

January 20th, 2021

Ms. Beige Berryman, AICP
City of Philadelphia Art Commission
One Parkway Building
1515 Arch Street, 13th Floor
Philadelphia, PA 19102

Sent by Email to:
artcommission@phila.gov

Dear Ms. Berryman,

Re: School District of Philadelphia: 2020/2021 Classroom Modernization projects

F. Amedee Bregy Elementary School, 1700 Bigler Street, Philadelphia, PA 19147

I am writing to request an Administrative Review by the Philadelphia Art Commission of the above classroom modernization project at the Bregy Elementary School.

The proposed work is entirely on the interior of the building and provides for the modernization of ten classrooms in support of the District's Action Plan for improving reading outcomes for its elementary students. The work is comprised of new finishes, new cabinetry, new door hardware, and electrical, lighting, and technology upgrades for the ten classrooms. The School District's goal is to carry out construction of the project during this summer's recess.

I have enclosed one set of 11x17 size architectural drawings describing the work in detail together with interior and exterior photographs each in digital PDF format.

Please let me know if there is any other information you require in order to perform your Administrative Review.

Sincerely,



Geoffrey J. Chalkley RIBA
Senior Associate, The Sheward Partnership
Email: gjc@tsparch.com

c.c. Gamil Hall, Project Manager, School District of Philadelphia
David Scheuermann AIA, Principal, The Sheward Partnership



AERIAL SITE PLAN



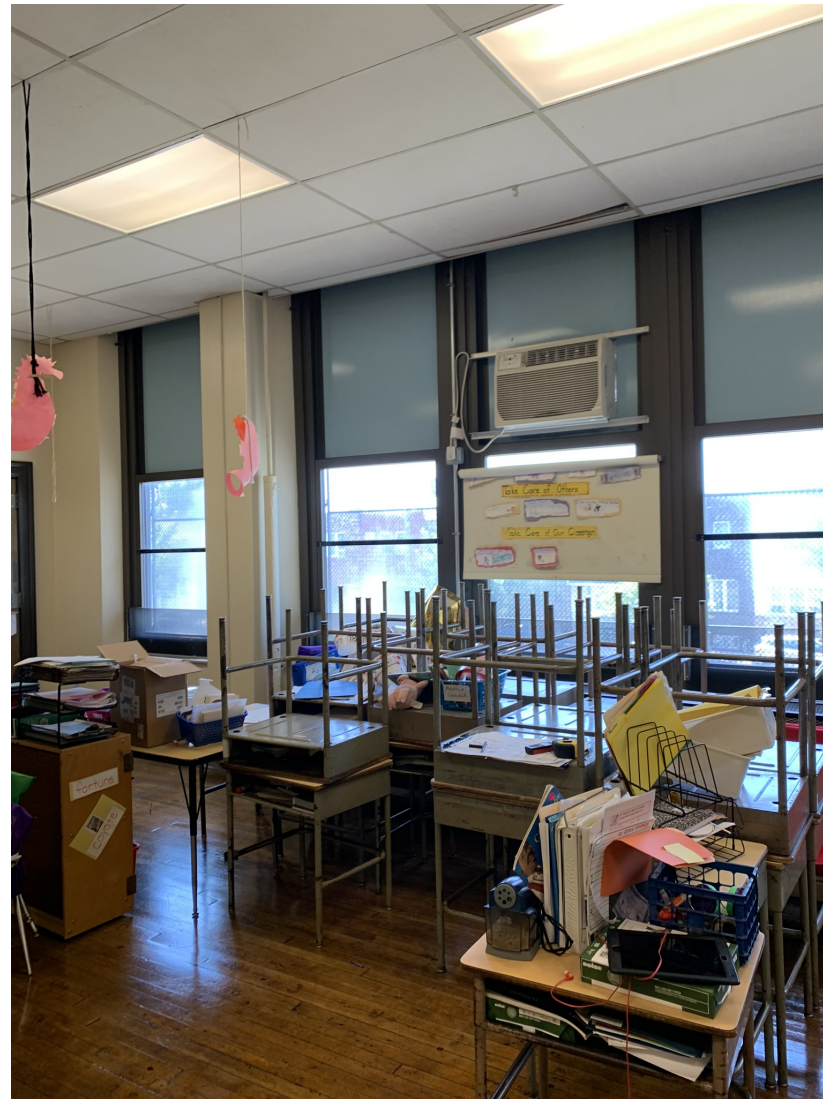
BIRD'S EYE VIEW FROM EAST

MAIN ENTRANCE OFF OF SOUTH 17TH STREET



CORNER OF SOUTH 17TH STREET & BIGLER STREET

TYPICAL EXISTING CLASSROOM INTERIORS



TYPICAL EXISTING CLASSROOM INTERIORS





THE SCHOOL DISTRICT OF PHILADELPHIA

AMEDEE F. BREGY ELEMENTARY SCHOOL

1700 BIGLER STREET, PHILADELPHIA, PA 19147

CLASSROOM MODERNIZATION

General Construction: SDP Project No. B-031 C of 2020/21
Electrical: SDP Project No. B-033 C of 2020/21

Bid Document Submission: January 8, 2020

OWNER

SCHOOL DISTRICT OF PHILADELPHIA
440 North Broad
Philadelphia, PA 19130-4015
Phone: 215-400-4740
Fax: 215-400-4731
Email: nward@philasd.org
Attn: Nicole Ward, Design Manager
Office of Capital Programs
www.philasd.org

DESIGN DISCIPLINE TITLE

THE SHEWARD PARTNERSHIP
2300 CHESTNUT STREET
PHILADELPHIA, PA 19103
Phone: 215-751-9301
Fax: 215-751-9302
Email: gjc@sparch.com
Attn: Geoff Chalkley

DESIGN DISCIPLINE TITLE

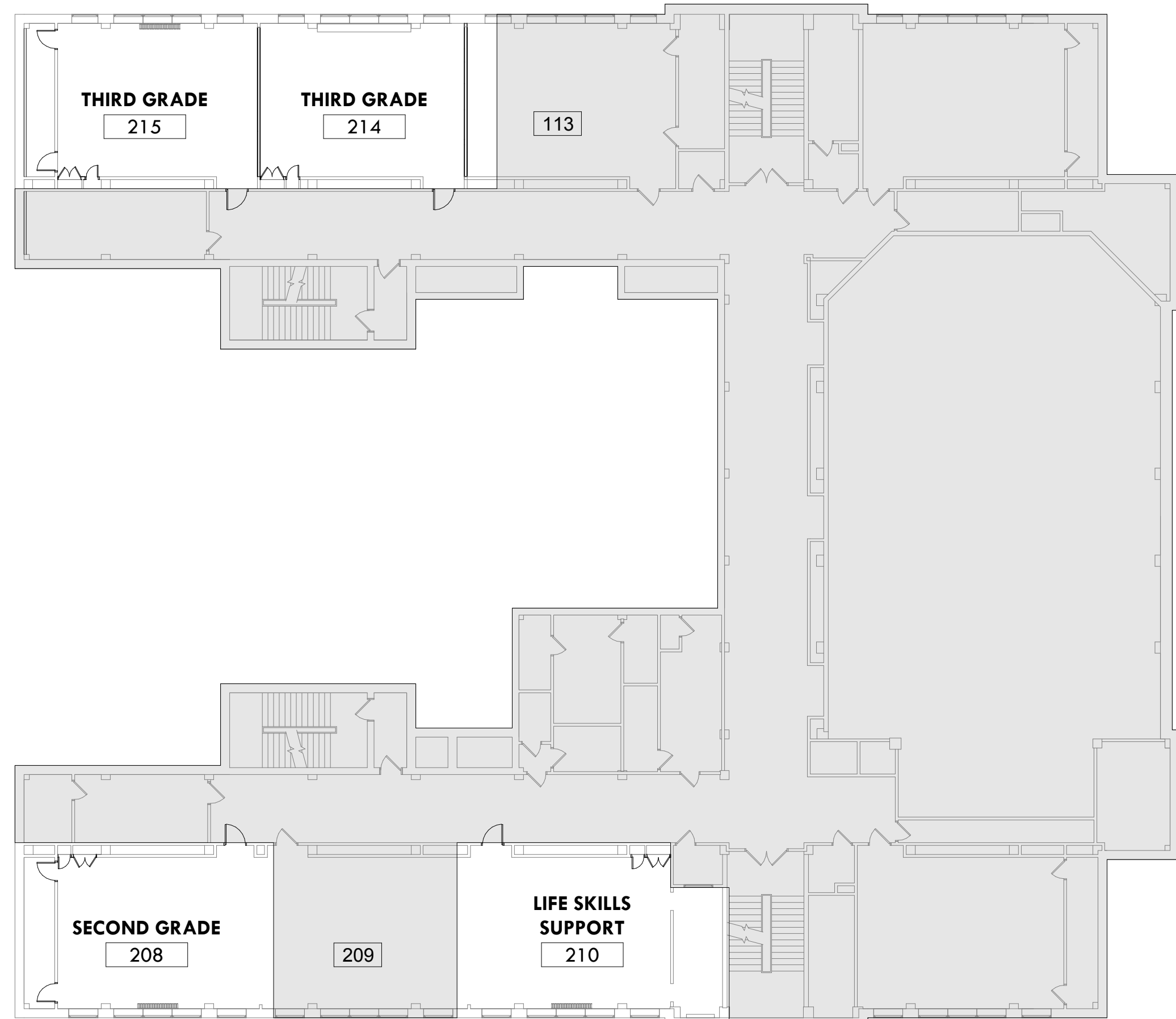
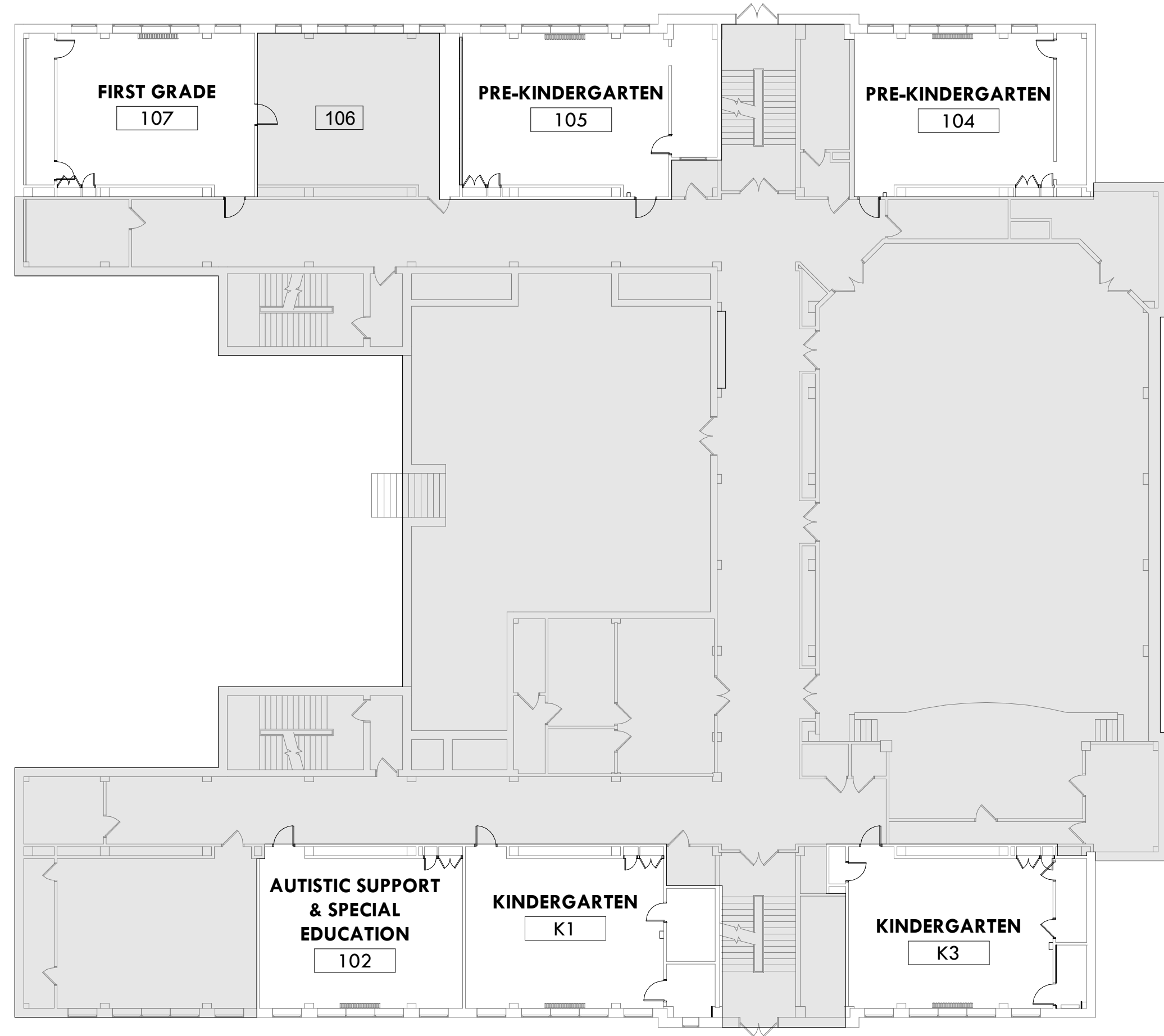
PRINCETON ENGINEERING
101 Morgan Lane
Suite 205, Plainsboro, NJ 08536
Phone: 609-452-9700
Fax: 609-452-9701
Email: SA@princetonengineering.services
Attn: Sanjeev Agarwal

ABBREVIATIONS

AB	AIR BARRIER	IPB	INTERACTIVE PANEL BOARD
ABV	ABOVE	LT	LIGHT WEIGHT CONCRETE
ACT	ACOUSTICAL CEILING TILE	LVR	LOUVER
AFF	ABOVE FINISHED FLOOR	MACH	MACHINE
ALUM	ALUMINUM	MATL	MATERIAL
APPROX	APPROXIMATELY	MAX	MAXIMUM
ARCH	ARCHITECTURAL	MAS	MASONRY
BM	BEAM	MECH	MECHANICAL
BLKG	BLOCKING	MIN	MINIMUM
BLDG	BUILDING	MTD	MOUNTED
BO	BOTTOM OF	MTL	METAL
CFMF	COLD FORMED METAL FRAMING	N/A	NOT APPLICABLE
CLS	CEILING	NI	NOT IN CONTRACT
CHAN	CHANNEL	NO	NUMBER
CIP	CAST-IN-PLACE	NTS	NOT TO SCALE
CJ	CONTROL JOINT	OC	ON CENTER
CMU	CONCRETE MASONRY UNIT	OH	OPPOSITE HAND
COL	COLUMN	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PLUMB	PLUMBING
CONT	CONTINUOUS	PT	PAIN, OR PRESERVATIVE TREATED
DIA	DIAMETER	PTD	PAINTED
DM	DIMENSION	RS	RISERS
DK	DECK	RD	ROOF DRAIN
DN	DOWN	RF	ROOF
DR	DOOR	RM	ROOM
DTL	DETAIL	RM	ROOM
DWGS	DRAWINGS	SOH	SIMILAR
EL	ELEVATION	SS	SIMILAR OPPOSITE HAND
ELEC	ELECTRICAL	SS	STAINLESS STEEL
EQUIP	ELECTRICAL EQUIPMENT	SST	SOLID SURFACE MATERIAL
EXP JT	EXPANSION JOINT	STL	STEEL
FE	FIRE EXTINGUISHER	STOR	STORAGE
FN	FINISH	STRUCT	STRUCTURAL
FD	FIXTURE	SUSP	SUSPENDED
FLR	FLOOR DRAIN	T	TREAD
FRMG	FRAMING	TG	TEMPERED GLASS
FRT	FIRE-RETARDANT TREATED	THK	THICK
GA	GAUGE	TME	TO MATCH EXISTING
GALV	GALVANIZED	TOP	TOP OF
GWB	GYPSON WALLBOARD	TYP	TYPICAL
HC	HANDICAPPED	UNO	UNLESS NOTED OTHERWISE
HDW	HARDWARE	UL	UNDERWRITER LABORATORY
HP	HIGH POINT	VB	VINYL BASE
HM	HOLLOW METAL	VCT	VINYL COMPOSITE TILE
HR	HOUR	VERT	VERTICAL
HSS	HOLLOW STRUCTURAL SECTION	VIF	VERIFY IN FIELD
HT	HEIGHT	VP	VISION PANEL
IAW	IN ACCORDANCE WITH	W	WOOD
INFO	INFORMATION	WD	WOOD
INSUL	INSULATION/ INSULATED	W/O	WITHOUT
		WP	WEATHERPROOF
		WPG	WATERPROOFING
		WRB	WATER-RESISTIVE BARRIER

SYMBOLS

	1 A101	SIM	CALLOUT REFERENCE
	1 A101	SIM	BUILDING SECTION REFERENCE
	1 A101	SIM	WALL SECTION REFERENCE
	1 A101	SIM	DETAIL REFERENCE
	0		GRID LINE
	LEVEL NAME 0' - 0"		LEVEL
	0' - 0"		SPOT ELEVATION
	MATCHLINE: 1 / A101		MATCHLINE
	1 A303		EXTERIOR ELEVATION
	1 A303		INTERIOR ELEVATION
	Room name 101		ROOM NAME AND NUMBER
	101		DOOR NUMBER
	A1		PARTITION TYPE TAG
	W1		WINDOW TYPE TAG
	F1		FRAME TYPE TAG
	1		REVISION

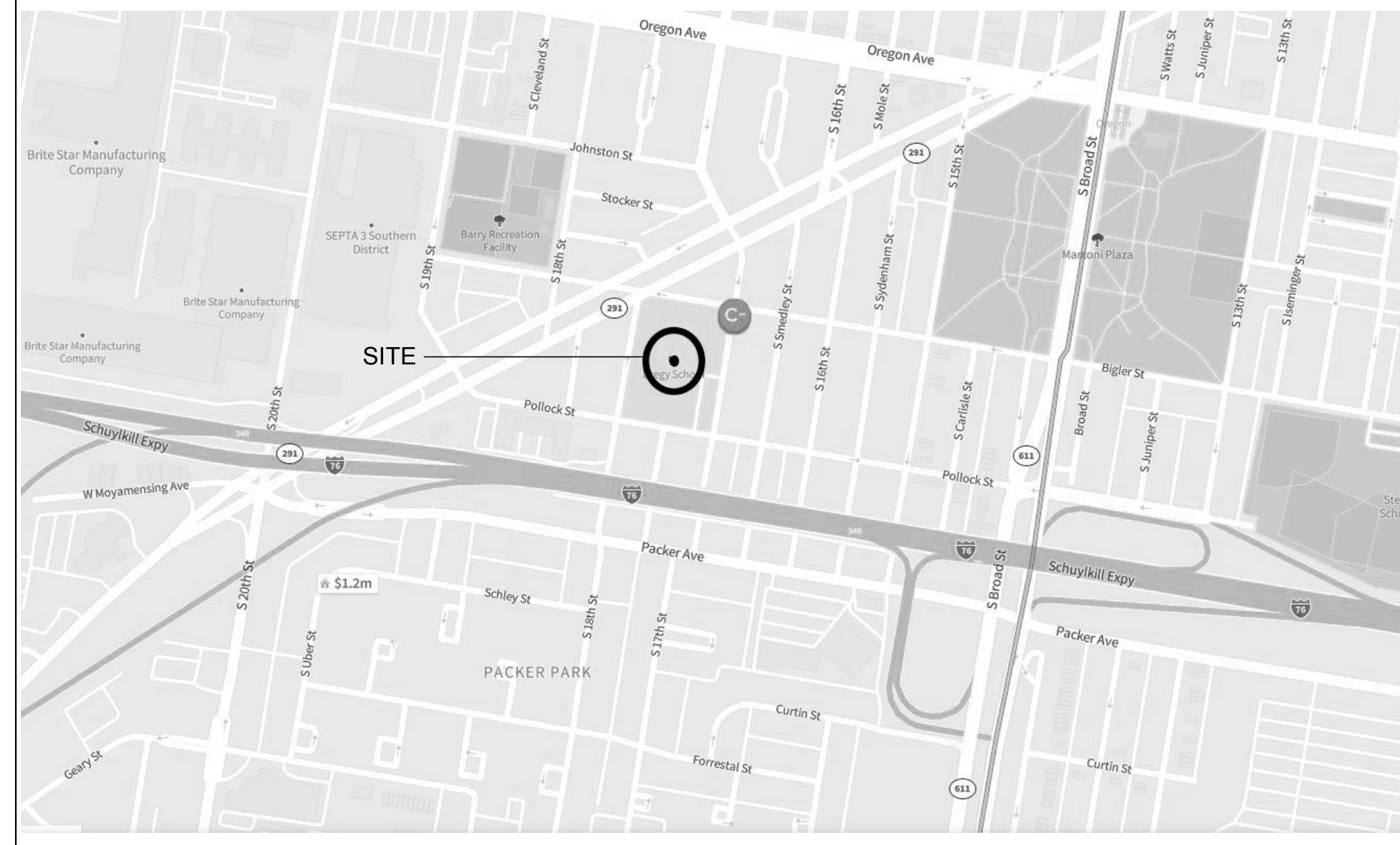


DRAWING LIST

DRAWING NO.	SHEET NAME	SHEET
ARCHITECTURE		
G100	COVER SHEET	01 OF 27
G101	GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS	02 OF 27
G101	KEY PLANS	03 OF 27
AD100	FIRST FLOOR DEMOLITION PLANS	04 OF 27
AD101	SECOND FLOOR DEMOLITION PLANS	05 OF 27
A100	FIRST FLOOR NEW WORK PLANS	06 OF 27
A101	SECOND FLOOR NEW WORK PLANS	07 OF 27
A200	REFLECTED CEILING PLANS	08 OF 27
A300	CASEWORK AND EQUIPMENT DETAILS	09 OF 27
A301	INTERIOR ELEVATIONS	10 OF 27
A302	INTERIOR ELEVATIONS	11 OF 27
A303	INTERIOR ELEVATIONS	12 OF 27
A600	FINISH AND EQUIPMENT SCHEDULE	13 OF 27
A601	ENLARGED FINISH PLANS	14 OF 27
A602	ENLARGED FINISH PLANS	15 OF 27
A900	DOOR / FRAME TYPES AND SCHEDULE	16 OF 27
ELECTRICAL		
E001	COVER SHEET	17 OF 27
ED101	FIRST FLOOR DEMOLITION PLAN	18 OF 27
ED102	SECOND FLOOR DEMOLITION PLAN	19 OF 27
E101	FIRST FLOOR POWER & SYSTEMS PLAN	20 OF 27
E102	SECOND FLOOR POWER & SYSTEMS PLAN	21 OF 27
E201	FIRST FLOOR LIGHTING PLAN	22 OF 27
E202	SECOND FLOOR LIGHTING PLAN	23 OF 27
E501	ELECTRICAL DETAILS	24 OF 27
E502	ELECTRICAL PANEL SCHEDULES	25 OF 27
PLUMBING		
PD101	FIRST FLOOR DEMOLITION PLAN	26 OF 27
P101	FIRST FLOOR PLUMBING PLAN	27 OF 27

CLASSROOM MODERNIZATION AMEDEE F. BREGY 1700 BIGLER ST. Philadelphia, PA 19147

LOCATION PLAN



BUILDING CODE NOTES

APPLICABLE CODES:
 2018 UNIFORM CONSTRUCTION CODE FOR PHILADELPHIA
 INCORPORATING 2018 ICC CODES WITH LOCAL MODIFICATIONS
 2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2017 NATIONAL ELECTRIC CODE (PER 2018 IBC)
 2018 ICC PERFORMANCE CODE FOR BUILDING FACILITIES
 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 2009 INTERNATIONAL FIRE CODE
 2018 INTERNATIONAL FUEL GAS CODE
 2018 INTERNATIONAL PLUMBING CODE
 NFPA 45 STANDARD ON FIRE PROTECTION FOR LABORATORIES USING CHEMICALS, 2019 EDITION
 PHILADELPHIA ELECTRICAL CODE
 PHILADELPHIA PROPERTY MAINTENANCE CODE

BUILDING CONSTRUCTION:
 STRUCTURE: CONCRETE FRAME, CONCRETE FLOORS
 ROOF: CONCRETE DECK
 EXTERIOR WALLS: MASONRY WITH FACE BRICK
 INTERIOR PARTITIONS: MASONRY

BUILDING HEIGHT: 3 STORIES
 BUILDING AREA: 66,000 SF

OCCUPANCY: GROUP E - EDUCATION
 OCCUPANT LOAD: 616 STUDENTS

FIRE PROTECTION: FIRE ALARM

CLASSIFICATION OF WORK: ALTERATION - LEVEL 1 [IEBC CHAPTER 7]

INTERIOR FINISHES
 WALLS & CEILINGS: CLASS C - FLAME SPREAD INDEX 76-200 [IBC TABLE 803.9 - ROOMS]
 FLOORING: EXEMPT MATERIALS: RESILIENT TILE [IBC SECTION 804]
 DECORATIVE TRIM: CLASS C - FLAME SPREAD INDEX 76-200 [IBC SECTION 806]

PROJECT GENERAL NOTES

- THE PLUMBING WORK SHOWN ON SHEETS PD101 AND P101 SHALL BE UNDER THE GENERAL CONSTRUCTION CONTRACT.
 - ABATEMENT - ABATEMENT IN IN-SCOPE CLASSROOMS SHALL BE CARRIED OUT UNDER THE GENERAL CONTRACT AND IN ACCORDANCE WITH THE SDP ENVIRONMENTAL SPECIFICATIONS. WHERE ASBESTOS CONTAINING PIPE INSULATION IS ABATED PROVIDE UPON COMPLETION OF THE ABATEMENT - EQUIVALENT JACKETED FIBERGLASS PIPE INSULATION, JOHNS MANVILLE MICRO-LOK OR EQUAL.
 - MOCK UPS: AT LOCATION AS AGREED BY THE ARCHITECT PROVIDE MOCK-UPS OF THE FOLLOWING FOR THE ARCHITECT'S REVIEW AND APPROVAL:
 - A. NEW RADIATOR COVER (1 ONLY REQUIRED)
 - B. WOOD DOOR REFINISHING
 - C. NEW PLASTER WORK
 - D. NEW WINDOW SILL
 - E. EACH TYPE OF PAINT FINISH SPECIFIED AND EACH COLOR SCHEDULED
 MOCK-UPS SHALL NOT BE LESS THAN 100 SF IN AREA OR COMPRISED OF 2 OF EACH TYPE U.N.O. APPROVED MOCK-UPS MAY REMAIN IN PLACE.
 - REPAIR ALLOWANCES: ALLOW FOR REPAIRS AS FOLLOWS:
 - A. PLASTER WALLS - PROVIDE FINISH COAT OVER EXISTING UNEVEN PLASTER - 75 SF PER CLASSROOM BELOW WINDOW SILL LEVEL.
 LOCATION OF REPAIRS SHALL BE AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
- QUANTITIES INDICATED ON THIS DRAWING ARE APPROXIMATE ESTIMATES. ACTUAL QUANTITIES MUST BE VERIFIED IN THE FIELD BY THE BIDDER/CONTRACTOR. MINOR VARIATIONS IN THE ACTUAL QUANTITIES, EITHER MORE OR LESS THAN THE ESTIMATED QUANTITIES WILL NOT BE GROUNDS FOR CHANGE ORDERS.

BID DOCUMENT SUBMISSION: JANUARY 8, 2021

NO.	DATE	REVISION
10		
9		
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5		
4	02/01/21	NOTES FOR ART COMMISSION
3	01/08/21	BID DOC.
2	11/27/20	90% CONSTRUCTION DOC.
1	10/16/20	DD SUBMISSION

SCHOOL & LOCATION

AMEDEE F. BREGY
 ELEMENTARY SCHOOL
 1700 BIGLER ST.,
 PHILADELPHIA, PA 19147

PROJECT TITLE

CLASSROOM MODERNIZATION

DRAWING TITLE

GENERAL NOTES, SYMBOLS,
 AND ABBREVIATIONS

DRAWING SCALE AS INDICATED	FILE NO.
AS INDICATED	XXX
LOCATION NO.	XXX
DRAWN BY ECN	CHECKED BY GJC
GC: 8-031	OF 2020 / 21
EC: 8-033	OF 2020 / 21

DRAWING NO.

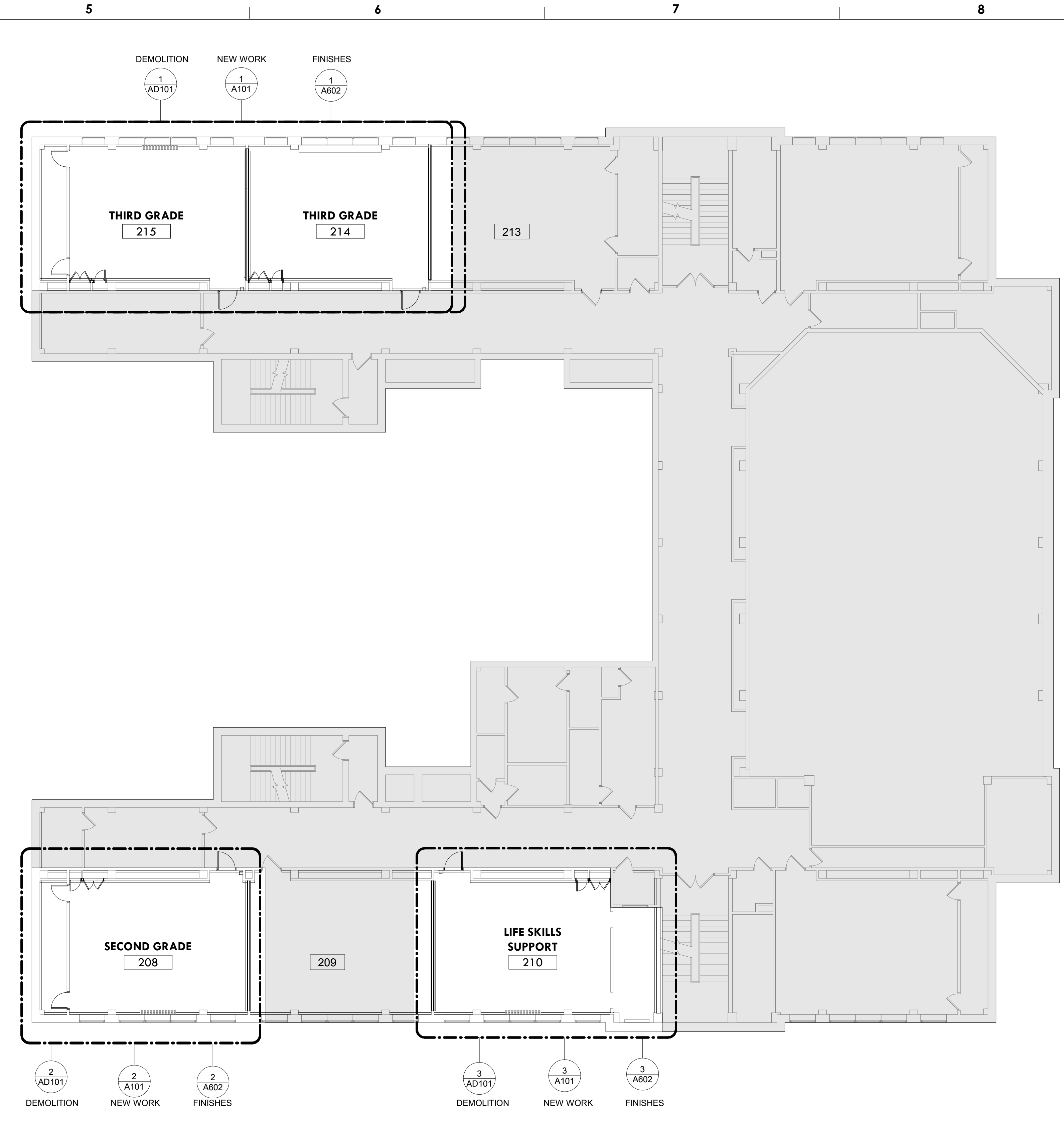
G100

SHEET 2 OF 27

SEAL:

NAME (LICENSED PROFESSIONAL) DATE
STATE AND LICENSE NO. XXXX/20XX

THE SHEWARD PARTNERSHIP, LLC
www.theshewardpartnership.com
t. 215.751.9301 2300 Chestnut Street
f. 215.751.9302 Philadelphia, PA 19103



1 KEY PLAN - FIRST FLOOR
SCALE: 3/32" = 1'-0"

2 KEY PLAN - SECOND FLOOR
SCALE: 3/32" = 1'-0"

BID DOCUMENT SUBMISSION:
JANUARY 8, 2021

10		
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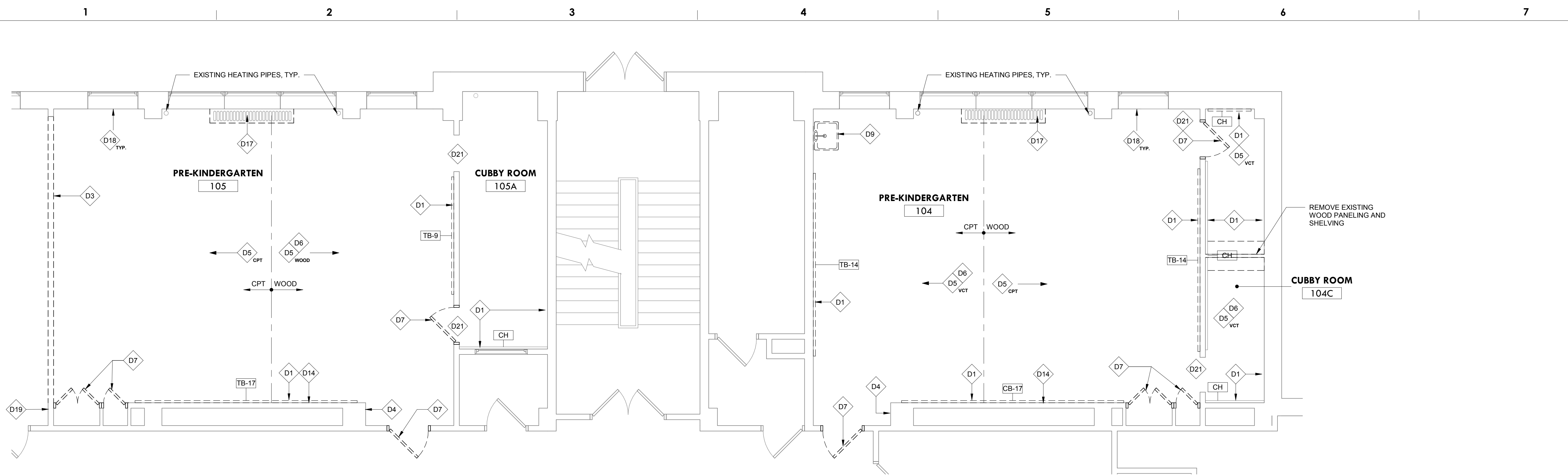
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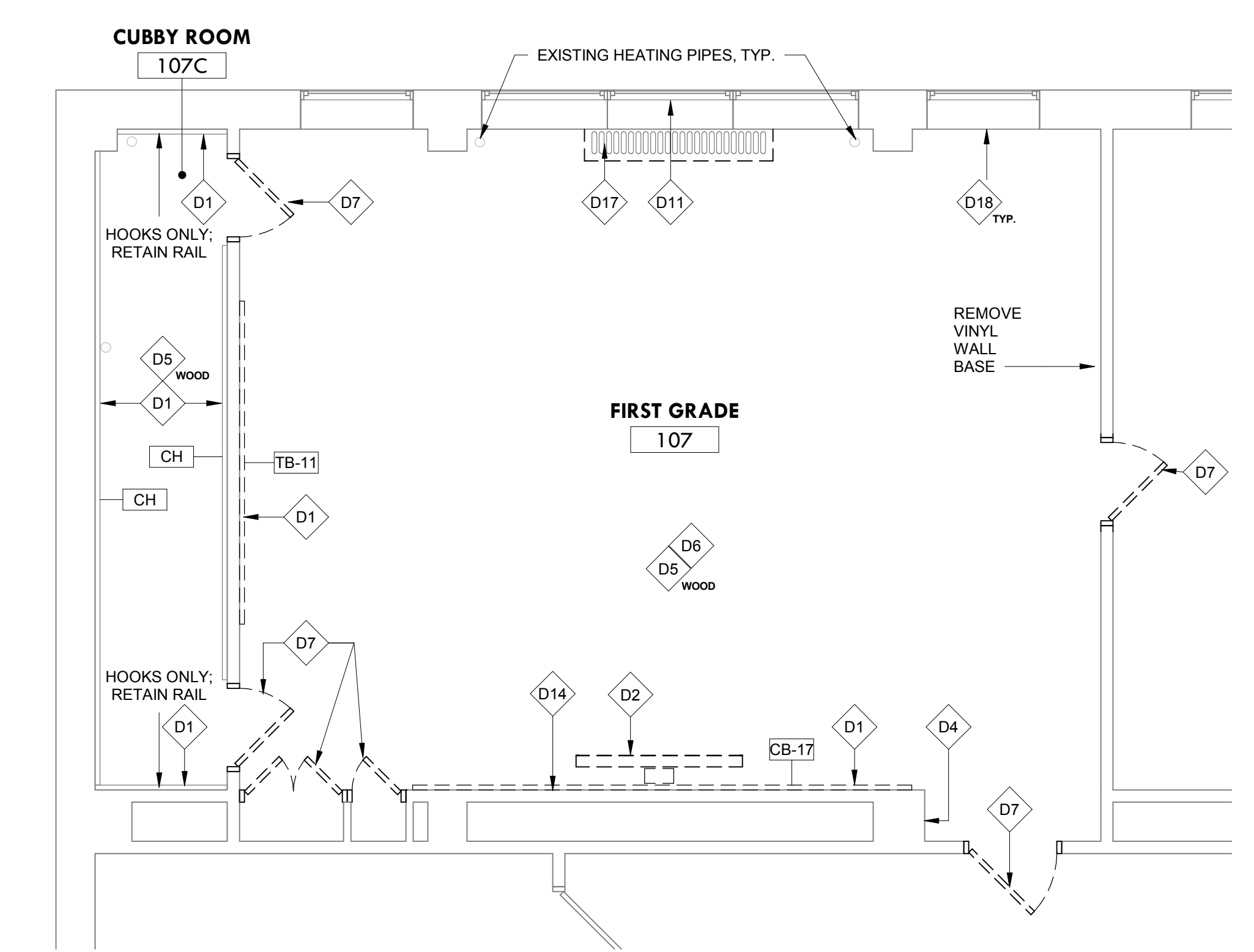
DRAWING TITLE
KEY PLANS

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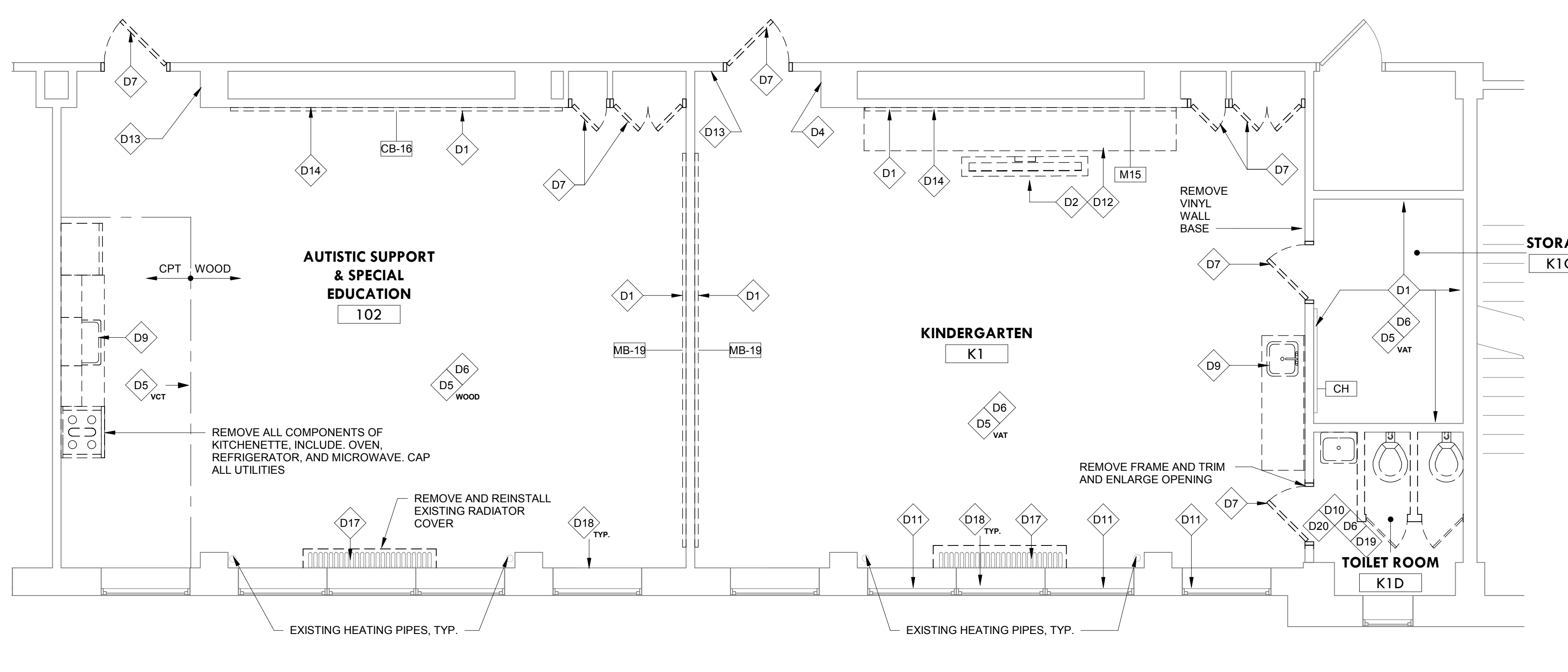
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G101
SHEET 03 OF 27



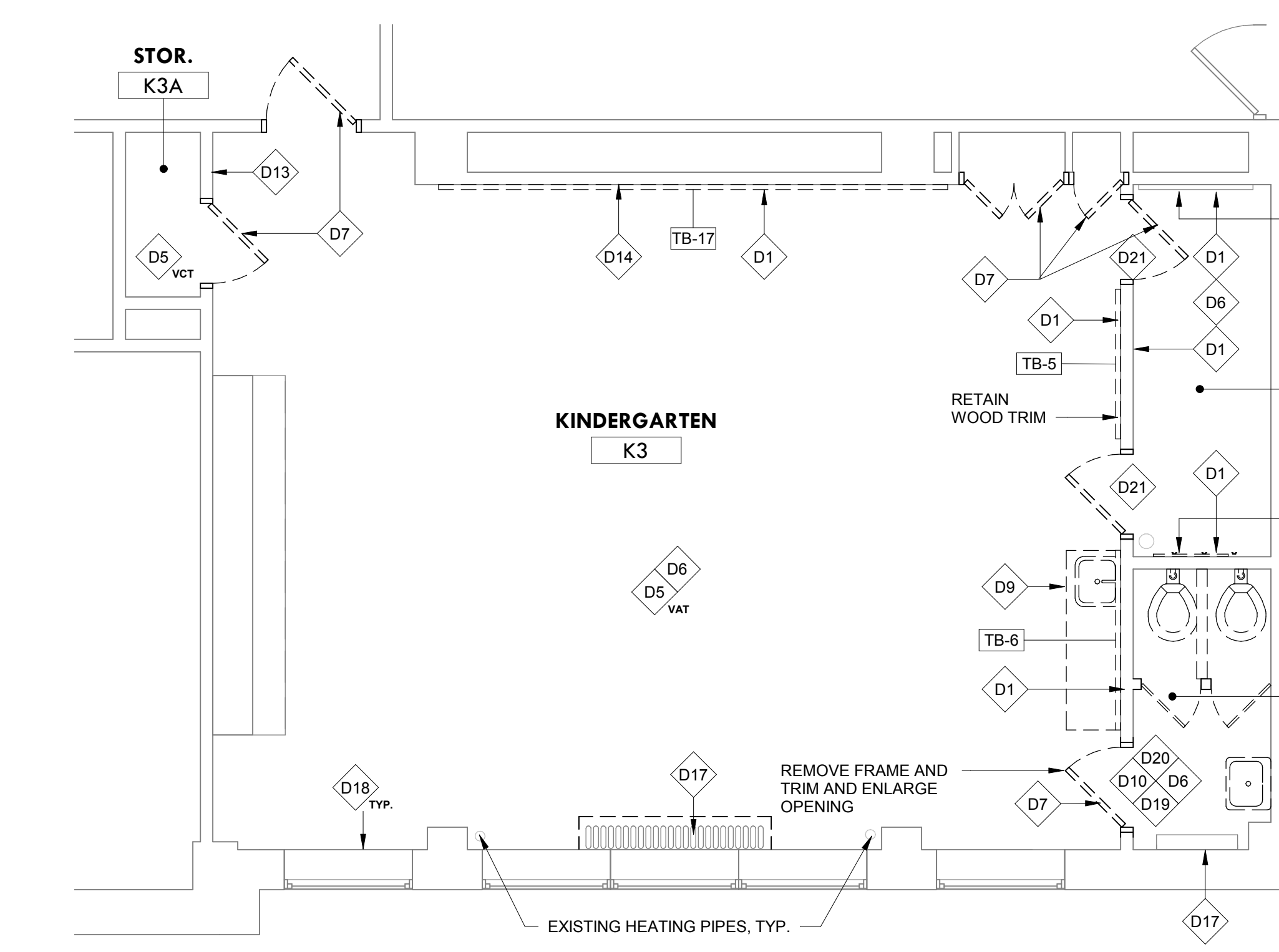
1 FIRST FLOOR - 104 & 105 DEMOLITION
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR - 107 DEMOLITION
SCALE: 1/4" = 1'-0"



3 FIRST FLOOR - 102 & K1 DEMOLITION
SCALE: 1/4" = 1'-0"



4 FIRST FLOOR - K3 DEMOLITION
SCALE: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. ALL EXISTING PARTITIONS ARE TO REMAIN U.N.O. OR SHOWN DASHED
2. DIMENSIONS ARE TO FACE OF WALL FINISH U.N.O.
3. THE CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO THE SCHOOL DISTRICT OF PHILADELPHIA (SDP) AS DIRECTED.
4. DEMOLITION OF ALL WALL MOUNTED DISPLAY BOARDS, CHALKBOARDS, TACKBOARDS, ETC. SHALL BE CARRIED OUT BY THE ABATEMENT CONTRACTOR. SDP BELIEVES THAT THE ADHESIVE USED CONTAINS ASBESTOS.
5. THE G.C. OR, AS NECESSARY, THE ABATEMENT CONTRACTOR SHALL CAREFULLY DISCONNECT AND TAKE DOWN ALL SMART BOARDS AND CEILING MOUNTED SMART PROJECTORS AND TURN OVER TO SDP AS SALVAGED EQUIPMENT
6. THE CONTRACTOR SHALL, AT ALL WALL AND CEILING SURFACES TO REMAIN, PATCH OR FILL ALL VISIBLE EXISTING HOLES, CRACKS AND SIMILAR SURFACE DEFECTS. THE CONTRACTOR SHALL PATCH ANY DAMAGE DUE TO THE DEMOLITION WORK. PATCHING SHALL MATCH EXISTING ADJACENT FINISHES
7. CONTRACTOR SHALL REMOVE ALL LOOSE PAINT, TAPE, ADHESIVE, BRACKETS, HOOKS, ETC., INCLUDING ANY ON THE WALLS AND CEILING ABOVE NEW ACCT
8. REMOVE ALL UNUSED OR ABANDONED CONDUIT AND WIRE MOLD, 50LF PER CLASSROOM, SEE ELEC. DWGS

DEMOLITION KEYNOTES

- D1 REMOVE EQUIPMENT ON THIS WALL, TYPE:
 - CB-X CHALKBOARD, OFTEN INCLUDES TACKBOARD ABOVE
 - MB-X MARKERBOARD
 - TB-X TACKBOARD
 - CH-X REMOVE COAT HOOKS-RETAIN RAILS
- *X INDICATES LENGTH, WHERE APPLICABLE. GO TO V.I.F.
- D2 REMOVE AND SALVAGE EXISTING INTERACTIVE PANEL BOARD AND PROJECTOR. REMOVE ASSOCIATED MOUNTING EQUIPMENT
- D3 REMOVE EXISTING WOOD PARTITION WALL, INCLUDING ALL TRIMWORK
- D4 REMOVE AND STORE TELEPHONE, TELEPHONE BOX, FOR REINSTALLATION
- D5 REMOVE EXISTING FLOORING, TYPE: X. RETAIN AND REFINISH EXISTING WOOD BASE
 - VAT VINYL ASBESTOS TILE, BY ABATEMENT CONTRACTOR
 - CPT CARPET
 - VCT VINYL COMPOSITION TILE
 - WD WOOD
 - CT CERAMIC TILE
- D6 REMOVE ACOUSTICAL CEILING TILE AND GRID, INCLUD. ALL EXIST. LIGHT FIXTURES. SEE ELEC. DWGS
- D7 REMOVE EXISTING DOOR AND ASSOCIATED HARDWARE, INCLUDING BUT NOT LIMITED TO MOUNTED HINGES, DOOR CLOSERS, AND STRIKE PLATES. RETAIN EXISTING FRAME AND PROTECT DURING REMOVAL UNO
- D8 REMOVE PROJECTION SCREENS, HOOKS, AND OTHER EQUIPMENT (WALL-MOUNTED AND/OR CEILING HUNG)
- D9 REMOVE SINK AND ASSOCIATED CASEWORK AND SHELVING, INCLUDING ANY MOUNTING BRACKETS. REMOVE ALL ACCESSORIES (I.E. PAPER TOWEL DISPENSER, SOAP DISPENSERS, ETC.)
- D10 REMOVE ALL TOILET ACCESSORIES, INCLUDING SOAP DISPENSERS, PAPER TOWEL DISPENSERS, TOILET PAPER DISPENSERS, AND MIRRORS
- D11 REMOVE EXISTING WINDOW SHADES, INCLUDING ANY MOUNTING BRACKETS AT WINDOW, SCRAPE AND REMOVE ANY LOOSE PLASTER/WALL FINISHES
- D12 REMOVE EXISTING CASEWORK, INCLUDING ANY MOUNTED HARDWARE
- D13 REMOVE HAND SANITIZER DISPENSER
- D14 REMOVE EXISTING CLOCK
- D16 REMOVE AND REINSTAT FIRE EXTINGUISHER
- D17 REMOVE RADIATOR COVER GRILLE AND FASTENERS. PATCH FLOOR AND WALL WHERE NECESSARY
- D18 REMOVE ALL COMPONENTS OF METAL WINDOW SILL AND PREPARE TO ACCEPT NEW FINISH. CAREFULLY REMOVE AND REINSTALL WINDOW GUARDS AS NECESSARY
- D19 REMOVE WOOD BASE
- D20 REMOVE MARBLE WAJNSCOT
- D21 REMOVE EXISTING FLOOR MOUNTED DOOR HINGE.

DEMOLITION DEFINITIONS

REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION USING METHODS AND EQUIPMENT TO PREVENT DAMAGE TO SURFACES TO REMAIN AND DISPOSE OF ITEM OFF-SITE UNLESS NOTED TO BE SALVAGED OR REINSTALLED.

REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION CAREFULLY USING GENTLE METHODS AND EQUIPMENT TO PREVENT DAMAGE TO THE ITEM AND SURFACES TO REMAIN. PREPARE ITEM FOR REUSE, AND DELIVER ITEM TO OWNER AS DIRECTED.

REMOVE AND REINSTALL: DETACH ITEMS FROM EXISTING CONSTRUCTION CAREFULLY USING GENTLE METHODS AND EQUIPMENT TO PREVENT DAMAGE TO THE ITEM AND SURFACES TO REMAIN. PREPARE ITEM FOR REUSE, AND REINSTALL WHERE INDICATED.

EXISTING TO REMAIN: LEAVE EXISTING ITEMS THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE SALVAGED OR REINSTALLED.



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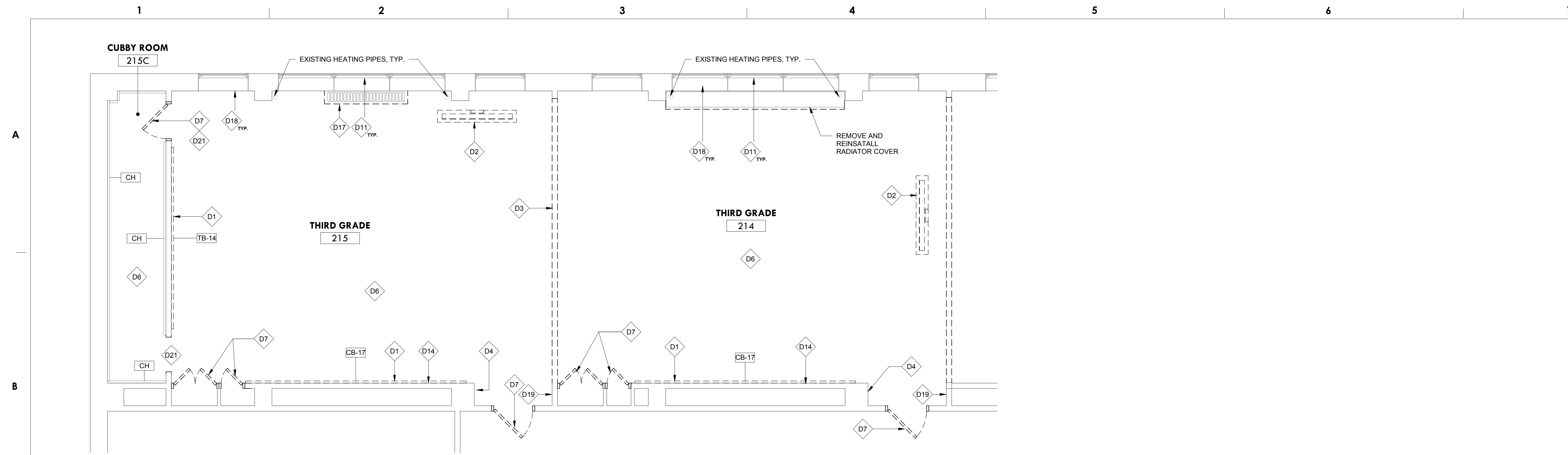
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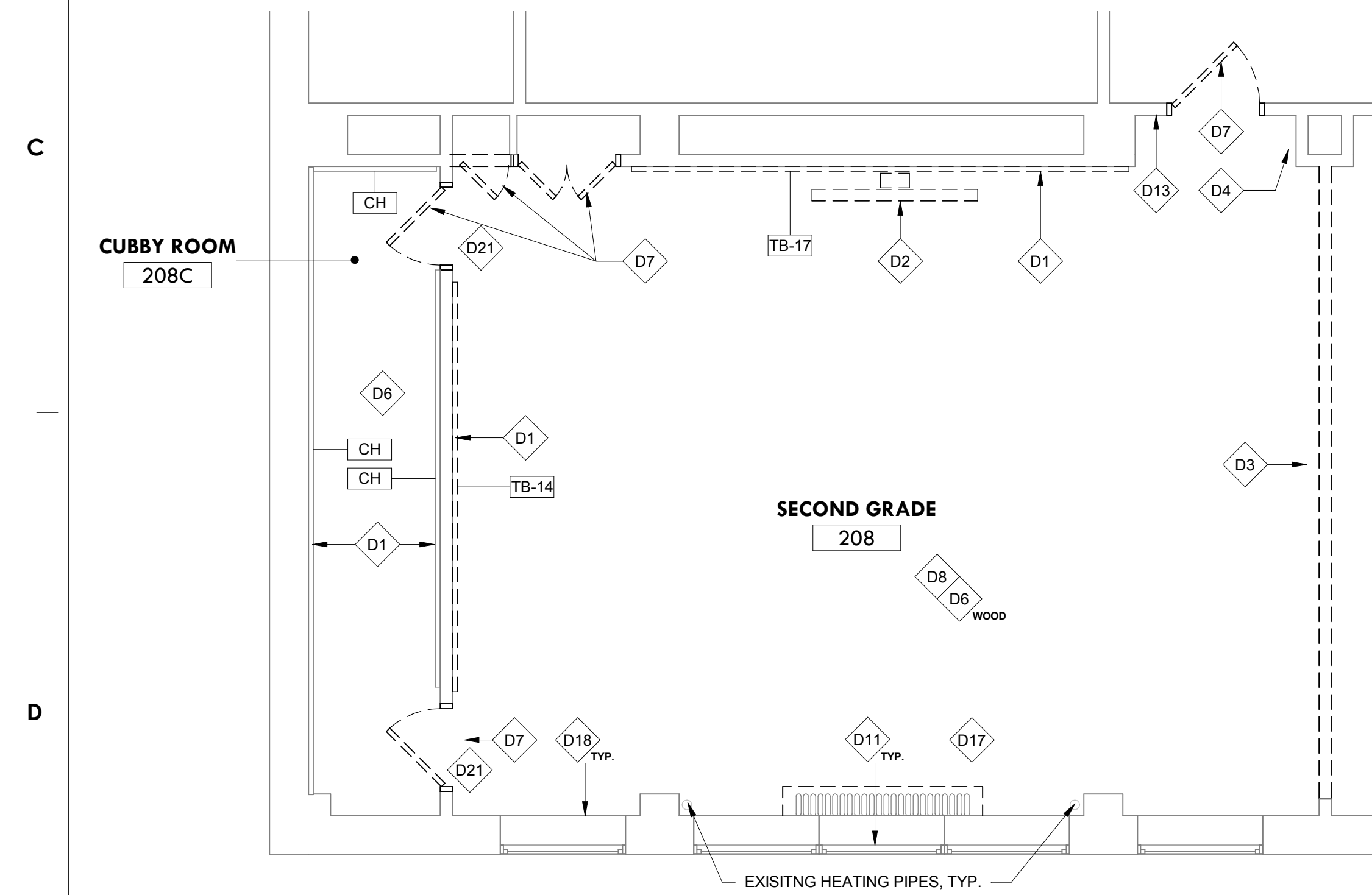
PROJECT TITLE
CLASSROOM MODERNIZATION

DRAWING TITLE
**FIRST FLOOR DEMOLITION
PLANS**

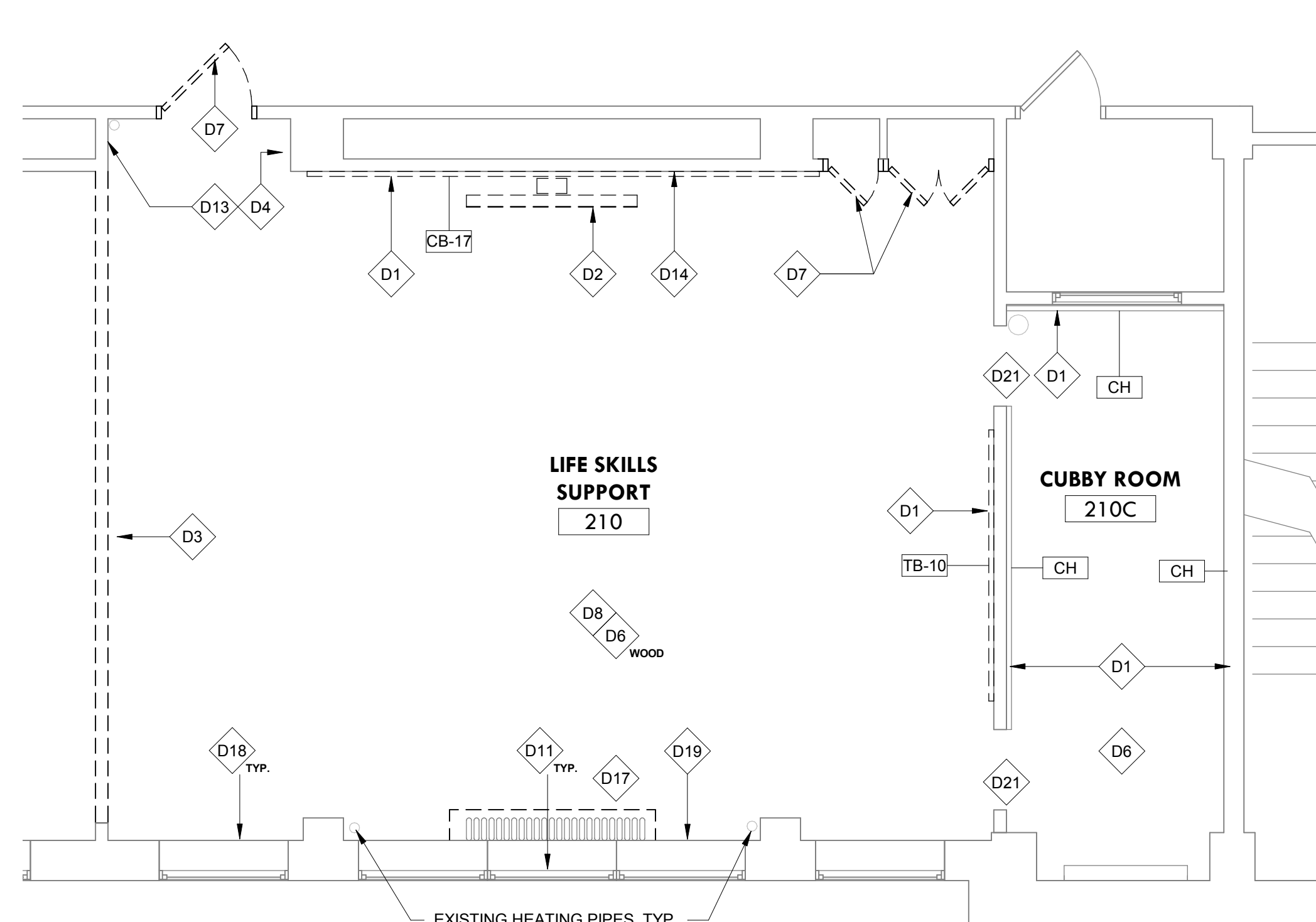
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LOCATION NO.	FILE NO.
XXXX	XXX
DRAWN BY	CHECKED BY
ECN	GJC
GC: 8-031	OF 2020 / 21
EC: 8-033	OF 2020 / 21



1 SECOND FLOOR - 214 & 215 DEMOLITION
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR - 208 DEMOLITION
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3 SECOND FLOOR - 210 DEMOLITION
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- D11 REMOVE EXISTING WINDOW SHADES, INCLUDING ANY MOUNTING BRACKETS AT WINDOW, SCRAPE AND REMOVE ANY LOOSE PLASTER/WALL FINISHES
- D12 REMOVE EXISTING CASEWORK, INCLUDING ANY MOUNTED HARDWARE
- D13 REMOVE HAND SANITIZER DISPENSER
- D14 REMOVE EXISTING CLOCK
- D16 REMOVE AND REINSTAT FIRE EXTINGUISHER
- D17 REMOVE RADIATOR COVER GRILLE AND FASTENERS. PATCH FLOOR AND WALL WHERE NECESSARY
- D18 REMOVE ALL COMPONENTS OF METAL WINDOW SILL AND PREPARE TO ACCEPT NEW FINISH. CAREFULLY REMOVE AND REINSTALL WINDOW GUARDS AS NECESSARY
- D19 REMOVE WOOD BASE
- D20 REMOVE MARBLE WAINSCOT
- D21 REMOVE EXISTING FLOOR MOUNTED DOOR HINGE.

DEMOLITION DEFINITIONS

REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION USING METHODS AND EQUIPMENT TO PREVENT DAMAGE TO SURFACES TO REMAIN AND DISPOSE OF ITEM OFF-SITE UNLESS NOTED TO BE SALVAGED OR REINSTALLED.

REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION CAREFULLY USING GENTLE METHODS AND EQUIPMENT TO PREVENT DAMAGE TO THE ITEM AND SURFACES TO REMAIN. PREPARE ITEM FOR REUSE, AND DELIVER ITEM TO OWNER AS DIRECTED.

REMOVE AND REINSTALL: DETACH ITEMS FROM EXISTING CONSTRUCTION CAREFULLY USING GENTLE METHODS AND EQUIPMENT TO PREVENT DAMAGE TO THE ITEM AND SURFACES TO REMAIN. PREPARE ITEM FOR REUSE, AND REINSTALL WHERE INDICATED.

EXISTING TO REMAIN: LEAVE EXISTING ITEMS THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE SALVAGED OR REINSTALLED.



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JANUARY 8, 2021

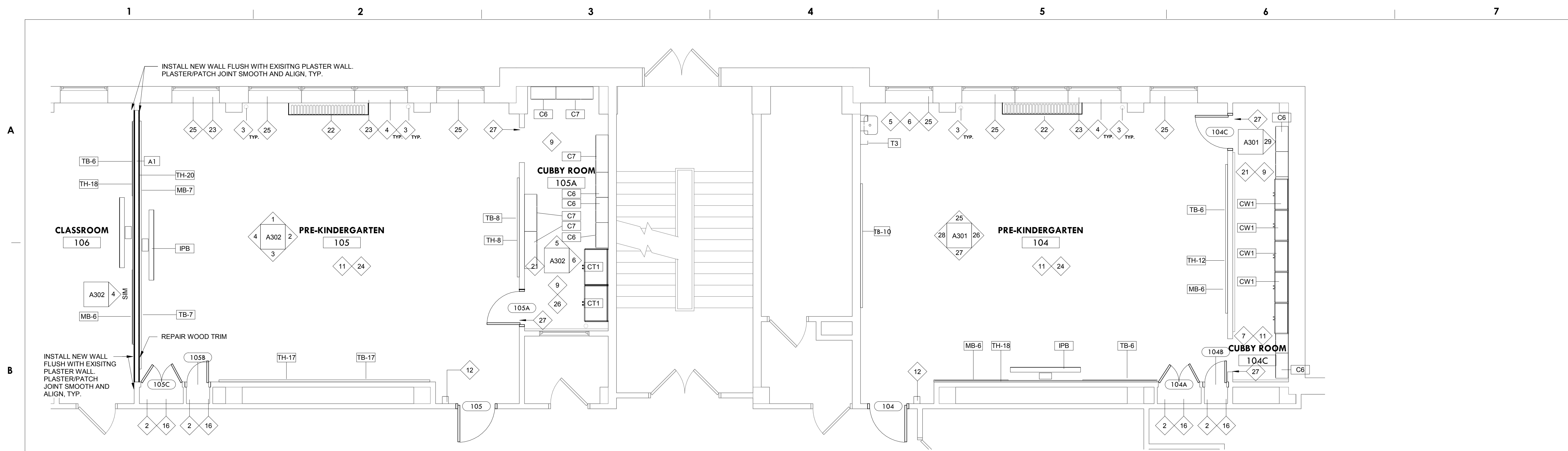
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4	02/01/21	NOTES FOR ART COMMISSION
3	01/08/21	BID DOC.
2	11/27/20	90% CONSTRUCTION DOC.
1	10/16/20	DD SUBMISSION
NO.	DATE	REVISION

SCHOOL & LOCATION
AMEDEE F. BREGY ELEMENTARY SCHOOL
1700 BIGLER ST., PHILADELPHIA, PA 19147

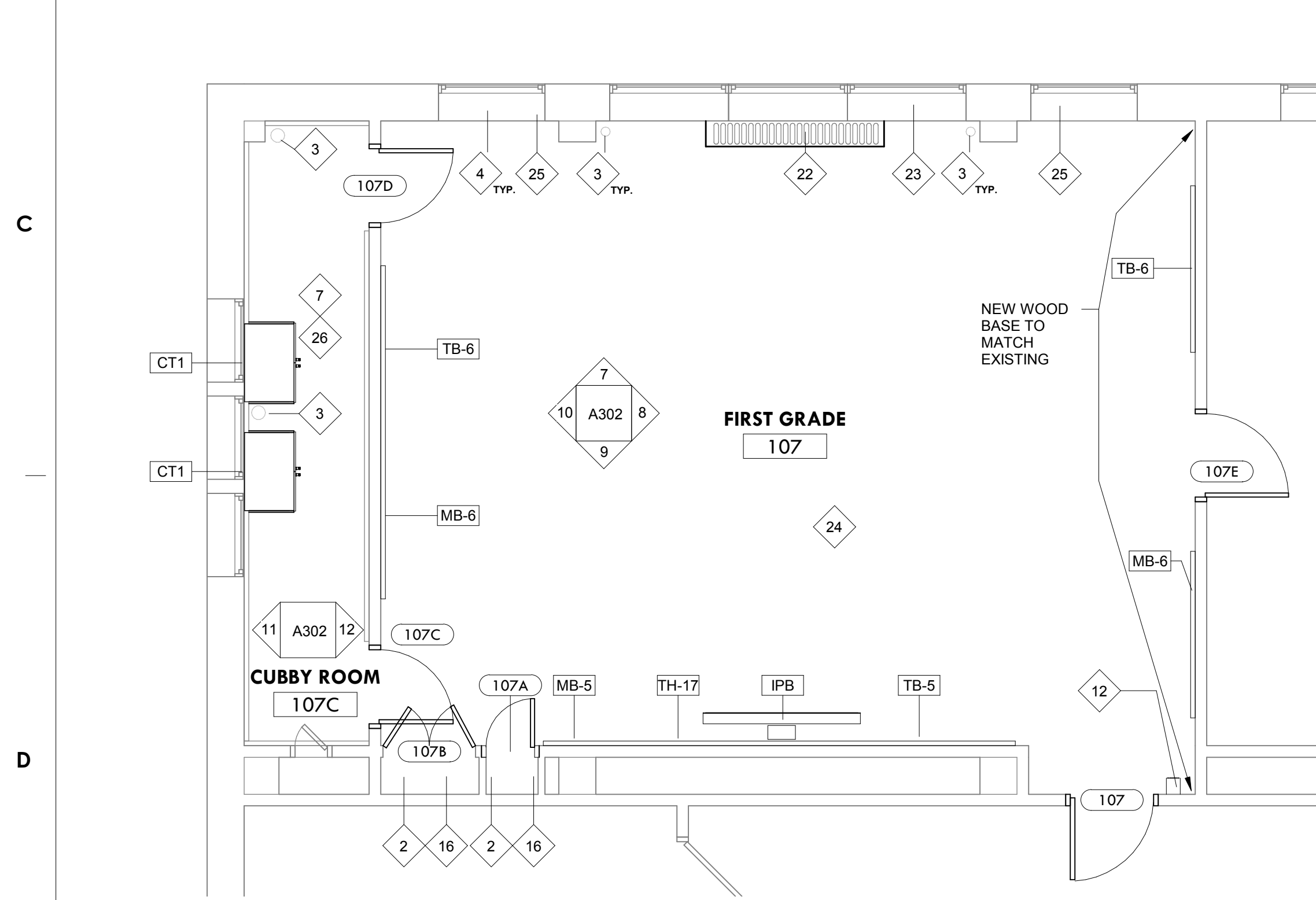
PROJECT TITLE
CLASSROOM MODERNIZATION

DRAWING TITLE
SECOND FLOOR DEMOLITION PLANS

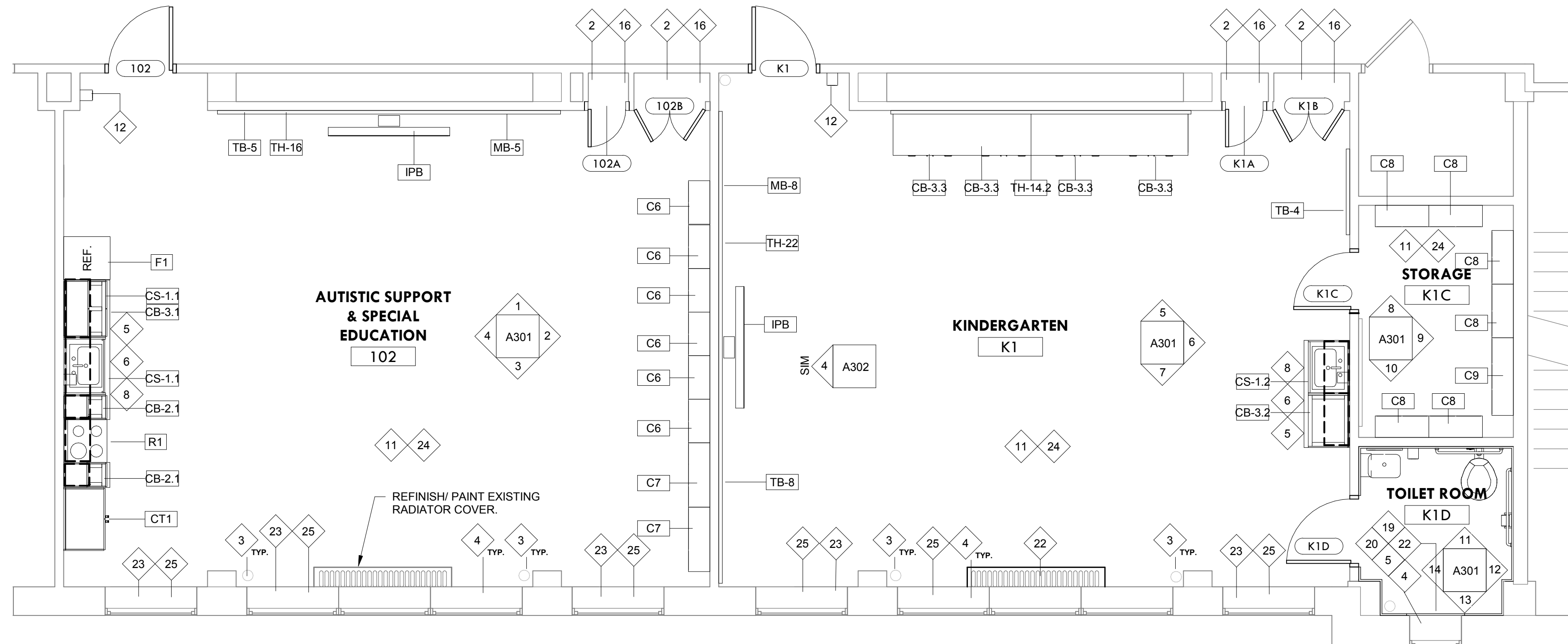
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DRAWN BY ECN	CHECKED BY GJC
GC: 8-031 OF 2020 / 21	EC: 8-033 OF 2020 / 21



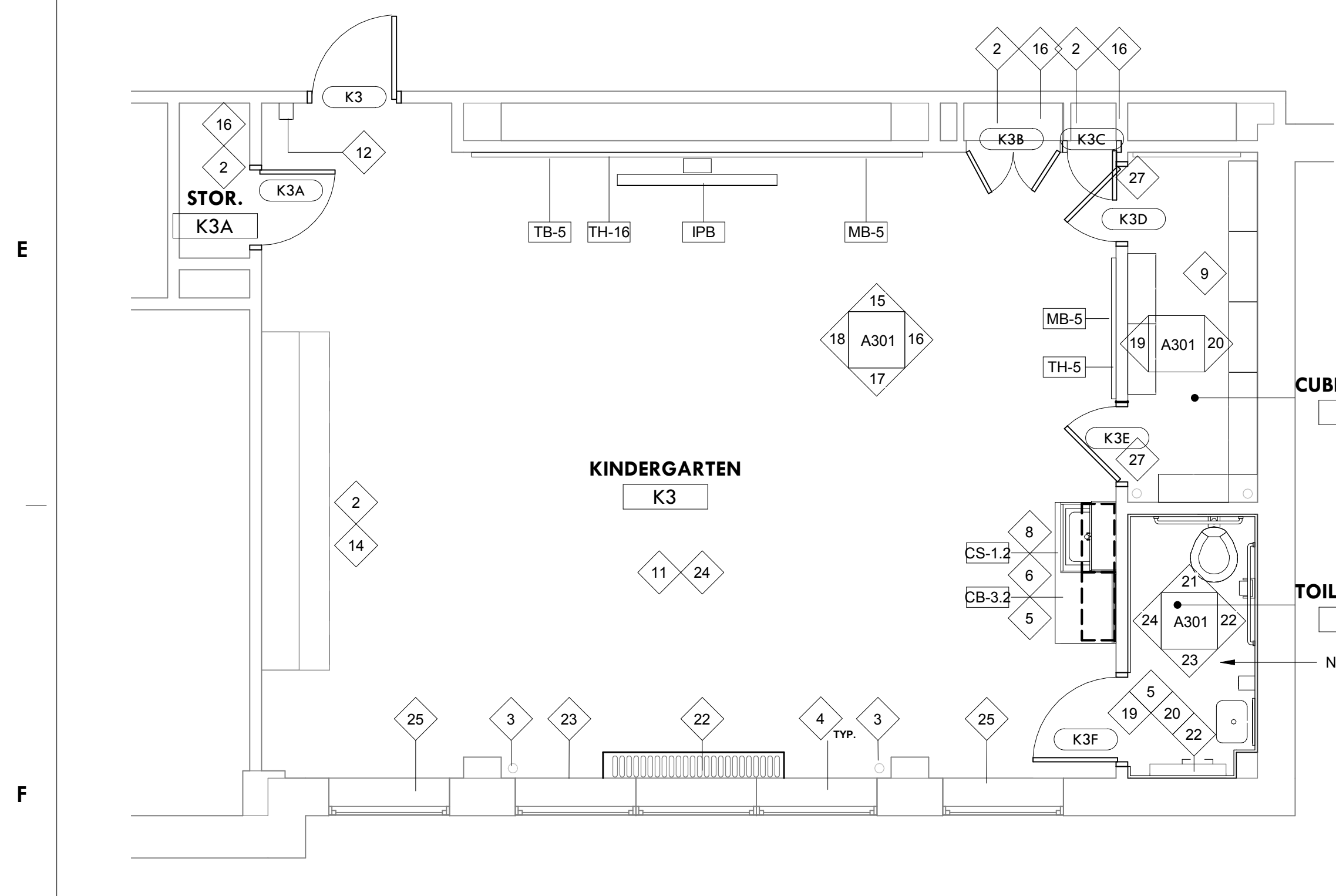
1 FIRST FLOOR - 104 & 105 NEW WORK
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR - 107 NEW WORK
SCALE: 1/4" = 1'-0"



3 FIRST FLOOR - 102 & K1 NEW WORK
SCALE: 1/4" = 1'-0"



4 FIRST FLOOR - K3 NEW WORK
SCALE: 1/4" = 1'-0"

NEW WORK GENERAL NOTES

1. SURFACES NOT PREVIOUSLY FIELD PAINTED SHALL NOT BE PAINTED U.N.O. AND SHALL BE PROTECTED FROM PAINT APPLIED TO ADJACENT SURFACES.
2. FROM EXISTING SURFACES TO REMAIN, INCLUDING THOSE ON THE INTERIOR OF CABINETS AND CLOSETS, REMOVE TAPE, ADHESIVE RESIDUE, INK RESIDUE, CRAYON RESIDUE, STAPLES AND SIMILAR SURFACE IMPERFECTIONS AND MARKS. WHERE EXISTING SURFACES ARE TO REMAIN UNPAINTED OR ARE NOT REFINISHED THOROUGHLY CLEAN THE SURFACE. SURFACES TO RECEIVE THOROUGH CLEANING SHALL INCLUDE BUT ARE NOT LIMITED TO WINDOW GLAZING, METAL WINDOW FRAMES, WALL BASE, ROOM EQUIPMENT AND ROOM FIXTURES AND FITTINGS.
3. ALL PREVIOUSLY PAINTED SURFACES INCLUDING BUT NOT LIMITED TO WALLS, CEILINGS, SOFFITS, BEAMS, COLUMNS, CLOSET INTERIORS, EXPOSED DUCTWORK, DOORS, DOOR AND WINDOW FRAMES, TRIM, AND SHELVING SYSTEMS SHALL BE REPAINTED U.N.O. SEE FINISH SCHEDULE FOR COLORS.
4. ALL PREVIOUSLY VARNISHED SURFACES INCLUDING BUT NOT LIMITED TO DOORS, CASEWORK, INTERIOR WINDOWS, SILLS, TRIM AND SHELVING SHALL BE PREPARED AND REVARNISHED WITH CLEAR VARNISH.
5. WHERE DOORS AND DOOR FRAMES OCCUR BETWEEN AREAS IN THE SCOPE OF WORK AND AREAS NOT IN THE SCOPE OF WORK REFINISH AND SAND BOTH SIDES.
6. EXISTING AND NEW PIPES, INSULATED PIPES, WIREMOLD, CONDUIT, AND SURFACE MOUNTED JUNCTION BOXES AND THE LIKE SHALL BE PAINTED TO MATCH WALL BEYOND, SEE FINISH SCHEDULE FOR WALL COLOR.
7. REMOVE EXISTING FLOOR MOUNTED DOOR HINGE. INSTALL NEW MTL. FLUSH PLATE.
8. WHERE EXISTING WOOD FRAMED CHALKBOARDS OR DISPLAY BOARDS ARE REMOVED PROVIDE A NEW PLASTER FINISH COAT AND BLEND TO ADJACENT FINISH PLASTER SURFACE.

NEW WORK KEY NOTES

- 1 PREPARE AND ELECTROSTATICALLY PAINT UNIT VENTILATORS AND ASSOCIATED PIPE ENCLOSURES
- 2 CLEAN AND REMOVE ALL LOOSE MATERIAL FROM BUILT-IN AND FREESTANDING STORAGE FURNITURE
- 3 REMOVE EXISTING PIPE INSULATION AND PROVIDE NEW PIPE INSULATION ON ALL VERTICAL PIPING UP TO STRUCTURAL DECK AND LATERAL PIPING INCLUDING ANY ABOVE CEILING. PIPE INSULATION SHALL BE JOHNS MANVILLE MICROLOK OR EQUAL OF 2" THICKNESS. ON PIPES BELOW CEILING PROVIDE PVC PROTECTIVE COVER. JOHNS MANVILLE ZESTON 2000 OR EQUAL OF 30 MIL THICKNESS.
- 4 NEW ROLLER SHADE FOR BOTTOM HALF OF FIXED WINDOW(S) IN ROOM
- 5 NEW SINK AT EXISTING PLUMBING. SEE PLUMBING DRAWINGS
- 6 NEW PAPER TOWEL AND SOAP DISPENSERS
- 7 PREPARE EXISTING RAIL FOR PAINTING INCLUDING FILLING HOLES AND PATCH REPAIRING DAMAGED SECTIONS. PAINT TO MATCH WALL
- 8 NEW SINK COUNTER AND CASEWORK
- 9 NEW CUBBIES
- 10 NEW CASEWORK
- 11 NEW VCT FLOOR TILE
- 12 PROVIDE NEW HAND SANITIZER DISPENSER
- 13 PREPARE AND ELECTROSTATICALLY PAINT EXISTING RECESSED TELEPHONE BOXES TO MATCH DOOR FRAMES
- 14 REFURBISH EXISTING WOOD CASEWORK
- 15 PROTECT EXISTING TILE SURFACES FROM DAMAGE DURING THE COURSE OF THE WORK. THOROUGHLY CLEAN TILE AND GROUT TO REMOVE GRIME, STAINS AND DISCOLORATION
- 16 SAND AND REFINISH EXISTING STORAGE CUPBOARD OR DOOR
- 17 PAINT PHONE BOX TO MATCH NEW WALL PAINT
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- 20 NEW CERAMIC FLOOR AND WALL TILE
- 21 PATCH AND PAINT WALL
- 22 INSTALL NEW RADIATOR COVER TO MATCH EXISTING COVERS IN ROOMS 102 & OR 214. EXISTING RADIATORS VARY IN SIZE CONTRACTOR TO VERIFY IN FIELD.
- 23 PREP WINDOW WALL FOR NEW PLASTER FINISH COAT AND PAINT
- 24 SAND AND REFINISH WOOD BASE
- 25 NEW SOLID SURFACE WINDOW SILLS
- 26 AT NEW CUBBIES AND CABINETS, CUT AND REMOVE EXISTING BASE AND RAILS TO THE WIDTH OF THE NEW CASEWORK UNIT SO THAT CASEWORK FITS FLUSH TO WALL
- 27 INSTALL NEW MTL. FLUSH PLATE AT REMOVED RECESSED FLOOR MOUNTED DOOR HINGE @ 1ND FLOORS. INFILL FLUSH FLOOR OPNG. WITH BLKG @ NEW VCT FLOORS.
- 28 FILL IN HOLES IN RAIL AND REPLACE ALL COATHOOKS

NEW WORK LEGEND

	WALL-MOUNTED EDUCATIONAL SURFACE
MB-X	MARKERBOARD
TB-X	TACKBOARD
TH-X	TACKBOARD HEADER
TT-X	TACK TRACK
	*X INDICATES TYPE, SEE WALL EQUIPMENT SCHEDULE
	INTERACTIVE PANEL BOARD, NIC
	CASEWORK SEE ELEVATIONS AND CASEWORK SCHEDULE FOR TYPES
	CUBBIES SEE ELEVATIONS AND CASEWORK SCHEDULE FOR TYPES
	CLASSROOM CLOCK NEW WALL-MOUNTED CLOCK IN EXISTING LOCATION BY WAP

BID DOCUMENT SUBMISSION:
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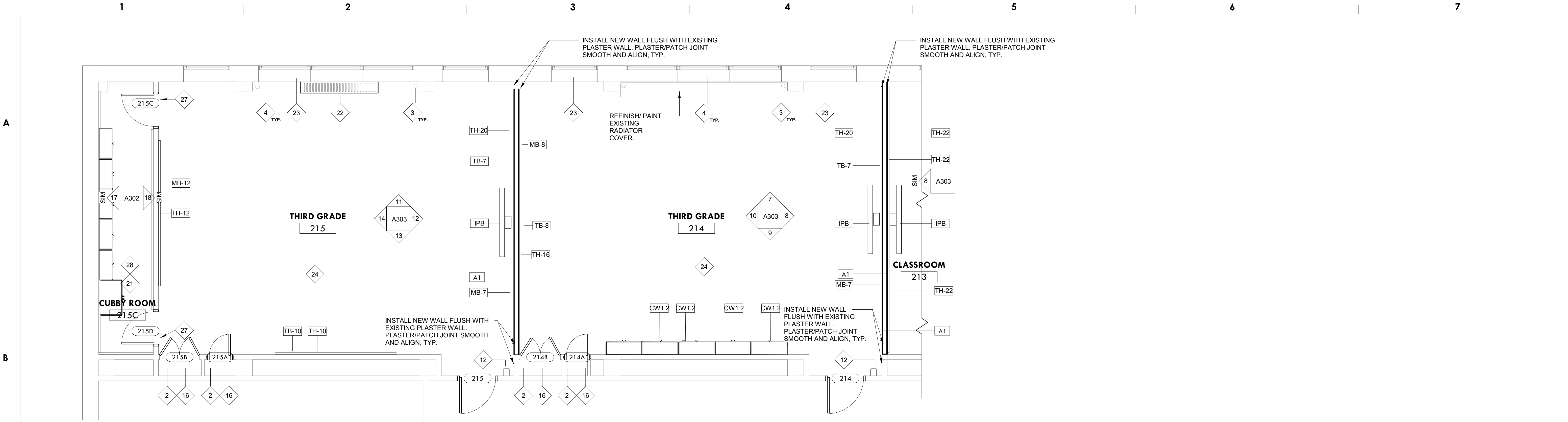
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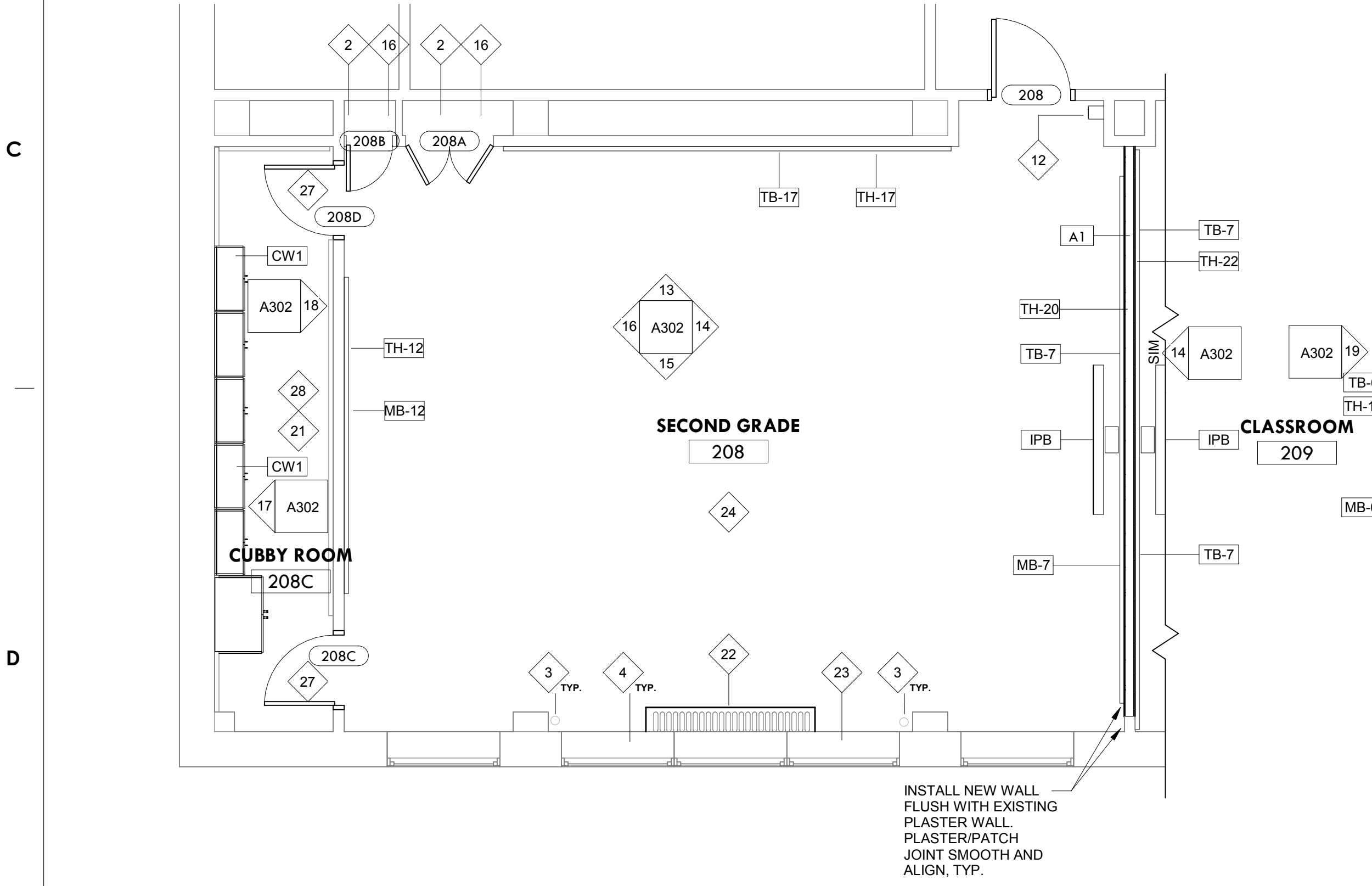
PROJECT TITLE
CLASSROOM MODERNIZATION

DRAWING TITLE
FIRST FLOOR NEW WORK PLANS

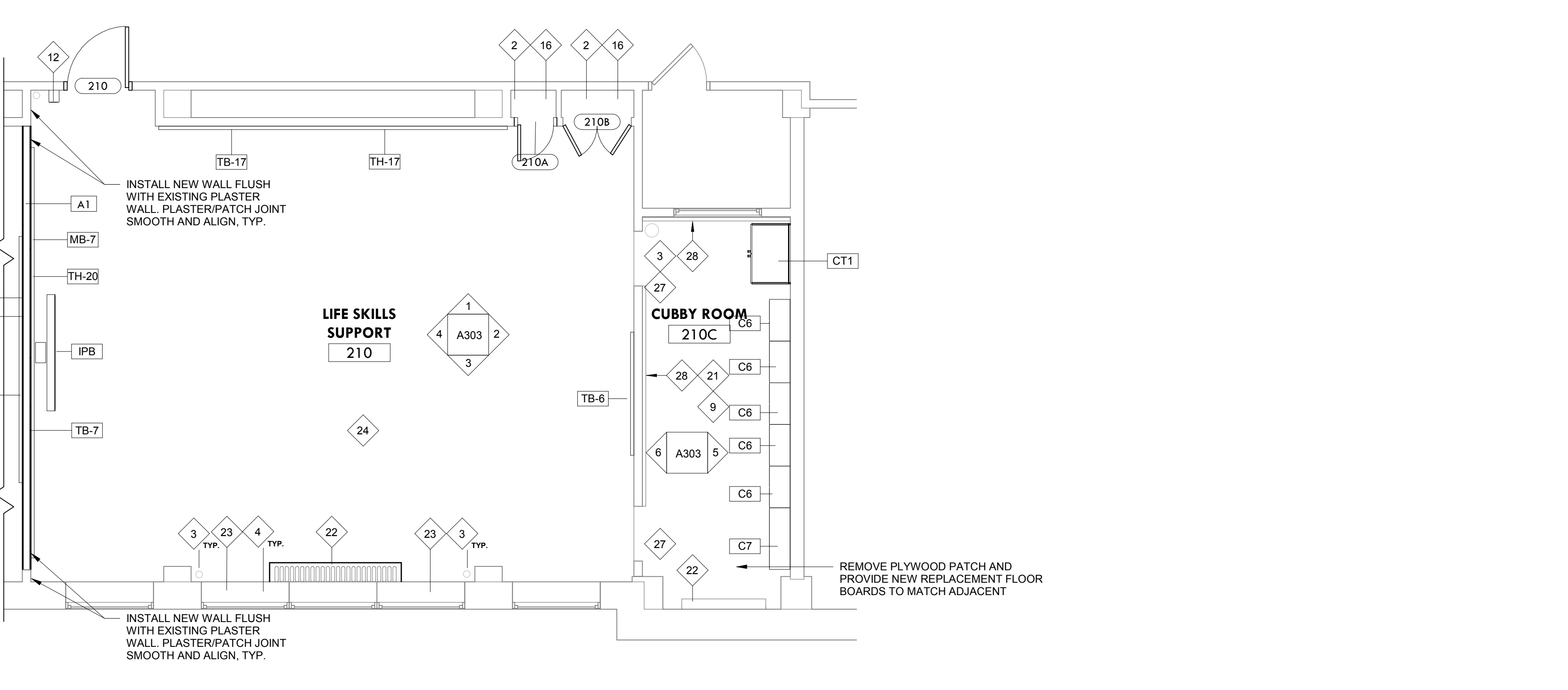
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GC: 8-031	OF 2020 / 21
EC: 8-033	OF 2020 / 21



1 SECOND FLOOR - 214 & 215 NEW WORK
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR - 208 NEW WORK
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR - 210 NEW WORK
SCALE: 1/4" = 1'-0"

NEW WORK GENERAL NOTES

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NEW WORK LEGEND

- WALL-MOUNTED EDUCATIONAL SURFACE
 - MB-X MARKERBOARD
 - TB-X TACKBOARD
 - TH-X TACKBOARD HEADER
 - TT-X TACK TRACK
 - *X INDICATES TYPE, SEE WALL EQUIPMENT SCHEDULE
- INTERACTIVE PANEL BOARD, NIC
- CASEWORK
SEE ELEVATIONS AND CASEWORK SCHEDULE FOR TYPES
- CUBBIES
SEE ELEVATIONS AND CASEWORK SCHEDULE FOR TYPES
- CLASSROOM CLOCK
NEW WALL-MOUNTED CLOCK IN EXISTING LOCATION BY WAP

SEAL:

NAME (LICENSED PROFESSIONAL)	DATE
STATE AND LICENSE NO.	XXXX/20XX

THE SHEWARD PARTNERSHIP, LLC
www.theshewardpartnership.com
1-215-751-9301
F-215-751-9302
2300 Chestnut Street
Philadelphia, PA 19103

PRINCETON ENGINEERING SERVICES
101 Morgan Lane - Suite 205, Plainsboro, NJ 08536
609-452-9700 www.princetonengineering.com

BID DOCUMENT SUBMISSION:
JANUARY 8, 2021

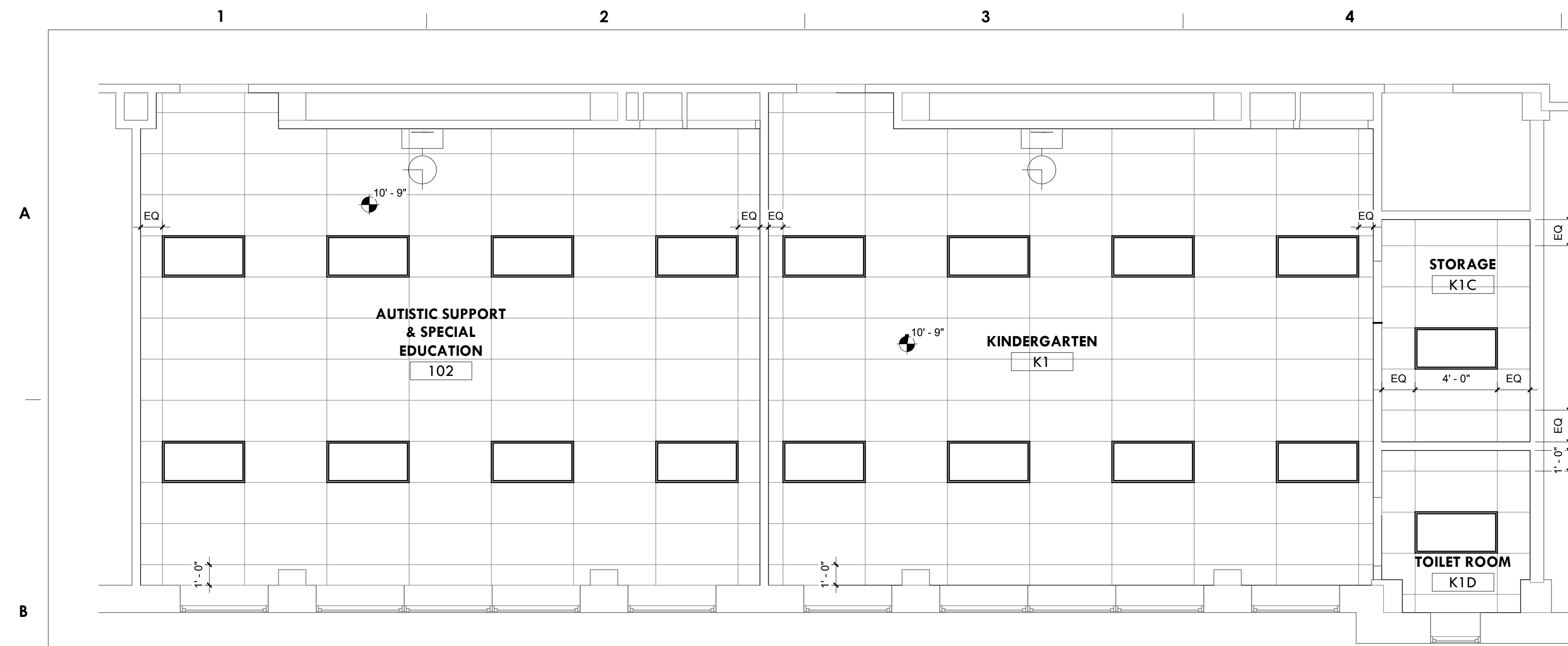
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SCHOOL & LOCATION
AMEDEE F. BREGY ELEMENTARY SCHOOL
1700 BIGLER ST., PHILADELPHIA, PA 19147

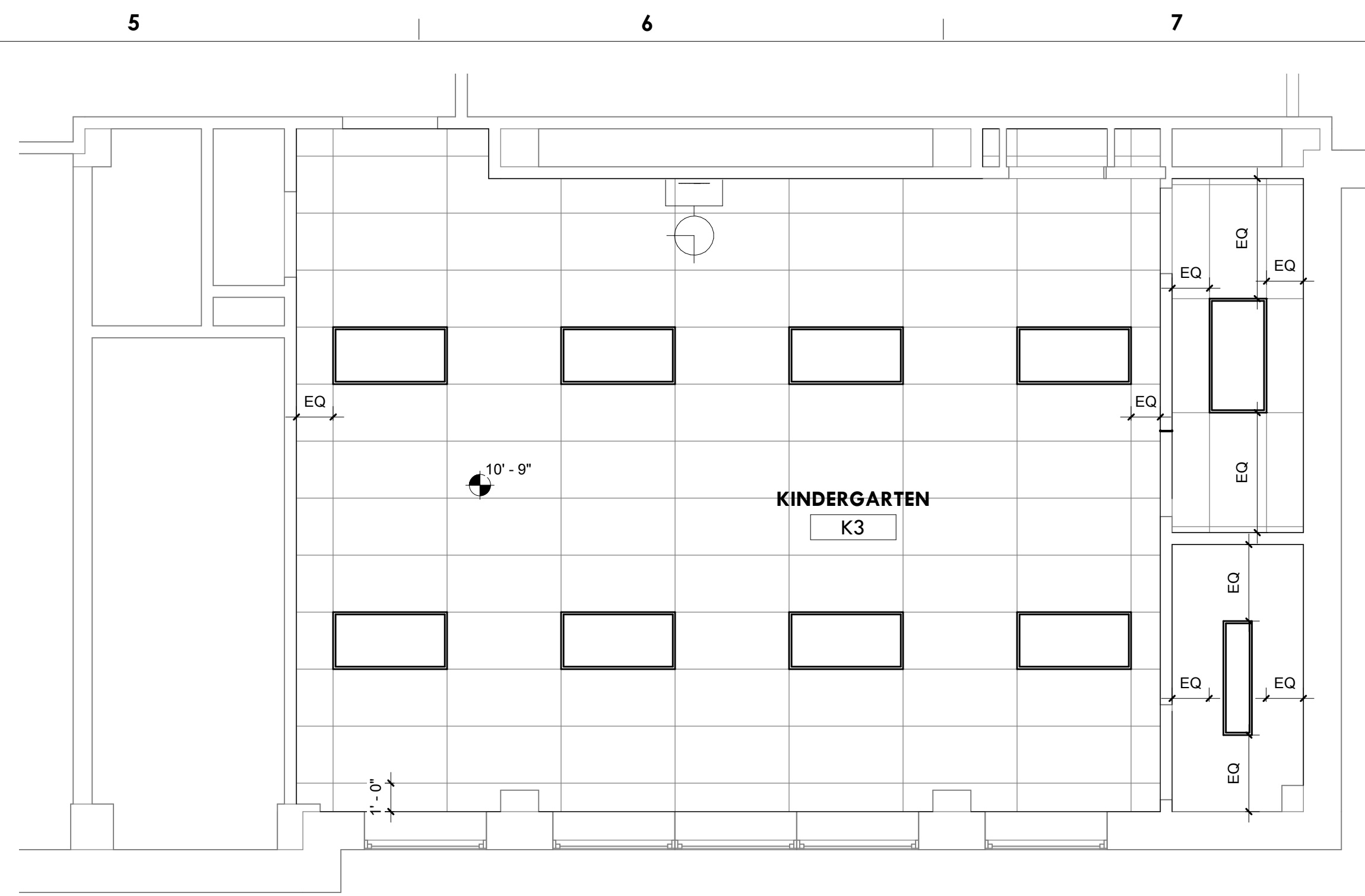
PROJECT TITLE
CLASSROOM MODERNIZATION

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SECOND FLOOR NEW WORK PLANS

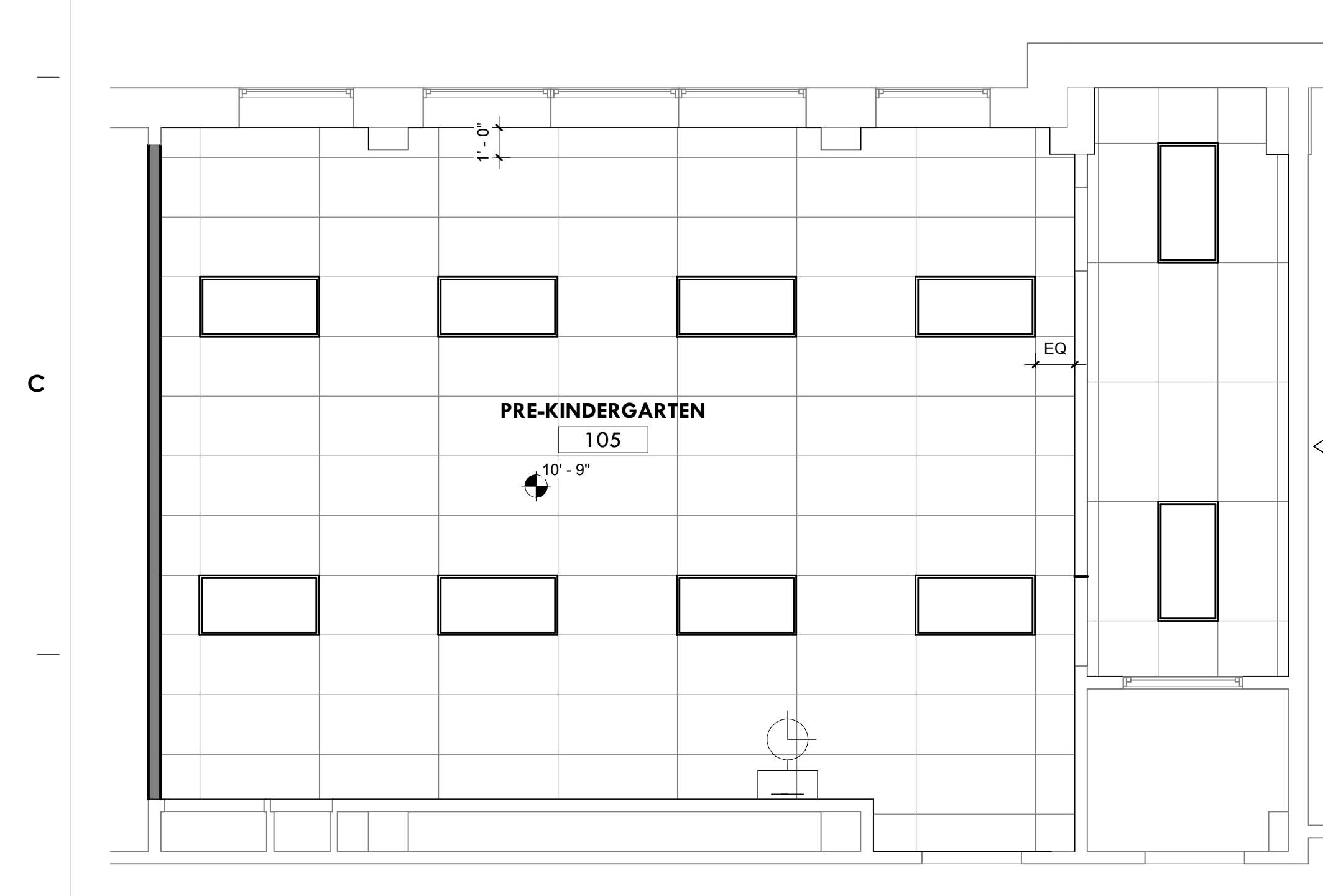
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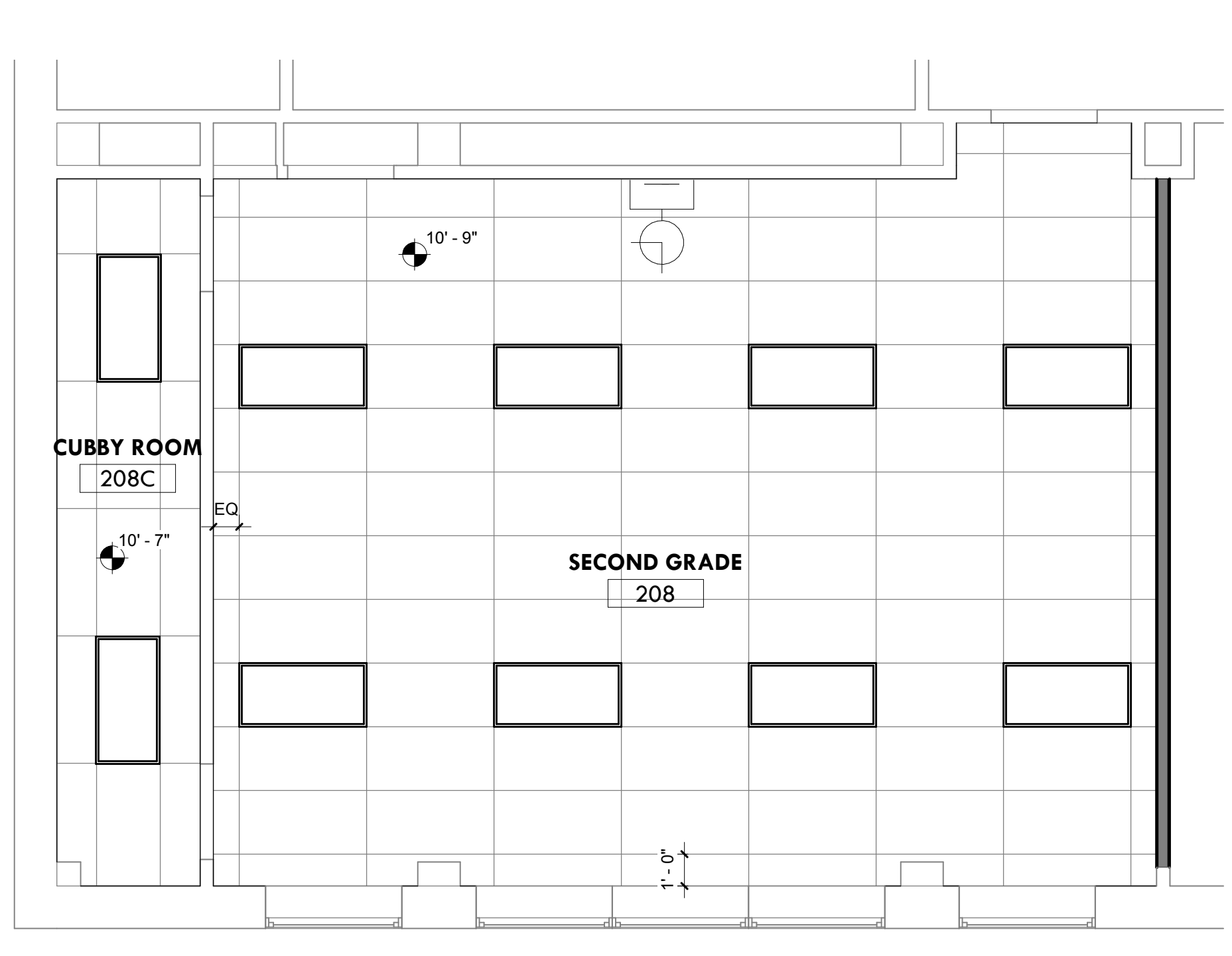
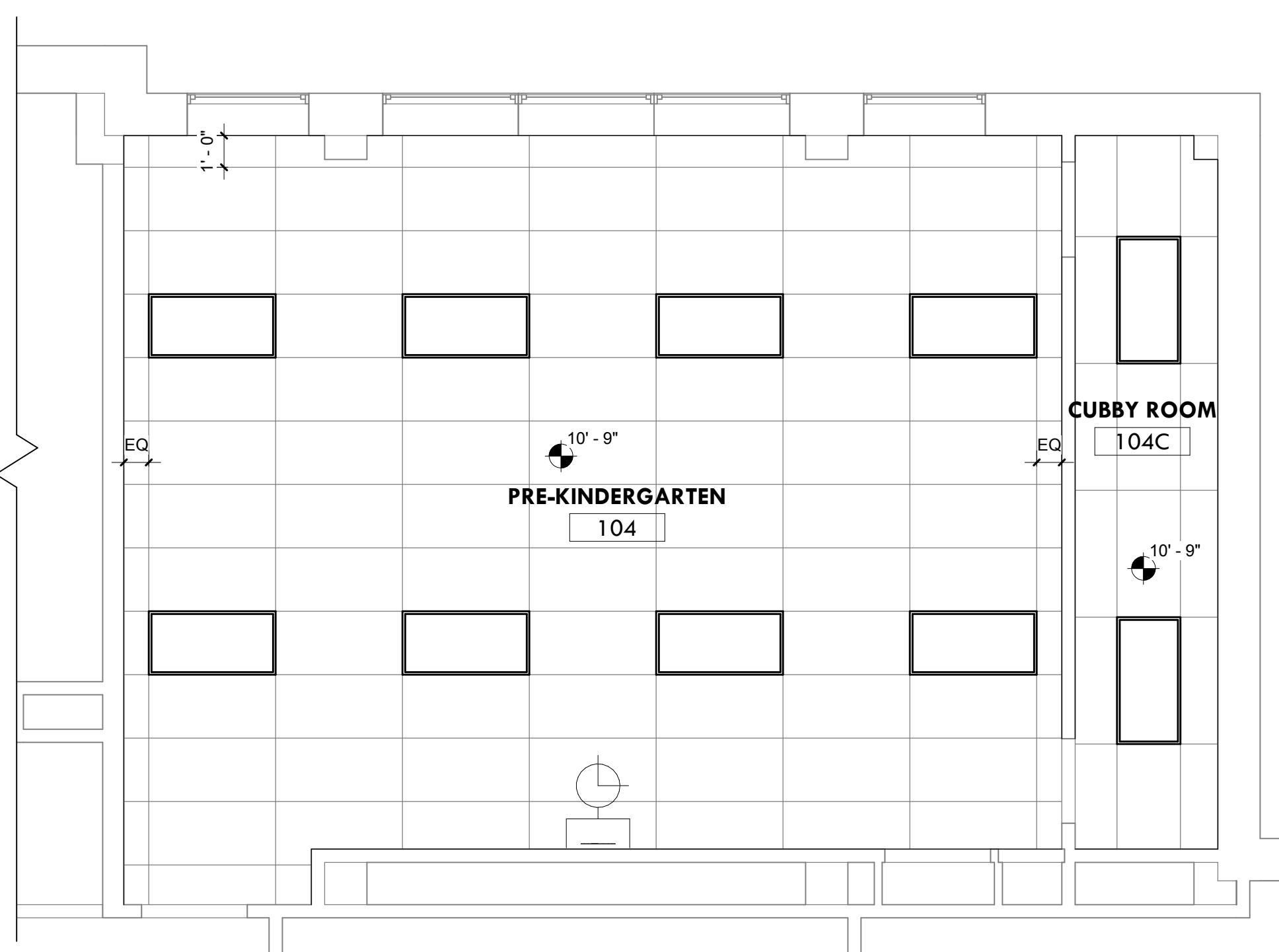
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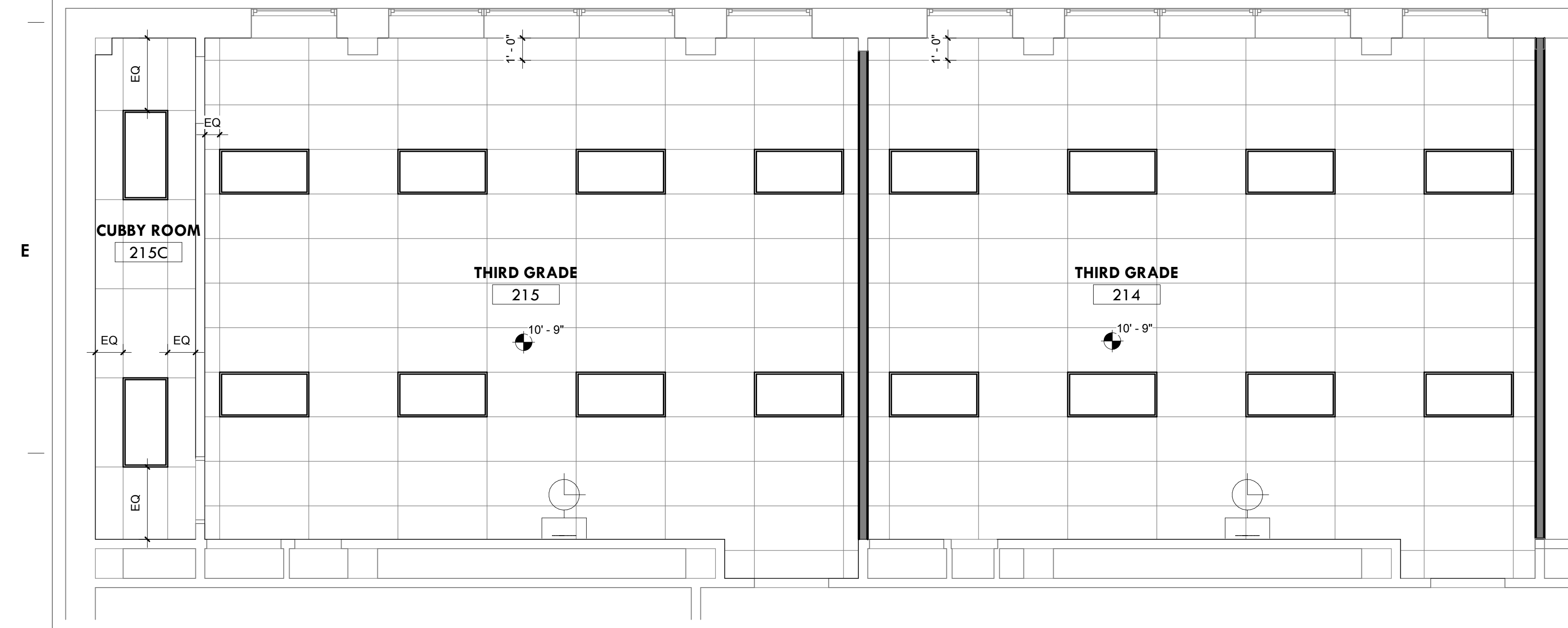
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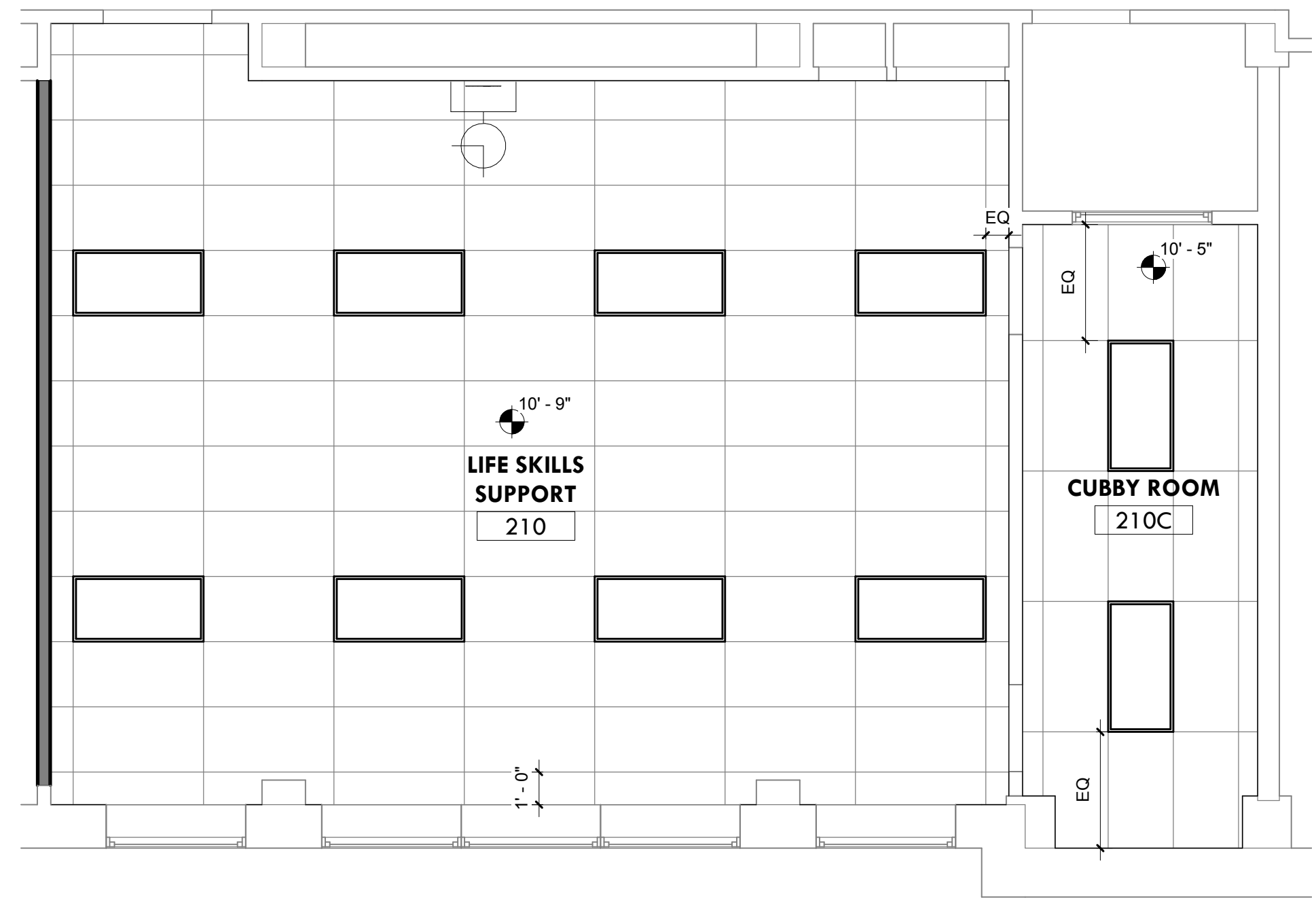
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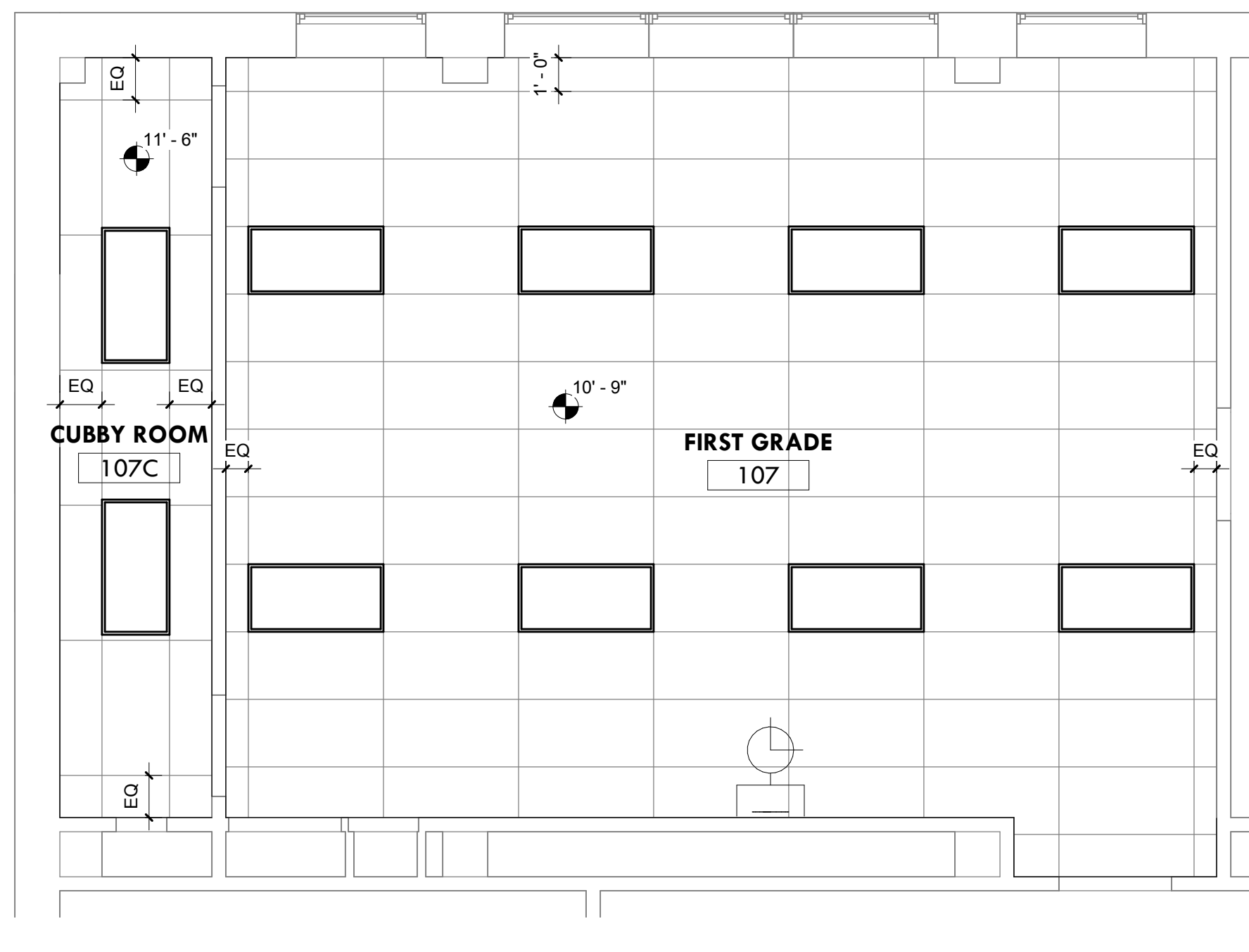
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5 SECOND FLOOR RCP - 214 & 215 NEW WORK
SCALE: 1/4" = 1'-0"



6 SECOND FLOOR RCP - 210 NEW WORK
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR RCP - 107 NEW WORK
SCALE: 1/4" = 1'-0"

RCP GENERAL NOTES

- SEE ELECTRICAL PLANS FOR LIGHTING AND IT INFORMATION
- CEILING WHERE EXPOSED, INCLUDING ALL BEAMS, PIPES, AND DUCTS, TO BE PAINTED PER FINISH SCHEDULE
- IN TOILETS WHERE EXISTING ACT IS TO REMAIN ALLOW FOR REPLACING 2 TILES TO MATCH EXISTING AS DIRECTED IN FIELD.

RCP LEGEND

CEILING FINISHES

- ACP-1 24" x 48" ACOUSTICAL CEILING PANELS SUSPENDED GRID SCHOOL ZONE FINE FISSURED

CEILING LEGEND

- NEW WALL-MOUNTED CLOCK
- FIXTURE A 24" x 48" LAY-IN LED SEE ELEC. DWGS
- FIXTURE B 12" x 48" LED SEE ELEC. DWGS
- SUPPLY DIFFUSER SEE ELEC. DWGS

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SCHOOL & LOCATION
AMEDEE F. BREGY ELEMENTARY SCHOOL
1700 BIGLER ST., PHILADELPHIA, PA 19147

PROJECT TITLE
CLASSROOM MODERNIZATION

DRAWING TITLE
REFLECTED CEILING PLANS

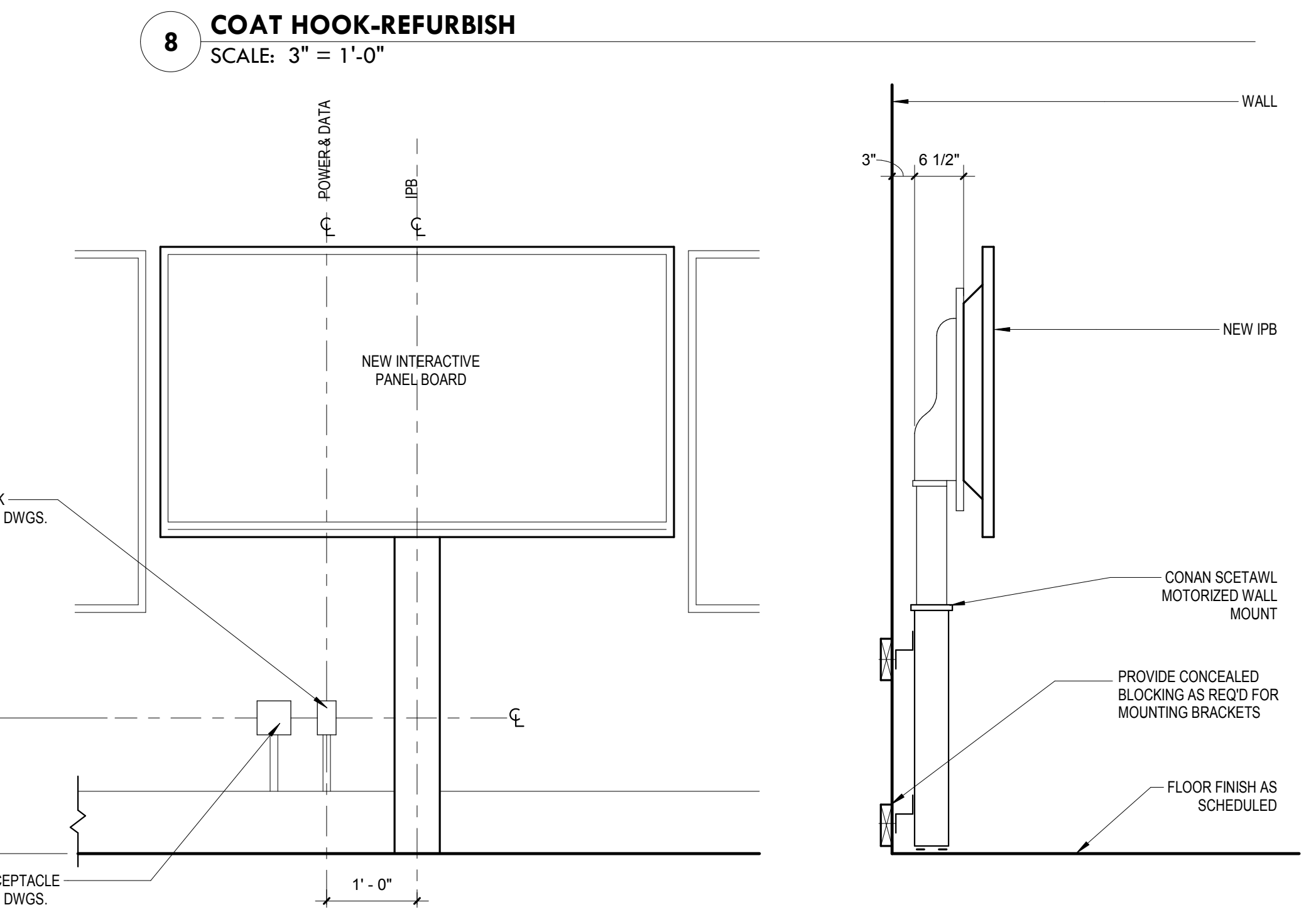
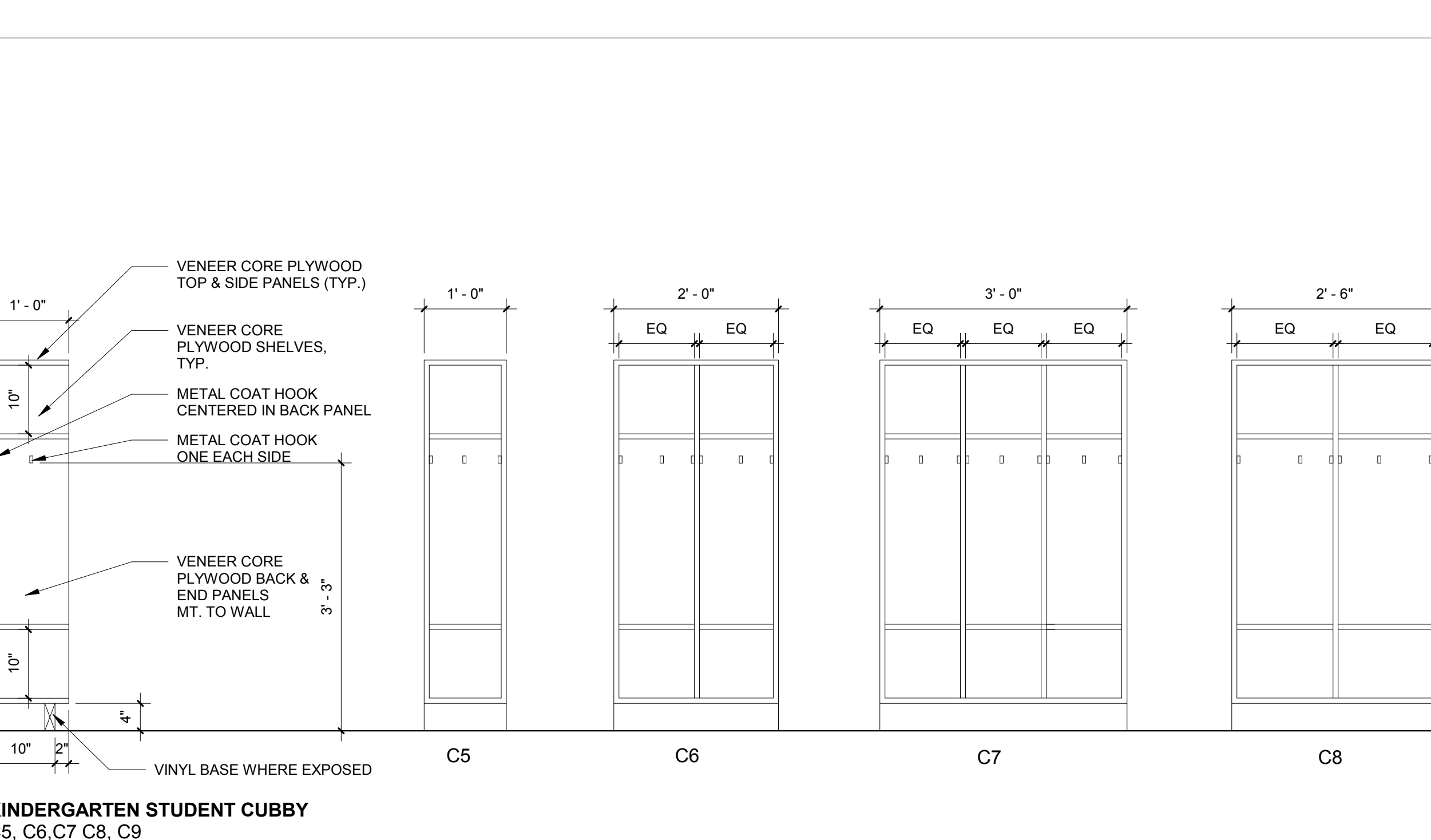
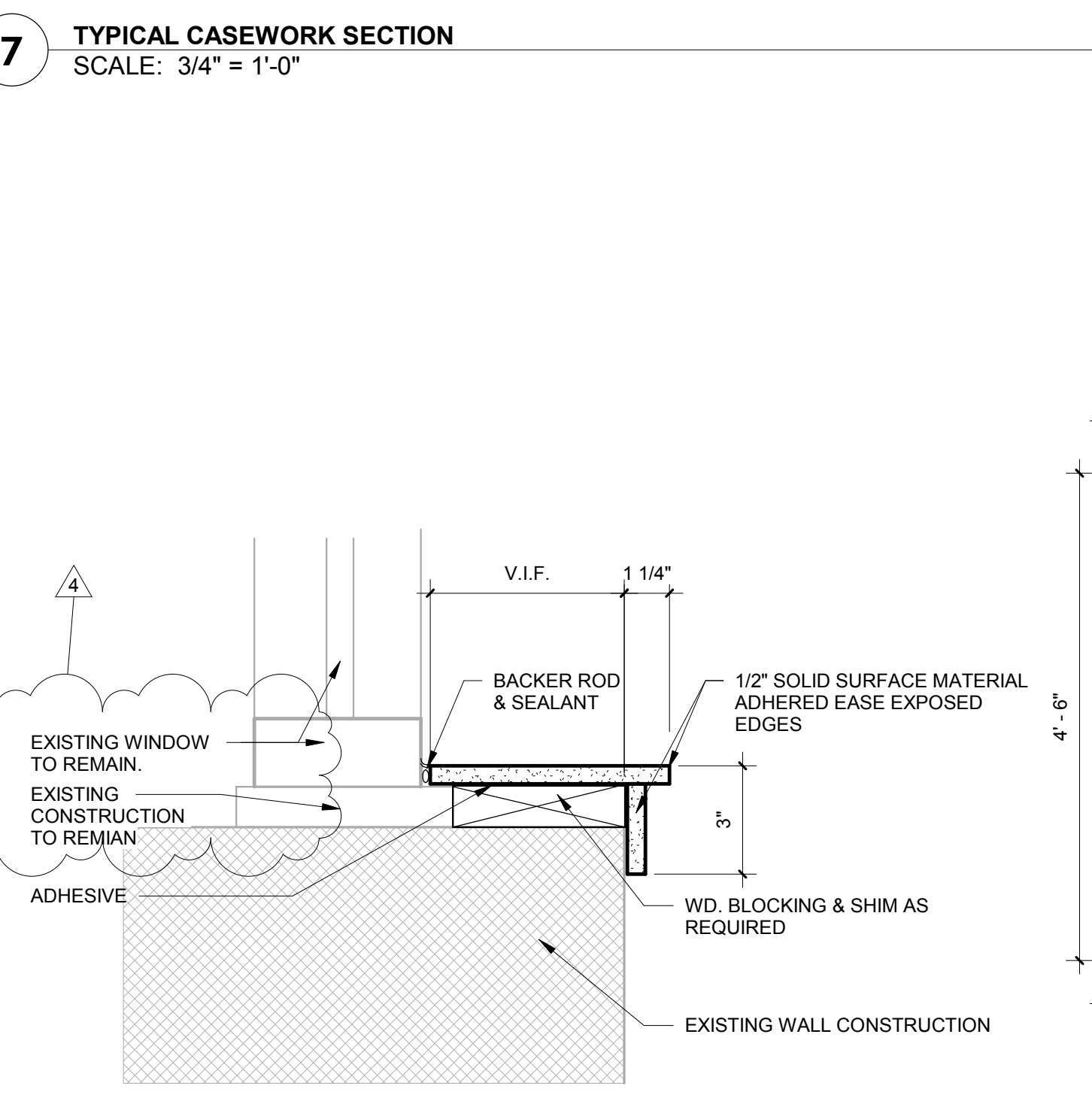
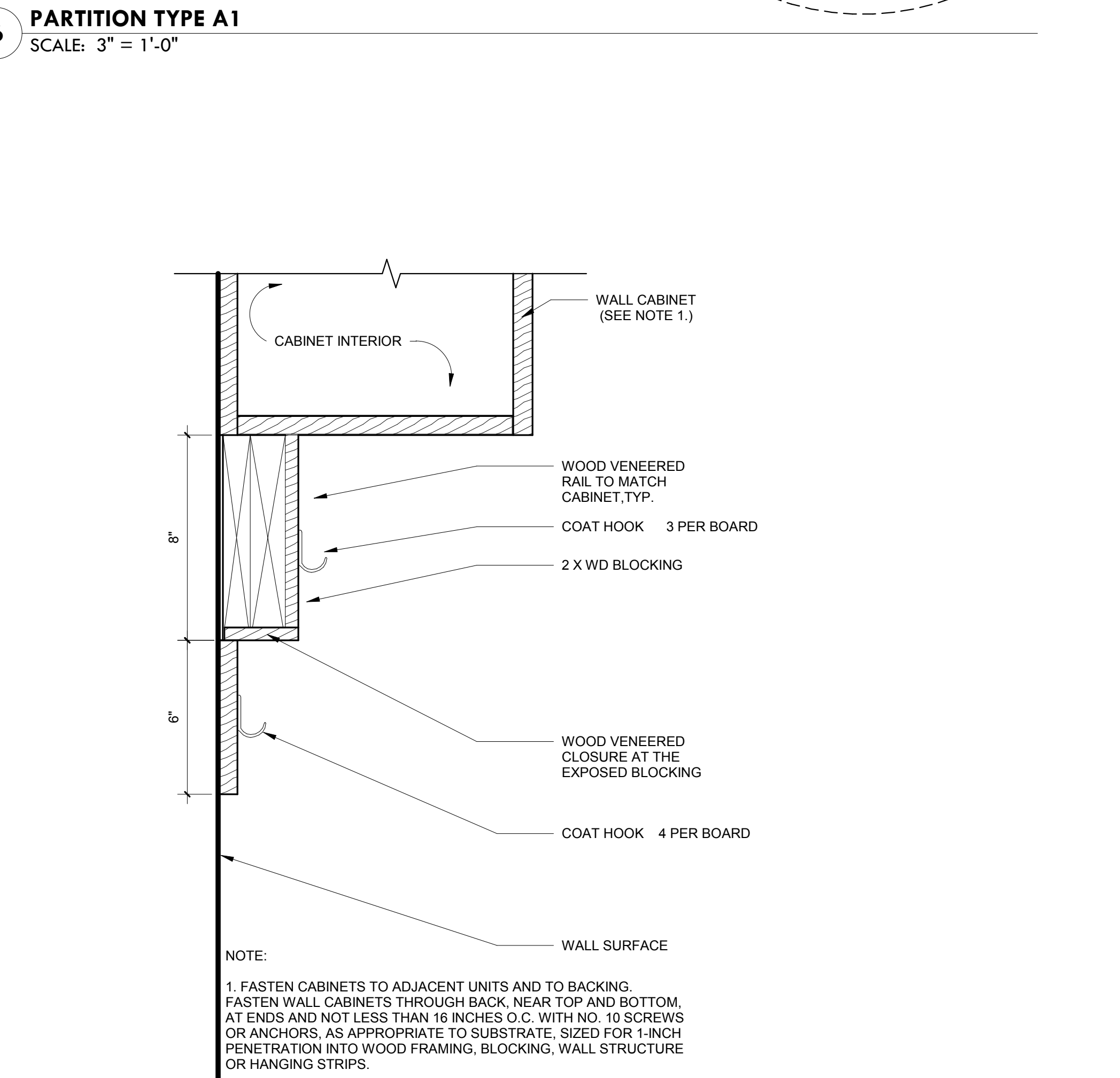
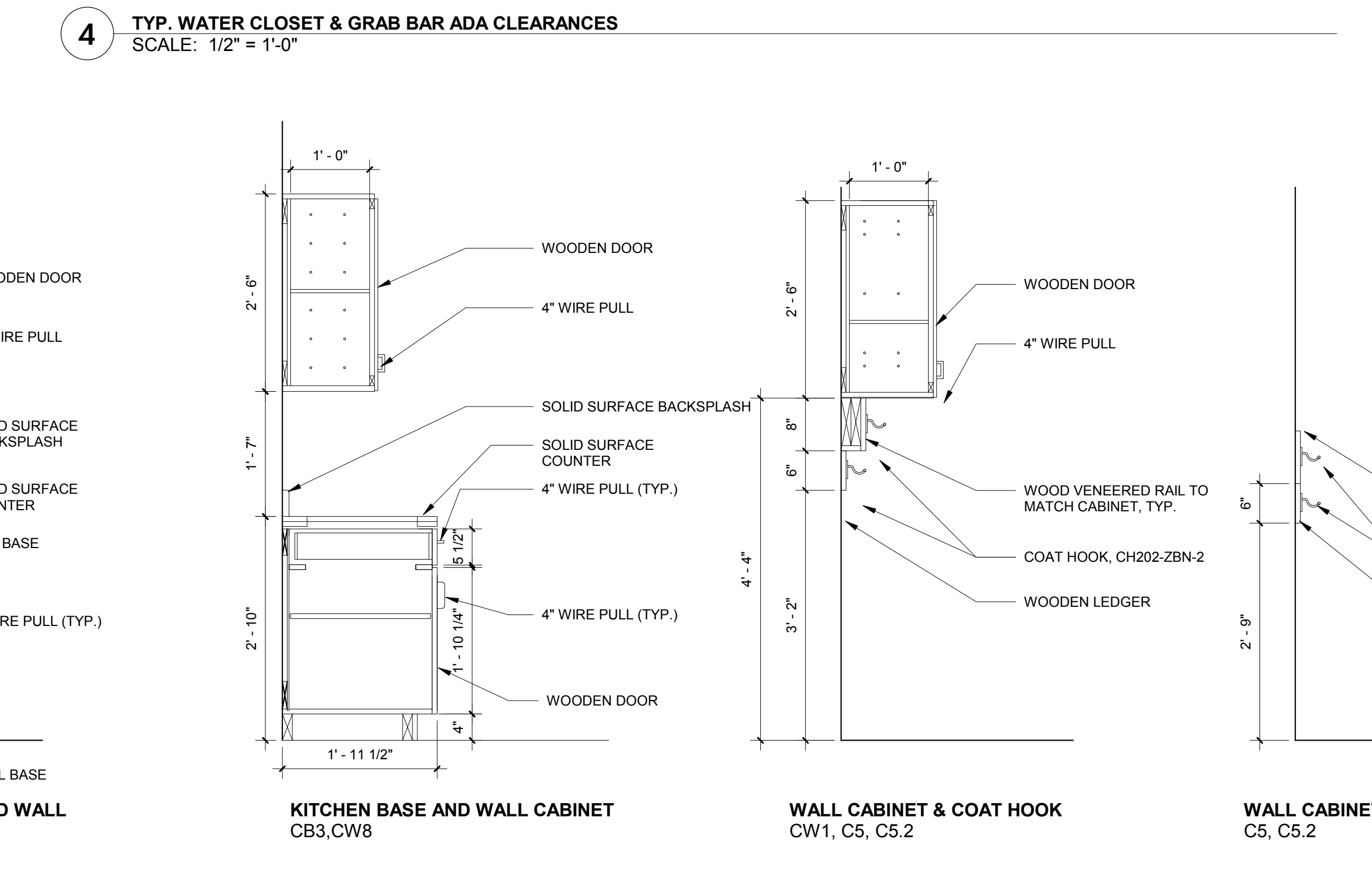
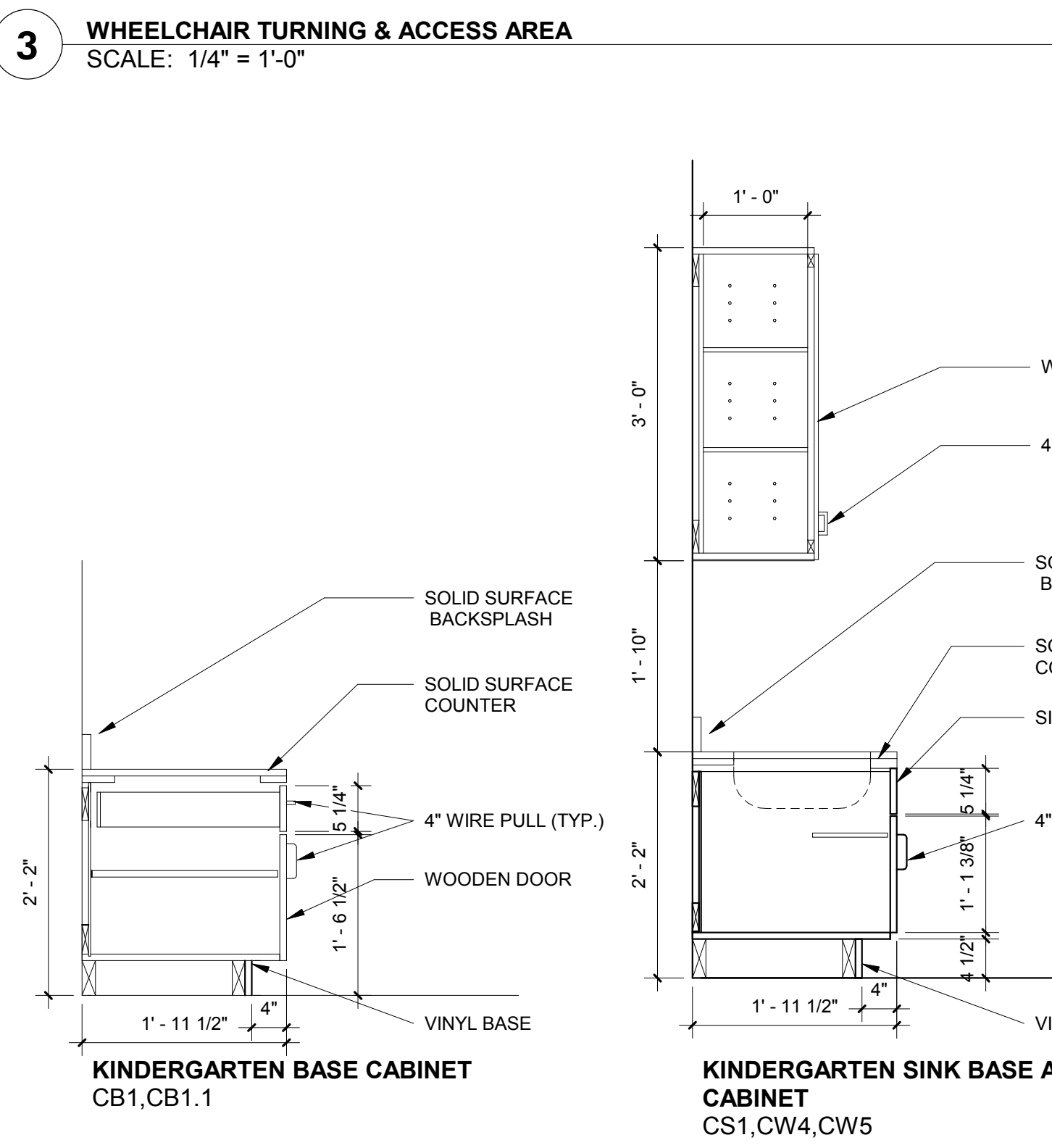
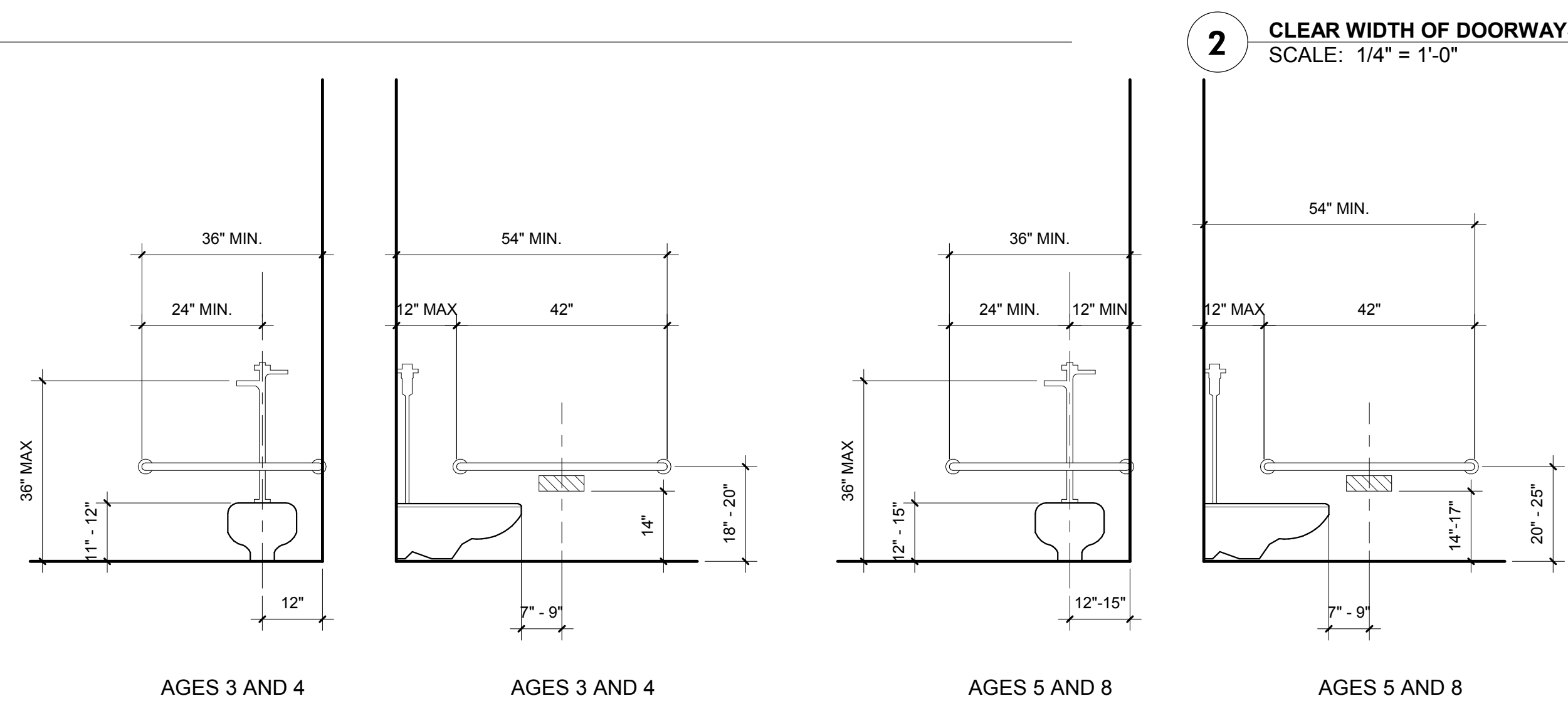
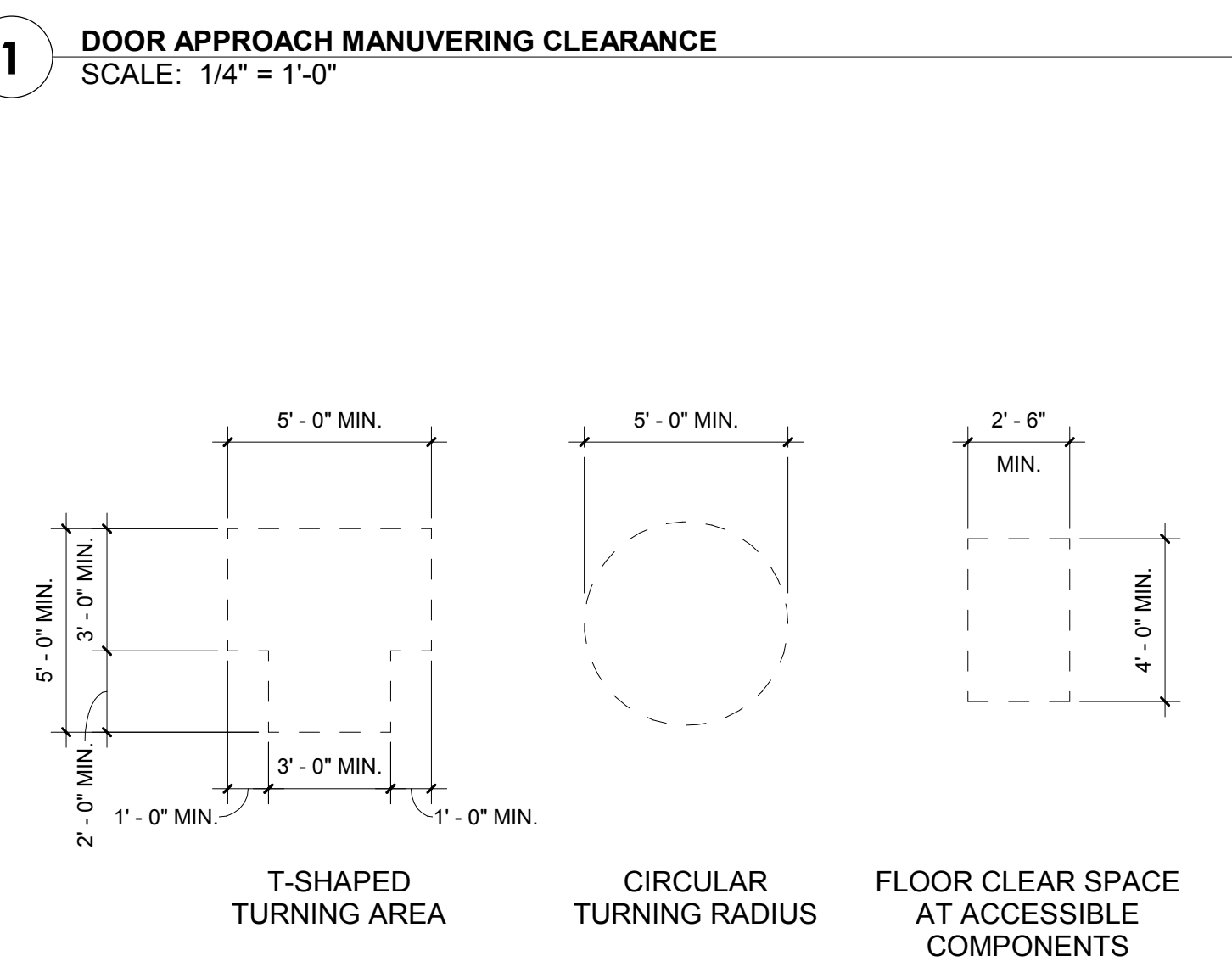
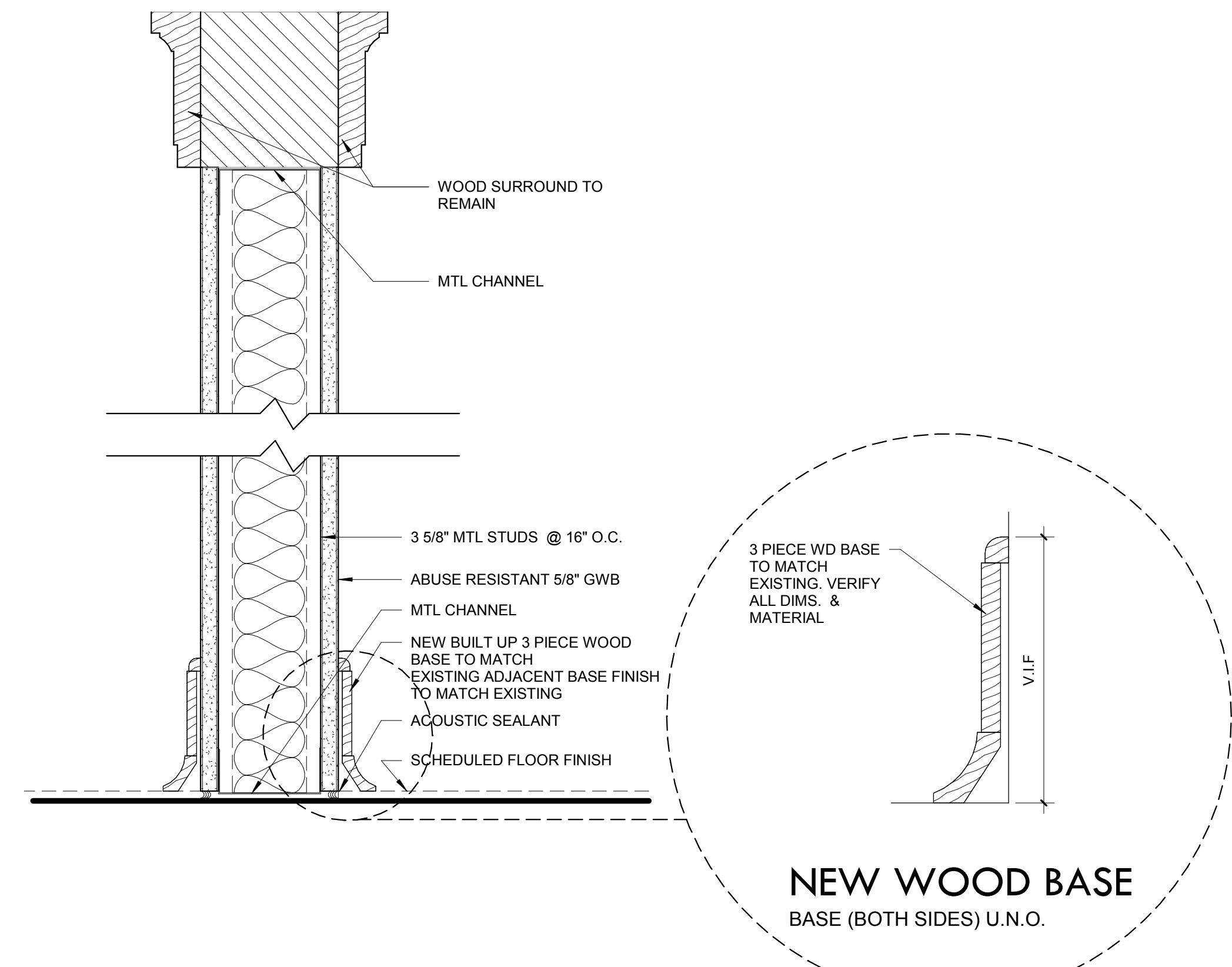
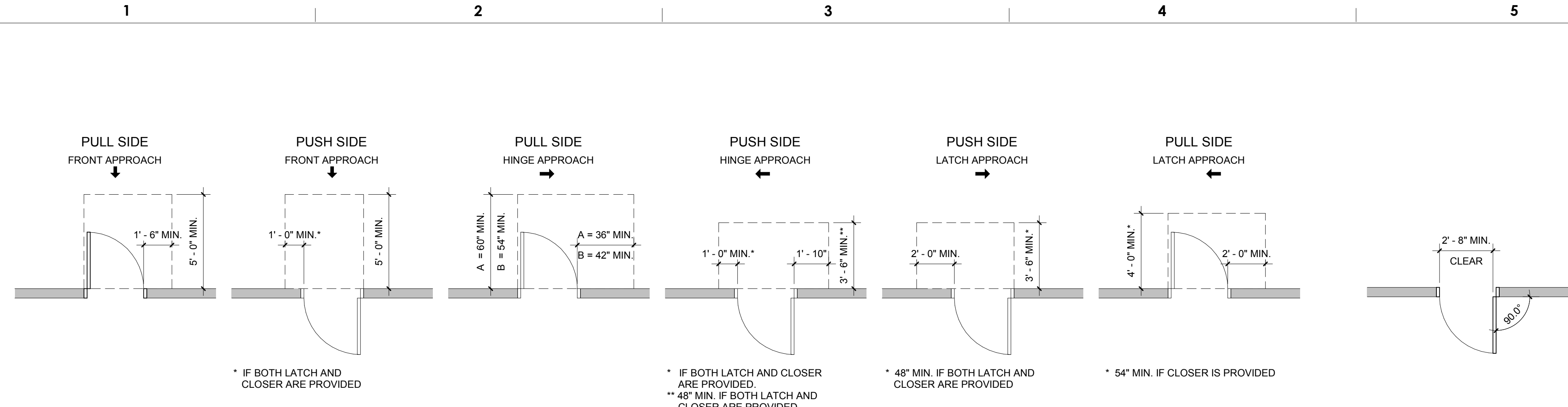
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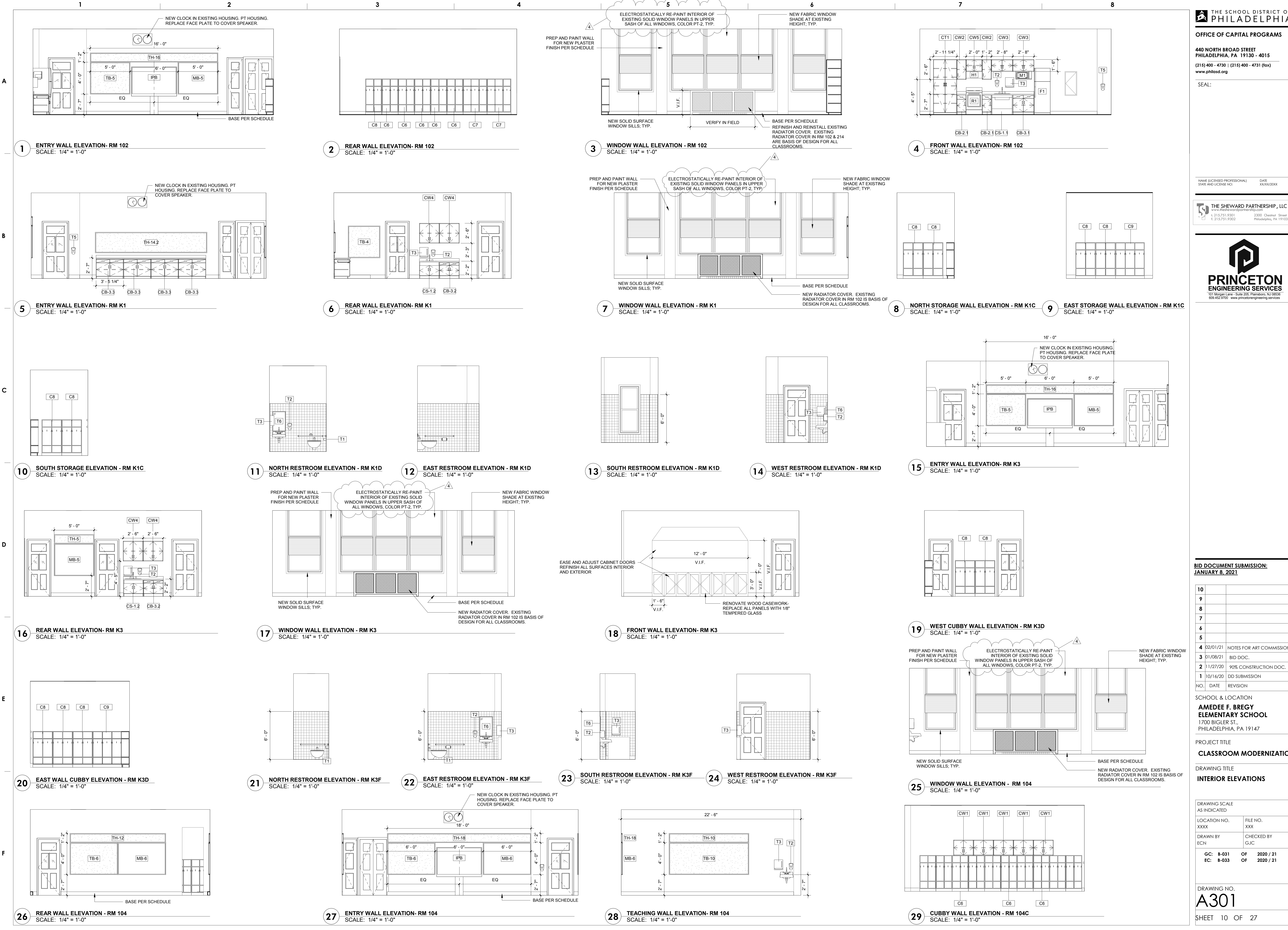
SCHOOL & LOCATION
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PROJECT TITLE
CLASSROOM MODERNIZATION

DRAWING TITLE
CASEWORK AND DETAILS

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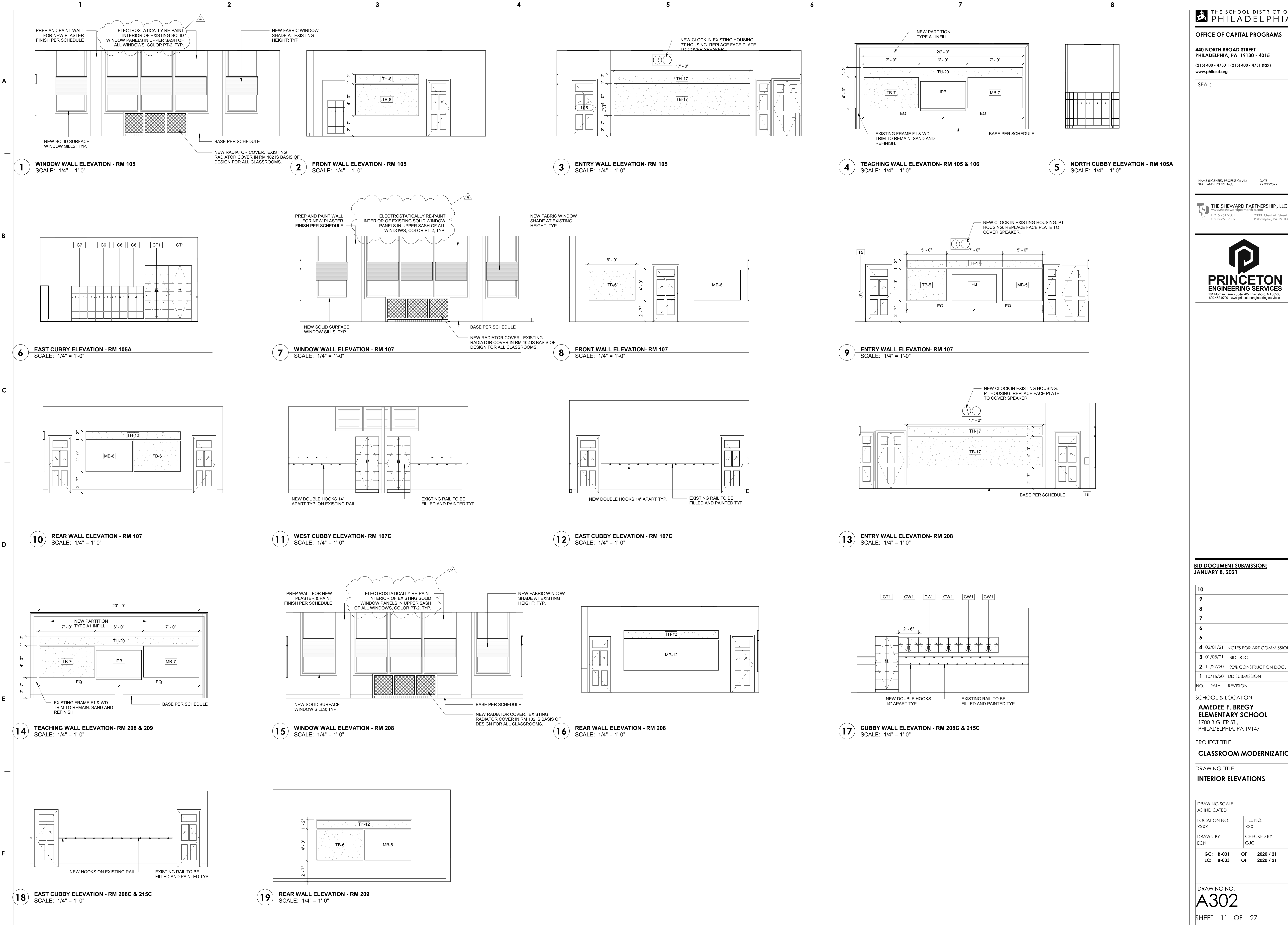
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NO.	DATE REVISION

SCHOOL & LOCATION
AMEDEE F. BREGY ELEMENTARY SCHOOL
1700 BIGLER ST., PHILADELPHIA, PA 19147

PROJECT TITLE
CLASSROOM MODERNIZATION

DRAWING TITLE
INTERIOR ELEVATIONS

DRAWING SCALE AS INDICATED	
LOCATION NO. XXXX	FILE NO. XXX
DRAWN BY ECN	CHECKED BY GJC
GC: B-031 OF 2020 / 21	EC: B-033 OF 2020 / 21



SEAL:

NAME (LICENSED PROFESSIONAL) STATE AND LICENSE NO. DATE

THE SHEWARD PARTNERSHIP, LLC
www.theshewardpartnership.com
t. 215.751.9301 f. 215.751.9302 2300 Chestnut Street Philadelphia, PA 19103

PRINCETON ENGINEERING SERVICES
101 Morgan Lane - Suite 205, Plainsboro, NJ 08536
609-452-9700 www.princetonengineering.com

BID DOCUMENT SUBMISSION:
JANUARY 8, 2021

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4	02/01/21	NOTES FOR ART COMMISSION
3	01/08/21	BID DOC.
2	11/27/20	90% CONSTRUCTION DOC.
1	10/16/20	DD SUBMISSION
NO.	DATE	REVISION

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PHILADELPHIA, PA 19147

PROJECT TITLE
CLASSROOM MODERNIZATION

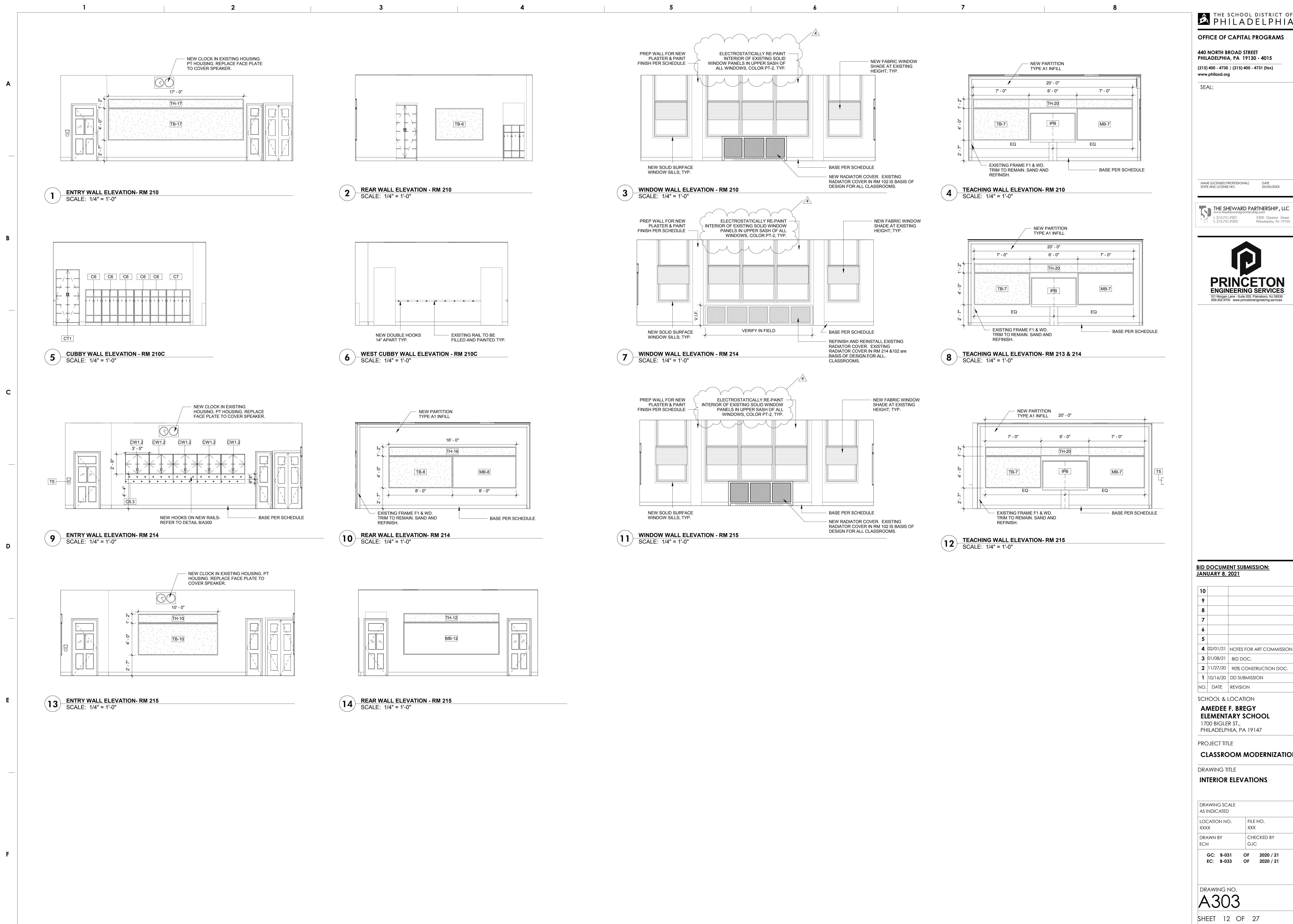
DRAWING TITLE
INTERIOR ELEVATIONS

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**AMEDEE F. BREGY
ELEMENTARY SCHOOL**
1700 BIGLER ST.,
PHILADELPHIA, PA 19147

PROJECT TITLE
CLASSROOM MODERNIZATION

DRAWING TITLE
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DRAWING NO.
A303
SHEET 12 OF 27

FINISHES GENERAL NOTES

- SURFACES TO BE PAINTED "MAIN" COLOR PER FINISH SCHEDULE EXCEPT WHERE NOTED OTHERWISE
- UNIT VENTILATORS, PIPE ENCLOSURES, DOOR AND OPENING METAL FRAMES TO BE PAINTED PT-3. UNO
- CLOSET/CLOVE CEILING TO BE PAINTED TO MATCH WALLS
- AT CLASSROOM ENTRY DOORS, CAREFULLY PAINT THE DOOR FRAME IN TWO COLORS: CLASSROOM SIDE COLOR PT-3, CORRIDOR SIDE COLOR TO MATCH EXISTING FRAME COLOR.
- IN ROOMS WHERE VINYL TILE IS REMOVED, PROVIDE OVER THE ENTIRE FLOOR A CEMENTITIOUS OVERLAYMENT PRODUCT THAT IS ACCEPTABLE TO THE VINYL MANUFACTURER AND IN THICKNESS RECOMMENDED BY THE MANUFACTURER.
- REFINISH ALL EXISTING WOOD SURFACES INCLUDING BUT NOT LIMITED TO DOORS, DOOR FRAMES, WINDOW FRAMES, WINDOW SILLS, BASEBOARDS, RAILS, SHELVING, ALL WOOD FINISHED CLOSETS AND OTHER TRIM. REFINISHING SHALL INCLUDE THE FOLLOWING:
 - CLEAN SURFACE TO REMOVE DIRT AND RESIDUE, STAPLES AND OTHER APPLIED MATERIALS
 - SAND AND CLEAN BETWEEN STAGES. SANDING TO INCLUDE KNOCKING DOWN ANY BEADING OF OLD VARNISH
 - FILL GOUGES AND HOLES WITH COMPATIBLE WOOD FILLER. TINT FILLER TO MATCH EXISTING STAINED FINISH.
 - AT WORN, DAMAGED, OR BLEACHED AREAS OF STAINED WOOD APPLY WIPING STAIN TO MATCH EXISTING ADJACENT AREAS. PROVIDE SUFFICIENT APPLICATIONS OF STAIN TO GIVE AN OVERALL EVEN STAINED WOOD APPEARANCE CONSISTENT WITH THE ORIGINAL INTENT
 - FINISH WITH 3 COATS OF WATERBASED POLYURETHANE VARNISH COMPATIBLE WITH THE EXISTING FINISH SYSTEM AND APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- WHERE DOORS AND FRAMES ARE REFINISHED THEY ARE TO BE REFINISHED ON BOTH SIDES. AT CLASSROOM ENTRY DOORS REFINISH THE DOOR FRAME ON THE CORRIDOR SIDE TO MATCH THE EXISTING CORRIDOR FRAMES.
- IN ROOMS WHERE NEW VINYL TILE IS TO BE INSTALLED DIRECTLY OVER EXISTING OR NEW WOOD FLOORS PROVIDE NEW 1/4" APA PREMIUM PLYWOOD UNDERLAYMENT SANDED FACE EXPOSURE

SEAL:

NAME (LICENSED PROFESSIONAL) DATE
STATE AND LICENSE NO. XXXX/20XX

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PRINCETON ENGINEERING SERVICES
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FINISH LEGEND
WALL FINISHES

- PT-1 SW7044 AMAZING GRAY
- PT-2 SW9171 FELTED WOOL
- PT-3 SW6890 OSAGE ORANGE
- PT-4 SW6765 SPA
- PT-5 SW6767 AQUARIUM
- PT-6 SW6903 CHEERFUL

WALL BASES

- WD-EX EXISTING WOOD BASE

FLOOR FINISHES

- CT-1 NEW CERAMIC FLOOR TILE 4.25" X 4.25"
- EX-WD REFINISH WOOD FLOOR INCLUDING SANDING, STAINING, SEALING, AND FINISH COATS
- VCT NEW VINYL COMPOSITIONAL TILE 12" X 12"
- VCT-1 ARMSTRONG STANDARD EXCELON 51803 PEARL WHITE
- VCT-2 ARMSTRONG STANDARD EXCELON 51866 LITTLE GREEN APPLE
- VCT-3 ARMSTRONG STANDARD EXCELON 51947 BASIL GREEN
- VCT-4 ARMSTRONG STANDARD EXCELON 51927 FIELD GRAY
- VCT-5 ARMSTRONG STANDARD EXCELON 57509 LEMON LICK

ACCENT TAG
EXTENT OF ACCENT WALL AND BASE FINISHES. SEE FINISH SCHEDULE.

BID DOCUMENT SUBMISSION:
JANUARY 8, 2021

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SCHOOL & LOCATION

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1700 BIGLER ST.,
PHILADELPHIA, PA 19147

PROJECT TITLE

CLASSROOM MODERNIZATION

DRAWING TITLE

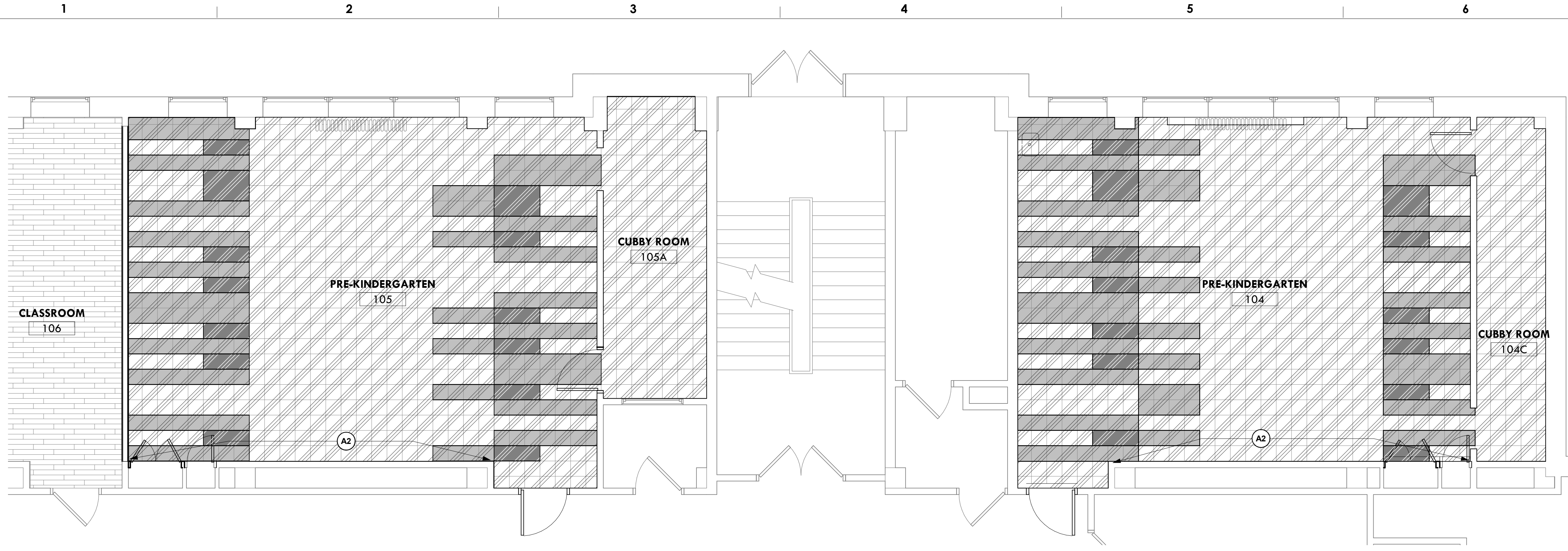
ENLARGED FINISH PLANS

DRAWING SCALE AS INDICATED	
LOCATION NO. XXXX	FILE NO. XXX
DRAWN BY ECN	CHECKED BY GJC
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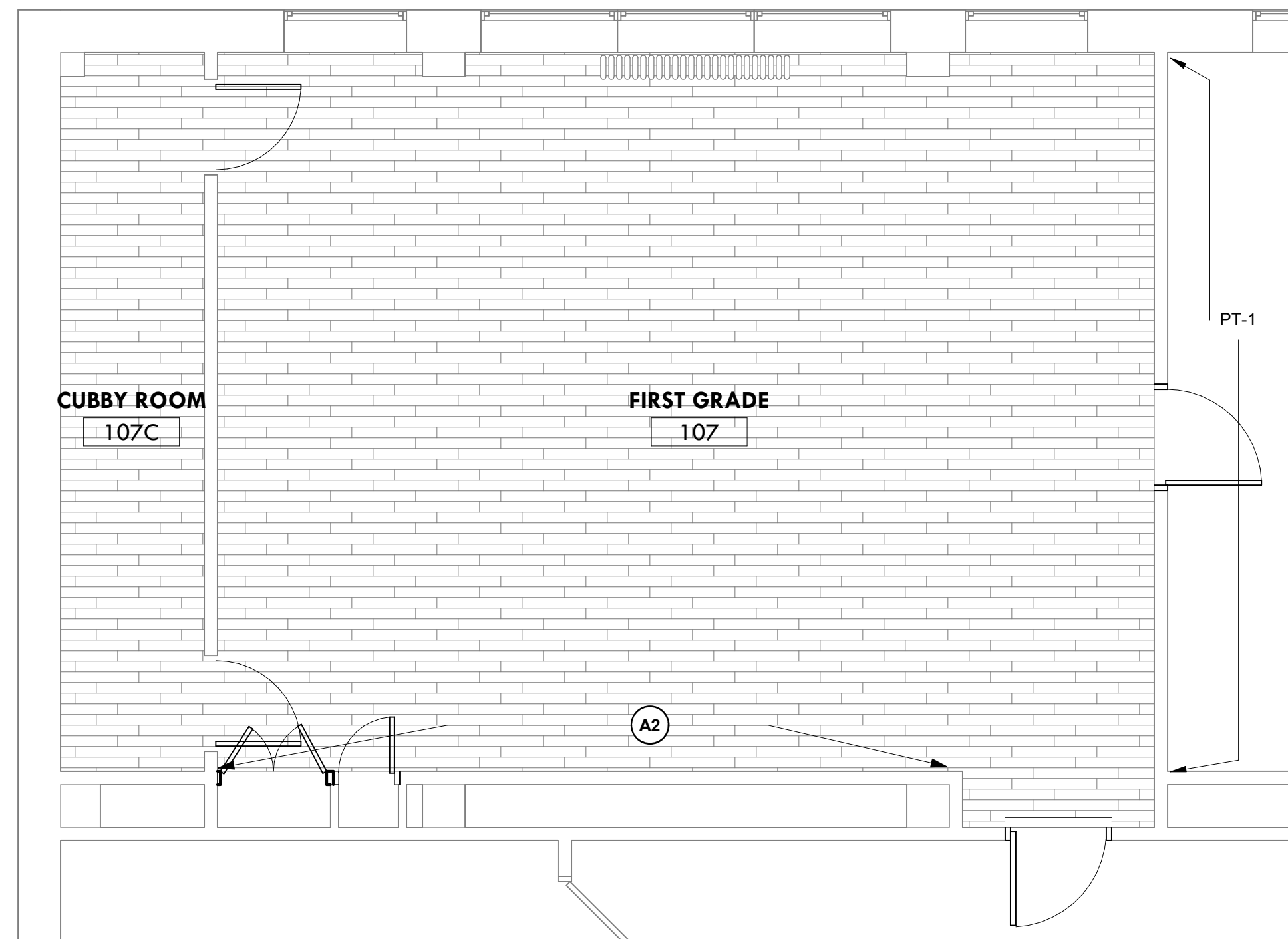
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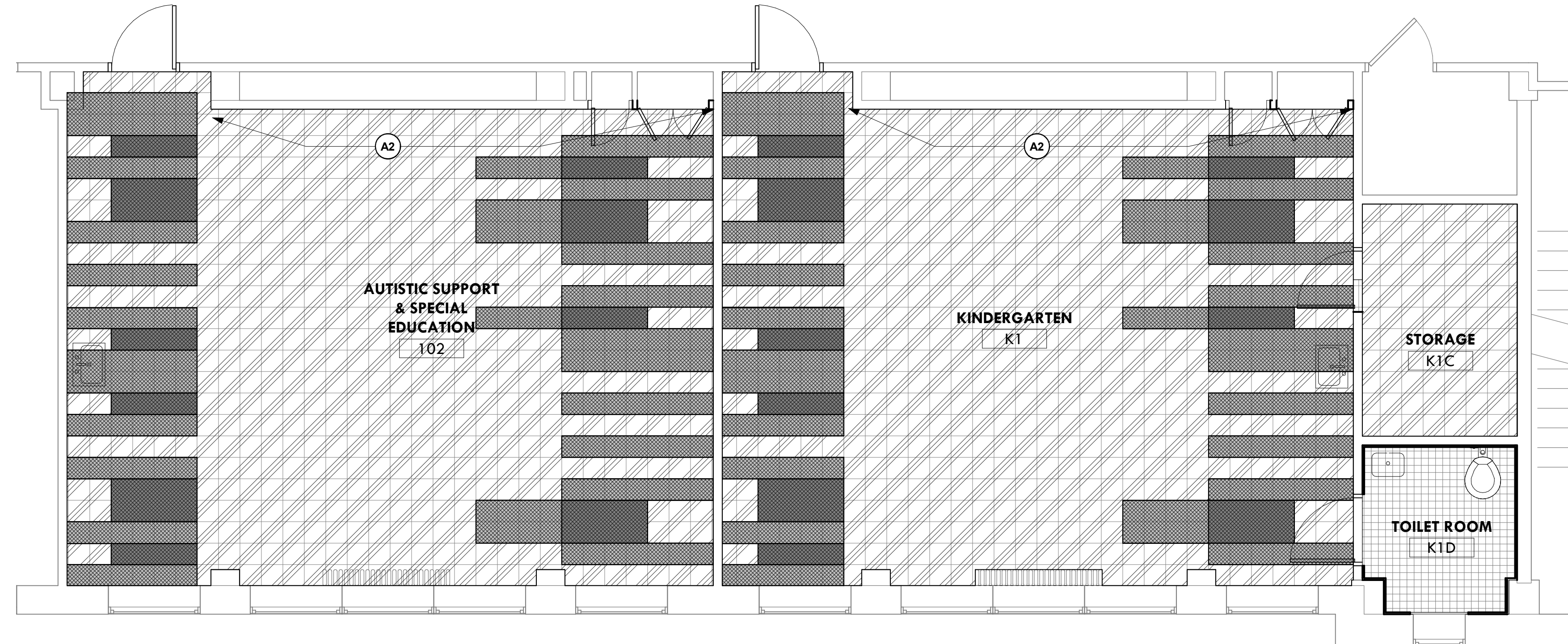
SHEET 14 OF 27



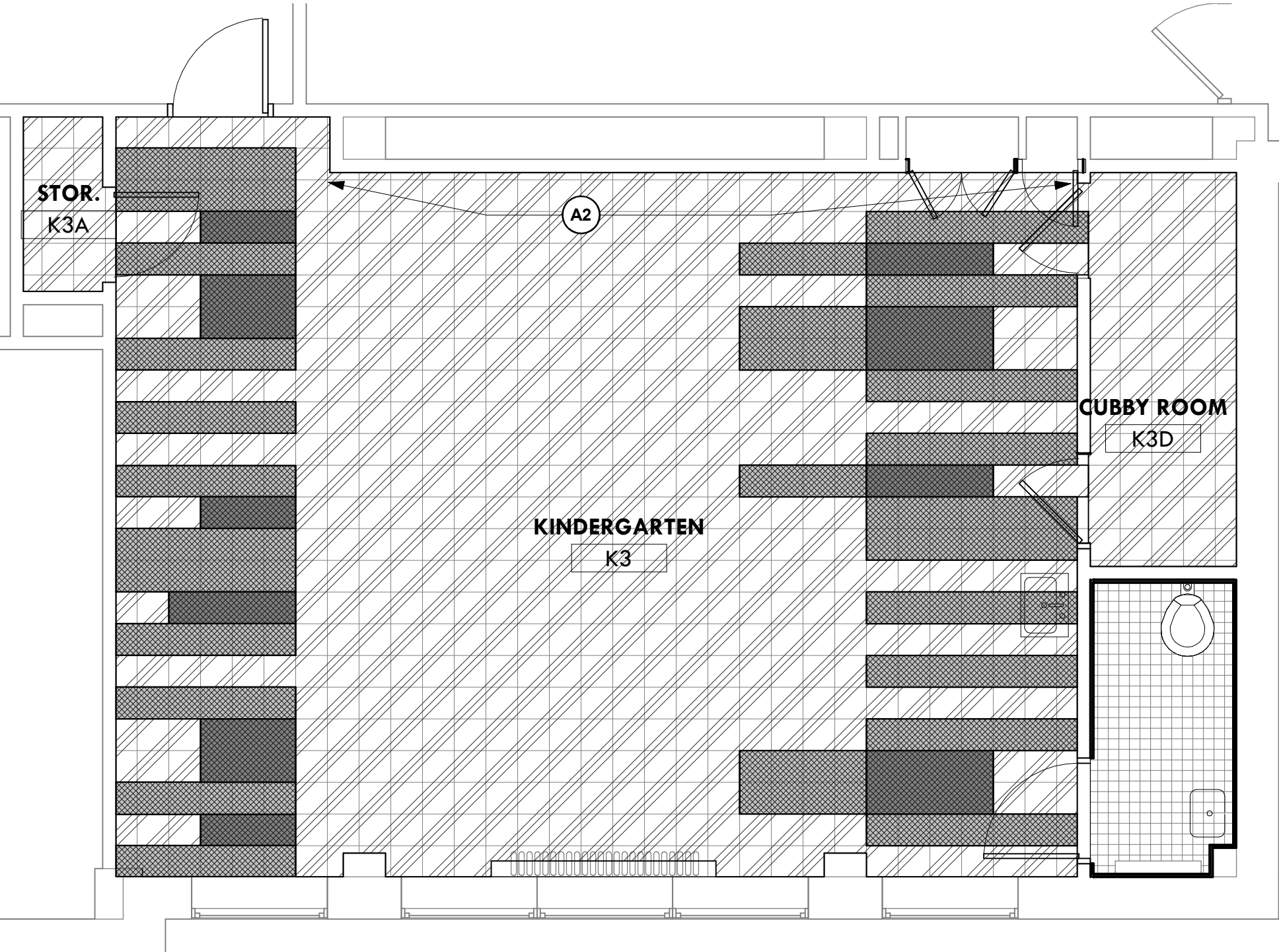
1 FIRST FLOOR - 104 & 105 FINISHES
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR - 107 FINISHES
SCALE: 1/4" = 1'-0"



3 FIRST FLOOR - 102 & K1 FINISHES
SCALE: 1/4" = 1'-0"



4 FIRST FLOOR - K3 FINISHES
SCALE: 1/4" = 1'-0"

FINISHES GENERAL NOTES

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- CLOSET/ALCOVE CEILING TO BE PAINTED TO MATCH WALLS
- AT CLASSROOM ENTRY DOORS, CAREFULLY PAINT THE DOOR FRAME IN TWO COLORS: CLASSROOM SIDE COLOR PT-3, CORRIDOR SIDE COLOR TO MATCH EXISTING FRAME COLOR.
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1. 215.751.9301 2300 Chestnut Street
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FINISH LEGEND

WALL FINISHES

- PT-1
SW7044
AMAZING GRAY
- PT-2
SW8171
FELTED WOOL
- PT-3
SW8890
OSAGE ORANGE
- PT-4
SW8765
SPA
- PT-5
SW8767
AQUARIUM
- PT-6
SW8903
CHEERFUL

WALL BASES

- WD-EX
EXISTING WOOD BASE

FLOOR FINISHES

- CT-1
NEW CERAMIC FLOOR TILE
4.25" X 4.25"
- EX-WD
REFINISH WOOD FLOOR INCLUDING SANDING,
STAINING, SEALING, AND FINISH COATS
- VCT
NEW VINYL COMPOSITIONAL TILE
12" X 12"
- VCT-1
ARMSTRONG STANDARD EXCELON
51803 PEARL WHITE
- VCT-2
ARMSTRONG STANDARD EXCELON
51886 LITTLE GREEN APPLE
- VCT-3
ARMSTRONG STANDARD EXCELON
51947 BASIL GREEN
- VCT-4
ARMSTRONG STANDARD EXCELON
51927 FIELD GRAY
- VCT-5
ARMSTRONG STANDARD EXCELON
57509 LEMON LICK

ACCENT TAG
EXTENT OF ACCENT WALL
AND BASE FINISHES. SEE
FINISH SCHEDULE.

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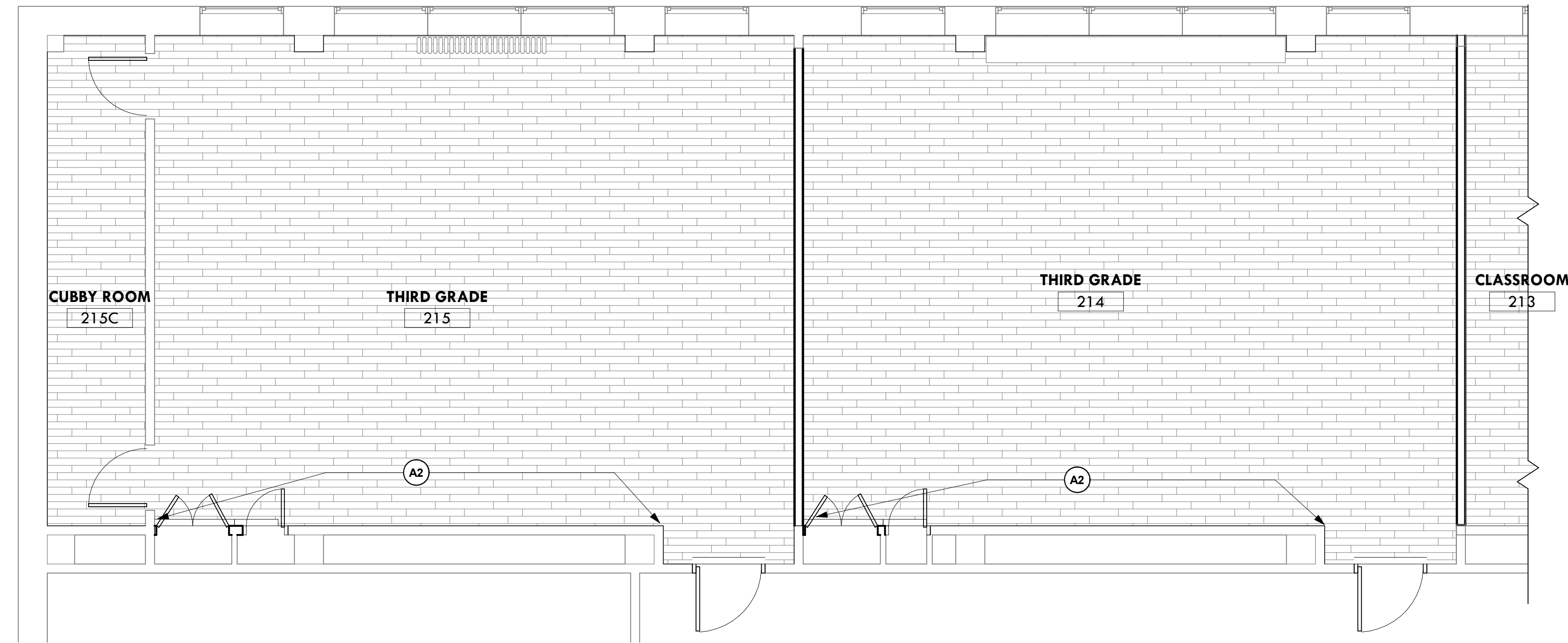
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PROJECT TITLE
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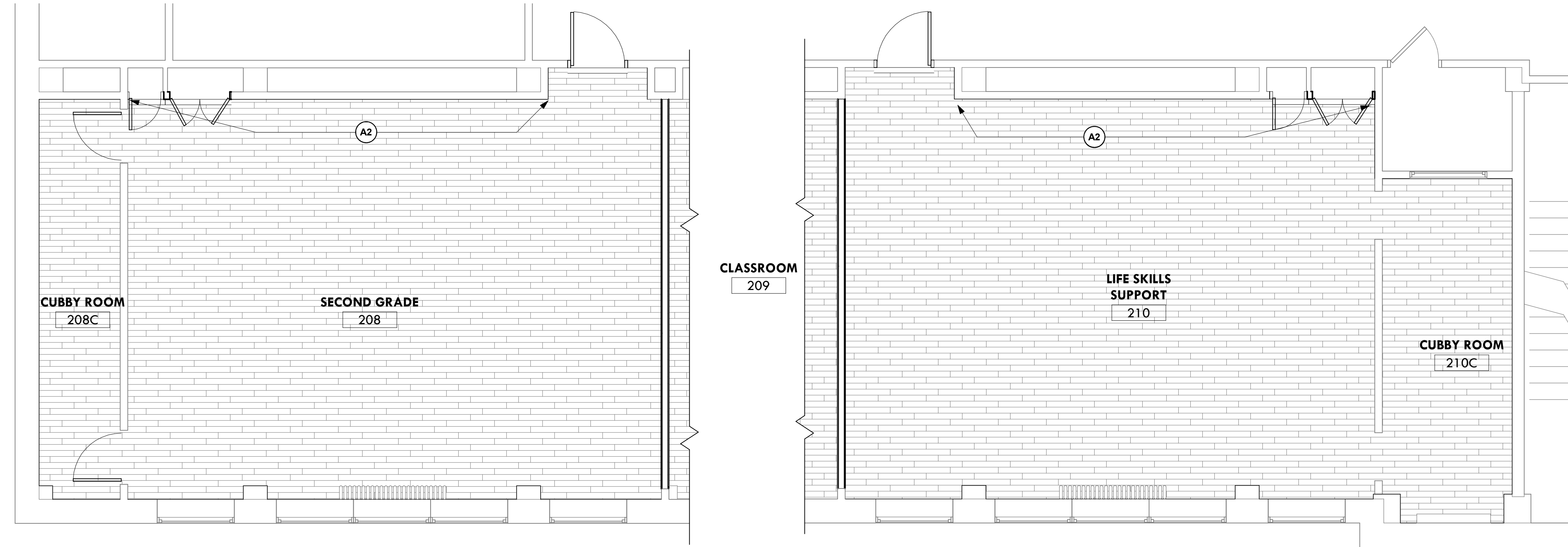
DRAWING TITLE
ENLARGED FINISH PLANS

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DRAWING NO.
A602
SHEET 15 OF 27



1 SECOND FLOOR - 214 & 215 FINISHES
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR - 208 FINISHES
SCALE: 1/4" = 1'-0"

3 SECOND FLOOR - 210 FINISHES
SCALE: 1/4" = 1'-0"

