

ADDRESS: 1106 CHESTNUT ST

Proposal: Legalize removal of glass and metal panels and repair brick façade

Review Requested: Review In Concept

Owner: Joseph Nadau

Applicant: Shae Morong, Plato Studio

History: 1933; Dr. Scholl's Comfort Shoes; Markham Ashberry, architect

Individual Designation: 4/30/1986

District Designation: None

Staff Contact: Meredith Keller, meredith.keller@phila.gov

BACKGROUND:

The property at 1106 Chestnut Street was individually designated in 1986 for its unique Art Deco façade that featured polished glass and pressed metal panels above its commercial storefront. In April 2014, the Department of Licenses and Inspections inspected the building, deemed the front façade unsafe, and issued a violation to the property owner. The violation notice specified that only the unsafe and loose panels of the façade were to be removed and that Historical Commission approval would be necessary prior to replacement. To correct the violation, the owner removed all of the panels from the façade prior to June 2014 without seeking approval from the Historical Commission. In 2016 and 2017 the staff of the Historical Commission approved two permit applications. The scope of work on both applications included the removal of the glass and metal cladding, repointing and repair of the brick façade, and the installation of new and salvaged glass and metal panels. The staff placed a condition on the application that work would be completed within 12 months.

In its present condition, the brick wall and wood parapet remain exposed, and the metal straps that once held the glass and metal panels remain in place. The proposed work would result in the long-term exposure of the brick back-up wall, the removal of the original metal fasteners, and the rebuilding of the wood parapet in brick. The character-defining glass and metal panels would not be reinstalled.

SCOPE OF WORK:

- Legalize removal of metal and glass façade panels;
- Restore exposed brick wall;
- Reconstruct wood parapet in brick; and,
- Modify storefront for new entrance.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - This application has been submitted in response to a long-standing violation related to the removal of character-defining polished glass and pressed metal panels that once adorned the building's Art Deco façade. The application proposes to legalize the removal of those features and to retain only the support brick that now comprises the front façade. The still-extant metal fasteners that once held the panels would be removed, and the wood parapet would be reconstructed in brick. The proposed work would leave the façade highly altered and would eliminate the features that contributed to the building's architectural

significance and for which it was designated. The work does not comply with this standard.

STAFF RECOMMENDATION: Denial, pursuant to Standard 9.

MAPS & IMAGES:

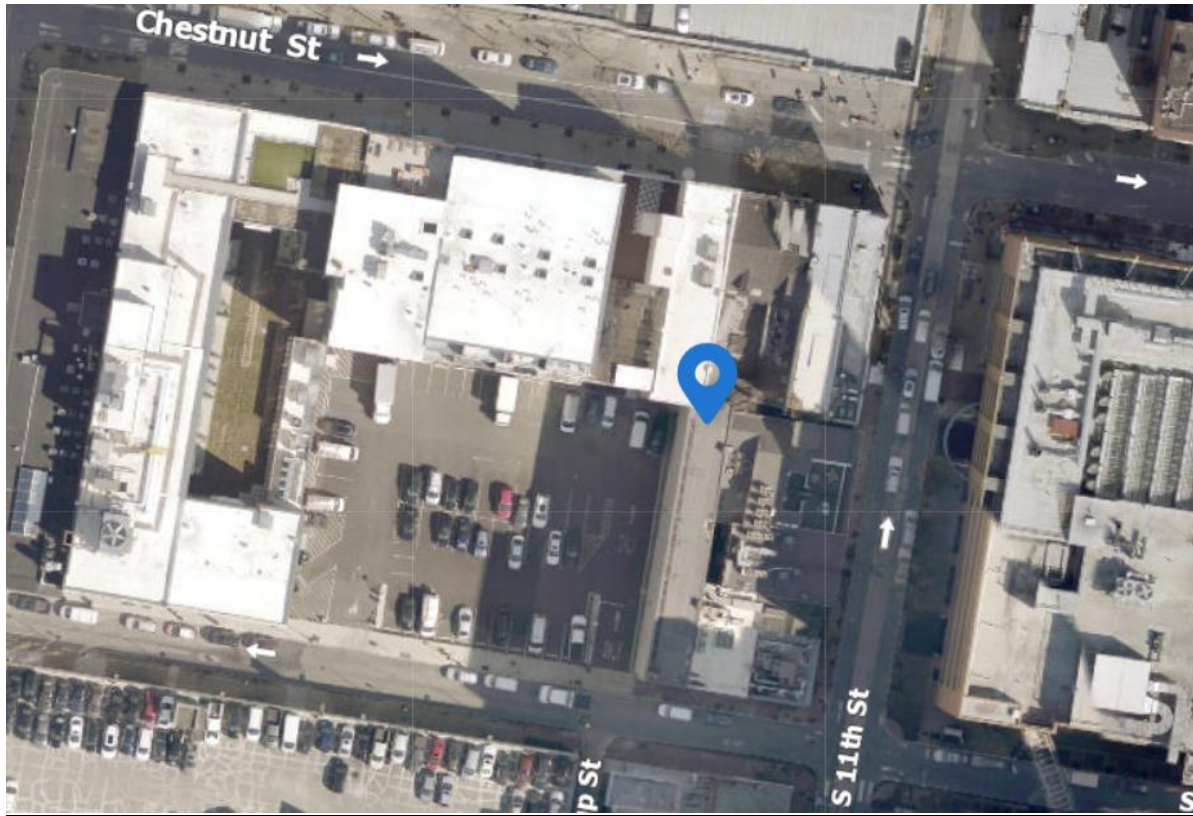


Figure 1: 2019 aerial showing 1106 Chestnut Street. Source: Atlas



Figure 2: Comparison of the 1106 Chestnut Street façade just before and immediately following the removal of the glass and metal panels. Source: Philadelphia Historical Commission.

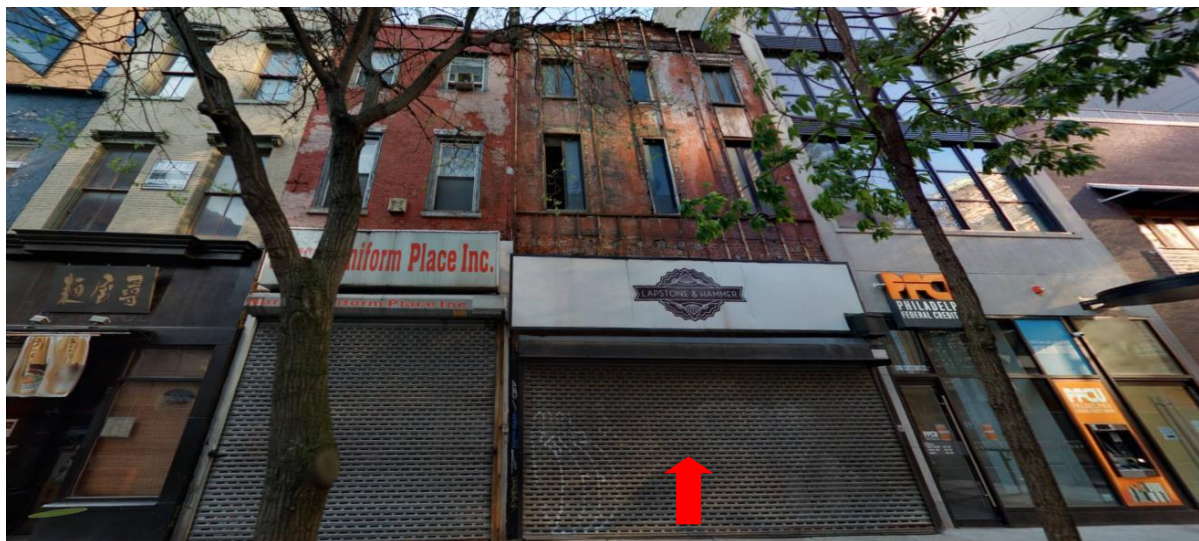


Figure 3: Front façade of 1106 Chestnut Street, May 2020. Source: Cyclomedia.



Figure 4: Portion of the 1106 Chestnut Street façade where the glass and metal panels were removed, May 2020. Source: Cyclomedia.



1106 Chestnut Street
Philadelphia Historical Commission
July/August 2020

Figure 5. Undated historic photograph of the 1106 Chestnut Street façade. Source: Philadelphia Historical Commission.



Figure 6: Undated historic photograph showing the intact façade. Source: Philadelphia Historical Commission.



Plato A. Marinakos, Jr. Architect, LLC

107 S 2nd Street 2nd floor Philadelphia PA 19106

610-207-7678 - plato@plato-studio.com

Principal

Plato A. Marinakos, Jr. AIA, CSI, Architect*

*Architect licensed in Pennsylvania, New Jersey, Delaware, Maryland

Monday July 13, 2020

Philadelphia Historical Commission
1515 Arch Street, 13th Floor
Philadelphia PA 19102

1106 Chestnut Street: Concept Approval

To Whom It May Concern,

We are submitting this application to the Historical Commission for a review on our project at 1106 Chestnut Street. Below we have listed the owners and the architect for the property at 1106 Chestnut Street, along with a brief description of the project.

Owner:

Joseph Nadav
2050 Byberry Rd
Philadelphia, PA 19116
cityblue1981@yahoo.com
215-677-4040

Architect:

Plato A Marinakos LLC
107 S. 2nd Street 2nd Floor
Philadelphia PA, 19106
267-866-0931 or 267-866-0933 (Shae)
Plato@plato-studio.com & Shae@plato-studio.com

Scope of Work:

1106 Chestnut Street is an existing 3 story mixed building. Prior plans were reviewed and approved by historic in 2016 but not feasible due to engineering restrictions and load capabilities. Further details of the feasibility will be presented to the board. Here is the option that the owner would like to move forward with:

The owner plans to remove the metal tracking that the existing façade was attached to as well as clean and repoint the brick that is currently there. The owner also would like to remove the infill brick that is located around the windows to replace the windows at a larger size (we will use and accept the Historical input and approval of the windows). The owners will replace/repair all brick that is damaged or in bad condition. Also, the parapet of the building will be rebuilt with lumber and faced with new thin brick veneer to match the existing brick. Along with these improvements to the façade the owner wishes to



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install a door leading to stairs that access the upper floors. Currently these stairs are enclosed and unusable. This is needed for a 2nd egress for the other portions of the building which is currently vacant.

Adjacent Structures:

1106 Chestnut Street is located next to a 3-story mixed building on the right-side address located at 1104 Chestnut and located next to a 5-story building on the left side located at 1108 Chestnut.

Please see our proposed plans and photos of the existing structure. Thank you!

Respectfully,

Very truly yours,

A handwritten signature in black ink, appearing to read 'Plato A. Marinakos, Jr.', followed by a long horizontal flourish.

Plato A. Marinakos, Jr., AIA, CSI Member
Plato A. Marinakos Jr. Architect, LLC



lace Inc.

Inc

LAPSTONE & HAMMER



LAPSTONE & HAMMER





LAPSTONE & HAMMER

General Conditions

-
- Upper Roof
40'-6"
- LIMIT OF WORK**
- 3rd Floor (3)
31'-0"
- 2nd Floor
17'-5"
- Mezzanine
9'-0"
- 1st Floor
0'-0"
- 31'-6" = 1'-0"
- Proposed Elevation South 2nd Street



PLATO
STUDIO

PLATO
MARINAKOS, JR.
ARCHITECT, LLC

www.plato-studio.com

1628 JFK Blvd
2nd Floor
Philadelphia, PA 19103
267-639-2932 OFFICE
610-207-7678 CELL
plato@plato-studio.com



OWNER

City Blue

ISSUED BY:
PLATO A. MARINAKOS JR ARCHITECT, LLC
FOR "APPROVAL" BY OUR CLIENT AND CUSTOMER

CLIENT IS REQUIRED TO
CHECK (X) ONE BOX

CLIENT SIGNATURE

DATA

NAME (PLEASE PRINT) _____

KINDLY RETURN ALL DRAWINGS FOR THE COMPLETE BUILDING, SIGNED AND DATED TO OUR OFFICE

[illegible]

Facade Renovation 1106
Chestnut Street "KEEP
FACADE"

Cover Sheet

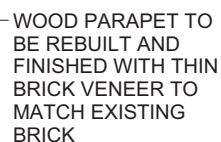
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checke

A0

Scale $3/16" = 1'-0"$

ALL DAMAGED BRICK TO BE
REPLACED TO MATCH EXISTING
BRICK FACADE

④ WINDOW CHART
3/4" = 1'-0"



 METAL TRACK
FRAMING TO
BE REMOVED

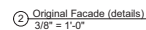
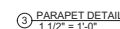
— ALL BRICK TO BE
CLEANED AND
REPOINTED

— INFILL BRICK TO BE REPLACED TO MATCH ALL OTHER EXISTING BRICK

- EXISTING ROLL DOWN SECURITY GATE TO BE SHORTENED TO ALLOW FOR SECOND STREET FRONT ENTRANCE

- NEW DOOR TO PROVIDE ENTRANCE TO EXISTING STAIRS.

① Original Facade
3/8" = 1'-0"



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ARCHITECT SEAL MUST BE IN RED INK

City Blue

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 FOR "APPROVAL" BY OUR CLIENT AND CUSTOMER

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 ONLY

<input type="checkbox"/>	APPROVED AS IS
<input checked="" type="checkbox"/>	APPROVED AS NOTED

CLIENT SIGNATURE

DAT

NAME (PLEASE PRINT) _____

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[illegible]

Facade Renovation 1106
Chestnut Street "KEEP
FACADE"

Elevations

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A2

Scale	As indicated
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CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES AND INSPECTIONS

EMERGENCY SERVICES & ABATEMENT
Municipal Services Building
1401 J.F. Kennedy Blvd.
Rm. 1140
Philadelphia, PA 19102

VIOLATION NOTICE

NADAU JOSEPH
2050 BYBERRY RD
PHILADELPHIA PA, 191163016

Subject Premises: 1106 CHESTNUT ST

Case No: 426369

Date of Notice: 04/22/14

This is to inform you that the Department of Licenses and Inspections has inspected the subject premises and designated it as **UNSAFE**, in whole or in part, within the meaning of the Philadelphia Property Maintenance Code, Section PM-307.0 Unfit Structures and Equipment. This designation will remain until the violation(s) below is corrected and the structure is made safe and secure or is taken down and the debris is properly removed.

If you fail to comply with this order within 30 days, the City may eliminate the unsafe condition(s) by repair or demolition using its own forces or by contract. You, the owner, will be billed for all costs incurred including an administrative fee. Failure to pay such bill will result in the City filing a lien in the amount against the title to the premises and/or costs and charges being recovered by a civil action brought against you. (See PM-308.6)

If you intend to appeal this violation, you must apply at Boards Administration, Public Services 11th Floor, Municipal Services Building, 1401 John F. Kennedy Blvd., Philadelphia, PA 19102, within 5 days of the date of this notice. Telephone inquiries concerning appeal process can be directed to 215-686-2419. It is necessary that you submit a copy of this notice with the appeal. (See A-801.2)

Note: If you intend to demolish or rehabilitate the structure, or any part of it, you must obtain all required permits in advance of beginning such work.

If you have any questions regarding this notice, you may call the Contractual Services Unit at 215-686-2583.

INSPECTOR CLARK
Emergency Services & Abatement Unit

VIOLATIONS:

You are hereby ordered to obtain the services of a Pennsylvania Registered Professional Engineer to survey and report on the conditions listed below, send the report to the above listed district office. Repairs are to be made in accordance with the written recommendations of the engineer. [See A-304.1]

Location: FRONT FACADE

**ONLY TO REMOVE UNSAFE AND LOOSE FACADE. HISORTICAL COMMISSION
APPROVAL PRIOR TO REPLACEMENT.**

Status NOT COMPLIED



CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES AND INSPECTIONS

EMERGENCY SERVICES & ABATEMENT
Municipal Services Building
1401 J.F. Kennedy Blvd.
Rm. 1140
Philadelphia, PA 19102

VIOLATION NOTICE

NADAU JOSEPH
2050 BYBERRY RD
PHILADELPHIA PA, 191163016

Within this designated historic district, original window and door openings, sills, lintels, and sashes must be retained and repaired whenever possible. Replacement elements must match the original appearance in proportion, form, and materials as closely as possible. (See PM-704.2.5)

Location: FRONT FACADE

**ONLY TO REMOVE UNSAFE AND LOOSE FACADE. HISORTICAL COMMISSION
APPROVAL PRIOR TO REPLACEMENT.**

Status NOT COMPLIED

The indicated wall of the subject structure is partially collapsed and in danger of further collapse. The structure has therefore been designated as unsafe in accordance with Section 307 of the Philadelphia Property Maintenance Code. You must repair the wall or demolish the structure in whole or in part. Please see additional important information below. [See PM-307.1]

Location: front facade

Status NOT COMPLIED



Committee on Historic Designation Meeting Minutes

14 March 1986

5

fifth largest single category of American industry. Two secret processes associated with Henry Burk revolutionized the kid leather industry worldwide, reduced production time from months to days, and created an American product that equalled kid leather from France. A U.S. Congressman and President of the National Morocco Manufacturers Association, Burk owned the complex from 1891 until his death in 1903. The site of leather processing since 1815, the buildings and grounds of the plant contain buildings dating from numerous periods of leather processing technology. Burk Brothers and Company remains the oldest and largest group of intact leather industry structures within the boundaries of Philadelphia's Old Leather District.

Caroline Golab and Janet Klein will make a visit to the factory site. The Committee voted unanimously to recommend the designation of the Burk Brothers plant subject to the site visit.

Doctor Scholls Foot Comfort Shoes
Glass Facade 1933

1106 Chestnut Street
Markham Asberry, Architect

The storefront at 1106 Chestnut Street possesses significance as an outstanding example of a glass commercial facade rendered in the Art Deco style. This storefront realizes the Art Deco ideal of the melding of machine-made materials with contemporary design. Of course, storefronts had long reflected technological advances in building materials, but Art Deco architects fully embraced the design potential of machine-made products. Art Deco utilized the smooth sleek qualities of terra-cotta and glass as well as the design possibilities inherent in shiny metals and geometrically stylized objects. Structural glass as it was called, was developed around the turn of the century for sanitary applications such as bathrooms and kitchens. During the second and third decades of the twentieth century, however it also began to replace tile and marble as a material for storefronts. By the 1930s manufacturers were marketing glass shopfront systems in rich colors such as Chinese red, jet black, forest green and milk white. Architects like Markham Ashberry employed glass in combination with gleaming metals and neon to produce the revolutionary new look of shopfront designs exemplified by 1106 Chestnut Street. The Doctor Scholls store serves as a rare surviving example of a full facade glass shopfront and as a fine representation of its materials and style.

The Committee recommended the designation of the building at 1106 Chestnut Street by a vote of 6 to 0.

Deborah Gay Mansion
1889: Geissinger and Hales

2002 North Broad Street

The Deborah Gay Mansion possesses architectural significance as a rare and fine residential design by the firm of Geissinger and Hales and historical importance as the home of Deborah Gay, widowed wife of John Gay an important North Philadelphia industrialist. The house, one of the more elaborate brownstones in the city, is loosely based on Renaissance Revival design

Public Comment submitted in response to the 1106
Chestnut Street application

1106 Chestnut, 7-26 meeting PHC Architectural

howardbhaas@aol.com <howardbhaas@aol.com>

Thu 7/23/2020 9:42 AM

To: preservation <preservation@Phila.gov>; Meredith Keller <Meredith.Keller@Phila.gov>

Cc: pr.steinke@gmail.com <pr.steinke@gmail.com>

 7 attachments (7 MB)

DSCN0490 Haas.jpg; DSCN0491 Haas.jpg; DSCN0502 Haas.jpg; 3-25-14 DSC04026 Christopher Motes.jpg; Haas 7-28-2007DSCN1041.JPG; Haas 1-20-2008 DSCN2187.JPG; 2012 Facebook, Laura Kicey.jpg;

External Email Notice. This email comes from outside of City government. Do not click on links or open attachments unless you recognize the sender.

-I'd much appreciate an email from Meredith Keller or another staffer that my comment + photos herein has been received & will be shared with the Committee-

Dear Architectural Committee of Philadelphia Historical Commission:

As a Center City resident, attorney, and a fan of Art Deco and other historic architecture to the extent that I've volunteered for years to advocate for the survival and designation of buildings including an Art Deco movie palace, the Boyd Theatre (as president of Friends of the Boyd), I oppose the application before the Architectural Committee on 7-26-20 to "Legalize removal of glass and metal panels and repair brick facade" of 1106 Chestnut.

Instead of such legalization, **1106 Chestnut should have its original metal panels returned to it, along with glass or a material (see Colonial below) meant to evoke the original glass** so that it will again look like its beautiful 1933 Art Deco character.

The sad story of the dismantling of the original facade of 1106 Chestnut is here.

<https://hiddencityphila.org/2014/04/in-search-of-a-cure-for-city-blue/>

I provided this week to Meredith Keller, the Historical Commission's staffer for this matter, my 21 photos of each of the beautiful original metal panels and of the rest of the facade of 1106 Chestnut being dismantled on April 12, 2014. **Attached** are 3 of my **photos** (0490, 0491, 0502) of the ornate metal panels. Also attached is a photo (04026) from March 25, 2014, perhaps the last photo of the intact facade, that Christopher Motes shared with me for the historical record. And, 2 more of my photos of the building as a whole, one from 2007 (1041) and another from 2008 (2187) that showed how 1106's facade was brilliantly prominent on the block. And, a photo 2012 posted on Facebook, by Laura Kicey.

The application includes the 1986 Architectural Committee's characterization that the Art Deco facade of 1106 Chestnut was "outstanding" and an "Art Deco ideal"

The current store's website describes the 1933 Art Deco remodel of the facade as follows:

"In 1933 the building was redesigned by a Chicago architect named Markham Ashberry, and reopened as a Dr. Scholl's Foot Comfort Shoes store. Along with re-fitting the interior from a drug store and deodorant factory into a shoe and foot care store, Markham drastically redesigned the front of the building. Using Vitrolite, an opaque and lustrous brand of industrial glass, Markham mixed individual panels of dazzling greens and golds set amongst a sea of black panels in a representation of

Streamline Moderne - a late Art Deco style emanating from Germany's Bauhaus school. This was the main reason the building was added to the Philadelphia Register of Historic Places in 1986, with the commission citing the "outstanding example of a glass commercial facade rendered in the Art Deco Style"

https://www.lapstoneandhammer.com/blogs/news/27932865-1106-chestnut-street-a-house-full-of-history?fbclid=IwAR30gdzVb2akzljQouy3z_Yyp3OrFdalAVcemt8nXWne5n0D5YAC1hiuwUM

The **National Register** of Historic Places for East Center City Commercial District lists 1106 Chestnut as "Significant" and describes the **"fabulous 3-story Art Deco black glass and stainless steel refacing...important floral deco spandrel panels; stepped top."**

That 1100 block of Chestnut St until recently had a fantastic assemblage of prewar 20th Century architecture, but recently lost Coward Shoes (1118 Chestnut, Louis Kahn, 1949 demo 2014), Lerner Shops aka Gola (1112 Chestnut, Sol Kaplan, 1935 late Art Deco demo 2014) and the Streamline Moderne/Art Deco parking garage on the north side (1101 Chestnut, Ballinger & Co, 1940, demo 2020) the last of which the National Register characterized as a "4-story Art Deco masterpiece."

1106 Chestnut was not only the most spectacular Art Deco building on a block that had other wonderful examples of Art Deco & 20th Century architecture, but 1106's facade was also one of Philadelphia's finest examples of the Streamline Moderne/Art Moderne version of Art Deco!

The original ornate metal panels, which were saved by the building owner should be returned to the facade along with replica Art Deco glass or something to simulate the look.

In 2014, I emailed 1106 Chestnut St's owner a link that still works as to **"Timm Dunn is the Vitrolite specialist nationwide"**
<http://www.vitrolitespecialist.com/>

and I emailed that

"This federal publication describes Vitrolite & Carrara glass repair and replacement"
<http://www.nps.gov/tps/how-to-preserve/briefs/12-structural-glass.htm#replace>

That federal publication also discusses the substitution of other materials instead of the original glass.

Not far away, in Chester County, **the Colonial Theatre in Phoenixville, PA wanted to restore its 1957 Streamline Moderne/Art Moderne facade**, but concerned that Vitrolite manufacture is expensive and that glass breaks, architect Thomas W. Carnevale of Phoenixville in 2002 **substituted metal panels meant to evoke a similiar appearance**, instead of the original Vitrolite or other structural glass, and received design approval by the Pennsylvania Historical and Museum Commission.

<https://cearchitects.com/colonial-theater-historic-remodel.php>

As to assertions that authentic restoration is difficult or not possible, many historic buildings in Philadelphia have had their facades restored with materials that were not originally there.

In **Washington DC**, after a famous Chinese restaurant, **Yenching Palace**, at 3524 Connecticut Ave NW closed in 2007, the building's 1945 **Streamline Moderne/Art Deco facade which included structural glass such as Vitrolite, was restored, after the facade was totally dismantled**, for Walgreens. Before & after photos:

<https://www.popville.com/2012/05/then-and-now-by-the-house-history-man-yenching-palace/>
and

<https://www.roadarch.com/signs/dc.html>

The below photo proves that the facade was totally redone for Walgreens!

<https://www.flickr.com/photos/tombarnes20008/3990309184>

In 1945, "Pigmented structural glass (often referred to by proprietary names such as Vitrolite or Carrara or Sani-Onyx) was used for the facade. This smooth, reflective surface was seen as an affordable substitute for marble.....The 2009 façade recreation, executed by architects Rust, Orling & Neale, most closely reflects the 1945 design of R.C. Archer, Jr"

<https://www.facebook.com/pg/Art-Deco-Society-Of-Washington-DC-294908190534074/posts/>

If Walgreens could accomplish that restoration in Washington DC, then surely here in Center City Philadelphia, the historically designated Art Deco facade at 1106 Chestnut can be restored.

Because the Art Deco facade of 1106 Chestnut **survived for 81 years**, from 1933 to 2014, it is impossible to believe that it can't be restored with its original metal panels and either glass or another material to invoke the look of the original black glass.

Please insist that 1106 Chestnut be restored to something like its prior Art Deco beauty!
That spectacular, historic beauty are too wonderful to lose forever.

Sincerely,

Howard B. Haas
Philadelphia
Direct 215-790-1821



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215.413.4900
Call Steven M. Ciolino

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PRO SO

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records
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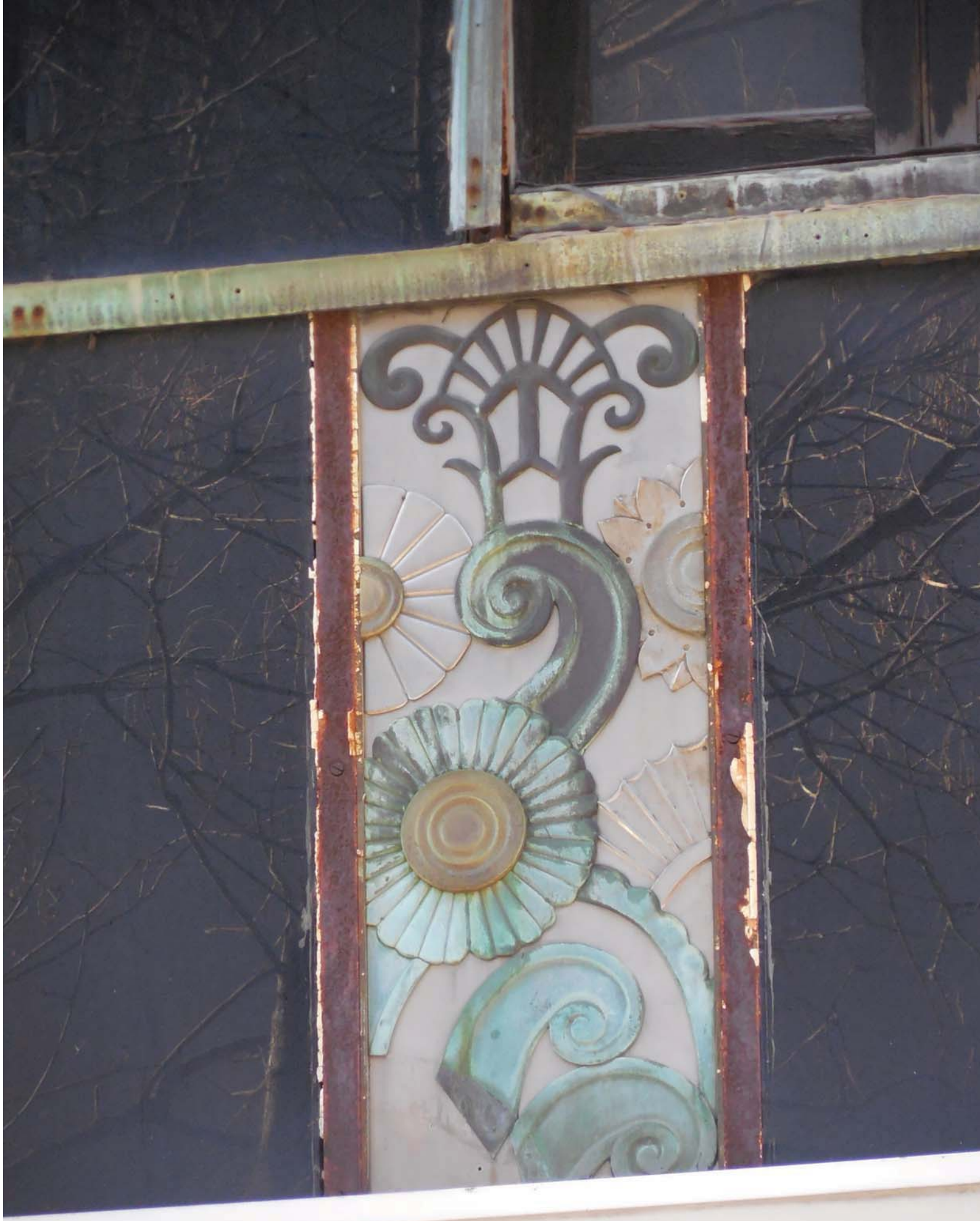
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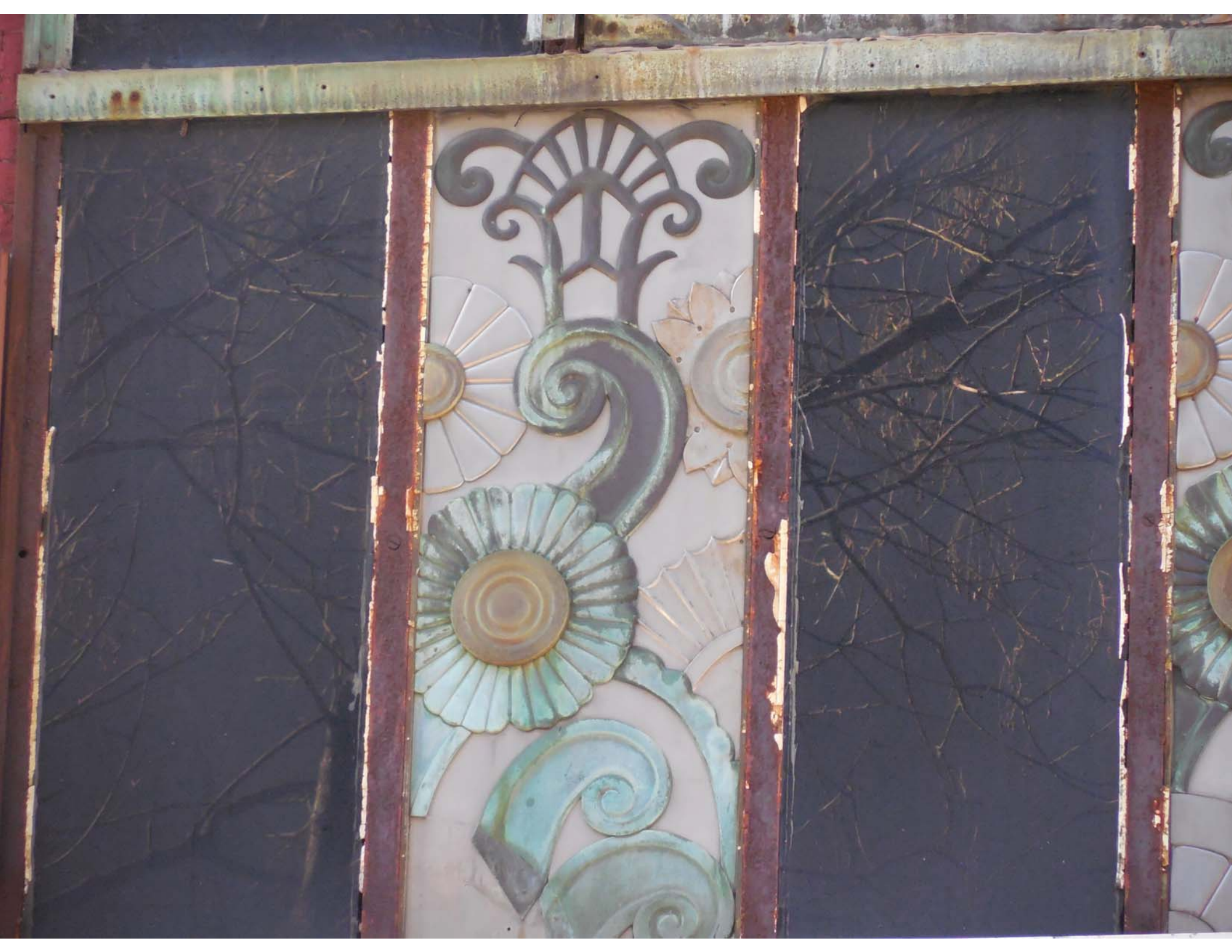








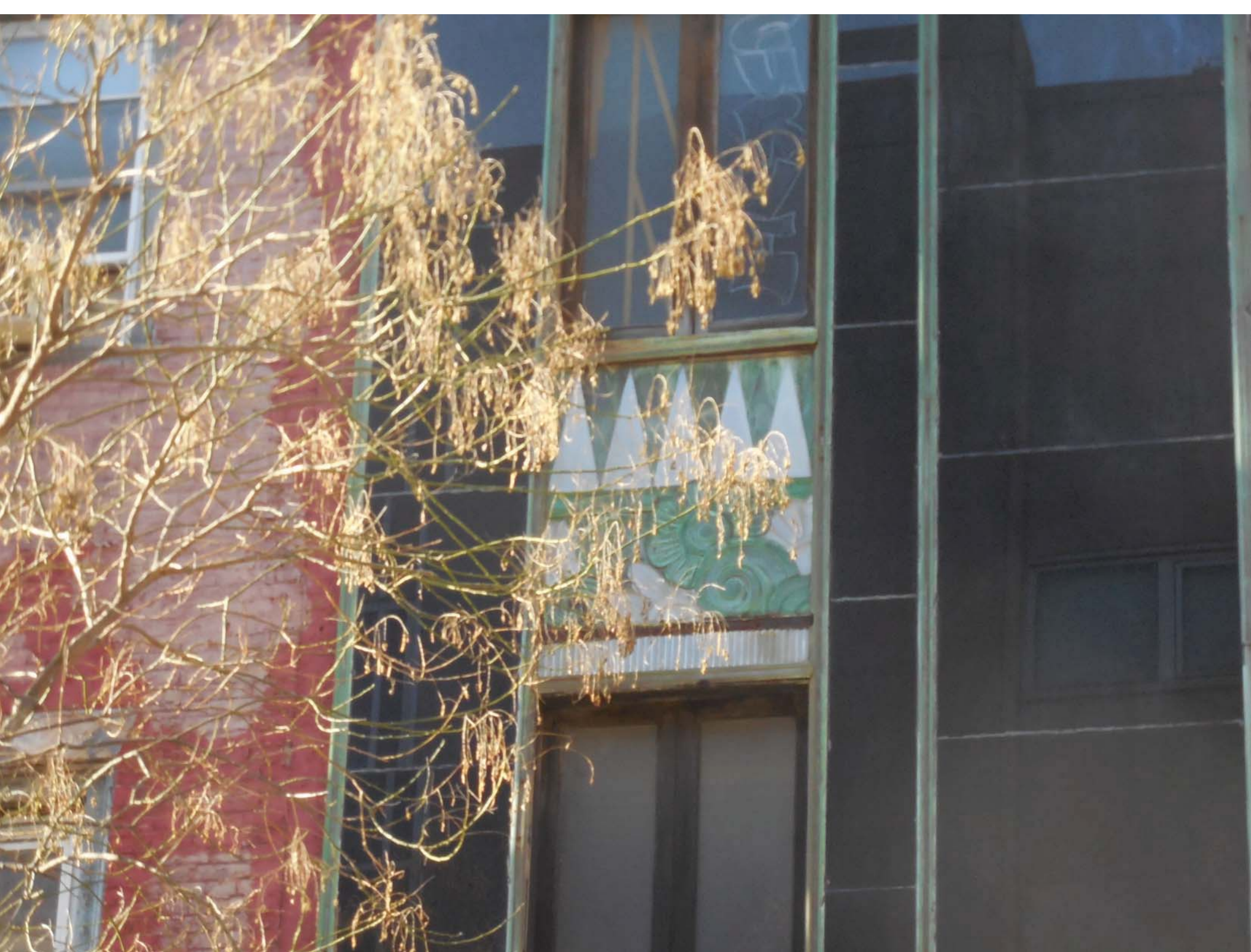






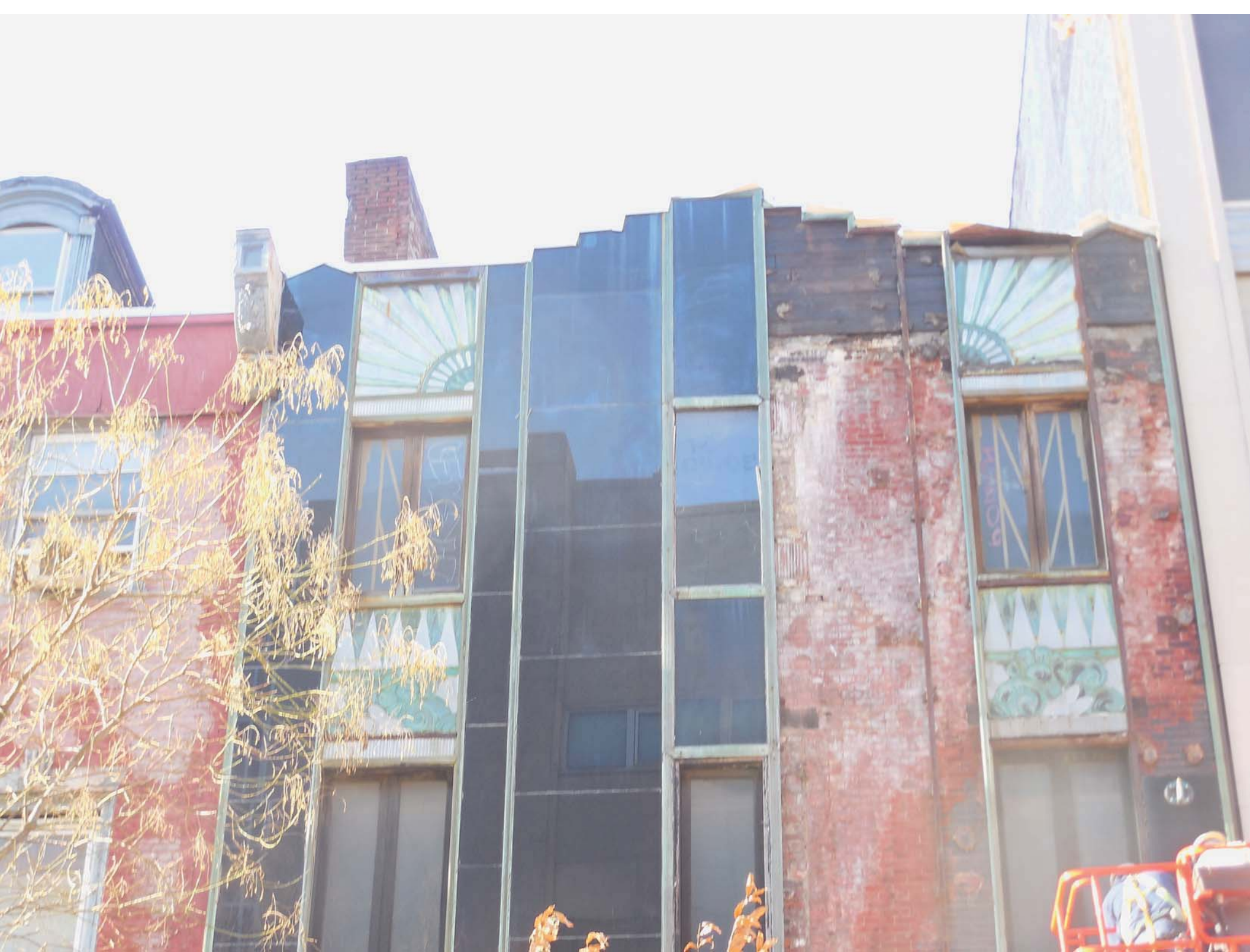


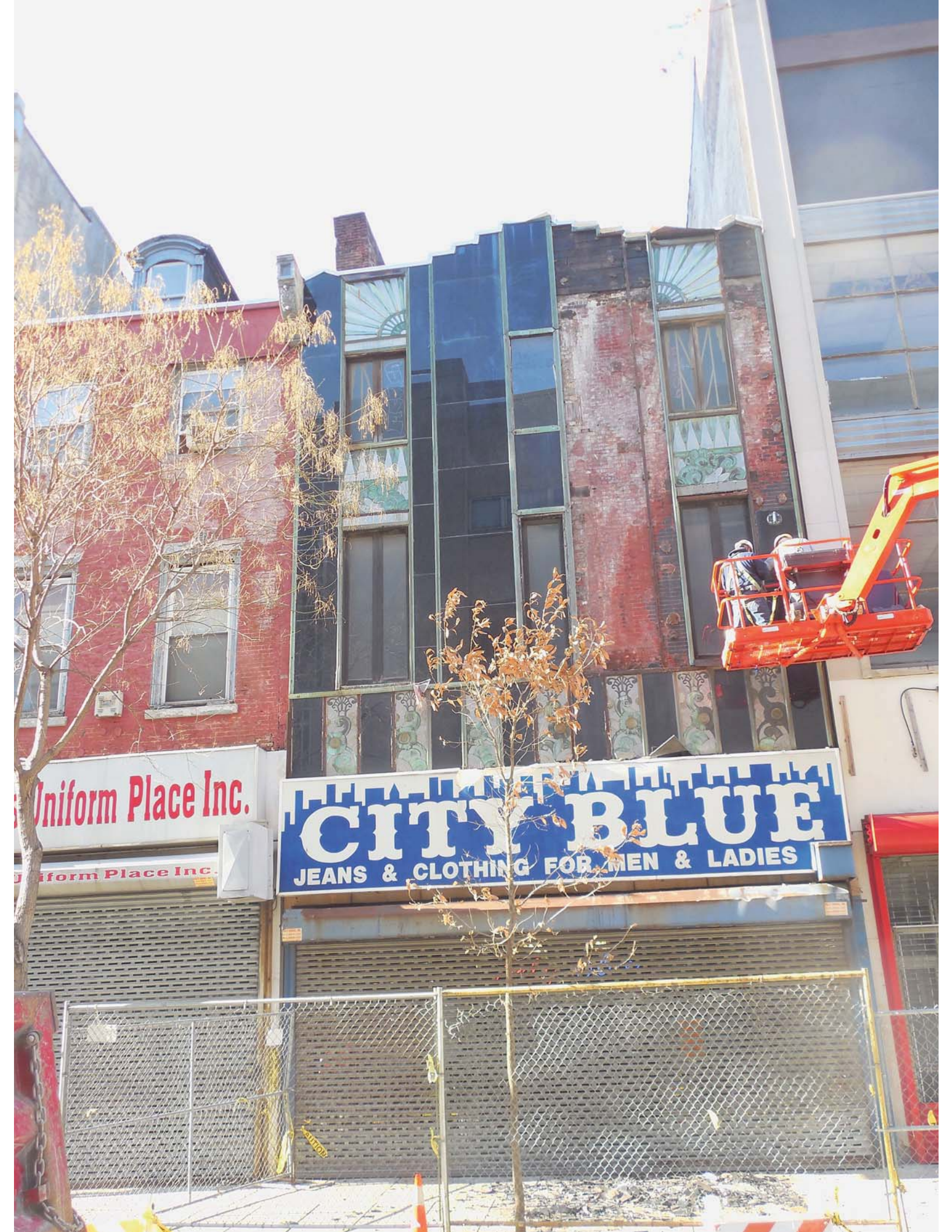












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