# THE SHEWARD PARTNERSHIP, LLC

January 20th, 2021

Ms. Beige Berryman, AICP City of Philadelphia Art Commission One Parkway Building 1515 Arch Street, 13th Floor Philadelphia, PA 19102 Sent by Email to: artcommission@phila.gov

Dear Ms. Berryman,

Re: School District of Philadelphia: 2020/2021 Classroom Modernization projects

F. Amedee Bregy Elementary School, 1700 Bigler Street, Philadelphia, PA 19147

I am writing to request an Administrative Review by the Philadelphia Art Commission of the above classroom modernization project at the Bregy Elementary School.

The proposed work is entirely on the interior of the building and provides for the modernization of ten classrooms in support of the District's Action Plan for improving reading outcomes for its elementary students. The work is comprised of new finishes, new cabinetry, new door hardware, and electrical, lighting, and technology upgrades for the ten classrooms. The School District's goal is to carry out construction of the project during this summer's recess.

I have enclosed one set of 11x17 size architectural drawings describing the work in detail together with interior and exterior photographs each in digital PDF format.

Please let me know if there is any other information you require in order to perform your Administrative Review.

Sincerely,

Charkley.

Geoffrey J. Chalkley RIBA Senior Associate, The Sheward Partnership Email: <u>gjc@tsparch.com</u>

c.c. Gamil Hall, Project Manager, School District of Philadelphia David Scheuermann AIA, Principal, The Sheward Partnership

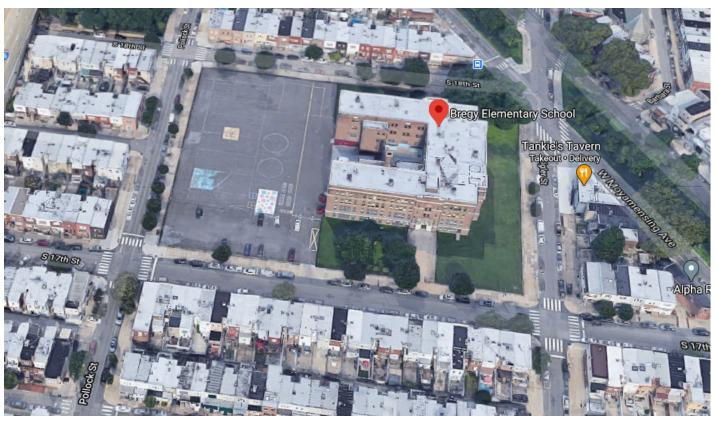
### THE SHEWARD PARTNERSHIP, LLC www.theshewardpartnership.com

 2300
 Chestnut
 Street
 t. 215.751.9301

 Philadelphia, PA 19103
 f. 215.751.9302



AERIAL SITE PLAN



BIRD'S EYE VIEW FROM EAST



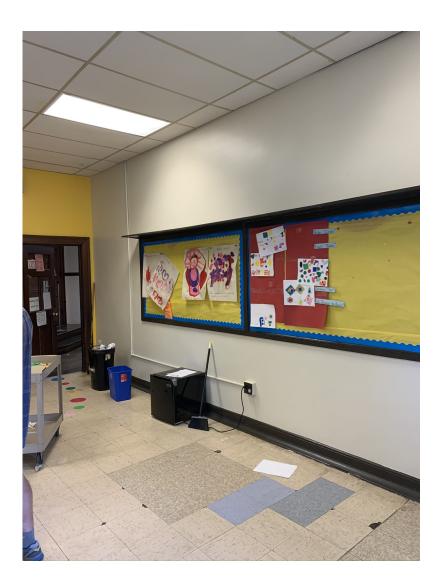
MAIN ENTRANCE OFF OF SOUTH 17<sup>TH</sup> STREET



CORNER OF SOUTH 17<sup>TH</sup> STREET & BIGLER STREET

Art Commission Package Amedee Bregy Elementary | Classroom Modernization PAGE 2 of 4

### TYPICAL EXISTING CLASSROOM INTERIORS

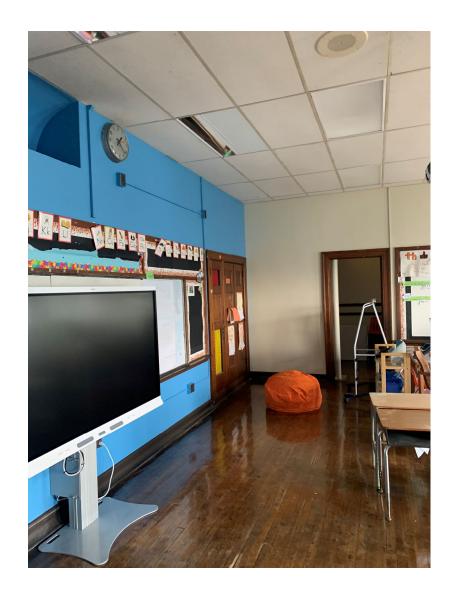








### TYPICAL EXISTING CLASSROOM INTERIORS













# THE SCHOOL DISTRICT OF PHILADELPHIA AMEDEE F. BREGY ELEMENTARY SCHOOL 1700 BIGLER STREET, PHILADELPHIA, PA 19147

# **CLASSROOM MODERNIZATION**

General Construction: SDP Project No. B-031 C of 2020/21 Electrical: SDP Project No. B-033 C of 2020/21

# Bid Document Submission: January 8, 2020

# <u>OWNER</u>

SCHOOL DISTRICT OF PHILADELPHIA 440 North Broad Philadelphia, PA 19130-4015 Phone: 215-400-4740 Fax: 215-400-4731 Email: nward@philasd.org Attn: Nicole Ward, Design Manager Office of Capital Programs www.philasd.org

### **DESIGN DISCIPLINE TITLE**

THE SHEWARD PARTNERSHIP 2300 CHESTNUT STREET PHILADELPHIA, PA 19103 Phone: 215-751-9301 Fax: 215-751-9302 Email: gjc@tsparch.com Attn: Geoff Chalkley

### **DESIGN DISCIPLINE TITLE**

PRINCETON ENGINEERING 101 Morgan Lane Suite 205, Plainsboro, NJ 08536 Phone: 609-452-9700 Fax: 609-452-9701 Email: SA@princetonengineering.services Attn: Sanjeev Agarwal

# **ABBREVIATIONS**

IPB

LVR

MACH

MAT'L

MAX

MAS

MIN

MTD

MTL

N/A

NIC

NO

OC

PT PTD

R's

RD

RF

RM

SIM

SS

SOH

SSM STL STOR

STRUCT

SUSP

TG

THM

TME

TYF

UL

VB

VIF

WD

W/O

WPFG

WRB

WP

VCI

VERT

UNO

NTS

PLAM

PLUMB.

MECH

AIR BARRIER

AB

ABV

ACT

AFF

ALUM

ARCH

BM

BLK'G

BLDG

BO

CFMF

CLG

CHAN

CIP

CMU COL

CONC CONT

CU

DIA

DIM

DK

DN

DTL

DWGS

ELEC

EQUIP

EXP JT

FE

FIN

FIXT

FLR

FRMG

FRT

GALV

GWB

HC

HP HM

HR

HSS

IAW INFO

INSUL

HDW

GA

FD

DR

EL

CJ

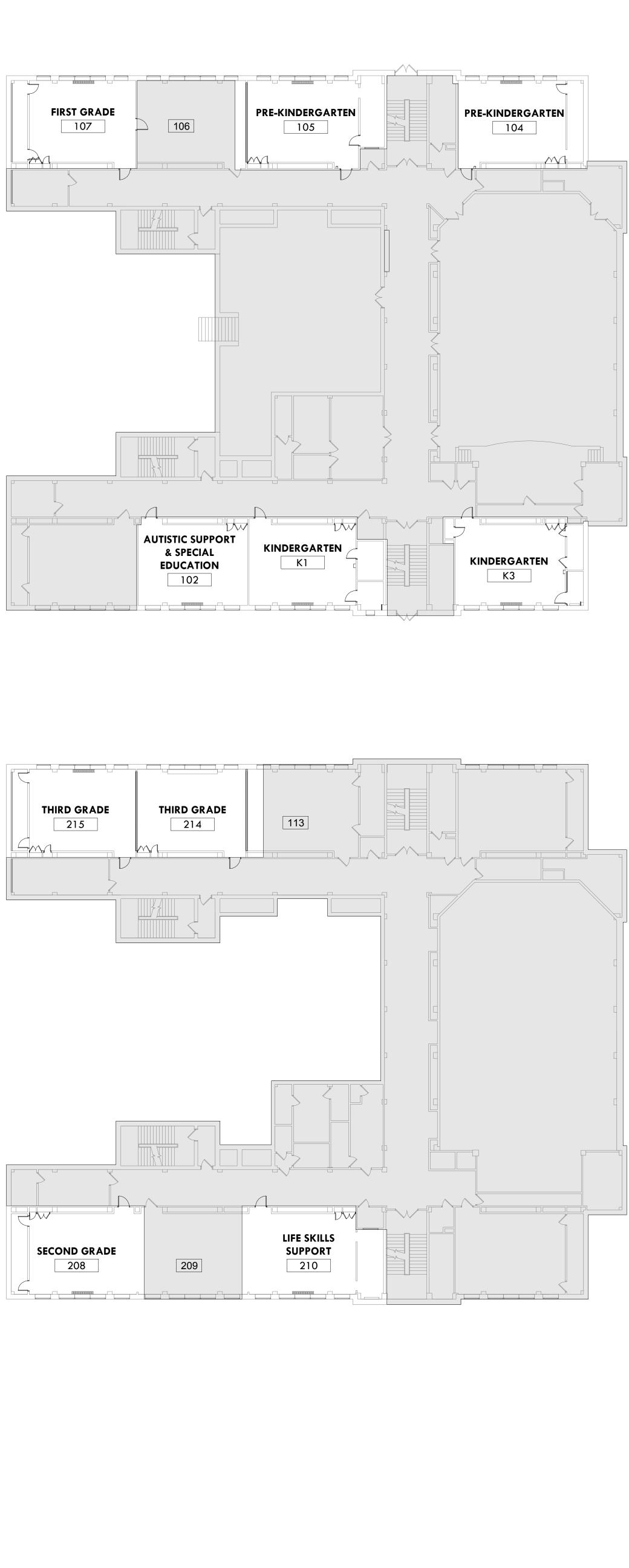
APPROX

ABOVE ACOUSTICAL CEILING TILE ABOVE FINISHED FLOOR ALUMINUM APPROXIMATELY ARCHITECTURAL BEAM BLOCKING BUILDING BOTTOM OF COLD FORMED METAL FRAMING CEILING CHANNEL CAST-IN-PLACE CONTROL JOINT CONCRETE MASONRY UNIT COLUMN CONCRETE CONTINUOUS CONDENSING UNIT DIAMETER DIMENSION DECK DOWN DOOR DETAIL DRAWINGS ELEVATION ELECTRICAL EQUIPMENT EXPANSION JOINT FIRE EXTINGUISHER FINISH FIXTURE FLOOR DRAIN FLOOR FRAMING FIRE-RETARDANT TREATED GAUGE GALVANIZED GYPSUM WALLBOARD HANDICAPPED HARDWARE **HIGH POINT** HOLLOW METAL HOUR HOLLOW STRUCTURAL SECTION HEIGHT IN ACCORDANCE WITH INFORMATION

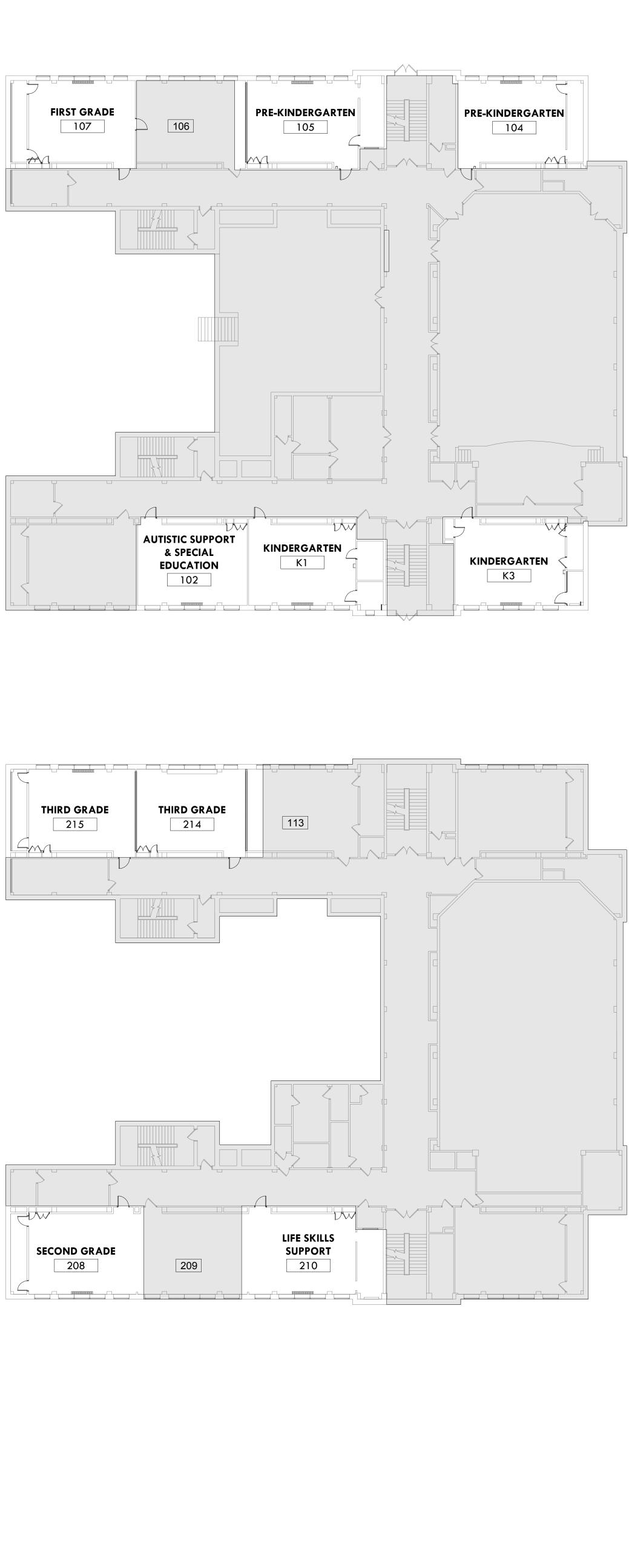
INSULATION/ INSULATED

INTERACTIVE PANEL BOARD LT WT CONC LIGHT WEIGHT CONCRETE LOUVER MACHINE MATERIAL MAXIMUM MASONRY MECHANICAL MINIMUM MOUNTED METAL NOT APPLICABLE NOT IN CONTRACT NUMBER NOT TO SCALE ON CENTER **OPPOSITE HAND** PLASTIC LAMINATE PLUMBING PAINT, OR PRESERVATIVE TREATED PAINTED RISERS ROOF DRAIN ROOF ROOM SIMILAR SIMILAR OPPOSITE HAND STAINLESS STEEL SOLID SURFACE MATERIAL STEEL STORAGE STRUCTURAL SUSPENDED TREAD TEMPERED GLASS THICK TO MATCH EXISTING TOP OF TYPICAL UNLESS NOTED OTHERWISE UNDERWRITER LABORATORY VINYL BASE VINYL COMPOSITE TILE VERTICAL VERIFY IN FIELD **VISION PANEL** WITH WOOD WITHOUT WEATHERPROOF WATERPROOFING WATER-RESISTIVE BARRIER

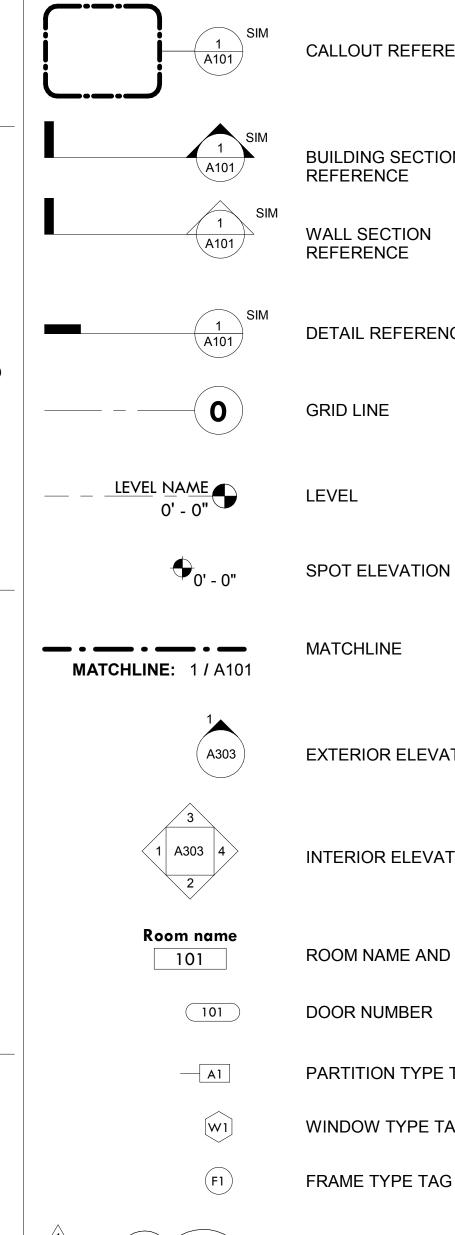
2



3



# SYMBOLS



CALLOUT REFERENCE

**BUILDING SECTION** 

DETAIL REFERENCE

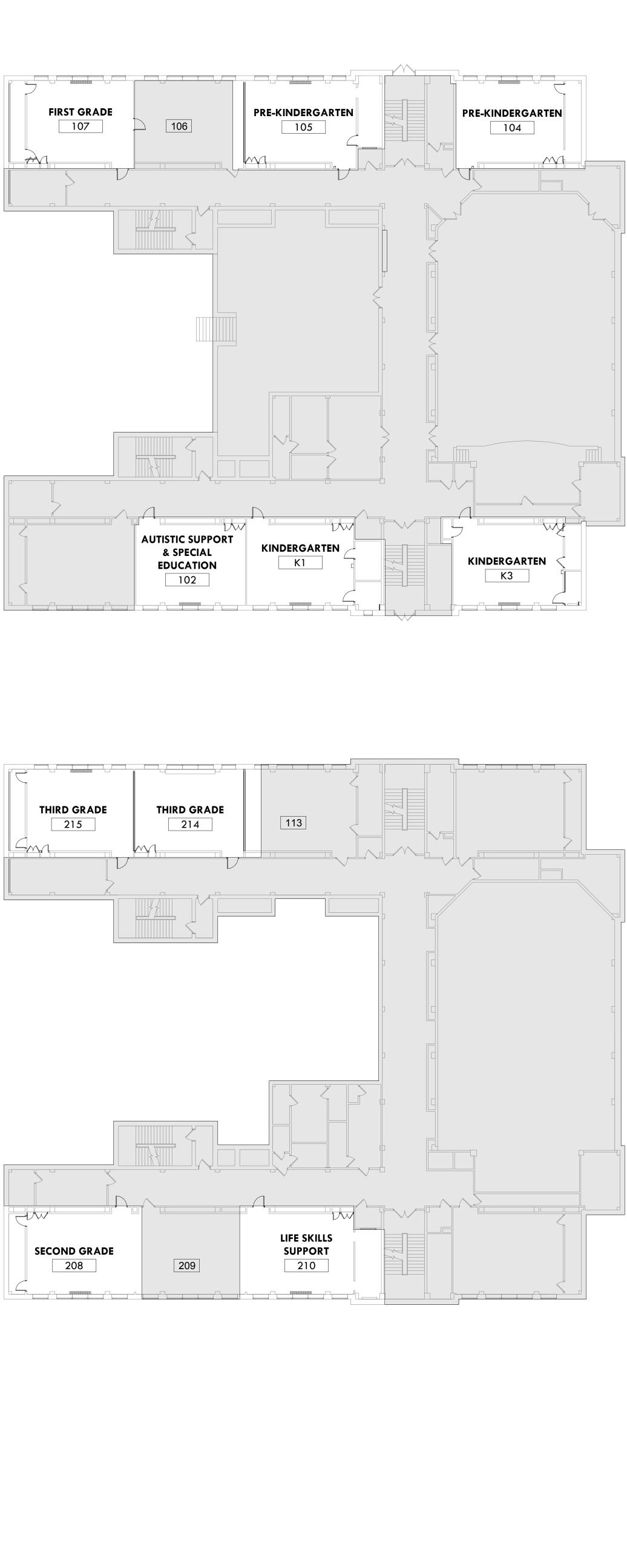
EXTERIOR ELEVATION

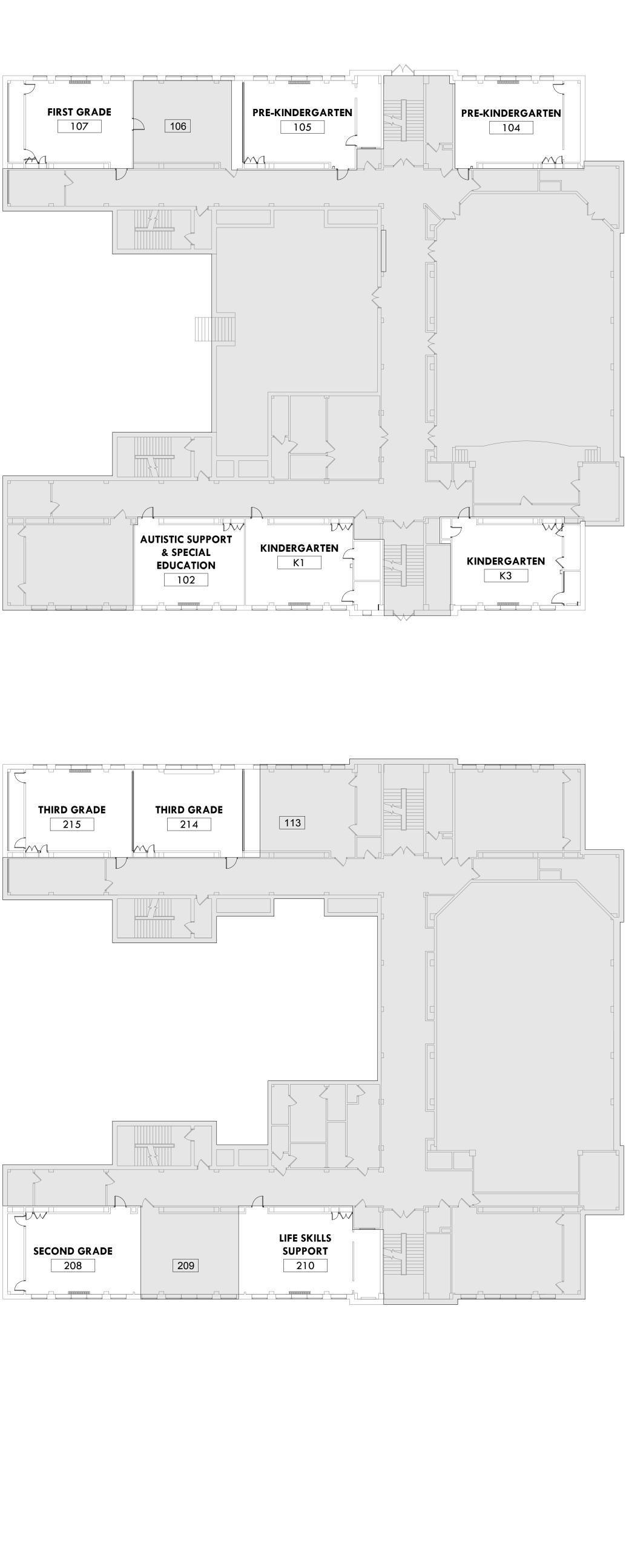
INTERIOR ELEVATION

ROOM NAME AND NUMBER PARTITION TYPE TAG WINDOW TYPE TAG

FRAME TYPE TAG

REVISION





)	RAWI	NG LIST
	DRAWING NO.	SHEET NAME
	ARCHITECTURE G100 G101 AD100 AD101 A100 A101 A200 A300 A300 A301 A302 A303 A600 A601 A602 A900	COVER SHEET GENERAL NOTES, SYMBOLS, AND KEY PLANS FIRST FLOOR DEMOLITION PLANS SECOND FLOOR DEMOLITION PLANS SECOND FLOOR NEW WORK PLANS SECOND FLOOR NEW WORK PLANS SECOND FLOOR NEW WORK PLANS REFLECTED CEILING PLANS CASEWORK AND EQUIPMENT DET INTERIOR ELEVATIONS INTERIOR ELEVATIONS INTERIOR ELEVATIONS FINISH AND EQUIPMENT SCHEDU ENLARGED FINISH PLANS ENLARGED FINISH PLANS DOOR / FRAME TYPES AND SCHED
	ELECTRICAL E001 ED101 ED102 E101 E102 E201 E202 E501 E502	COVER SHEET FIRST FLOOR DEMOLITION PLAN SECOND FLOOR DEMOLITION PLA FIRST FLOOR POWER & SYSTEMS SECOND FLOOR POWER & SYSTE FIRST FLOOR LIGHTING PLAN SECOND FLOOR LIGHTING PLAN ELECTRICAL DETAILS ELECTRICAL PANEL SCHEDULES
	PLUMBING PD101 P101	FIRST FLOOR DEMOLITION PLAN FIRST FLOOR PLUMBING PLAN

### SHEET 01 OF 27 AND ABBREVIATIONS 02 OF 27 03 OF 27 04 OF 27 ANS. 05 OF 27 I PLANS ANS 06 OF 27 07 OF 27 PLANS 08 OF 27 09 OF 27 DETAILS 10 OF 27 11 OF 27 12 OF 27 13 OF 27 EDULE 14 OF 27 15 OF 27 16 OF 27 CHEDULE 17 OF 27 18 OF 27 .AN I PLAN 19 OF 27 FEMS PLAN 20 OF 27 21 OF 27 **YSTEMS PLAN** 22 OF 27 23 OF 27 A٨

24 OF 27

25 OF 27

26 OF 27

27 OF 27

# CLASSROOM **MODERNIZATION** AMEDEE F. BREGY 1700 BIGLER ST. Philadelphia, PA 19147

# LOCATION PLAN



# **BUILDING CODE NOTES**

APPLICABLE CODES: 2018 UNIFORM CONSTRUCTION CODE FOR PHILADELPHIA INCORPORATING 2018 ICC CODES WITH LOCAL MODIFICATIONS 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2017 NATIONAL ELECTRIC CODE (PER 2018 IBC) 2018 ICC PERFORMANCE CODE FOR BUILDING FACILITIES 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2009 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL PLUMBING CODE NFPA 45 STANDARD ON FIRE PROTECTION FOR LABORATORIES USING CHEMICALS. 2019 EDITION PHILADELPHIA ELECTRICAL CODE PHILADELPHIA PROPERTY MAINTENANCE CODE **BUILDING CONSTRUCTION:** STRUCTURE: CONCRETE FRAME, CONCRETE FLOORS ROOF : CONCRETE DECK EXTERIOR WALLS: MASONRY WITH FACE BRICK INTERIOR PARTITIONS: MASONRY **BUILDING HEIGHT: 3 STORIES** BUILDING AREA: 66,000 SF **OCCUPANCY**: **GROUP E - EDUCATION** OCCUPANT LOAD: 616 STUDENTS FIRE PROTECTION: FIRE ALARM CLASSIFICATION OF WORK: ALTERATION – LEVEL 1[IEBC CHAPTER 7] INTERIOR FINISHES CLASS C – FLAME SPREAD INDEX 76-200 WALLS & CEILINGS: [IBC TABLE 803.9 - ROOMS] [IBC SECTION 804] FLOORING: EXEMPT MATERIALS: RESILIENT TILE DECORATIVE TRIM: CLASS C – FLAME SPREAD INDEX 76-200 [IBC SECTION 806] **PROJECT GENERAL NOTES** THE PLUMBING WORK SHOWN ON SHEETS PD101 AND P101 SHALL BE UNDER THE GENERAL CONSTRUCTION CONTRACT. ABATEMENT – ABATEMENT IN IN-SCOPE CLASSROOMS SHALL BE CARRIED OUT UNDER THE

GENERAL CONTRACT AND IN ACCORDANCE WITH THE SDP ENVIRONMENTAL SPECIFICATIONS. WHERE ASBESTOS CONTAINING PIPE INSULATION IS ABATED PROVIDE UPON COMPLETION OF THE ABATEMENT EQUIVALENT JACKETED FIBERGLASS PIPE INSULATION, JOHNS MANVILLE MICRO-LOK OR EQUAL.

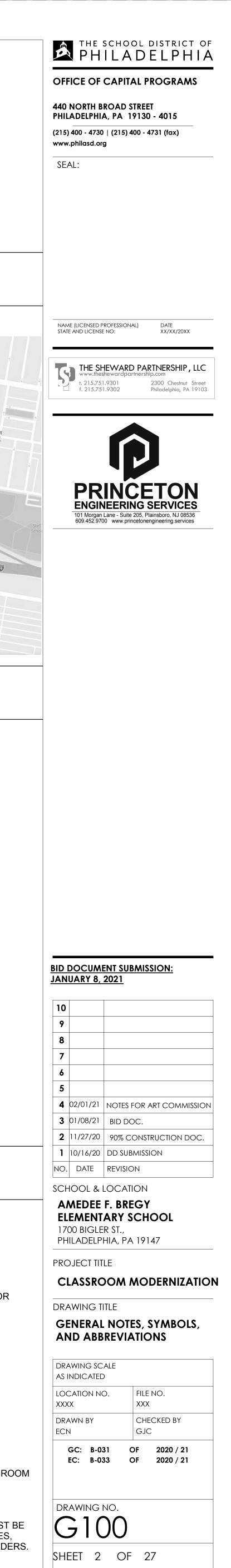
- MOCK UPS: AT LOCATION AS AGREED BY THE ARCHITECT PROVIDE MOCK-UPS OF THE FOLLOWING FOR THE ARCHITECT'S REVIEW AND APPROVAL:
- A. NEW RADIATOR COVER (1 ONLY REQUIRED)
- B. WOOD DOOR REFINISHING C. NEW PLASTER WORK
- D. NEW WINDOW SILL

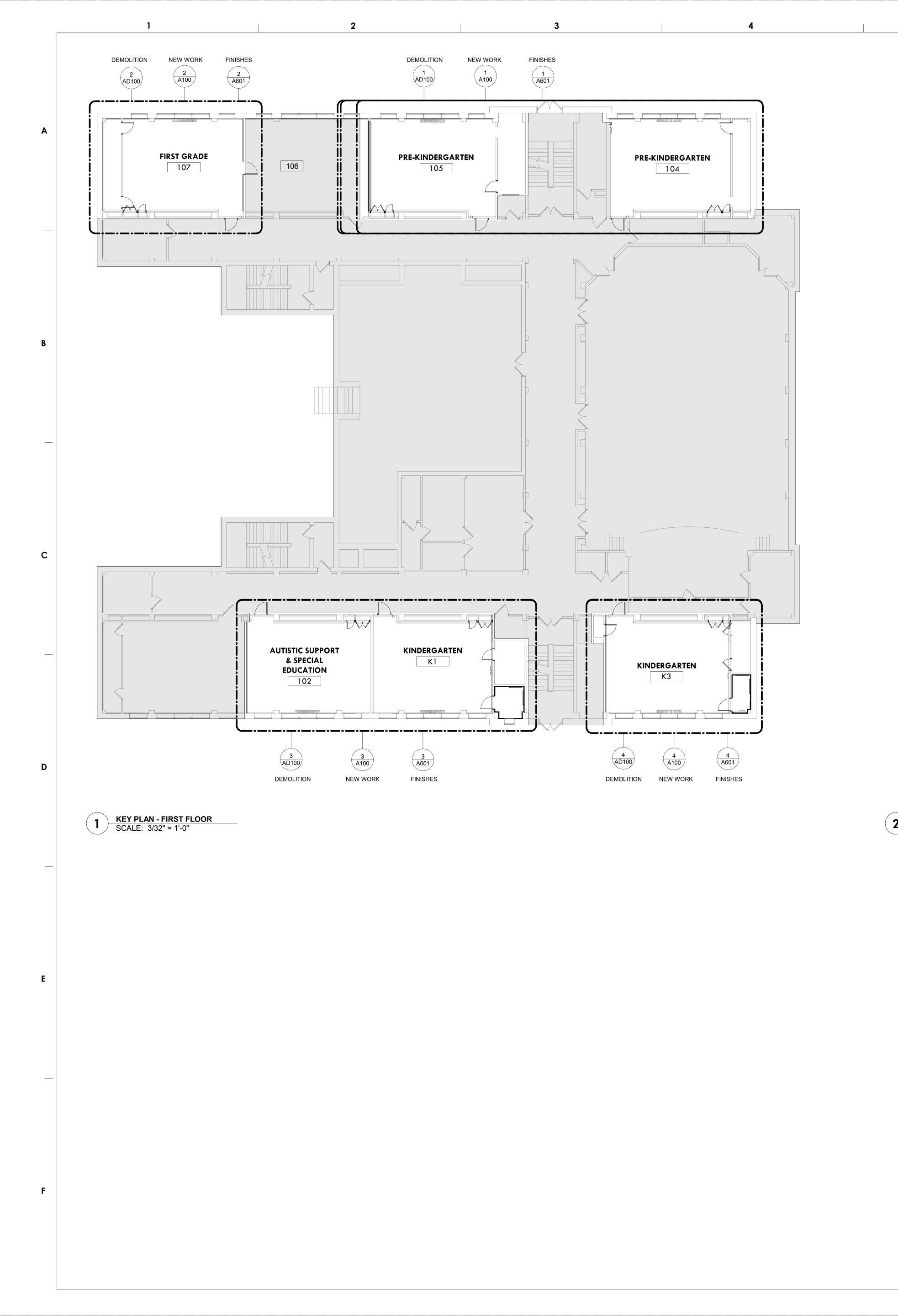
E. EACH TYPE OF PAINT FINISH SPECIFIED AND EACH COLOR SCHEDULED

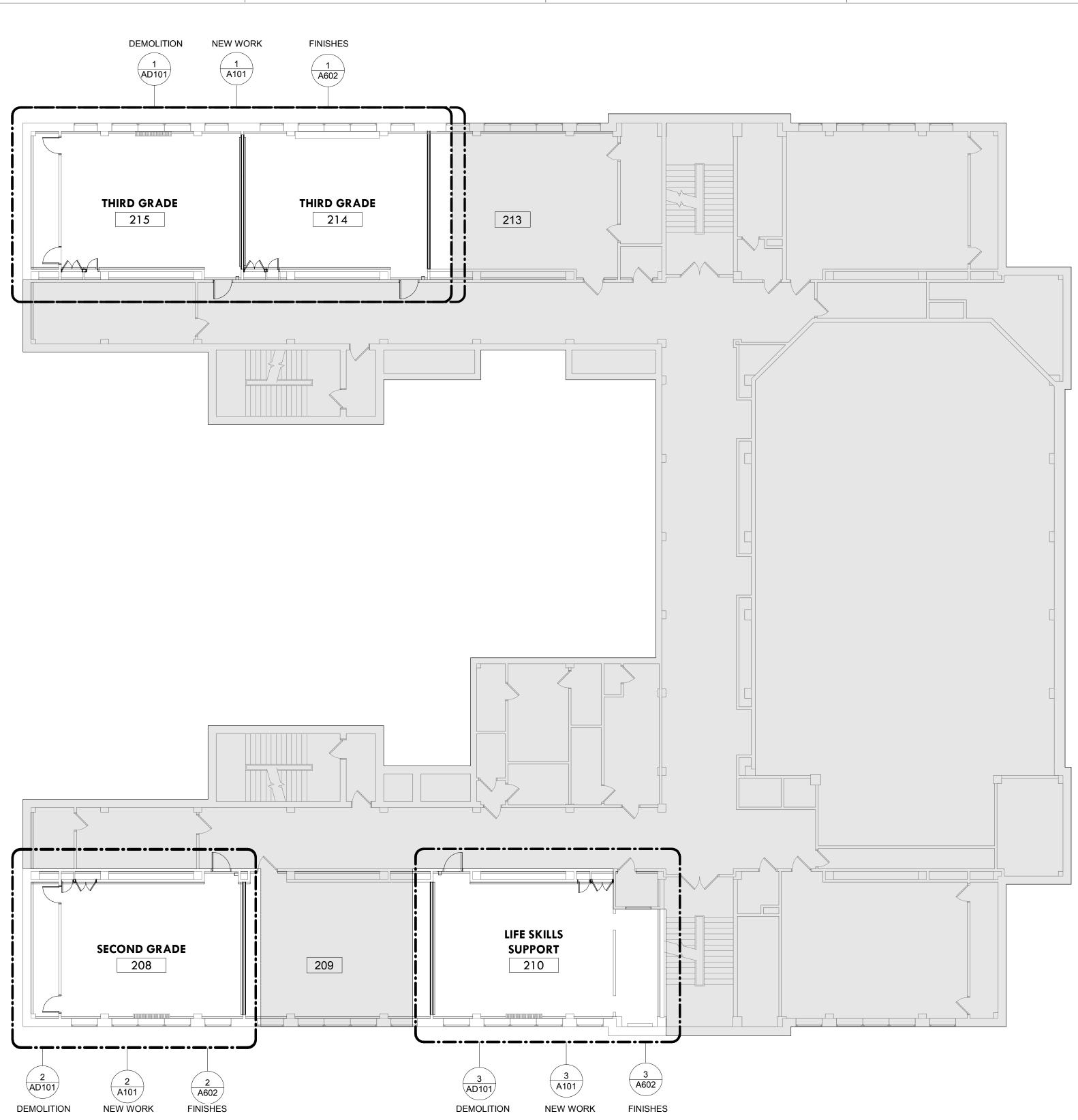
- MOCK-UPS SHALL NOT BE LESS THAN 100 SF IN AREA OR COMPRISED OF 2 OF EACH TYPE U.N.O. APPROVED MOCK-UPS MAY REMAIN IN PLACE.
- REPAIR ALLOWANCES: ALLOW FOR REPAIRS AS FOLLOWS:
- A. PLASTER WALLS PROVIDE FINISH COAT OVER EXSTING UNEVEN PLASTER 75 SF PER CLASSROOM BELOW WINDOW SILL LEVEL.

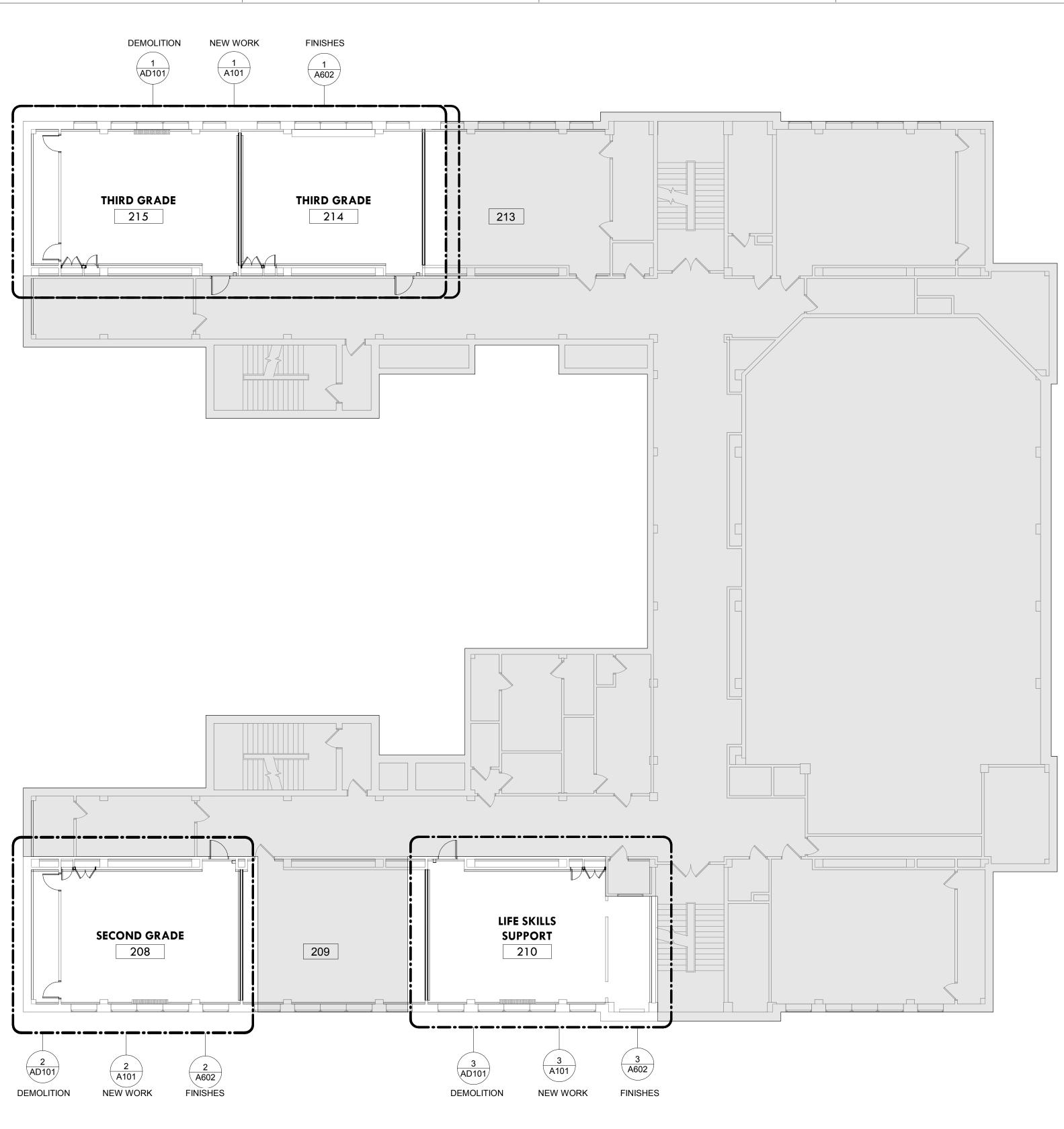
LOCATION OF REPAIRS SHALL BE AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE.

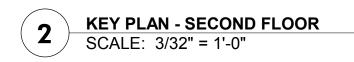
QUANTITIES INDICATED ON THIS DRAWING ARE APPROXIMATE ESTIMATES. ACTUAL QUANTITIES MUST BE VERIFIED IN THE FIELD BY THE BIDDER/CONTRACTOR. MINOR VARIATIONS IN THE ACTUAL QUANTITIES, EITHER MORE OR LESS THAN THE ESTIMATED QUANTITIES WILL NOT BE GROUNDS FOR CHANGE ORDERS.



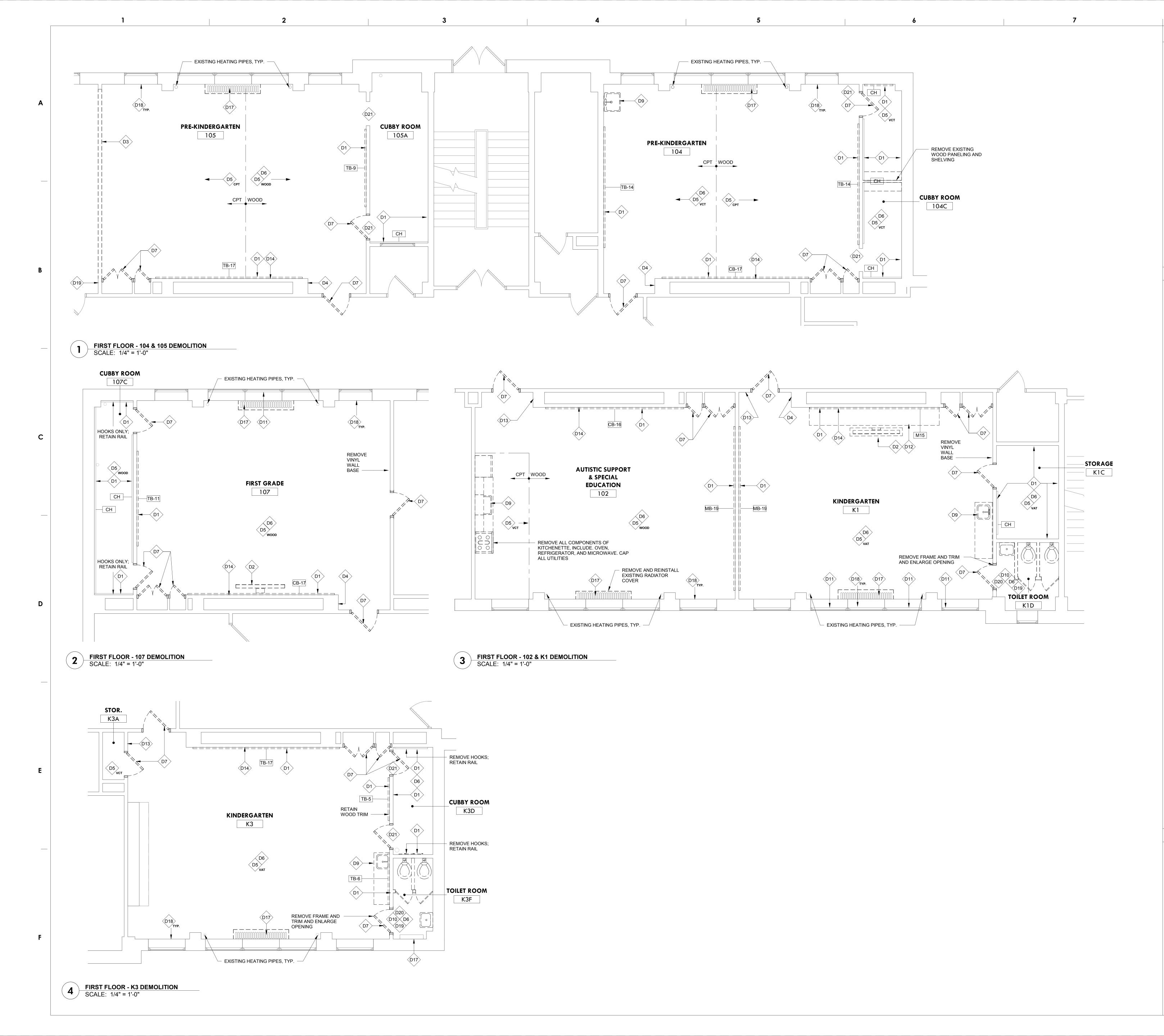












# DEMOLITION GENERAL NOTES

1. ALL EXISTING PARTITIONS ARE TO REMAIN U.N.O. OR SHOWN DASHED

 2. DIMENSIONS ARE TO FACE OF WALL FINISH U.N.O.
 3. THE CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO THE SCHOOL DISTRICT OF PHILADELPHIA (SDP) AS DIRECTED.

4. DEMOLITION OF ALL WALL MOUNTED DISPLAY BOARDS, CHALKBOARDS, TACKBOARDS, ETC. SHALL BE CARRIED OUT BY THE ABATEMENT CONTRACTOR. SDP BELIEVES THAT THE ADHESIVE USED CONTAINS ASBESTOS.
5. THE G.C. OR, AS NECESSARY, THE ABATEMENT

CONTRACTOR SHALL CAREFULLY DISCONNECT AND TAKE DOWN ALL SMART BOARDS AND CEILING MOUNTED SMART PROJECTORS AND TURN OVER TO SDP AS SALVAGED EQUIPMENT

6. THE CONTRACTOR SHALL, AT ALL WALL AND CEILING SURFACES TO REMAIN, PATCH OR FILL ALL VISIBLE EXISTING HOLES, CRACKS AND SIMILAR SURFACE DEFECTS. THE CONTRACTOR SHALL PATCH ANY DAMAGE DUE TO THE DEMOLITION WORK. PATCHING SHALL MATCH EXISTING ADJACENT FINISHES

7. CONTRACTOR SHALL REMOVE ALL LOOSE PAINT, TAPE, ADHESIVE, BRACKETS, HOOKS, ETC., INCLUDING ANY ON THE WALLS AND CEILING ABOVE NEW ACT

8. REMOVE ALL UNUSED OR ABANDONED CONDUIT AND WIRE MOLD, 50LF PER CLASSROOM, SEE ELEC. DWGS

# **DEMOLITION KEYNOTES**

	REMOVE EQUI	PMENT ON THIS WALL, TYPE:
$\checkmark$	CB-X	CHALKBOARD, OFTEN INCLUDES TACKBOARD ABOVE
	MB-X	MARKERBOARD
	TB-X	TACKBOARD
	CH-X	REMOVE COAT HOOKSRETAIN F
		*X INDICATES LENGTH, WHERE APPLICABLE, GC TO V.I.F.
	PANEL BOARD	APPEICABLE: GC TO V.I.P. SALVAGE EXISTING INTERACTIVE AND PROJECTOR. REMOVE MOUNTING EQUIPMENT
	REMOVE EXIS	TING WOOD PARTITION WALL, L TRIMWORK
D4	REMOVE AND FOR REINSTAL	STORE TELEPHONE, TELEPHONE E LATION
<b>D5</b>		TING FLOORING, TYPE: X. RETAIN A TING WOOD BASE
	VAT	VINYL ASBESTOS TILE, BY ABATE CONTRACTOR
	CPT	CARPET
	VCT	VINYL COMPOSITION TILE
	WD	WOOD
<u>,</u>	СТ	CERAMIC TILE
		JSTICAL CEILING TILE AND GRID, XIST. LIGHT FIXTURES. SEE ELEC.
<b>D7</b>	HARDWARE, IN MOUNTED HIN	TING DOOR AND ASSOCIATED NCLUDING BUT NOT LIMITED TO GES, DOOR CLOSERS, AND STRIKE IN EXISTING FRAME AND PROTECT IVAL UNO
		JECTION SCREENS, HOOKS, AND MENT (WALL-MOUNTED AND/OR ;)
D9	SHELVING, INC REMOVE ALL A	AND ASSOCIATED CASEWORK ANI CLUDING ANY MOUNTING BRACKET ACCESSORIES (I.E. PAPER TOWEL OAP DISPENSERS, ETC.)
D10	SOAP DISPENS	OILET ACCESSORIES, INCLUDING SERS, PAPER TOWEL DISPENSERS DISPENSERS, AND MIRRORS
D11	ANY MOUNTIN	TING WINDOW SHADES, INCLUDING G BRACKETS AT WINDOW, SCRAPE ANY LOOSE PLASTER/WALL FINISH
D12	REMOVE EXIS	TING CASEWORK, INCLUDING ANY RDWARE
D13	REMOVE HANI	D SANITIZER DISPENSER
D14	REMOVE EXIS	TING CLOCK
D16	REMOVE AND	REINSTAL FIRE EXTINGUISHER
<b>D17</b>	-	ATOR COVER GRILLE AND PATCH FLOOR AND WALL WHERE
D18	AND PREPARE	COMPONENTS OF METAL WINDOW TO ACCEPT NEW FINISH. CAREFU REINSTALL WINDOW GUARDS AS
D19	REMOVE WOC	D BASE
D20	REMOVE MARI	BLE WAINSCOT
(D21)	REMOVE EXISI	TNG FLOOR MOUTED DOOR HINGE

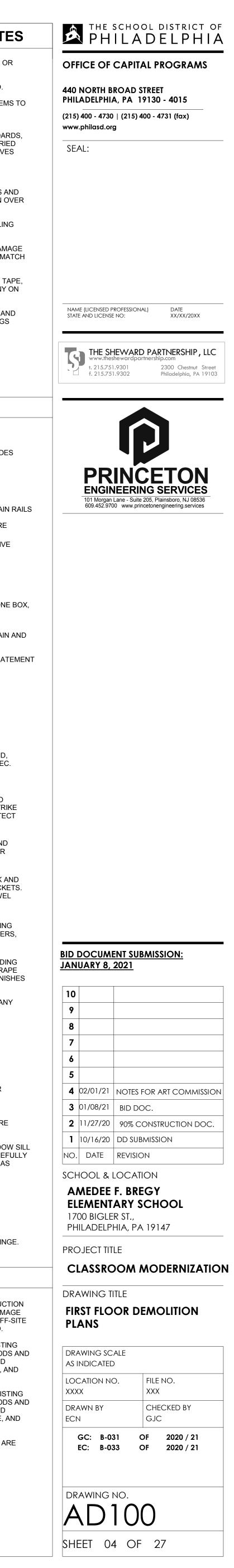
# **DEMOLITION DEFINITIONS**

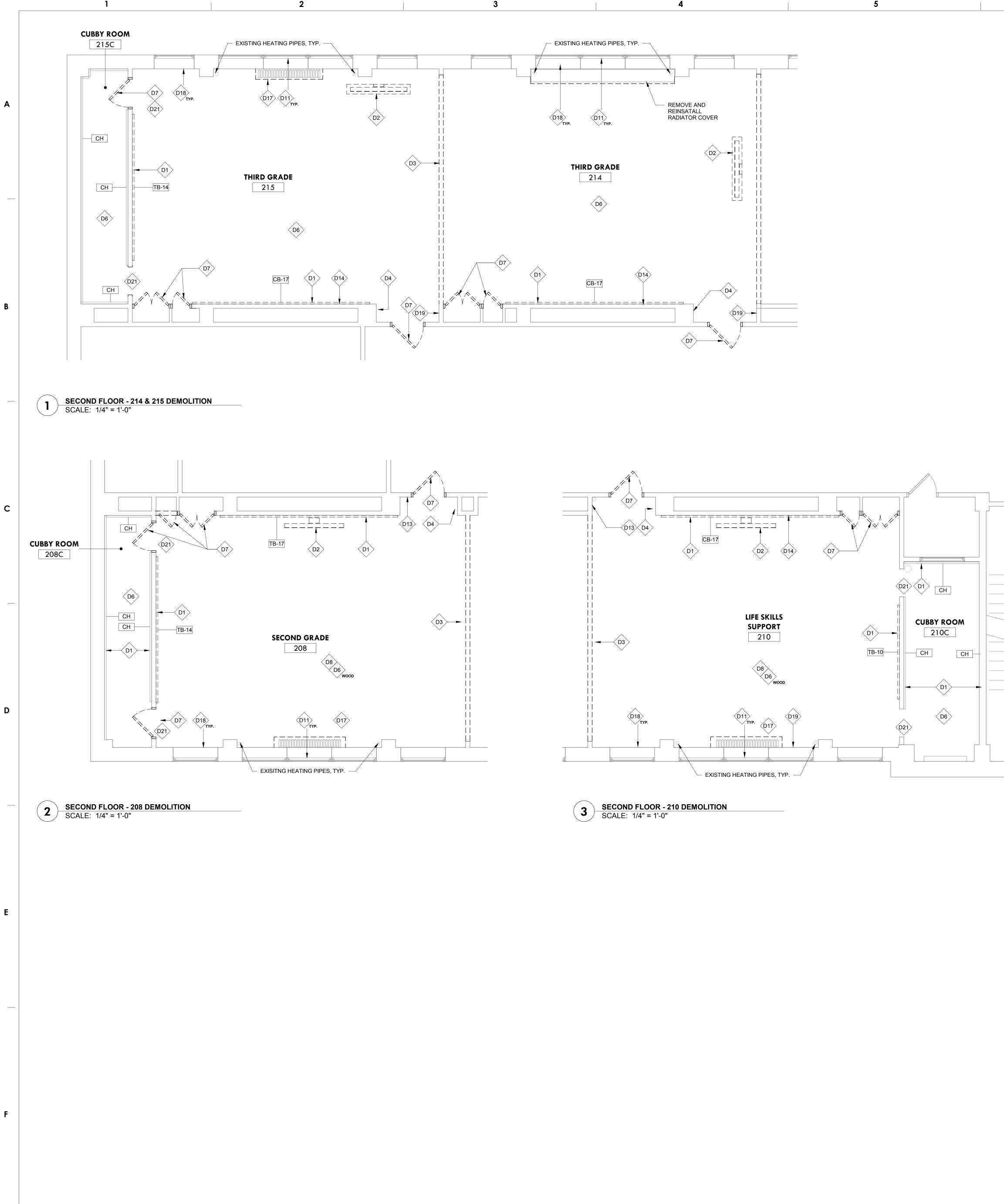
**REMOVE**: DETACH ITEMS FROM EXISTING CONSTRUCTION USING METHODS AND EQUIPMENT TO PREVENT DAMAGE TO SURFACES TO REMAIN AND DISPOSE OF ITEM OFF-SITE UNLESS NOTED TO BE SALVAGED OR REINSTALLED.

**REMOVE AND SALVAGE**: DETACH ITEMS FROM EXISTING CONSTRUCTION CAREFULLY USING GENTLE METHODS AND EQUIPMENT TO PREVENT DAMAGE TO THE ITEM AND SURFACES TO REMAIN, PREPARE ITEM FOR REUSE, AND DELIVER ITEM TO OWNER AS DIRECTED.

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**EXISTING TO REMAIN**: LEAVE EXISTING ITEMS THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE SALVAGED OR REINSTALLED.





# **DEMOLITION GENERAL NOTES**

7

6

1. ALL EXISTING PARTITIONS ARE TO REMAIN U.N.O. OR SHOWN DASHED

2. DIMENSIONS ARE TO FACE OF WALL FINISH U.N.O. 3. THE CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO THE SCHOOL DISTRICT OF PHILADELPHIA (SDP) AS

DIRECTED.

4. DEMOLITION OF ALL WALL MOUNTED DISPLAY BOARDS, CHALKBOARDS, TACKBOARDS, ETC. SHALL BE CARRIED OUT BY THE ABATEMENT CONTRACTOR. SDP BELIEVES THAT THE ADHESIVE USED CONTAINS ASBESTOS.

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7. CONTRACTOR SHALL REMOVE ALL LOOSE PAINT, TAPE, ADHESIVE, BRACKETS, HOOKS, ETC., INCLUDING ANY ON THE WALLS AND CEILING ABOVE NEW ACT

8. REMOVE ALL UNUSED OR ABANDONED CONDUIT AND WIRE MOLD, 50LF PER CLASSROOM, SEE ELEC. DWGS

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D2	PANEL BOARD	*X INDICATES LENGTH, WHERE APPLICABLE. GC TO V.I.F. SALVAGE EXISTING INTERACTIVE AND PROJECTOR. REMOVE MOUNTING EQUIPMENT
<b>D3</b>	REMOVE EXIST	ING WOOD PARTITION WALL, TRIMWORK
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	VAT	VINYL ASBESTOS TILE, BY ABATEN CONTRACTOR
	CPT	CARPET
	VCT	VINYL COMPOSITION TILE
	WD	WOOD
	СТ	CERAMIC TILE
<b>D6</b>		JSTICAL CEILING TILE AND GRID, KIST. LIGHT FIXTURES. SEE ELEC.
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D21	REMOVE EXISI	TNG FLOOR MOUTED DOOR HINGE.

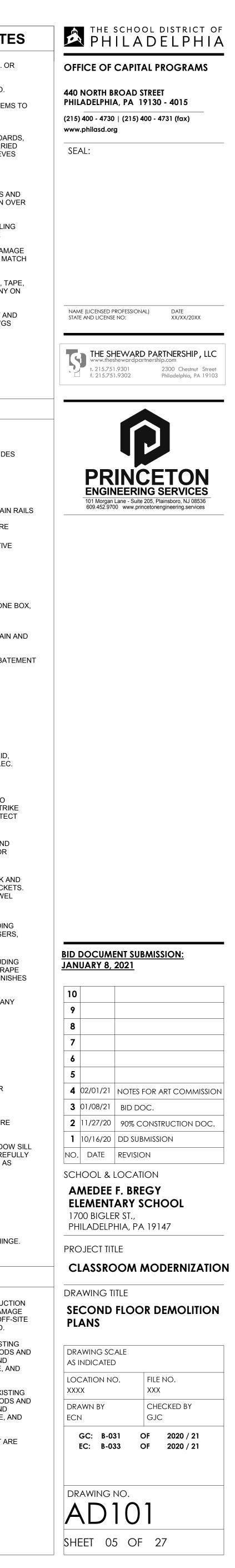
# **DEMOLITION DEFINITIONS**

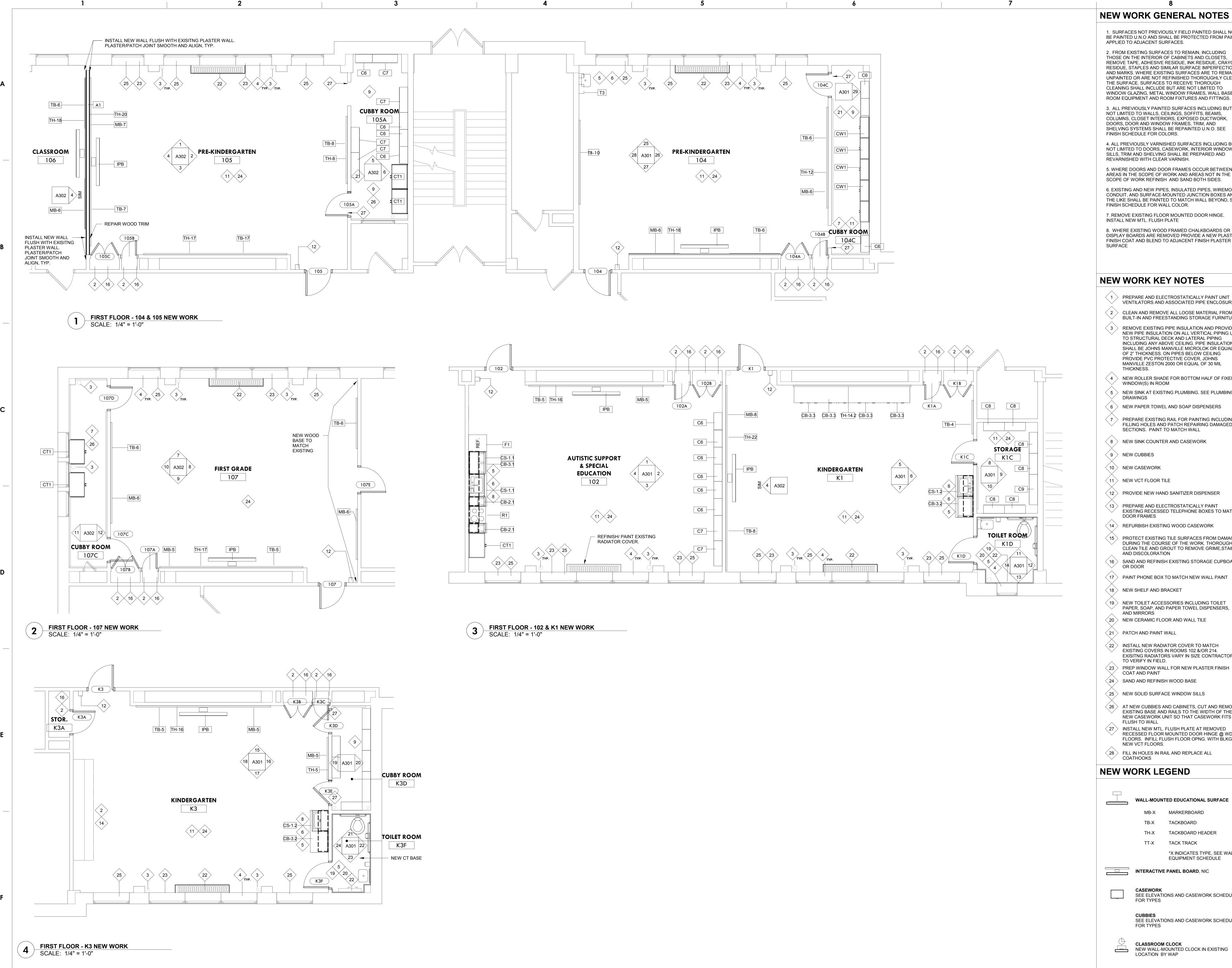
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EXISTING TO REMAIN: LEAVE EXISTING ITEMS THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE SALVAGED OR REINSTALLED.





# **NEW WORK GENERAL NOTES**

7

### 1. SURFACES NOT PREVIOUSLY FIELD PAINTED SHALL NOT BE PAINTED U.N.O AND SHALL BE PROTECTED FROM PAINT APPLIED TO ADJACENT SURFACES.

2. FROM EXISTING SURFACES TO REMAIN, INCLUDING THOSE ON THE INTERIOR OF CABINETS AND CLOSETS, REMOVE TAPE, ADHESIVE RESIDUE, INK RESIDUE, CRAYON RESIDUE, STAPLES AND SIMILAR SURFACE IMPERFECTIONS AND MARKS. WHERE EXISTING SURFACES ARE TO REMAIN UNPAINTED OR ARE NOT REFINISHED THOROUGHLY CLEAN THE SURFACE. SURFACES TO RECEIVE THOROUGH CLEANING SHALL INCLUDE BUT ARE NOT LIMITED TO WINDOW GLAZING, METAL WINDOW FRAMES, WALL BASE,

3. ALL PREVIOUSLY PAINTED SURFACES INCLUDING BUT NOT LIMITED TO WALLS, CEILINGS, SOFFITS, BEAMS, COLUMNS, CLOSET INTERIORS, EXPOSED DUCTWORK, DOORS, DOOR AND WINDOW FRAMES, TRIM, AND SHELVING SYSTEMS SHALL BE REPAINTED U.N.O. SEE FINISH SCHEDULE FOR COLORS.

4. ALL PREVIOUSLY VARNISHED SURFACES INCLUDING BUT NOT LIMITED TO DOORS, CASEWORK, INTERIOR WINDOWS, SILLS, TRIM AND SHELVING SHALL BE PREPARED AND REVARNISHED WITH CLEAR VARNISH.

5. WHERE DOORS AND DOOR FRAMES OCCUR BETWEEN AREAS IN THE SCOPE OF WORK AND AREAS NOT IN THE SCOPE OF WORK REFINISH AND SAND BOTH SIDES.

6. EXISTING AND NEW PIPES, INSULATED PIPES, WIREMOLD, CONDUIT, AND SURFACE-MOUNTED JUNCTION BOXES AND THE LIKE SHALL BE PAINTED TO MATCH WALL BEYOND, SEE FINISH SCHEDULE FOR WALL COLOR.

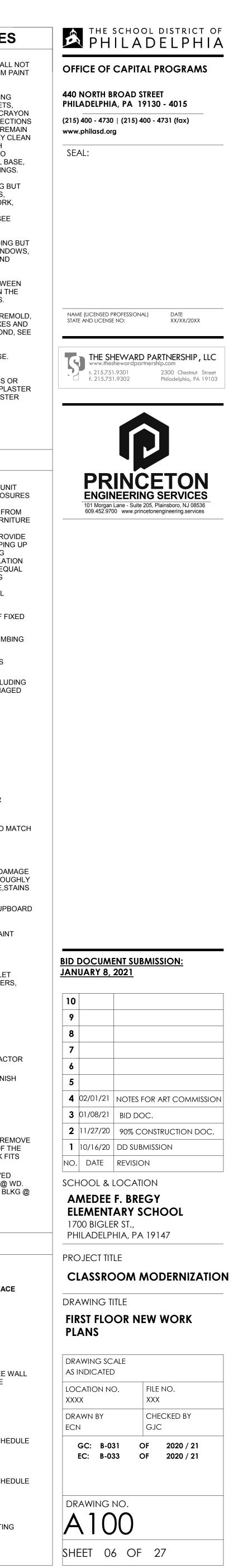
7. REMOVE EXISTING FLOOR MOUNTED DOOR HINGE. INSTALL NEW MTL. FLUSH PLATE

8. WHERE EXISTING WOOD FRAMED CHALKBOARDS OR DISPLAY BOARDS ARE REMOVED PROVIDE A NEW PLASTER FINISH COAT AND BLEND TO ADJACENT FINISH PLASTER

# NEW WORK KEY NOTES

EW	WORK	KEY	NOT	ES	
	PREPARE ANI VENTILATORS				
2	CLEAN AND R BUILT-IN AND	-			
3	REMOVE EXIS NEW PIPE INS TO STRUCTUI INCLUDING AI SHALL BE JOH OF 2" THICKN PROVIDE PVC MANVILLE ZES THICKNESS.	BULATION RAL DECK NY ABOVE HNS MANY ESS. ON F PROTEC	ON ALL AND LA CEILING /ILLE MIC PIPES BE TIVE CO	VERTICA TERAL PI 6. PIPE IN CROLOK CROLOK LOW CEI VER, JOH	L PIPINO IPING ISULATI OR EQU LING INS
4	NEW ROLLER WINDOW(S) IN	-	OR BOTI	fom hal	F OF FI)
5	NEW SINK AT DRAWINGS	EXISTING	I PLUMBI	NG. SEE	PLUMB
6	NEW PAPER 1	FOWEL AN	ND SOAP	DISPENS	BERS
7	PREPARE EXI FILLING HOLE SECTIONS. P	S AND PA	TCH REF	PAIRING I	
8	NEW SINK CO	UNTER A	ND CASE	WORK	
9	NEW CUBBIES	5			
10	NEW CASEW	ORK			
11	NEW VCT FLC	OR TILE			
12	PROVIDE NEV	V HAND S	ANITIZEF	R DISPEN	SER
13	PREPARE ANI EXISTING REC DOOR FRAME	CESSED T			
14	REFURBISH E	XISTING \	NOOD CA	ASEWOR	К
15	PROTECT EXI DURING THE CLEAN TILE A AND DISCOLO	COURSE ND GROU	OF THE V	VORK. TH	IOROU
16	SAND AND RE OR DOOR	EFINISH EX	XISTING S	STORAGI	E CUPB
17	PAINT PHONE	BOX TO	MATCH N	IEW WAL	L PAIN
18	NEW SHELF A	ND BRAC	KET		
19	NEW TOILET A PAPER, SOAP AND MIRRORS	, AND PAI S	PER TOW	/EL DISPI	
20				LL TILE	
21	PATCH AND P				
22	EXISTING COV EXISITNG RAD TO VERIFY IN	VERS IN R	OOMS 10	02 &/OR 2	214.
23	PREP WINDO COAT AND PA		OR NEW	PLASTE	R FINIS
24	SAND AND RE	_		-	
25	NEW SOLID S				
26	AT NEW CUBE EXISTING BAS NEW CASEW( FLUSH TO WA	SE AND RA ORK UNIT	AILS TO T	HE WIDT	TH OF T
27	INSTALL NEW RECESSED FL FLOORS. INF NEW VCT FLC	LOOR MO	UNTED D	OOR HIN	IGE @ V
28	FILL IN HOLES COATHOOKS	S IN RAIL A	ND REP	LACE ALI	-
EW	WORK	LEG	END		

WALL-MOUN	ITED EDUCATIONAL SURFAC
MB-X	MARKERBOARD
TB-X	TACKBOARD
TH-X	TACKBOARD HEADER
TT-X	TACK TRACK
	*X INDICATES TYPE, SEE EQUIPMENT SCHEDULE
INTERACTIV	E PANEL BOARD, NIC
<b>CASEWORK</b> SEE ELEVAT FOR TYPES	IONS AND CASEWORK SCHE
CUBBIES SEE ELEVAT FOR TYPES	IONS AND CASEWORK SCHE
CLASSROOM NEW WALL-N LOCATION E	MOUNTED CLOCK IN EXISTIN





# **NEW WORK GENERAL NOTES**

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6

1. SURFACES NOT PREVIOUSLY FIELD PAINTED SHALL NOT BE PAINTED U.N.O AND SHALL BE PROTECTED FROM PAINT APPLIED TO ADJACENT SURFACES.

8

2. FROM EXISTING SURFACES TO REMAIN, INCLUDING THOSE ON THE INTERIOR OF CABINETS AND CLOSETS, REMOVE TAPE, ADHESIVE RESIDUE, INK RESIDUE, CRAYON RESIDUE, STAPLES AND SIMILAR SURFACE IMPERFECTIONS AND MARKS. WHERE EXISTING SURFACES ARE TO REMAIN UNPAINTED OR ARE NOT REFINISHED THOROUGHLY CLEAN THE SURFACE. SURFACES TO RECEIVE THOROUGH

CLEANING SHALL INCLUDE BUT ARE NOT LIMITED TO WINDOW GLAZING, METAL WINDOW FRAMES, WALL BASE, ROOM EQUIPMENT AND ROOM FIXTURES AND FITTINGS. 3. ALL PREVIOUSLY PAINTED SURFACES INCLUDING BUT NOT LIMITED TO WALLS, CEILINGS, SOFFITS, BEAMS,

COLUMNS, CLOSET INTERIORS, EXPOSED DUCTWORK. DOORS, DOOR AND WINDOW FRAMES, TRIM, AND SHELVING SYSTEMS SHALL BE REPAINTED U.N.O. SEE FINISH SCHEDULE FOR COLORS.

4. ALL PREVIOUSLY VARNISHED SURFACES INCLUDING BUT NOT LIMITED TO DOORS, CASEWORK, INTERIOR WINDOWS, SILLS, TRIM AND SHELVING SHALL BE PREPARED AND REVARNISHED WITH CLEAR VARNISH.

5. WHERE DOORS AND DOOR FRAMES OCCUR BETWEEN AREAS IN THE SCOPE OF WORK AND AREAS NOT IN THE SCOPE OF WORK REFINISH AND SAND BOTH SIDES.

6. EXISTING AND NEW PIPES, INSULATED PIPES, WIREMOLD, CONDUIT, AND SURFACE-MOUNTED JUNCTION BOXES AND THE LIKE SHALL BE PAINTED TO MATCH WALL BEYOND, SEE FINISH SCHEDULE FOR WALL COLOR.

7. REMOVE EXISTING FLOOR MOUNTED DOOR HINGE. INSTALL NEW MTL. FLUSH PLATE

8. WHERE EXISTING WOOD FRAMED CHALKBOARDS OR DISPLAY BOARDS ARE REMOVED PROVIDE A NEW PLASTER FINISH COAT AND BLEND TO ADJACENT FINISH PLASTER SURFACE

# NEW WORK KEY NOTES

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(13

< 14

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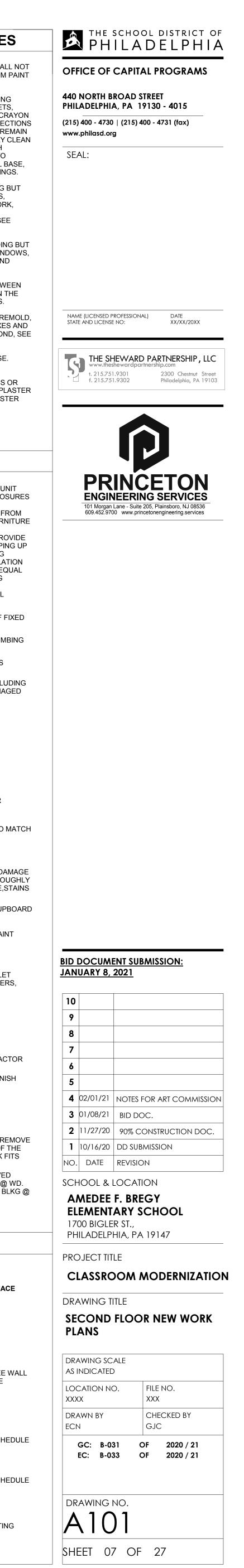
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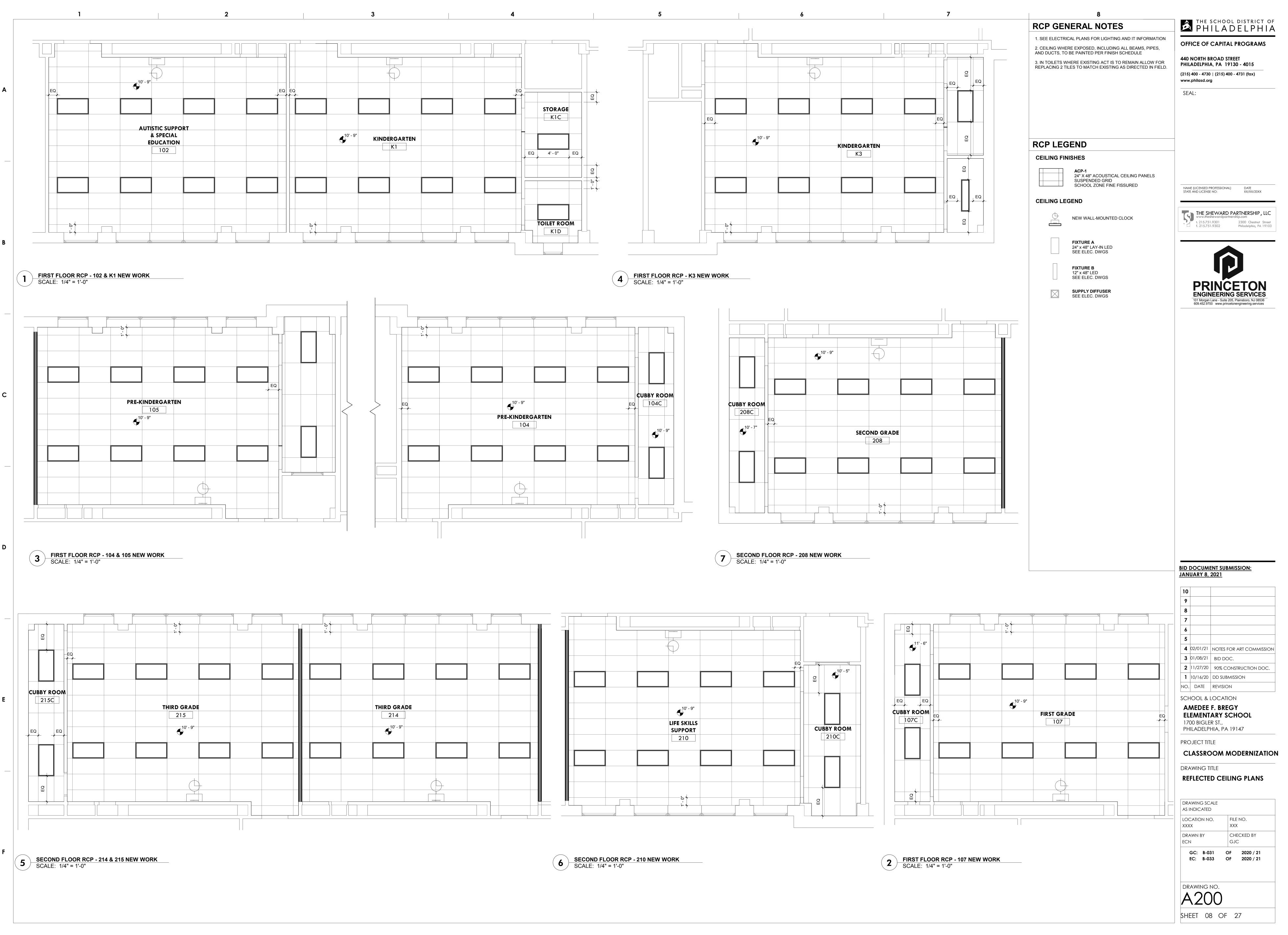
-	
>	PREPARE AND ELECTROSTATICALLY PAINT UN VENTILATORS AND ASSOCIATED PIPE ENCLOS
>	CLEAN AND REMOVE ALL LOOSE MATERIAL FR BUILT-IN AND FREESTANDING STORAGE FURN
$\rangle$	REMOVE EXISTING PIPE INSULATION AND PRONEW PIPE INSULATION ON ALL VERTICAL PIPING TO STRUCTURAL DECK AND LATERAL PIPING INCLUDING ANY ABOVE CEILING. PIPE INSULAT SHALL BE JOHNS MANVILLE MICROLOK OR EQ OF 2" THICKNESS. ON PIPES BELOW CEILING PROVIDE PVC PROTECTIVE COVER, JOHNS MANVILLE ZESTON 2000 OR EQUAL OF 30 MIL THICKNESS.
>	NEW ROLLER SHADE FOR BOTTOM HALF OF F WINDOW(S) IN ROOM
>	NEW SINK AT EXISTING PLUMBING. SEE PLUMI DRAWINGS
>	NEW PAPER TOWEL AND SOAP DISPENSERS
$\rangle$	PREPARE EXISTING RAIL FOR PAINTING INCLU FILLING HOLES AND PATCH REPAIRING DAMAG SECTIONS. PAINT TO MATCH WALL
>	NEW SINK COUNTER AND CASEWORK
$\rangle$	NEW CUBBIES
>	NEW CASEWORK
$\rangle$	NEW VCT FLOOR TILE
$\rangle$	PROVIDE NEW HAND SANITIZER DISPENSER
>	PREPARE AND ELECTROSTATICALLY PAINT EXISTING RECESSED TELEPHONE BOXES TO N DOOR FRAMES
>	REFURBISH EXISTING WOOD CASEWORK
$\rangle$	PROTECT EXISTING TILE SURFACES FROM DA DURING THE COURSE OF THE WORK. THOROU CLEAN TILE AND GROUT TO REMOVE GRIME,S AND DISCOLORATION
>	SAND AND REFINISH EXISTING STORAGE CUP OR DOOR
>	PAINT PHONE BOX TO MATCH NEW WALL PAIN
$\rangle$	NEW SHELF AND BRACKET
>	NEW TOILET ACCESSORIES INCLUDING TOILE PAPER, SOAP, AND PAPER TOWEL DISPENSER AND MIRRORS
$\rangle$	NEW CERAMIC FLOOR AND WALL TILE
$\rangle$	PATCH AND PAINT WALL
$\left\langle \right\rangle$	INSTALL NEW RADIATOR COVER TO MATCH EXISTING COVERS IN ROOMS 102 &/OR 214. EXISITNG RADIATORS VARY IN SIZE CONTRAC TO VERIFY IN FIELD.
>	PREP WINDOW WALL FOR NEW PLASTER FINIS
$\rangle$	SAND AND REFINISH WOOD BASE
>	NEW SOLID SURFACE WINDOW SILLS
>	AT NEW CUBBIES AND CABINETS, CUT AND RE EXISTING BASE AND RAILS TO THE WIDTH OF NEW CASEWORK UNIT SO THAT CASEWORK F

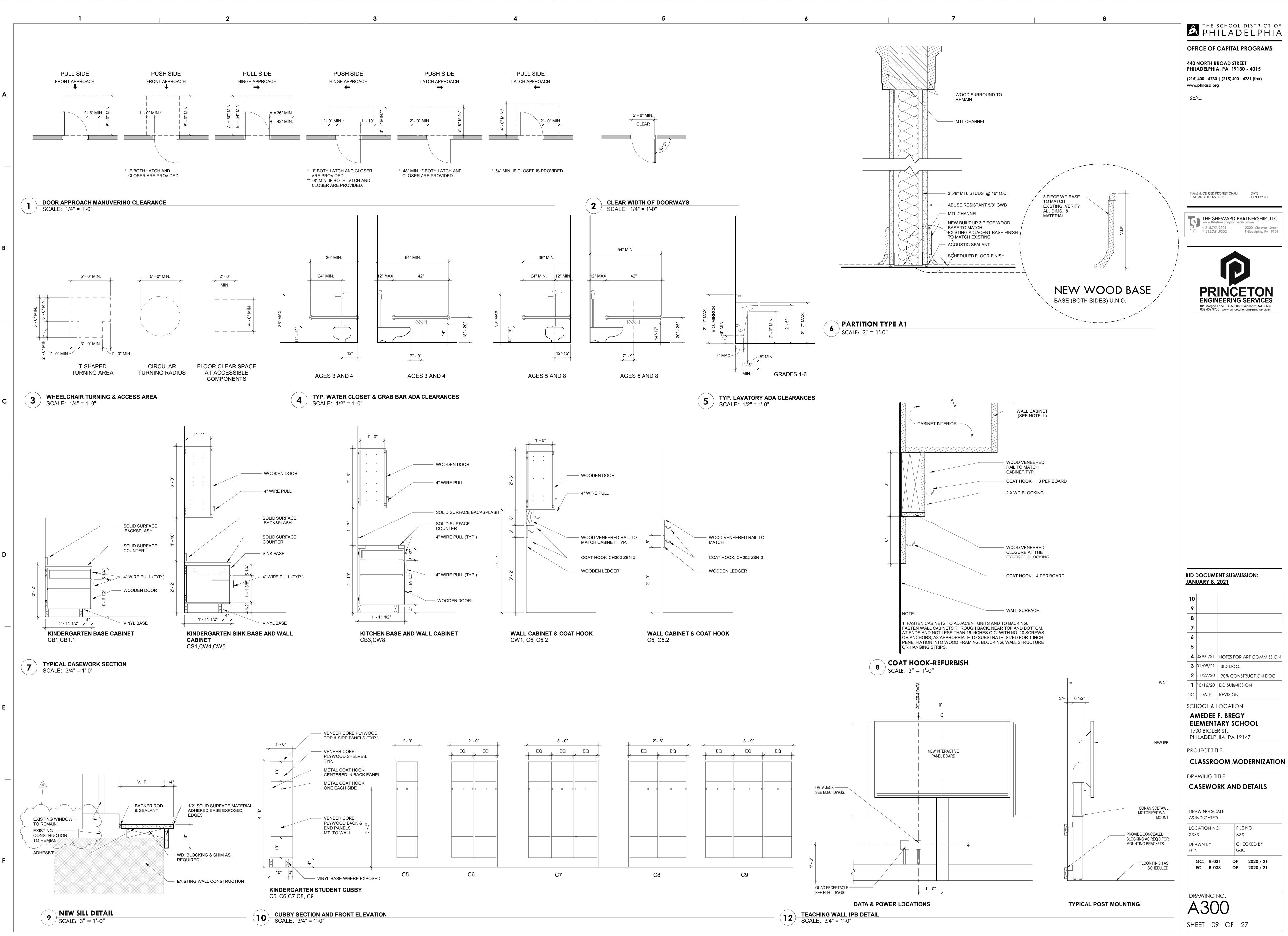
CASEWORK FITS FLUSH TO WALL 27 INSTALL NEW MTL. FLUSH PLATE AT REMOVED RECESSED FLOOR MOUNTED DOOR HINGE @ WD. FLOORS. INFILL FLUSH FLOOR OPNG. WITH BLKG @ NEW VCT FLOORS. 28 FILL IN HOLES IN RAIL AND REPLACE ALL COATHOOKS

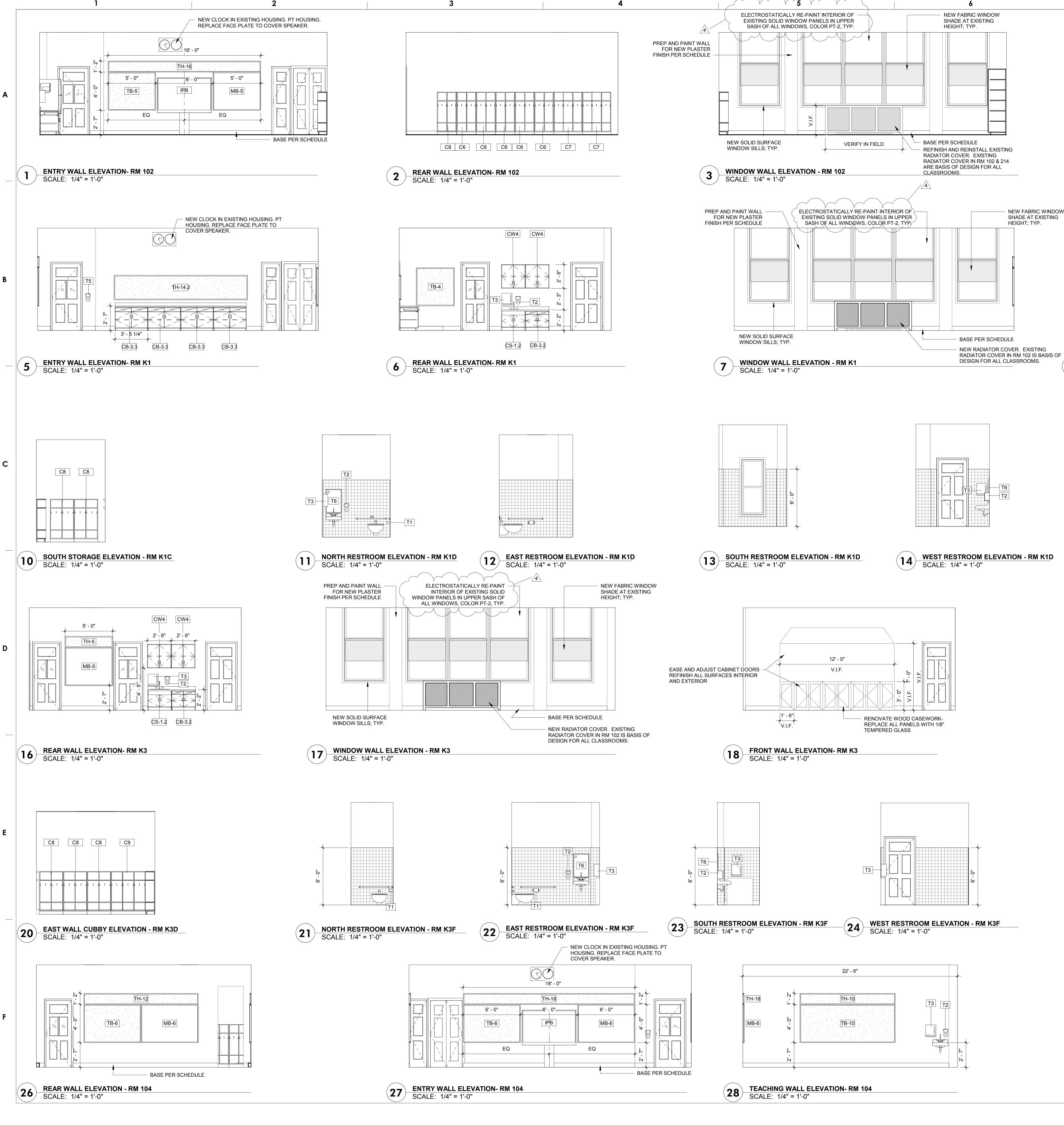
**NEW WORK LEGEND** 

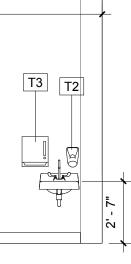
WALL-MOUNT	ED EDUCATIONAL SURFACE
MB-X	MARKERBOARD
TB-X	TACKBOARD
TH-X	TACKBOARD HEADER
TT-X	TACK TRACK
	*X INDICATES TYPE, SEE W. EQUIPMENT SCHEDULE
INTERACTIVE	PANEL BOARD, NIC
CASEWORK SEE ELEVATIO FOR TYPES	ONS AND CASEWORK SCHED
CUBBIES SEE ELEVATIO FOR TYPES	ONS AND CASEWORK SCHED
CLASSROOM NEW WALL-MO LOCATION BY	OUNTED CLOCK IN EXISTING











# C8 C8

**19** WEST CUBBY WALL ELEVATION - RM K3D SCALE: 1/4" = 1'-0"

ELECTROSTATICALLY RE-PAINT INTERIOR OF EXISTING SOLID WINDOW PANELS IN UPPER SASH OF

ALL WINDOWS, COLOR PT-2, TYP.

PREP AND PAINT WALL FOR NEW PLASTER FINISH PER SCHEDULE —

NEW SOLID SURFACE WINDOW SILLS; TYP.

25 WINDOW WALL ELEVATION - RM 104 SCALE: 1/4" = 1'-0"

C6

**29** CUBBY WALL ELEVATION - RM 104C SCALE: 1/4" = 1'-0"

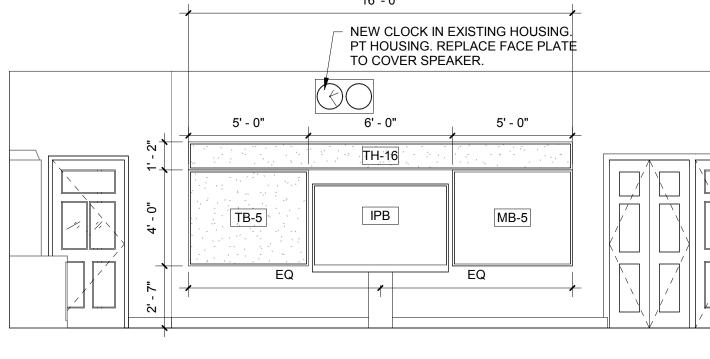
CW1 CW1 CW1 CW1

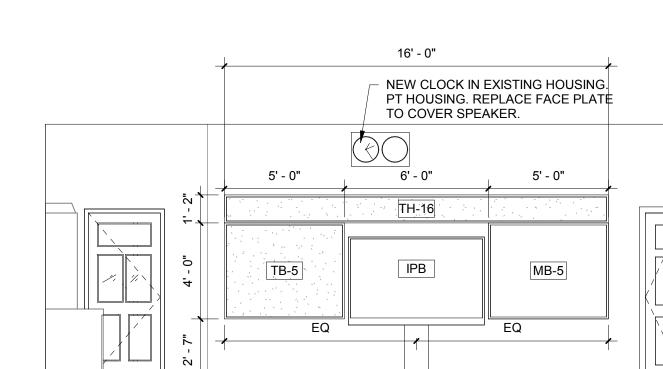
C6

C6

# 15 ENTRY WALL ELEVATION- RM K3 SCALE: 1/4" = 1'-0"

NORTH STORAGE WALL ELEVATION - RM K1C

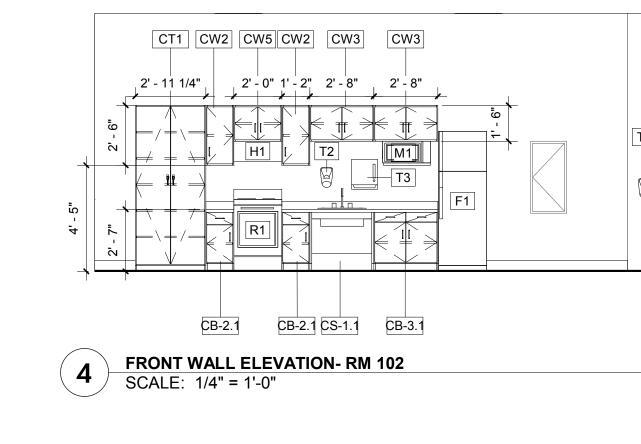




# C8 C8 C9

SCALE: 1/4" = 1'-0"

BASE PER SCHEDULE



NEW FABRIC WINDOW

C8

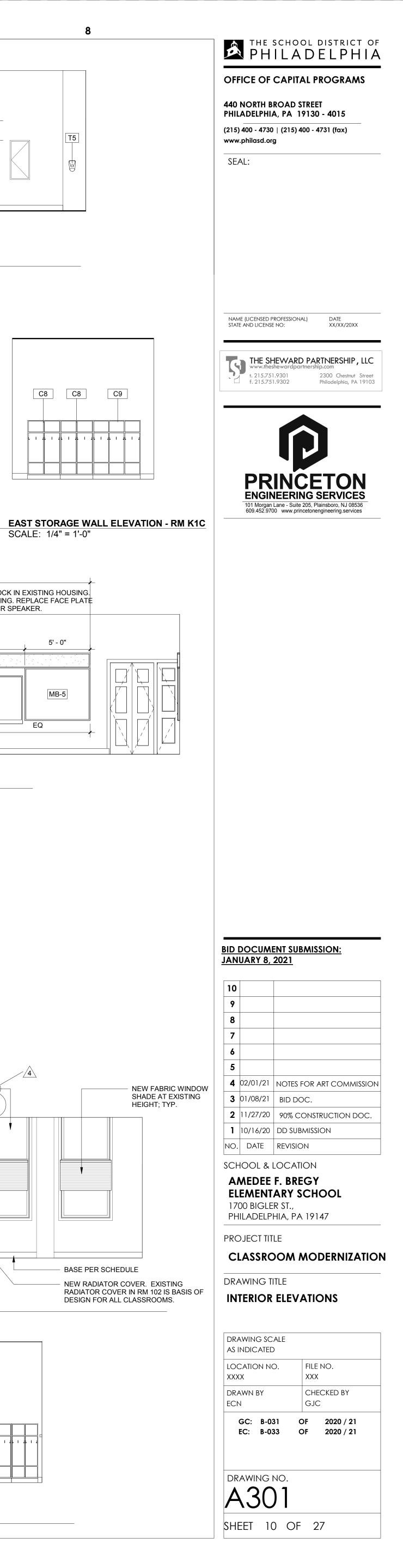
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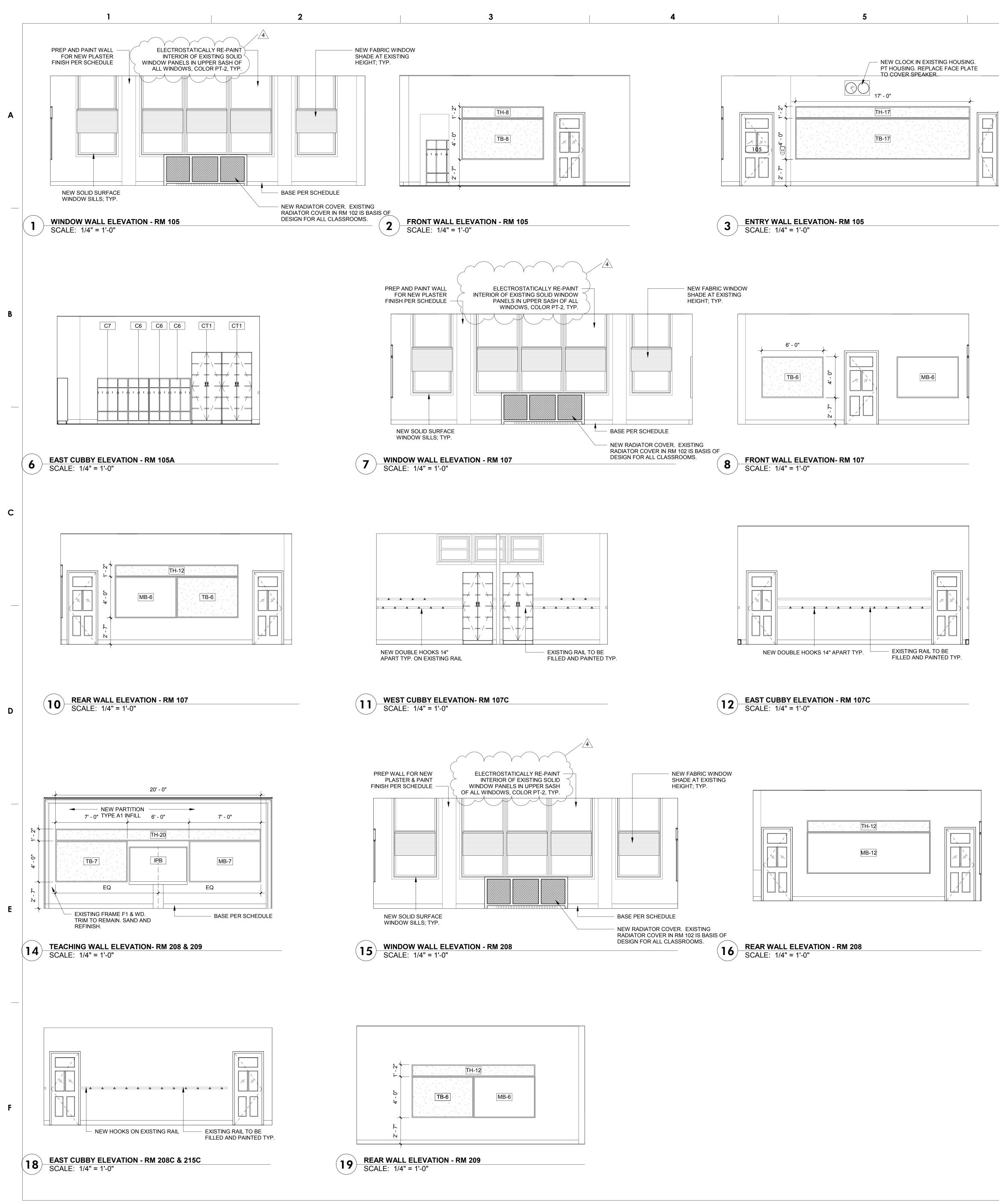
C8

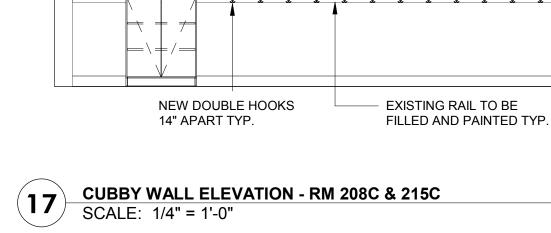
SCALE: 1/4" = 1'-0"

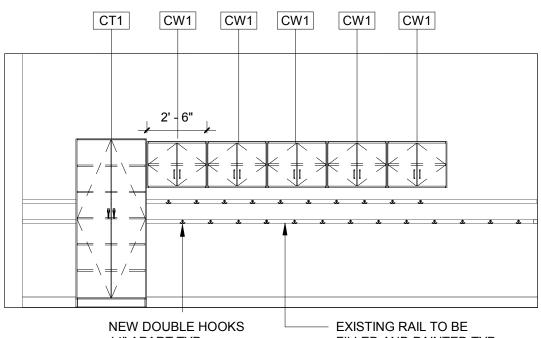
SHADE AT EXISTING

HEIGHT; TYP.

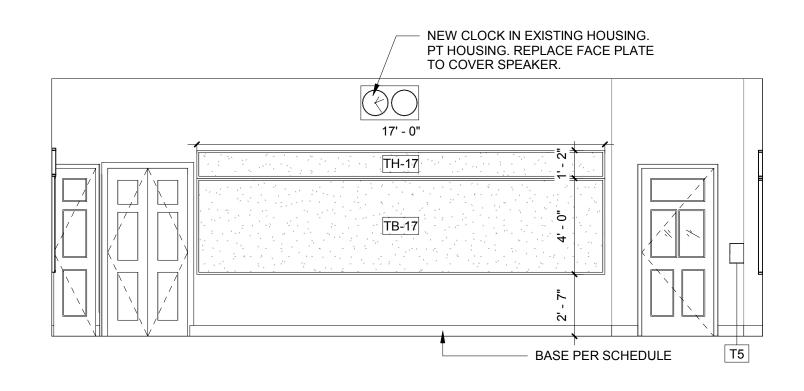




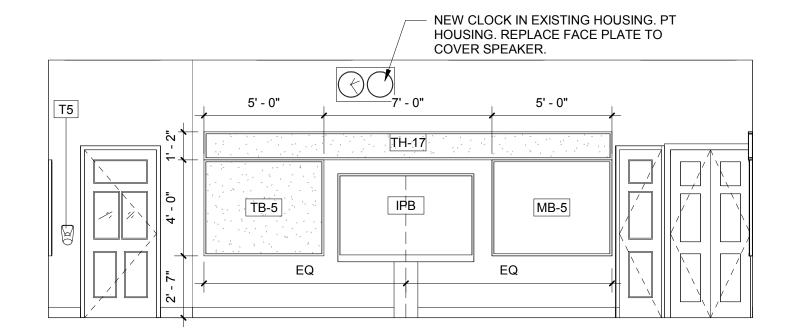


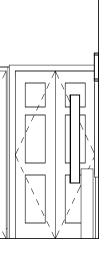


13 ENTRY WALL ELEVATION- RM 208 SCALE: 1/4" = 1'-0"



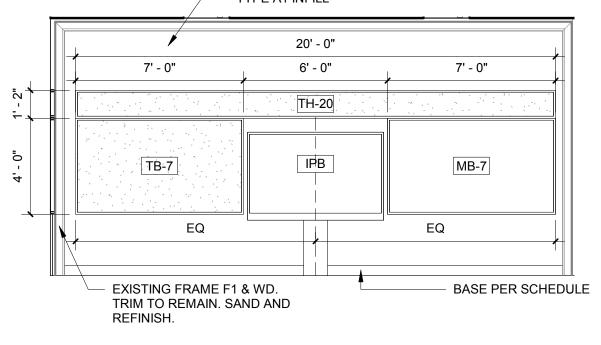
ENTRY WALL ELEVATION- RM 107 **9 ENTRY WALL ELEV** SCALE: 1/4" = 1'-0"





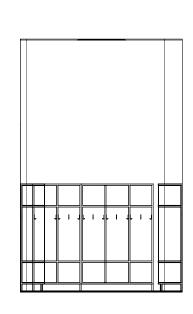
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TEACHING WALL ELEVATION- RM 105 & 106

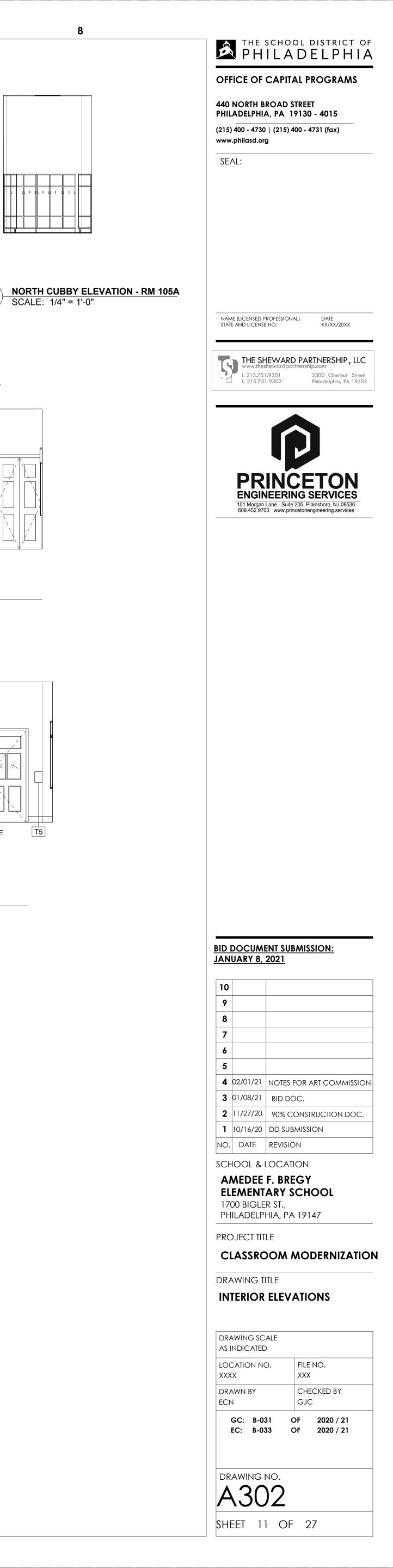
SCALE: 1/4" = 1'-0"

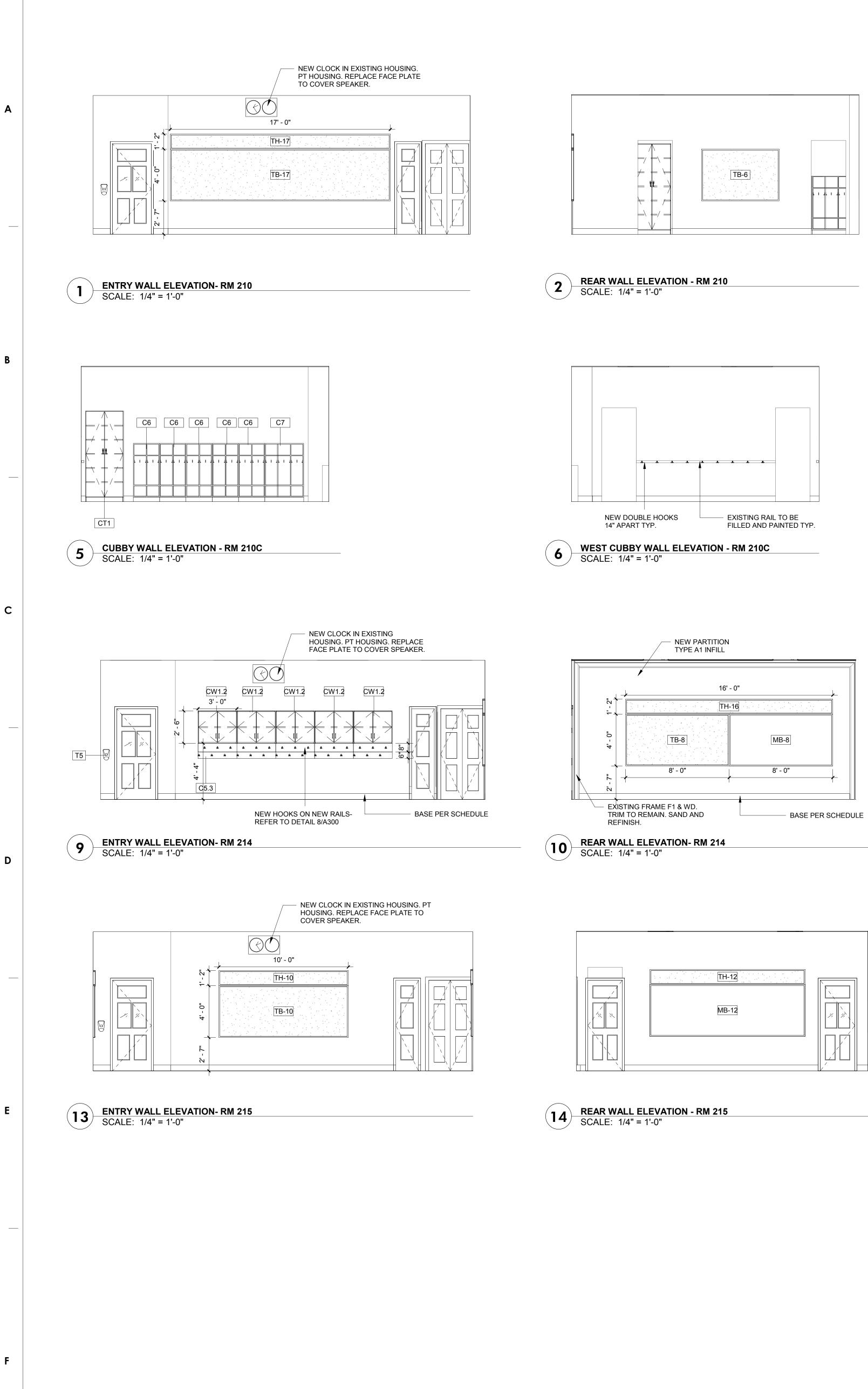


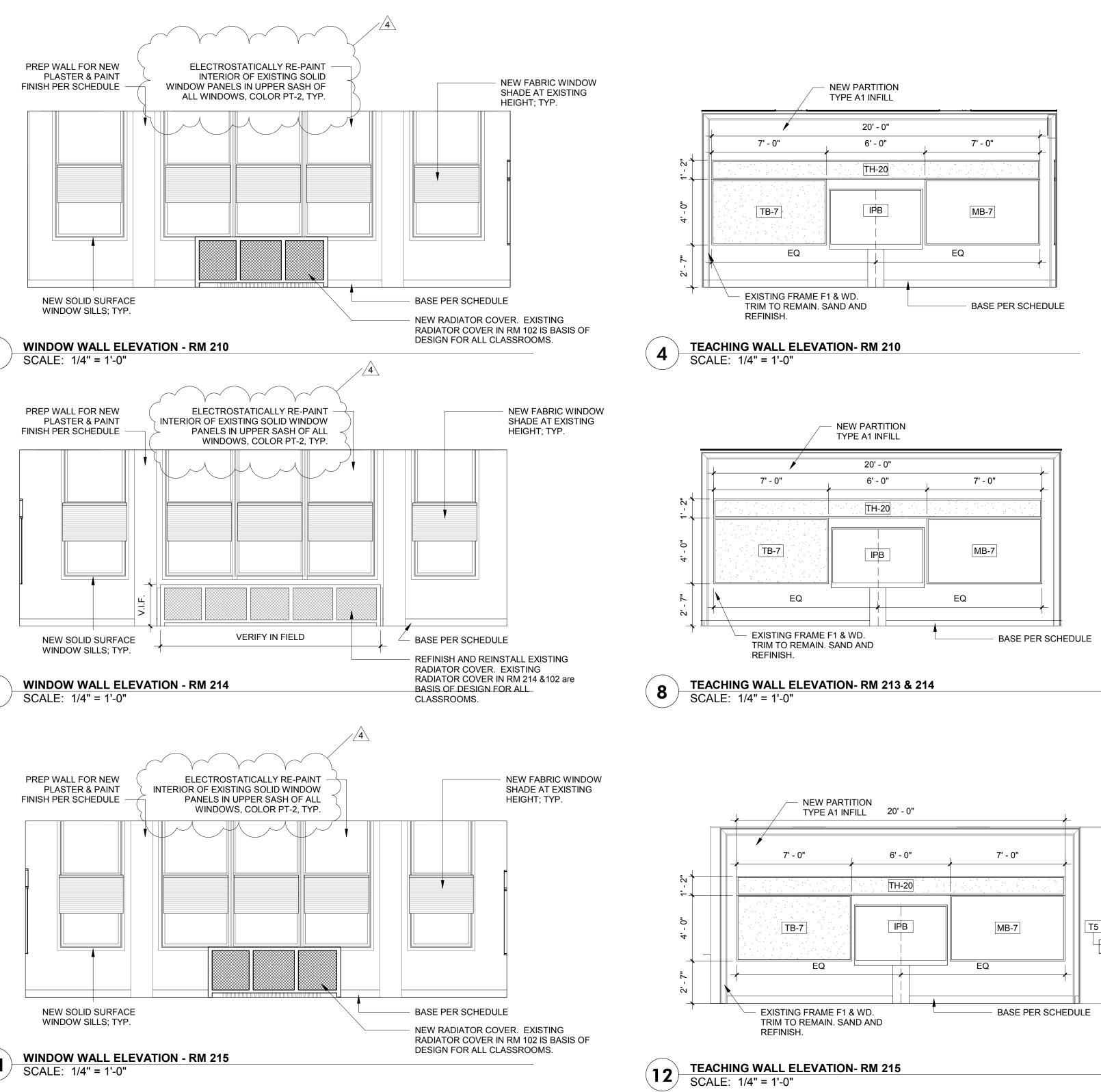
SCALE: 1/4" = 1'-0"

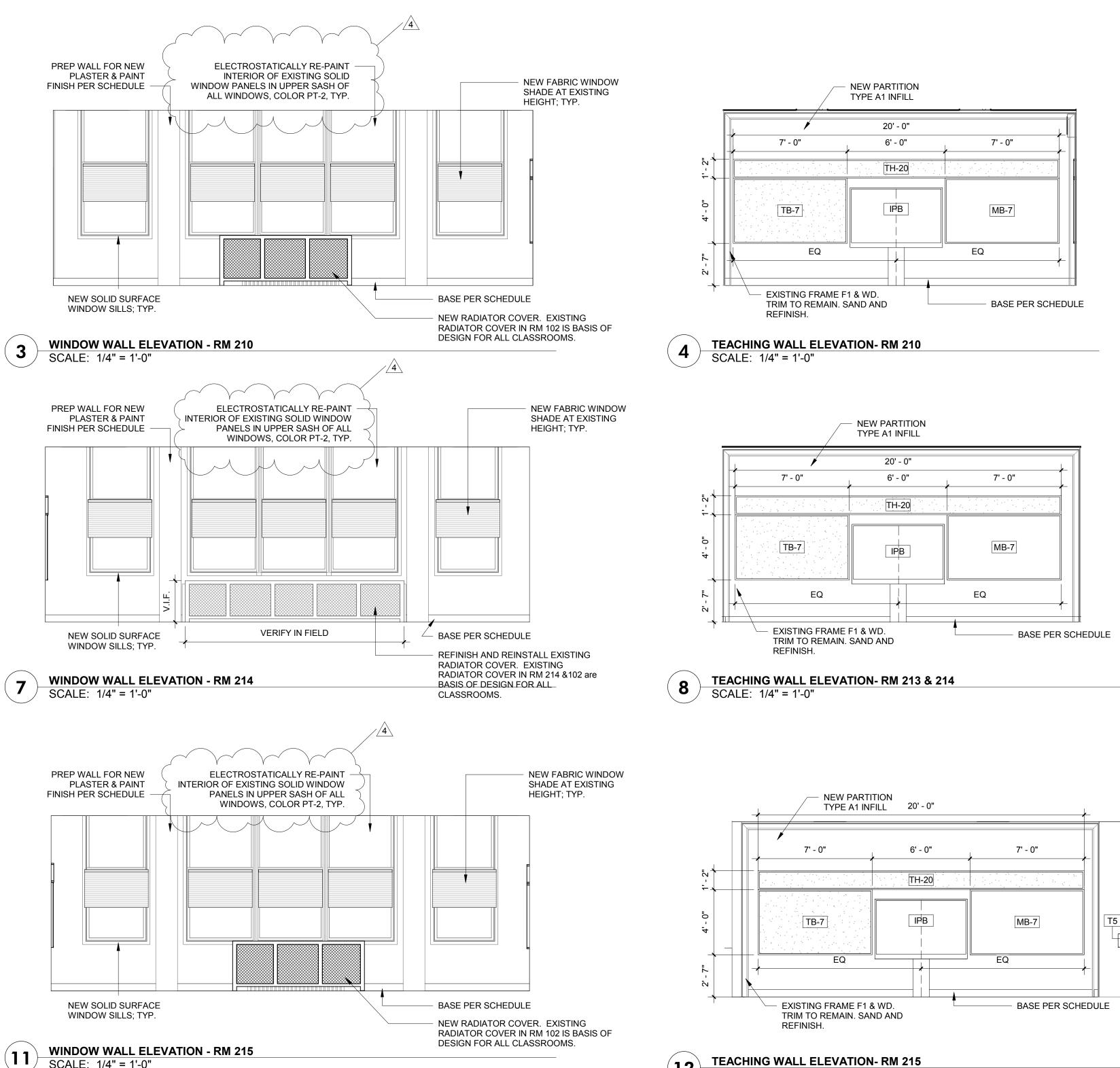
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- NEW PARTITION TYPE A1 INFILL

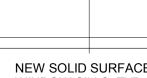


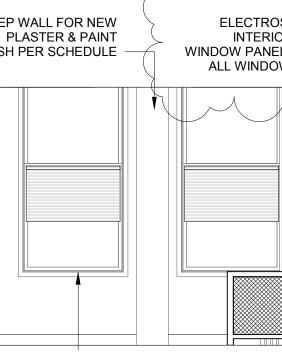














	CASEWORK & EQUIPMENT SCHEDULE												
	Description	Model	Manufacturer	Width	Depth	Height	Count	Comments					
C5.1	Coat Hook on Wood Ledger	6976M	Institutional Casework Inc.				30						
C5.2	Coat Hook on Wood Ledger	6976M	Institutional Casework Inc.	3' - 0"	0' - 4"	0' - 8"	5						
C5.3	Coat Hook on Wood Ledger	6976M	Institutional Casework Inc.	3' - 0"	0' - 1"	0' - 6"	5	M- Hooks mounted to wood ledger, (4) hooks per unit. See dwgs on A300. Dimensions in casework schedule refer to wood ledger. #3000 Maple Natural. EPCO CH202-ZBN-2 Brushed Nickel Hooks.					
C6	Student Cubby	7434M	Institutional Casework Inc.	2' - 0"	1' - 0"	4' - 6"	25						
C7	Student Cubby	7434M	Institutional Casework Inc.	3' - 0"	1' - 0"	4' - 6"	7						
C8	Student Cubby	7434M	Institutional Casework Inc.	2' - 6"	1' - 0"	4' - 6"	12						
C9	Student Cubby	7434M	Institutional Casework Inc.	3' - 9"	1' - 0"	4' - 6"	2						
CB-2.1	Wood Base Cabinet	3164XXM	Institutional Casework Inc.	1' - 2"	1' - 10 1/2'	" 2' - 6 1/4"	2	M- HEIGHT 24" . SEE DRG AT A300, Empire Maple, #1000 Maple Natural					
CB-3.1	Wood Base Cabinet	3308M	Institutional Casework Inc.	2' - 8"	1' - 11 1/2'	" 2' - 6 1/4"	1	M- HEIGHT 24" . SEE DRG AT A300, Empire Maple, #1000 Maple Natural					
CB-3.2	Wood Base Cabinet	3308M	Institutional Casework Inc.	2' - 6"	1' - 11 1/2'	" 2' - 0 1/2"	2	M- HEIGHT 24" . SEE DRG AT A300, Empire Maple, #1000 Maple Natural					
CB-3.3	Wood Base Cabinet	3687EM	Institutional Casework Inc.	3' - 5 1/4"	1' - 11 1/2'	" 2' - 6 1/4"	4						
CS-1.1	ADA Closure Panel	8760	Institutional Casework Inc.	2' - 8"	1' - 11 1/2'	" 2' - 6 1/4"	1	M-HEIGHT=24".SEE DRG AT A300,Empire Maple, #1000 Maple Natural					
CS-1.2	Wood Sink Base Cabinet	3536M	Institutional Casework Inc.	2' - 6"	1' - 11 1/2'	" 2' - 1 1/4"	2	M-HEIGHT=24".SEE DRG AT A300,Empire Maple, #1000 Maple Natural					
CT1	Wood Tall Storage Cabinet	5866	Institutional Casework Inc.	2' - 11 1/4"	1' - 10 1/2'	" 7' - 0"	8						
CW1	Wood Wall Case	4693	Institutional Casework Inc.	2' - 6"	1' - 1"	1' - 11"	15						
CW1.2	Wood Wall Case	4693	Institutional Casework Inc.	3' - 0"	1' - 1"	2' - 6"	5	SEE DRG CW1 AT A300, Empire Maple, #1000 Maple Natural					
CW2	Wood Wall Case	4423M	Institutional Casework Inc.	1' - 2"	1' - 1"	2' - 6"	2	M-WIDTH=14",HEIGHT=30",SEE DRG CW8 AT A300,Signature Maple, #1000 Maple Natural					
CW3	Wood Wall Case	4695M	Institutional Casework Inc.	2' - 8"	1' - 1"	1' - 6"	2	M- HEIGHT=18",WIDTH=32".SEE DRG CW6 AT A300, Empire Maple, #1000 Maple Natural					
CW4	Wood Wall Case	5424	Institutional Casework Inc.	2' - 6"	1' - 1"	2' - 6"	4	SEE DRG CW4 AT A300,Empire Maple, #1000 Maple Natural					
CW5	Wood Wall Case	4689M	Institutional Casework Inc.	2' - 0"	1' - 1"	1' - 6"	1	M- HEIGHT=18".SEE DRG CW6 AT A300,Empire Maple, #1000 Maple Natural					

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		ROC			<b>SCHE</b>	DU	LE			SPECIALTY EQUIPMENT SCHEDULE						
	ROOM	FLO	OR			PAIN	Γ			Type Mark	Description	Model	Count	Manufacturer	Comments	
NO.	NAME	ACCEN FIELD 1	NT ACCENT	BASE	MAIN PAINT		A2	CEILING	COMMENTS		Description	Model	Oount	Manufacturer	Commenta	
		.	_								ADA GRAB BARS		2			
	C SUPPORT & SPECIAL	VCT-1 VCT-4	VCT-5	WD	P-1	P-2	P-4	ACT-1	SEE DETAIL 6/A300	F1	REFRIGERATOR		1	LG	11 CU.FT , 24" WIDE COMPACT TOP MO REFRIGERATOR, LTNC11121V,120V	
EDUCAT 102A STOR.	ION	VCT-1 -		WD	P-1					H1	RANGE HOOD		1			
102A STOR. 102B STOR.		VCT-1 -	-	WD	P-1 P-1	-	-			M1	MICROWAVE		1	GE Appliances		
	DERGARTEN	VCT-1 VCT-2	VCT-3	WD	P-1	P-2	P-3	ACT-1	SEE DETAIL 6/A300				4			
104A STOR.		VCT-1 -	-	WD	P-1	-	-			R1	ELECTRIC RANGE			GE Appliances	24" STANDARD CLEAN FREE STANDING	
104B STOR.		VCT-1 -	-	WD	P-1	-	-								RANGE, JAS640RMSS, 208V WITH POWER	
104C CUBBY F	ROOM	VCT-1 -	-	WD	P-1	-	-	ACT-2	SEE DETAIL 6/A300	T1	TOILET PAPER DISPENSER	09507	2	KIMBERLY-CLARK		
	DERGARTEN	VCT-1 VCT-2	VCT-3	WD	P-1	P-2	P-3	ACT-1	SEE DETAIL 6/A300, WOOD BASE	T2	SOAP DISPENSER	92145	6	KIMBERLY-CLARK		
105A CUBBY F	ROOM	VCT-1 -	-	WD	P-1	-	-	ACT-1	SEE DETAIL 6/A300	Т3	TOWEL DISPENSER	29734	6	KIMBERLY-CLARK		
105B STOR.		VCT-1 -	-	WD	P-1	-	-			T5	HAND SANITIZER		10			
105C STOR.		VCT-1 -	-	WD	P-1	-	-			15	DISPENSER		10			
106 CLASSR				WD	D 4	<b>D</b> 0	<b>D</b> 2		WOOD BASE							
107 FIRST GF 107A STOR.	RADE	WD - WD -	-	WD WD	P-1 P-1	P-2	P-3	ACT-1	SEE DETAIL 6/A300, WOOD BASE	T6	WALL HUNG MIRROR	ASI #0600	) 2	AMERICAN		
107A STOR.		WD -	-	WD	P-1	-	-							SPECIALTIES		
107C CUBBY F	ROOM	WD -	-	WD	P-1		-	ACT-2	SEE DETAIL 6/A300							
K1 KINDERG		VCT-1 VCT-4	VCT-5	WD	P-1	P-2	P-4	ACT-1	SEE DETAIL 6/A300							
K1A STOR.		VCT-1 -	-	WD	P-1	-	-									
K1B STOR.		VCT-1 -	-	WD	P-1	-	-									
K1C STORAG	E	VCT-1 -	-	WD	P-1	-	-	P-1								
K1D TOILET F	ROOM	CT-1 -	-	CB-1	CT-1	CT-2	-	ACT-2								
K3 KINDERC	GARTEN	VCT-1 VCT-4	VCT-5	WD	P-1	P-2	P-4	P-1	SEE DETAIL 6/A300							
K3A STOR.		VCT-1 -	-	WD	P-1	-	-	P-1								
K3B STOR.		VCT-1 -	-	WD	P-1	-	-									
K3C STOR.	2004	VCT-1 -	-	WD	P-1	-	-									
K3D CUBBY F		VCT-1 -	-	WD	P-1	-	-	ACT-2	SEE DETAIL 6/A300							
K3F TOILET F	ROOM	CT-1 -	-	CB-1	CT-1	CT-2	-	ACT-2								
Level 2																
208 SECOND	GRADE	EX-WD -	-	WD	P-1	P-2	P-6	ACT-1	SEE DETAIL 6/A300							
208A STOR.		EX-WD -	-	WD	P-1	-	-									
208B STOR.		EX-WD -	-	WD	P-1	-	-									
208C CUBBY F	ROOM	EX-WD -	-	WD	P-1	-	-	ACT-2	SEE DETAIL 6/A300							
209 CLASSR	OOM	EX-WD -	-	WD					WOOD BASE							
210 LIFE SKII	LLS SUPPORT	EX-WD -	-	WD	P-1	P-2	P-6	ACT-1	SEE DETAIL 6/A300							
210A STOR.		EX-WD -	-	WD	P-1	-	-									
210B STOR.		EX-WD -	-	WD	P-1	-	-									
210C CUBBY F		EX-WD -	-	WD	P-1	-	-	ACT-2	SEE DETAIL 6/A300, WOOD BASE							
213 CLASSRO		EX-WD -	-	WD					WOOD BASE							
214 THIRD G	RADE	EX-WD -	-	WD	P-1	P-2	P-5	ACT-1	SEE DETAIL 6/A300, WOOD BASE							
214A STOR		EX-WD -	-	WD	P-1	-	-									
214B STOR		EX-WD -	-	WD	P-1	-	- D <i>E</i>									
215 THIRD G	RAUE	EX-WD -	-	WD	P-1	P-2	P-5	ACT-1	SEE DETAIL 6/A300, WOOD BASE							
215A STOR. 215B STOR.		EX-WD -	-	WD WD	P-1 P-1	-										
			-		1	-	-									

WALL EQUIPMENT SCHEDULE									
Type Mark	Description	Count	Width	Height	Comments				
	1								
		5		2' - 7"					
IPB	INTERACTIVE PANEL BOARD	13	5' - 8"	3' - 8"	SUPPLIED AND INSTALLED BY CONTRACTOR				
MB-5	MARKERBOARD	4	5' - 0"	4' - 0"	SUPPLIED AND INSTALLED BY CONTRACTOR				
MB-6	MARKERBOARD	6	6' - 0"	4' - 0"	SUPPLIED AND INSTALLED BY CONTRACTOR				
MB-7	MARKERBOARD	5	7' - 0"	4' - 0"	SUPPLIED AND INSTALLED BY CONTRACTOR				
MB-8	MARKERBOARD	2	8' - 0"	4' - 0"	SUPPLIED AND INSTALLED BY CONTRACTOR				
MB-12	MARKERBOARD	2	12' - 0"	4' - 0"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TB-4	TACKBOARD - 8 FT LONG	1	4' - 0"	4' - 0"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TB-5	TACKBOARD - 5 FT LONG	3	5' - 0"	4' - 0"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TB-6	TACKBOARD - 6 FT LONG	7	6' - 0"	4' - 0"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TB-7	TACKBOARD - 8 FT LONG	7	7' - 0"	4' - 0"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TB-8	TACKBOARD - 8 FT LONG	3	8' - 0"	4' - 0"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TB-17	TACKBOARD - 17 FT LONG	3	17' - 0"	4' - 0"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TH-5	TACKheader 5	1	5' - 0"	1' - 2"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TH-8	TACKBOARD - 8 FT LONG	1	8' - 0"	1' - 2"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TH-12	TACKBOARD - 12 FT LONG	5	12' - 0"	1' - 2"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TH-14.2	TACKBOARD - 14 FT LONG	1	14' - 0"	2' - 7"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TH-16	TACKHEADER - 16 FT LONG	3	16' - 0"	1' - 2"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TH-17	TACKHEADER - 17 FT LONG	4	17' - 0"	1' - 2"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TH-18	TACKHEADER - 18 FT LONG	2	18' - 0"	1' - 2"	SUPPLIED AND INSTALLED BY CONTRACTOR				
TH-22	TACKBOARD - 22 FT LONG	3	22' - 0"	1' - 2"	SUPPLIED AND INSTALLED BY CONTRACTOR				

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PACT TOP MOUNT 121V,120V

EE STANDING ELECTRIC / WITH POWER CORD AND PLUG

6

# **GENERAL NOTES**

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1. NEW INTERACTIVE PANEL BOARDS (IPB) AND MOUNTING POSTS AND BRACKETS ARE PROVIDED BY THE CONTRACTOR. INSTALLATION OF INTERACTIVE PANEL BOARDS AND MOUNTING HARDWARE IS BY THE CONTRACTOR. 2. ALL DATA AND POWER CONDUIT AT TEACHING WALLS TO BE

8

INSTALLED BELOW TEACHING WALL BOARDS. DO NOT RUN VERTICAL CONDUIT BEHIND IPB. COORDINATE W/ ELECTRICAL DWGS.

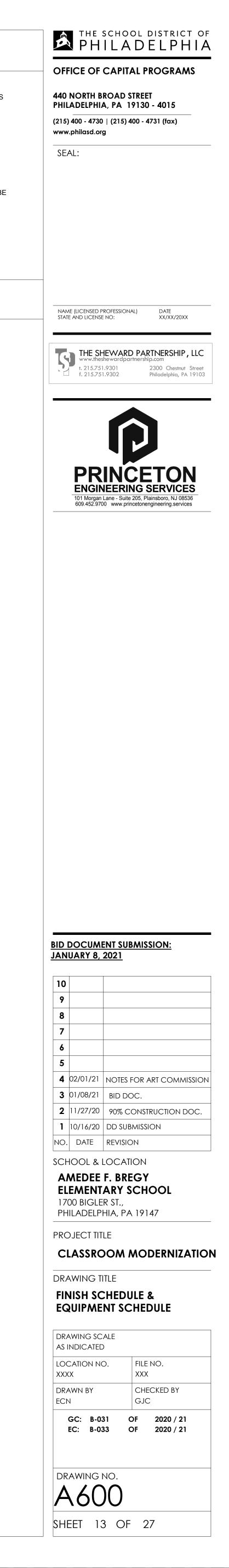
3. SEE FINISH SCHEDULE FOR CASEWORK COLOR SELECTIONS. 4. ALL CLOSETS WITH WOOD WALLS FLOOR AND CEILING AS TO BE SANDED AND REFINISHED, TYP.

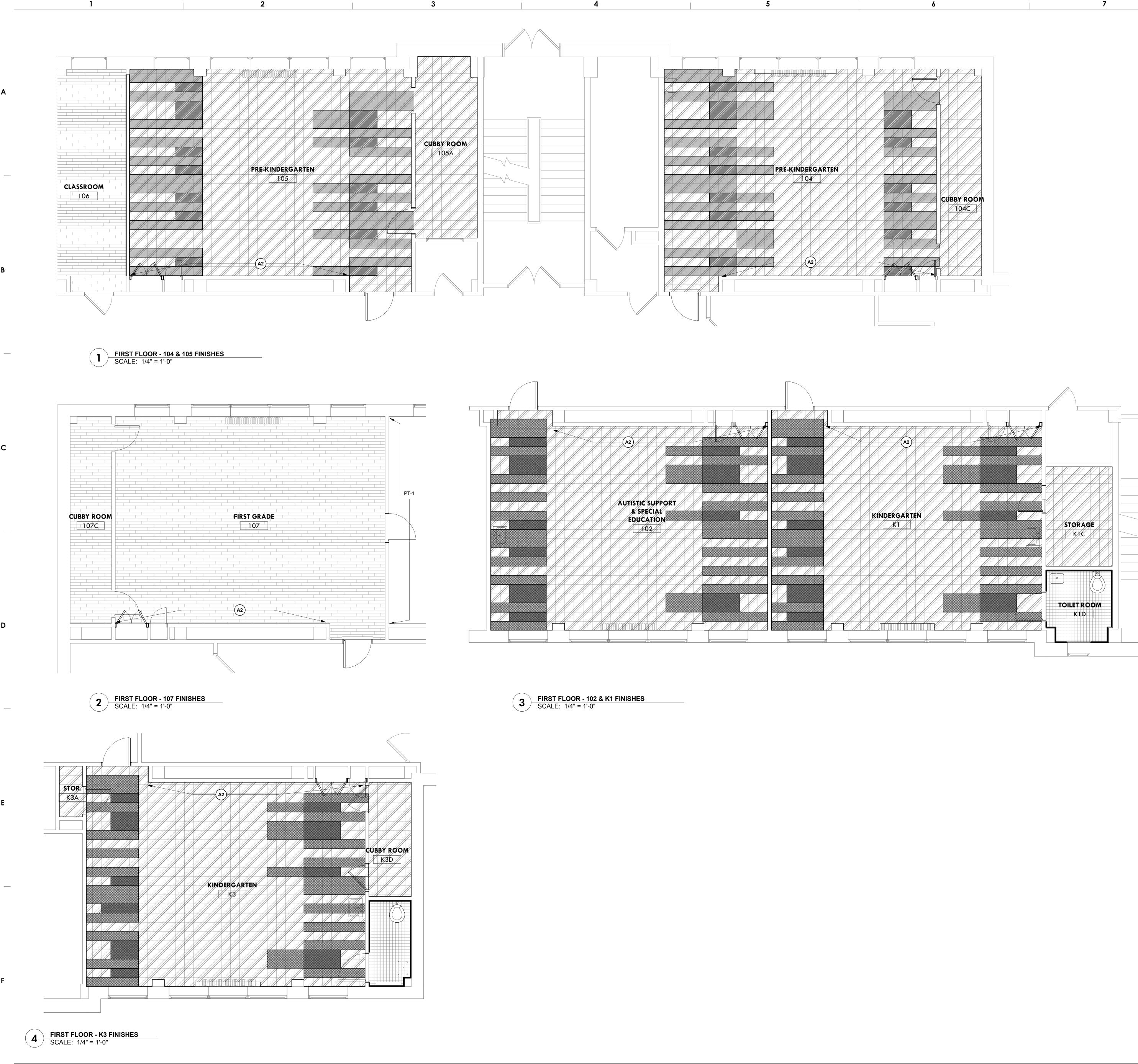
# WALL EQUIPMENT NOTES

DESIGN INTENT

1. INTERACTIVE PANEL BOARDS (IPB) SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR UNDER THE DIRECTION OF THE SDP. PROVIDE BLOCKING FOR IPBS AS NECESSARY AND AS INDICATED IN THE DRAWINGS.

2. MARKERBOARDS AND TACKBOARDS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL FIELD VERIFY FOR THE BOARDS, COORDINATE WITH THE WORK OF OTHER PRIME CONTRACTORS AND WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE SDP OF ANY DISCREPANCY OR INTERFERENCES AFFECTING THE





# 8 **FINISHES GENERAL NOTES**

7

### 1. SURFACES TO BE PAINTED "MAIN" COLOR PER FINISH SCHEDULE EXCEPT WHERE NOTED OTHERWISE

2. UNIT VENTILATORS, PIPE ENCLOSURES, DOOR AND OPENING METAL FRAMES TO BE PAINTED PT-3, UNO 3. CLOSET/ALCOVE CEILING TO BE PAINTED TO MATCH WALLS

- 4. AT CLASSROOM ENTRY DOORS, CAREFULLY PAINT THE DOOR FRAME IN TWO COLORS: CLASSROOM SIDE COLOR PT-3,
- CORRIDOR SIDE COLOR TO MATCH EXISTING FRAME COLOR. 5. IN ROOMS WHERE VINYL TILE IS REMOVED, PROVIDE OVER THE ENTIRE FLOOR A CEMENTITIOUS OVERLAYMENT PRODUCT THAT IS ACCEPTABLE TO THE VINYL MANUFACTURER AND IN THICKNESS RECOMMENDED BY THE MANUFACTURER.

### 6. REFINISH ALL EXISTING WOOD SURFACES INCLUDING BUT NOT LIMITED TO DOORS, DOOR FRAMES, WINDOW FRAMES, WINDOW SILLS, BASEBOARDS, RAILS, SHELVING, ALL WOOD FINISHED CLOSETS AND OTHER TRIM. REFINISHING SHALL INCLUDE THE FOLLOWING:

- A. CLEAN SURFACE TO REMOVE DIRT AND RESIDUE, STAPLES AND OTHER APPLIED MATERIALS
- B. SAND AND CLEAN BETWEEN STAGES. SANDING TO INCLUDE KNOCKING DOWN ANY
- BEADING OF OLD VARNISH C. FILL GOUGES AND HOLES WITH COMPATIBLE WOOD FILLER. TINT FILLER TO MATCH EXISTING STAINED
- FINISH. D. AT WORN, DAMAGED, OR BLEACHED AREAS OF STAINED WOOD APPLY WIPING STAIN TO MATCH EXISTING ADJACENT AREAS. PROVIDE SUFFICIENT APPLICATIONS OF STAIN TO GIVE AN OVERALL EVEN STAINED WOOD APPEARANCE CONSISTENT WITH THE ORIGINAL INTENT.
- E. FINISH WITH 3 COATS OF WATERBASED POLYURETHANE VARNISH COMPATIBLE WITH THE EXISTING FINISH SYSTEM AND APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

### 7. WHERE DOORS AND FRAMES ARE REFINISHED THEY ARE TO BE REFINISHED ON BOTH SIDES. AT CLASSROOM ENTRY DOORS REFINISH THE DOOR FRAME ON THE CORRIDOR SIDE TO MATCH THE EXISTING CORRIDOR FRAMES.

8. AT ROOMS WHERE NEW VINYL TILE IS TO BE INSTALLED DIRECTLY OVER EXISTING OR NEW WOOD FLOORS PROVIDE NEW 1/4" APA PREMIUM PLYWOOD UNDERLAYMENT SANDED FACE EXPOSURE

# **FINISH LEGEND** WALL FINISHES

PT-1 SW7044 AMAZING GRAY

PT-2 SW9171

FELTED WOOL

**PT-3** SW6890 OSAGE ORANGE

**PT-4** SW6765 SPA

**PT-5** SW6767 AQUARIUM

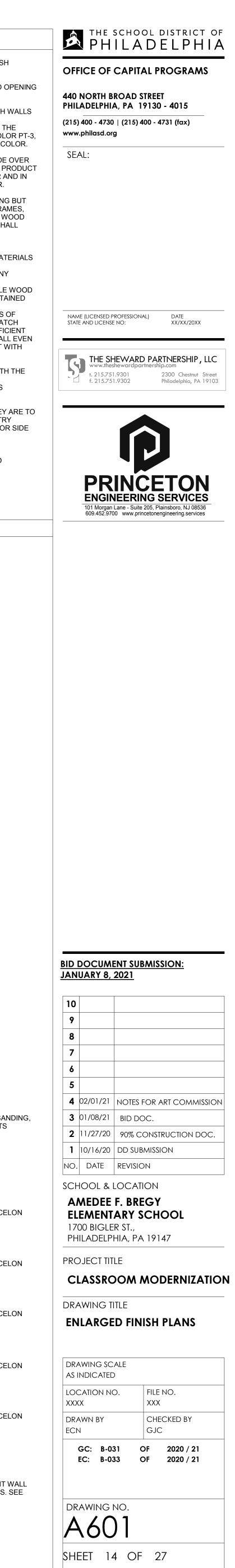
PT-6 SW6903 CHEERFUL

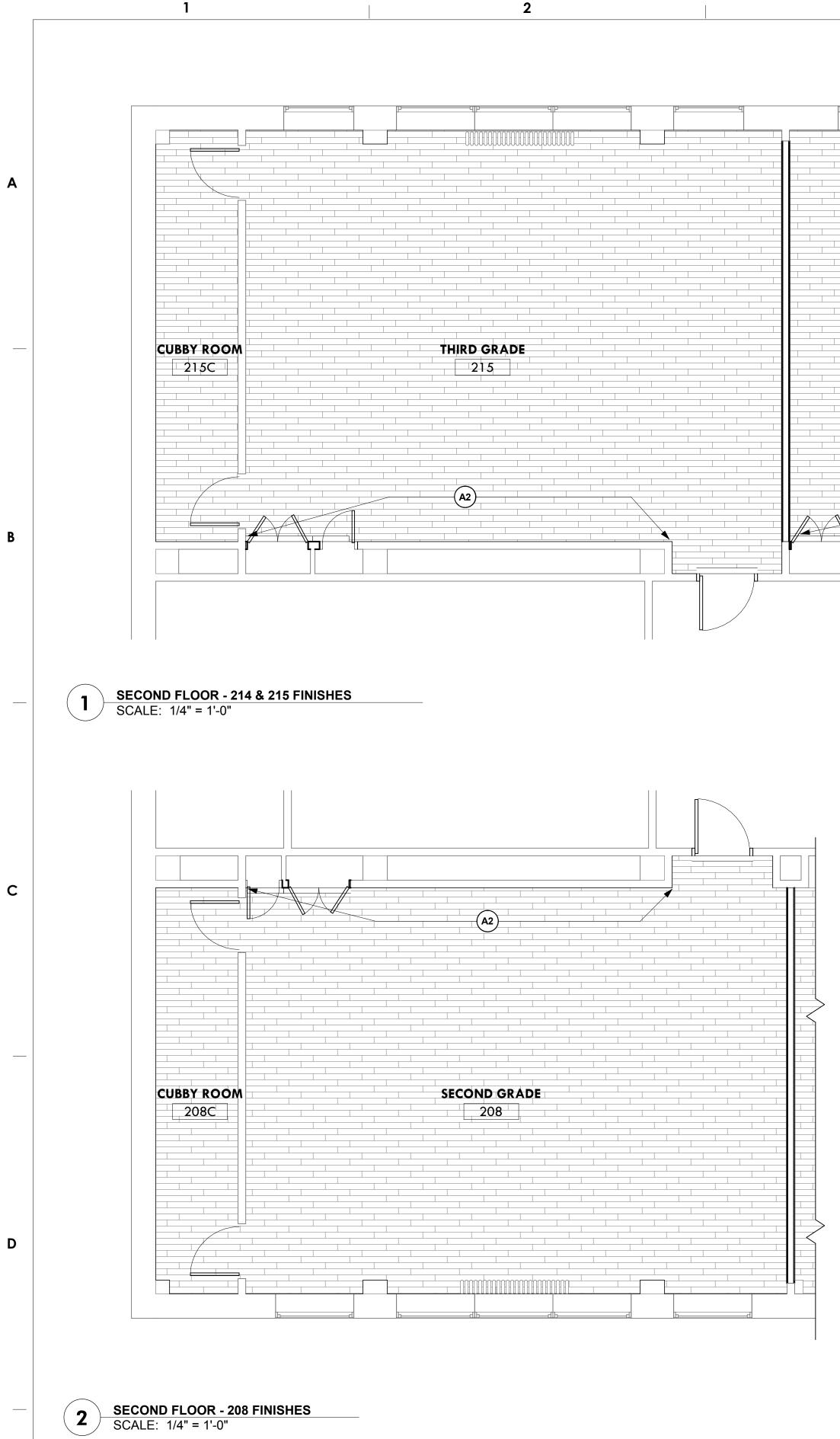
WALL BASES

WD-EX EXISTING WOOD BASE

# **FLOOR FINISHES**

<b>CT-1</b> NEW CE 4.25" X 4	ERAMIC FLOOR TILE 4.25"
	6H WOOD FLOOR INCLUDING SA IG, SEALING, AND FINISH COATS
VCT           NEW VII           12" x 12	NYL COMPOSITIONAL TILE "
	<b>VCT-1</b> ARMSTRONG STANDARD EXCE 51803 PEARL WHITE
	<b>VCT-2</b> ARMSTRONG STANDARD EXCE 51866 LITTLE GREEN APPLE
	<b>VCT-3</b> ARMSTRONG STANDARD EXCE 51947 BASIL GREEN
	<b>VCT-4</b> ARMSTRONG STANDARD EXCE 51927 FIELD GRAY
	<b>VCT-5</b> ARMSTRONG STANDARD EXCE 57509 LEMON LICK
A1	ACCENT TAG EXTENT OF ACCENT AND BASE FINISHES. FINISH SCHEDULE.





P	E
	4 6 6 7 7 7 4
	213
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209	LIFE SKILLS SUPPORT 210 210 210 210 210 210 210 210 210 210	



3

**3** SECOND FLOOR - 210 FINISHES SCALE: 1/4" = 1'-0"

# **FINISHES GENERAL NOTES**

7

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8

METAL FRAMES TO BE PAINTED PT-3, UNO 3. CLOSET/ALCOVE CEILING TO BE PAINTED TO MATCH WALLS

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- THE ORIGINAL INTENT. E. FINISH WITH 3 COATS OF WATERBASED POLYURETHANE VARNISH COMPATIBLE WITH THE EXISTING FINISH SYSTEM AND APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

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**FINISH LEGEND** WALL FINISHES

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**PT-4** SW6765 SPA

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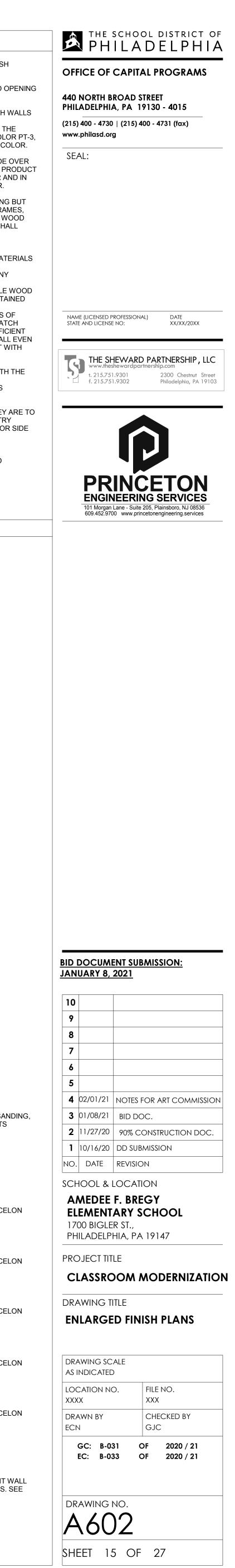
PT-6 SW6903 CHEERFUL

WALL BASES

WD-EX EXISTING WOOD BASE

**FLOOR FINISHES** 

CT-1 NEW CI 4.25" X 4	ERAMIC FLOOR TILE 4.25"
	SH WOOD FLOOR INCLUDING SA NG, SEALING, AND FINISH COATS
VCT NEW VI 12" x 12	NYL COMPOSITIONAL TILE "
	<b>VCT-1</b> ARMSTRONG STANDARD EXCE 51803 PEARL WHITE
	<b>VCT-2</b> ARMSTRONG STANDARD EXCE 51866 LITTLE GREEN APPLE
	<b>VCT-3</b> ARMSTRONG STANDARD EXCE 51947 BASIL GREEN
	<b>VCT-4</b> ARMSTRONG STANDARD EXCE 51927 FIELD GRAY
	<b>VCT-5</b> ARMSTRONG STANDARD EXCE 57509 LEMON LICK
(A1)	ACCENT TAG EXTENT OF ACCENT AND BASE FINISHES. FINISH SCHEDULE.



	DOOR SCHEDULE																
DOOR		FROM ROOM				DOOF	२				FRAME		FIRE	THRESHOLD	HA	ARDWARE	
NO.	NO.	ROOM NAME	TYPE	WIDTH	HEIGHT	THICKNESS		FINISH	GLAZING	TYPE	MATERIAL	FINISH	RATING	TYPE	SET NO.	NOTES	COMMENTS
102	102	AUTISTIC SUPPORT & SPECIAL EDUCATION	D1	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			7		
102A	102A	STOR.	D3	1' - 9"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			4		
102B	102	AUTISTIC SUPPORT & SPECIAL EDUCATION	D2	3' - 4"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			5		
104	104	PRE-KINDERGARTEN	D1	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			7		
104A	104	PRE-KINDERGARTEN	D2	3' - 4"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			6		
104B	104B	STOR.	D3	1' - 9"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			4		
104C	104C	CUBBY ROOM	D1	2' - 8"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			2		
105	105	PRE-KINDERGARTEN	D1	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			7		
105A	105A	CUBBY ROOM	D1	2' - 8"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			2		
105B	105B	STOR.	D3	1' - 9"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			4		
105C	105	PRE-KINDERGARTEN	D2	3' - 4"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			5		
107	107	FIRST GRADE	D1	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			7		
107A	107A	STOR.	D3	1' - 9"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			4		
107B	107	FIRST GRADE	D2	3' - 4"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			6		
107C	107C	CUBBY ROOM	D1	2' - 8"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			2		
107D	107C	CUBBY ROOM	D1	2' - 8"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			2		
107E	107	FIRST GRADE	D1	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	F1	HM	PTD.			9		
	208	SECOND GRADE	D1	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			7		
	208	SECOND GRADE	D2	3' - 4"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			6		
		STOR.	D3	1' - 9"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			4		
	208	SECOND GRADE	D1	2' - 8"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			1		
	208	SECOND GRADE	D1	2' - 8"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			1		
	210	LIFE SKILLS SUPPORT	D1	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			7		
	210A	STOR.	D3	1' - 9"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			4		
	210	LIFE SKILLS SUPPORT	D2	3' - 4"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			5		
	214	THIRD GRADE	D1	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			7		
		STOR	D3	1' - 9"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			4		
	214	THIRD GRADE	D2	3' - 4"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			5		
	215	THIRD GRADE	D1	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			7		
	215A	STOR.	D3	1' - 9"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			4		
	215	THIRD GRADE	D3	3' - 4"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			6		
	215	THIRD GRADE	D1	2' - 8"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			1		
	215	THIRD GRADE	D1	2' - 8"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			1		
	K1	KINDERGARTEN	D1	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			7		
	K1A	STOR.	D3	1' - 9"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			4		
	K1	KINDERGARTEN	D3	3' - 4"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			5		
	K1C	STORAGE	D2	2' - 8"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			4		
	K1D	TOILET ROOM	D4	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN		F1	HM	PTD.			8		
	K1D K3	KINDERGARTEN	D4 D1	3' - 0"	7' - 0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			7		
	K3A	STOR.	D4	2' - 8"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			4		
	K3	KINDERGARTEN	D4 D2	2 - 0	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			6		
	K3C	STOR.	D2	3 - 4 1' - 9"	7' - 0"	0' - 1 3/4"	WD	STN		EXISTING	WD	STN			3		
	K3C K3D	CUBBY ROOM	D3	2' - 8"	7'-0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			2		
	K3D K3D	CUBBY ROOM	D1	2 - 8	7'-0"	0' - 1 3/4"	WD	STN	CLR. TEMP.	EXISTING	WD	STN			2		
		TOILET ROOM	D1 D4	2 - 0	7'-0"	0' - 1 3/4"	WD	STN		F1	HM	PTD.			8		
NJF	NJF		D4	5-0	1-0	0 - 1 3/4		STN				ןידע.			U		

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# DOOR GENERAL NOTES

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1. RETAIN EXISTING DOOR FRAMES EXCEPT WHERE NEW DOOR FRAMES ARE SCHEDULED. PROTECT EXISTING DOOR FRAMES, DOOR FRAME GLAZING, AND DOOR HARDWARE THAT IS TO REMAIN FROM DAMAGE DURING THE COURSE OF THE WORK.

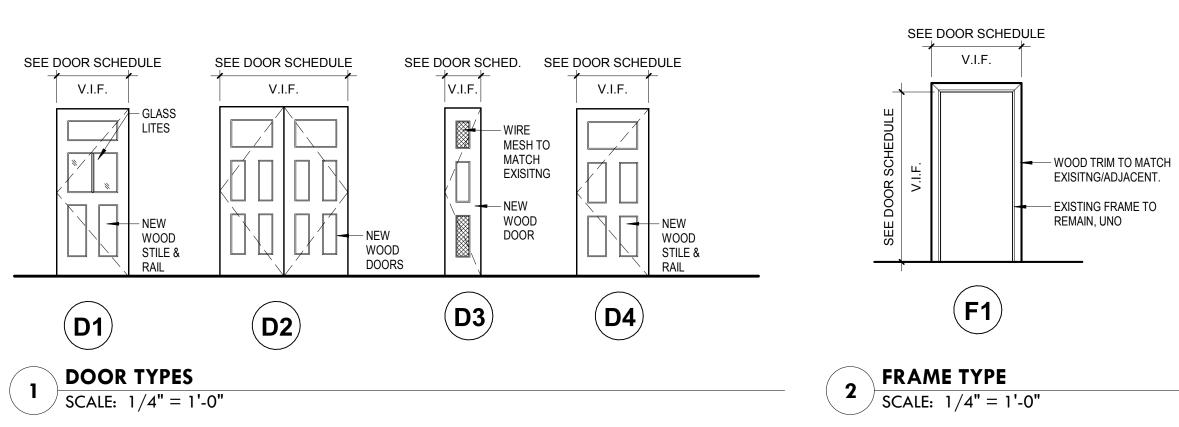
2. SAND AND REFINISH EXISTING DOOR FRAMES BOTH SIDES, TO REMAIN, REF SPECIFICATIONS. MATCH THE EXISTING FINISH SYSTEM. WHERE DOOR FRAMES ARE PAINTED SEE THE FINISH SCHEDULE.

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3. ADD DOOR STOPS TO DOOR FRAMES THAT PREVIOUSLY HAD PIVOT FLOOR HINGE AND WE ARE NOW ADDING NEW DOOR WITH BUTT HINGE, FINISH TO MATCH FRAME, TYP.

4. SCHEDULED DOOR SIZES ARE NOMINAL. EXISTING DOOR/FRAMES SIZES VARY. G.C. TO VERIFY ALL EXISTING DOOR AND FRAME SIZE PRIOR TO ORDERING. DOORS ARE TO BE ORDERED TO FIT EXISTING FRAME OPENING AND MAY NOT BE FIELD CUT, TYP.

5. PREPARE, MODIFY, AND PATCH EXISTING FRAMES AS NECESSARY TO SUIT NEW HARDWARE



DOOR HAREWARE SETS

6

Set: 1.0

Set: 2.0

3

1

3

3

3

Set: 4.0

3

Set: 5.0

Set: 6.0

Set: 7.0

3

3

3

Set: 9.0

Set: 8.0

5

Hardware Sets Doors: 208C, 208D, 215C, 215D Hinge, Full Mortise TA2714 4-1/2" x 4-1/2" US26D MK Passage Latch PB 5401LN 626 YA Door Stop 403 (or) 441CU US26D RO 3 Silencer 608 (or) 609 RO Notes: Coordinate new hardware requirements with existing conditions.

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Doors: 104C, 105A, 107C, 107D, K3D, K3E Hinge, Full Mortise TA2714 4-1/2" x 4-1/2" US26D MK Passage Latch PB 5401LN 626 YA Surf Overhead Stop 10-X36 652 RF Silencer 608 (or) 609 RO

Set: 3.0 Doors: K3C Hinge, Full Mortise TA2714 4-1/2" x 4-1/2" US26D MK Classroom Lock R PB 5408LN 626 YA Cylinder Core (LFRC) CR8027630 RU Door Stop 403 (or) 441CU US26D RO Silencer 608 (or) 609 RO Notes: Coordinate new hardware requirements with existing conditions.

Notes: Coordinate new hardware requirements with existing conditions.

Doors: 102A, 104B, 105B, 107A, 208B, 210A, 214A, 215A, K1A, K1C, K3A Hinge, Full Mortise TA2714 4-1/2" x 4-1/2" US26D MK Classroom Lock R PB 5408LN 626 YA Cylinder Core (LFRC) CR8027630 RU Surf Overhead Stop 10-X36 652 RF

Silencer 608 (or) 609 RO Notes: Coordinate new hardware requirements with existing conditions.

# Doors: 102B, 105C, 210B, 214B, K1B

Hinge, Full Mortise Dust Proof Strike570	TA2714 US26D		4-1/2"	US26D MK		
Flush Bolt (manual)	555 (or)	557	US26D	RO		
Dummy Trim PB 455	LN Ó	626	YA			
Deadlock (classroom)	357 LC	626	YA			
Magnetic Catch 901	ALM	RO				
Cylinder (mortise, LFRC)	) CR1037	' CTP - L	ENGTH/	CAM TO SUIT	626	RU
Cylinder Core (LFRC)	CR8027	630	RU			
Surf Overhead Stop	10-X36	652	RF			
Door Stop 403 (or)	) 441CU	US26D	RO			
Silencer 608 (or) 609		RO				

Notes: Coordinate new hardware requirements with existing conditions.

Doors: 104A, 107B, 208A, 215B, K3B

6	Hinge, Full Mortise	TA2714 4-1/2"	x 4-1/2"	US26D MK		
1	Dust Proof Strike570	US26D RO				
2	Flush Bolt (manual)	555 (or) 557	US26D	RO		
2	Dummy Trim PB 455	LN 626	YA			
1	Deadlock (classroom)	357 LC 626	YA			
1	Magnetic Catch 901	ALM RO				
1	Cylinder (mortise, LFRC	) CR1037 CTP -	LENGTH	/CAM TO SUIT	626	RU
1	Cylinder Core (LFRC)	CR8027630	RU			
2	Surf Overhead Stop	10-X36 652	RF			
2	Silencer 608 (or) 609	RO				
Notes	: Coordinate new hardware	requirements wi	th existing	a conditions.		

Doors: 102, 104, 105, 107, 208, 210, 214, 215, K1, K3

linge, Full Morti	se, Hvy V	Nt	T4A378	36 4-1/2"	x 4-1/2"	US26D	MK
truder Classroo	om Lock	R PB 54	18LN	626	YA		
ylinder Core (L	FRC)	CR8027	630	RU			
ylinder Core (I/	S, LFRC	)	CR802	7606	RU		
oor Closer	PR7500	M SN-1	34	689	NO		
ick Plate	K1050 8	" HVBE	/	US32D	RO		
oor Stop	403 (or)	441CU	US26D	RO			

RO Silencer 608 (or) 609 Notes: Coordinate new hardware requirements with existing conditions.

Doors: K1D, K3F Hinge, Full Mortise TA2714 4-1/2" x 4-1/2" US26D MK Passage Latch PB 5401LN 626 YA Surf Overhead Stop 10-X36 652 RF RO Silencer 608 (or) 609

Doors: 107E

Hinge, Full Morti	se, Hvy Wt	T4A378	6 4-1/2"	x 4-1/2"	US26D	MK
Intruder Classroo	om Lock R PB 54	418LN	626	YA		
Cylinder Core (L	FRC) CR8027	7630	RU			
Cylinder Core (I/	S, LFRC)	CR8027	606	RU		
Door Closer	PR7500 M SN-1	34	689	NO		
Kick Plate	K1050 8" HVBE	V	US32D	RO		
Door Stop	403 (or) 441CU	US26D	RO			
Silencer 608 (or)	609	RO				

