

March 11, 2019

Group G LLC

Corn Exchange Building
123 Chestnut Street
Suite 200
Philadelphia, PA 19106
215.351.9500 voice
215.351.9233 fax
info@groupg.net

Ms. Beige Berryman
Philadelphia Art Commission
1515 Arch St., 13th Floor
Philadelphia, PA 19102

RE: 2009-11 SANSOM STREET ALTERATIONS
Sign Approval

Dear Ms. Berryman,

Attached is the submission material for the reinstallation of a reconstructed sign. Based on our understanding that since this was a legally approved sign (as per August 1982 zoning permit), we are presenting the proposed reconstruction of the sign having the same dimensions, and to be reinstalled in its original position. The only change has been to incorporate the new identity of the restaurant, Wilder.

To provide further context, because of the required reconstruction of the 3-story facade, the existing sign had to be removed. It was always the intent that the sign would be reinstalled. However, as often happens with old components, we discovered that the sign framework was badly rusted. It was our opinion that it would be negligent and irresponsible to reinstall a sign that would collapse over the public way.

Please feel free to contact me if you have further questions.

Respectfully,

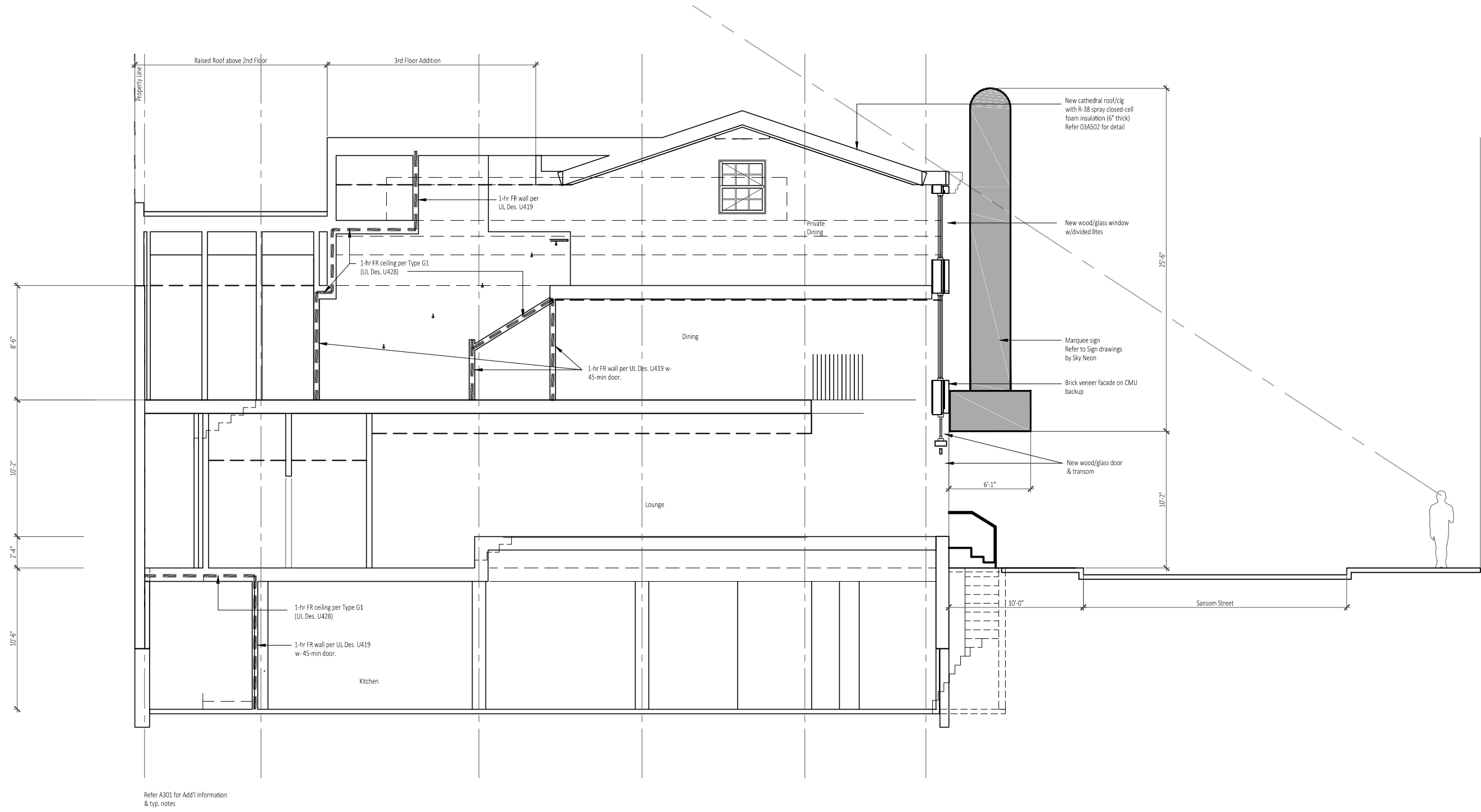


Gerry Gutierrez, AIA
Group G LLC

Attachments: Full Size Drawings: AS101, A200X, A303
8 1/2 x 11 Documents: Signage Data; Sky Neon Sign Illustrations
Pictures: Historic and prior to construction
Zoning Permit for Sign, August 1982

cc: Allyson Mehley, Philadelphia Historical Commission
Brett Naylor

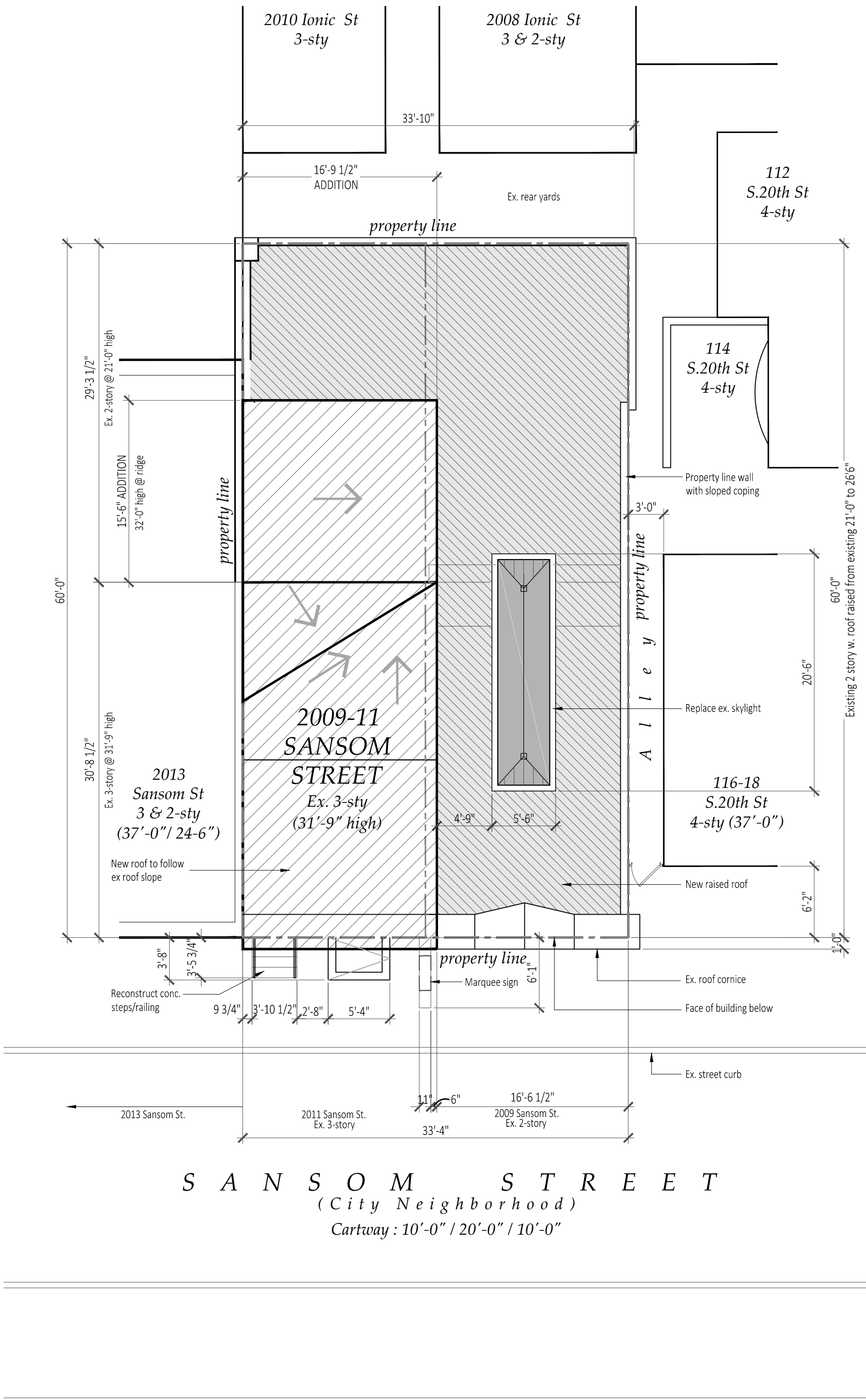
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BUILDING SECTION



FRONT ELEVATION




SITE PLAN

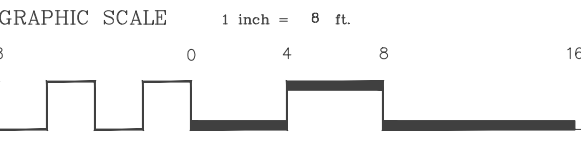
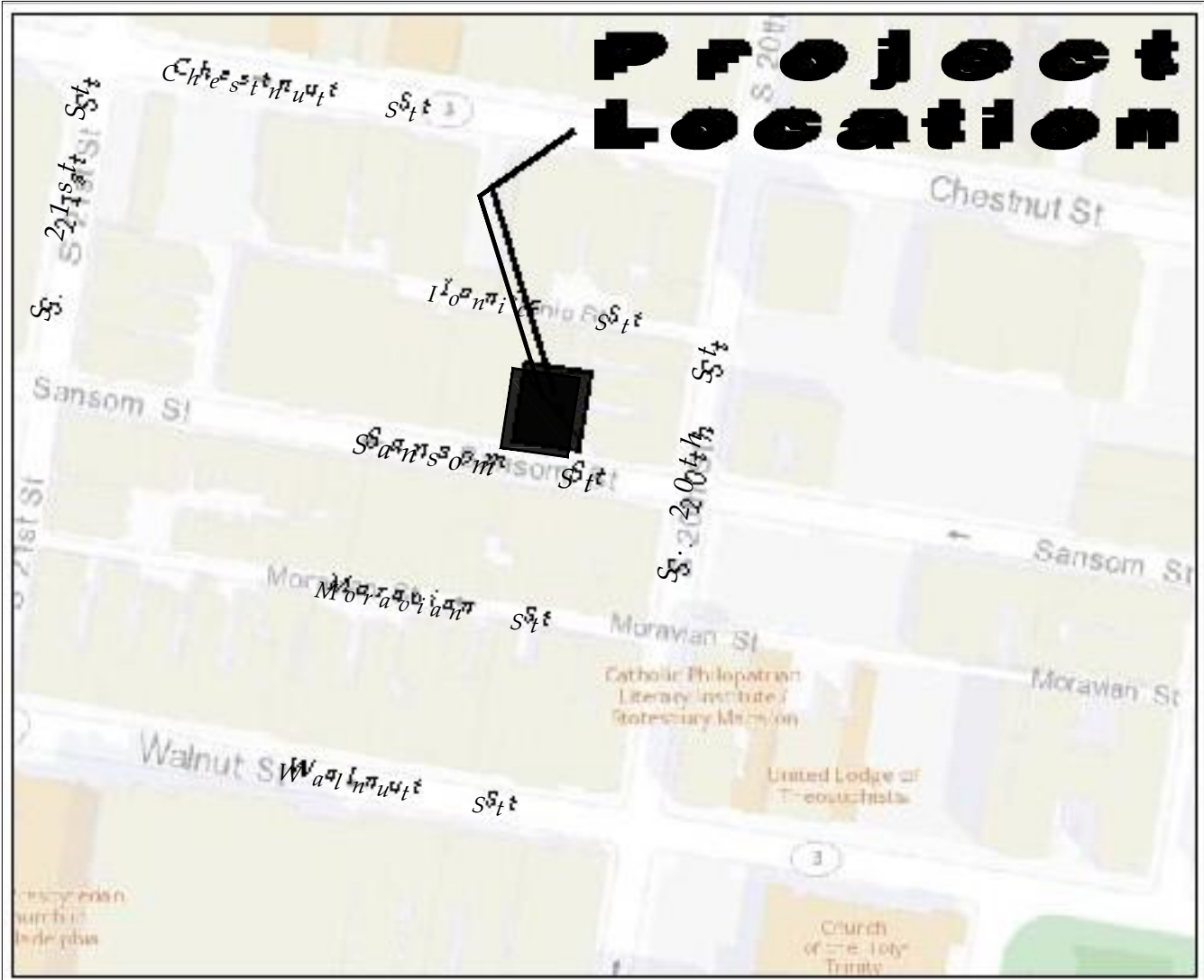
Site Development Data
2009-2011 SANSOM STREET

	EXISTING	REQUIRED/ ALLOWED	PROPOSED
ZONING DISTRICT	CMX-4
SITE AREA:	2000 sf	NA	2000 sf
SITE COVERAGE:	2000 sf	100% @ < 65'-0"	2000 sf
OPEN %:	0 %	0 %	0 %
OPEN AREA:	0 sf	0 sf	0 sf
REAR YARD:	0'-0"	0'-0"	0'-0"
HEIGHT	31'-9"	32'-0"	31'-9"

Note: No visible vent/utility covers were observed in the sidewalk paving to determine service/lateral connections.



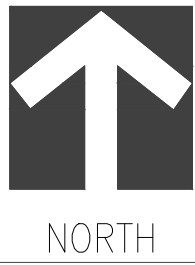
NOTE: PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 121 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION.



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Zoning Submission **AS101**



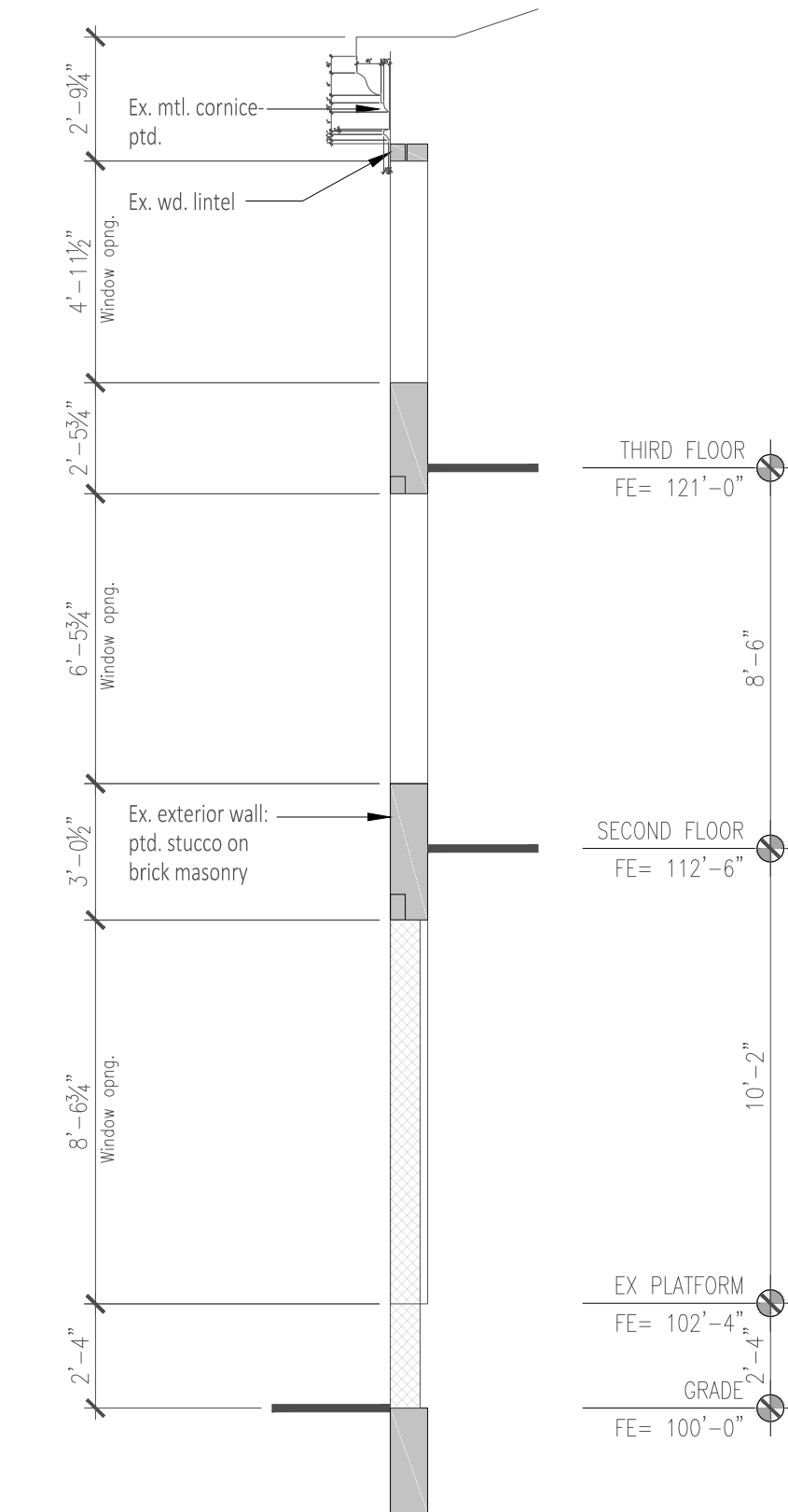
2009-2011 SANSOM STREET ALTERATIONS
Philadelphia, Pennsylvania



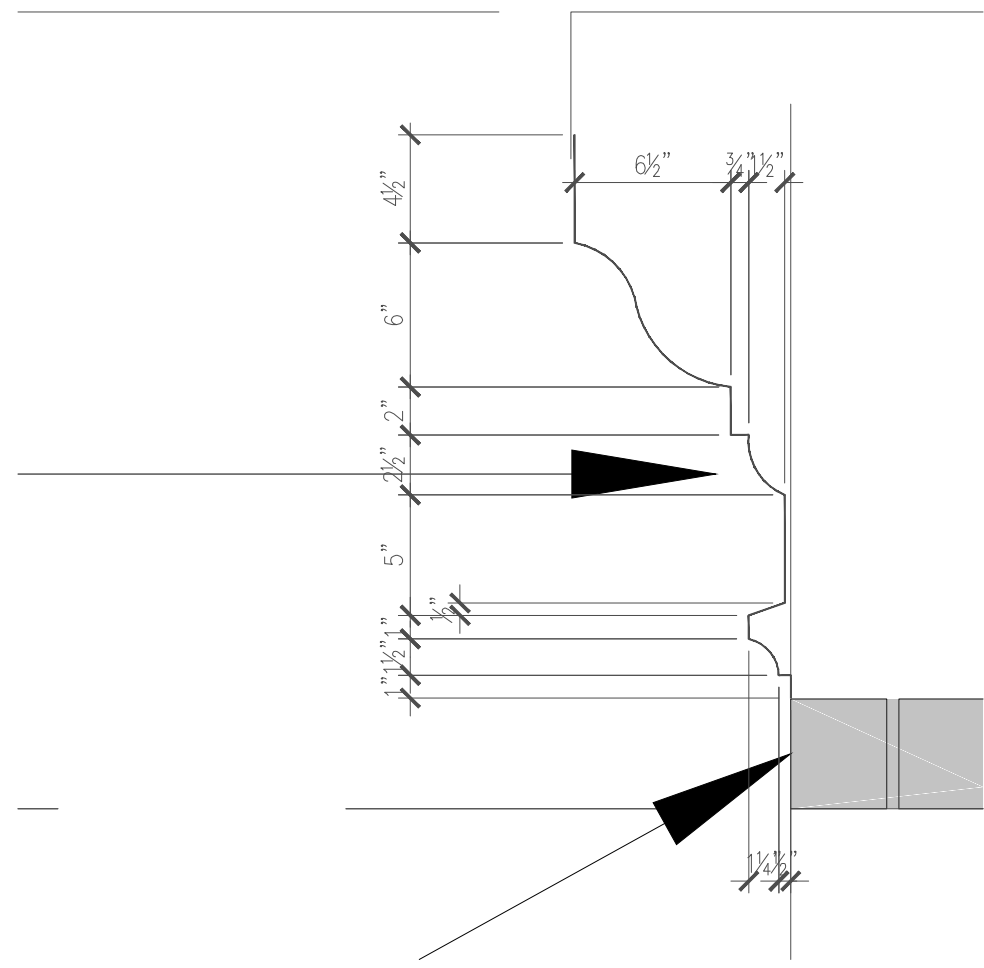
01 Dec 2018
rev: 17 Dec 2020

0 2 4 6 8 10 12 14 16 18 20 22 24
1/8" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22 24
1/4" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22 24
3/4" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22 24
1 1/2" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20 22 24
3" = 1'-0"

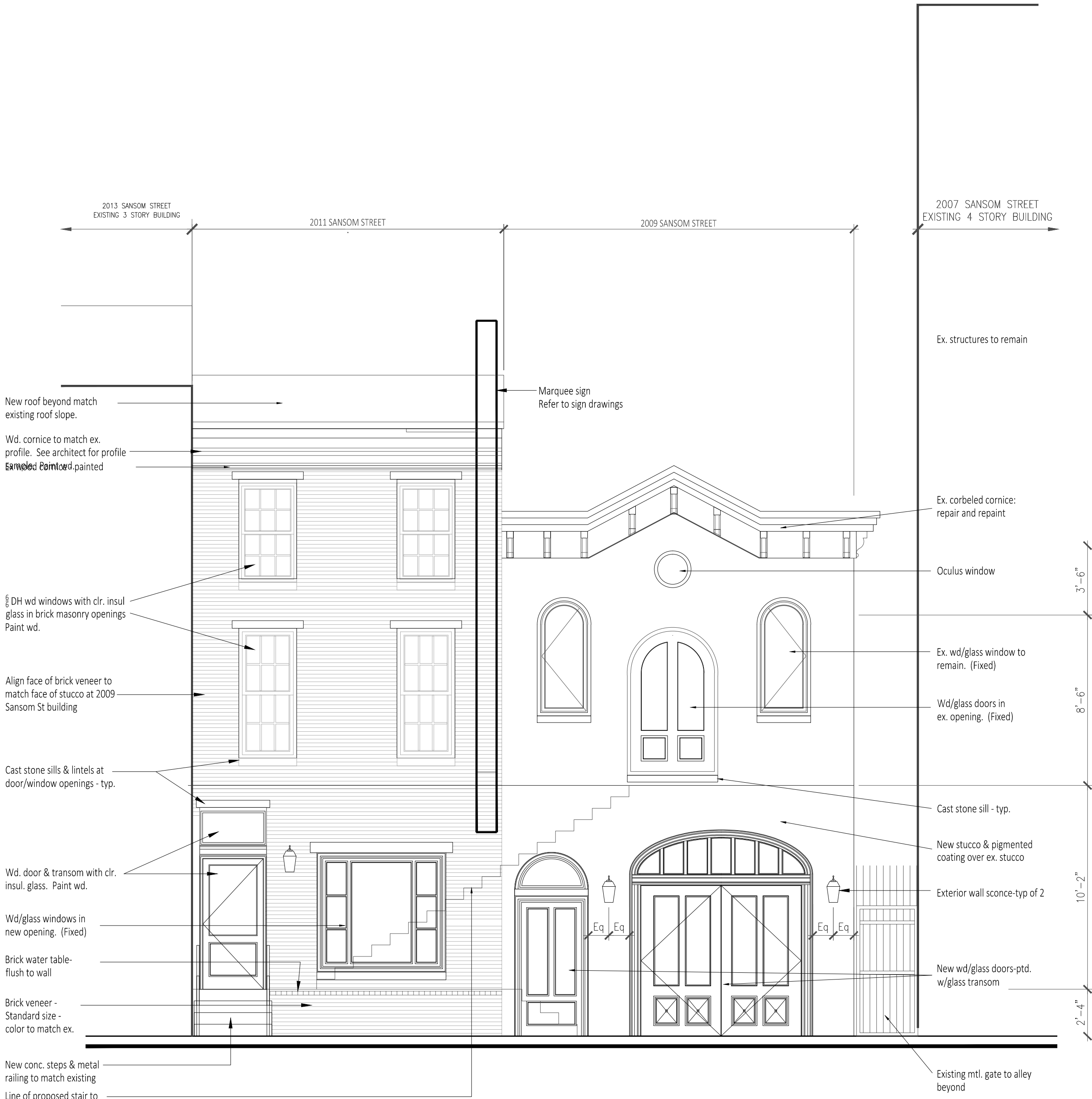
© Group G LLC. Group G LLC expressly reserves its common law copyright and other property rights in these drawing documents. These drawings are not to be reproduced nor assigned to a third party without the express written consent of Group G LLC.



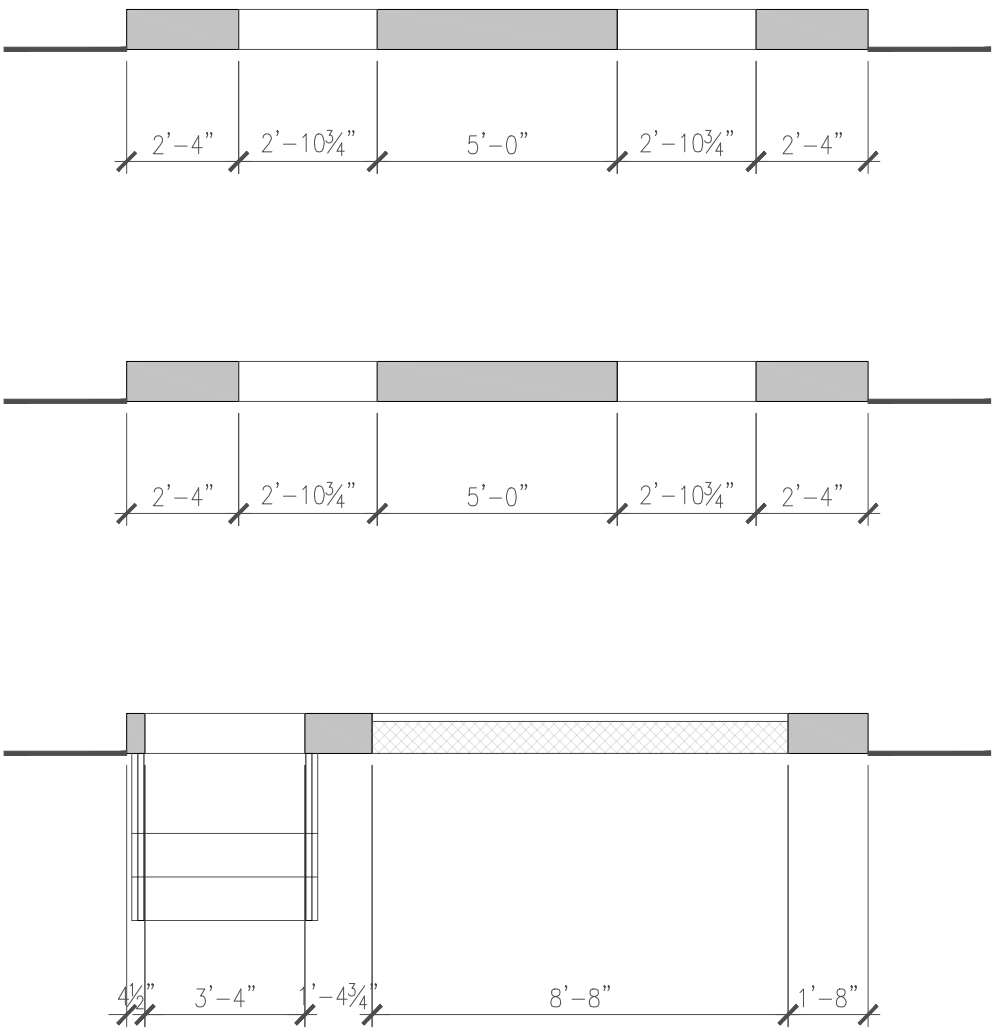
Facade Wall Section 05



Cornice Profile 05A



Exterior Elevation: Existing 04

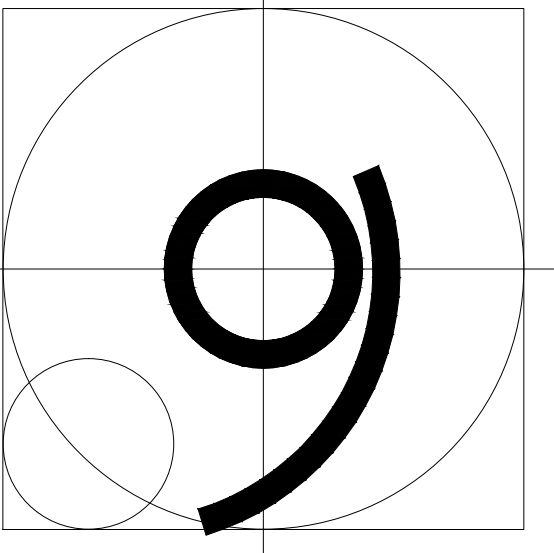
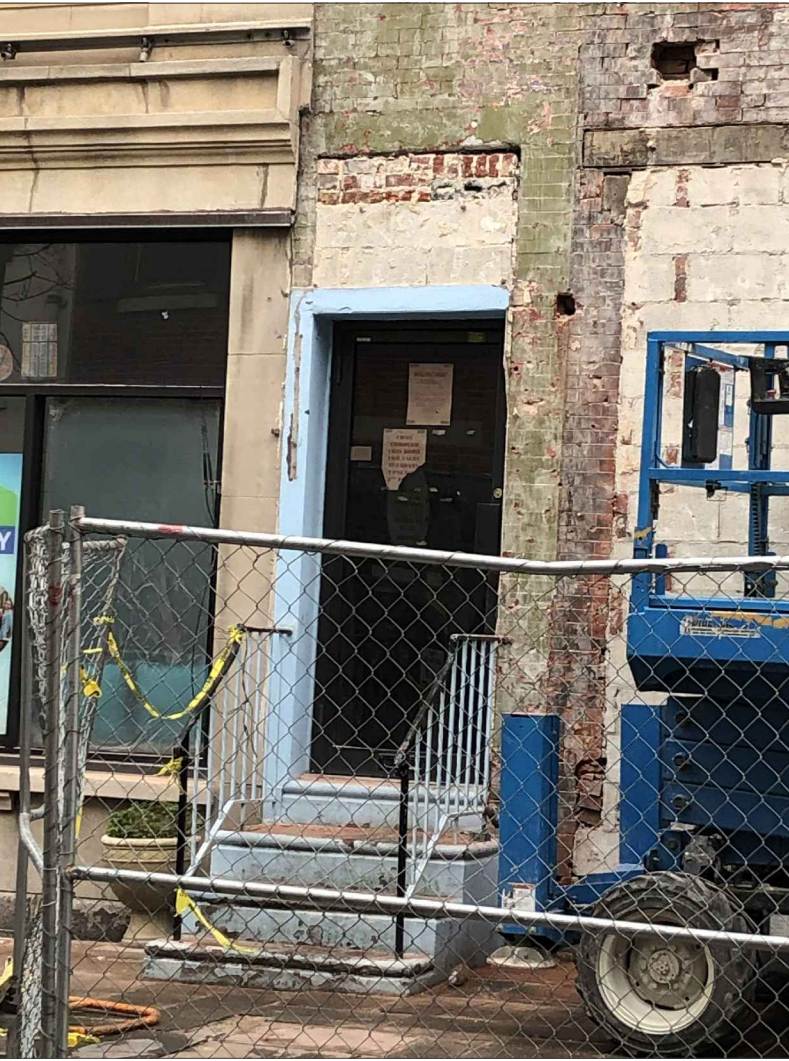


Partial Plan: Third Floor 03

Partial Plan: Second Floor 02

Partial Plan: First Floor 01

1. The intent of these drawings is to generally indicate the demolition of existing exterior 3-story front facade of 2011 Sansom Street.
2. HISTORIC FABRIC WORK: Existing historic fabric to remain shall be repaired, patched, and refinished. This includes work for masonry, wood, metal cornice, and hardware.
3. HISTORIC FABRIC REMOVAL: It is the intent of the work to remove existing historic fabric for reinstallation. Unless noted or indicated otherwise, the following historic fabric elements shall be removed, salvaged, and delivered to Owner;
 - a. Marquee sign
 - b. Metal/glass canopy
 - c. Metal/glass exterior sconce light
 - d. Small sign
4. The contractor shall take all necessary precautions to protect all existing construction related to demolition and any dismantling of historic fabric that may be required.
5. Existing construction shall be removed to the extent indicated on the drawings and as required to accommodate new construction. Existing conditions shown as demolition are for information only and do not purport to show all existing conditions that may affect the work. Contractor shall field verify all conditions.
6. Contractor is responsible for all lines, elevations, and measurements, exercising precaution to verify all dimensions shown on drawings.
7. These drawings do not include the necessary components for construction safety. The Contractor shall be responsible to insure "On The Job" safety for his employees, employees of the Owner, and all other persons having authorized or unauthorized access to the work and the public. Contractor shall perform his work in a safe manner and in compliance with all applicable local, State and Federal regulations. Contractor is responsible for maintenance and protection of traffic at all times during construction.
8. Contractor will be responsible for preserving the existing monumentation, and for replacement of monumentation lost, destroyed or disturbed during construction.
9. Contractor to temporarily brace all existing structural members including foundations, columns, beams, joists, walls, ceilings, etc. as necessary prior to demolition and construction.



Group G

123 Chestnut Street, Suite 200
Philadelphia, PA 19106
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Fax: 215.351.9233
E-mail: info@groupg.net
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Chick Chick II LLC

6828 Anderson St.
Philadelphia, PA 19119

2009-2011 SANSOM ST. ALTERATIONS

2009-2011 Sansom St.
Philadelphia, PA 19103

REVISION	DATE
Amendment 01: Historic	06.09.2020

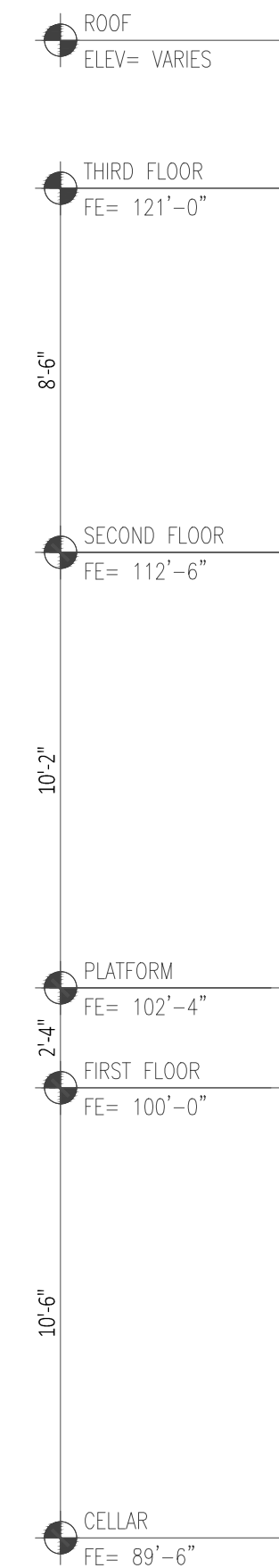


Chick Chick II LLC

2009-2011
SANSOM ST.
ALTERATIONS

Project no: 405
Date: July 11, 2019
Sheet: of

*PROPOSED
BUILDING
SECTION*
A303



BUILDING SECTION 01

PROPERTY ADDRESS: 2009-2011 SANSOM STREET
ZONING DISTRICT: CMX-4

INSTALLATION OF ONE (1) ACCESSORY MARQUEE SIGN FOR A PROPOSED RESTAURANT.

ALLOWABLE SIGNS PER ZONING

Sign Type	WALL / MARQUEE
ALLOWABLE	YES
MAXIMUM SIGN AREA, SF (PER LOT FRONTAGE)	2 sq. ft. per lin. ft. of ground floor frontage; 100 sq. ft. per sign (33'-4" x 2 = 66.66 SF sign area)
MAXIMUM HEIGHT	The lower of the roof line or 2 nd floor window sill
ILLUMINATION	EXTERNAL / STATIC
LOCATION RESTRICTIONS	Notwithstanding § 14-904(1)(d), projecting signs shall not extend more than 24 in. over any public right-of-way

PROPOSED SIGN DATA

	SIGN 1	<i>Notes</i>
Sign Type	MARQUEE	<i>Existing/reconstructed</i>
Mounting	<i>Wall</i>	
No. of Faces	2	
Size (w x h)	3'-0" x 25'-6"	<i>Existing/reconstructed</i>
Sign Area, sf (ea. Face)	37.8 sf	<i>Existing/reconstructed</i>
Sign Area, sf (Total)	75.7 sf	
Copy Area, sf (ea. Face)	27.9 sf	
Copy Height (max. ins.)	25.8	
Illumination	External / Static	<i>Neon</i>

SKY NEON

**Eric Rothwarf
616 East Mount Airy Ave
Philadelphia Pa 19119
215.901.0368**

12-3-2020

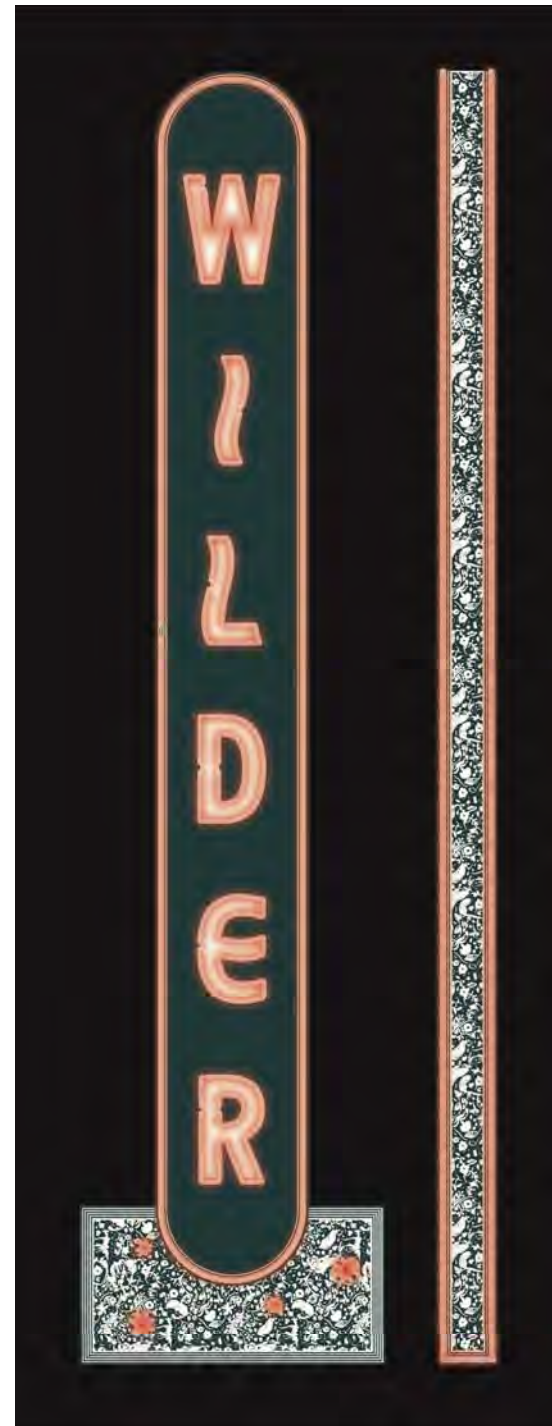
Academy of Social Dance, 20th and Sansom Streets, Philadelphia

The 'Academy of Social Dance' sign that was removed from the Sansom Street Location had originally been a double sided Neon Sign. We found four original 1530 Neon transformers and wiring inside, with the ability to light between 240 and 280 feet of neon. There were neon supports and wiring remains indicating that there had been neon lettering on both sides of the sign, both in the long vertical section and in the smaller horizontal section at the bottom. There were also supports and wiring remains showing that there had been neon borders up and down the perimeter of the sign on both sides. All of the neon had been removed and covered with the aluminum 'Academy of Social Dance' printed vinyl sign faces.

DAYTIME



ILLUMINATION AT NIGHT



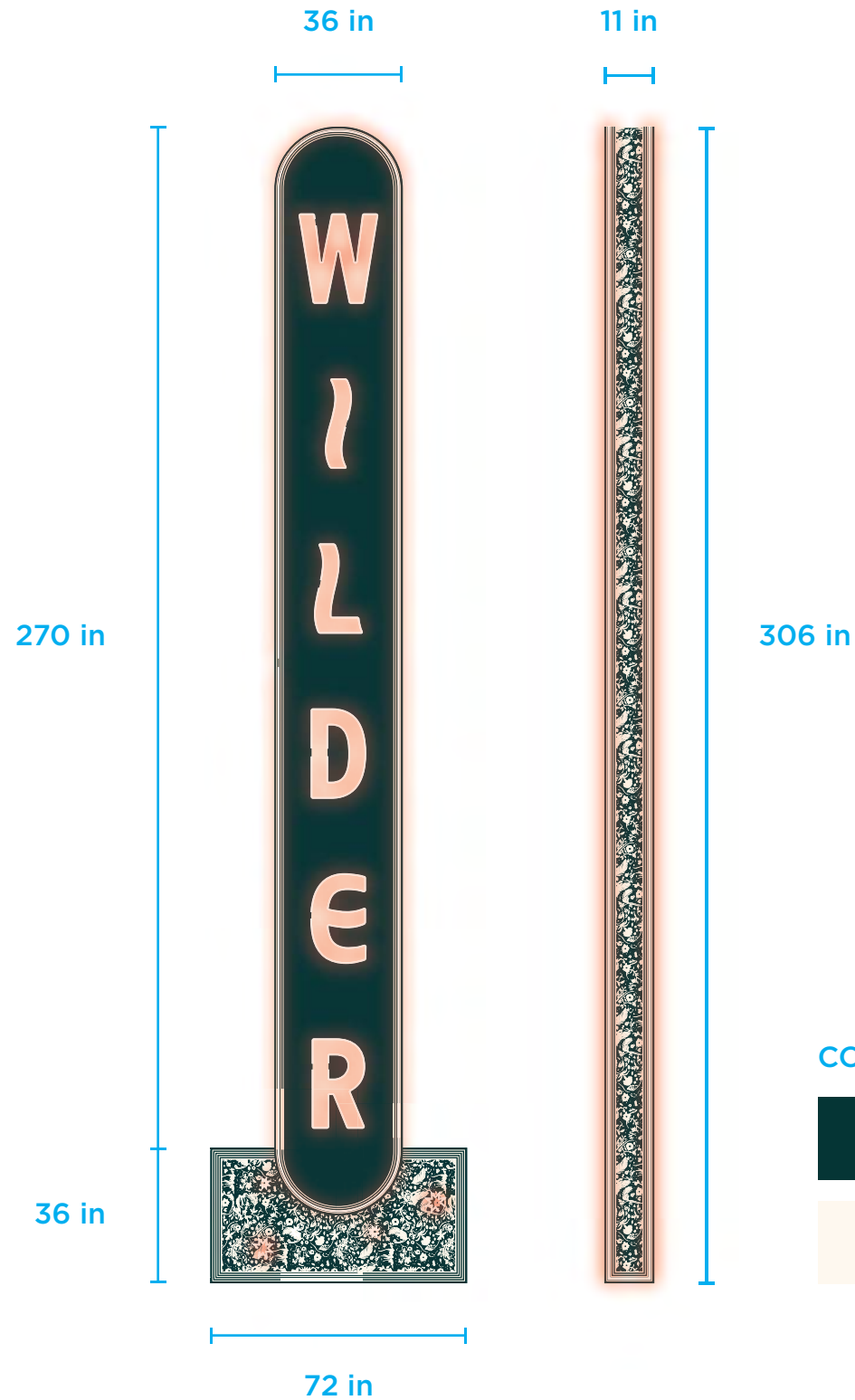
EXSISTING SIGN



PROPOSED SIGN



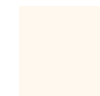
PROPOSED SIGN
MEASUREMENTS



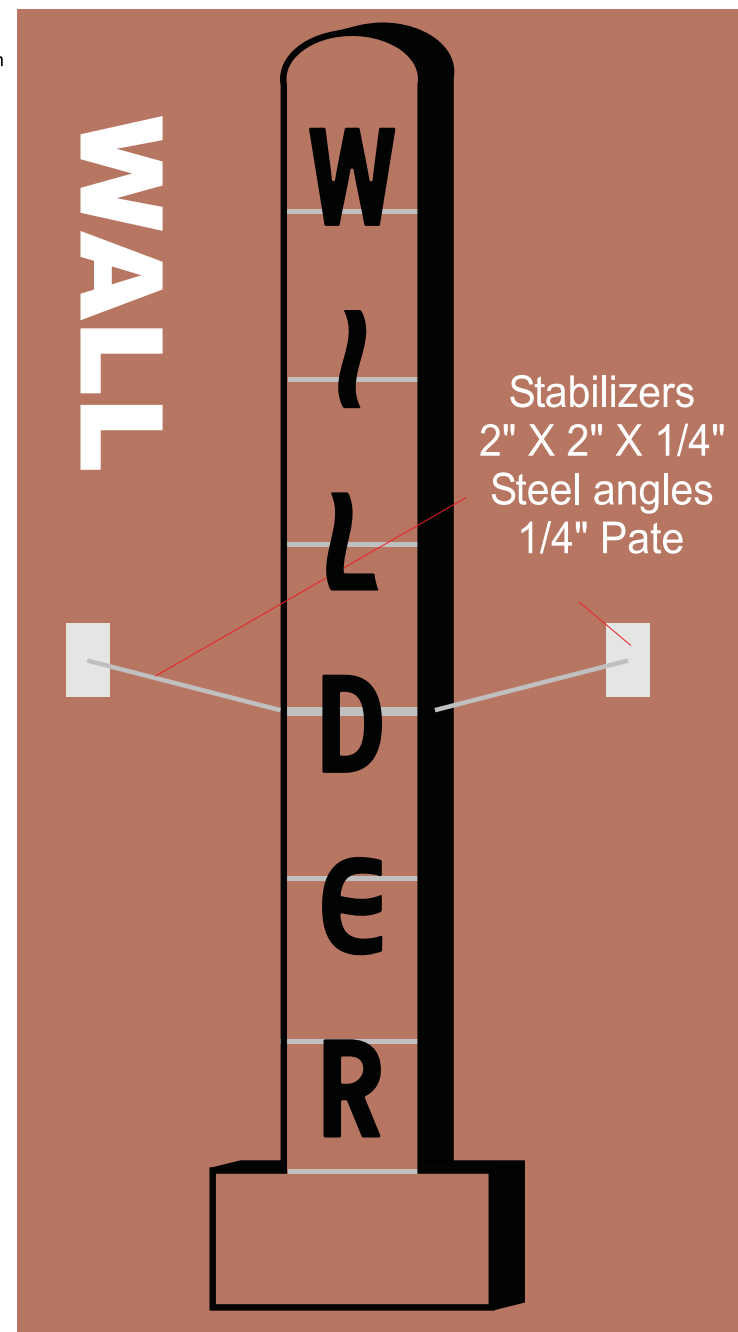
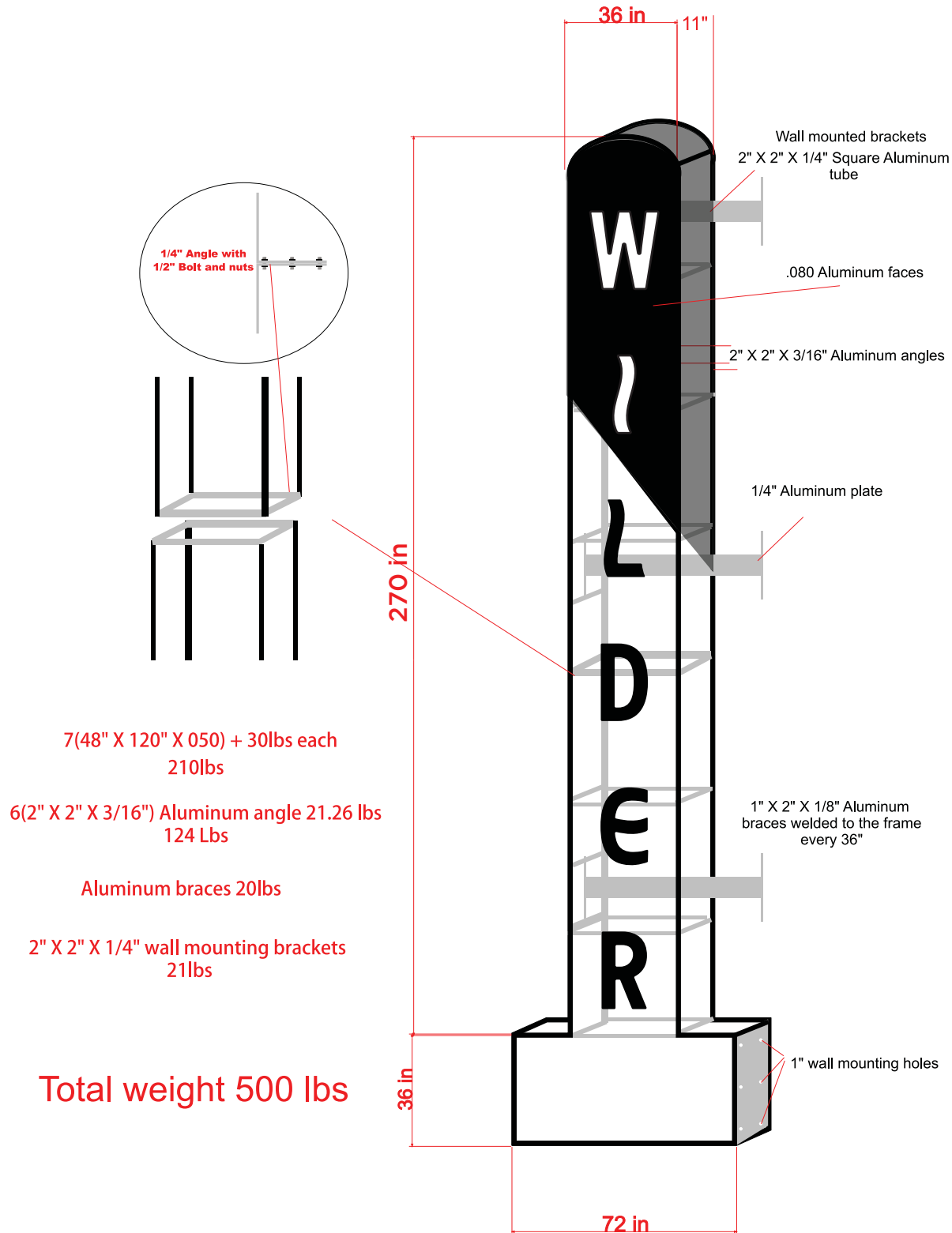
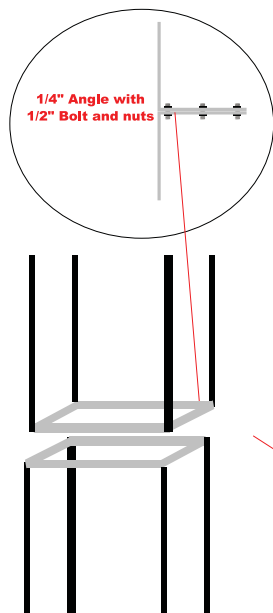
COLOR PALETTE



PANTONE 3302 C



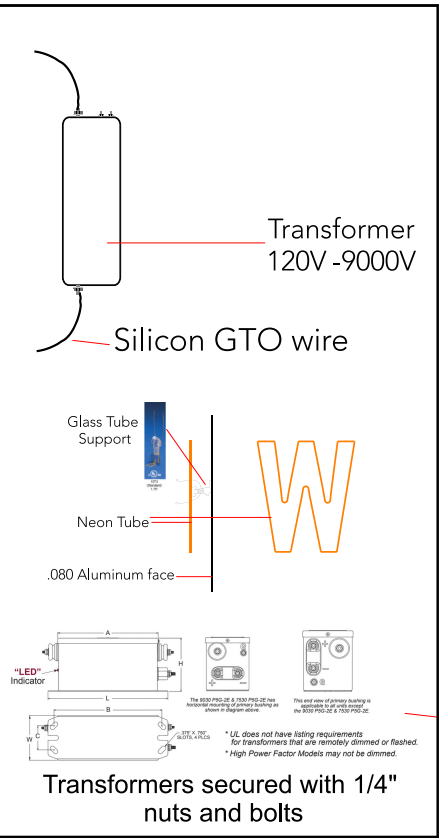
PANTONE 7401 C @20%





Wilder

WILDER SIGNAGE



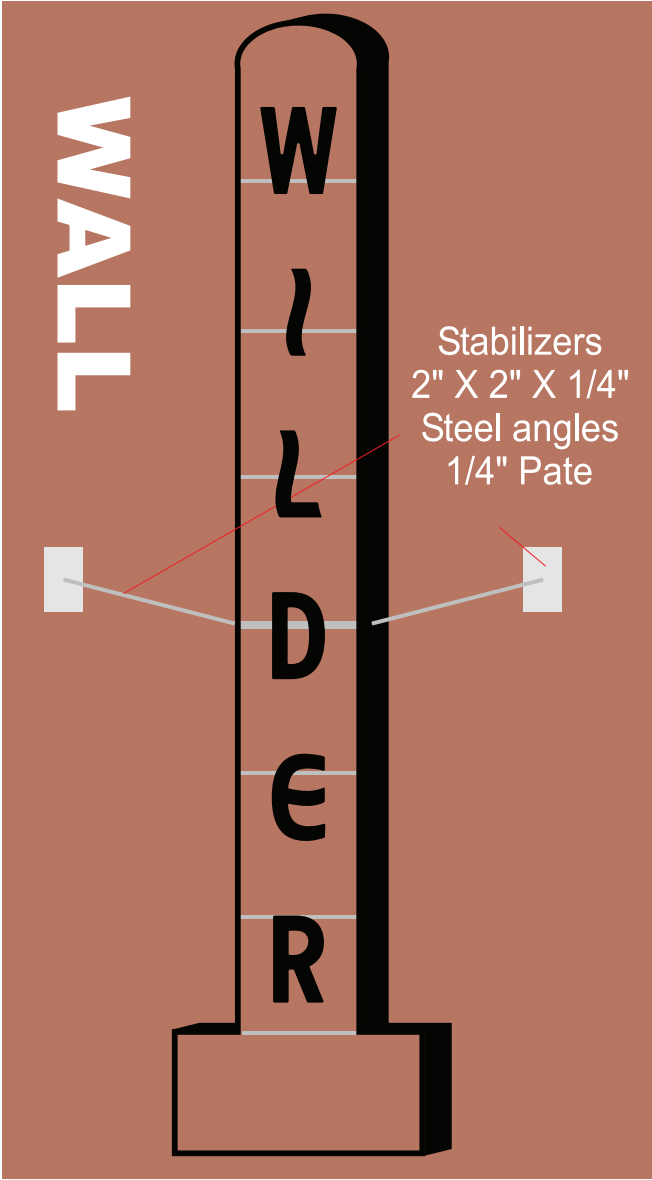
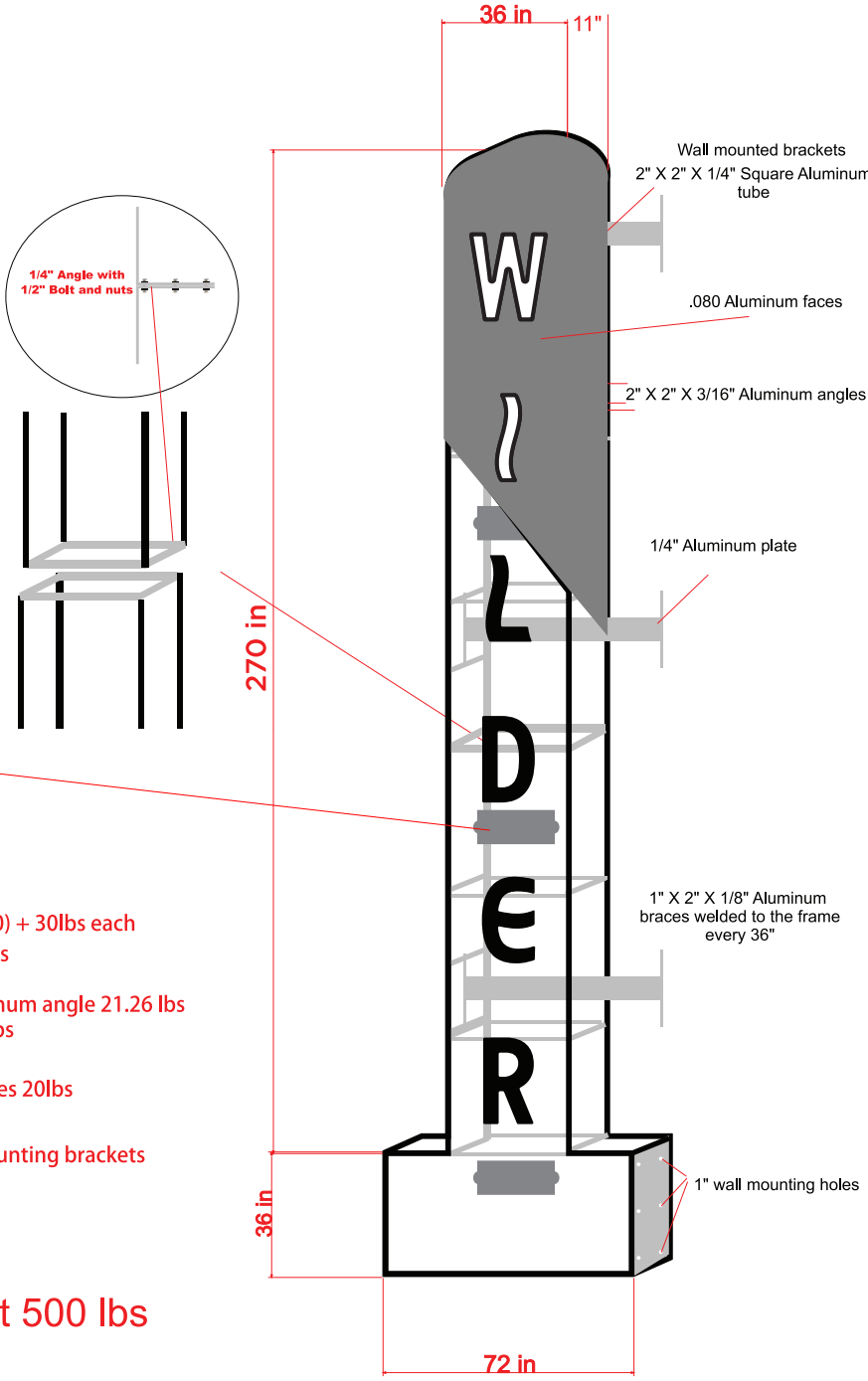
7(48" X 120" X .050) + 30lbs each
210lbs

6(2" X 2" X 3/16") Aluminum angle 21.26 lbs
124 Lbs

Aluminum braces 20lbs

2" X 2" X 1/4" wall mounting brackets
21lbs

Total weight 500 lbs



BOX NUMBER:



0000001842

02009

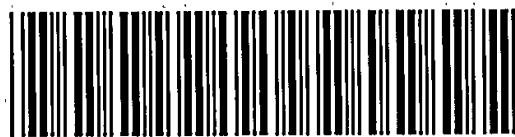
SANSOM

ST

HANSEN NUMBER:



525061



00BREAK00

10-2-18

SUBMISSION # 163-81
Rec'd by Art Commission OCT 5**C APPLICATION FOR ZONING PERMIT
AND/OR USE REGISTRATION PERMIT**CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES & INSPECTIONS

NOTE: The requirements for this permit are in addition to all others required by law or regulation. The issuance of this permit does not imply that a building permit or other permits will be issued if the specifications do not conform with the Building Code, Plumbing Code, Housing Code, Fire Code and all other pertinent laws or regulations.

Application is hereby made for the permit or permits required by the Philadelphia Zoning Ordinance before commencing the use or the work described herein, and as shown on accompanying plan.

LOCATION OF PROPERTY (Street and House Number)

2009-11 SANSON ST

situated on _____ side of _____ Street
at the distance of _____ feet _____ inches from _____ side
of _____ Street

Front _____ feet _____ inches. Depth _____ feet _____ inches.

If lot is irregular in shape, give deed description below:

PHILADELPHIA
PLANNING COMMISSION
AUG 3 1982RECEIVED
DEPT. OF LICENSES
& INSPECTIONS
SEP 10 - 81

APPLICATION NO. 40561

DISTRICT DESIGNATION

C4 COM

ZONING MAP NO.

46-2

SUB.

F. A. VOL. PL.

2-125

WARD

8

PREVIOUS APPLICATION

40530

CALENDAR NO.

ZONING
REFUSEDUSE
REFUSED

APPEAL

APP.
GRANTED

CERT.

APP.
REFUSED

CERT.

REF. TO
B. OF A.REF.
GRANTED

CERT.

REF.
REFUSED

CERT.

EXPLAIN ANY ALTERATIONS OR PROPOSED CONSTRUCTION

LEGALIZE OVERHANGING DOUBLE
FACE SIGN- ILLUMINATED- NO GLARE
ON SURROUNDING AREAS
HEIGHT OF SIGN. 25'-6" - 10'-0" ABV GROUND
EXTENDS 6'-6" FROM BUILDING

NO OTHER SIGNS ON BUILDING

STORIES AND HEIGHTS FROM GROUND TO ROOF

HEIGHT	EXISTING BUILDING			PROPOSED ADDITION, ALTERATION OR NEW BUILDING		
	FRONT	SIDE	REAR	FRONT	SIDE	REAR
In Feet						
In Stories						

THIS SPACE FOR OFFICIAL STAMP
DEPT. OF LIC. & INSPECTIONS
(Do not write in this space)
CITY OF PHILADELPHIAZONING AND USE REGISTRATION
PERMITS

NO.

303910

DATE

8-4-82

☐ PERMIT GRANTED IN
ACCORDANCE WITH ZBA

CERTIFICATE

NO.

DATE

TABULATION OF USES

FLOOR NO.	PRESENT USE	LAST PREVIOUS USE	DATE LAST USED
1	DANCE INSTRUCTION STUDIO		
2	RESTAURANT AND TAVERN		

FLOOR NO.	PROPOSED USE OF PRESENT BUILDING	PROPOSED USE OF ADDITION OR NEW BUILDING
	NO CHANGE.	

Additional use information, if required

OWNER	DONCA INC.	ADDRESS	2009-11 SANSON ST	PHONE	
ARCHITECT OR ENGINEER		ADDRESS		PHONE	
CONTRACTOR		ADDRESS		PHONE	
APPLICANT	J. CARLTON	ADDRESS	2538 FAUNCE ST. Phila.	PHONE	332-9414

DRAW PLANS ON SPACE BELOW

PLANS TO BE DRAWN IN INK. SHOW:

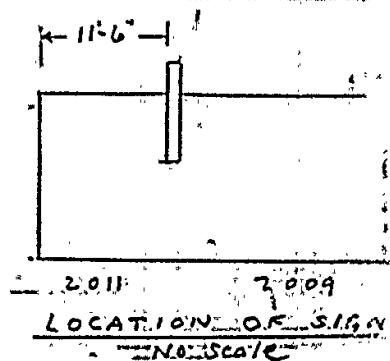
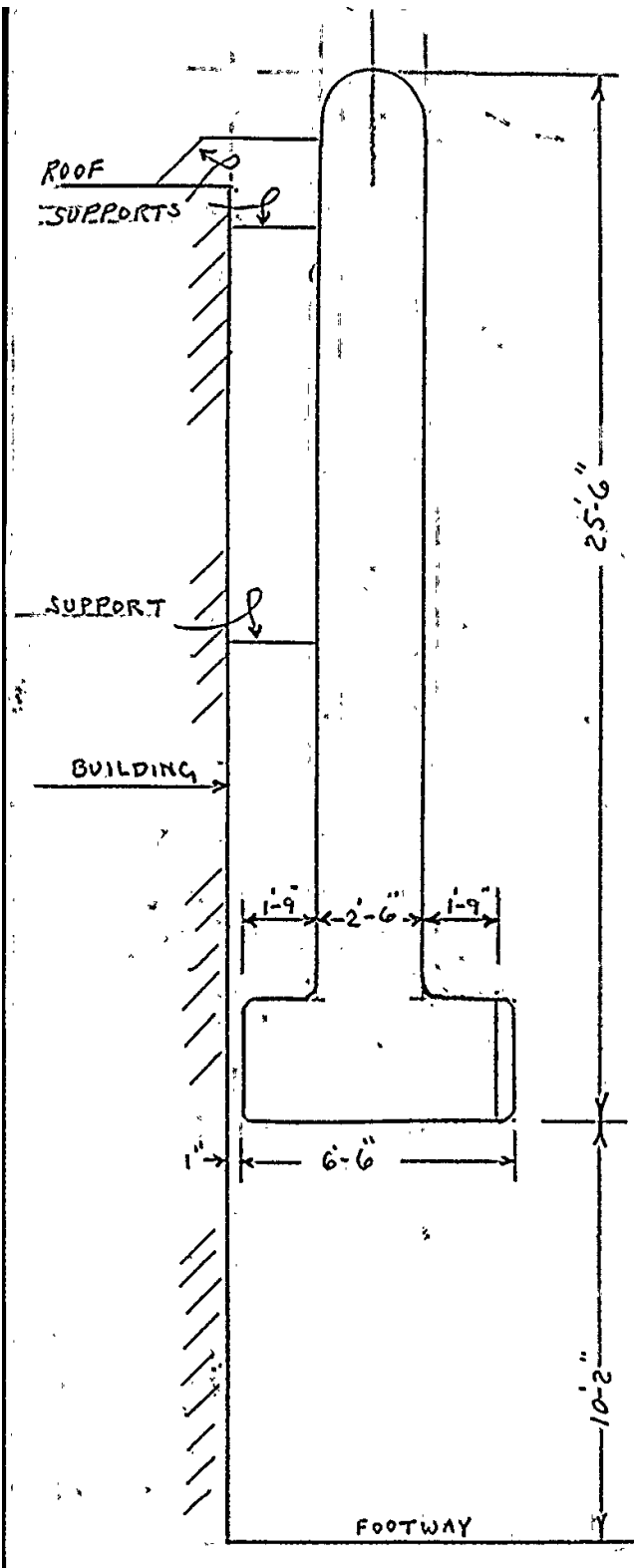
1. All lot lines and dimensions.
2. All streets and alleys bounding property.
3. Curb lines and their distances from lot lines.
4. Location and dimensions of all driveways, curb cuts and off-street parking lots.
5. Distances from building to lot lines and to other buildings on same lot.
6. Draw elevations and additional plans when required.

RECEIVED
CITY OF LOS ANGELES
DEPT. OF PUBLIC WORKS
JUL 11 1961

"I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept any permit for which this application is made, the owner shall be made aware of all the conditions of the permit. I understand that if I knowingly make any false statement herein I am subject to such penalties as may be prescribed by law or ordinance."

J. Castro

(Applicant Sign Here)



DOUBLE FACE SIGN
ILLUMINATED NON-GLARE
NON-FLASHING

APPROVED - ART COMMISSION
CANOPY ONLY
Oct SEP 14 1981
Karl H. Aick

DISAPPROVED - ART COMMISSION
EXISTING SIGN
Oct SEP 14 1981
Karl H. Aick

2009-11 SANSON ST
Scale 1/4" = 1'-0"

9/14/81

SEE BELOW

DO NOT KEY PUNCH

PAY THIS AMOUNT

\$15.

sd

ISSUED BY: ep

CHECKED BY: 8/11/82

FEE:

LICENSE
RETAIN UNTIL
MACHINE ACCOUNTING
DIV. VERIFIES

No. C-90400

616" proj.

sign - proj.
2009-11 Sansom St.

LICENSE:
FOR:

3 409

MAILING
ADDRESS:

DONCA INC.
2009-11 Sansom St.
Philadelphia, Pa.

ZIP CODE 19103

8/11/82

OUT OF BUSINESS (CHECK LOCATION AS ABOVE)

1510

DELETE FROM THE FILE - OUT OF BUSINESS

LICENSE NO. 1510

TAG NUMBER

81-62 (Rev. 5/72)

CODE:



CITY OF PHILADELPHIA

BOARD OF LICENSE AND INSPECTION REVIEW
710 Municipal Services Building
Philadelphia, Pa. 19107

May 24, 1982

Mr. Don Celia
2009-11 Sansom Street
Philadelphia, Pa., 19103

RE: Appeal No. 20387
Appellant: Don Celia
Premises: 2009-11 Sansom Street
Subject Matter: Sign Appeal

Dear Sir:

This is to advise you of the decision of the Board of License and Inspection Review in regard to the above appeal (s), as verbally announced at a public hearing held May 20, 1982.

APPEAL SUSTAINED.

BOARD OF LICENSE AND INSPECTION REVIEW
John H. Kogan
JOHN H. KOGAN
Administrator

JHR/gc

cc: K. McKenna, Art Commission

*Approved to Issue
Application #40561 as per
L.I. Review Board Decision above
8/3/82*



CITY OF PHILADELPHIA

BOARD OF LICENSE AND INSPECTION REVIEW
710 Municipal Services Building
Philadelphia, Pa. 19107

May 24, 1982

Mr. Don Celia
2009-11 Sansom Street
Philadelphia, Pa., 19103

RE: Appeal No. 20387
Appellant: Don Celia
Premises: 2009-11 Sansom Street
Subject Matter: Sign Appeal

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APPEAL SUSTAINED.

BOARD OF LICENSE AND INSPECTION REVIEW

Jay H. Kogan
JAY H. KOGAN
Administrator

JHK/gc

cc: K. McKenna, Art Commission

APPLICANT! Do not use this sheet

EXAMINER'S REPORT

DISTRICT		TYPE OF PROPERTY <input type="checkbox"/> Corner <input type="checkbox"/> Attached <input type="checkbox"/> Semi-Detached <input type="checkbox"/> Detached					
DWELLING <input type="checkbox"/> Yes <input type="checkbox"/> No	HOW MANY FAMILIES	HOW MANY STORIES	USE APPLIED FOR	ACCESSORY	TO WHAT USE		
AREAS AND DIMENSIONS		Req. or Permitted	%	Req. when used	Existing	Proposed	%
Lot area							
Occupied area							
Area rear yard							
" " inner court							
Total open area							
Set-back front							
Set-back side							
Rear yard - depth							
Side yard, minimum width							
" " aggregate width							
Open court - width							
Court between wings - width							
Inner court - least dimension							
Height - front							
" " side							
" " rear							
" " garage							
Garage - inner dimensions							
IS USE PERMITTED IN THIS DISTRICT <input type="checkbox"/> Yes <input type="checkbox"/> No		UNDER WHAT PROVISION					
IF USE IS NOT PERMITTED IN THIS DISTRICT, UNDER WHAT PROVISION IS IT PERMITTED							
ZONING PERMIT			USE PERMIT				
<input type="checkbox"/> Grant <input type="checkbox"/> Refuse <input type="checkbox"/> Refer <input type="checkbox"/> Not Required			<input type="checkbox"/> Grant <input type="checkbox"/> Refuse <input type="checkbox"/> Refer <input type="checkbox"/> Not Required				
REMARKS							
See attached letter referring to L & T Board of Review							
Appeal # 26387 dated May 20, 1982 Appeal Sustained							
Approved to issue J. [Signature] 8/3/82							
DATE OF EXAMINATION			EXAMINER (Signature)				

INSPECTOR'S REPORT

DATE OF INSPECTION	INSPECTOR (Signature)
--------------------	-----------------------

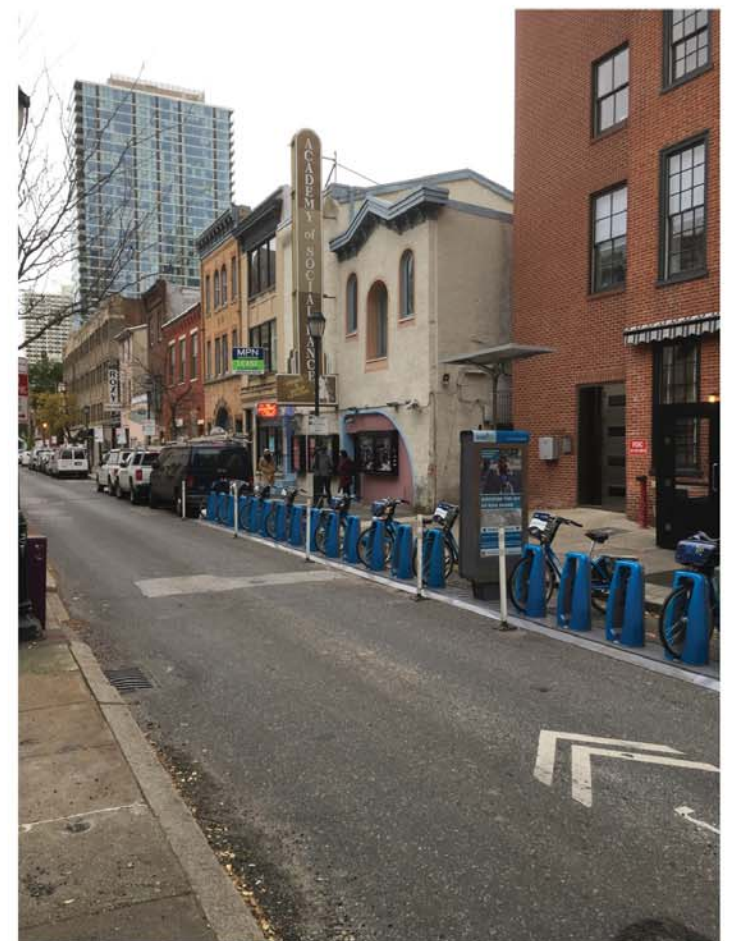
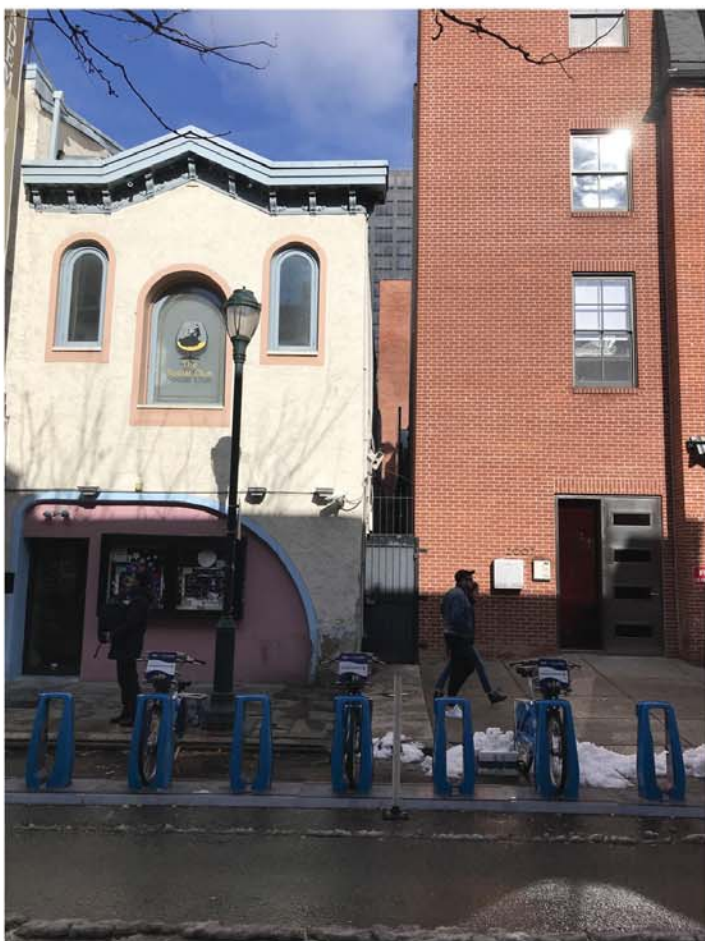
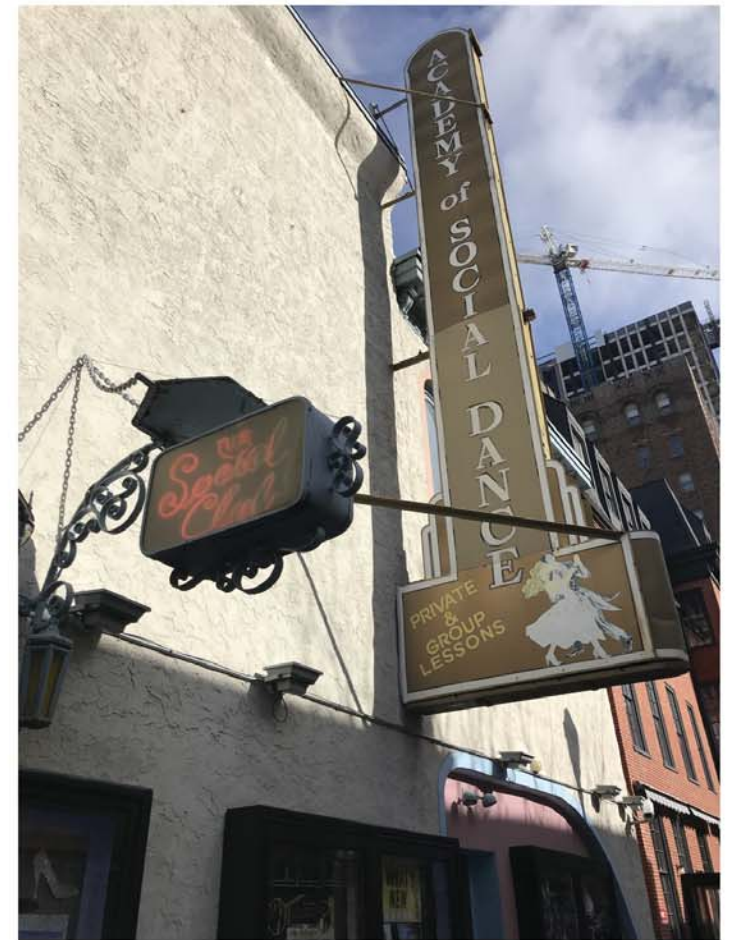
NOTICE OF REFUSAL OF PERMIT	CITY OF PHILADELPHIA DEPT. OF LICENSES & INSPECTIONS SECOND FLOOR, CITY HALL ANNEX	APPLICATION DATE	APPLICATION NO.
		DATE OF REFUSAL	
LOCATION			
APPLICANT		ADDRESS	
THE APPLICATION FOR A _____ PERMIT FOR THE ABOVE LOCATION HAS BEEN REFUSED BECAUSE THE PROVISIONS OF THE PHILADELPHIA CODE HAVE NOT BEEN COMPLIED WITH IN THE FOLLOWING PARTICULARS:			
PHILADELPHIA CODE REFERENCE		REASONS FOR REFUSAL	
		Signed _____ Plan Examiner	
		Signed _____ Section Supervisor	

INSTRUCTIONS FOR ISSUANCE OF PERMIT OR PERMITS

ZONING *the Legislation of overhangs, projections, drink the speed, Illum, sign*
 For partial demolition of Existing Building and erection of Addition, ~~structure, garage~~, accessory to a ~~single family dwelling with accessory~~ *DANCE INSTRUCTION*
 single family dwelling with accessory _____, garage, size and location, as shown in the application. *Studied, Restaurant*
 Authorized by and subject to the conditions of Board of Adjustment Certificate, *PROTECTION 6'6" 11'0' clearance* *FAVOR*

USE
 For extension of _____ single family dwelling with
 accessory _____, garage, size and location, equipment and capacity as shown in the application, to include
 use of new construction for _____
 Authorized by and subject to the conditions of Board of Adjustment Certificate, _____

Issued by *G.D. Smith* *8-4-82* *1-3* *1-4* Authorized by *Sign License Required* *2nd* *15-12*



Sansom St: Looking east

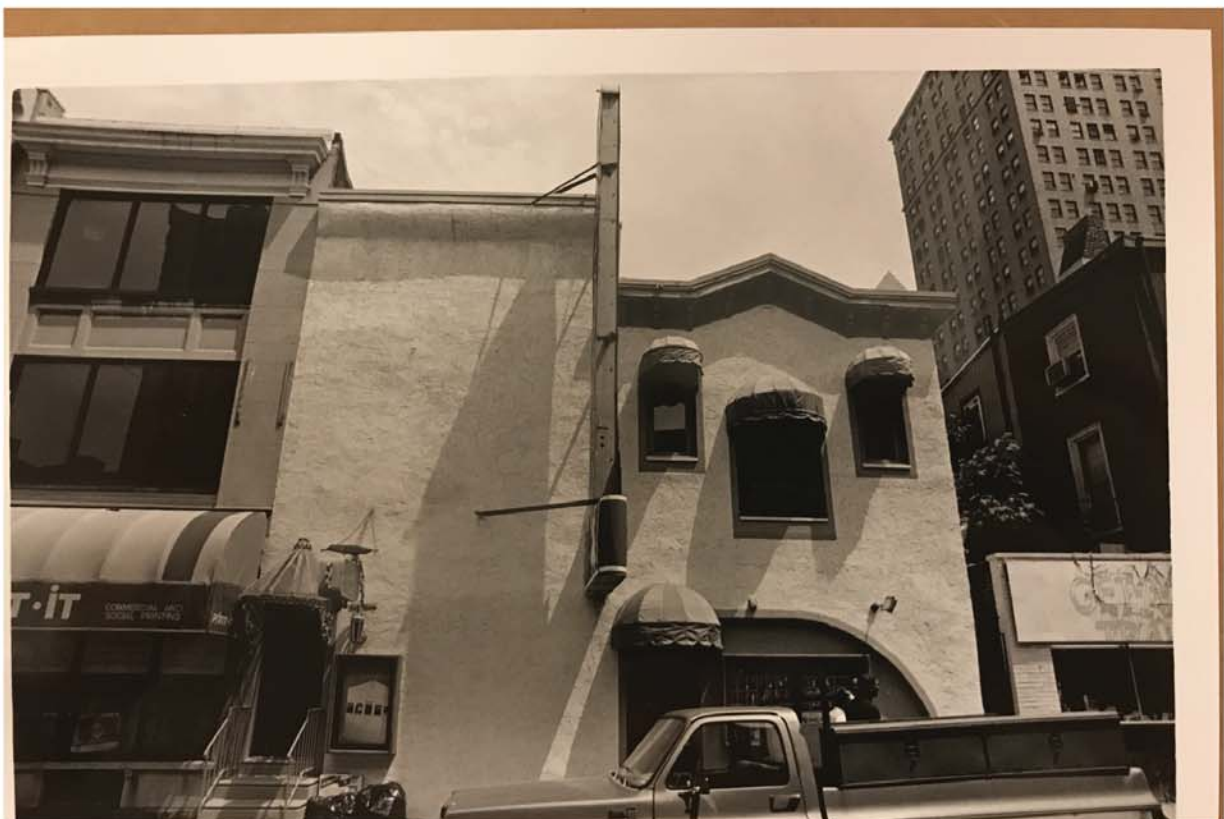
Sansom St: Looking west



2009-2011 Sansom St: ca 1986



2009-2011 Sansom St: ca 1994



2009-2011 Sansom St: ca 1994