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November 25, 2020

Philadelphia Art Commission
1515 Arch Street
13th Floor
Philadelphia, PA 19102
ATTN: Philadelphia Art Commission

RE: Heitzman Recreation Center

To whom it may concern:

I am writing to place an item on the December agenda for the improvements to the Heitzman Recreation Center as part of a Rebuild project. Due to the limited improvements for both the Building and Site aspects we are requesting administrative approval for this project. Below you will find a description of the existing conditions, the purpose and proposed improvements, and the contact information required for this project. Please verify if administrative approval can be sought based on the provided information.

The Robert T. Heitzman Recreation Center is located at 2136 Castor Avenue on a corner urban site with a pool, courts, fields, and a playground. The one-story building contains a gym with a nonstandard 79'x46' Basketball court and in the section of the building with a lower roof there is an exercise/multi-purpose room, an office, and support spaces. Former locker rooms are being used for storage, and the restroom facilities are sub-standard and not code compliant. The building and site are in current use as a public recreation facility managed by Philadelphia Parks and Recreation Department. The recreation center is used for a mix of sporting programs and youth programs. The indoor gymnasium is used for open basketball as well as leagues. In addition to basketball, there is an adult volleyball league that utilizes the facility. In the multipurpose room various programming occurs to include but not limited to homework help, youth fitness, Owls cheerleading, and Harrowgate Civic Association meetings. The outdoor facilities are used for basketball, flag football, soccer, playgrounds, swimming for youth summer programs and public use.

EXISTING ARCHITECTURAL & STRUCTURAL ELEMENTS:

The structure is load bearing concrete block construction with brick veneer on the lower portion of the exterior wall and a stucco exterior finish above the brick. There are few windows and there is clear evidence of former openings being infilled. The exterior painting looks like it was never finished or was repainted as an anti-graffiti effort as portions of the walls are different colors. The metal panels at the top of the gym walls are warped and trim pieces are missing. Overall the exterior is in poor condition but weathertight. The interior walls are primarily painted concrete block. Some of these walls are load bearing. The roof of the gym is free-span steel joist construction (unprotected) with a metal pan deck (unpainted) as the ceiling. There are painted gypsum board ceilings in the lower roofed section of the building and some of these are water stained. The building is slab on grade construction and the gym has a wood floor that is showing some signs of age. The remainder of the building has VCT resilient flooring and there is a small amount of ceramic mosaic tile in the toilet rooms and abandoned showers. The building is not sprinklered or air conditioned. The roof is 15 years old with no visible signs of current leaks but there is evidence of previous water damage in some of the low roof plaster ceilings. It is not possible to tell how old the water stains are and whether they predate the 2005 re-roofing project or not. There are asbestos containing materials present and there is no lead paint present in the building per the Phase 1 Environmental report.

EXISTING SITE ELEMENTS:

The site consists of two baseball fields, which are also used as a soccer field, and a pool. The fields and pool are outside of the scope of this project. The site also consists of a hockey court, one full and one half basketball court. These areas are both asphalt with faded pavement markings. There is a concrete retaining wall between the basketball court and the adjacent property. It is approximately 5 feet high with an 8-foot high chain link fence on top of it. There are two different play equipment areas. One is for children aged 5 to 12 years, the other is for children between 2 to 5 years in age. Both include safety surfaces in poor condition, and they are surrounded by concrete. There are two areas of safety surface that formerly had swings on them. The site is surrounded by a chain link fence. All areas of the site have tall field lighting. The existing drainage on the site consists of three (3) inlets draining towards the east of the site towards Castor Avenue. The inlets currently contain debris and appear to be partially functioning.

The Purpose of the proposed work is to improve the site under the Rebuild initiative. The project scope includes the following improvements.

PROPOSED SITE IMPROVEMENTS:

The site work includes improvements less than \$500,000 for the replacement of the safety surface and playground equipment (2-5 y/o, 5-12 y/o, and Swings) with the addition of adult fitness equipment. Re-painting of the existing basketball court surface and lines, replacement of basketball nets, and painting of the existing basketball posts and backboards. Mill and overlay of asphalt in the existing hockey court area, removal of chain link fencing between the basketball court and hockey rink, addition of a soccer mini-pitch kit to be installed where the hockey court is currently with an acrylic surface coating. The entry ramp from Amber Street into the site shall be replaced with an ADA compliant sloped ramp with handrails, and the addition of landscaping on each side of the ramp to consist of minimal trees, shrubs, and grass. A trash enclosure shall be added to the site, along with new game tables and replacement benches. Required PPR signage shall also be included. Stormwater infrastructure shall be improved and connected into a proposed PWD underground GSI system.

PROPOSED BUILDING IMPROVEMENTS:

The improvements to the building are mostly upgrades to the systems of the building and minor improvements to the facility use spaces. Improvements to the interior and exterior are less than \$500,000 when the building system components are excluded.

System improvements include replacement of heating and cooling systems with (3) RTUs enclosed in cages to heat and cool the entire building, new emergency lighting at exits where missing, new LED lighting and controls throughout, new fire alarm devices in renovated areas, new HVAC ductwork throughout.

Exterior improvements of the building consist of recoating the entire roof with a SBS modified bituminous membrane, addition of fixed rooftop access ladders, re-opening existing window openings to meet code requirements, repainting the exterior of the building, repairing existing metal fascia that is damaged, and repairing masonry joints and joint sealant.

Interior improvements consist of renovated ADA compliant male and female bathrooms, new gender neutral restroom, and janitor closet. Improvements to the multipurpose room to include new finishes throughout and moving the kitchenette to the rear wall. Improvements to the other rooms include the reconfiguration of the old locker room and storage to create a new multipurpose room. Improvements to the gymnasium include, painting the existing wall wainscoting, spot repairs to gym floor, refinishing and restriping the gym floor, replacing wall padding, new volleyball anchors, and removal of broken scoreboard. Other improvements

throughout the interior include ADA compliant bi level water cooler, replacing VCT flooring, and new or painted doors to bathrooms, multipurpose rooms, and exit doors.

The point of contact for this project and to receive notice of decision is the undersigned and can be reached via phone or email at any time.

Name: Matthew Sherwood
Mailing Address: 100 W. Oxford Street, Suite E-3100
Philadelphia, PA 19122
Email: msherwood@rodriguez.biz
Phone: (O) 215-987-1931 Ext
(D) 267-262-6844

Very truly yours,

Rodriguez Consulting, LLC

A handwritten signature in black ink, appearing to read "Matthew J. Sherwood", with a stylized flourish at the end.

Matthew J. Sherwood
Manager of Innovation



PROPOSED CONSTRUCTION BUDGET AND FUNDING SOURCES:

\$2,163,475

Rebuild Philadelphia

Mini-Pitch Kit (approx. \$50,000) to be funded through US Soccer Foundation
Safe Places to Play Grant, EPYSA, and the Philadelphia Union Foundation (PUF)

SCHEDULE:

Bid Documents (December 2020)

Construction (January 2021 to July 2021)

PROJECT TEAM:

Project User - Impact Services

Project Manager/Civil Engineer - Rodriguez

Architect - OZ Collaborative

Landscape Architect - Ground Reconsidered

MEP - Sabir Richardson & Weisberg (SRW)

Cost Estimator - Promatech

EXISTING CONDITIONS



HEITZMAN RECREATION CENTER

EXISTING CONDITIONS



Swing sets were removed



Play equipment is old and needs to be replaced



Entry ramp does not meet code

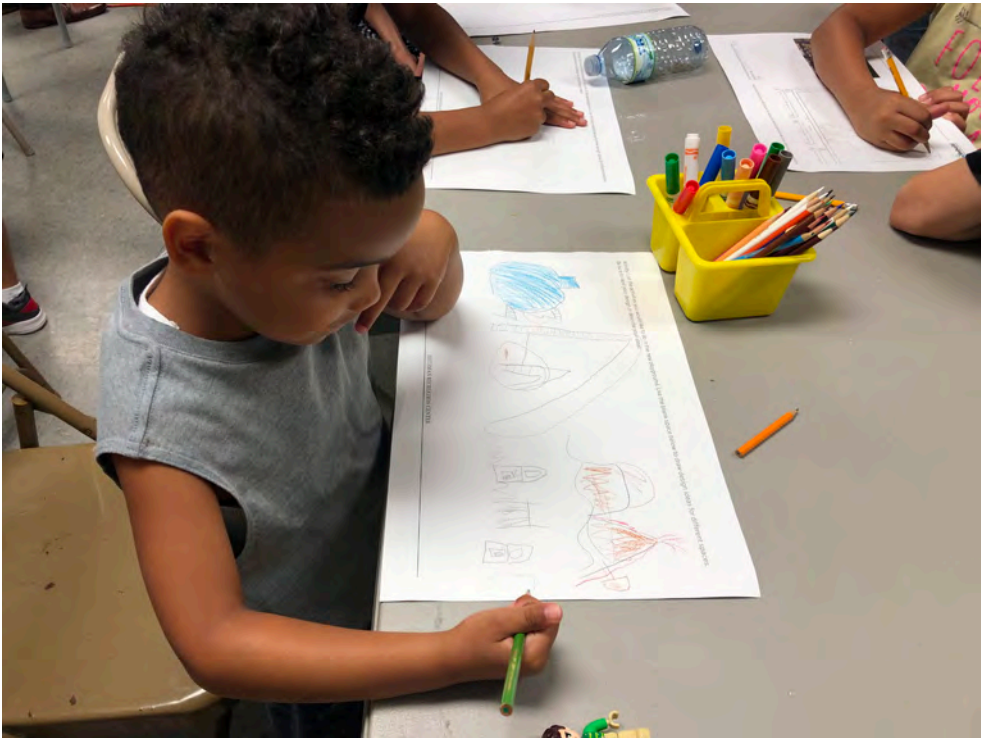
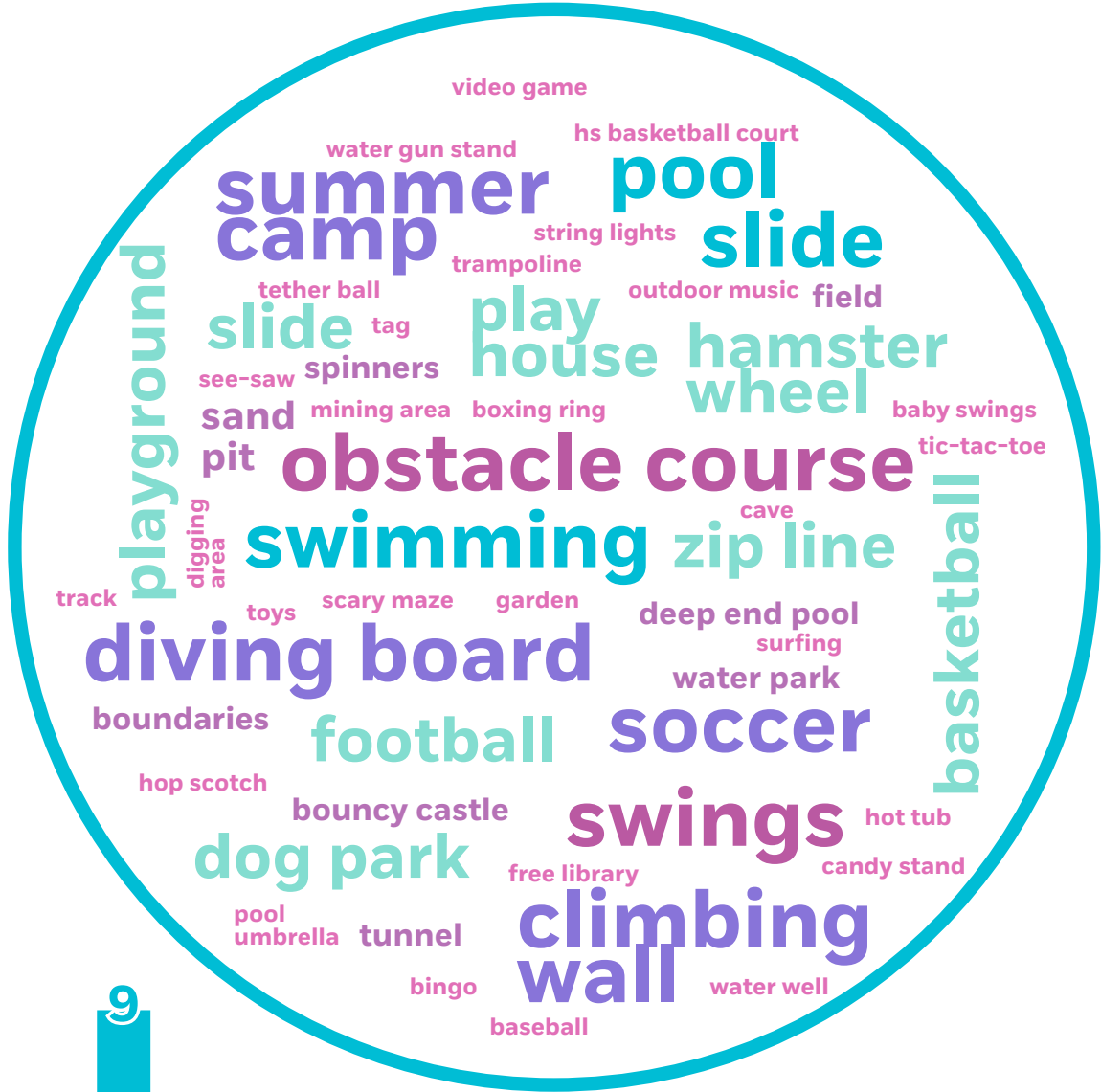
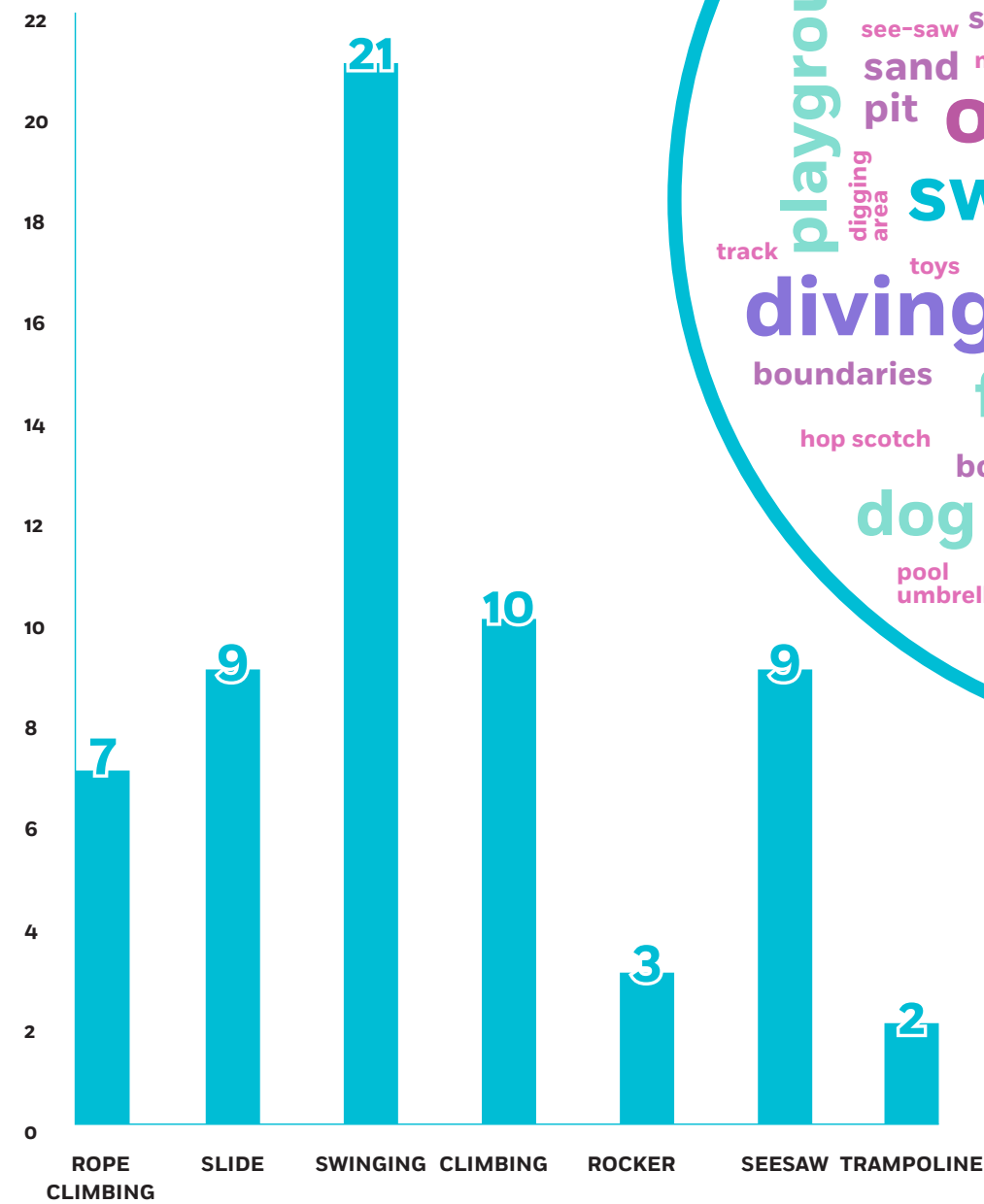


Area at the back of the site needs a new, more active use

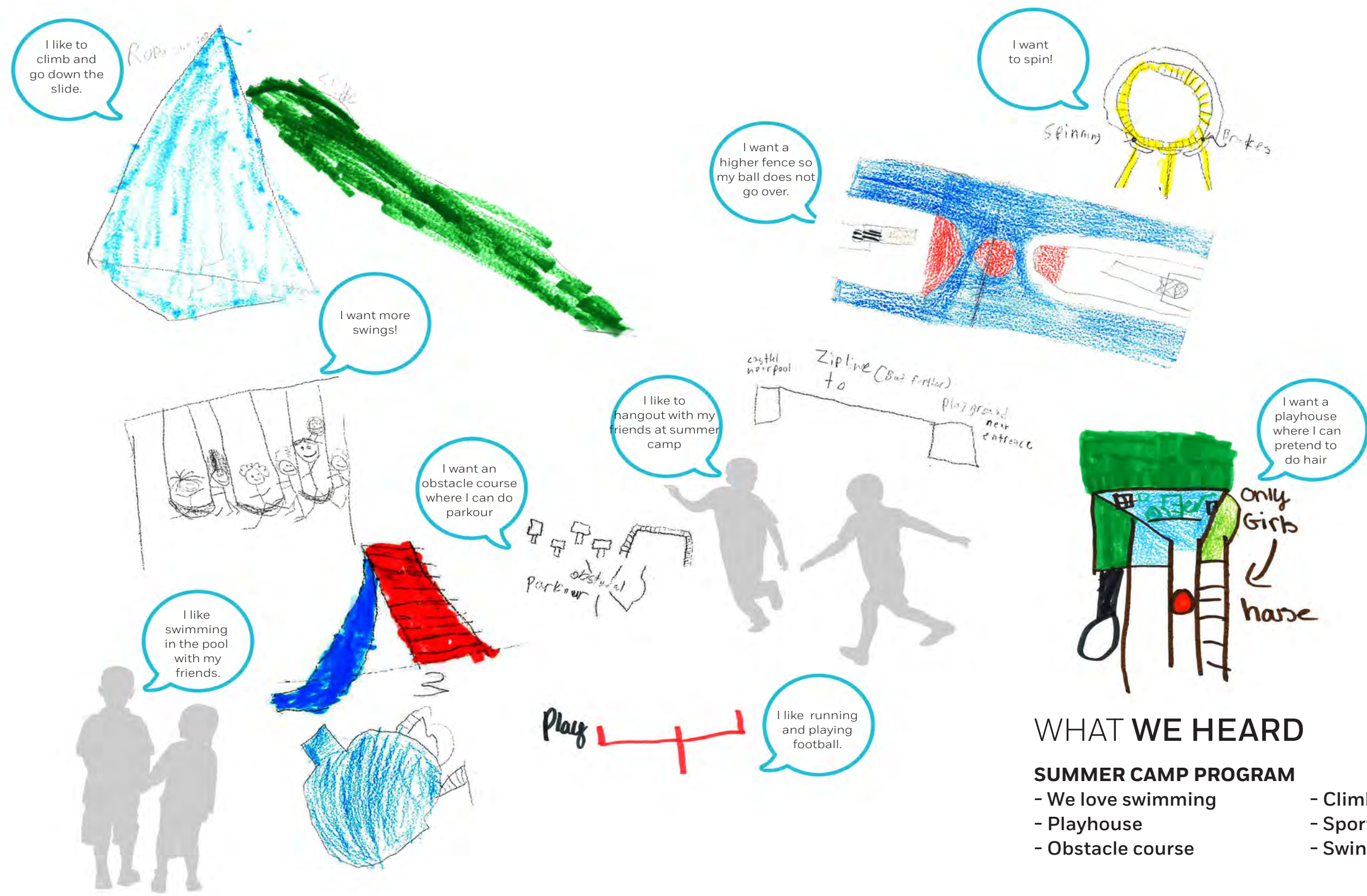


Basketball courts are popular and could use new surface paint

IMPACT SERVICES COMMUNITY OUTREACH



IMPACT SERVICES COMMUNITY OUTREACH



WHAT WE HEARD

SUMMER CAMP PROGRAM

- We love swimming
- Playhouse
- Obstacle course
- Climbing
- Sports field
- Swinging

DEMOLITION PLAN

LEGEND

LIMIT OF WORK

DEMOLISH CONCRETE PAVEMENT
SALVAGE STONE BASE

DEMOLISH RUBBER SAFETY SURFACE
SALVAGE STONE BASE

MILL AND OVERLAY ASPHALT PAVEMENT

DEMOLISH PAVEMENT AND STONE BASE, 3FT DEPTH

EXISTING STRUCTURE TO BE REMOVED

DEMOLISH EXISTING BOLLARD

DEMOLISH EXISTING CONCRETE PAVEMENT AND SUBBASE

DEMOLISH EXISTING SAFETY SURFACE AND SUBBASE, 3FT DEPTH

DEMOLISH EXISTING ASPHALT

DEMOLISH EXISTING HANDRAIL, PATCH HOLES AND PAINT EXISTING WALL TO REMAIN

DEMOLISH EXISTING CONCRETE PAVEMENT, SALVAGE STONE BASE, TYP.

DEMOLISH EXISTING BENCH, TYP.

DEMOLISH EXISTING SAFETY SURFACE WEARING COURSE AND CUSHION COURSE, SALVAGE STONE BASE, TYP.

DEMOLISH EXISTING PLAYGROUND EQUIPMENT, TYP.

REMOVE EXISTING INLET, REFER TO CIVIL DRAWINGS

EXISTING FENCE AND RAILS TO REMAIN

DEMOLISH EXISTING CHAINLINK FENCE

MILL AND OVERLAY EXISTING ASPHALT

DEMOLISH EXISTING CONCRETE AND SUBBASE, 3FT DEPTH

REMOVE EXISTING BASKETBALL HOOP NETTING, TYP.

DEMOLISH EXISTING BENCH, TYP.

MILL AND OVERLAY EXISTING ASPHALT

0 16 32 48 FT

HEITZMAN RECREATION CENTER

PROPOSED SITE PLAN

LEGEND

LIMIT OF WORK

SAFETY ZONE

CONCRETE CONTROL JOINT

CONCRETE EXPANSION JOINT

6" X 12" CONCRETE CURB

BONDED RUBBER SAFETY SURFACE COLOR 1

BONDED RUBBER SAFETY SURFACE COLOR 2

CONCRETE PAVING

ASPHALT PAVING

MILL AND OVERLAY ASPHALT PAVING

PLANTING

ORNAMENTAL TREE

SHADE TREE

TRASH ENCLOSURE FENCE AND GATE

BENCH

RECYCLING RECEPTACLE

TRASH RECEPTACLE

GAME TABLE



HEITZMAN RECREATION CENTER

MATERIALS PLAN

LEGEND

LIMIT OF WORK

SAFETY ZONE

CONCRETE CONTROL JOINT

CONCRETE EXPANSION JOINT

6" X 12" CONCRETE CURB
REFER TO DETAIL 4/L-2.1

BONDED RUBBER SAFETY SURFACE COLOR 1
REFER TO DETAIL 3/L-2.1

BONDED RUBBER SAFETY SURFACE COLOR 2
REFER TO DETAIL 3/L-2.1

CONCRETE PAVING
REFER TO DETAIL 1/L-2.1

ASPHALT PAVING
REFER TO DETAIL 2/L-2.1

MILL AND OVERLAY ASPHALT PAVING

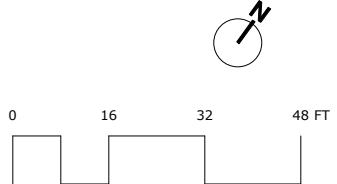
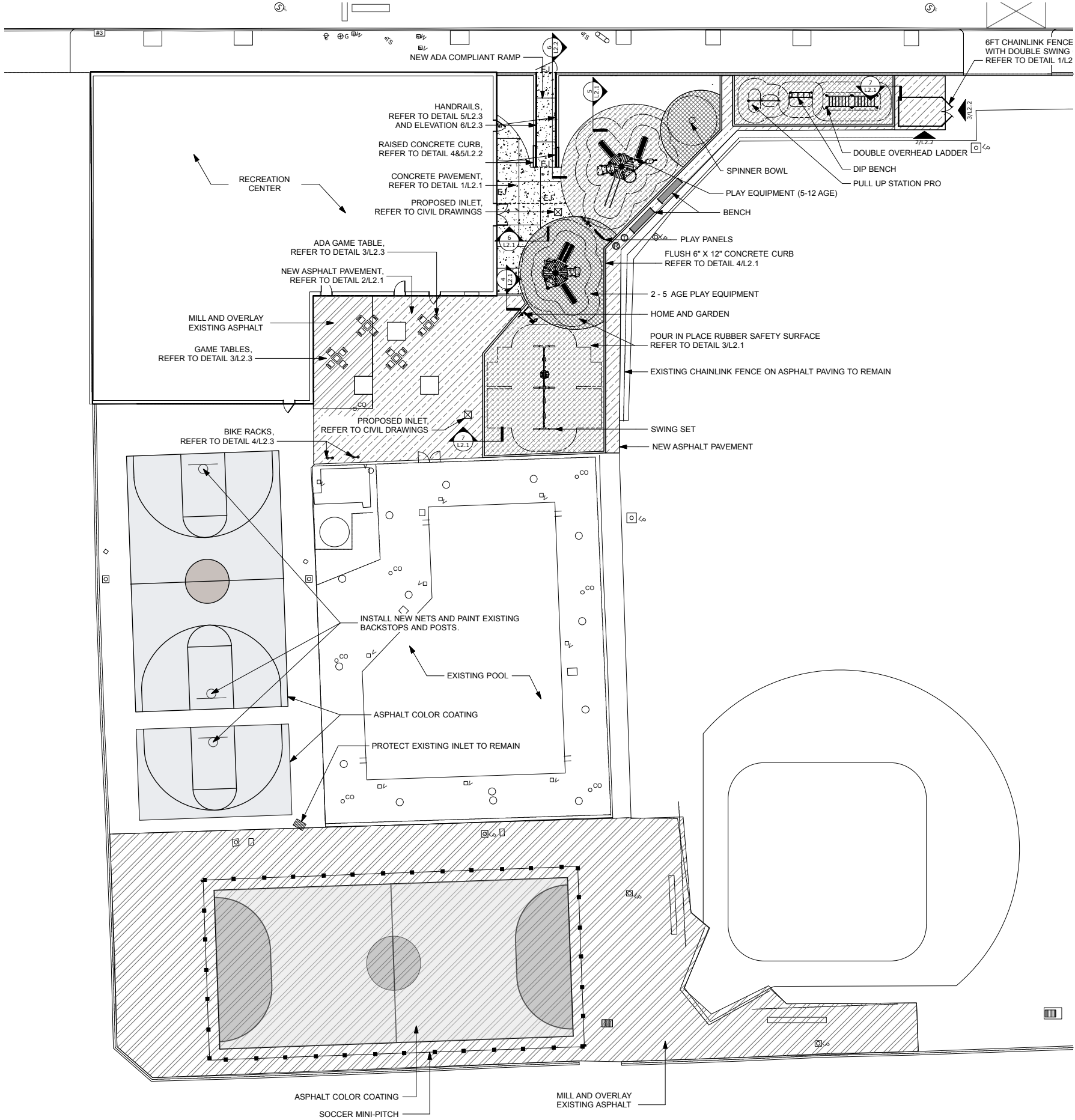
TRASH ENCLOSURE FENCE AND GATE
REFER TO DETAIL 1/L-2.2

BENCH
REFER TO DETAIL 1/L-2.3

RECYCLING RECEPTACLE
REFER TO DETAIL 2/L-2.3 SIM

TRASH RECEPTACLE
REFER TO DETAIL 2/L-2.3

GAME TABLE
REFER TO DETAIL 3/L-2.3



HEITZMAN RECREATION CENTER

SITE FURNISHINGS



PPR standard game table - 3-seat and 4-seat options proposed



PPR standard trash receptacle

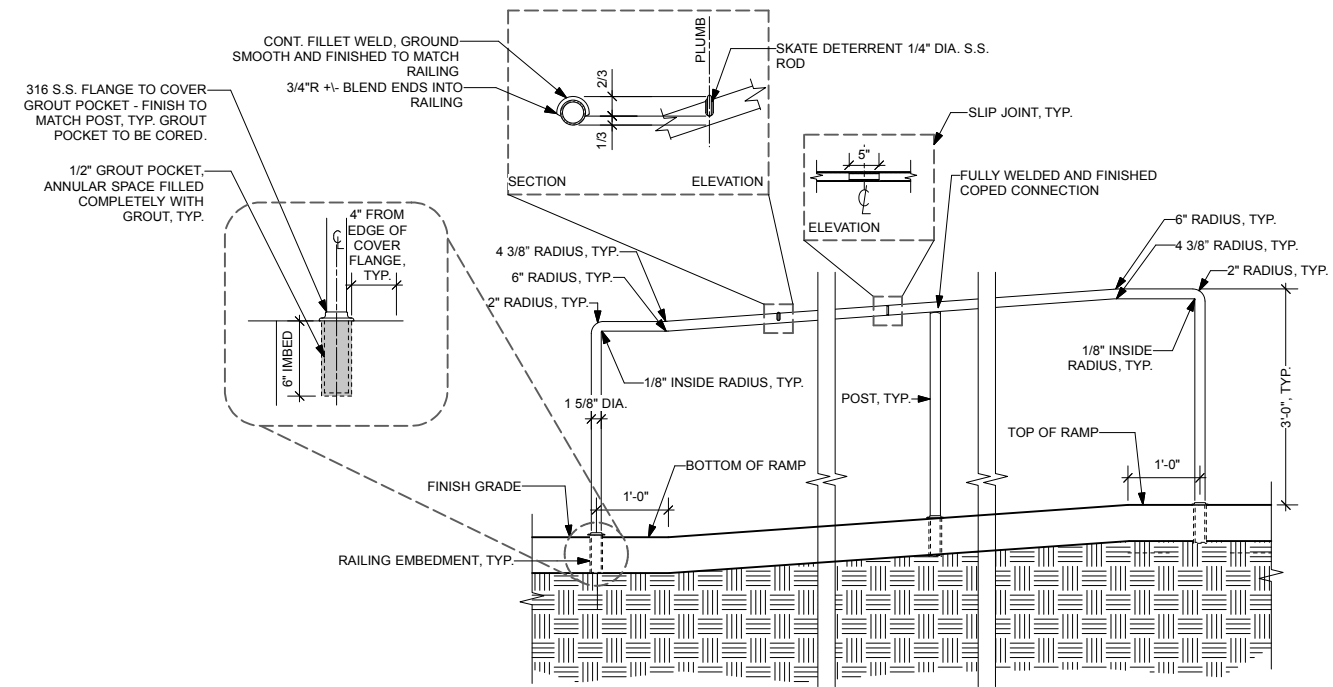


PPR standard recycling receptacle

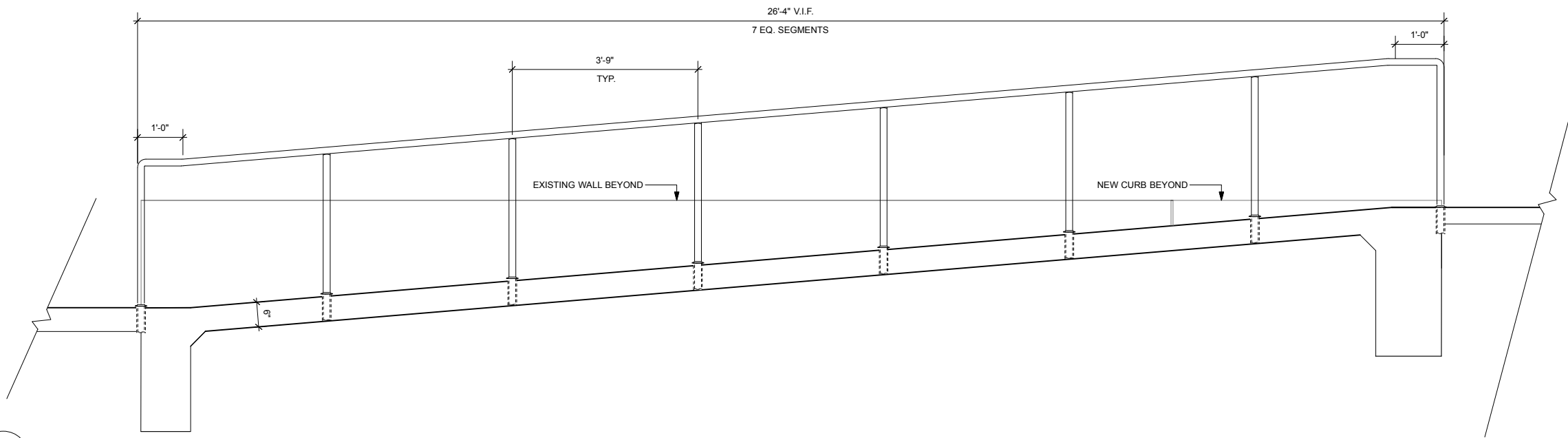


PPR standard bench - color will be Black

SITE FURNISHINGS



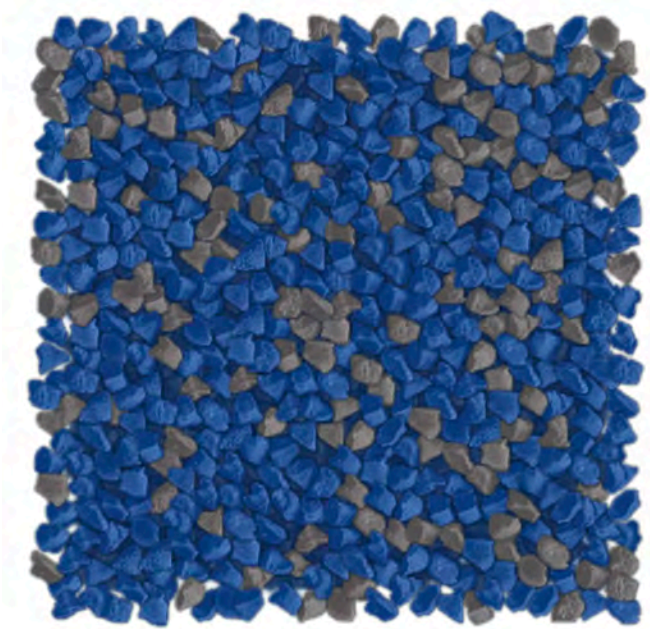
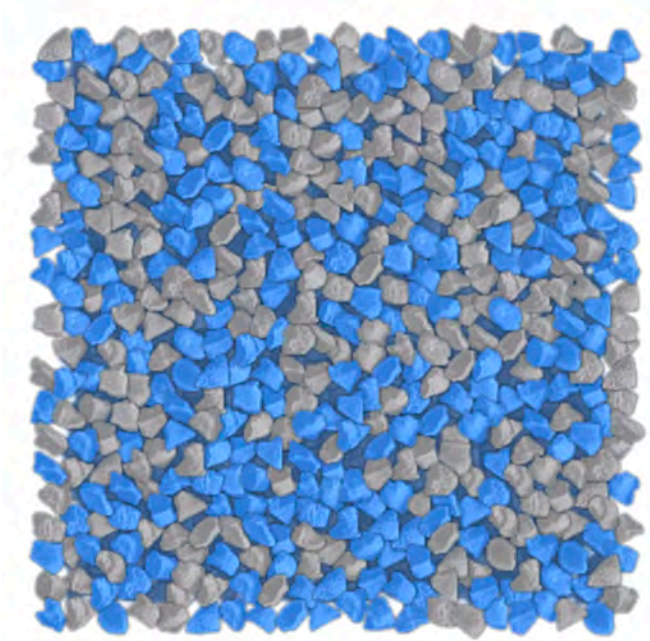
5 RAMP HANDRAIL
Scale: 3/4" = 1'-0"



6 HANDRAIL ELEVATION
Scale: 3/4" = 1'-0"

New accessible ramp with handrail at entrance to the site from the sidewalk

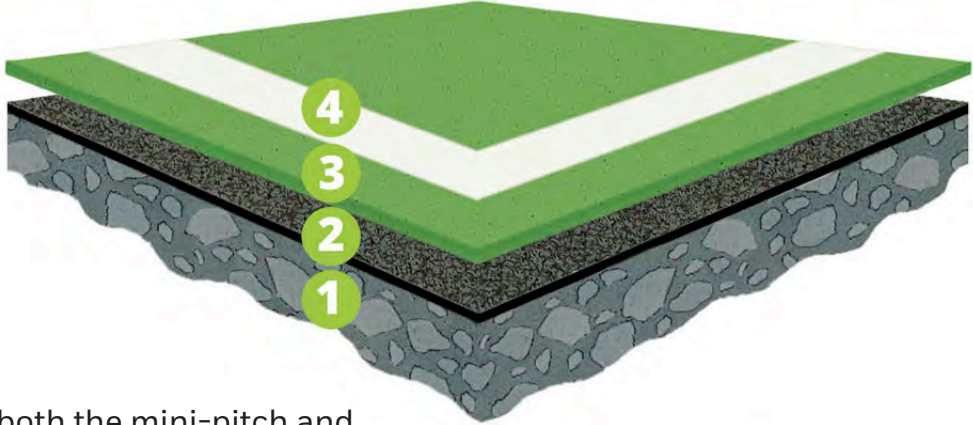
SITE MATERIALS



Poured-In-Place safety surface for playgrounds. Design has Light blue and Dark Blue Areas.



Former hockey court at back of site will be turned in to a soccer mini-pitch. The mini-pitch system will have surrounding low metal walls, entry gates, and goals as shown.



Surfacing for both the mini-pitch and the basketball court will be Plexi-Pave.

Diagram not to scale

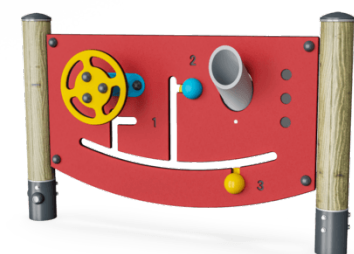
- 1. Concrete or Asphalt
- 2. Acrylic Resurfacer
Acrylic Resurfacer blended with approved silica sand.
- 3. Plexipave®
Sand-fortified Plexipave® color provides a uniform surface texture and determines the speed of play and traction of the court
- 4. Line Paint
A heavy bodied acrylic latex

2-5 PLAY EQUIPMENT



Home & Garden Play Station

Manufacturer: Kompan



Manipulative Play Panel



Music Play Panel



1 Double Slide



2 Rock Climber



3 Play Table & Seats



4 Curly Climber



5 Xylophone Panel



6 Tic-Tac-Toe Panel

5-12 PLAY EQUIPMENT



Manufacturer: Kompan



ADULT FITNESS EQUIPMENT



Double Overhead Ladder

Manufacturer: Kompan



Pull-Up Station Pro

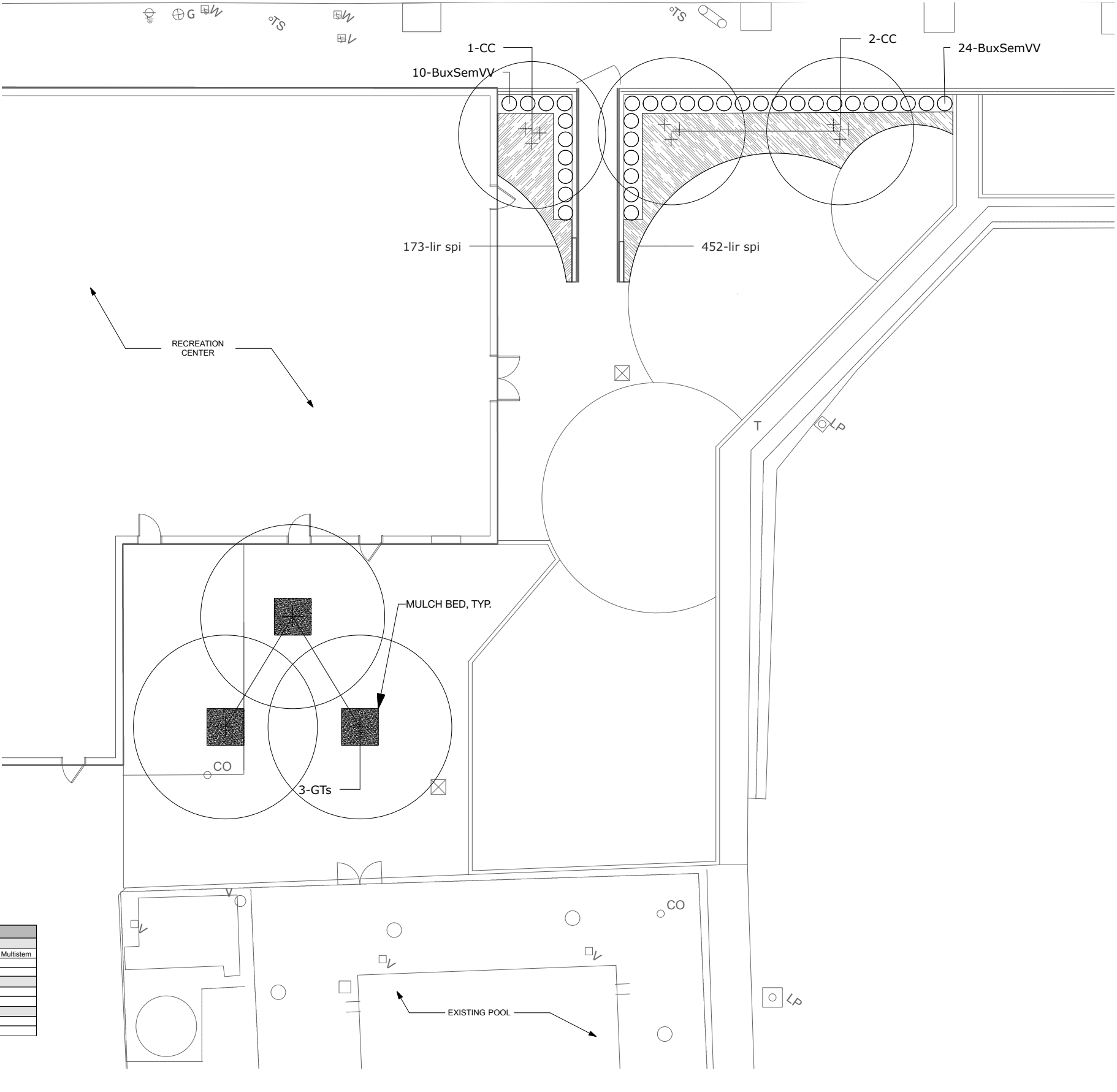


Dip Bench

PLANTING PLAN

Plant Schedule

Qty	Id	Botanical Name	Common Name	Size	Spacing	Notes
Trees						
3	CC	<i>Cercis canadensis</i>	Eastern Redbud	10'-12' ht.	As Shown	Specimen Quality, B&B, Multistem
3	GTs	<i>Gleditsia triacanthos inermis</i> 'Skyline'	Skyline Honeylocust	3" cal. min.	As Shown	Specimen, B&B
Shrubs						
34	BuxSemVV	<i>Buxus sempervirens</i> 'Vardar Valley'	Common Boxwood	#5	=As Shown	
Grasses						
625	lir spi	<i>Liriope spicata</i>	Creeping Lilyturf	#1	12" o.c.	3-5 eye division min.



HEITZMAN RECREATION CENTER

PLANTING



Eastern Redbud at entrance to site



Boxwood (low shrub) at entrance to site



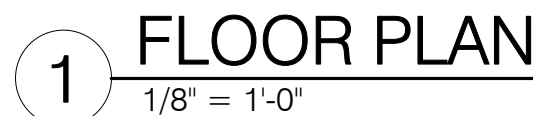
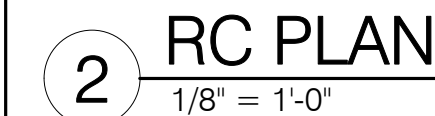
Liriope (low maintenance groundcover) at entrance to site



Skyline Honeylocust at sitting area between building and pool



HEITZMAN RECREATION CENTER

[illegible][illegible]

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Prepared For:

IMPACT
Jobs. Homes. Community.

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Prepared By:

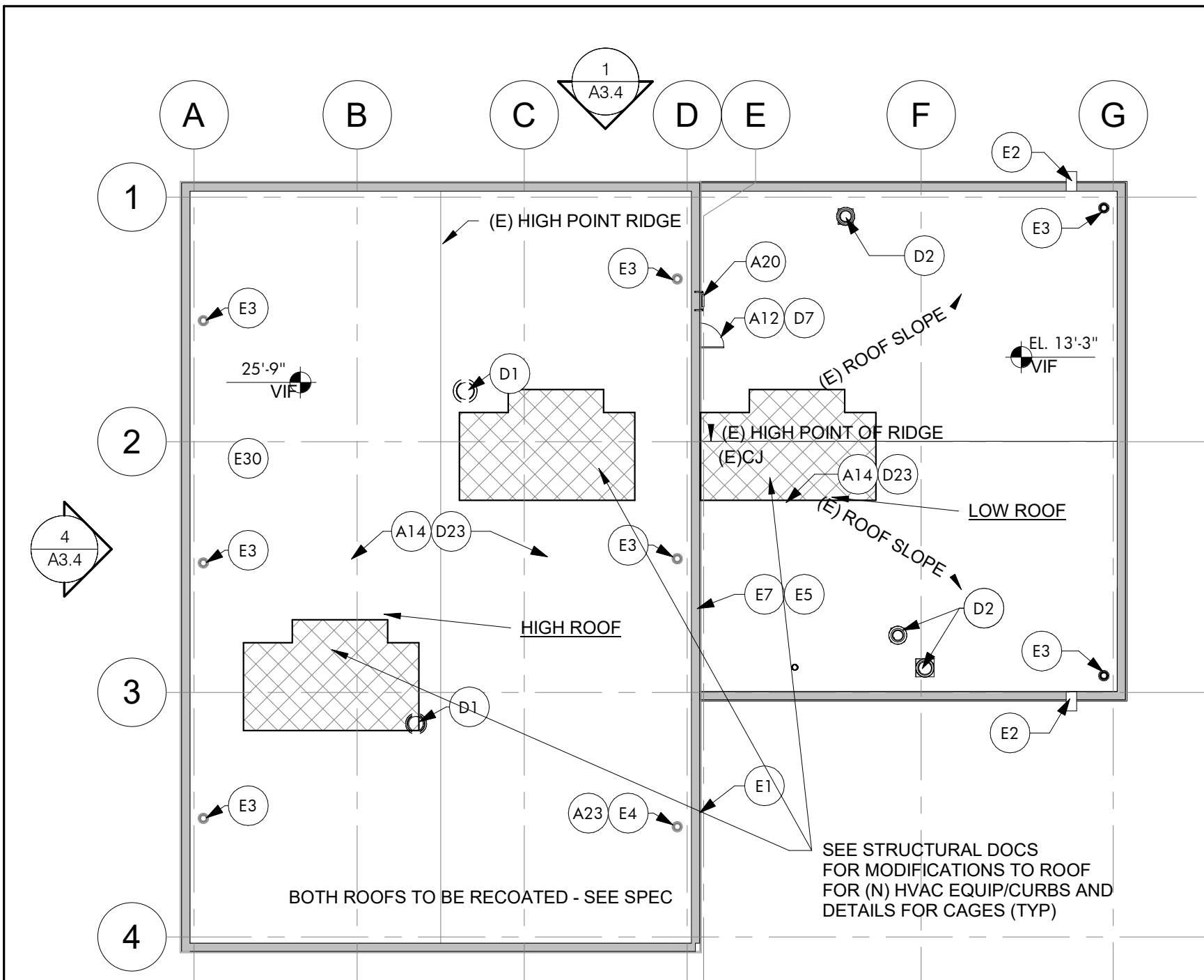
HEITZMAN RECREATION
CENTER

IMPACT - REBUILD

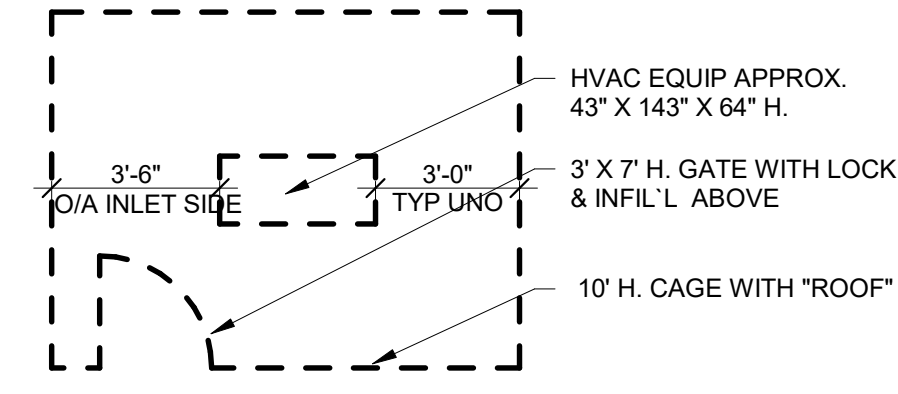
NEW WORK FLOOR & CEILING PLANS

Scale: 1/8" = 1'-0"
Sheet Issued Date: 11/30/2020
Drawn/Checked By: Author/ Checker
Project Address: 2136 Castor Ave. Philadelphia, PA 19134
Municipality: CITY OF PHILADELPHIA
Project Number: 311.00
Drawing Number:

A1.1



5 ROOF PLAN
1/16" = 1'-0"



NO HVAC EQUIP OR ELEMENTS ARE TO BE PLACED WITHIN TEN (10') FEET OF THE ROOF EDGE UNLESS PROTECTED WITHIN THE CAGE AND THE GATE AND ACCESS PATH IS MORE THAN 10' FROM THE EDGE.

PRECISE LOCATION OF CAGE & GATE TBD WHEN FINAL HVAC EQUIP IS APPROVED

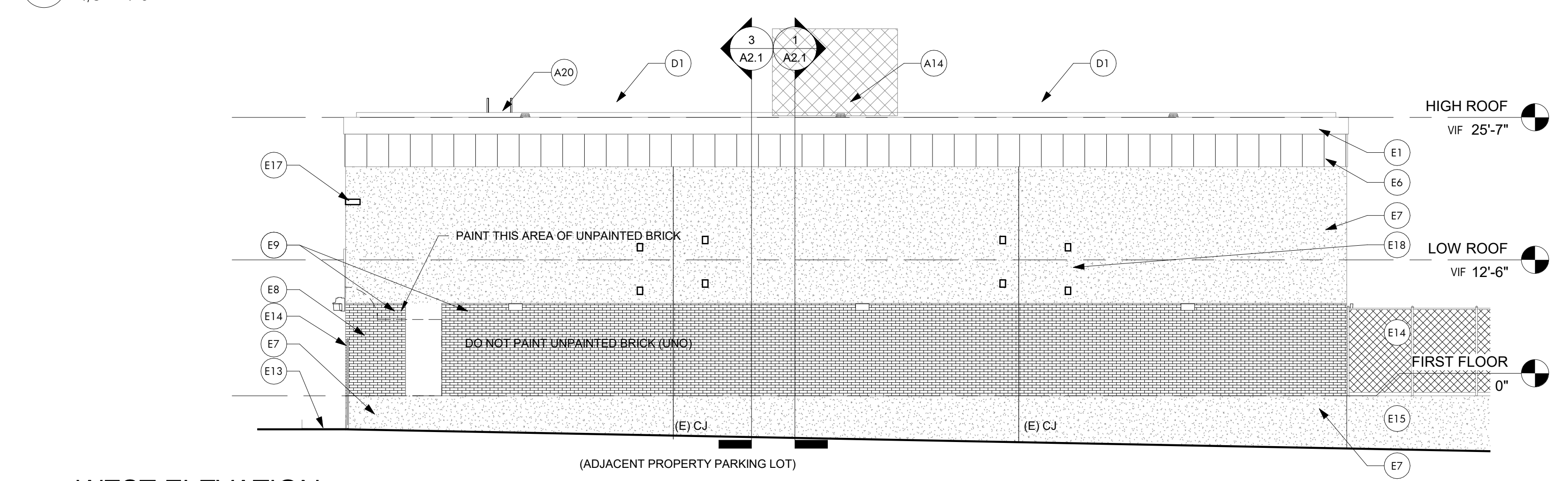
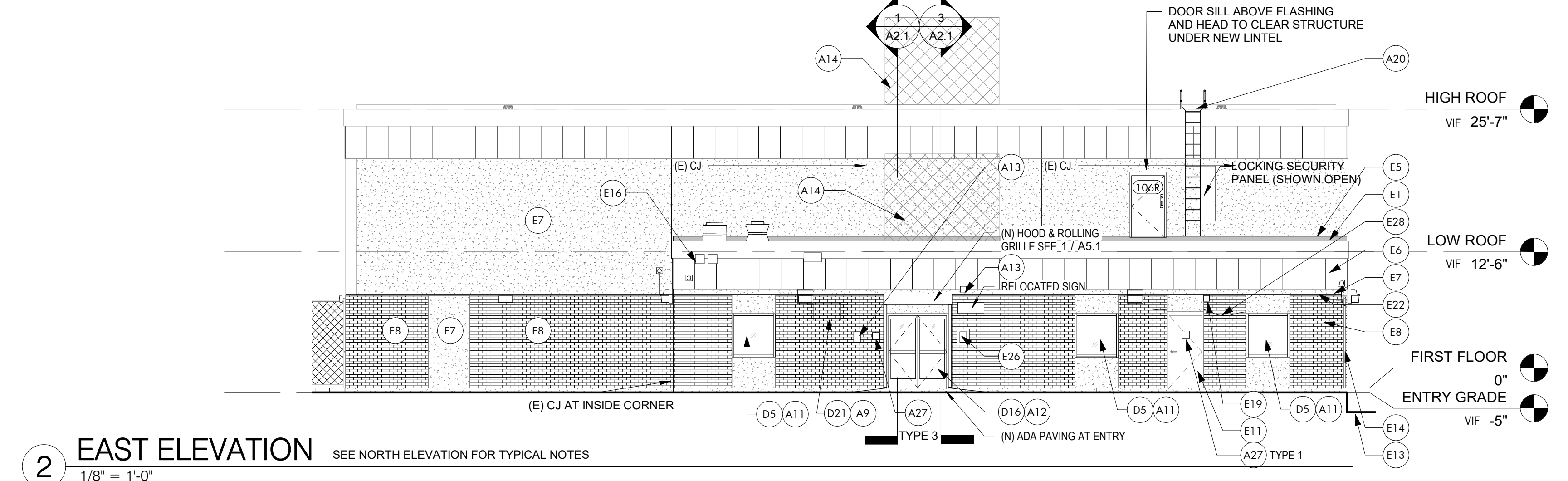
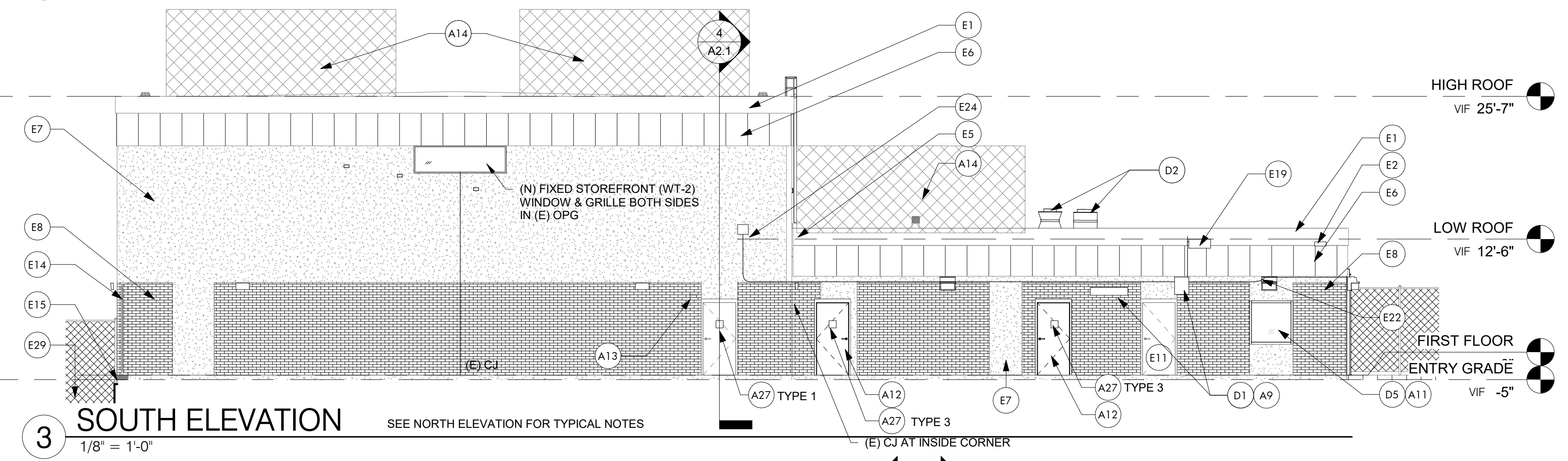
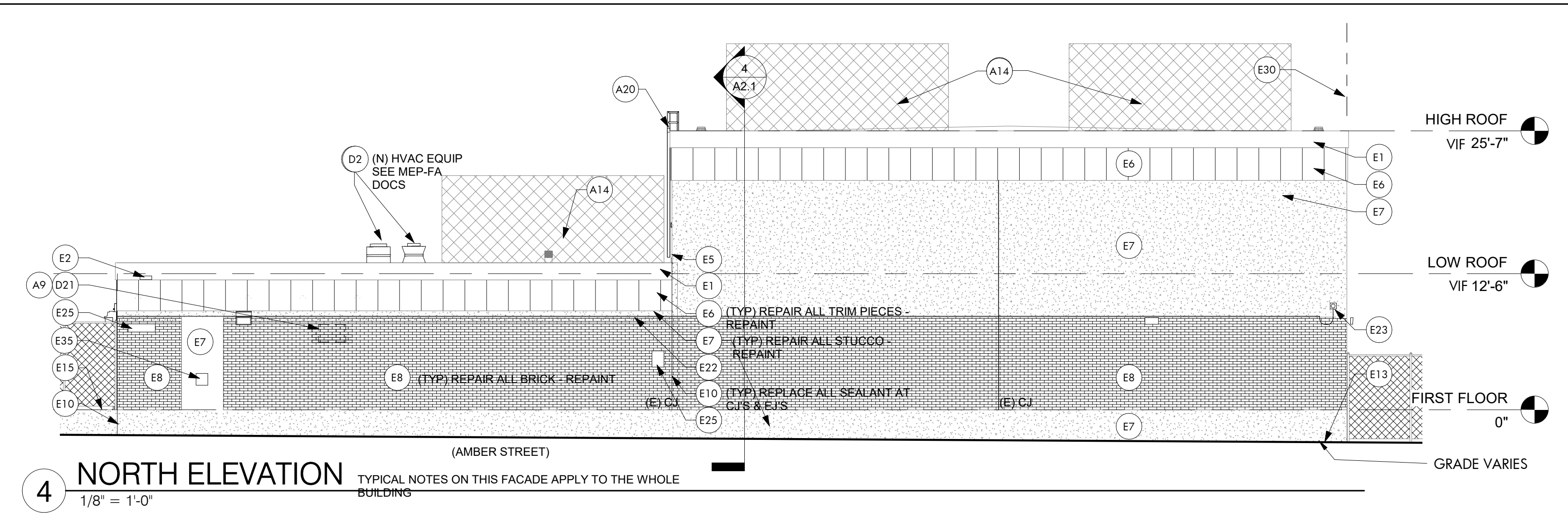
6 HVAC ROOF CAGES
1/4" = 1'-0"

EXISTING KEYNOTES	
Key#	Keynote Text
E1	(E) COPING -ETR UNO, PROTECT
E2	(E) SCUPPER -ETR UNO, PROTECT
E3	(E) ROOF DRAIN AND COVER -ETR UNO, PROTECT
E4	(E) ROOF DRAIN WITHOUT COVER -TO BE REPLACED
E5	(E) FLASHING-ETR UNO, PROTECT
E6	(E) METAL PANEL FASCIA-ETR UNO, PROTECT
E7	(E) STUCCO-ETR UNO, PROTECT
E8	(E) PAINTED BRICK-ETR UNO, PROTECT
E9	(E) UNPAINTED BRICK-ETR UNO, PROTECT
E10	(E) CONTROL JOINT (CJ)-ETR UNO, PROTECT
E11	(E) DOOR/FRAME/HARDWARE-ETR UNO, PROTECT
E13	(E) SIDEWALK-ETR UNO, PROTECT
E14	(E) CHAIN LINK FENCE-ETR UNO, PROTECT
E15	(E) RETAINING WALL-ETR UNO, PROTECT
E16	(E) DEVICE-ETR UNO, PROTECT
E17	(E) WIRES ATTACHMENT-ETR UNO, PROTECT
E18	(E) THROUGH BOLT ATTACHMENT(S)-ETR UNO, PROTECT
E19	(E) LIGHT-ETR UNO, PROTECT
E22	(E) CONDUIT-ETR UNO, PROTECT
E23	(E) CAMERA-ETR UNO, PROTECT
E24	(E) ANTENNA-ETR UNO, PROTECT
E25	(E) SIGN-ETR UNO, PROTECT
E26	(E) DISPLAY CASE-ETR UNO, PROTECT
E28	(E) CRACKS-ETR UNO
E29	(E) ADJACENT PROPERTY PARKING LOT-ETR UNO, PROTECT
E30	(E) TREE BRANCHES THIS SIDE OF THE PROPERTY LINE TO BE REMOVED - SEE SPEC
E35	(E) NEEDLE DROP BOX-ETR UNO, PROTECT

ELEVATION NOTES
1. REPAIR/REPLACE METAL FASCIA & TRIM PIECES U.N.O.
2. REPAIR MASONRY CRACKS/ DAMAGED AREAS
3. REMOVE/ REPLACE JOINT SEALANT AT CJS & EJS
4. PREP AND REPAINT WHOLE BUILDING EXTERIOR EXCEPT UNPAINTED MASONRY
5. RECOAT BOTH ROOFS - SEE SPEC

NEW WORK KEYNOTES	
Key#	Keynote Text
A9	PROVIDE NEW INFILL - MATCH EXISTING ADJACENT AND TOOTH IN MASONRY
A11	PROVIDE NEW FIXED WINDOW - ALUM. STOREFRONT WITH NEW PROTECTIVE GRILLE - SEE DETAILS AND SPEC
A12	PROVIDE NEW DOOR/FRAME/ AND/OR HARDWARE-SEE SCHEDULE AND SPEC
A13	NEW LIGHT WALL MOUNTED - SEE MEP DOCS
A14	NEW HVAC EQUIPMENT, CURB, ETC. AND CAGE/PROTECTION - SEE MEP DOCS
A20	PROVIDE NEW FIXED METAL LADDER - SEE SPEC
A23	REPLACEMENT ROOF DRAIN COVER - SEE MEP DOCS
A27	PROVIDE NEW ADA SIGN

DEMO KEYNOTES	
Key#	Keynote Text
D1	(D) ITEM/DEVICE/FIXTURE AND PATCH TO MATCH ADJACENT-SEE MEP DOCS
D2	(D) ITEM/DEVICE/FIXTURE AND PREPARE FOR NEW DEVICE-SEE MEP DOCS
D5	(D) WALL INFILL AND PREP OPENING FOR NEW DOOR OR NEW WINDOW FRAME @ EXISTING OPENING WITH EXISTING LINTEL
D7	(D) WALL INFILL & PORTION OF WALL AND PREP OPENING FOR NEW DOOR AND NEW LINTEL(S) & TOOTH IN FINISHED SIDES OF NEW MASONRY
D16	(D) DOOR/FRAME/HARDWARE
D21	(D) THROUGH WALL AIR CONDITIONER/FRAME/CAGE AND DELIVER SALVAGE AIR CONDITIONER TO OWNER
D23	(D) PORTION OF ROOFING/DECK TO FORM NEW OPENING FOR HVAC CURB MOUNTED EQUIPMENT



1 WEST ELEVATION
1/8" = 1'-0"

REVISIONS		DATE	BY
NO.			

SEAL

SIGNATURE

Prepared For:

Jobs. Homes. Community.

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HEITZMAN RECREATION CENTER

IMPACT - REBUILD

BUILDING ELEVATIONS & ROOF PLAN

Scale: As indicated
Sheet Issued Date: 11/24/2020
Drawn/Checked By: Author / Checker
Project Address:
2136 Castor Ave.
Philadelphia, PA 19134
Municipality: CITY OF PHILADELPHIA
Project Number: 311.00
Drawing Number:

A2.0