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November 25, 2020

Philadelphia Art Commission
1515 Arch Street
13th Floor
Philadelphia, PA 19102
ATTN: Philadelphia Art Commission

RE: Heitzman Recreation Center

To whom it may concern:

I am writing to place an item on the December agenda for the improvements to the Heitzman Recreation Center as part of a Rebuild project. Due to the limited improvements for both the Building and Site aspects we are requesting administrative approval for this project. Below you will find a description of the existing conditions, the purpose and proposed improvements, and the contact information required for this project. Please verify if administrative approval can be sought based on the provided information.

The Robert T. Heitzman Recreation Center is located at 2136 Castor Avenue on a corner urban site with a pool, courts, fields, and a playground. The one-story building contains a gym with a nonstandard 79'x46' Basketball court and in the section of the building with a lower roof there is an exercise/multi-purpose room, an office, and support spaces. Former locker rooms are being used for storage, and the restroom facilities are sub-standard and not code compliant. The building and site are in current use as a public recreation facility managed by Philadelphia Parks and Recreation Department. The recreation center is used for a mix of sporting programs and youth programs. The indoor gymnasium is used for open basketball as well as leagues. In addition to basketball, there is an adult volleyball league that utilizes the facility. In the multipurpose room various programming occurs to include but not limited to homework help, youth fitness, Owls cheerleading, and Harrowgate Civic Association meetings. The outdoor facilities are used for basketball, flag football, soccer, playgrounds, swimming for youth summer programs and public use.

EXISTING ARCHITECTURAL & STRUCTURAL ELEMENTS:

The structure is load bearing concrete block construction with brick veneer on the lower portion of the exterior wall and a stucco exterior finish above the brick. There are few windows and there is clear evidence of former openings being infilled. The exterior painting looks like it was never finished or was repainted as an anti-graffiti effort as portions of the walls are different colors. The metal panels at the top of the gym walls are warped and trim pieces are missing. Overall the exterior is in poor condition but weathertight. The interior walls are primarily painted concrete block. Some of these walls are load bearing. The roof of the gym is free-span steel joist construction (unprotected) with a metal pan deck (unpainted) as the ceiling. There are painted gypsum board ceilings in the lower roofed section of the building and some of these are water stained. The building is slab on grade construction and the gym has a wood floor that is showing some signs of age. The remainder of the building has VCT resilient flooring and there is a small amount of ceramic mosaic tile in the toilet rooms and abandoned showers. The building is not sprinklered or air conditioned. The roof is 15 years old with no visible signs of current leaks but there is evidence of previous water damage in some of the low roof plaster ceilings. It is not possible to tell how old the water stains are and whether they predate the 2005 re-roofing project or not. There are asbestos containing materials present and there is no lead paint present in the building per the Phase 1 Environmental report.

EXISTING SITE ELEMENTS:

The site consists of two baseball fields, which are also used as a soccer field, and a pool. The fields and pool are outside of the scope of this project. The site also consists of a hockey court, one full and one half basketball court. These areas are both asphalt with faded pavement markings. There is a concrete retaining wall between the basketball court and the adjacent property. It is approximately 5 feet high with an 8-foot high chain link fence on top of it. There are two different play equipment areas. One is for children aged 5 to 12 years, the other is for children between 2 to 5 years in age. Both include safety surfaces in poor condition, and they are surrounded by concrete. There are two areas of safety surface that formerly had swings on them. The site is surrounded by a chain link fence. All areas of the site have tall field lighting. The existing drainage on the site consists of three (3) inlets draining towards the east of the site towards Castor Avenue. The inlets currently contain debris and appear to be partially functioning.

The Purpose of the proposed work is to improve the site under the Rebuild initiative. The project scope includes the following improvements.

PROPOSED SITE IMPROVEMENTS:

The site work includes improvements less than \$500,000 for the replacement of the safety surface and playground equipment (2-5 y/o, 5-12 y/o, and Swings) with the addition of adult fitness equipment. Re-painting of the existing basketball court surface and lines, replacement of basketball nets, and painting of the existing basketball posts and backboards. Mill and overlay of asphalt in the existing hockey court area, removal of chain link fencing between the basketball court and hockey rink, addition of a soccer mini-pitch kit to be installed where the hockey court is currently with an acrylic surface coating. The entry ramp from Amber Street into the site shall be replaced with an ADA compliant sloped ramp with handrails, and the addition of landscaping on each side of the ramp to consist of minimal trees, shrubs, and grass. A trash enclosure shall be added to the site, along with new game tables and replacement benches. Required PPR signage shall also be included. Stormwater infrastructure shall be improved and connected into a proposed PWD underground GSI system.

PROPOSED BUILDING IMPROVEMENTS:

The improvements to the building are mostly upgrades to the systems of the building and minor improvements to the facility use spaces. Improvements to the interior and exterior are less than \$500,000 when the building system components are excluded.

System improvements include replacement of heating and cooling systems with (3) RTUs enclosed in cages to heat and cool the entire building, new emergency lighting at exits where missing, new LED lighting and controls throughout, new fire alarm devices in renovated areas, new HVAC ductwork throughout.

Exterior improvements of the building consist of recoating the entire roof with a SBS modified bituminous membrane, addition of fixed rooftop access ladders, re-opening existing window openings to meet code requirements, repainting the exterior of the building, repairing existing metal fascia that is damaged, and repairing masonry joints and joint sealant.

Interior improvements consist of renovated ADA compliant male and female bathrooms, new gender neutral restroom, and janitor closet. Improvements to the multipurpose room to include new finishes throughout and moving the kitchenette to the rear wall. Improvements to the other rooms include the reconfiguration of the old locker room and storage to create a new multipurpose room. Improvements to the gymnasium include, painting the existing wall wainscoting, spot repairs to gym floor, refinishing and restriping the gym floor, replacing wall padding, new volleyball anchors, and removal of broken scoreboard. Other improvements

throughout the interior include ADA compliant bi level water cooler, replacing VCT flooring, and new or painted doors to bathrooms, multipurpose rooms, and exit doors.

The point of contact for this project and to receive notice of decision is the undersigned and can be reached via phone or email at any time.

Name: Matthew Sherwood
Mailing Address: 100 W. Oxford Street, Suite E-3100
Philadelphia, PA 19122
Email: msherwood@rodriguez.biz
Phone: (O) 215-987-1931 Ext
(D) 267-262-6844

Very truly yours,

Rodriguez Consulting, LLC

A handwritten signature in black ink, appearing to read 'Matthew J. Sherwood', with a stylized flourish at the end.

Matthew J. Sherwood
Manager of Innovation



HEITZMAN RECREATION CENTER

DECEMBER 2020

PROPOSED CONSTRUCTION BUDGET AND FUNDING SOURCES:

\$2,163,475
Rebuild Philadelphia

Mini-Pitch Kit (approx. \$50,000) to be funded through US Soccer Foundation
Safe Places to Play Grant, EPYSA, and the Philadelphia Union Foundation (PUF)

SCHEDULE:

Bid Documents (December 2020)
Construction (January 2021 to July 2021)

PROJECT TEAM:

Project User - Impact Services
Project Manager/Civil Engineer - Rodriguez
Architect - OZ Collaborative
Landscape Architect - Ground Reconsidered
MEP - Sabir Richardson & Weisberg (SRW)
Cost Estimator - Promatech

EXISTING CONDITIONS



HEITZMAN RECREATION CENTER

EXISTING CONDITIONS



Swing sets were removed



Entry ramp does not meet code



Area at the back of the site needs a new, more active use

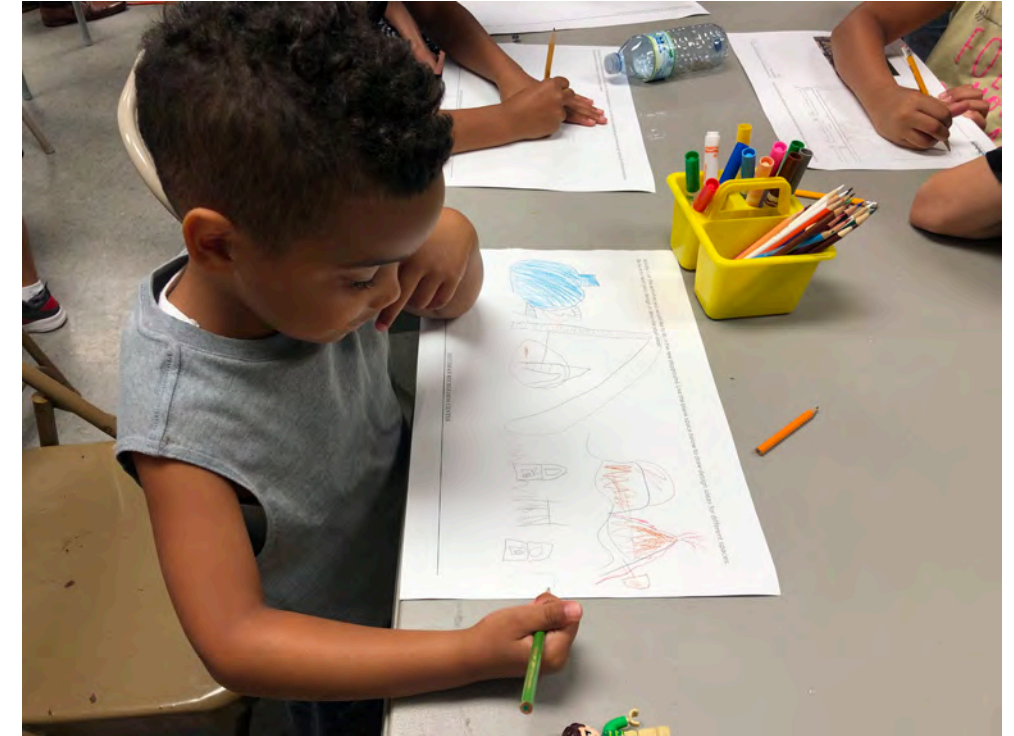
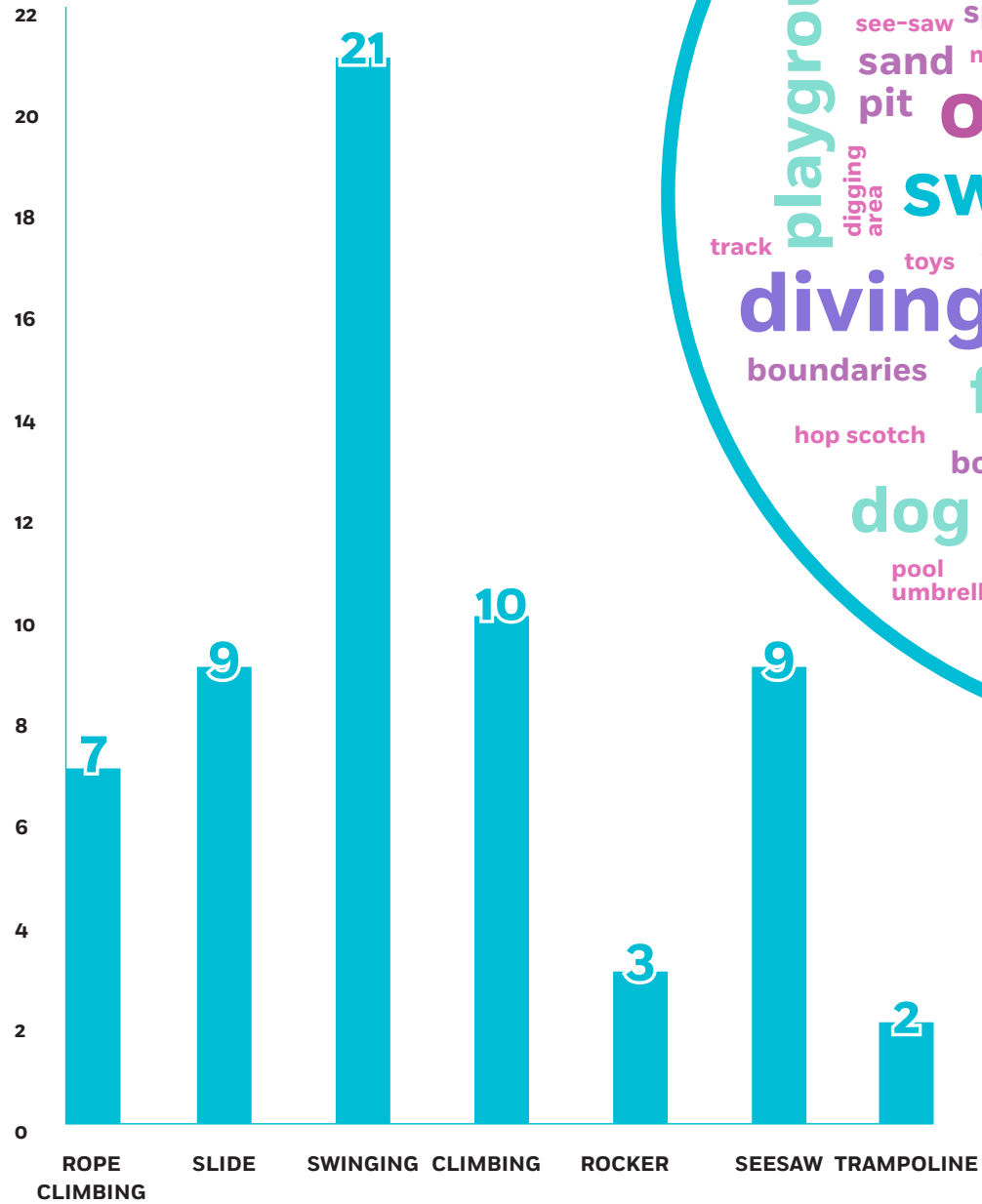
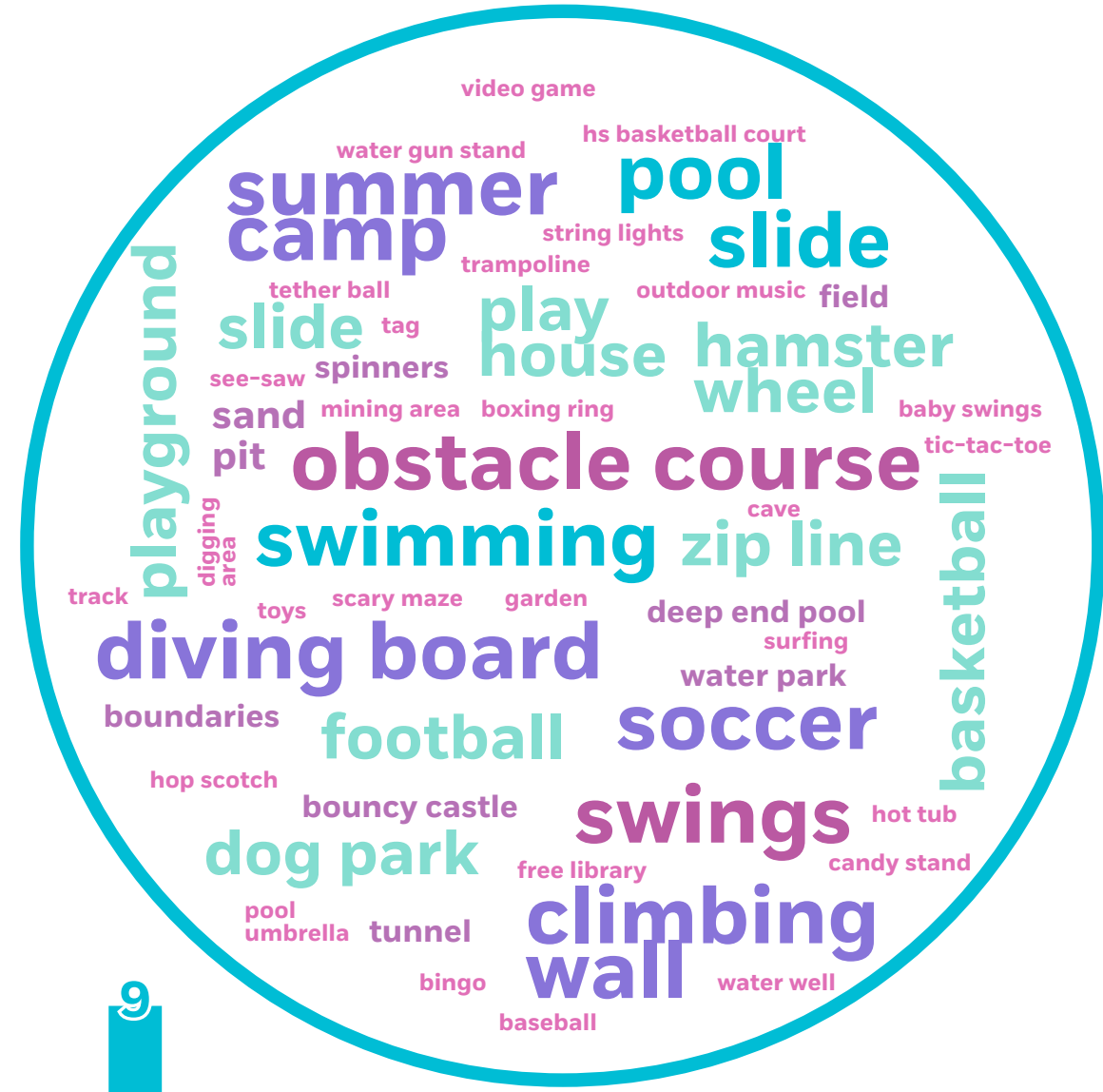


Play equipment is old and needs to be replaced



Basketball courts are popular and could use new surface paint

IMPACT SERVICES COMMUNITY OUTREACH



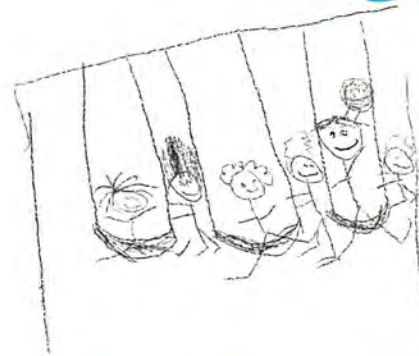
HEITZMAN RECREATION CENTER

IMPACT SERVICES COMMUNITY OUTREACH

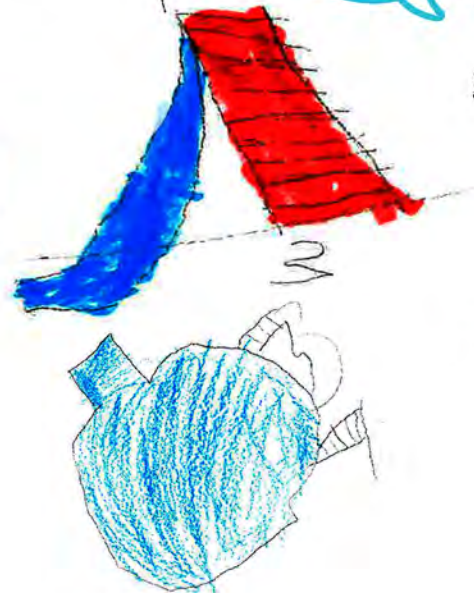
I like to climb and go down the slide.



I want more swings!



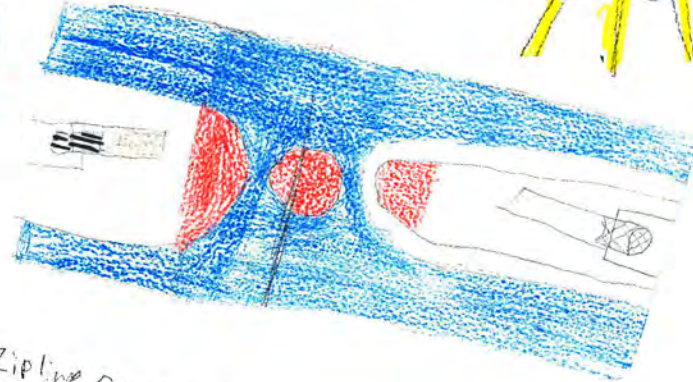
I want an obstacle course where I can do parkour



I like swimming in the pool with my friends.



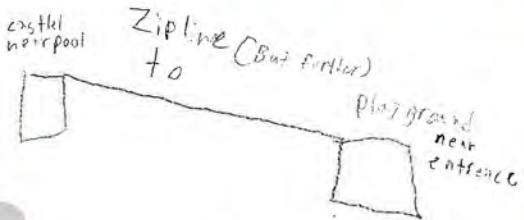
I want a higher fence so my ball does not go over.



I want to spin!



I like to hangout with my friends at summer camp



I want a playhouse where I can pretend to do hair



I like running and playing football.



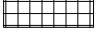


WHAT WE HEARD

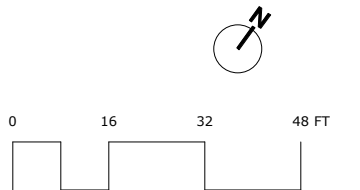
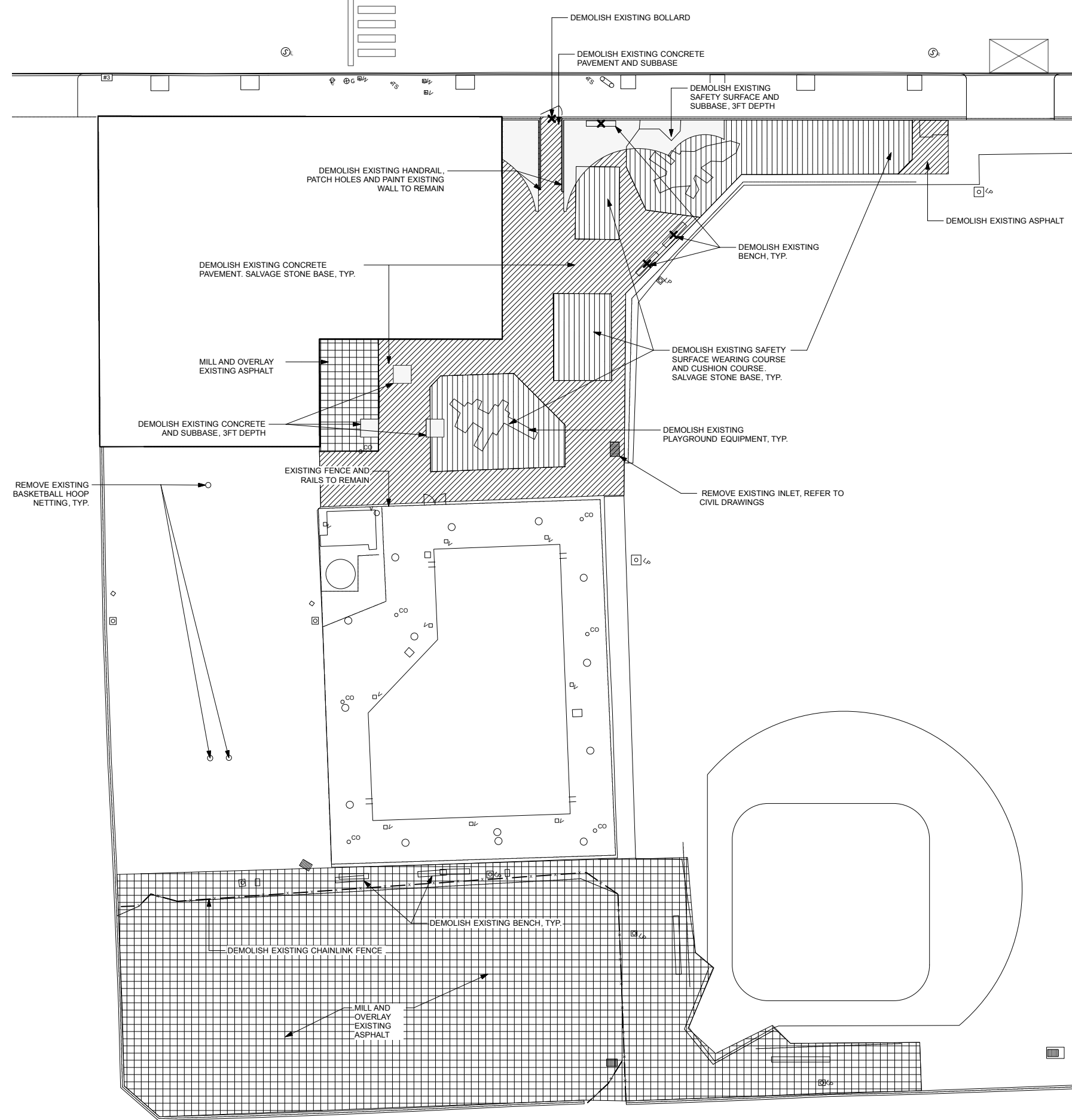
SUMMER CAMP PROGRAM

- We love swimming
- Playhouse
- Obstacle course
- Climbing
- Sports field
- Swinging

DEMOLITION PLAN

LEGEND


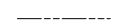






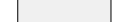
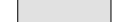

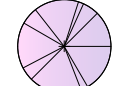
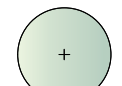
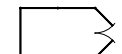




- LIMIT OF WORK
-  DEMOLISH CONCRETE PAVEMENT
SALVAGE STONE BASE
-  DEMOLISH RUBBER SAFETY SURFACE
SALVAGE STONE BASE
-  MILL AND OVERLAY ASPHALT PAVEMENT
-  DEMOLISH PAVEMENT AND STONE BASE, 3FT DEPTH
-  EXISTING STRUCTURE TO BE REMOVED



HEITZMAN RECREATION CENTER

PROPOSED SITE PLAN

LEGEND

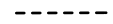
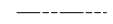






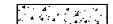
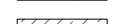
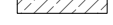




-  LIMIT OF WORK
-  SAFETY ZONE
-  CONCRETE CONTROL JOINT
-  CONCRETE EXPANSION JOINT
-  6" X 12" CONCRETE CURB
-  BONDED RUBBER SAFETY SURFACE COLOR 1
-  BONDED RUBBER SAFETY SURFACE COLOR 2
-  CONCRETE PAVING
-  ASPHALT PAVING
-  MILL AND OVERLAY ASPHALT PAVING
-  PLANTING
-  ORNAMENTAL TREE
-  SHADE TREE
-  TRASH ENCLOSURE FENCE AND GATE
-  BENCH
-  RECYCLING RECEPTACLE
-  TRASH RECEPTACLE
-  GAME TABLE

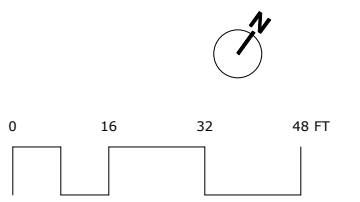
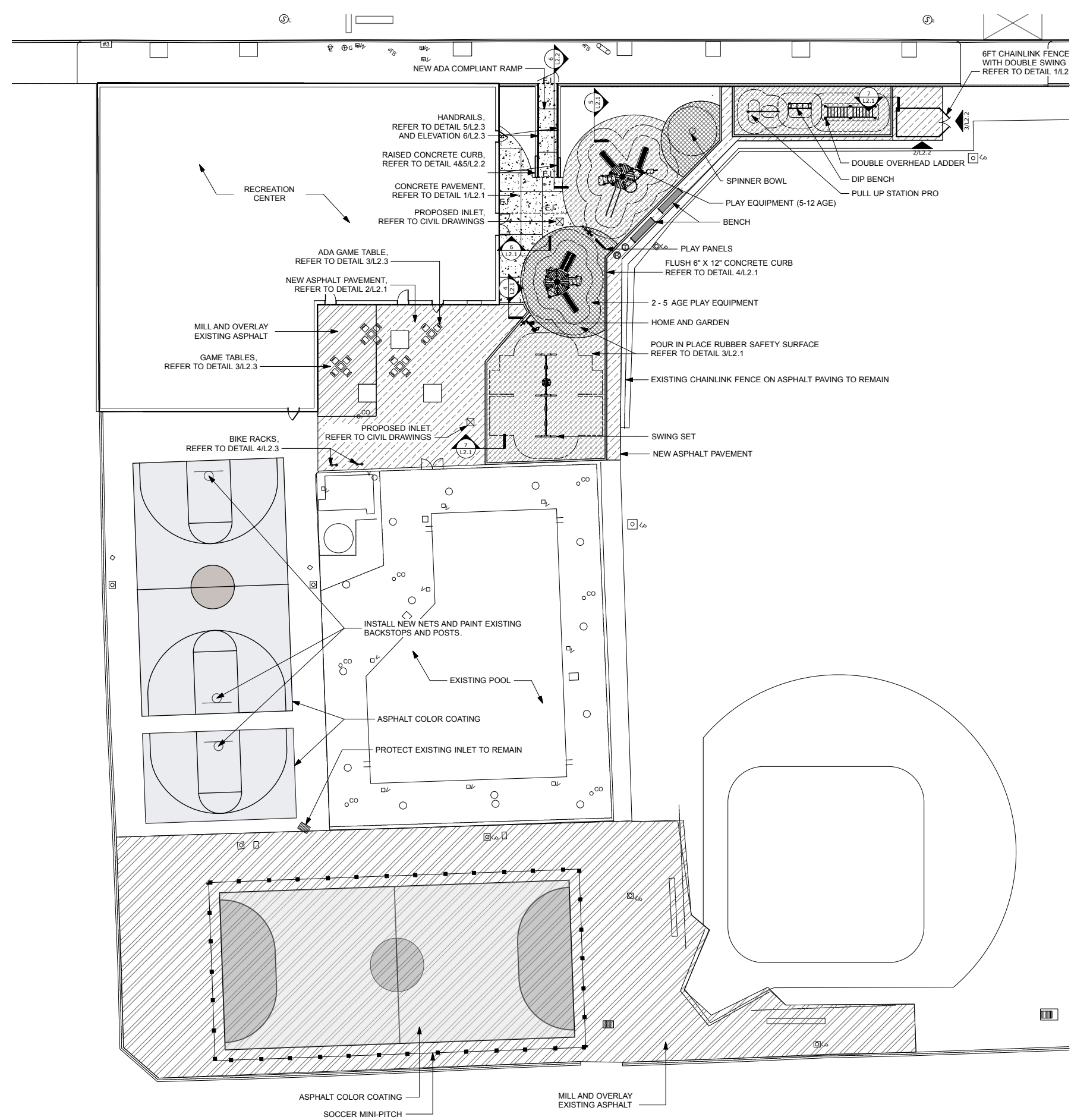


HEITZMAN RECREATION CENTER

MATERIALS PLAN

LEGEND

-  LIMIT OF WORK
-  SAFETY ZONE
-  CONCRETE CONTROL JOINT
-  CONCRETE EXPANSION JOINT
-  6" X 12" CONCRETE CURB
REFER TO DETAIL 4/L-2.1
-  BONDED RUBBER SAFETY SURFACE COLOR 1
REFER TO DETAIL 3/L-2.1
-  BONDED RUBBER SAFETY SURFACE COLOR 2
REFER TO DETAIL 3/L-2.1
-  CONCRETE PAVING
REFER TO DETAIL 1/L-2.1
-  ASPHALT PAVING
REFER TO DETAIL 2/L-2.1
-  MILL AND OVERLAY ASPHALT PAVING
-  TRASH ENCLOSURE FENCE AND GATE
REFER TO DETAIL 1/L-2.2
-  BENCH
REFER TO DETAIL 1/L-2.3
-  RECYCLING RECEPTACLE
REFER TO DETAIL 2/L-2.3 SIM
-  TRASH RECEPTACLE
REFER TO DETAIL 2/L-2.3
-  GAME TABLE
REFER TO DETAIL 3/L-2.3



HEITZMAN RECREATION CENTER

SITE FURNISHINGS



PPR standard game table - 3-seat and 4-seat options proposed



PPR standard trash receptacle

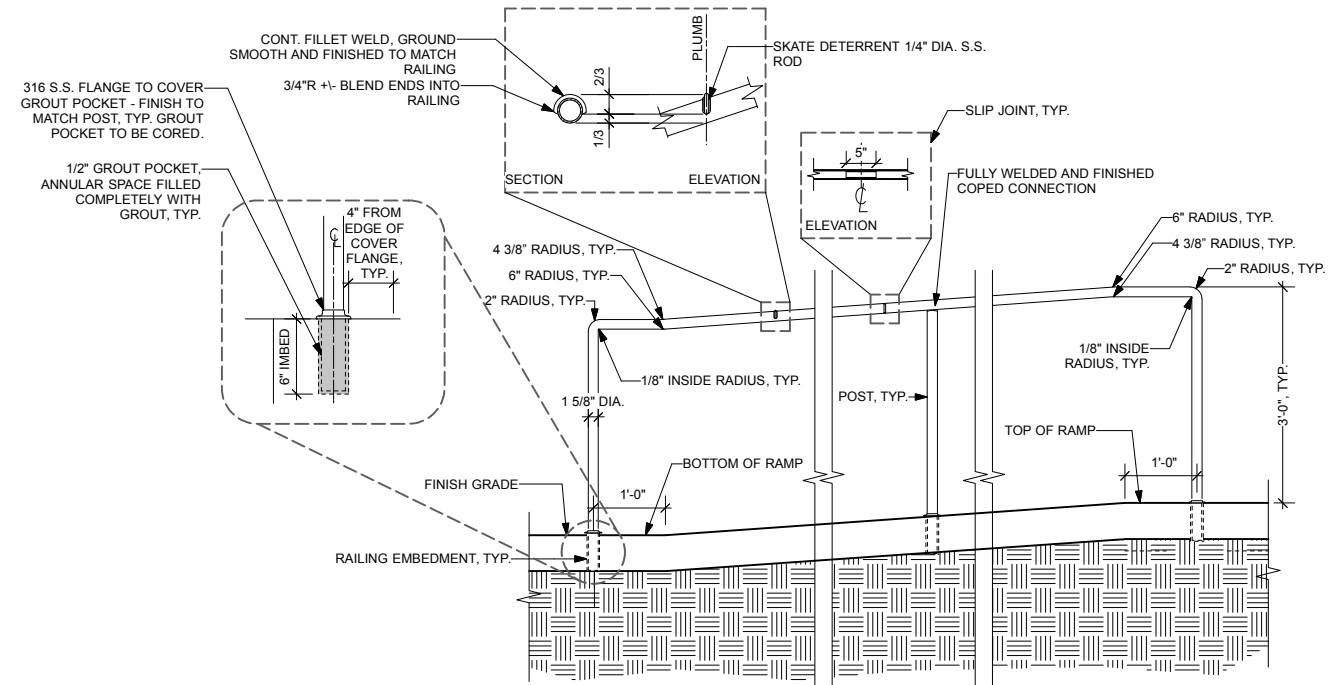


PPR standard recycling receptacle

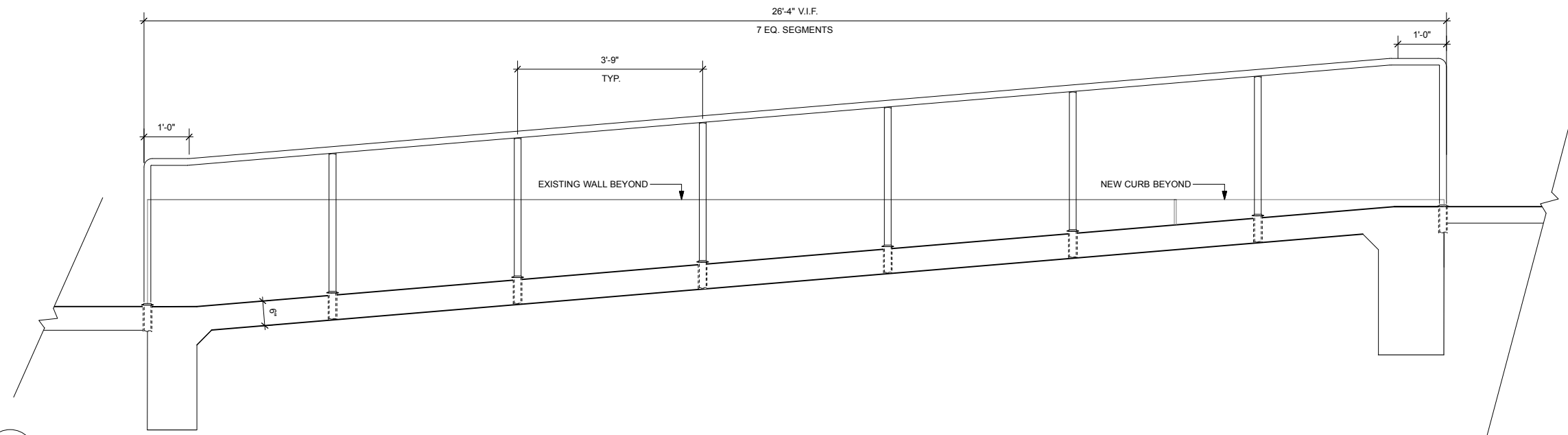


PPR standard bench - color will be Black

SITE FURNISHINGS



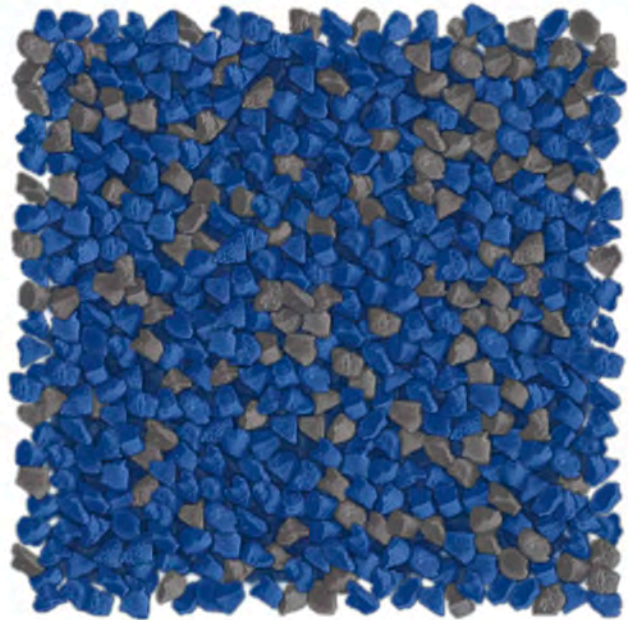
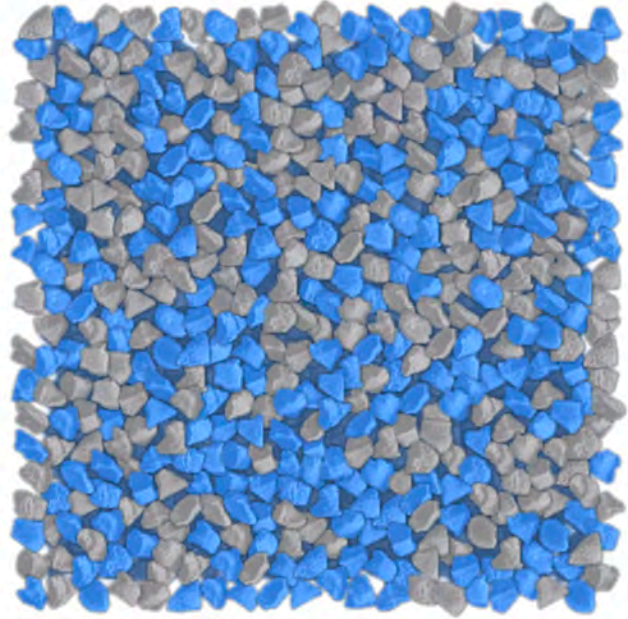
5 RAMP HANDRAIL
Scale: 3/4" = 1'-0"



6 HANDRAIL ELEVATION
Scale: 3/4" = 1'-0"

New accessible ramp with handrail at entrance to the site from the sidewalk

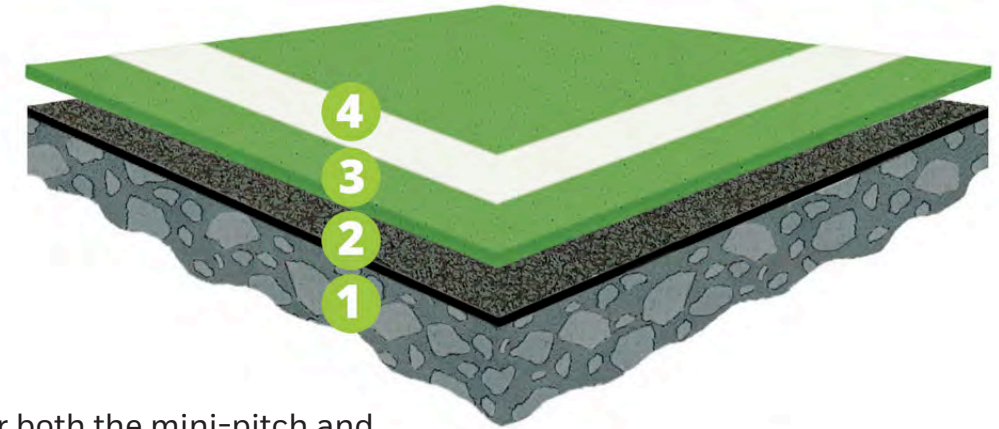
SITE MATERIALS



Poured-In-Place safety surface for playgrounds. Design has Light blue and Dark Blue Areas.



Former hockey court at back of site will be turned in to a soccer mini-pitch. The mini-pitch system will have surrounding low metal walls, entry gates, and goals as shown.



Surfacing for both the mini-pitch and the basketball court will be Plexi-Pave.

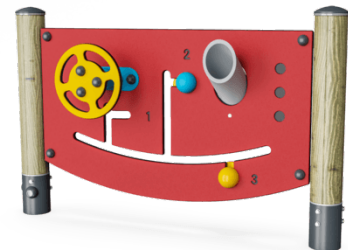
Diagram not to scale

1. Concrete or Asphalt
2. Acrylic Resurfacer
Acrylic Resurfacer blended with approved silica sand.
3. Plexipave®
Sand-fortified Plexipave® color provides a uniform surface texture and determines the speed of play and traction of the court
4. Line Paint
A heavy bodied acrylic latex

2-5 PLAY EQUIPMENT



Home & Garden Play Station



Manipulative Play Panel



Music Play Panel

Manufacturer: Kompan



1 Double Slide



2 Rock Climber



3 Play Table & Seats



4 Curly Climber



5 Xylophone Panel



6 Tic-Tac-Toe Panel

5-12 PLAY EQUIPMENT



Manufacturer: Kompan



ADULT FITNESS EQUIPMENT



Double Overhead Ladder

Manufacturer: Kompan

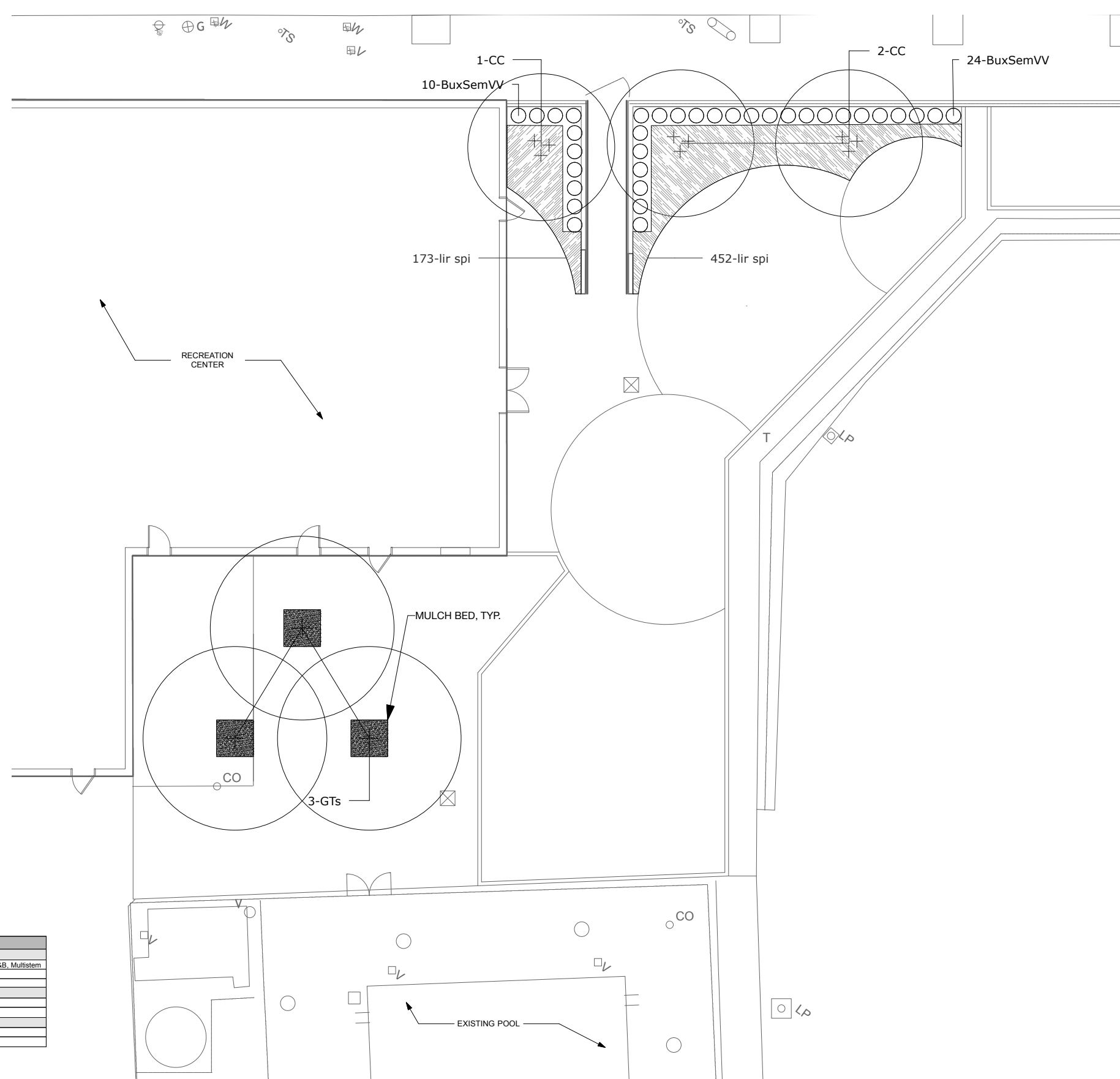


Pull-Up Station Pro



Dip Bench

PLANTING PLAN



Plant Schedule

Qty	Id	Botanical Name	Common Name	Size	Spacing	Notes
Trees						
3	CC	<i>Cercis canadensis</i>	Eastern Redbud	10'-12' ht.	As Shown	Specimen Quality, B&B, Multistem
3	GTs	<i>Gleditsia triacanthos inermis</i> 'Skyline'	Skyline Honeylocust	3" cal. min.	As Shown	Specimen, B&B
Shrubs						
34	BuxSemVV	<i>Buxus sempervirens</i> 'Vardar Valley'	Common Boxwood	#5	=As Shown	
Grasses						
625	lir spi	<i>Liriope spicata</i>	Creeping Lilyturf	#1	12" o.c.	3-5 eye division min.

PLANTING



Eastern Redbud at entrance to site



Skyline Honeylocust at sitting area between building and pool



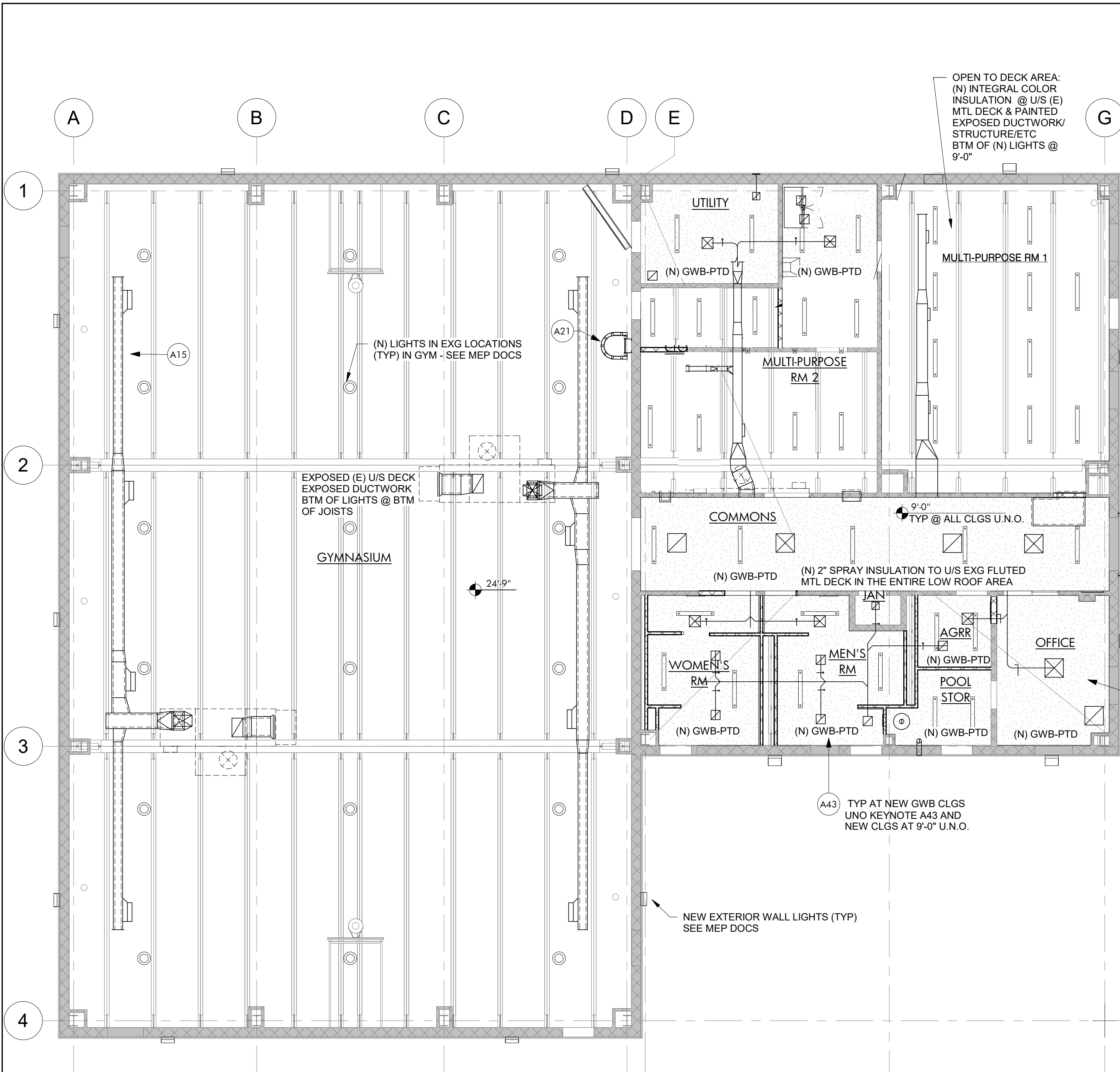
Boxwood (low shrub) at entrance to site



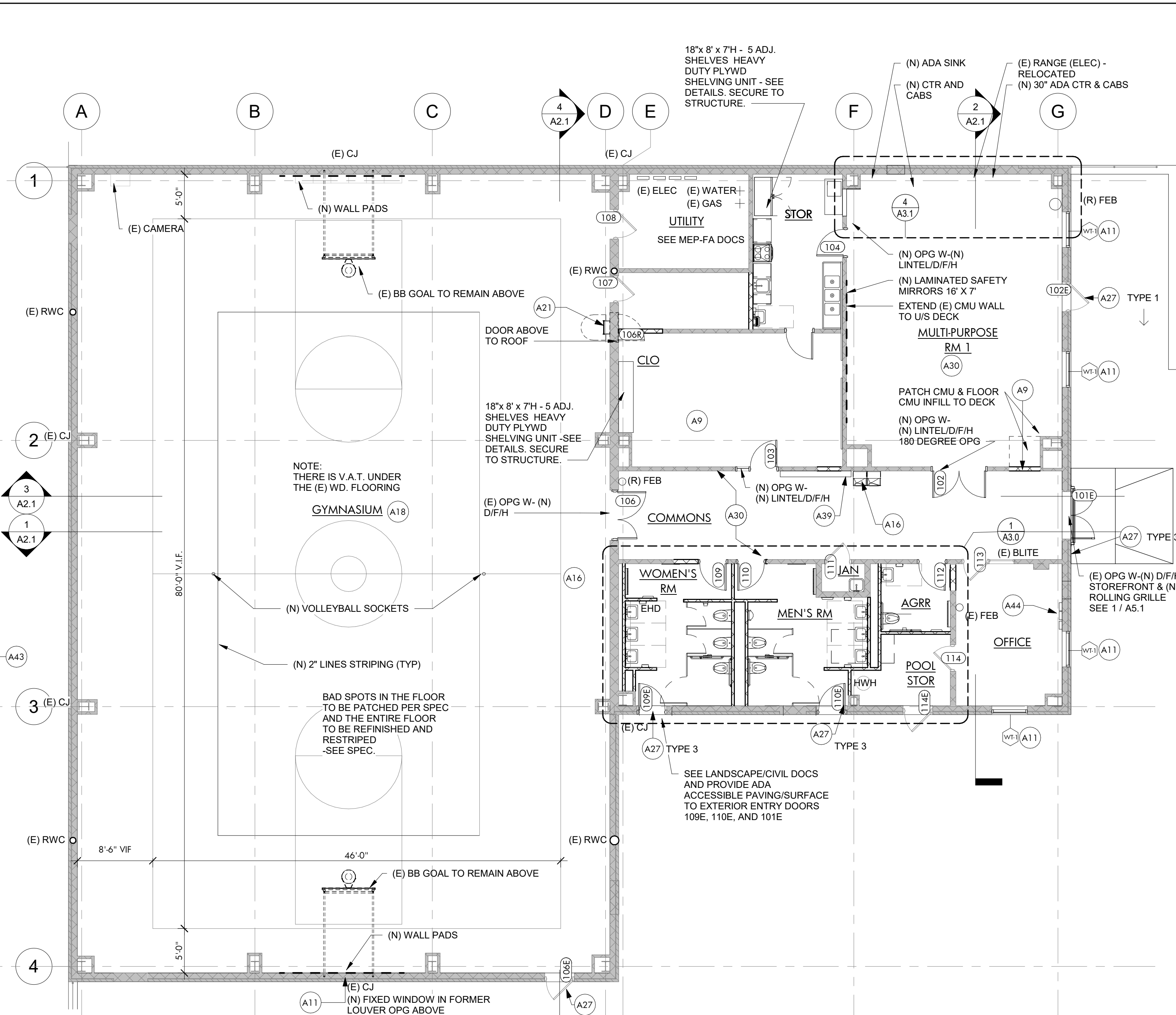
Liriope (low maintenance groundcover) at entrance to site



HEITZMAN RECREATION CENTER



2 RC PLAN
1/8" = 1'-0"



1 FLOOR PLAN
1/8" = 1'-0"

Key#	Keynote Text
A2	TO BE PAINTED, PREP. SEE SPEC AND FINISH SCHEDULE
A9	PROVIDE NEW INFILL - MATCH EXISTING ADJACENT AND TOOTH IN MASONRY
A11	PROVIDE NEW FIXED WINDOW - ALUM. STOREFRONT WITH NEW PROTECTIVE GRILLE - SEE DETAILS AND SPEC
A15	NEW DUCTWORK/DEVICES/GRD'S - SEE MEP DOCS
A16	NEW PLUMBING FIXTURE - SEE MEP DOCS
A18	ASSESS & REPAIR GYMNASIUM FLOOR DEAD SPOTS, PROVIDE NEW SET OF VOLLEYBALL SOCKETS, AND REFINISH & RESTRIPE FLOOR FOR BASKETBALL, INDOOR SOCCER, AND VOLLEYBALL - SEE SPEC
A21	PROVIDE NEW FIXED LADDER WITH CAGE AND CLOSURE AT BTM OF CAGE AND AT RUNGS - SEE SPEC
A27	PROVIDE NEW ADA SIGN
A30	PATCH/REPAIR AND PREPARE FOR NEW FINISHES
A39	RELOCATE SALVAGE DISPLAY BOARD/CASE HERE
A43	PROVIDE GWB CEILING 5/8" ABUSE RESIST (TYP) ON SUSPENDED GRID SYSTEM - PTD
A44	RELOCATE PANELS HERE - SEE MEP DOCS

NO.	REVISIONS	DATE	BY

SEAL

SIGNATURE

Prepared For:

Jobs. Homes. Community.

1952 E. Alleghiant Ave.
Philadelphia, PA 19134
Phone: (215) 739-1600
info@impactservices.org
www.impactservices.org

Prepared By:

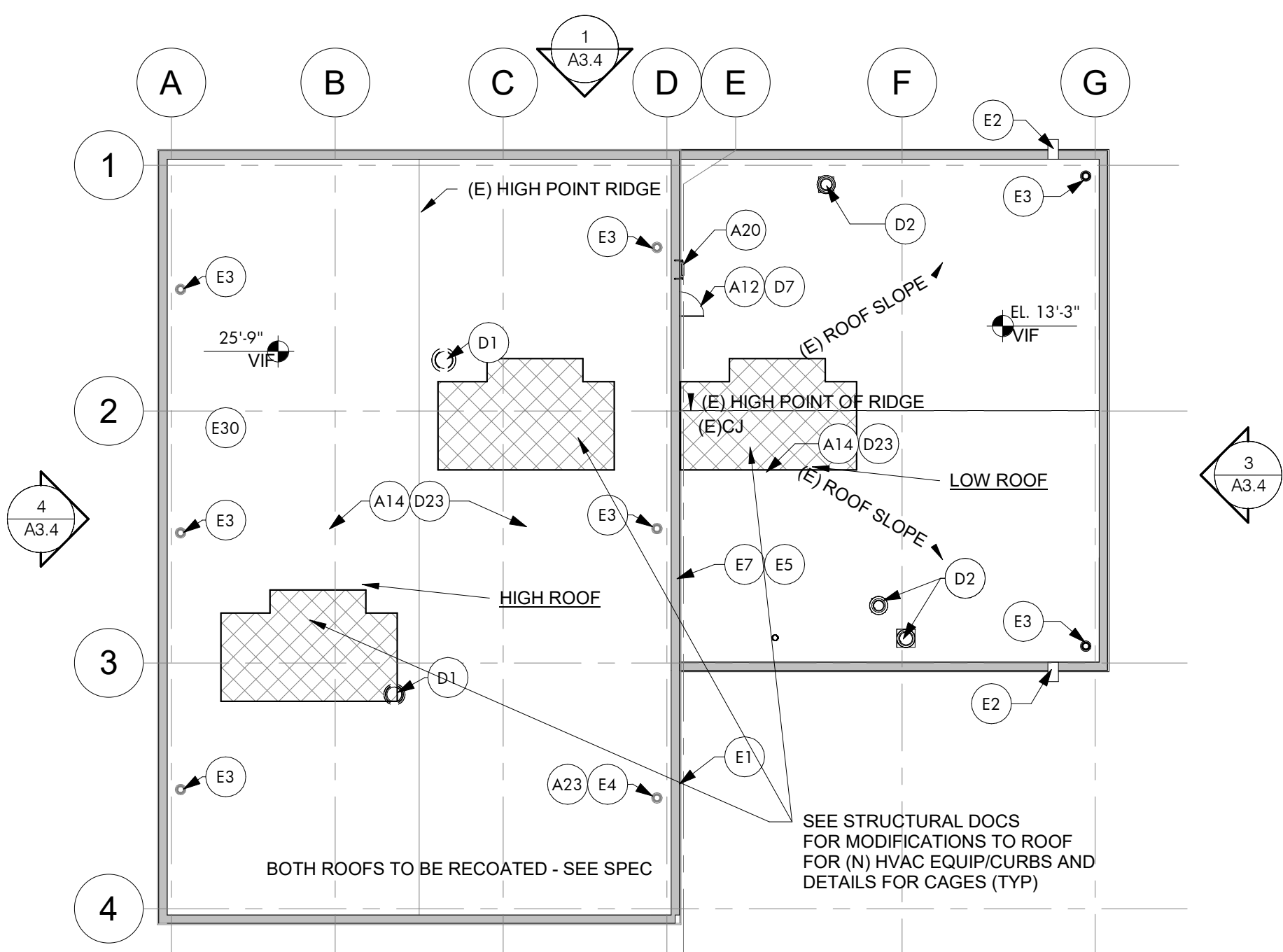
4818 Baltimore Ave.
Philadelphia, PA 19143
Phone: (215) 386-8191
www.ozcollaborative.com

HEITZMAN RECREATION CENTER

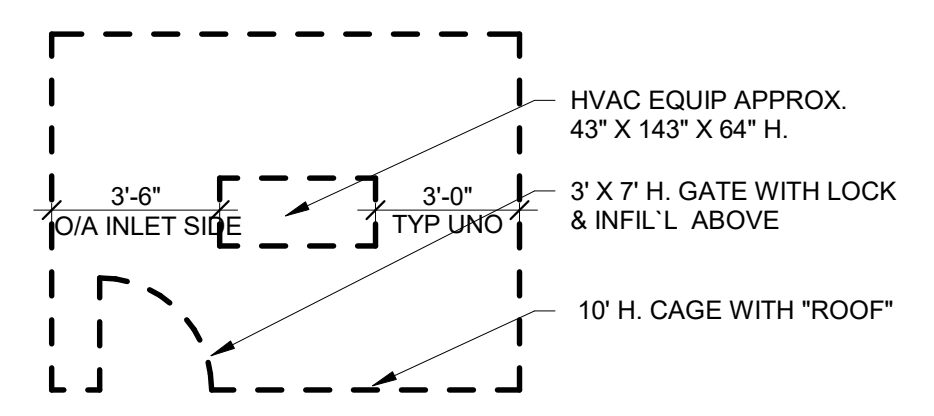
IMPACT - REBUILD

NEW WORK FLOOR & CEILING PLANS

Scale: 1/8" = 1'-0"
Sheet Issued Date: 11/24/2020
Drawn/Checked By: Author / Checker
Project Address:
2136 Castor Ave.
Philadelphia, PA 19134
Municipality: CITY OF PHILADELPHIA
Project Number: 311.00
Drawing Number: **A1.1**



5 ROOF PLAN
1/16" = 1'-0"



NO HVAC EQUIP OR ELEMENTS ARE TO BE PLACED WITHIN TEN (10) FEET OF THE ROOF EDGE UNLESS PROTECTED WITHIN THE CAGE AND THE GATE AND ACCESS PATH IS MORE THAN 10' FROM THE EDGE.
PRECISE LOCATION OF CAGE & GATE TBD WHEN FINAL HVAC EQUIP IS APPROVED

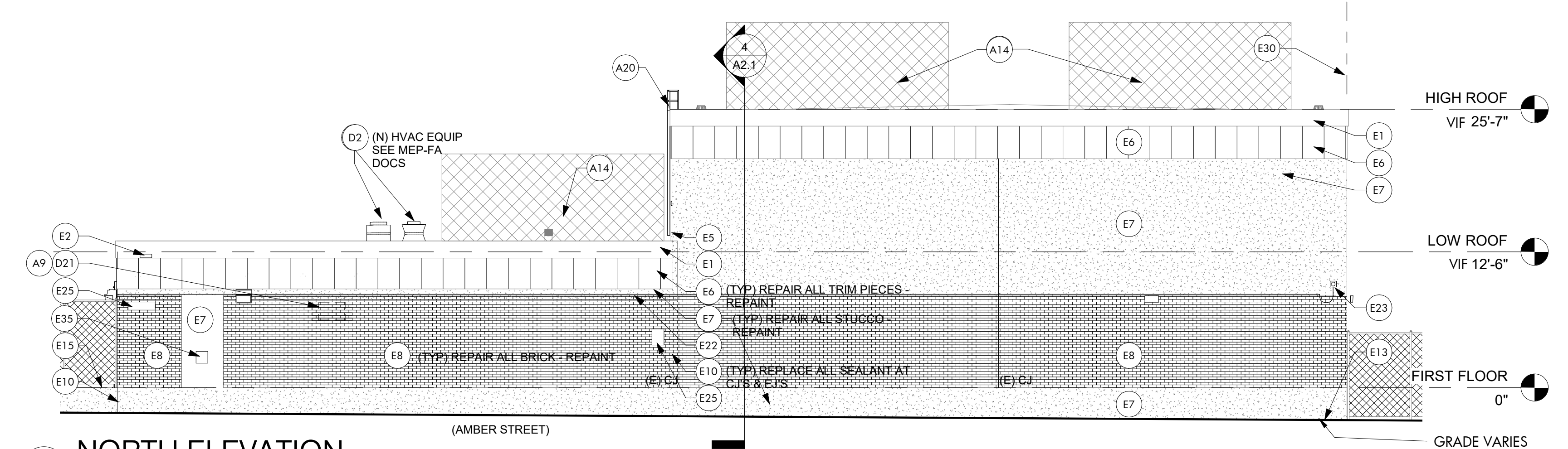
6 HVAC ROOF CAGES
1/4" = 1'-0"

Key#	Keynote Text
E1	(E) COPING - ETR UNO, PROTECT
E2	(E) SCUPPER - ETR UNO, PROTECT
E3	(E) ROOF DRAIN AND COVER - ETR UNO, PROTECT
E4	(E) ROOF DRAIN WITHOUT COVER - TO BE REPLACED
E5	(E) FLASHING - ETR UNO, PROTECT
E6	(E) METAL PANEL FASCIA - ETR UNO, PROTECT
E7	(E) STUCCO - ETR UNO, PROTECT
E8	(E) PAINTED BRICK - ETR UNO, PROTECT
E9	(E) UNPAINTED BRICK - ETR UNO, PROTECT
E10	(E) CONTROL JOINT (CJ) - ETR UNO, PROTECT
E11	(E) DOOR/FRAME/HARDWARE - ETR UNO, PROTECT
E12	(E) SIDEWALK - ETR UNO, PROTECT
E13	(E) CHAIN LINK FENCE - ETR UNO, PROTECT
E14	(E) RETAINING WALL - ETR UNO, PROTECT
E15	(E) DEVICE - ETR UNO, PROTECT
E16	(E) WIRES ATTACHMENT - ETR UNO, PROTECT
E17	(E) THROUGH BOLT ATTACHMENT(S) - ETR UNO, PROTECT
E18	(E) LIGHT - ETR UNO, PROTECT
E19	(E) CONDUIT - ETR UNO, PROTECT
E20	(E) CAMERA - ETR UNO, PROTECT
E21	(E) ANTENNA - ETR UNO, PROTECT
E22	(E) SIGN - ETR UNO, PROTECT
E23	(E) DISPLAY CASE - ETR UNO, PROTECT
E24	(E) CRACKS - ETR UNO
E25	(E) ADJACENT PROPERTY PARKING LOT - ETR UNO, PROTECT
E26	(E) TREE BRANCHES THIS SIDE OF THE PROPERTY LINE TO BE REMOVED - SEE SPEC
E27	(E) NEEDLE DROP BOX - ETR UNO, PROTECT

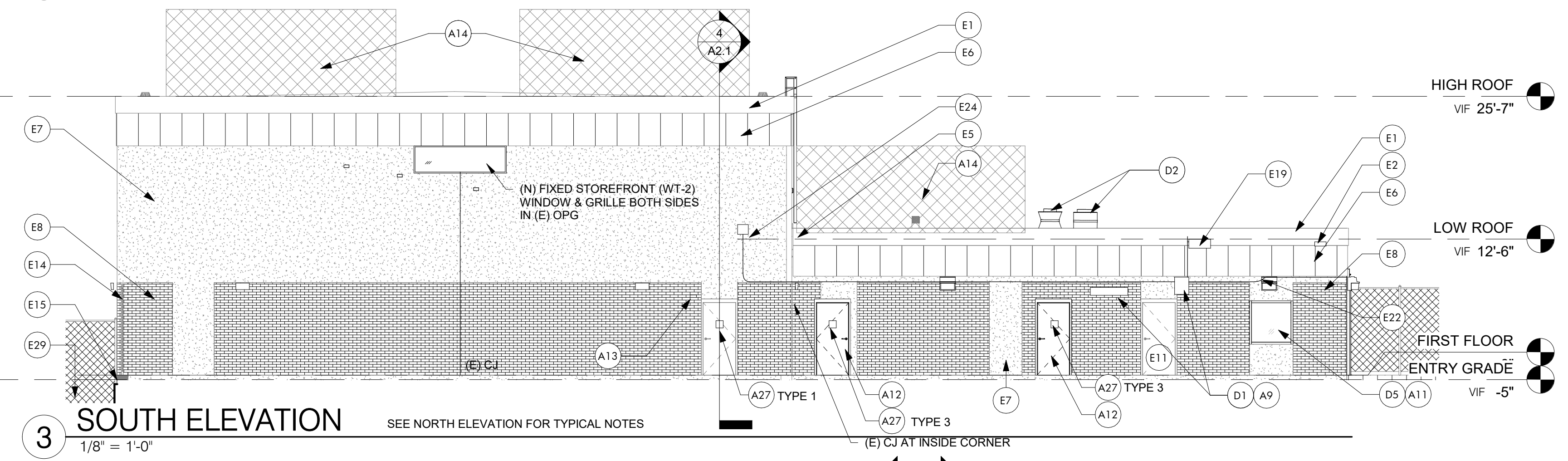
ELEVATION NOTES
1. REPAIR/REPLACE METAL FASCIA & TRIM PIECES U.N.O.
2. REPAIR MASONRY CRACKS/ DAMAGED AREAS
3. REMOVE/ REPLACE JOINT SEALANT AT CJS & EJS
4. PREP AND REPAIR WHOLE BUILDING EXTERIOR EXCEPT UNPAINTED MASONRY
5. RECOAT BOTH ROOFS - SEE SPEC

Key#	Keynote Text
A9	PROVIDE NEW INFILL - MATCH EXISTING ADJACENT AND TOOTH IN MASONRY
A11	PROVIDE NEW FIXED WINDOW - ALUM. STOREFRONT WITH NEW PROTECTIVE GRILLE - SEE DETAILS AND SPEC
A12	PROVIDE NEW DOOR/FRAME/ AND/OR HARDWARE - SEE SCHEDULE AND SPEC
A13	NEW LIGHT WALL MOUNTED - SEE MEP DOCS
A14	NEW HVAC EQUIPMENT, CURB, ETC. AND CAGE/PROTECTION - SEE MEP DOCS
A20	PROVIDE NEW FIXED METAL LADDER - SEE SPEC
A23	REPLACEMENT ROOF DRAIN COVER - SEE MEP DOCS
A27	PROVIDE NEW ADA SIGN

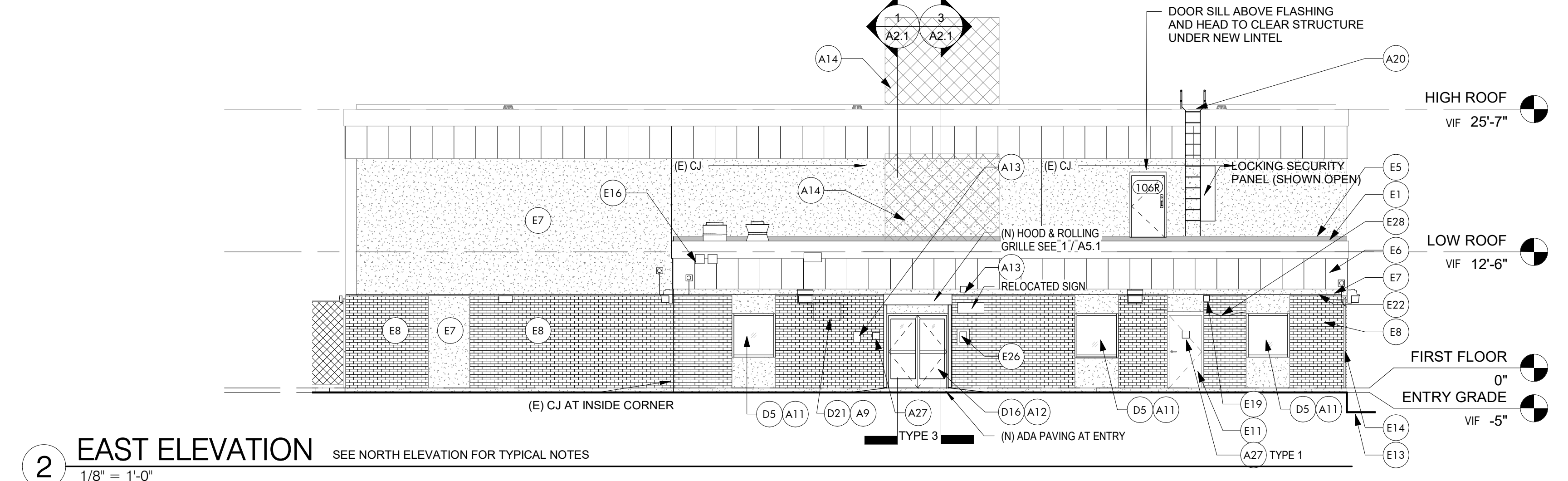
Key#	Keynote Text
D1	(D) ITEM/DEVICE/FIXTURE AND PATCH TO MATCH ADJACENT - SEE MEP DOCS
D2	(D) WALL INFILL AND PREP OPENING FOR NEW DOOR OR NEW WINDOW FRAME @ EXISTING OPENING WITH EXISTING LINTEL
D7	(D) WALL INFILL & PORTION OF WALL AND PREP OPENING FOR NEW DOOR AND NEW LINTEL(S) & TOOTH IN FINISHED SIDES OF NEW MASONRY
D16	(D) DOOR/FRAME/HARDWARE
D21	(D) THROUGH WALL AIR CONDITIONER/FRAME/CAGE AND DELIVER SALVAGE AIR CONDITIONER TO OWNER
D23	(D) PORTION OF ROOFING/DECK TO FORM NEW OPENING FOR HVAC CURB MOUNTED EQUIPMENT



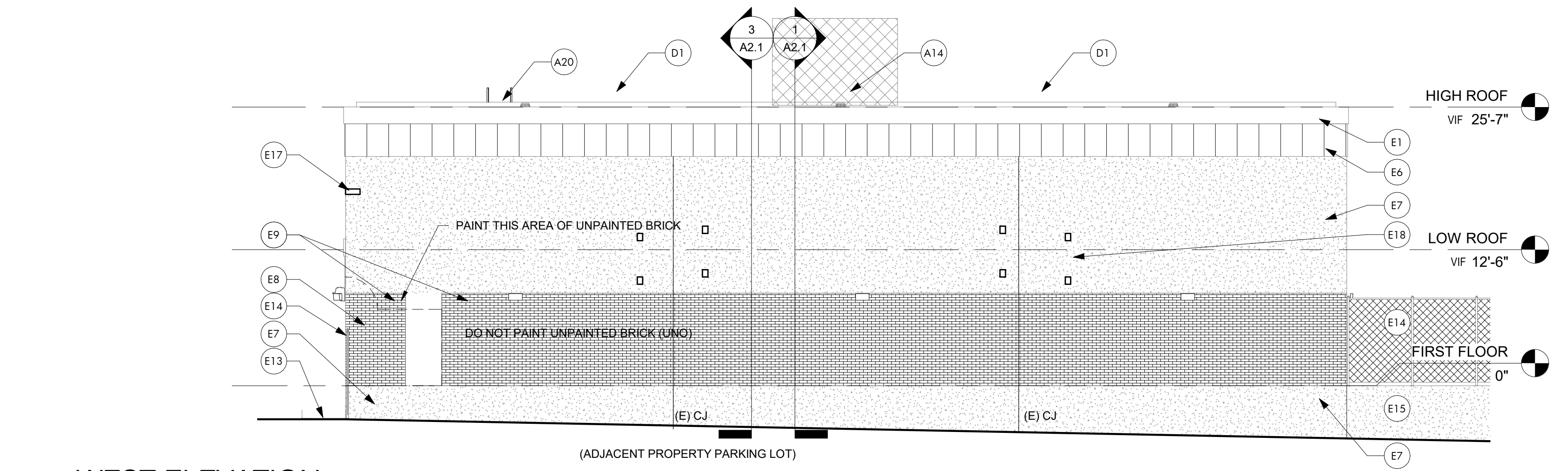
4 NORTH ELEVATION
1/8" = 1'-0"
TYPICAL NOTES ON THIS FACADE APPLY TO THE WHOLE BUILDING



3 SOUTH ELEVATION
1/8" = 1'-0"
SEE NORTH ELEVATION FOR TYPICAL NOTES



2 EAST ELEVATION
1/8" = 1'-0"
SEE NORTH ELEVATION FOR TYPICAL NOTES



1 WEST ELEVATION
1/8" = 1'-0"
SEE NORTH ELEVATION FOR TYPICAL NOTES

NO.	REVISIONS	DATE	BY

SEAL

SIGNATURE

Prepared For:

IMPACT
Jobs. Homes. Community.

1952 E. Alleghiant Ave.
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info@impactservices.org
www.impactservices.org

Prepared By:

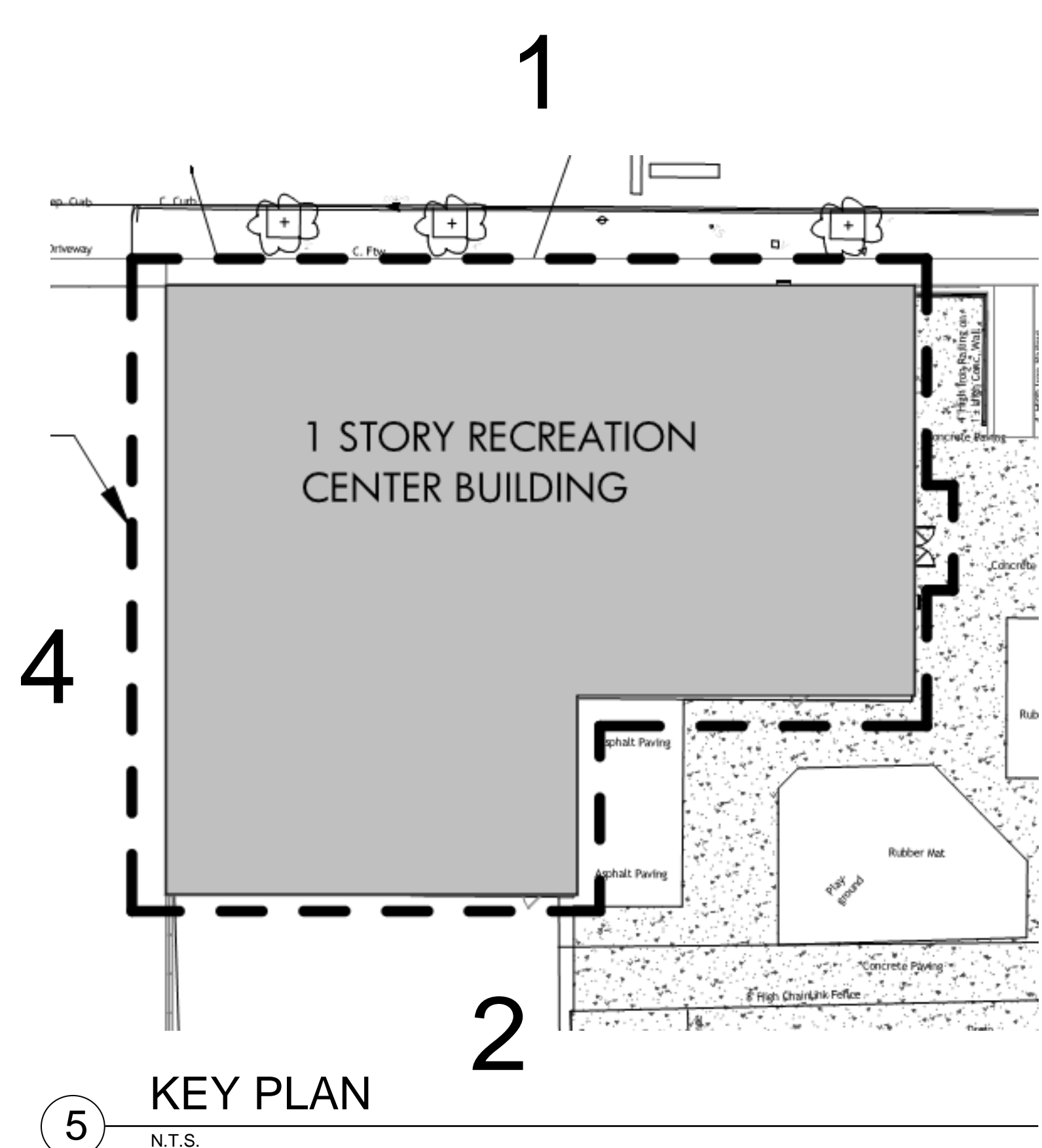
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www.ozcollaborative.com

HEITZMAN RECREATION CENTER

IMPACT - REBUILD

BUILDING ELEVATIONS & ROOF PLAN

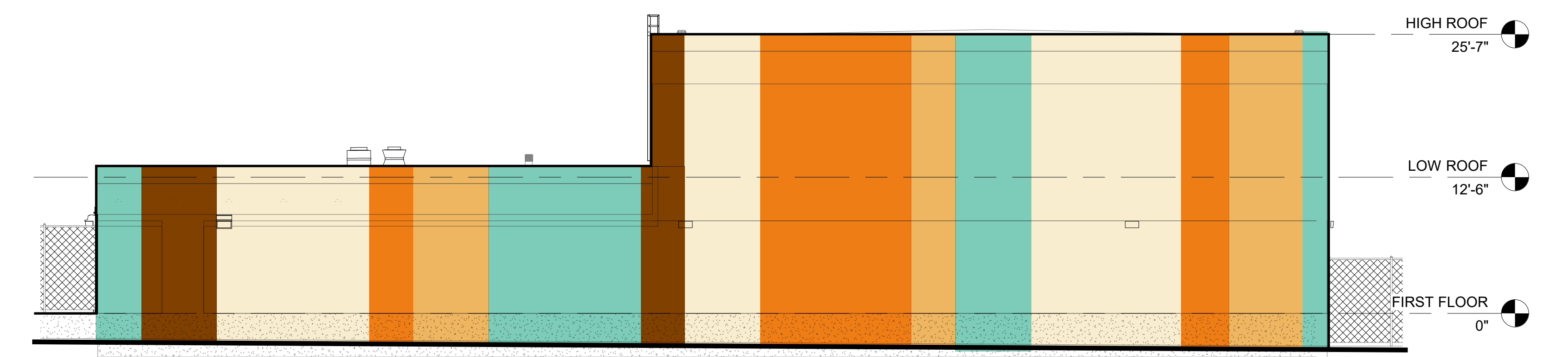
Scale: As indicated
Sheet Issued Date: 11/24/2020
Drawn/Checked By: Author/ Checker
Project Address:
2136 Castor Ave.
Philadelphia, PA 19134
Municipality: CITY OF PHILADELPHIA
Project Number: 311.00
Drawing Number: **A2.0**



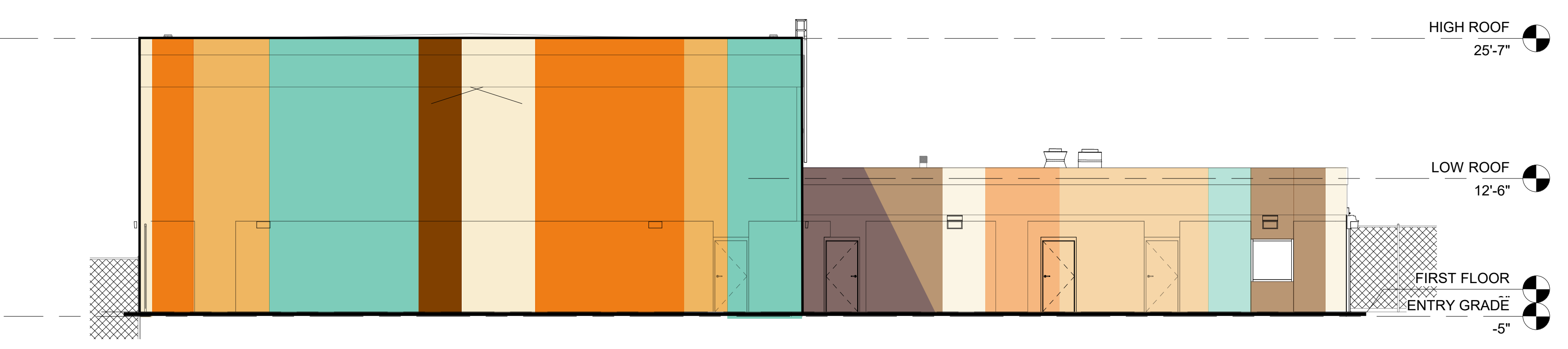
5 KEY PLAN
N.T.S.

The Painting Scheme is inspired by the idea of rhythmically dense music, specifically Afro-Cuban music like Salsa or Samba which incorporate the 'CLAVE'. The Clave, (which is Spanish for Key), includes a 5-beat rhythm that is at the root of virtually all Latin Afro-Cuban Music. For the Heitzman Rec Center painting scheme, the five beats of the Clave are represented in the five compatible colors selected. The five colors are layered over the building in vertical stripes of three varying widths, 4 feet, 7 feet and 14 feet, which repeat themselves as it wraps around the building. The layering of the five colors and the three varying widths produces playful and complex compositions as the pattern wraps around the building, not unlike the layering of percussion beats incorporating the rhythms of the Clave.

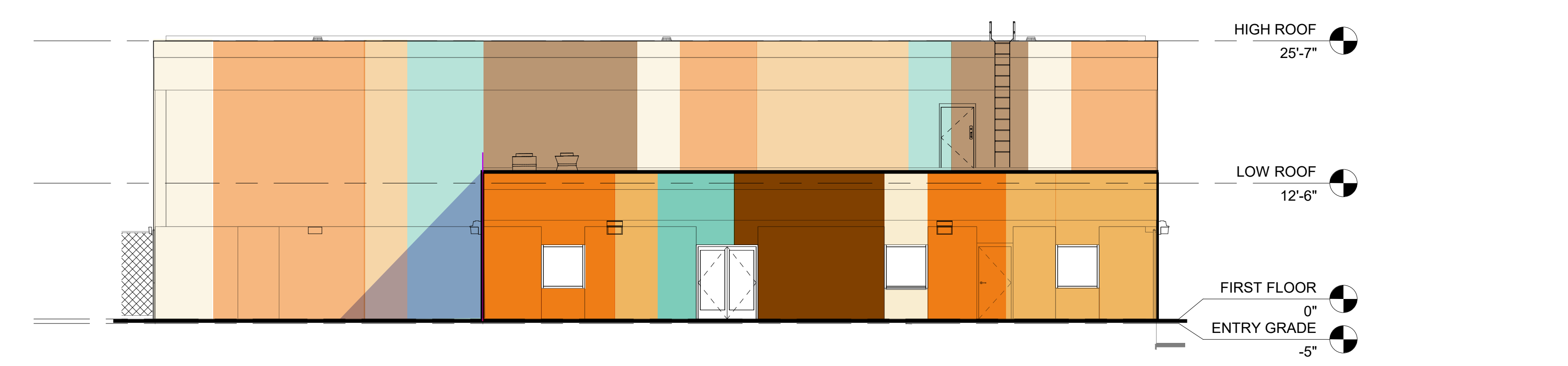
BLANK SPACE FOR CITY OF PHILADELPHIA E-PERMIT STAMPS



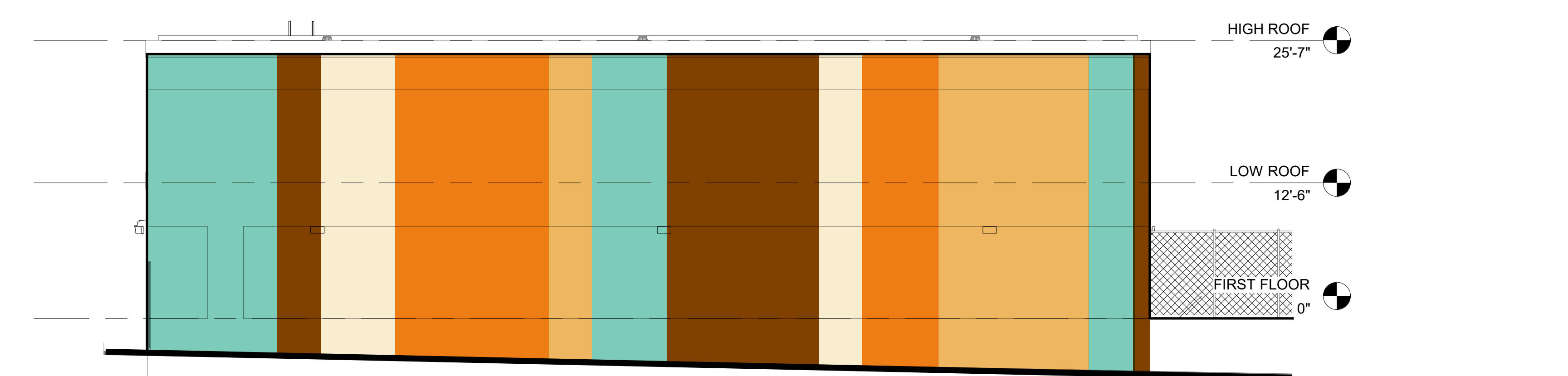
1 NORTH ELEVATION COLOR
1/8" = 1'-0"



2 SOUTH ELEVATION COLOR
1/8" = 1'-0"



3 EAST ELEVATION COLOR
1/8" = 1'-0"



4 WEST ELEVATION COLOR
1/8" = 1'-0"

NO.	REVISIONS	DATE	BY

SEAL

SIGNATURE

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HEITZMAN RECREATION CENTER
IMPACT - REBUILD

EXTERIOR PAINTING SCHEME

Scale: 1/8" = 1'-0"
 Sheet Issued Date: 11/24/20
 Drawn/Checked By: Author/ Checker
 Project Address:
 2136 Castor Ave.
 Philadelphia, PA 19134
 Municipality: CITY OF PHILADELPHIA
 Project Number: 311.00

Drawing Number:
A3.4