office 1	Hinged	3'-0 x 7'-0"	Solid Core Walnut	Aluminum	-	8	
139	Conference	Hinged	3'-0 x 7'-0"	Solid Core Walnut	Aluminum	-	8	
139.1	Conference	Hinged	3'-0 x 7'-0"	Solid Core Walnut	Aluminum	-	8	
140	Closet	Sliding-bypass	6'-0 x 7'-0" (Pr 3'-0")	Solid Core Walnut	GWB	-	10	
G100	Garage Elevator Lobby 1	Storefront	3'-0 x 7'-0"	Aluminum/Glass	Aluminum	-	15	Clear Anodized
G200	Garage Elevator Lobby 2	Storefront	3'-0 x 7'-0"	Aluminum/Glass	Aluminum	-	15	Clear Anodized

ROW	QTY	UNIT	DESCRIPTION	PRODUCT NUMBER	FINISH	MANUFACTURER
1	EA		DOOR VENEREY DOR VENDOR		US108	-
2	EA		CONCEALED FLOOR CLOSER	MODEL 28-454 ARM	816S	RYSON
2	EA		10" BOTTOM RAIL, 4" BOTTOM RAIL	KEYLOCK KICK INBASE	816L	-
2	SETS		STOP AND OFFSET FULL SET	CRN_28568R2	BRZ	CHLAIRANCE
1	EA		DOOR SET: 04 PER LEAF			
3	EA		HINGES	FBB-191.4.5X4.5	643	STANLEY
1	EA		STORCEROM	NDB01 ATH	US108	SCHLAGE
1	EA		FLOOR STOP	1461 HCSHJ	613E	LCN
1	EA		FLOOR STOP	4441	US280	ROCKWOOD
1	EA		KICK PLATE	8400 8" X 2" L/W	643	IVES
1	EA		SET SEALS 50508	BRN NAT GUARD PROF	643	IVES
1	EA		MOF PLATE	8400 8" DOR WIDTH	643	IVES
1	EA		DOOR SET: 04			
3	EA		FULL MORTISE BUT HINGES	4.5X4 NMP	643	STANLEY
1	EA		HOROBOL WITH THUMBTURN	4060-61.33	613E	ADAMS RITE
1	EA		SWAGE SURFACE CLOSER	1461 HCSHJ	613E	LCN
1	EA		FLOOR STOP	4441	US280	ROCKWOOD
1	EA		SMART STRIPPING PACKAGE	1" DIA	643	YKK
1	EA		WEATHER STURPING PACKAGE			BLACK YKK
1	EA		DOOR SET: 05			
6	EA		HINGES	FBB-191.4.5X4.5	643	STANLEY
1	EA		STORCEROM	NDB01 ATH	US108	SCHLAGE
1	EA		DUMY	NDB170 ATH	US108	SCHLAGE
1	EA		COORDINATOR	1461 HCSHJ	613E	LCN
1	EA		MANUAL FLUSH BOLT	#520	US108	ROCKWOOD
1	EA		SWAGE SURFACE CLOSER	1461 SCUSHJ	613E	LCN
1	EA		MOF ASTRAL MATCH DOOR	7170	613E	ADAMS RITE
1	EA		FLOOR STOP	4441	US108	IVES
1	EA		KICK PLATE	8400 8" X 2" L/W	643	IVES
1	EA		SET SEALS 50508	BRN NAT GUARD PROF	643	IVES
1	EA		MOF PLATE	8400 8" DOR WIDTH	643	IVES
1	EA		DOOR SET: 06			
3	EA		HINGES	FBB-191.4.5X4.5	643	STANLEY
1	EA		STORCEROM	NDB01 ATH	US108	SCHLAGE
1	EA		CONCEALED OVERHEAD CLOSER	7170	613E	LCN
1	EA		ELECTRIC STRIKE	7030	613E	ADAMS RITE
1	EA		FLOOR STOP	4441	US280	ROCKWOOD
1	EA		FLOOR STOP	4441	US280	ROCKWOOD
1	EA		SET SEALS 50508	BRN NAT GUARD PROF	643	IVES
1	EA		MOF PLATE	8400 8" DOR WIDTH	643	IVES
1	EA		DOOR SET: 07			
3	EA		HINGES	FBB-191.4.5X4.5	643	STANLEY
1	EA		STORCEROM	NDB01 ATH	US280	SCHLAGE
1	EA		SWAGE SURFACE CLOSER	1461 SCUSHJ	689	LCN
1	EA		FLOOR STOP	4441	US280	ROCKWOOD
1	EA		MOF PLATE	8400 8" DOR WIDTH	643	IVES
1	EA		DOOR SET: 08			
3	EA		HINGE	FBB-191.4.5X4.5	280	STANLEY
1	EA		OFFICE ENTRANCE	NDB01 ATH	630	STANLEY
1	EA		FLOOR STOP	4441	US280	ROCKWOOD
1	EA		DOOR SET: 09			
3	EA		POCKET DOOR HARDWARE	9028	US280	HAGER
1	EA		MORTISE LOCKING HARDWARE	2115.13.58	613E	ADAMS RITE
1	EA		DOOR SET: 10			
1	EA		BYPASS SLIDING DOOR KIT	406666		STANLEY
1	EA		DOOR SET: 11			
3	EA		HINGES	FBB-191.4.5X4.5	643	STANLEY
1	EA		PASSAGE	NDB01 ATH	US108	SCHLAGE
1	EA		SWAGE SURFACE CLOSER	1461 HCSHJ	613E	LCN
1	EA		FLOOR STOP	4441	US280	ROCKWOOD
1	EA		KICK PLATE	8400 8" X 2" L/W	643	IVES
1	EA		SET SEALS 50508	BRN NAT GUARD PROF	643	IVES
1	EA		MOF PLATE	8400 8" DOR WIDTH	643	IVES
1	EA		DOOR SET: 12			
6	EA		HINGES	FBB-191.4.5X4.5	280	STANLEY
1	EA		HOROBOL WITH THUMBTURN	NDB01 ATH	613E	LCN
1	EA		DUMY	NDB170 ATH	US280	SCHLAGE
1	EA		COORDINATOR	1461 HCSHJ	613E	LCN
1	EA		MANUAL FLUSH BOLT	#520	US108	ROCKWOOD
1	EA		SWAGE SURFACE CLOSER	1461 SCUSHJ	613E	LC



ARCHITECT
KAJ Architects, LLC
Kenneth C. Stevenson, R.A.
412 DeKalb Street
Norristown, PA 19001
Phone: 610.275.4600

INTERIOR DESIGN
Styer & Associates, Inc.
Amy Tahtabrounian
412 DeKalb Street
Norristown, PA 19401
Phone: 610.275.6000

STRUCTURAL ENGINEER
SDA - Structural Design Associates, Inc.
Andrew G. Sheerer, P.E.
533 West Uwchlan Avenue, Suite 201
Downingtown, PA 19335
Phone: 610.458.4470

MEP ENGINEER
IVD, Inc.
Marty Jordan
395 Circle of Progress
Pottstown, PA 19464
Phone: 484.941.5900

[illegible]

INDEPENDENCE PLACE

Lobby Renovation

DOOR AND HARDWARE SCHEDULE

Project Number	1921
----------------	------

Date 10/19/2020

Drawn By MRH

Checked By	Checker
------------	---------

A-601

Scale $\frac{3}{4}" = 1'-0"$