

ADDRESS: 502 WOOD ST

Proposal: Construct six-story multi-family residential apartment building

Review Requested: Review and Comment

Owner: Wood Street Associates LP

Applicant: Richard Stewart, JKRP Architects

History: vacant lots

Individual Designation: None

District Designation: Old City Historic District, Non-Contributing, 12/12/2003

Staff Contact: Megan Cross Schmitt, megan.schmitt@phila.gov

BACKGROUND:

This Review and Comment application proposes to construct a six-story multi-family apartment building on several vacant, undeveloped parcels within the Old City Historic District. The lots at 313, 315 and 317 N. Randolph Street; 504-08 Wood Street; and 312, 314, 316 and 318 N. 5th Street will be consolidated as 502 Wood Street.

SCOPE OF WORK:

- Construct six-story multi-family apartment building.

STANDARDS FOR REVIEW:

The Historical Commission has review-and-comment jurisdiction over this site. The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
 - The design of this building does not relate to the context of the Old City Historic District. The building is to be clad in metal panels of various shades of grey and one described as having a "wood look."
 - The materials and rhythm of the fenestration do not appear to reference any of the architecture seen within the Old City Historic District. In this regard, the design is differentiated from the historic fabric, however it fails to achieve the compatibility that is required by this standard.
- *Standard 10: New additions and adjacent or related new construction will be undertaken in a manner such that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*
 - As the lots are currently vacant, there would be no adverse impact on the surrounding buildings or on the historic district if this property were to be removed in the future.

STAFF COMMENT: The proposed new construction is not compatible with the historic district and does not satisfy Standard 9.



Dr. Jon Farnham
Executive Director
Philadelphia Historical Commission
1515 Arch St. 13th Floor
Philadelphia, PA 19102
jon.farnham@phila.gov

Re: Request for Staff Review: 502 Wood Street, Parcel A

Dr. Farnham:

Please accept this request for a review by the Historical Commission for the proposed development located at 502 Wood Street. This property is located within the Old City Historic District, within the Commission's jurisdiction and constitutes a non-contributing property. The site is currently used as an open-air parking lot.

This development proposes the erection of a new 55,470 sq.ft., 6-story multi-family building with containing 50 residential units, and parking for 11 vehicles and 2 Car Share spaces (as shown on the enclosed plans). Also attached is a copy of the building permit application and well as the other documentation submitted to Licenses and Inspections as part of our building permit application.

We respectfully request that this review be expedited, if at all possible, as you certainly understand the impacts of the expiration of the Tax Abatement program at the end of this year, and the need to have building permits, in hand, in order to qualify for that program.

Please do not hesitate to contact us is further information or documentation is necessary.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Stewart'.

Richard Stewart, AIA
Principal
rstewart@jkrparchitects.com

Cc: preservation@phila.gov



PHOTO 01



PHOTO 02



SITE PLAN

H1.1 – SITE CONTEXT – WOOD STREET



PHOTO 01



PHOTO 02

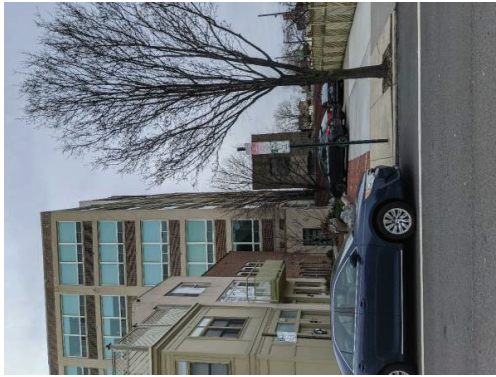
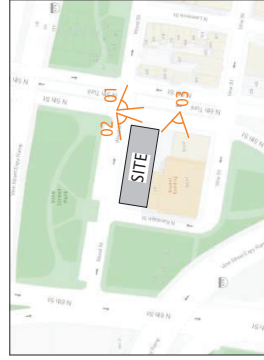


PHOTO 03



SITE PLAN

H1.2 – SITE CONTEXT – 5TH STREET



PHOTO 01

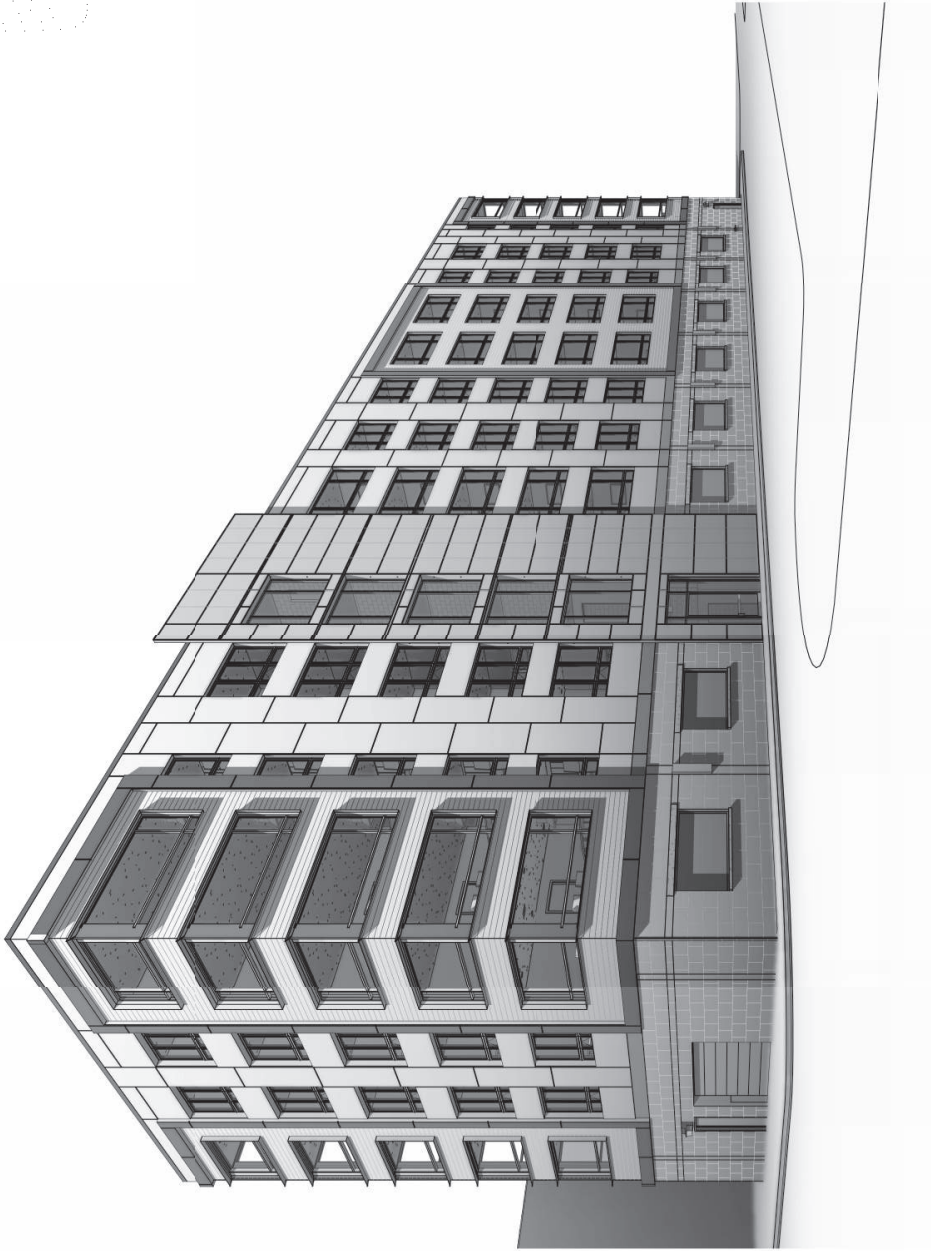


PHOTO 02



SITE PLAN

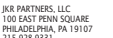
H1.3 – SITE CONTEXT – RANDOLPH STREET



1 WOOD STREET VIEW
H-2.1

H-2.1 – WOOD STREET VIEW

555 LOFTS RESIDENTIAL DEVELOPMENT

PERMIT / BID ISSUE

OWNER / CLIENT

CONSTRUCTION MANAGER
BLUEPRINT ROBOTICS
1500 BROENING HIGHWAY
BALTIMORE, MD 21224
443.927.9027
MARTIN LETTENMEIER
ml@blueprint-robotics.com

MEP ENGINEER
DIMITRI J. VERVERELLI, INC.
211 N. 13TH STREET, 9TH FLOOR
PHILADELPHIA, PA 19107
215-496-0000

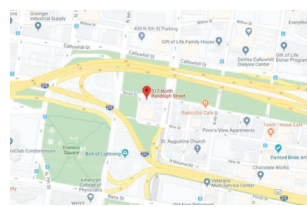
[illegible]

ARCHITECTURE		
A1.1	GROUND LEVEL FLOOR PLAN	07.24.20.00
A1.2	TYPICAL FLOOR PLAN SECOND - SIXTH FLOOR	07.24.20.00
A1.3	ROOF PLAN	07.24.20.00
A2.0	GROUND FLOOR LEVEL RCP	07.24.20.00
A2.1	SIXTH FLOOR LEVEL RCP	07.24.20.00
A3.0	EXTERIOR ELEVATIONS	07.24.20.00
A4.0	BUILDING SECTIONS	07.24.20.00
A5.1	WALL SECTIONS	07.24.20.00
A6.2	CEILING SECTIONS	07.24.20.00
A6.0	UNIT GUIDELINES	07.24.20.00
A6.1	UNIT PLANS	07.24.20.00
A6.2	UNIT PLANS	07.24.20.00
A7.0	FOUNDATION DETAILS	07.24.20.00
A7.2	WALL DETAILS	07.24.20.00
A7.3	WALL DETAILS	07.24.20.00
A7.4	PLAN DETAILS	07.24.20.00
A8.1	UNBARGED ELEVATOR PLANS, SECTION & DETAILS	07.24.20.00
A8.2	STAIR 01 & STAIR 03 PLANS AND SECTION	07.24.20.00
A8.3	STAIR 02 & TRASH CHUTE PLANS, SECTION & DETAILS	07.24.20.00
A9.1	WINDOOR, DOOR AND FINISH SCHEDULE	07.24.20.00

MECHANICAL		
M1	CEILING AND NOTES	07.16.20.00
M2.1	GROUND LEVEL PLAN & 2ND LEVEL PLAN	07.16.20.00
M2.2	TYPICAL, 3 RD FLOOR PLAN & 4 TH LEVEL PLAN	07.16.20.00
M3.1	ROOF PLAN & PERIMETER PATTERN PLAN	07.16.20.00
M4	CEILING DETAIL, CONGRUENT & CONTROLS	07.16.20.00
M5.1	MECHANICAL SCHEDULES AND DETAILS	07.16.20.00
M6.1	MECHANICAL SPECIFICATIONS	07.16.20.00
PLUMBING		
P1	CEILING AND NOTES	07.16.20.00
P2.1	GROUND LEVEL PLAN & TYP. LEVEL PLAN	07.16.20.00
P2.2	ROOF PLAN AND FOUNDATION PLAN	07.16.20.00
P3.1	ENCLOSURE PLANS	07.16.20.00
P3.2	WATER TAP RISER	07.16.20.00
P4.2	SANITARY RISER	07.16.20.00
P4.3	SANITARY RISER	07.16.20.00
P5.2	DOMESTIC WATER RISER	07.16.20.00
P5.2	DOMESTIC WATER RISER	07.16.20.00
P5.3	DOMESTIC WATER RISER	07.16.20.00
P6.1	STORM RISER & FIRE PROTECTION RISER	07.16.20.00
P7.1	DETAILS	07.16.20.00
P7.2	PLUMBING, SCHEDULES, AND DETAILS	07.16.20.00

ELECTRICAL		
ECS	LEGEND AND NOTES	07-16-2020
E1.1	ELECTRICAL SITE PLAN	07-16-2020
E2.1	GROUND LEVEL PLANS POWER & LIGHTING	07-16-2020
E3.1	TYP. LEVEL & ROOF PLANS POWER & LIGHTING	07-16-2020
E4.1	ENLARGED PLANS	07-16-2020
E5.1	FIRE ALARM PLANS	07-16-2020
E6.1	FIRE ALARM DETAILS	07-16-2020
E7.1	SINGLE LINE DIAGRAM	07-16-2020
E8.1	PANEL SCHEDULES	07-16-2020
E9.1	ELECTRICAL DETAILS	07-16-2020
E10.1	ELECTRICAL SPECIFICATIONS	07-16-2020
E11.1	ELECTRICAL SERVICE LOAD CALCULATIONS	07-16-2020

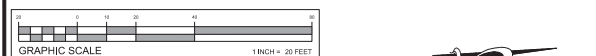
DRAWING SYMBOL LEGEND	
	COLUMN REFERENCE GRID
	WALL SECTION AND BUILD SECTION ELEVATION TAG
	EXTERIOR WALL TAG
	INTERIOR WALL TAG
	DETAIL TAG
	WALL PARTITION TAG
	ROOM TAG
	DOOR TAG
	WINDOW TAG
	CEILING TAG
	EXTERIOR MATERIAL TAG
	INTERIOR FINISH TAG
	SPOT ELEVATION TAG
	IDENTIFICATION NOTE
	CONSTRUCTION NOTE
	KEYED NOTE
	REVISION TAG



CS1.0

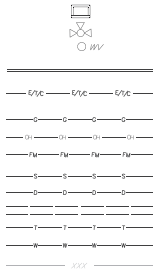


LOCATION MAP (NOT TO SCALE)

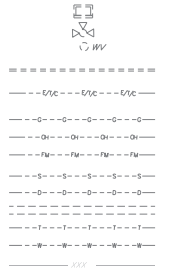


EXISTING CONDITIONS LEGEND

EXISTING ITEMS



ITEMS TO BE REMOVED (TBR) OR REPLACED OR ABANDONED



STORM STRUCTURE

- VALVE
- CURB
- U/G ELECTRICAL, TELEPHONE & CABLE CONDUIT
- U/G GAS LINE
- OVER HEAD WIRES
- SANITARY SEWER FORCE MAIN
- SANITARY SEWER MAIN
- STORM SEWER LATERAL
- STORM SEWER MAIN
- U/G TELEPHONE CONDUIT
- WATER MAIN
- CONTOUR

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE CALL SYSTEM, INC. (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S) 20191933522

UTILITY COMPANY	PHONE NUMBER
DELAWARE RIVER PORT AUTHORITY	877-567-3772
AT & T	800-222-0400
COMCAST CABLEVISION	215-961-3800
CROWN CASLTE	215-961-2700
LEVEL 3	720-888-0165
PECO	610-943-5522
PHILADELPHIA CITY WATER DEPT	215-685-6300
PHILADELPHIA DEPT OF STREETS	215-686-5503
PHILADELPHIA GAS WORKS	215-978-3000
SEPTA	215-580-7852
VEOLIA ENERGY PHILADELPHIA, INC (TRIGEN)	215-875-6900
VERIZON	215-963-6000

SURVEY NOTES:

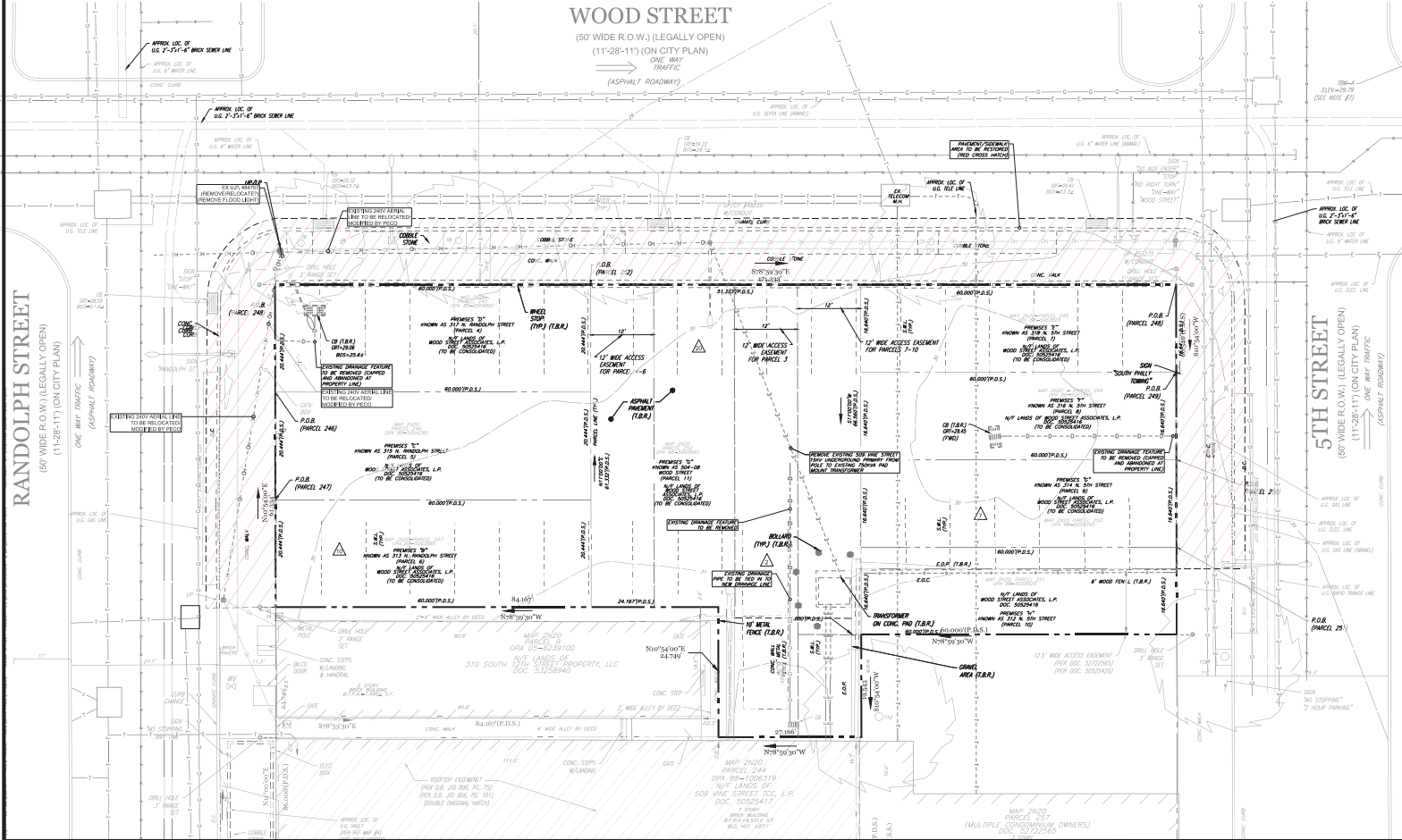
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- PROPERTY KNOWN AS MAP 2N20, PARCELS 245, 246, 247, 248, 249, 250, 251 & 252 AS IDENTIFIED ON THE TAX REGISTRY OF THE CITY & COUNTY OF PHILADELPHIA, COMMONWEALTH OF PENNSYLVANIA.
- AREA PARCEL 245 = 1,226.6 S.F. OR 0.02816 AC. AREA PARCEL 246 = 1,226.6 S.F. OR 0.02816 AC. AREA PARCEL 247 = 1,226.6 S.F. OR 0.02816 AC. AREA PARCEL 248 = 998.4 S.F. OR 0.02292 AC. AREA PARCEL 249 = 998.4 S.F. OR 0.02292 AC. AREA PARCEL 250 = 998.4 S.F. OR 0.02292 AC. AREA PARCEL 251 = 998.4 S.F. OR 0.02292 AC. AREA PARCEL 252 = 3,803.4 S.F. OR 0.08731 AC. PROPOSED PARCEL 'A' AREA = 11,493.2 S.F. OR 0.26384 AC.
- THE LOCATION OF UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. UTILITY INFORMATION SHOWN IS LIMITED TO VISIBLE UTILITY HARDWARE AND UTILITY MARKOUTS AT THE SURFACE AND DOES NOT INCLUDE SUCH ITEMS AS SUBSURFACE PIPING, UTILITY LINES, ETC. BEFORE ANY EXCAVATION IS TO BEGIN, UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. MAP #2.
- THIS SURVEY IS PREPARED TO PHILADELPHIA DISTRICT STANDARD.
- ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
- THE CONVERSION FROM INCHES TO THE MORE PRECISE DECIMAL EXPRESSION MAY RESULT IN MINOR CHANGES IN THE SECOND AND THIRD DECIMAL PLACES. THESE ARE NOT ERRORS OR OVERSIGHTS BUT MORE PRECISE VALUES. ATTENTION IS CALLED TO THE ZONING REQUIREMENTS IN THE PHILADELPHIA CODE AS AMENDED.
- A ZONING PERMIT IS REQUIRED FOR ANY PROPOSED CHANGES TO PARCEL LINES INCLUDING CONSOLIDATION OF EXISTING PARCELS.
- THE SUBJECT PROPERTY IS ZONED CMX-3.
- THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE EIGHT (8) PARCELS INTO ONE (1) PARCEL.
- PLAN IS MADE PER INSTRUCTION OF 509 VINE STREET TCE, LP.

EXISTING CONDITION/DEMOLITION NOTES:

- THE ENTIRE PARCEL AREA IS CURRENTLY IMPERVIOUS SURFACE.
- ALL FEATURES WITHIN LOT TO BE DEMOLISHED FOR PROPOSED BUILDING.

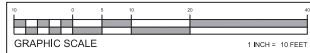
PROJECT INFORMATION: 555 LOFTS

PROPOSED ADDRESS: 555 WOOD STREET PHILADELPHIA, PA 19106
ADDRESS: 313.315.317 N. RANDOLPH STREET; 504-608 WOOD STREET; 312.314.316.318 N. 5TH STREET PHILADELPHIA, PA 19106
OPA ACCOUNT #s: 88-5064800, 88-5064280, 88-5063880, 88-504880, 88-5063820, 88-5061660, 88-5058400, 88-5058920
PWD STORM WATER TRACKING #: FY20-WOOD-8808-01
TOTAL SITE AREA: 11,534 SF (CONSOLIDATED)
LIMIT OF DISTURBANCE: 11,534 SF (ONSITE)
4,362 SF (OFFSITE/EXEMPT)
15,896 SF (TOTAL)
OWNER: WOOD ST ASSOC LP
REP: DANIEL A. SABLOSKY, PRESIDENT
STONEHENGE AND ASSOC, INC.
4328 RIDGE AVENUE, SUITE 104
PHILADELPHIA, PA 19129
DAN, SUBSTONENGE.BZ
215.320.3777 (P)
ENGINEER: DAVID WEAVER, P.E.
2785 BERKEY ROAD
HATFIELD, PA 19440
DWEAVER@PENNER.COM
215-997-6000

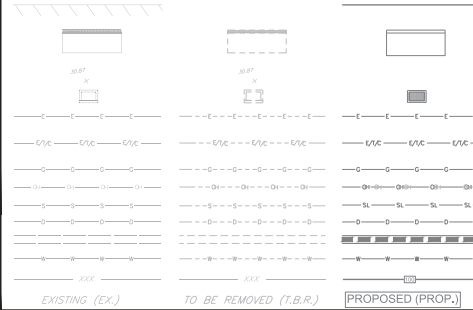




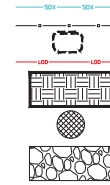
WATERSHED MAP (NOT TO SCALE)



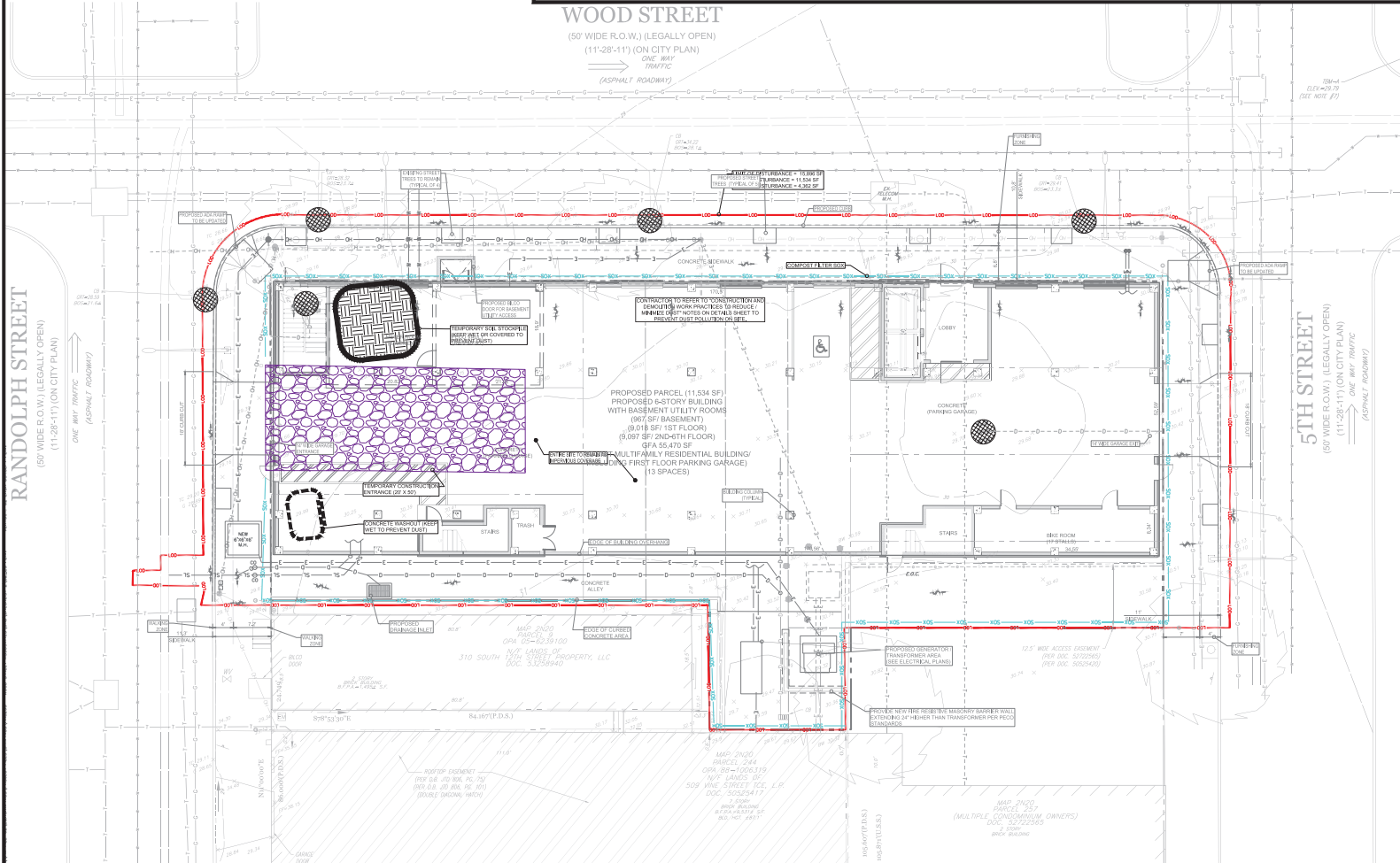
LEGEND
(THIS IS A STANDARD LEGEND NOT ALL ITEMS ARE REPRESENTED ON THE PLAN)
EXISTING ITEMS ITEMS TO BE REMOVED PROPOSED ITEMS



E&S LEGEND



PROPOSED FILTER SOCK
PROPOSED CONSTRUCTION FENCE
PROPOSED CONCRETE WASHOUT
PROPOSED LIMIT OF DISTURBANCE
PROPOSED SOIL STOCKPILE
PROPOSED INLET PROTECTION
PROPOSED CONSTRUCTION ENTRANCE



PROJECT INFORMATION: 555 LOFTS
PROPOSED ADDRESS: 555 WOOD STREET PHILADELPHIA, PA 19106
ADDRESS: 313.315.317 N. RANDOLPH STREET: 504-508 WOOD STREET: 312.314.316.318 N. 5TH STREET PHILADELPHIA, PA 19106
OPA ACCOUNT #s: 88-50545800, 88-5054280, 88-5053980, 88-5045860, 88-5053820, 88-5051660, 88-5058340, 88-5058920
PWD STORM WATER TRACKING #: F125-WOOD-5806-01
TOTAL SITE AREA: 11,534 SF (CONSOLIDATED)
LIMIT OF DISTURBANCE: 11,534 SF (ONSITE)
4,362 SF (OFFSITE/EXEMPT)
15,896 SF (TOTAL)
OWNER: WOOD ST ASSOC LP
REP: DANIEL A. SABLISKY, PRESIDENT
STONEHENGE ADVISORS INC.
4328 RIDGE AVENUE, SUITE 104
PHILADELPHIA PA 19129
DAN@STONEHENGE.BZ
215.320.3777 (P)
ENGINEER: DAVID WEAVER, P.E.
2755 BERGEE ROAD
HATFIELD, PA 19440
DWEAVER@PENNER.COM
215-997-8000

DRAFT

NOT FOR CONSTRUCTION

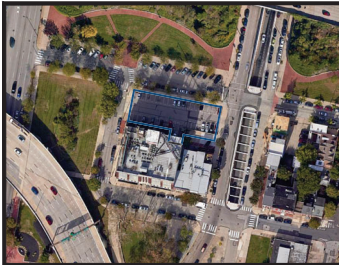
PROJECT NO.: 10000
DRAWN BY: DM
CHECKED BY: DM
DATE: 02-25-2024

THE PREPARED & APPROVED AS SHOWN & NOTED HEREON. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN AND NOTED HEREON. THE ENGINEER DOES NOT WARRANT, REPRESENT, OR GUARANTEE THE ACCURACY, COMPLETENESS, OR RELIABILITY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER SOURCE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY OMISSIONS, ERRORS, OR MISTAKES IN THE DESIGN OR CONSTRUCTION OF THE PROJECT.

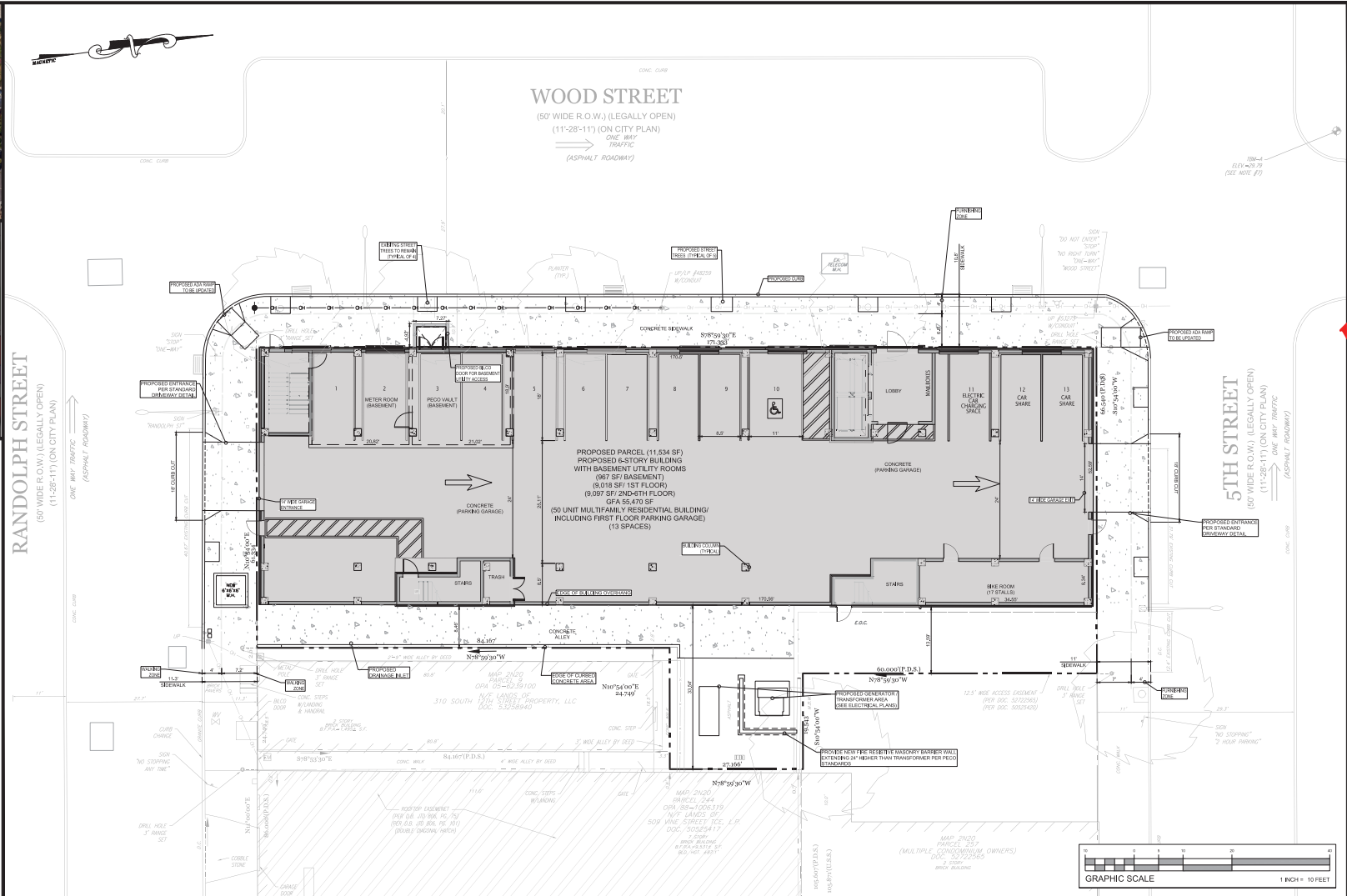
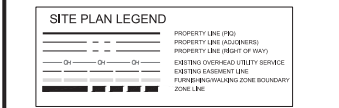


PROJECT: 555 WINE STREET TCE, LP
555 LOFTS PROPOSED MULTIFAMILY RESIDENTIAL FACILITY
313.315.317 RANDOLPH STREET, 504 WOOD STREET
CITY & COUNTY OF PHILADELPHIA, 5TH WARD, PENNSYLVANIA
TITLE: PWD ERS PLAN

SCALE: 3/8" = 1'-0"
DATE: 2024-04-18
SHEET: 02
REVISION:



PROJECT INFORMATION: 555 LOFTS
PROPOSED ADDRESS: 555 WOOD STREET PHILADELPHIA, PA 19106
ADDRESS: 313,315,317 N. RANDOLPH STREET; 504-508 WOOD STREET; 312,314,316,318 N. 5TH STREET PHILADELPHIA, PA 19106
OPA ACCOUNT #'s: 88-5064800, 88-5064280, 88-5063980, 88-5055980, 88-5053020, 88-5051660, 88-5059340, 88-5059820
OWNER: WOOD ST ASSOC LP
REP: DANIEL A. SARLOSKY, PRESIDENT
STONEHENGE ADVISORS INC.
4308 RIDGE AVENUE, SUITE 104
PHILADELPHIA PA 19129
DAN@STONEHENGE.BZ
215.320.3777 (P)
ENGINEER: DAVID WEAVER, P.E.
2755 BERGEE ROAD
HATFIELD, PA 19140
DWEAVER@PENNER.COM
215-997-0000



ZONING CLASSIFICATION: CMX-3 NCP
CTR CENTER CITY OVERLAY DISTRICT -
OLD CITY RESIDENTIAL CENTRAL / VINE STREET AREA / OLD CITY RESIDENTIAL
CENTER CITY RESIDENTIAL DISTRICT CONTROL AREA /
CENTER CITY COMMERCIAL DISTRICT CONTROL AREA /
OLD CITY RESIDENTIAL SUPPLEMENTAL USE CONTROLS

USE: MULTIFAMILY RESIDENTIAL BUILDING (PERMITTED)

ZONING REQUIREMENTS:		
	REQUIRED	PROVIDED
LOT AREA		11,534 SF
MAX OCCUPIED AREA	CORNER / 80% 9,227 SF	78.87% 9,097 SF
MIN SIDE YARD WIDTH (FEET)	8 FT * 500%	8 FT * 473%
MAX FLOOR AREA RATIO		54,504 SF
GROSS BUILDING AREA		65 FT
MAXIMUM BUILDING HEIGHT:	-	

*8 FT IF USED FOR BUILDINGS CONTAINING DWELLING UNITS

PARKING SPACES (MULTI-FAMILY)

3 SPACES PER 10 UNITS (80 UNITS) = 15 SPACES REQUIRED

PARKING PROVIDED

FULL SIZE STALLS 21 STALLS

PARKING SPACE SIZE 8.5 FT X 18 FT (90 DEGREE PARKING) 20 PROVIDED
8 FT X 20 FT (ADA ACCESSIBLE PARKING) 1 PROVIDED

ALISE WIDTH (90 DEGREE DRIVE) 24 FT REQUIRED 24 FT PROVIDED

BICYCLE PARKING (MULTI-FAMILY)

1 SPACES PER 3 UNITS (80 UNITS) = 17 SPACES REQUIRED
BICYCLE SPACES PROVIDED = 17 SPACES

SIGNAGE

REQUIRED	PROVIDED
MAXIMUM NUMBER	N/A
MAXIMUM AREA	N/A

NO SIGNAGE PROPOSED.

DRAFT

NOT FOR CONSTRUCTION

PROJECT: 555 WINE STREET TCE LP
555 LOFTS PROPOSED MULTIFAMILY RESIDENTIAL FACILITY
313, 315, 317 RANDOLPH STREET, 504-508 WOOD STREET
CITY & COUNTY OF PHILADELPHIA, 5TH WARD, PENNSYLVANIA

Penn E&R
Environmental & Remediation, Inc.

SITE PLAN

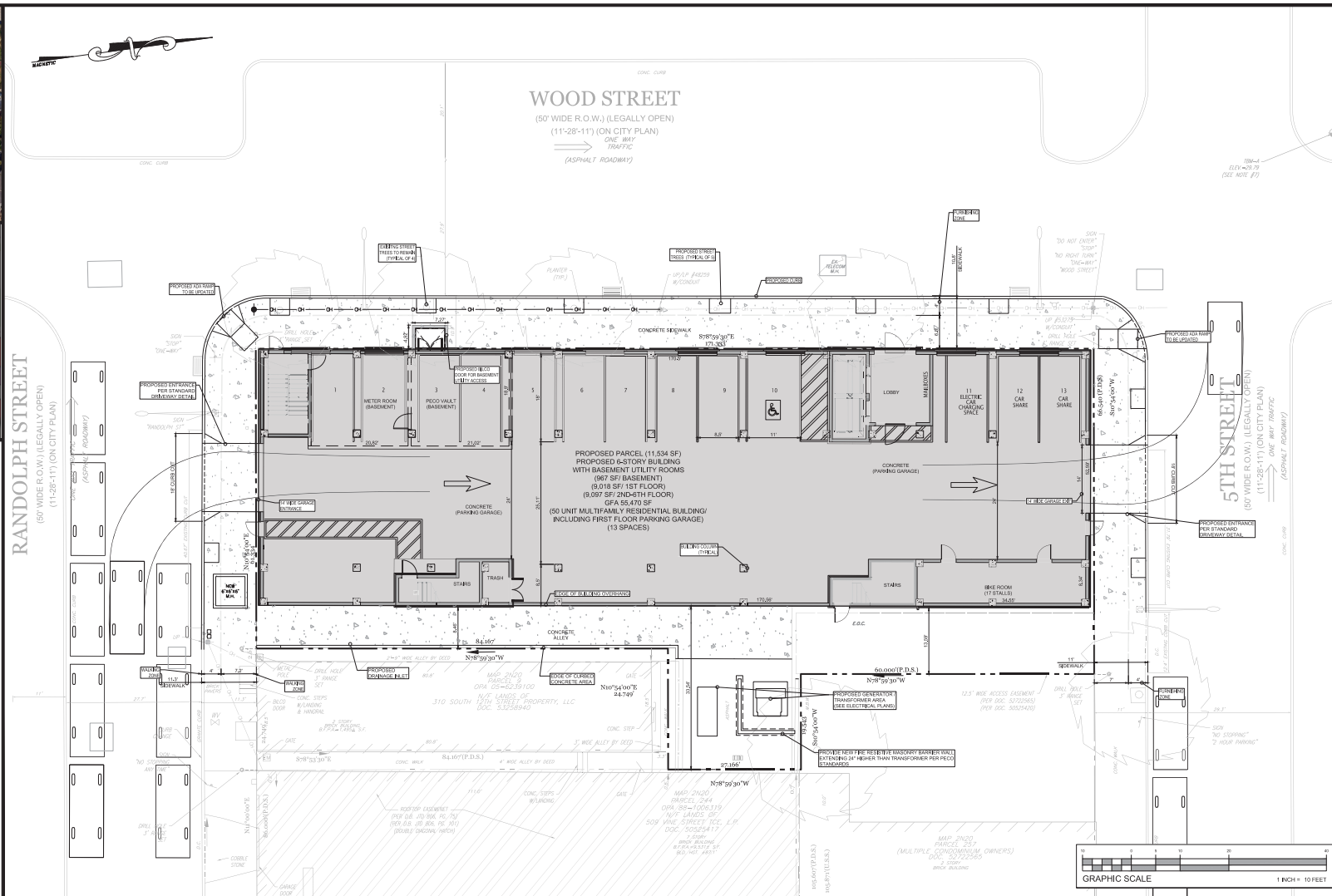
SCALE	DATE	REVISION
1" = 10'	2024-06-18	
SHEET	SP	0



ENGINEER: DAVID WEAVER, P.E.
2755 BERGEY ROAD
HATFIELD, PA 19440
DWEAVER@PENN-ER.COM
215-997-9000

SITE PLAN LEGEND

PROPERTY LINE (FID)
PROPERTY LINE (ADJACERS)
PROPERTY LINE (RIGHT OF WAY)
EXISTING OVERHEAD UTILITY SERVICE
EXISTING EASEMENT LINE
FURNISHING/WALKING ZONE BOUNDARY
ZONE LINE



DRAFT

NOT FOR CONSTRUCTION

PROJECT NO.	HAZ003
DRAWN BY:	BLM
CHECKED BY:	DEW
CAD FILE #	04_SITE PLAN

THIS DRAWING IS A
TRADE SECRET AND ONLY ENTRUSTED TO THE RECEIVER
OF THIS DRAWING. IT IS NOT TO BE REPRODUCED, COPIED,
OR IN ANY MANNER DISCLOSED TO ANY OTHER PERSON
WITHOUT THE WRITTEN CONSENT OF YOUNG ENVIRONMENTAL & REMEDIATION,
INC. IT MUST NOT BE COPIED NOR MADE AVAILABLE
TO ANY OTHER PERSON, INCLUDING COMPETITORS, NOR MADE
USE OF IN ANY MANNER. SUCH VIOLATION OF THIS
AGREEMENT WILL BE CONSIDERED A VIOLATION OF THE
RECEIVER'S OBLIGATIONS UNDER FEDERAL AND STATE
LAW. THE RECEIVER SHALL BE RESPONSIBLE FOR LEGAL
ACTION TO BE TAKEN TO ENFORCE THIS AGREEMENT.
THIS DRAWING MUST BE RETURNED ON
DEMAND OF THE COMPANY.

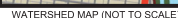


PROJECT: 509 VINE STREET TCE, L.P.,
555 LOFTS / PROPOSED MULTIFAMILY RESIDENTIAL FACILITY
312, 314, 316 & 318 5TH STREET, 500A-109 VINE STREET
312, 314, 316 & 318 5TH STREET, 500A-109 VINE STREET
CITY & COUNTY OF PHILADELPHIA, 5TH WARD, PENNSYLVANIA

E: VEHICLE TURNING PLAN

PROJ:	TITLE:
SCALE: (H) 1"=10'	
(N)	
DATE: 2020-06-18	
SHEET:	REV.No:
VTP	

	VIP	
--	-----	--

NOT FOR CONSTRUCTION

PROJECT No:	HA023
QUANTITY:	8.84
REMOVED BY:	DEW
WELD #	06_UTILITY PLAN

[illegible]

PROJECT: 509 VINE STREET TCE, L.P.
585 LOTS/ PROPOSED MULTIFAMILY RESIDENTIAL FACILITY
312, 314, 316 & 318 04TH STREET, 509 & 510 VINE STREET
PHILADELPHIA, PA 19106-3604
CITY & COUNTY OF PHILADELPHIA, 3TH WARD, PENNSYLVANIA

TITLE: UTILITY PLAN

SCALE: (H) 1"=10'	
(V) .	
DATE: 2020-06-18	
SHEET :	REV.No:
UP	

OVERSIGHT

OVERSIGHT, LLC
215.435.1400

CONSTRUCTION

CONSTRUCTION, LLC
1000 MARKET STREET
BALTIMORE, MD 21201
410.527.8017

STRUCTURAL

STRUCTURAL, LLC
7 EAST WYOMING STREET SUITE 310
PHILADELPHIA, PA 19102
215.654.0105

Mechanical

MECHANICAL, LLC
2115 N. 10TH STREET, 3RD FLOOR
PHILADELPHIA, PA 19107
215.498.0000

555 LOFTS RESIDENTIAL DEVELOPMENT

RESIDENTIAL DEVELOPMENT

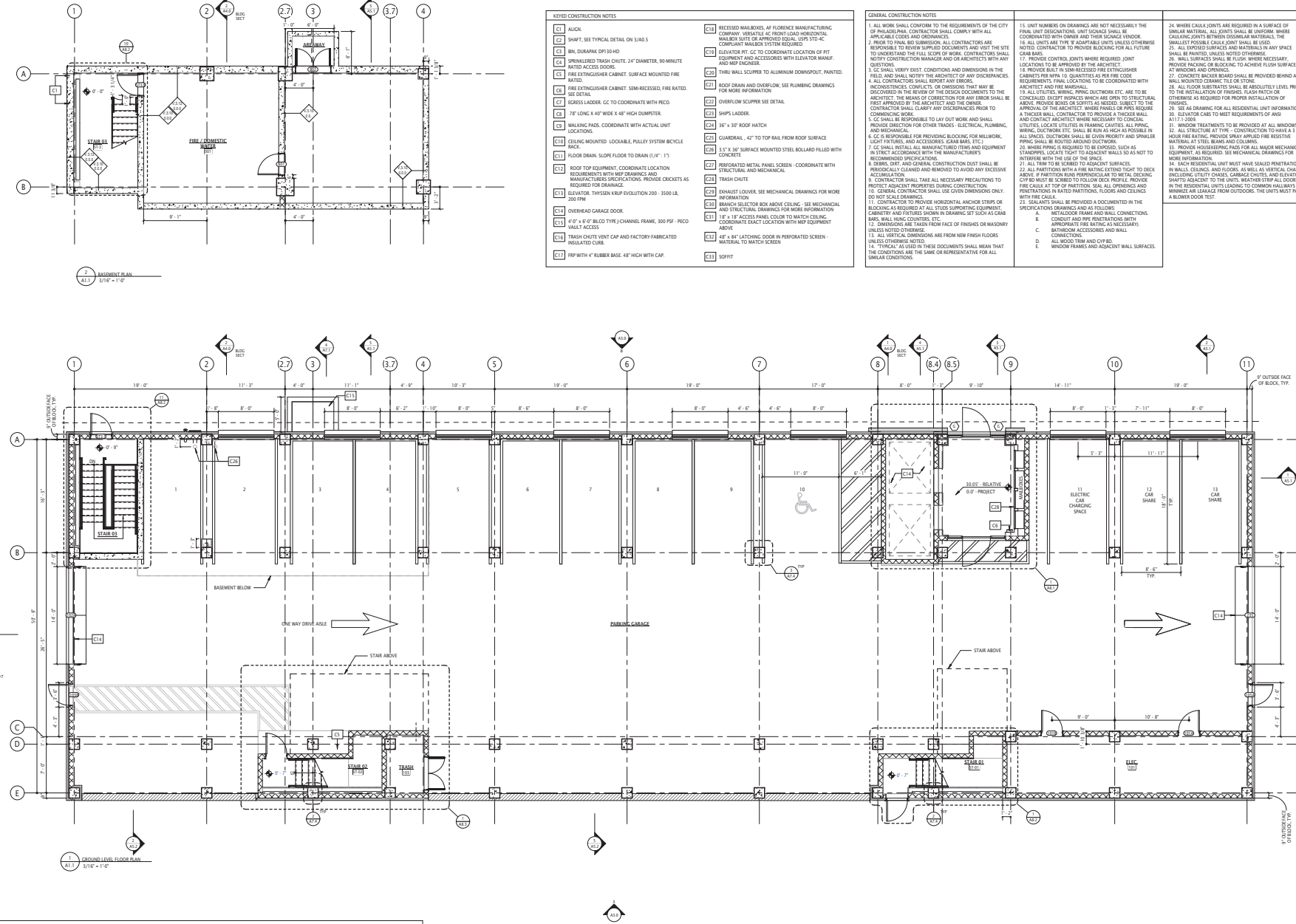
555 WOOD STREET
PHILADELPHIA, PA

GROUND LEVEL FLOOR PLAN

DATE: 07.24.2020
DRAWN BY: BJ / DB / CMC
REVISIONS:

KEYED CONSTRUCTION NOTES	
C1	ALUM.
C2	SHAFT, SEE TYPICAL DETAIL ON 3/10.5
C3	BN, DURAPAK DP35 HD
C4	SPRINKLERED TRASH CHUTE, 24" DIAMETER, 90 MINUTE RATED ACCESS DOORS.
C5	FIRE EXTINGUISHER CABINET, SEMI RECESSED, FIRE RATED.
C6	EGRESS LADDER, CC TO COORDINATE WITH PECO.
C7	7'8" LONG X 4'0" WIDE X 4'8" HIGH DUMPSTER.
C8	WALKING PLADS, COORDINATE WITH ACTUAL UNIT LOCATIONS.
C9	FLOOR DRAIN, SUSP. FLOOR TO DRAIN (1/4" / 1')
C10	CEILING MOUNTED, LOCKABLE, PULLEY SYSTEM BICYCLE RACK.
C11	ROOF TOP EQUIPMENT, COORDINATE LOCATION REQUIREMENTS WITH MEP DRAWINGS AND MANUFACTURER SPECIFICATIONS. PROVIDE CHECKS AS REQUIRED FOR DRAINAGE.
C12	ELEVATOR, THYSSEN KRUP EVOLUTION 200 - 3500 LB, 200 FPM.
C13	OVERHEAD GARAGE DOOR.
C14	4'0" X 6'0" BLDG TYPE J CHANNEL FRAME, 300 PSF, PECO WALL ACCESS.
C15	TRASH CHUTE VENT CAP AND FACTORY FABRICATED INSULATED CURB.
C16	FRP WITH 4" RUBBER BASE, 48" HIGH WITH CAP.
C17	RECESSED WALLBOLE, 48" FLORENCE MANUFACTURING COMPANY, VESSELITE, 48" FRONT-LOAD HORIZONTAL WALLBOLE SUITE OR APPROVED EQUAL, LOFS STD 4C COMPLIANT WALLBOLE SYSTEM REQUIRED.
C18	ELEVATOR PIT, CC TO COORDINATE LOCATION OF PIT EQUIPMENT AND ACCESSORIES WITH ELEVATOR MANUFACTURER AND ENGINEER.
C19	THRU WALL JOIST TO ALUMINUM DOWNSPOUT, PAINTED.
C20	ROOF DRAIN AND OVERFLOW, SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
C21	OVERFLOW SCUPPER SEE DETAIL.
C22	SHIPS LADDER.
C23	18" X 10" ROOF HATCH.
C24	GUARDRAIL, 42" TO TOP RAIL FROM ROOF SURFACE BACK.
C25	3/4" X 3/4" SURFACE MOUNTED STEEL BOLLARD FILLED WITH CONCRETE.
C26	PERFORATED METAL PANEL SCREEN - COORDINATE WITH STRUCTURAL AND MECHANICAL.
C27	EXHAUST LOUVER, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
C28	BRANCH SELECTOR BOX ABOVE CEILING, SEE MECHANICAL AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C29	12" X 12" ACCESS PANEL, COLOR TO MATCH CEILING, COORDINATE EXACT LOCATION WITH MEP EQUIPMENT ABOVE.
C30	48" X 84" LATCHING DOOR IN PERFORATED SCREEN MATERIAL TO MATCH SCREEN.
C31	SOFFIT.

GENERAL CONSTRUCTION NOTES	
1	ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PHILADELPHIA. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
2	PRIOR TO FINAL BID SUBMISSION, ALL CONTRACTORS ARE RESPONSIBLE TO REVIEW SUPPLIED DOCUMENTS AND VISIT THE SITE TO UNDERSTAND THE FULL SCOPE OF WORK. CONTRACTORS SHALL NOTIFY CONSTRUCTION MANAGER AND ARCHITECTS WITH ANY QUESTIONS.
3	CC SHALL VERIFY EXIST. CONDITIONS AND DIMENSIONS IN THE FIELD, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
4	ALL CONTRACTORS SHALL REPORT ANY ERRORS, INCONSISTENCIES, CONFLICTS, OR OMISSIONS THAT MAY BE DISCOVERED IN THE REVIEW OF THE DESIGN DOCUMENTS TO THE ARCHITECT. THE MEANS OF CORRECTION FOR ANY ERROR SHALL BE FIRST APPROVED BY THE ARCHITECT AND THE OWNER.
5	CONTRACTOR SHALL CLARIFY ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
6	CC SHALL BE RESPONSIBLE TO LAY OUT WORK AND SHALL PROVIDE DIRECTION FOR OTHER TRADES - ELECTRICAL, PLUMBING, MECHANICAL, AND ACCESSORIES (GARAGE BARS, ETC.).
7	CC IS RESPONSIBLE FOR PROVIDING BLOCKING FOR WALLBOLE, JOIST PITCHES, AND ACCESSORIES (GARAGE BARS, ETC.).
8	CC SHALL INSTALL ALL MANUFACTURED ITEM AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
9	OWNER, CMF, AND GENERAL CONSTRUCTION DUST SHALL BE REDUCED TO AVOID ANY EXCESSIVE ADJACENT PROPERTIES DURING CONSTRUCTION.
10	CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTIES DURING CONSTRUCTION.
11	CONTRACTOR SHALL USE CPM DIRECTIONS ONLY. DO NOT SCALE DRAWING.
12	BRANCH SELECTOR BOX ABOVE CEILING, SEE MECHANICAL AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.
13	12" X 12" ACCESS PANEL, COLOR TO MATCH CEILING, COORDINATE EXACT LOCATION WITH MEP EQUIPMENT ABOVE.
14	48" X 84" LATCHING DOOR IN PERFORATED SCREEN MATERIAL TO MATCH SCREEN.
15	UNIT NUMBER OR DRAWINGS ARE NOT NECESSARILY THE FINAL UNIT DESIGNATIONS. UNIT SCHEDULE SHALL BE COORDINATED WITH OWNER AND THEIR RESERVE VENDOR.
16	ALL UNITS ARE TYPE "B" ADAPTABLE UNITS UNLESS OTHERWISE NOTED. CONTRACTOR TO PROVIDE BLOCKING FOR ALL FUTURE CAR BARS.
17	PROVIDE CONTROL JOINTS WHERE REQUIRED. UNIT LOCATIONS TO BE APPROVED BY THE ARCHITECT.
18	PROVIDE BUILT IN SEMI RECESSED FIRE EXTINGUISHER CABINETS PER NFPA 10. QUANTITIES AS PER FIRE CODE REQUIREMENTS. PANEL LOCATIONS TO BE COORDINATED WITH ARCHITECT AND FIRE MARSHALL.
19	ALL UTILITIES, WIRING, PIPING, DUCTWORK, ETC. ARE TO BE COORDINATED PRIOR TO CONSTRUCTION. ALL UTILITIES, DUCTWORK, ETC. SHALL BE RUN AS HIGH AS POSSIBLE IN ALL SPACES. DUCTWORK SHALL BE GIVEN PRIORITY AND SMALLER PIPING SHALL BE ROUTED AROUND DUCTWORK.
20	WHEN PIPING IS REQUIRED TO BE EXPOSED, SUCH AS STAINLESS, LOCATE TIGHT TO ADJACENT WALLS SO AS NOT TO INTERFERE WITH THE USE OF THE SPACE.
21	ALL TBM TO BE SCHEDULED TO ADJACENT SURFACES.
22	ALL PARTITIONS WITH A FIRE RATING EXTEND TIGHT TO DECK ABOVE. IF PARTITION BARS PERPENDICULAR TO METAL JOISTING, FIRE CAULK AT TOP OF PARTITION, SEAL ALL OPENINGS AND PENETRATIONS IN RATED PARTITIONS, WALLS AND CEILING WITH FIRE CAULK.
23	ISOLANTS SHALL BE PROVIDED A DOCUMENTED IN THE SPECIFICATIONS DRAWINGS AND AS FOLLOWS: A. METAL DOOR FRAME AND WALL CONNECTIONS. B. CONDUIT AND PIPE PENETRATIONS WITH APPROPRIATE FIRE RATING AS NECESSARY. C. BATHROOM ACCESSORIES AND WALL CONNECTIONS. D. ALL WOOD TRIM AND CYPRES. E. WINDOW FRAMES AND ADJACENT WALL SURFACES.
24	WHERE CAULK JOINTS ARE REQUIRED IN A SURFACE OF SIMILAR MATERIAL, ALL JOINTS SHALL BE UNIFORM, WHERE CAULKING JOINTS BETWEEN DIFFERENT MATERIALS, THE SMALLEST POSSIBLE CAULK JOINT SHALL BE USED.
25	ALL EXPOSED SURFACES AND MATERIALS IN ANY SPACE SHALL BE PAINTED, UNLESS NOTED OTHERWISE.
26	WALL SURFACES SHALL BE FLUSH, WHERE NECESSARY, PROVIDE PACKING OR BLOCKING TO ACHIEVE FLUSH SURFACES AT WINDOWS AND OPENINGS.
27	CONCRETE BACKER BOARD SHALL BE PROVIDED BEHIND ALL WALL MOUNTED CERAMIC, TILE OR STONE.
28	ALL FLOOR SUBSTRATES SHALL BE ABSOLUTELY LEVEL PRIOR TO THE INSTALLATION OF FINISHES. FLOOR PATCH OR OTHERWISE AS REQUIRED FOR PROPER INSTALLATION OF FINISHES.
29	OWNER IS PROVIDING FOR ALL RESIDENTIAL UNIT INFORMATION.
30	ELEVATOR CARS TO MEET REQUIREMENTS OF AIAA.
31	WINDOW TREATMENTS TO BE PROVIDED AT ALL WINDOWS.
32	ALL STRUCTURAL AT TYPICAL - COORDINATE TO HAVE A 3 HOUR FIRE RATING, PROVIDE UNPAVED FIRE RESISTIVE MATERIAL AT STEEL BEAMS AND CEILING.
33	PROVIDE HOUSEKEEPING PADS FOR ALL MAJOR MECHANICAL EQUIPMENT, AS REQUIRED. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
34	EACH RESIDENTIAL UNIT SHALL HAVE SEALS/PENETRATIONS IN WALLS, CEILING, AND FLOORS AS WELL AS VERTICAL CHANGES INCLUDING UTILITY CHASES, GARAGE CHUTES, AND ELEVATOR SHAFTS ADJACENT TO THE UNITS. WEATHER STRIP ALL DOORS IN THE RESIDENTIAL UNITS LEADING TO COMMON HALLWAYS TO MINIMIZE AIR LEAKAGE FROM OUTDOORS. THE UNITS MUST PASS A BLOWER DOOR TEST.





100 EAST PENN SQUARE
SUITE 1080
PHILADELPHIA, PA 19107
215.928.9331
JKRPARCHITECTS.COM

OVERSIGHT

OVERSIGHT, REAL ESTATE INVESTORS
215.435.1400

CONSTRUCTION MANAGER

BURWAY KROBLES
1500 MEDFORD CIRCLE
BALTIMORE, MD 21206
443.867.8817

STRUCTURAL ENGINEER

7 EAST WYCKPAKE PIKE SUITE 310
BRIDGEVILLE, PA 19003
215.854.0705

M.E. ENGINEER

CONROY & HERRMANN, LLC
2115 N. 13TH STREET, 3RD FLOOR
PHILADELPHIA, PA 19107
215.498.0000

555 LOFTS RESIDENTIAL DEVELOPMENT

RESIDENTIAL DEVELOPMENT

555 WOOD STREET
PHILADELPHIA, PA

TYPICAL FLOOR PLAN - SECOND - SIXTH FLOOR

DATE: 07.24.2020

DRAWN BY: RS | DBI CRE | HMC

REVISIONS:



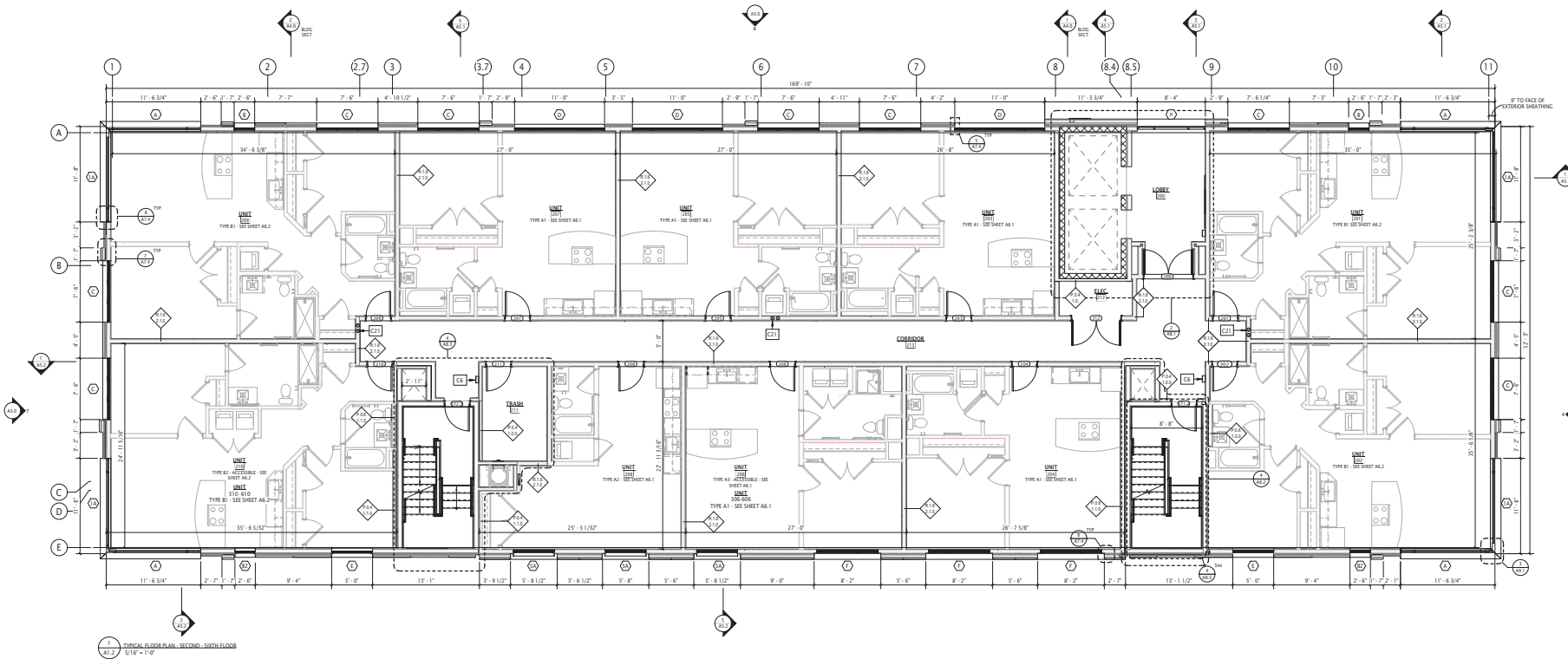
COPYRIGHT 2020 JKRP ARCHITECTS, LLC. ALL RIGHTS RESERVED.

A1.2

PERMIT / BID ISSUE

KEYED CONSTRUCTION NOTES	
C1	ALIGN.
C2	SHAFT, SEE TYPICAL DETAIL ON 3/10.5
C3	BIN, DURAPAK DP130 HD
C4	SPRINKLERED TRASH CHUTE, 24" DIAMETER, 90 MINUTE RATED ACCESS DOORS.
C5	FIRE EXTINGUISHER CABINET, SEMI RECESSED, FIRE RATED.
C6	EGRES LADDER, CC TO COORDINATE WITH PECO.
C7	78" LONG X 48" WIDE X 48" HIGH DUMPMSTER.
C8	WALKING PADS, COORDINATE WITH ACTUAL UNIT LOCATIONS.
C9	CEILING MOUNTED LOCKABLE, PULLEY SYSTEM BICYCLE RACK.
C10	FLOOR DRAIN, SLOPE FLOOR TO DRAIN (1/4" / 1')
C11	ROOF TOP EQUIPMENT, COORDINATE LOCATION REQUIREMENTS WITH MEP DRAWINGS AND MANUFACTURER SPECIFICATIONS. PROVIDE CHECKS AS REQUIRED FOR DRAINAGE.
C12	ELEVATOR, THYSSEN KRUP EVOLUTION 200 - 3500 LB, 200 TFM.
C13	OVERHEAD GARAGE DOOR.
C14	4" O" X 6" O" BLOC TYPE J CHANNEL FRAME, 300 PSF - PECO WALL ACCESS.
C15	TRASH CHUTE UNIT CAP AND FACTORY FABRICATED INSULATED CURB.
C16	FRP WITH 4" RUBBER BASE, 48" HIGH WITH CAP.
C17	RECESSED WALLBORE, AF FLORENCE MANUFACTURING COMPANY, VESITABLE, 4" FRONT-LOAD HORIZONTAL, WALLBORE SPLIT OR APPROVED EQUAL, 10PS STD 4C COMPLIANT WALLBORE SYSTEM REQUIRED.
C18	ELEVATOR PIT, GC TO COORDINATE LOCATION OF PIT EQUIPMENT AND ACCESSORIES WITH ELEVATOR MANAGE AND MEP ENGINEER.
C19	TRUSS WALL JOIST TO ALUMINUM DOWNPOUT, PAINTED.
C20	ROOF DRAIN AND OVERFLOW, SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
C21	OVERFLOW SCUPPER SEE DETAIL.
C22	SHIPS LADDER.
C23	84" X 10" ROOF HATCH.
C24	GUARDRAIL, 42" TO TOP RAIL FROM ROOF SURFACE.
C25	3" X 3" SURFACE MOUNTED STEEL BOLLARD FILLED WITH CONCRETE.
C26	PERFORATED METAL PANEL SCREEN - COORDINATE WITH STRUCTURAL AND MECHANICAL.
C27	EXHAUST LOUVER, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
C28	BRANCH SELECTOR BOX ABOVE CEILING, SEE MECHANICAL AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.
C29	12" X 12" ACCESS PANEL, COLOR TO MATCH CEILING.
C30	COORDINATE EXACT LOCATION WITH MEP EQUIPMENT ABOVE.
C31	84" X 84" LATHING, DOOR IN PERFORATED SCREEN MATERIAL TO MATCH SCREEN.
C32	SOFFIT.

GENERAL CONSTRUCTION NOTES	
1.	ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PHILADELPHIA. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
2.	BEFORE ANY SUBMITTAL, ALL CONTRACTORS ARE RESPONSIBLE TO REVIEW AND UNDERSTAND THE FULL SCOPE OF WORK. CONTRACTORS SHALL NOTIFY CONSTRUCTION MANAGER AND ARCHITECTS WITH ANY QUESTIONS.
3.	CC SHALL VERIFY EXIST. CONDITIONS AND DIMENSIONS IN THE FIELD, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
4.	ALL CONTRACTORS SHALL REPORT ANY ERRORS, INCONSISTENCIES, CONFLICTS, OR OMISSIONS THAT MAY BE DISCOVERED IN THE REVIEW OF THE DESIGN DOCUMENTS TO THE ARCHITECT. THE MEANS OF CORRECTION FOR ANY ERROR SHALL BE FIRST APPROVED BY THE ARCHITECT AND THE OWNER.
5.	ALL CONTRACTORS SHALL BE RESPONSIBLE TO LAY OUT WORK, AND PROVIDE DIRECTION FOR OTHER TRADES - ELECTRICAL, PLUMBING, MECHANICAL, AND ACCESSORIES (GARAGE BARS, ETC.).
6.	CC IS RESPONSIBLE FOR PROVIDING BLOCKING FOR MILLBORE, LIGHT FIXTURES, AND ACCESSORIES (GARAGE BARS, ETC.).
7.	CC SHALL INSTALL ALL MANUFACTURED ITEMS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
8.	GENERAL, UNIT AND GENERAL CONSTRUCTION DUST SHALL BE REDUCEDLY CLEANED AND REMOVED TO AVOID ANY EXCESSIVE ACCUMULATION.
9.	CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTIES DURING CONSTRUCTION.
10.	CONTRACTOR SHALL USE CAREFUL DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.
11.	CONTRACTOR TO PROVIDE HORIZONTAL ANCHOR STRIPS OR BLOCKING AS REQUIRED AT ALL STUDS SUPPORTING EQUIPMENT. CABINETRY AND FIXTURES SHOWN IN DRAWING SET SUCH AS GARAGE BARS, WALL BUNG COUNTERS, ETC.
12.	DIMENSIONS ARE TAKEN FROM FACE OF FINISHES OR MASONRY UNLESS NOTED OTHERWISE.
13.	ALL VERTICAL DIMENSIONS ARE FROM NEW FINISH FLOORS UNLESS OTHERWISE NOTED.
14.	TYPICAL: ALSO USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITIONS ARE THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS.
15.	UNIT NUMBER OR DRAWINGS ARE NOT NECESSARILY THE FINAL UNIT DESIGNATIONS. UNIT SCHEDULE SHALL BE COORDINATED WITH OWNER AND THEIR RESERVE VENDOR.
16.	ALL UNITS ARE TYPE "B" ADAPTIVE UNITS UNLESS OTHERWISE NOTED. CONTRACTOR TO PROVIDE BLOCKING FOR ALL FUTURE GARAGE BARS.
17.	PROVIDE CONTRA JOINTS WHERE REQUIRED, UNIT LOCATIONS TO BE APPROVED BY THE ARCHITECT.
18.	PROVIDE BUILT IN SEMI RECESSED FIRE EXTINGUISHER CABINETS PER MPA 10. QUANTITIES AS PER FIRE CODE REQUIREMENTS. PANEL LOCATIONS TO BE COORDINATED WITH ARCHITECT AND FIRE MARSHALL.
19.	ALL UTILITIES, WIRING, PIPING, DUCTWORK, ETC. ARE TO BE CONCEALED. EXCEPT PORTALS WHICH ARE TO BE STRUCTURAL ABOVE. PROVIDE BARS OR SOFFITS AS NEEDED, SUBJECT TO THE APPROVAL OF THE ARCHITECT. ALL PIPING IS TO BE HIDDEN TO A THICKER WALL. CONTRACTOR TO PROVIDE A THICKER WALL AND CONTACT ARCHITECT WHERE NECESSARY TO CONCEAL UTILITIES. LOCATE UTILITIES IN FRAMING CAVEATS, ALL PIPING, WIRING, DUCTWORK, ETC. SHALL BE RUN AS HIGH AS POSSIBLE IN ALL SPACES. DUCTWORK SHALL BE GIVEN PRIORITY AND SPILLER PIPING SHALL BE ROUTED AROUND DUCTWORK.
20.	WHERE PIPING IS REQUIRED TO BE EXPOSED, SUCH AS STAMPOLES, LOCATE TIGHT TO ADJACENT WALLS SO AS NOT TO INTERFERE WITH THE USE OF THE SPACE.
21.	ALL TBM TO BE Scribed TO ADJACENT SURFACES.
22.	ALL PARTITIONS WITH A FIRE RATING EXTEND TIGHT TO DECK ABOVE. IF PARTITION BARS PERPENDICULAR TO METAL JOISTING, FIRE CAULK AT TOP OF PARTITION, SEAL ALL OPENINGS AND PENETRATIONS IN RATED PARTITIONS, FLOORING AND CEILING WITH FIRE CAULK.
23.	ISOLANTS SHALL BE PROVIDED A DOCUMENTED IN THE SPECIFICATIONS DRAWINGS AND AS FOLLOWS: A. METAL DOOR FRAME AND WALL CONNECTIONS. B. CONDUIT AND PIPE PENETRATIONS WITH APPROPRIATE FIRE RATING AS NECESSARY. C. BATHROOM ACCESSORIES AND WALL CONNECTIONS. D. ALL WOOD TRIM AND CVPB. E. WINDOW FRAMES AND ADJACENT WALL SURFACES.
24.	WHERE CAULK JOINTS ARE REQUIRED IN A SURFACE OF SIMILAR MATERIAL, ALL JOINTS SHALL BE UNIFORM. WHERE CAULKING JOINTS BETWEEN DIFFERENT MATERIALS, THE SMALLEST POSSIBLE CAULK JOINT SHALL BE USED.
25.	ALL EXPOSED SURFACES AND MATERIALS IN ANY SPACE SHALL BE PAINTED, UNLESS NOTED OTHERWISE.
26.	WALL SURFACES SHALL BE FLUSH, WHERE NECESSARY PROVIDE PACKING OR BLOCKING TO ACHIEVE FLUSH SURFACES AT WINDOWS AND OPENINGS.
27.	CONCRETE BACKER BOARD SHALL BE PROVIDED BEHIND ALL WALL MOUNTED CERAMIC, TILE OR STONE.
28.	ALL FLOOR SUBSTRATES SHALL BE ABSOLUTELY LEVEL PRIOR TO THE INSTALLATION OF FINISHES. FLOOR PATCH OR OTHERWISE AS REQUIRED FOR PROPER INSTALLATION OF FINISHES.
29.	MEP DRAWING FOR ALL RESIDENTIAL UNIT INFORMATION.
30.	ELEVATOR CARS TO MEET REQUIREMENTS OF AIG 817.1.1.1000.
31.	WINDOW TREATMENTS TO BE PROVIDED AT ALL WINDOWS.
32.	ALL STRUCTURE AT TIME - CONSTRUCTION TO HAVE A 3 HOUR FIRE RATING. PROVIDE UNPAID APPLIED FIRE RESISTIVE MATERIAL AT STEEL BEAMS AND COLUMNS.
33.	PROVIDE HOUSEKEEPING PADS FOR ALL MAJOR MECHANICAL EQUIPMENT, AS REQUIRED. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
34.	EACH RESIDENTIAL UNIT SHALL HAVE SEALS PENETRATIONS IN WALLS, CEILING, AND FLOORS AS WELL AS VERTICAL CHANGES INCLUDING UTILITY CHASES, GARAGE CHUTES, AND ELEVATOR SHAFTS. ADJACENT TO THE UNITS, WEATERSHIP ALL DOORS IN THE RESIDENTIAL UNITS LEADING TO COMMON HALLWAYS TO MINIMIZE AIR LEAKAGE FROM OUTDOORS. THE UNITS MUST PASS A BLOWER DOOR TEST.



1 TYPICAL FLOOR PLAN - SECOND - SIXTH FLOOR
A1.2

ROOFING NOTES
MINIMUM 60 MIL THICK EPDM MEMBRANE
COLOR: WHITE
MINIMUM PROPERTIES: ASTM 4837 TYPE C GRADE 1
PROVIDE 1 YEAR MANUFACTURER'S WARRANTY
ACCEPTABLE MANUFACTURERS:
- FIRESTONE BUILDING PRODUCTS LIBRARY
SEE REF DRAWINGS FOR ADDITIONAL INFORMATION ON RTU SIZES AND LOCATIONS
PROVIDE WALKWAY FRACTION ADJACENT TO ACCESS PANELS OF ALL NEW HVALC UNITS
ROOF HATCHES AND ALONG TOP AND BOTTOM OF SHIP LADDERS. SEE DETAILS ABOVE
FOR ROOF CURB AND PIPE PENETRATIONS DETAILS.
ALL OPENINGS THROUGH ROOF TO BE COORDINATED WITH ALL ROOF WARRANTIES.

- KEYED CONSTRUCTION NOTES**
- C1 ALIGN.
 - C2 SHAFT, SEE TYPICAL DETAIL ON 3/10.5
 - C3 BIN, DUMPARK DP130 HD
 - C4 SPRINKLER TRASH CHUTE, 24" DIAMETER, 90 MINUTE RATED ACCESS DOORS.
 - C5 FIRE EXTINGUISHER CABINET, SEMI RECESSED, FIRE RATED, SEE DETAIL.
 - C6 EGRES LADDER, GC TO COORDINATE WITH PECO.
 - C7 78" LONG X 40" WIDE X 48" HIGH DUMPSTER.
 - C8 WALKING PADS, COORDINATE WITH ACTUAL UNIT LOCATIONS.
 - C9 CEILING MOUNTED LOCKABLE, PULLEY SYSTEM BICYCLE RACK.
 - C10 ROOF TOP EQUIPMENT, COORDINATE LOCATION REQUIREMENTS WITH MEP DRAWINGS AND MANUFACTURER SPECIFICATIONS. PROVIDE CHECKS AS REQUIRED FOR DRAINAGE.
 - C11 ELEVATOR, THYSSEN KRUPP EVOLUTION 200 - 3500 LB, 200 FPM.
 - C12 OVERHEAD GARAGE DOOR.
 - C13 4" X 6" BLOC TYPE J CHANNEL FRAME, 300 PSF - PECO WALL ACCESS.
 - C14 TRASH CHUTE VENT CAP AND FACTORY FABRICATED INSULATED CURB.
 - C15 FRP WITH 4" RUBBER BASE, 48" HIGH WITH CAP.

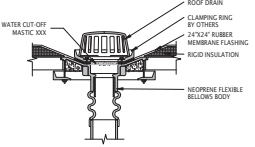
- C16 RECESSED WALKBOARDS, AT FLORENCE MANUFACTURING COMPANY, VISIBLE, 4" FRONT-LOAD HORIZONTAL, MINIMUM 3/8" OR APPROXIMATE EQUAL, 10PS STD 4C COMPLIANT WALKBOARDS SYSTEM REQUIRED.
- C17 ELEVATOR PIT, GC TO COORDINATE LOCATION OF PIT EQUIPMENT AND ACCESSORIES WITH ELEVATOR MANUFACTURER AND ENGINEER.
- C18 THRU WALL SCUPPER TO ALUMINUM DOWNSPOUT, PAINTED.
- C19 ROOF DRAIN AND OVERFLOW, SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- C20 OVERFLOW SCUPPER SEE DETAIL.
- C21 SHIPS LADDER.
- C22 80" X 30" ROOF HATCH.
- C23 GUARDRAIL, 42" TO TOP RAIL FROM ROOF SURFACE RACK.
- C24 3.5" X 3.5" SURFACE MOUNTED STEEL BOLLARD FILLED WITH CONCRETE.
- C25 PERFORATED METAL PANEL SCREEN, COORDINATE WITH STRUCTURAL AND MECHANICAL.
- C26 EXHAUST LOUVER, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- C27 BRANCH SELECTOR BOX ABOVE CEILING, SEE MECHANICAL AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- C28 12" X 12" ACCESS PANEL, COLOR TO MATCH CEILING, COORDINATE EXACT LOCATION WITH MEP EQUIPMENT ABOVE.
- C29 48" X 84" LATCHING DOOR IN PERFORATED SCREEN MATERIAL TO MATCH SCREEN.
- C30 SCOFFIT.

GENERAL CONSTRUCTION NOTES

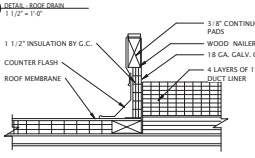
1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PHILADELPHIA. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
2. PRIOR TO FINAL BID SUBMISSION, ALL CONTRACTORS ARE RESPONSIBLE TO REVIEW SUPPLIED DOCUMENTS AND MEET THE SITE TO UNDERSTAND THE FULL SCOPE OF WORK. CONTRACTORS SHALL NOTIFY CONSTRUCTION MANAGER AND ARCHITECTS WITH ANY QUESTIONS.
3. GC SHALL VERIFY EXIST. CONDITIONS AND DIMENSIONS IN THE FIELD, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
4. ALL CONTRACTORS SHALL REPORT ANY ERRORS, INCONSISTENCIES, CONFLICTS, OR OMISSIONS THAT MAY BE DISCOVERED IN THE REVIEW OF THE DESIGN DOCUMENTS TO THE ARCHITECT. THE MEANS OF CORRECTION FOR ANY ERROR SHALL BE FIRST APPROVED BY THE ARCHITECT AND THE OWNER.
5. CONTRACTOR SHALL CLASH DETECTION PRIOR TO COMMENCING WORK.
6. GC SHALL BE RESPONSIBLE TO LAY OUT WORK AND SHALL PROVIDE DIRECTION FOR OTHER TRADES - ELECTRICAL, PLUMBING, AND MECHANICAL.
7. GC IS RESPONSIBLE FOR PROVIDING BLOCKING FOR WALKBOARDS, LIGHT FIXTURES, AND ACCESSORIES (GARBAGE BARS, ETC.).
8. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTIES DURING CONSTRUCTION.
9. CONTRACTOR SHALL USE CAUTION PRECAUTIONS ONLY. DO NOT SCALE DRAWINGS.
10. CONTRACTOR TO PROVIDE HORIZONTAL ANCHOR STRIPS OR BLOCKING AS REQUIRED AT ALL STUDS SUPPORTING EQUIPMENT, CABINETS AND FIXTURES SHOWN IN DRAWING SET SUCH AS GARBAGE BARS, WALL HUNG TOILETS, ETC.
11. DIMENSIONS ARE TAKEN FROM FACE OF FINISHES OR MASONRY UNLESS NOTED OTHERWISE.
12. ALL VERTICAL DIMENSIONS ARE FROM NEW FINISH FLOORS UNLESS OTHERWISE NOTED.
13. TYPICAL, ALSO USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITIONS ARE THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS.

15. UNIT NUMBERS ON DRAWINGS ARE NOT NECESSARILY THE FINAL UNIT DESIGNATIONS. UNIT SCALES SHALL BE COORDINATED WITH OWNER AND THEIR RESERVE VENDOR.
16. ALL UNITS ARE TYPE "P" ADAPTABLE UNITS UNLESS OTHERWISE NOTED. CONTRACTOR TO PROVIDE BLOCKING FOR ALL FUTURE CABINETS.
17. PROVIDE CONTROL JOINTS WHERE REQUIRED, UNIT LOCATIONS TO BE APPROVED BY THE ARCHITECT.
18. PROVIDE BUILT IN SEMI RECESSED FIRE EXTINGUISHER CABINETS PER NFPA 10, QUANTITIES AS PER FIRE CODE REQUIREMENTS. FINAL LOCATIONS TO BE COORDINATED WITH ARCHITECT AND FIRE MARSHALL.
19. ALL UTILITIES, WIRING, PIPING, DUCTWORK, ETC. ARE TO BE CONCEALED. DUCTWORK WHICH ARE OPEN TO STRUCTURAL ABOVE, PROVIDE BOARDS OR SCOFFITS AS NEEDED, SUBJECT TO THE APPROVAL OF THE ARCHITECT. WHERE PANELS OR PIPES REQUIRE A THICKER WALL, CONTRACTOR TO PROVIDE A THICKER WALL AND CONTACT ARCHITECT WHEN NECESSARY TO CONCEAL UTILITIES. LOCATE UTILITIES IN FRAMING CAVEATS, ALL PIPING, WIRING, DUCTWORK, ETC. SHALL BE RUN AS HIGH AS POSSIBLE IN ALL SPACES. DUCTWORK SHALL BE GIVEN PRIORITY AND SPRINKLER PIPING, DUCTWORK, ETC. SHALL BE RUN AS HIGH AS POSSIBLE IN ALL SPACES. WHERE PIPING IS REQUIRED TO BE EXPOSED, SUCH AS STAMPOUTS, LOCATE TIGHT TO ADJACENT WALLS SO AS NOT TO INTERFERE WITH THE USE OF THE SPACE.
20. ALL PARTITIONS WITH A FIRE RATING EXTEND TO TOP OF DECK ABOVE. IF PARTITION BARS PERPENDICULAR TO METAL DECKING, CITY BEHOLD BE SLOTTED TO FOLLOW DECK PROFILE. PROVIDE FIRE CAULK AT TOP OF PARTITION, SEAL ALL OPENINGS AND PENETRATIONS IN RATED PARTITIONS, FLOORING AND CEILING WITH FIRE CAULK.
21. ALL TBM TO BE SLOTTED TO ADJACENT SURFACES.
22. ALL PARTITIONS WITH A FIRE RATING EXTEND TO TOP OF DECK ABOVE. IF PARTITION BARS PERPENDICULAR TO METAL DECKING, CITY BEHOLD BE SLOTTED TO FOLLOW DECK PROFILE. PROVIDE FIRE CAULK AT TOP OF PARTITION, SEAL ALL OPENINGS AND PENETRATIONS IN RATED PARTITIONS, FLOORING AND CEILING WITH FIRE CAULK.
23. ISOLATES SHALL BE PROVIDED AS DOCUMENTED IN THE SPECIFICATIONS DRAWINGS AND AS FOLLOWS:
A. METAL DOOR FRAME AND WALL CONNECTIONS.
B. CONDUIT AND PIPE PENETRATIONS WITH APPROPRIATE FIRE RATING AS NECESSARY.
C. BATHROOM ACCESSORIES AND WALL CONNECTIONS.
D. ALL WOOD TRIM AND COVER.
E. WINDOW FRAMES AND ADJACENT WALL SURFACES.

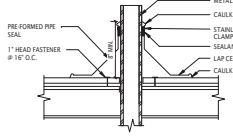
24. WHERE CAULK JOINTS ARE REQUIRED IN A SURFACE OF SIMILAR MATERIAL, ALL JOINTS SHALL BE UNIFORM, WHERE CALLING JOINTS BETWEEN DIFFERENT MATERIALS, THE SMALLEST POSSIBLE CAULK JOINT SHALL BE USED.
25. ALL EXPOSED SURFACES AND MATERIALS IN ANY SPACE SHALL BE PAINTED, UNLESS NOTED OTHERWISE.
26. WALL SURFACES SHALL BE FLUSH, WHERE NECESSARY, PROVIDE PACKING OR BLOCKING TO ACHIEVE FLUSH SURFACES AT WINDOWS AND OPENINGS.
27. CONCRETE SACKER BOARD SHALL BE PROVIDED BEHIND ALL WALL MOUNTED CERAMIC, TILE OR STONE.
28. ALL FLOOR SUBSTRATES SHALL BE ABSOLUTELY LEVEL PRIOR TO THE INSTALLATION OF FINISHES, FLOOR PATCH OR OTHERWISE AS REQUIRED FOR PROPER INSTALLATION OF FINISHES.
29. ALL DRAWING FOR ALL RESIDENTIAL UNIT INFORMATION.
30. ELEVATOR CABS TO MEET REQUIREMENTS OF AED AND 117.1.1000.
31. WINDOW TREATMENTS TO BE PROVIDED AT ALL WINDOWS.
32. ALL STRUCTURE AT TIME OF CONSTRUCTION TO HAVE A 3 HOUR FIRE RATING, PROVIDE UNPAID APPLIED FIRE RESISTIVE MATERIAL AT STEEL BEAMS AND COLUMNS.
33. PROVIDE HOUSINGKEEPING PADS FOR ALL MAJOR MECHANICAL EQUIPMENT, AS REQUIRED. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
34. EACH RESIDENTIAL UNIT SHALL HAVE SEALS PENETRATIONS IN WALLS, CEILING, AND FLOORS AS WELL AS VERTICAL CHANGES INCLUDING UTILITY CHASES, GARAGE CAVEATS, AND ELEVATOR SHAFTS ADJACENT TO THE UNITS. WATERPROOF ALL JOINTS IN THE RESIDENTIAL UNITS LEADING TO COMMON HALLWAYS TO MINIMIZE LEAKAGE FROM OUTDOORS. THE UNITS MUST PASS A BLOWER DOOR TEST.



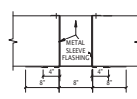
1. TYPICAL AT ALL ROOF DRAINS
2. COORDINATE LOCATIONS WITH MEP DRAWINGS



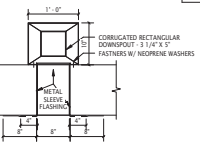
4. DETAIL ROOF CURB
A1.3 1 1/2" x 1'-0"



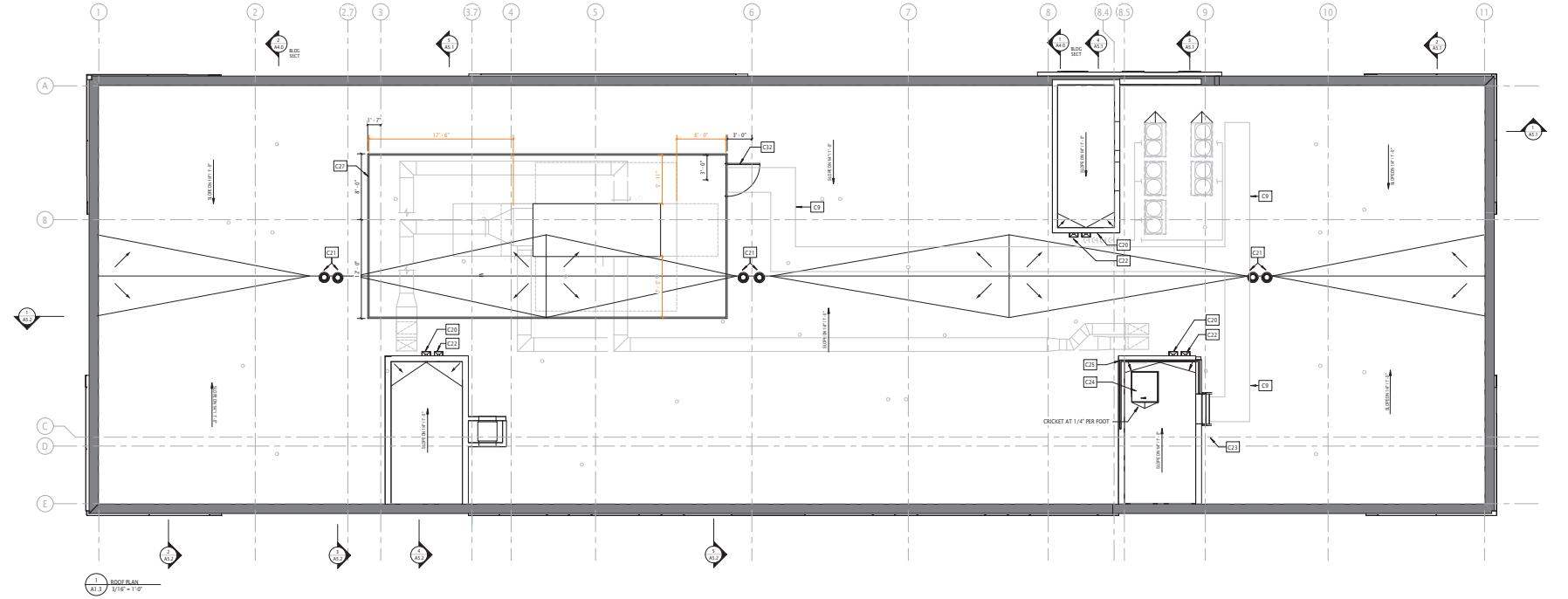
5. DETAIL ROOF PENETRATION
A1.3 1/2" x 1'-0"



3. DETAIL PLAN OVERFLOW SCUPPER
A1.3 1'-0" x 1'-0"



2. DETAIL PLAN SCUPPER
A1.3 1'-0" x 1'-0"



1. ROOF PLAN
A1.3 1/2" x 1'-0"



100 EAST PENN SQUARE
SUITE 1080
PHILADELPHIA, PA 19107
215.928.9331
JKRPARCHITECTS.COM

OWNER:

OVERBROOK REAL ESTATE INVESTORS
215.435.3400

CONSTRUCTION MANAGER:

BLUMHART KENNEDY
1300 WILMINGTON AVE
BALTIMORE, MD 21201
410.527.8017

STRUCTURAL ENGINEER:

COOPERHILL
211 N. 13TH STREET, 3RD FLOOR
PHILADELPHIA, PA 19107
215.498.0000

MEE ENGINEERS:

211 N. 13TH STREET, 3RD FLOOR
PHILADELPHIA, PA 19107
215.498.0000

555 LOFTS RESIDENTIAL DEVELOPMENT
RESIDENTIAL DEVELOPMENT
555 WOOD STREET
PHILADELPHIA, PA

EXTERIOR ELEVATIONS

DATE: 07.24.2020
DRAWN BY: RS / DBI / CMC / JMC
REVISED:

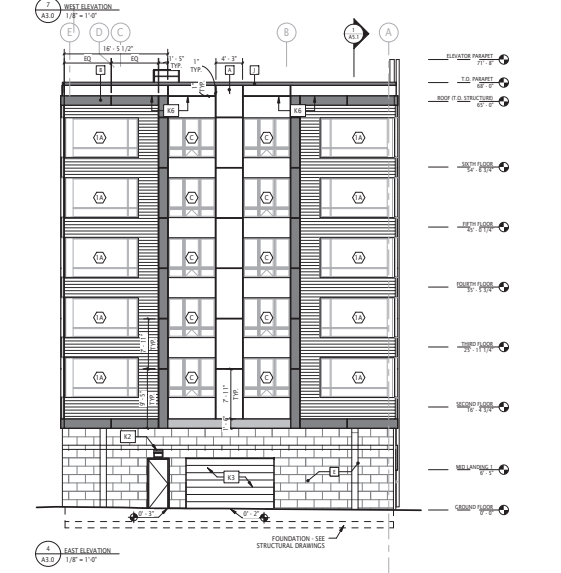
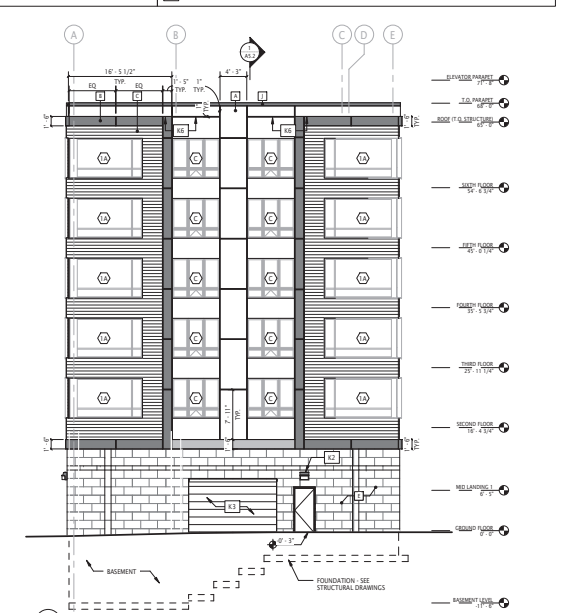
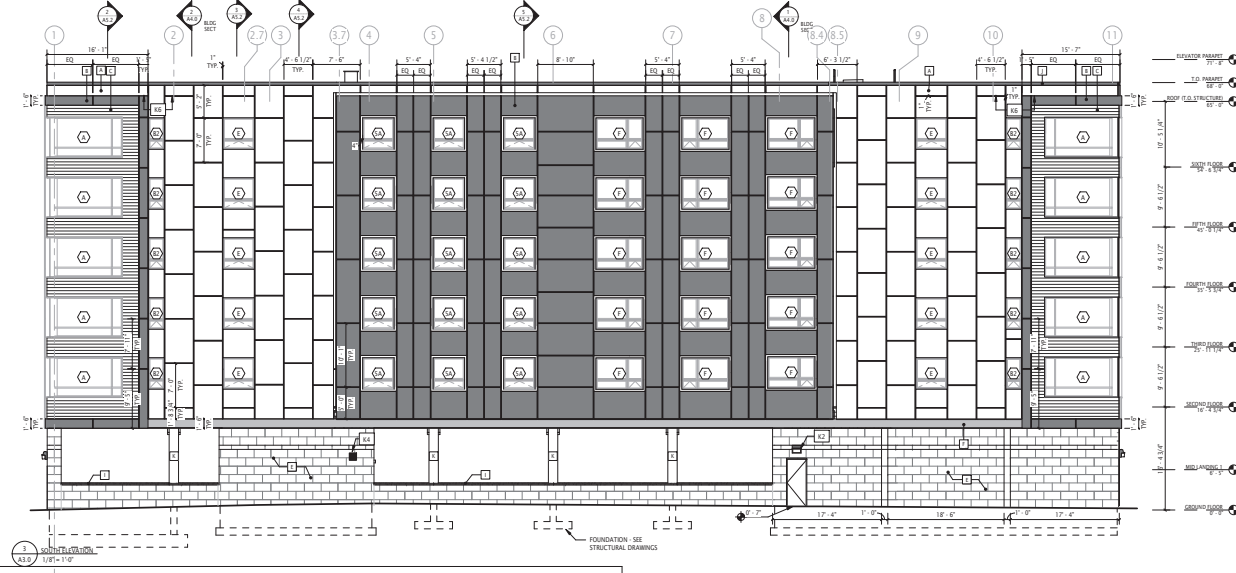
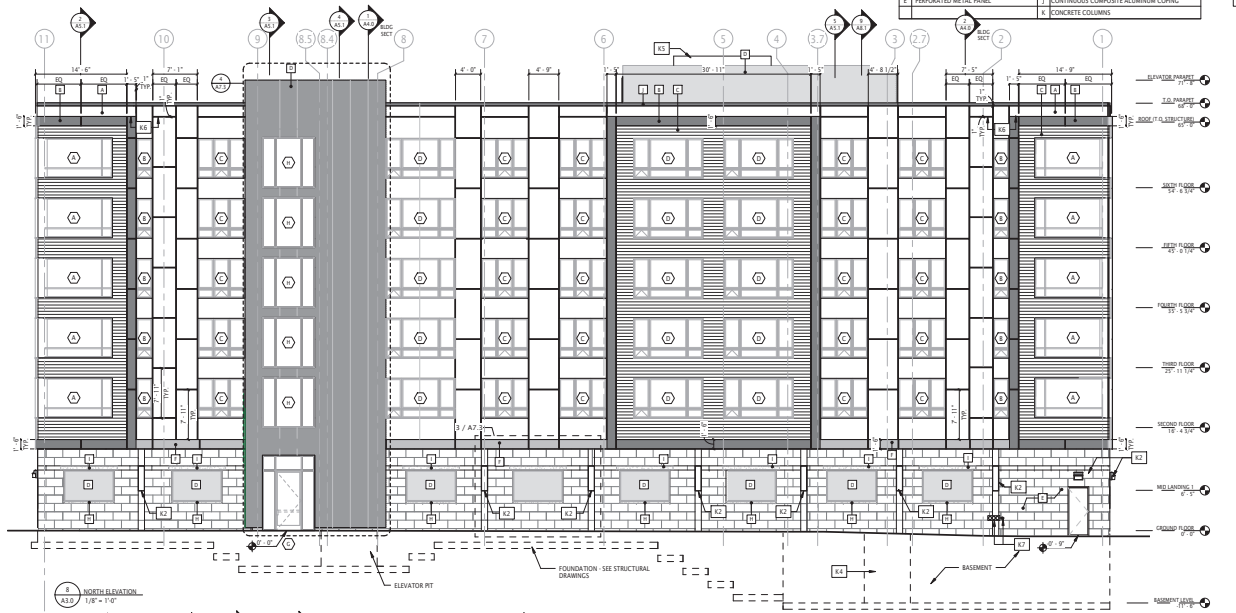


A3.0
PERMIT / BID ISSUE

EXTERIOR MATERIALS LEGEND			
A	LIGHT GRAY METAL PANEL	F	CHARCOAL METAL PANEL
B	DARK GRAY METAL PANEL	G	4" x 8" x 10" CAST STONE
C	WOOD LOOK METAL PANEL	H	CAST STONE SILL
D	PERFORATED METAL PANEL	I	CAST STONE HEADER
E	PERFORATED METAL PANEL	J	CONTINUOUS COMPOSITE ALUMINUM CORING
K	CONCRETE COLUMN		

GENERAL BUILDING ELEVATION NOTES			
1. ALL EXTERIOR BUILDING MATERIALS TO BE SELECTED BY OWNER AND REVIEWED BY ARCHITECT.			
2. ALL PANEL JOINTS TO ALIGN WITH WINDOW EDGES AS SHOWN.			
3. GC TO SUBMIT REVEAL/JOINTS DIAGRAM TO ARCHITECT PRIOR TO INSTALLATION.			

KEYED BUILDING ELEVATION NOTES			
K1	EXTERIOR LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION	K4	EXHAUST VENT - SEE MECHANICAL DRAWINGS
K2	REC'D VAULT WELL	K5	MECHANICAL SCREEN
K3	OVERHEAD DOOR, SELECTION BY OWNER	K6	ALIGN
K7	FIRE PUMP CONNECTIONS - SEE PLUMBING DRAWINGS		





100 EAST PENN SQUARE
SUITE 1080
PHILADELPHIA, PA 19107
215.928.9331
JKRPARCHITECTS.COM

OWNER/CLIENT:

OVERBROOK REAL ESTATE INVESTORS
215.435.3400

CONSTRUCTION MANAGER:

BLUMHART KROETZ
1300 MARSHALL CIRCLE
BALTIMORE, MD 21204
410.527.8017

STRUCTURAL ENGINEER:

COOPERBURN
7 EAST WYOMING FREE SUITE 310
BROOKLYN, NY 11201
718.634.0105

MEE/ARCHITECTS:

CONROY, VERDELLI, LLC
211 N. 13TH STREET, 3RD FLOOR
PHILADELPHIA, PA 19107
215.498.0000

555 LOFTS RESIDENTIAL DEVELOPMENT

RESIDENTIAL DEVELOPMENT
555 WOOD STREET
PHILADELPHIA, PA

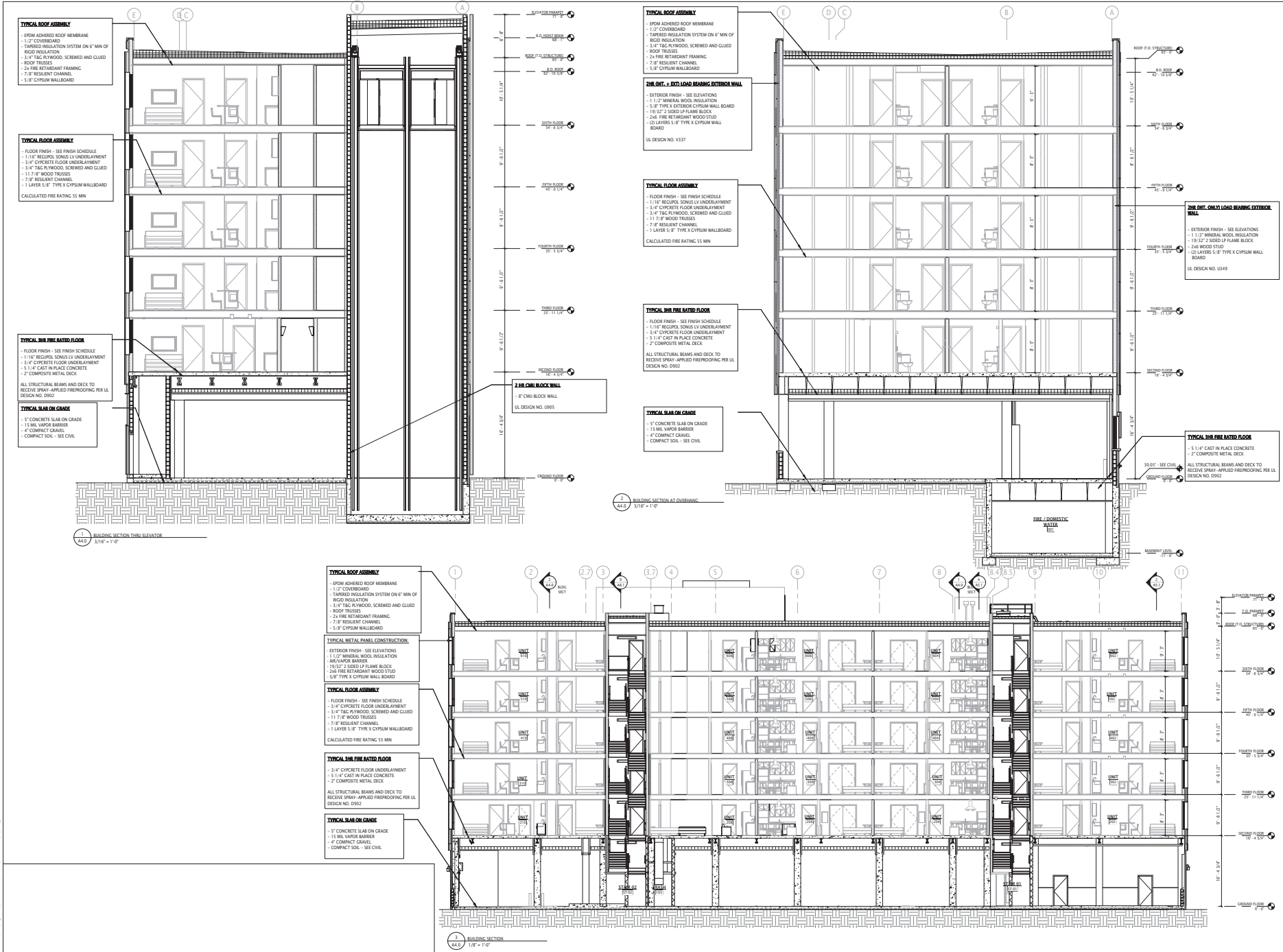
BUILDING SECTIONS

DATE: 07.24.2020
DRAWN BY: RS/DB/CLC
REVISED:

ALL RIGHTS RESERVED
COPYRIGHT 2020 JKRP ARCHITECTS, LLC. ALL RIGHTS RESERVED

A4.0

PERMIT / BID ISSUE



Copyright 2020 JKRP Architects, LLC. All rights reserved. No part of this drawing may be reproduced without written permission from JKRP Architects, LLC.



1
H-2.2

RANDOLPH STREET VIEW

H-2.2 – RANDOLPH STREET VIEW