



May 13, 2020

Arts Commission
1515 Arch Street
13th Floor
Philadelphia, PA, 19102

RE: Wanamaker Plaza Renovation
100 Penn Square East, Philadelphia Pennsylvania 19107

To whom it may concern,

We are requesting to place an item on the Sign Committee's agenda for the next regular meeting. We are proposing two new signs at the Wanamaker Plaza.

1S. The first is an illuminated "WANAMAKER" letter sign. The individual letters are on the west end of the existing 2'-0" tall stone planter wall. The letters would align with the top of the walls curved layout. The sign faces the street. The letters are 1'-6" high and 6" thick, with the legs of each letter approximately 5" wide. The letters are 14-gauge stainless steel on the front and back, and the sides are translucent acrylic. The internally illuminated letters glow on the edges with LED fixtures inside each letter.

2S. The second is an illuminated plaque on the east side of the plaza, on a new 1'-0" tall concrete planter wall. The plaque is elevated from the new concrete planter wall with steel standoff's and is 2'-6" to 3'-0" above the sidewalk. The sign is 14-gauge stainless steel with etched and cut out elements and backed with translucent acrylic and illuminated from below with LED light fixtures. The plaque is a history of the Wanamaker Building.

Amerimar Building General Manager: Natalie Kidd
phone: 215.851.0406 email: nkidd@amerimar.com
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Philadelphia, PA 19107

Tantillo Architecture: Chris Tantillo
phone: 215. 864.7315 email: ctantillo@tantilloarchitects.com
2929 Arch Street . Suite 2800
Philadelphia, PA 19104

Sincerely,

Christopher Tantillo, AIA NCARB
Principal



PROJECT: WANAMAKER PLAZA RENOVATION

DATE: MAY 13, 2020

TO: CITY OF PHILADELPHIA
ARTS COMMISSION ATTN: SIGNAGE COMMITTEE
1515 ARCH. ST., 13TH FLOOR
PHILADELPHIA, PA 19102

The following items are submitted:

ITEM DESCRIPTION	# OF PAGES	# OF COPIES
Cover Letter	2	3
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Appendix A	1	3
Presentation	12	3
Issue For Permit	14	3



May 11, 2020

Arts Commission
1515 Arch Street
13th Floor
Philadelphia, PA, 19102

RE: Wanamaker Plaza Renovation
100 Penn Square East, Philadelphia Pennsylvania 19107

Art Commission,

We are proposing a renovation to the existing entrance plaza, sidewalk, and planters in front of the main office entrance at the Wanamaker building:

1. Existing Conditions: The plaza consists of a stone edged planting bed, which contains lights, flagpoles, a piece of sculpture, signage, grates, and utility access. Additionally, there are concrete sidewalks surround the planting bed. There are light poles on the planter wall and bollards that surround the planter wall and building entrance.
2. Demolition: The low stone planter wall is to remain except for the demolition of a portion of the wall that encompasses a semi-circular planting area near the front entrance. Demolition of existing concrete sidewalks (extent on drawings). All existing plantings will be removed. Demolition of existing light poles and bollards. Demolition of all the existing planting materials inside the planting bed. Removal of existing sculpture. Adjustments in the height of the existing utility holes and adjustments in the height of the existing ventilation grates.
3. New work: The renovated plaza includes a new concrete sidewalk and new stone pavers in the plaza area fronting the entrance. Addition of a low concrete wall to close the planting bed (at the demolished semi-circular component of the planting bed), this new low concrete wall has a metal cover and a metal structured illuminated display plaque (see 2S below), new benches on top of the existing stone wall, new light poles in replacement (same location) of the existing light poles, new plantings in the raised planting bed, new lighted letters signage along the existing stone wall (southwest end of the low stone wall area – see 1S below), new illuminated bollards at the south end of the plaza, and a new sidewalk to street ADA access ramp for a crosswalk at the south end of the project site. We are proposing two new signs at the Wanamaker Plaza:
 - a. (1S) The first is an illuminated “WANAMAKER” letter sign. The individual letters are on the west end of the existing 2’-0” tall stone planter wall. The letters would align with the top of the walls curved layout. The sign faces the street. The letters are 1’-6” high and 6” thick, with the legs of each letter approximately 5” wide. The letters are 14-gauge stainless steel on the front and back, and the sides are translucent acrylic. The internally illuminated letters glow on the edges with LED fixtures inside each letter.
 - b. (2S) The second is an illuminated plaque on the east side of the plaza, on a new 1’-0” tall concrete planter wall. The plaque is elevated from the new concrete planter wall with steel standoff’s and is 2’-6” to 3’-0” above the sidewalk. The sign is 14-gauge stainless steel with etched and cut out elements and backed with translucent acrylic and illuminated from below with LED light fixtures. The plaque is a history of the Wanamaker Building.



Amerimar Building General Manager: Natalie Kidd
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Philadelphia, PA 19107

Tantillo Architecture: Chris Tantillo
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2929 Arch Street . Suite 2800
Philadelphia, PA 19104

Sincerely,

Christopher Tantillo, AIA NCARB
Principal



EXISTING BUILDING FACADE



BUILDING TO LEFT



BUILDING TO RIGHT



VIEW DOWN BLOCK TO LEFT



VIEW DOWN BLOCK TO RIGHT



VIEW ACROSS THE STREET
FROM SITE



VIEW ACROSS THE STREET
TO SITE



INTENDED POINT OF VIEW



INTENDED POINT OF VIEW



INTENDED POINT OF VIEW



INTENDED POINT OF VIEW



INTENDED POINT OF VIEW



INTENDED POINT OF VIEW



INTENDED POINT OF VIEW



INTENDED POINT OF VIEW



INTENDED POINT OF VIEW

WANAMAKER PLAZA RENOVATION

100 E. PENN SQUARE
PHILADELPHIA, PA 19107

TANTILLO ARCHITECTURE

2929 ARCH STREET
PHILADELPHIA, PA 19104
SUITE 2800



WANAMAKER PLAZA RENOVATION

100 E. PENN SQUARE
PHILADELPHIA, PA 19107

DESCRIPTION OF WORK:

*Renovation of the existing
entrance plaza, sidewalk,
and planters in front of the
Wanamaker office building.*

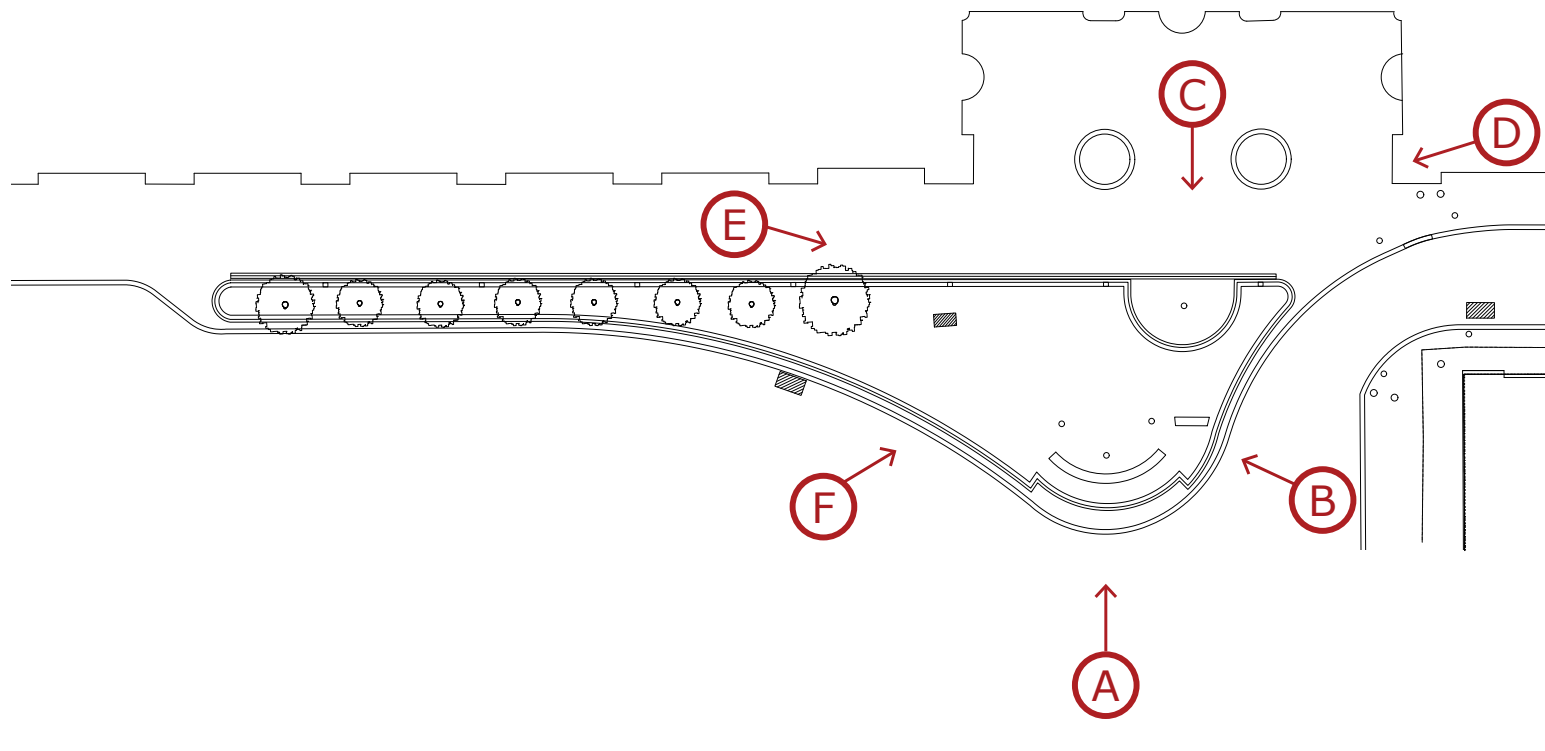
*The renovation is to include
two new signs:*

1. "WANAMAKER" letter sign
2. Timeline Plaque



LOCATION MAP

NOT TO SCALE



EXISTING SITE PLAN



F. EXISTING VIEW ACROSS THE STREET



A. EXISTING FRONT VIEW



B. EXISTING SIDE VIEW



C. EXISTING VIEW FROM ENTRANCE

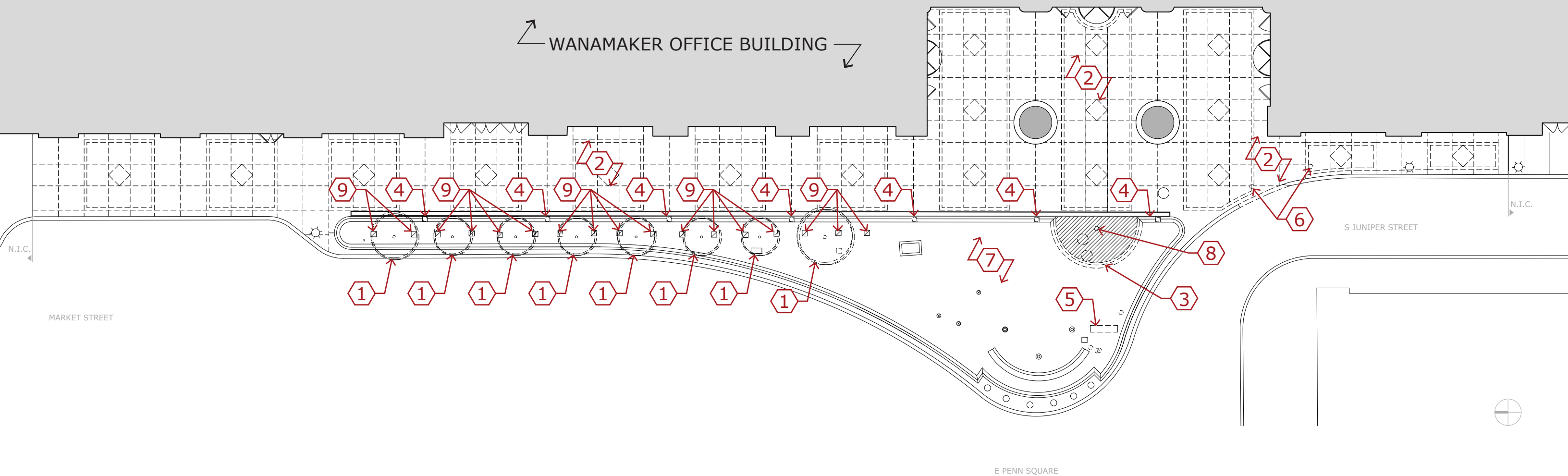


D. EXISTING SIDE VIEW



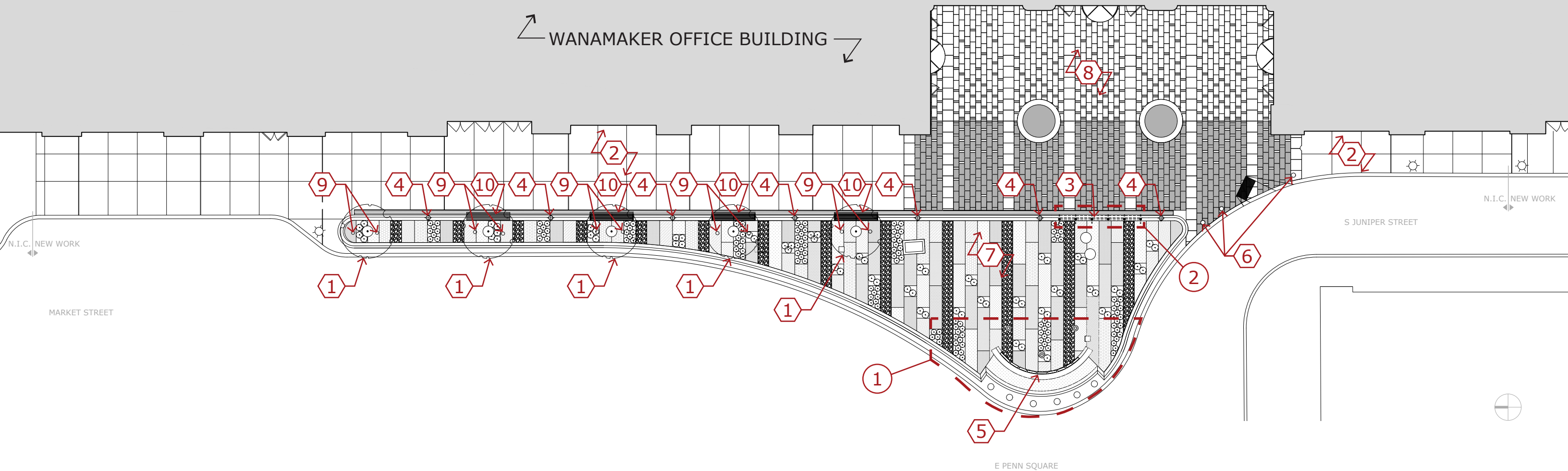
E. EXISTING SIDE VIEW

SITE PHOTOS



DEMOLITION PLAN

1. EXISTING TREES TO BE REMOVED.
2. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
3. EXISTING STONE PLANTER WALL TO BE REMOVED.
4. EXISTING LIGHT POLES TO BE REMOVED.
5. EXISTING SCULPTURE TO BE REMOVED.
6. EXISTING BOLLARDS TO BE REMOVED.
7. EXISTING PLANTINGS TO BE REMOVED.
8. EXISTING CIGARETTE TRASH CAN TO BE REMOVED.
9. EXISTING IN-GROUND LIGHTS TO BE REMOVED.



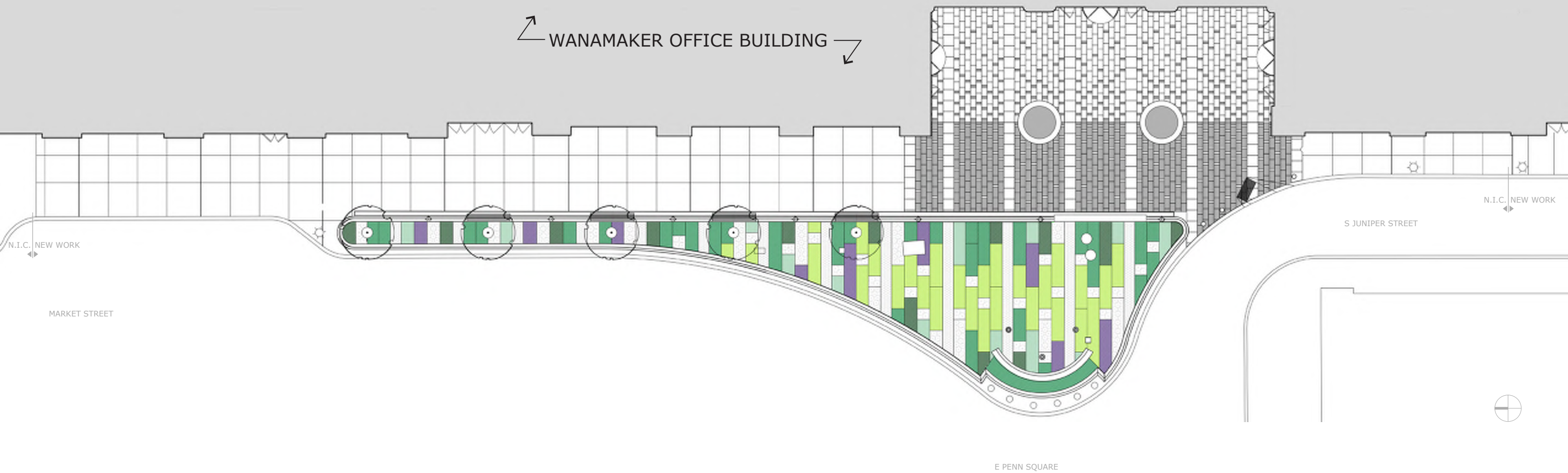
PROPOSED HARD SCAPE PLAN

1. NEW TREES.
2. NEW CONCRETE SIDEWALK.
3. NEW WANAMAKER TIMELINE PLAQUE.
4. NEW LIGHT POLES AT EXISTING LOCATIONS.
5. NEW "WANAMAKER" LETTER SIGN ON TOP OF EXISTING STONE WALL.
6. NEW ILLUMINATED BOLLARDS AT EXISTING LOCATIONS.
7. NEW PLANTINGS IN EXISTING PLANTING BED.
8. NEW STONE PAVERS.
9. NEW IN-GROUND LIGHTS.
10. NEW BENCHES ON TOP OF EXISTING STONE PLANTER WALL.

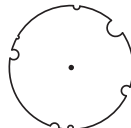








BIRD'S EYE VIEW OF PROPOSED WORK

See page 10 for full size image.



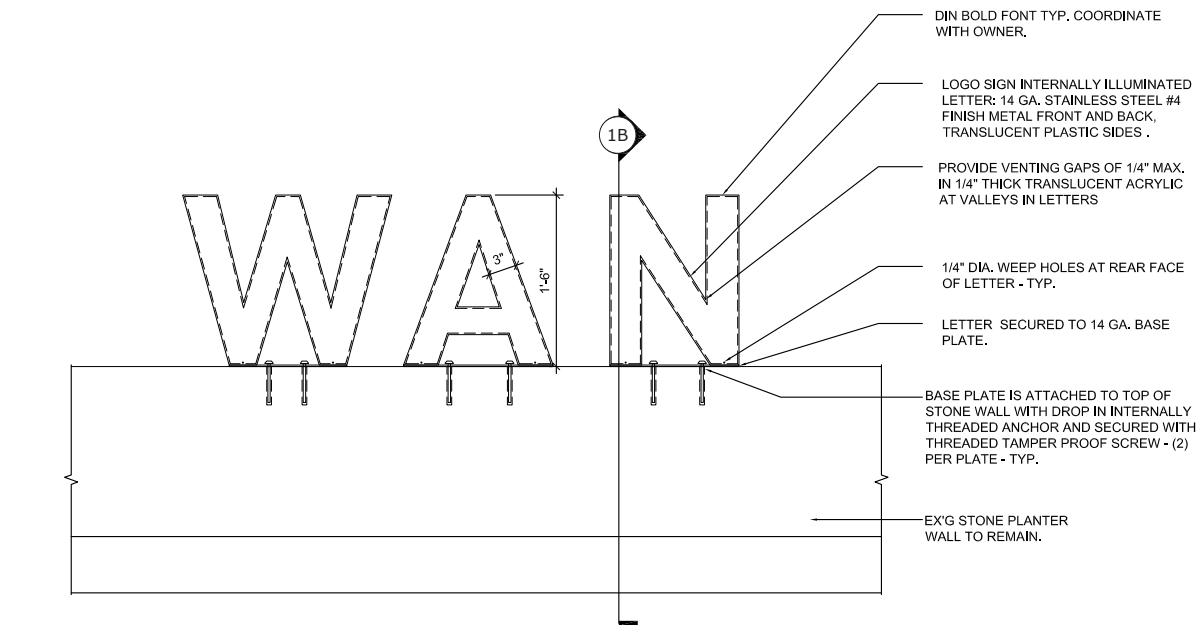
PROPOSED LANDSCAPE PLAN

- 
 CANOPY TREE PLANTING
- 
 SHRUB PLANTING
- 
 PERENNIAL PLANTING, SEE "APPENDIX A" FOR PLANT SCHEDULE.
- 
 STONE
- 
 PEDESTRIAN POST LIGHT COLUMN
- 
 SIGN
- 
 BENCH SEATING

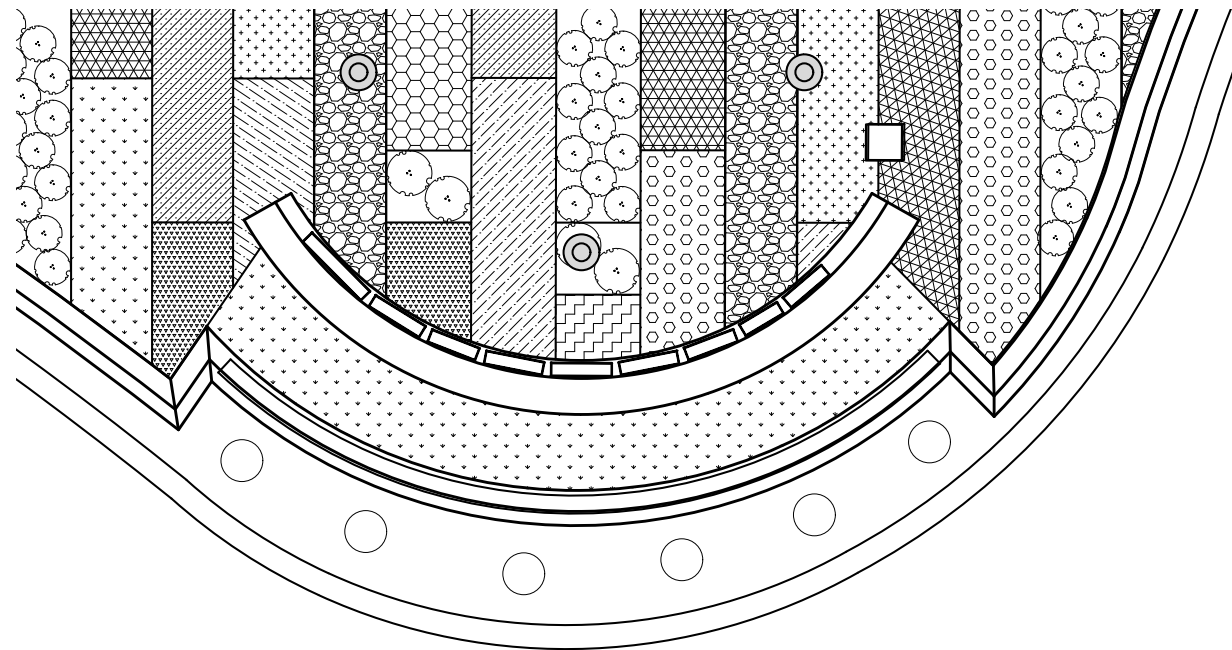


BIRD'S EYE VIEW OF PROPOSED WORK

See page 9 for full size image.



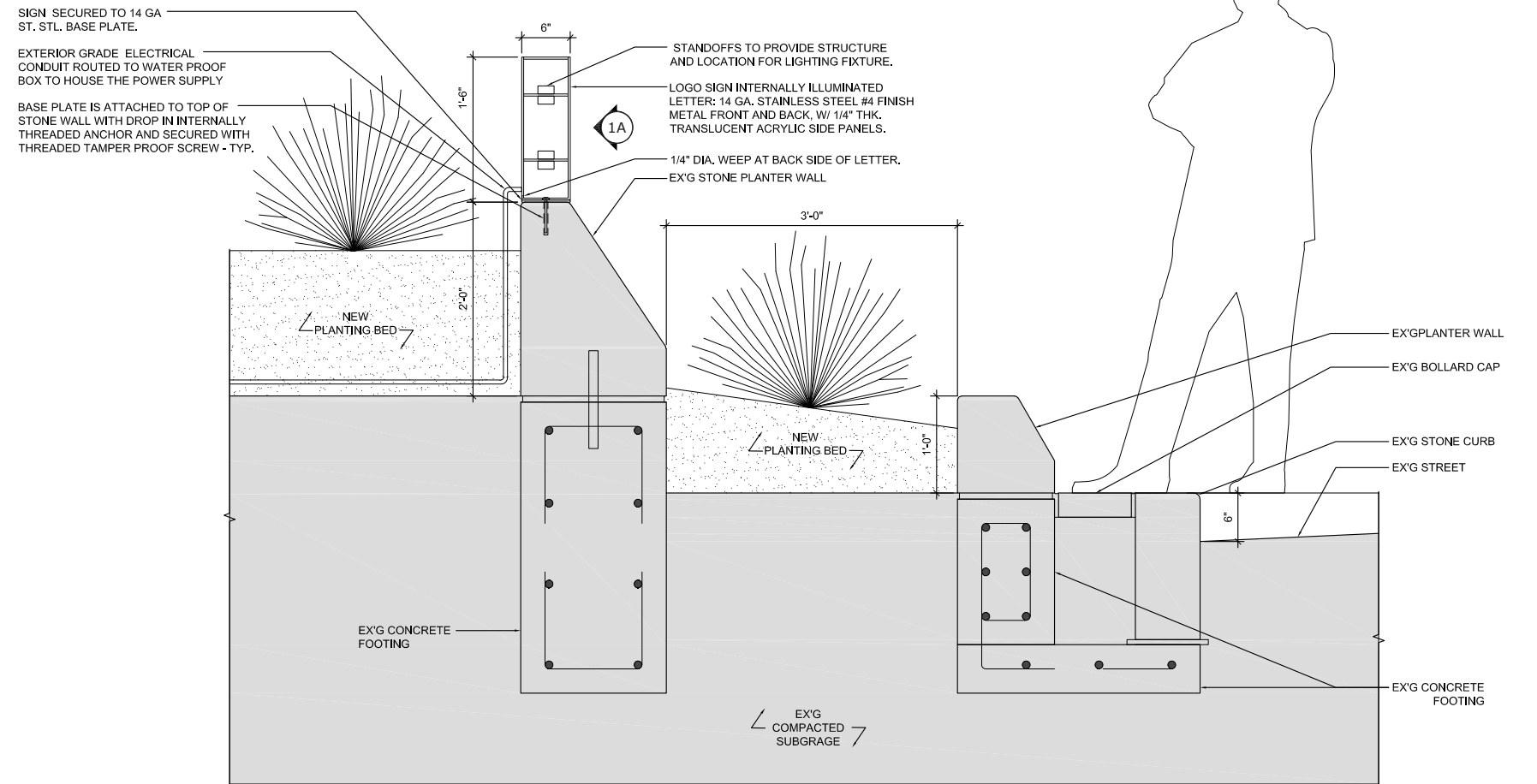
1A. PARTIAL SIGNAGE WALL ELEVATION



1. ENLARGED PLAN - SIGNAGE WALL

SCALE: 1/4" = 1'-0"

SIGNAGE WALL DETAILS



1B. SECTION AT SIGNAGE WALL



SIGNAGE WALL RENDERING

See page 11 for full size image.



BIRD'S EYE VIEW OF PROPOSED SCOPE OF WORK



BIRD'S EYE VIEW OF PROPOSED SCOPE OF WORK



FRONT VIEW OF PROPOSED SIGN



VIEW OF PROPOSED SIGN FROM SIDEWALK

APPENDIX A

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CANOPY TREES						
CC	3	<i>Carpinus caroliniana</i>	American Hornbeam / Ironwood	2-2.5"	B&B	AS SHOWN
3 TOTAL CANOPY TREES						
SHRUBS						
#3	74	<i>Kalmia latifolia</i> 'Minuet'	Mountain Laurel	#3	CONTAINER	AS SHOWN
Sh	133	<i>Sarcococca hookeriana</i> var. <i>humilis</i>	Sweet Box	#3	CONTAINER	AS SHOWN
207 TOTAL SHRUBS						
BAND A						
bm	130	<i>Brassica macrophylla</i> 'Jack Frost'	Siberian Bugloss	1 GAL	FULLY ROOTED, CONT.	15" O.C.
BAND B						
ca	105	<i>Carex acuticulata</i>	Aggathian Sedge	1 GAL	FULLY ROOTED, CONT.	12" O.C.
cp	105	<i>Carex pennsylvanica</i>	Pennsylvania Sedge	1 GAL	FULLY ROOTED, CONT.	12" O.C.
BAND C						
cd	55	<i>Carex dolichostachya</i> Gold Fountain 'Kaga-nishiki'	Gold Fountain Sedge	1 GAL	FULLY ROOTED, CONT.	12" O.C.
co	55	<i>Carex oshimensis</i> EverColor 'Everillo'	Weeping Sedge	1 GAL	FULLY ROOTED, CONT.	12" O.C.
BAND D						
ea	75	<i>Euphorbia amygdaloides</i> var. <i>robore</i>	Wood Spurge	1 GAL	FULLY ROOTED, CONT.	18" O.C.
BAND E						
hn	40	<i>Helianthus niger</i> HGC 'Jacob'	Lenten Rose	1 GAL	FULLY ROOTED, CONT.	12" O.C.
hb	40	<i>Helianthus x bicoloratus</i> HGC 'Mahogany Snow'	Lenten Rose	1 GAL	FULLY ROOTED, CONT.	12" O.C.
hwr	40	<i>Helianthus x Wedding Party</i> 'Confetti Cake'	Lenten Rose	1 GAL	FULLY ROOTED, CONT.	12" O.C.
BAND F						
hf	135	<i>Heuchera 'Frosted Violet'</i>	Coral Bells / Alumroot	1 GAL	FULLY ROOTED, CONT.	12" O.C.
BAND G						
hr	50	<i>Heuchera villosa</i> 'Autumn Bride'	Coral Bells / Hairy Alumroot	1 GAL	FULLY ROOTED, CONT.	15" O.C.
BAND H						
hc	105	<i>Heuchera villosa</i> 'Citronelle'	Coral Bells / Hairy Alumroot	1 GAL	FULLY ROOTED, CONT.	12" O.C.
ho	105	<i>Hosta 'Vine Island'</i>	Plantain Lily / Hosta	1 GAL	FULLY ROOTED, CONT.	12" O.C.
BAND I						
lm	145	<i>Lilippe muscari</i> 'Monroe's White'	Lily Turf	1 GAL	FULLY ROOTED, CONT.	12" O.C.
1,165 TOTAL PERENNIALS						
BULBS						
fm	200	<i>Fritillaria meleagris</i>	Checkered Lily / Fritillary	BULB	CLEAN, DRY BULB	3-4" O.C.
200 TOTAL BULBS						

A

B

C

D

E

F

G

1	2	3	4	5	6	7	8	9
<div><div><div>● ORIGINAL ISSUE</div><div>● ISSUED WITH REVISIONS</div><div>○ ISSUED NO REVISIONS</div></div></div>		15 JANUARY 2020 CONSTRUCTION SET		21 APRIL 2020 ISSUE FOR PERMIT	05 MAY 2020 REVISION 1			
DRAWINGS		ISSUED	ISSUED	ISSUED				
DWG #	DWG NAME							
ARCHITECTURAL DRAWINGS								
A-000.00	COVER SHEET - DRAWING LIST & LOCATION MAP	●	●	●				
A-001.00	GENERAL PROJECT NOTES	●	○	○				
A-100.00	SITE PLAN + DEMOLITION SITE PLAN	●	○	●				
A-600.00	ENLARGED PLAN	●	●	○				
A-800.00	DETAILS	●	○	○				
A-801.00	DETAILS	●	●	○				
A-802.00	DETAILS	●	●	●				
CIVIL DRAWINGS								
C-10	EXISTING CONDITIONS AND DEMOLITION PLAN	●	○	○				
C-20	GRADING PLAN	●	○	○				
C-30	EROSION AND SEDIMENT CONTROL PLAN	●	○	○				
C-40	DETAILS	●	○	○				
LANDSCAPE ARCHITECTURE DRAWINGS								
L-101.00	PLANTING PLAN	●	●	○				
L-501.00	PLANTING DETAILS	●	○	○				
SURVEY DRAWING								
SU-1	PARTIAL TOPOGRAPHIC SURVEY - SIDEWALK AREA	●	○	○				

PROJECT DESCRIPTION:

- RENOVATION OF THE EXISTING ENTRANCE PLAZA, SIDEWALK AREA AND PLANTERS IN FRONT OF THE MAIN OFFICE BUILDING ENTRY FOR THE WANAMAKER OFFICE BUILDING.
- EXISTING PLAZA CONSISTS OF A RAISED PLANTING BED WITH STONE EDGES, CONCRETE SIDEWALKS, LIGHTING IN THE FORM OF LIGHT-POLES, SIGNAGE IN AND AROUND THE PLANTING BED, FLAG POLES IN THE PLANTING BED, A PIECE OF SCULPTURE IN THE PLANTING BED, UTILITY ACCESS AND GRATES IN THE PLANTING BED, AND OTHER ACCESSORY ITEMS THAT COMPOSE THE ENTRANCE PLAZA.
- THE PLANTING RAISED EDGE OF STONE IS TO REMAIN EXCEPT FOR THE DEMOLITION OF A PORTION OF THE LOW WALL THAT ENCOMPASSES A SEMI-CIRCULAR PLANTING AREA NEAR THE FRONT ENTRANCE. DEMOLITION OF EXISTING CONCRETE SIDEWALKS (EXTENT SHOWN ON DRAWINGS). DEMOLITION OF ALL THE EXISTING PLANTING MATERIALS INSIDE THE PLANTING BED. DEMOLITION OF EXISTING LIGHT POLES, DEMOLITION OF EXISTING SCULPTURE, RELOCATION OF EXISTING FLAG POLES, ADJUSTMENTS IN THE HEIGHT OF THE EXISTING UTILITY MANHOLES, ADJUSTMENTS IN HEIGHT OF THE EXISTING VENTILATION GRATES.
- NEW WORK - NEW CONCRETE SIDEWALK, NEW STONE PAVERS IN THE PLAZA AREA FRONTING THE ENTRANCE TO THE BUILDING, ADDITION OF A LOW CONCRETE WALL TO CLOSE THE PLANTING BED (WHERE THE OLD SEMI-CIRCULAR PART OF THE PLANTING BED WAS DEMOLISHED). THE NEW LOW CONCRETE WALL HAS A METAL COVER AND A METAL STRUCTURED DISPLAY PLAQUE WITH LIGHTS, NEW BENCHES ON TOP OF THE EXISTING STONE WALL, NEW LIGHT POLES IN REPLACEMENT (SAME LOCATION) OF THE EXISTING LIGHT POLES, NEW PLANTING IN THE RAISED PLANTING BED, NEW LIGHTED LETTERS SIGNAGE ALONG THE EXISTING STONE WALL (SOUTHWEST END OF THE LOW STONE WALL AREA), RELOCATION OF EXISTING FLAG POLES, NEW BOLLARDS AT THE SOUTH END OF THE PLAZA, AND A NEW SIDEWALK TO STREET ACCESS RAMP FOR CROSSWALK AT THE SOUTH END OF THE PROJECT SITE.

GENERAL NOTES:

- THIS PROJECT FILED FOR RENOVATIONS TO THE OFFICE BUILDING ENTRANCE PLAZA AT THE STREET LEVEL.
- THERE IS NO CHANGE IN USE, EGRESS, OR OCCUPANCY AS A RESULT OF THE PROPOSED RENOVATIONS.
- NO WORK AT SITE TO COMMENCE UNTIL PLAN HAS BEEN APPROVED & PERMIT ISSUED BY CITY OF PHILADELPHIA DEPARTMENT OF LICENSES AND INSPECTIONS.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO DATE DRAWINGS AT THE JOB SITE.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF RECORD OF ANY CONDITIONS ARISING THAT MAY AFFECT THE EXECUTION OF THE APPROVED DESIGN.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE AT HIS EXPENSE SUCH PROPERTY TO ITS ORIGINAL CONDITION SHOULD IT BE DAMAGED.
- ALL EXITS SHALL BE READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. MAINTAIN EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF BUILDING MANAGEMENT AND THE CITY OF PHILADELPHIA CONCERNING WORKING HOURS, RUBBISH REMOVAL, PROTECTION OF OWNER'S PROPERTY, DELIVERIES, ETC.
- THE CONTRACTOR SHALL REMOVE AND RE-EXECUTE ALL UNSATISFACTORY WORK AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL RESTORE TO THE VALUE SPECIFIED IN APPLICABLE CODES THE INTEGRITY OF EXISTING CONDITIONS AND THE FIRE PROTECTION OF STRUCTURAL MEMBERS THAT MAY BE DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND APPLIANCES, EQUIPMENT FURNISHED BY OWNER.
- THE CONTRACTOR SHALL PERFORM ALL NECESSARY PATCHING, REFINISHING, ETC., ARISING FROM CONTRACT WORK ON SITE.
- THE CONTRACTOR HAS OVERALL RESPONSIBILITY FOR INSURING THE INTEGRITY OF COMPONENTS (STONE, CONCRETE, METAL, ETC.)
- UPON COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE WASTE AND MATERIALS, RUBBISH, TOOLS, EQUIPMENT, MACHINERY AND SURPLUS MATERIALS, AND CLEAN ALL SIGHT-EXPOSED SURFACES, LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY. THE CONTRACTOR SHALL CLEAN EXISTING SITE ENTIRELY.
- ALTERATION OF EXISTING SPACE AND RELATED CONSTRUCTION TO COMPLY WITH ALL APPLICABLE CODES AND GUIDELINES OF THE CITY OF PHILADELPHIA, THE STATE OF PENNSYLVANIA AND THE WANAMAKER BUILDING MANAGEMENT.
- CONTRACTOR SHALL COORDINATE ALL TRADES, SUBMIT SHOP DRAWINGS, CUTS OF PRODUCTS AND MATERIALS FOR APPROVAL.
- TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT THIS APPLICATION IS IN COMPLIANCE WITH IBC 2018.
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS PER EFFECTIVE FIRM 3604970088F AND PRELIMINARY FIRM 3604970088G.
- TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT THIS APPLICATION IS IN COMPLIANCE WITH IBC 2014.

WANAMAKER PLAZA
RENOVATION
100 E. Penn Square
Philadelphia, PA 19107

21 APRIL 2020
ISSUE FOR PERMIT



LOCATION MAP
N.T.S.



1 CONCEPT RENDERING - PLAZA - SOUTH EAST BIRDS EYE VIEW
not to scale



3 CONCEPT RENDERING - PLAZA SIGN EAST VIEW
not to scale



2 CONCEPT RENDERING - NORTH PEDESTRIAN VIEW OF PLAZA
not to scale



4 CONCEPT RENDERING - EAST BIRDS EYE VIEW
not to scale

WANAMAKER
PLAZA

100 E Penn Square
Philadelphia, PA 19107

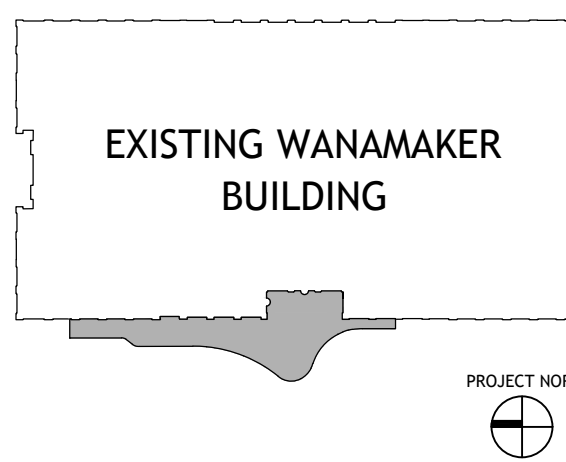
No.	Description	Date
	Issue for Permit	04/21/20
1	Revision 1	05/05/20

ARCHITECT: Tantillo Architecture
2929 Arch Street
Suite 2800
Philadelphia, PA 19104
Tel: 215.864.7315

SURVEYOR: Barry Isett & Associates, Inc.
85 South Route 100
Allentown, PA 18106
Tel: 610.398.0904

LANDSCAPE ARCHITECT: SALT Design Studio
4100 Main Street
Suite 201
Philadelphia, PA 19127
Tel: 215-621-7600

CIVIL ENGINEER: Grist
50 East Sedgwick Street
Philadelphia, PA 19119
Tel. 267-332-8282



PROJECT AREA

SEAL & SIGNATURE
Christopher Tantillo, PA License No. RA-403945
All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law, statutory and other reserved rights, including copyright thereto.

PROJECT
WANAMAKER PLAZA
RENOVATION

COVER

SCALE: As Noted
PROJECT No.: 031 - 25
DATE IN PROGRESS: 5 MAY 2020
SHEET No.:

A-000.00

GENERAL PROJECT NOTES

- VISIT PREMISES TO BECOME FAMILIAR WITH EXISTING CONDITIONS. VERIFY THE SCOPE OF WORK AND EVALUATE POTENTIAL PROBLEMS THAT MAY AFFECT EXECUTION OF THE WORK.
- THE SUBMISSION OF PRICING SHALL BE CONFIRMATION THAT THE CONTRACTOR HAS FULLY EVALUATED POTENTIAL PROBLEMS AND THAT LATER ADDITIONAL COST AND/OR SCHEDULE CLAIMS FOR LABOR, EQUIPMENT, OR MATERIAL WILL BE EVALUATED ON A CASE BY CASE BASIS.
- THE DOCUMENTS AND DRAWINGS ARE COMPLEMENTARY IN NATURE. WHAT IS CALLED FOR BY ONE IS BINDING BY ALL. INFORM ARCHITECT OF ANY DISCREPANCIES SHOULD THEY OCCUR.
- ELEVATIONS, DETAILS, AND SECTIONS FOR TYPICAL CONDITIONS ARE GENERALLY REFERRED TO (ON THE PLAN, ELEVATION OR DETAIL WHERE THEY FIRST OCCUR), AND ARE TYPICAL FOR LIKE CONDITIONS THROUGHOUT, UNLESS OTHERWISE INDICATED.
- *TYPICAL* MEANS TYPICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED.
- *SIMILAR* MEANS REFERENCED ITEM IS SIMILAR IN NATURE TO ACTUAL DETAIL, SECTION OR ELEVATION (i.e. OPPOSITE-HAND, REVERSE DIRECTION, ETC.).
- SUBMITTALS:
- SUBMITTALS, INCLUDING SHOP DRAWINGS, SCHEDULES, CATALOG CUTS, AND PHYSICAL SAMPLES, SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO PROCUREMENT, FABRICATION, AND/OR INSTALLATION OF ALL MATERIALS, COMPONENTS AND/OR SYSTEMS. SUBMITTALS SHALL BE PROVIDED FOR ALL ARCHITECTURE AND ENGINEERING WORK. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL SUBMITTAL REQUIREMENTS.
- SHOP DRAWINGS SHALL BE SUBMITTED IN THE FOLLOWING SCALES:
A. OVERALL PLANS AND ELEVATIONS: 1/4" = 1'-0"
B. PLANS AND ELEVATIONS OF COMPONENTS: 1" = 1'-0"
C. DETAILS: MINIMUM 3" = 1'-0"
D. TYPICAL PROFILES FOR EACH PIECE: FULL SCALE
- ALL SUBMITTALS SHALL INCLUDE PROJECT NAME WITH EACH SUBMISSION. EACH SUBMITTAL SHALL BE NUMBERED FOLLOWING THE CONSTRUCTION SPECIFICATION INSTITUTE'S MASTERFORMAT STANDARD. SUBMITTALS SHALL BE DISTRIBUTED ELECTRONICALLY THRU GC'S ELECTRONIC SMARTAPP MANAGEMENT SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR REVIEW AND APPROVAL OF SUBMITTALS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND COORDINATION WITH ALL ASSOCIATED WORK INDICATED ON DRAWINGS PRIOR TO SUBMISSION TO ARCHITECT FOR REVIEW. CONTRACTOR SHALL PROVIDE THEIR STAMP ON ALL SUBMITTALS PRIOR TO SUBMISSION AS CONFIRMATION THAT SUCH REVIEW AND APPROVAL HAS TAKEN PLACE. ARCHITECT SHALL REVIEW AND RETURN SUBMITTALS WITHIN TEN WORKING DAYS FROM DATE OF SUBMITTAL RECEIPT FROM CONTRACTOR.

- REQUESTS FOR INFORMATION:
- CONTRACTOR SHALL PREPARE AND SUBMIT REQUESTS FOR INFORMATION (RFI) AS SOON AS THE NEED FOR CLARIFICATION OR ADDITIONAL INFORMATION IS DISCOVERED. ALL RFIs ARE TO BE SUBMITTED ELECTRONICALLY THRU ELECTRONIC SMARTAPP MANAGEMENT SYSTEM ON CONTRACTOR LETTERHEAD TO ARCHITECT, AND INCLUDE PROJECT NAME, DATE, NAME OF CONTRACTOR, NAME OF ARCHITECT, RFI NUMBER, RFI SUBJECT, REFERENCE DRAWING/TITLE NUMBERS AS REQUIRED, AND DESCRIPTION OF APPLICABLE FIELD CONDITIONS. ARCHITECT WILL REVIEW ALL SUBMITTED RFIs AND RETURN WITH RESPONSE ELECTRONICALLY IN PDF FORMAT WITHIN FIVE FULL WORKING DAYS FROM DATE OF RFI DISTRIBUTION.
- RESTRICT CONSTRUCTION WORK, STAFF, MATERIAL, AND DEBRIS TO THE CONTRACT PREMISES AND AS AUTHORIZED BY THE BUILDING REPRESENTATIVE.
- PLAN AND PROVIDE FOR TEMPORARY PARTITIONS, LIGHTING, GUARDRAILS, BARRICADES AND ALL OTHER REQUIRED SAFEGUARDS FOR THE PROTECTION OF EXISTING BASE BUILDING EMPLOYEES, THE PUBLIC AND BUILDING USERS FROM CONSTRUCTION HAZARDS DURING ALL PHASES OF CONSTRUCTION. SEAL AREA OF CONSTRUCTION WITH PLASTICS TO MINIMIZE THE SPREAD OF DUST, MATERIALS, DEBRIS, AND RUBBLE FROM DEMOLITION TO BE PROMPTLY REMOVED FROM PREMISES. TEMPORARY PARTITIONS AND DOORS SHALL BE INSTALLED AS REQUIRED TO MAINTAIN A SECURE WORKPLACE.
- PROVIDE FOR TEMPORARY FIRE EXTINGUISHERS DURING ALL PHASES. MAINTAIN ACCESSIBILITY TO REQUIRED MEANS OF EGRESS BY TENANT EMPLOYEES AND BUILDING VISITORS DURING ALL PHASES.

DEMOLITION PLAN GENERAL NOTES

- WORK INDICATED FOR DEMOLITION AS SHOWN TO COORDINATE WITH FINAL PLAN. PHASING OF FINAL DEMOLITION TO BE DETERMINED BY CONTRACTOR IN ACCORDANCE WITH USER SAFETY AND SECURITY. COORDINATE WITH TENANT REPRESENTATIVE FOR ADDITIONAL REQUIREMENTS AND RESTRICTIONS. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR STRUCTURAL.
- WHERE EXISTING CONSTRUCTION IS TO BE REMOVED, PROTECT ADJACENT EXISTING FINISHES, MATERIALS, AND SYSTEMS THAT ARE TO REMAIN FROM DAMAGE.
- DURING ENTIRE PERIOD OF DEMOLITION AND CONSTRUCTION, MAINTAIN IN OPERATING CONDITION ALL EXISTING EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS AS PER CODE. COORDINATE WITH ENGINEERING DRAWINGS AND BASE BUILDING REPRESENTATIVE.
- WHERE ELECTRICAL RECEPTACLES, COMMUNICATION RECEPTACLES, CARD ACCESS READERS, LIGHT FIXTURES, THERMOSTATS OR SIMILAR DEVICES EXIST IN A WALL OR CEILING TO BE REMOVED, REMOVE ASSOCIATED EXISTING WIRE BACK TO ITS SOURCE.
- WHERE ELECTRICAL RECEPTACLES, COMMUNICATION RECEPTACLES, CARD ACCESS READERS, LIGHT FIXTURES, THERMOSTATS OR SIMILAR DEVICES ARE TO BE REMOVED IN PARTITIONS TO REMAIN, REMOVE ASSOCIATED EXISTING WIRE BACK TO ITS SOURCE AND PATCH SMOOTH EXISTING PARTITION TO ELIMINATE EVIDENCE OF FORMER LOCATION.
- WHERE DEMOLITION EXPOSES FLOOR SLAB OPENINGS, PATCH HOLE WITH METAL DECKING TO MATCH EXISTING FROM BELOW AND LIGHT WEIGHT CONCRETE FROM ABOVE TO PROVIDE A SMOOTH SURFACE FOR INSTALLATION OF NEW FLOOR FINISHES. PROVIDE ADDITIONAL FIRE-STOPPING AS REQUIRED TO MAINTAIN TWO-HOUR FIRE RATING. COORDINATE REQUIREMENTS WITH STRUCTURAL ENGINEER.

- COORDINATE TRADES TO ENSURE TIMELY COMPLETION OF WORK AND TO MINIMIZE DISRUPTION OF THE ON-GOING BUSINESS ACTIVITIES OF EXISTING TENANTS.
- OBTAIN ALL REQUIRED PERMITS.
- DURING THE ENTIRE CONTRACT PERIOD, MAINTAIN IN OPERATING CONDITION ALL EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS AS PER CODE. COORDINATE WITH BUILDING REPRESENTATIVE.
- ALL WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES, INDUSTRY STANDARDS, AND REGULATIONS. NOTHING IN THE DRAWINGS OR RELATED DOCUMENTS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK THAT IS CONTRARY TO CODE REQUIREMENTS.
- MANUFACTURER'S SUGGESTED METHODS OF INSTALLATION SHALL BE FOLLOWED. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN MANUFACTURER'S SUGGESTED METHODS AND THOSE METHODS RECOMMENDED ON THE CONSTRUCTION DOCUMENTS.
- COORDINATE POWER AND EMERGENCY POWER WITH THE BUILDING REPRESENTATIVE.
- INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON INFORMATION PROVIDED TO OR OBTAINED BY ARCHITECT INDICATING EXISTING CONDITIONS. ACTUAL FIELD CONDITIONS MAY VARY FROM THOSE INDICATED ON THE DRAWINGS. SHOULD ACTUAL CONDITIONS DIFFER SUBSTANTIALLY FROM THOSE INDICATED ON THE DRAWINGS OR FROM THOSE ORDINARILY ENCOUNTERED IN RENOVATION WORK OF THIS TYPE, PROMPTLY NOTIFY ARCHITECT BEFORE ANY OF THESE CONDITIONS ARE DISTURBED. FAILURE TO DO SO MAY WAIVE THE CONTRACTOR'S RIGHT TO ADDITIONAL TIME OR OTHER CONSIDERATION DUE TO SUCH CONDITIONS.
- CONTRACTOR TO COMPLY WITH THE BUILDING CONSTRUCTION RULES, RESTRICTIONS, REGULATIONS, AND HOURS OF OPERATION. THESE INCLUDE SUCH AS FLOOR CORING, MATERIAL DELIVERIES, AND SHOT ANCHOR INSTALLATIONS. COORDINATE WITH BUILDING REPRESENTATIVE FOR ADDITIONAL INFORMATION.
- UPON SUBSTANTIAL COMPLETION OF EACH PHASE OF WORK, CONTRACTOR SHALL NOTIFY ARCHITECT TO PREPARE A "PUNCHLIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. ARCHITECT SHALL PREPARE ONE PUNCHLIST FOR EACH PHASE OF WORK. SHOULD MORE THAN ONE PUNCHLIST BE NECESSARY BECAUSE OF UNTIMELY OR INCOMPLETE WORK BY THE CONTRACTOR, THE ADDITIONAL TIME BY ARCHITECT SHALL BE ADDRESSED AS ADDITIONAL SERVICES.
- CONTRACTOR TO COMPLETE A FINAL CLEANING PRIOR TO MOVE-IN, INCLUDING REMOVAL OF TEMPORARY PROTECTIONS, WIPING DOWN, CLEANING GLASS, WASHING, WAXING, VACUUMING, AND ANY OTHER SERVICE WHICH WOULD BE PERFORMED UNDER BUILDING STANDARD CLEANING AND MAINTENANCE PROGRAMS.
- CONTRACTOR TO WARRANTY WORK PERFORMED FOR ALL PHASES FOR MINIMUM OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- MAINTAIN CONTINUOUS SERVICE TO ALL UTILITIES AND FEEDS SERVING ADJACENT OCCUPIED SPACES. SERVICES TO BE UNINTERRUPTED TO ALLOW FOR TYPICAL BUSINESS OPERATIONS.
- UTILIZE REBAR DETECTOR / X-RAY TECHNOLOGY TO LOCATE REBARS OR CONDUIT WITHIN CONCRETE SLABS AND CONSTRUCTION. INSTALL ANCHORS AT MINIMUM 2 INCHES AWAY FROM EXISTING METAL ELEMENTS. COORDINATE WITH ON-SITE CONDITIONS.
- FULL PROJECT SCOPE IS SHOWN AT PLANS, ELEVATIONS AND DETAILS. WORK IS TO BE COMPLETED IN MULTIPLE PHASES. COORDINATE FINAL DEMARCATION BETWEEN PHASES WITH OWNER'S REPRESENTATIVE AND ON-SITE CONDITIONS.
- WHERE EXISTING FIRE PROOFING IS TO REMAIN AT STRUCTURAL ELEMENTS OR SHAFT LOCATIONS, SELECTIVELY PATCH AND REPAIR ANY DAMAGED FIRE PROOFING MATERIALS WITH NEW TO MATCH TO YIELD CONTINUOUS "LIKE NEW" PROTECTION.

- PROTECT BASE BUILDING FROM DUST DURING ALL PHASES.
- PROTECT EXISTING PARTITION, FLOOR, ELEVATOR, AND CEILING FINISHES BEYOND CONTRACT AREA FROM DAMAGE DURING ALL PHASES.
- PROTECT EXISTING SMOKE DETECTORS, EMERGENCY STROBES, EMERGENCY FIRE PULLS, AND ALL OTHER CONTROL, MONITORING OR NOTIFICATION DEVICES DURING ALL PHASES. COORDINATE WITH ENGINEERING DOCUMENTATION AND BASE BUILDING REPRESENTATIVE FOR ADDITIONAL INFORMATION AND RESTRICTIONS.
- EXISTING SPRINKLER SYSTEM TO REMAIN FOR MODIFICATION AT FINAL PLAN. PROTECT DURING ALL PHASES. COORDINATE WITH ENGINEERING DOCUMENTATION AND BASE BUILDING REPRESENTATIVE FOR SPRINKLER RESTRICTIONS.
- PROTECT FROM DAMAGE ALL DOORS AND ASSOCIATED HARDWARE SHOWN TO REMAIN FOR REUSE.
- AT AREAS OF FLOOR FINISH REMOVAL, ADDITIONALLY PREPARE SLAB SMOOTH AND FLUSH TO ACCOMMODATE INSTALLATION OF NEW MEMBRANES AND FINISH FLOOR MATERIALS. PREPARATION TO INCLUDE SELECTIVE FLOOR GRINDING, BEAD BLASTING, AND FLASH PATCHING AS REQUIRED TO YIELD A SMOOTH AND LEVEL SUB SURFACE.
- DO NOT CUT OR REMOVE STRUCTURAL STEEL, STRUCTURAL CONCRETE, OR LOAD BEARING UNIT MASONRY WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO OWNER OR TENANT.

FINISH PLAN GENERAL NOTES

- REFER TO SHEET FOR FINISH SCHEDULE. FOR FINISH MATERIAL DESIGNATIONS, SIZES, AND ADDITIONAL NOTES.
- ALL MATERIALS ON FINISH SCHEDULE MUST BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
- DEVIATION FROM SPECIFIED MATERIALS AND INSTALLATIONS ARE NOT PERMITTED UNLESS SUBMITTED IN A TIMELY FASHION AND APPROVED BY ARCHITECT PRIOR TO MODIFICATION. NO SUBSTITUTIONS WILL BE PERMITTED FOR THE FOLLOWING MATERIALS: MARBLE, LIMESTONE, & PORCELAIN TILE.
- PRIOR TO INSTALLATION OF ALL FINISH MATERIALS, EXAMINE ALL SUBSTRATES, AREAS, AND CONDITIONS WITH INSTALLER FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING THE WORK. VERIFY THAT SUBSTRATES ARE FIRM, DRY, CLEAN, AND FREE OF COATINGS THAT ARE INCOMPATIBLE WITH SCHEDULED MATERIALS. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- PROTECT ALL FINISHED SURFACES FOR THE DURATION OF CONSTRUCTION TO PREVENT DAMAGE AND WEAR. CONFIRM RECOMMENDED MEANS OF PROTECTION WITH FINISH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
- WARRANTY INFORMATION PROVIDED BY MANUFACTURER AND SUBCONTRACTORS) AND MANUFACTURER TECHNICAL DATA (CARE AND MAINTENANCE) FOR ALL MATERIALS ON FINISH SCHEDULE SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE PRIOR TO PROJECT COMPLETION.
- PROVIDE 5% OF ATTIC STOCK, BUT NOT LESS THAN ONE FULL BOX, BUCKET, OR ROLL, FOR THE FOLLOWING MATERIALS: MARBLE, LIMESTONE, AND EACH PAINT COLOR.
- STONE FINISHES:
- ALL STONE WORK TO COMPLY WITH ALL REQUIREMENTS OF THE LATEST VERSION OF ASTM C503/C503M "STANDARD SPECIFICATION FOR MARBLE DIMENSION STONE", ASTM C568/C568M-15 "STANDARD SPECIFICATION FOR LIMESTONE DIMENSION STONE", THE TILE COUNCIL OF NORTH AMERICA HANDBOOK FOR CERAMIC, GLASS, AND STONE TILE INSTALLATION 2017, AND THE MARBLE INSTITUTE OF AMERICA'S "DIMENSIONAL STONE DESIGN MANUAL V.8".
- PROVIDE SHOP DRAWINGS SHOWING FABRICATION AND INSTALLATION DETAILS FOR ALL STONE AND ENGINEERED STONE PRODUCTS, INCLUDING THE FOLLOWING:
a. DIMENSIONS AND PROFILES OF ALL UNITS.
b. DIRECTION OF VEINING AND GRAINING.
c. LOCATIONS AND DETAILS OF ANCHORS, INCLUDING SUPPORTING CONSTRUCTION.
d. LOCATIONS AND DETAILS OF JOINTS, BETWEEN LIKE PRODUCTS AND OTHER FINISH MATERIALS, INCLUDING EXISTING MATERIALS.
e. FLOOR PLAN SHOWING FLOOR TILE LAYOUT.
f. FIELD VERIFIED ELEVATION DRAWINGS OF MARBLE WALL INSTALLATION.
- ALL STONE TO BE CLASSIFIED AS GROUP A.
- ALL STONE TO BE CUT FROM CONTIGUOUS BLOCKS. SET OF QUARRY RANGE SAMPLES TO BE PROVIDED. RANGE SAMPLES TO BE INDICATIVE OF AESTHETIC OF STONE INCLUDING COLOR, VEINING, AND MARKINGS. REFER TO DRAWINGS FOR INSTALLATION PATTERN ARRANGEMENT.
- SUBMIT FULL-SIZE STONE SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE. STONE SAMPLES TO BE SEALED PER FINISH SCHEDULE (16"x32" FLOOR TILE & 15"x30" WALL SAMPLE).
- VERIFY DIMENSIONS OF CONSTRUCTION TO RECEIVE STONE FINISHES BEFORE FABRICATION AND INDICATE MEASUREMENTS ON SHOP DRAWINGS.
- STORE AND HANDLE STONE AND RELATED MATERIALS AS REQUIRED TO PREVENT DETERIORATION AND DAMAGE DUE TO MOISTURE, TEMPERATURE CHANGES, CONTAMINANTS, CORROSION, SCRATCHING, BREAKING, CHIPPING, AND OTHER CAUSES.
- STORE CEMENTITIOUS MATERIALS AND SEALANTS UNDER COVER IN DRY LOCATION. DO NOT USE CEMENTITIOUS MATERIALS THAT HAVE BECOME DAMP. DO NOT USE SEALANTS THAT HAVE EXCEEDED THEIR EXPIRATION PERIOD.
- WHERE STONE IS SCHEDULED AT FLOOR, PREPARE EXISTING SLAB SMOOTH AND LEVEL FOR INSTALLATION OF CLEAVAGE MEMBRANE PRIOR TO MORTAR INSTALLATION. PROVIDE COMBINATION CRACK ISOLATION / WATERPROOFING MEMBRANE BETWEEN MORTAR AND SCHEDULED STONE. TILE TO COMPLY WITH ANSI A108.13 AND MEMBRANE MANUFACTURER'S WRITTEN INSTRUCTIONS TO PRODUCE MEMBRANE OF UNIFORM THICKNESS BONDED (MINIMUM 95 PERCENT) TO SUBSTRATE. EXTEND MEMBRANE UP WALLS 6" MINIMUM, CONCEALED BEHIND SECOND LAYER OF WALLBOARD. PROVIDE 6" HIGH CEMENT BOARD STRIP AND ADD FRAMAL METAL STUD FRAMING CONCEALED AT STUD CAVITIES TO ACCEPT UPTURNED MEMBRANE. MEMBRANE TO BE MAPEI AQUADENSE OR EQUAL.
- PREPARE FLOOR SLAB AS REQUIRED FOR FLUSH AND TRUE INSTALLATION OF SCHEDULED MATERIALS. WHERE CONTROL JOINTS OR EXPANSION JOINTS OCCUR IN FLOOR SLAB, PROVIDE SIMILAR CONTROL OR EXPANSION JOINTS FULLY FINISHED AND SUITABLE FOR FLUSH INSTALLATION INTO NEW FLOOR FINISH AT SAME LOCATION. PROVIDE CONTROL / EXPANSION JOINT LAYOUT DRAWING FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
- MORTAR MATERIAL FOR STONE FLOORING TO BE POLYMER-MODIFIED PORTLAND CEMENT. NEW FLOORING TO MATCH EXISTING ELEVATION AND ALL EXISTING SLOPES. MORTAR TO BE LATICRETE 3701 FORTIFIED MORTAR OR EQUAL.
- GROUT MATERIAL FOR STONE FLOORING TO BE HIGH PERFORMANCE UNSANDED GROUT. ALL STONE FLOORING JOINTS TO BE 1/8" WIDE. GROUT TO BE LATICRETE PERMACOLOR OR EQUAL. ARCHITECT TO SELECT COLORS FROM MANUFACTURER'S STANDARD RANGE.
- ALL STONE SCHEDULED FOR VERTICAL SURFACES TO BE INSTALLED TO NEW CEMENT BOARD SUBSTRATE WITH POLYMER-FORTIFIED THIN-SET MORTAR. MORTAR TO BE LATICRETE 254 PLATINUM WHITE. ALL JOINTS TO BE BUTT JOINTS (NO GROUT).
- BACK OF ALL STONE SURFACES TO BE CLEAN AND FREE OF DUST AND FOREIGN MATERIALS FOR MAXIMUM ADHESION TO SUBSTRATE.
- GROUT JOINTS SHALL NOT VARY IN WIDTH BY MORE THAN ONE-FOURTH OF NOMINAL JOINT WIDTH.

- VARIATION IN PLANE BETWEEN ADJACENT STONE FLOORING UNITS SHALL NOT EXCEED 1/32" DIFFERENCE BETWEEN PLANES OF ADJACENT UNITS.
- UPON COMPLETION OF STONE INSTALLATION, CLEAN ALL SURFACES SO THAT THEY ARE FREE OF FOREIGN MATTER. DO NOT USE WIRE BRUSHES OR ACID-TYPE CLEANING COMPOUNDS WITH CAUSTIC OR HARSH FILERS, OR OTHER MATERIALS OR METHODS THAT COULD DAMAGE STONE. CONFIRM RECOMMENDED CLEANING INSTRUCTIONS WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- LIMESTONE AT HORIZONTAL AND VERTICAL APPLICATIONS SHALL BE SEALED WITH SOLVENT BASED PENETRATING SEALER. SEALER TO BE FILA MP80 OR EQUAL. COMPLY WITH STONE PRODUCER'S AND SEALER MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
- MARBLE STONE AT HORIZONTAL AND VERTICAL APPLICATIONS SHALL BE SEALED WITH WATER-BASED PENETRATING SEALER. SEALER TO BE FILA MP80 OR EQUAL. COMPLY WITH STONE PRODUCER'S AND SEALER MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
- STONE SUPPLIER SHALL COORDINATE QUARRY VISIT(S) WITH OWNER'S REPRESENTATIVES AND ARCHITECT TO REVIEW FABRICATION QUALITY.
- CONCRETE
- 4,000 LBS. PSI CONCRETE MIX WITH PROPEX FIBERMESH 300 FIBER REINFORCING
- AGGRAGATE FOR CONCRETE MIX TO BE FINE AND COURSE NO LARGER THAN 16MM.
- PERFORM CAST-IN-PLACE CONCRETE IN ACCORDANCE WITH ACI 301-84 (REVISED 1987) -- SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS AND ACI 302.1R-80 GUIDE FOR CONCRETE FLOOR SLAB CONSTRUCTION.
- ALL CONCRETE SHALL BE PROPORTIONED TO DEVELOP 4,000 PSI AT 28 DAYS AND HAVE A MAXIMUM SLUMP OF 4-1/2.
- ADMIXTURES CHROMIX P C-19 GREY STONE, AS MANUFACTURED BY SIKKA CORPORATION.
- SUBGRADE SHALL BE BROUGHT TO THE SPECIFIED LEVEL, COMPACTED AND FINISHED SMOOTH. COORDINATE WORK OF OTHER SECTIONS AND COOPERATE WITH TRADE INVOLVED IN FORMING AND SETTING OPENINGS, SLOTS, RECESSES, CHASES, SLEEVES, BOLTS, ANCHORS, AND OTHER INSERTS.
- STORE CEMENTITIOUS MATERIALS AND SEALANTS UNDER COVER IN DRY LOCATION. DO NOT USE CEMENTITIOUS MATERIALS THAT HAVE BECOME DAMP. DO NOT USE SEALANTS THAT HAVE EXCEEDED THEIR EXPIRATION PERIOD.
- INSTALL CAST-IN-PLACE CONCRETE SLABS LEVEL WITH ADJACENT SURFACES, DRAINS, CONCRETE, AND STONE SURFACES UNLESS DIRECTED OTHERWISE.
- ALL CONCRETE SLABS SHALL BE PLANE WITH A MAXIMUM TOLERANCE OF 1/8" IN 10' AND SHALL NOT VARY AT ANY POINT MORE THAN 1/8" ABOVE OR BELOW THE PLANE SURFACE.
- PROTECT FRESHLY DEPOSITED CONCRETE FROM PREMATURE DRYING AND EXCESSIVELY HOT OR COLD TEMPERATURES AND MAINTAIN WITH MINIMAL MOISTURE LOSS AT A RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD OF TIME NECESSARY FOR THE ESTABLISHMENT OF THE CEMENT AND PROPER HARDENING OF THE CONCRETE.
- CURE ALL EXPOSED SURFACES OF CONCRETE DIRECTLY AFTER FINISHING OPERATIONS.
- ACCOMPLISH CURING BY USING THE FOLLOWING METHOD: LIQUID MEMBRANES CONSISTING OF PLACING AN APPROVED WATERPROOF COMPOUND ON ALL EXPOSED SURFACES USING A STYRENE BUTADIENE TYPE COMPOUND, CONFORMING TO ASTM C 309, 30 PERCENT SOLIDS CONTENT MINIMUM, WITH A MAXIMUM MOISTURE LOSS OF 0.030 GRAMS PER SQUARE CENTIMETER WHEN APPLIED AT A COVERAGE RATE OF 300 SQUARE FEET PER GALLON.
- CONCRETE LEVELING TO BE DONE BY MAGNESIUM TROWEL. PROVIDE BROOM FINISH AT EXPOSED CONCRETE; PROVIDE EDGE ROLLED TROWEL ON ALL CONCRETE SIDEWALK PANELS AT ALL FOUR SIDES AND AT ALL CONSTRUCTION JOINTS AND EXPANSION JOINTS.
- AT THE COMPLETION OF WORK, ALL SLABS WHICH ARE SHOWN TO BE EXPOSED CONCRETE SHALL BE CLEANED THOROUGHLY.
- MODIFY OR REPLACE CONCRETE NOT CONFORMING TO REQUIRED LINES, DETAIL AND ELEVATIONS. REPAIR OR REPLACE CONCRETE NOT PROPERLY PLACED RESULTING IN EXCESSIVE HONEYCOMBING AND OTHER DEFECTS. DO NOT PATCH, REPAIR OR REPLACE EXPOSED ARCHITECTURAL CONCRETE EXCEPT UPON EXPRESS DIRECTION OR ARCHITECT.

WANAMAKER PLAZA

100 E Penn Square
Philadelphia, PA 19107

No.	Description	Date
Issue for Permit		04/21/20
Revision 1		05/05/20

ARCHITECT: Tantillo Architecture
2929 Arch Street
Suite 2800
Philadelphia, PA 19104
Tel: 215-864-7315

SURVEYOR: Barry Isett & Associates, Inc.
85 South Route 100
Allentown, PA 18106
Tel. 610-398-0904

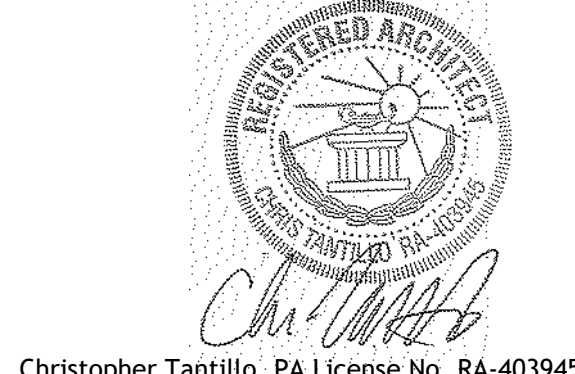
LANDSCAPE ARCHITECT: SALT Design Studio
4100 Main Street
Suite 201
Philadelphia, PA 19127
Tel. 215-621-7600

CIVIL ENGINEER: Grist
50 East Sedgwick Street
Philadelphia, PA 19119
Tel. 267-332-8282



PROJECT AREA

SEAL & SIGNATURE



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PROJECT: WANAMAKER PLAZA RENOVATION

GENERAL NOTES

SCALE As Noted	PROJECT No. 031-25
DATE IN PROGRESS 5 MAY 2020	
SHEET No.	

WANAMAKER
PLAZA

100 E Penn Square
Philadelphia, PA 19107

No.	Description	Date
Issue for Permit		04/21/20
Revision 1		05/05/20

ARCHITECT:
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EXISTING WANAMAKER
BUILDING

PROJECT AREA

SEAL & SIGNATURE
REGISTERED ARCHITECT
Christopher Tantillo, PA License No. RA-403945

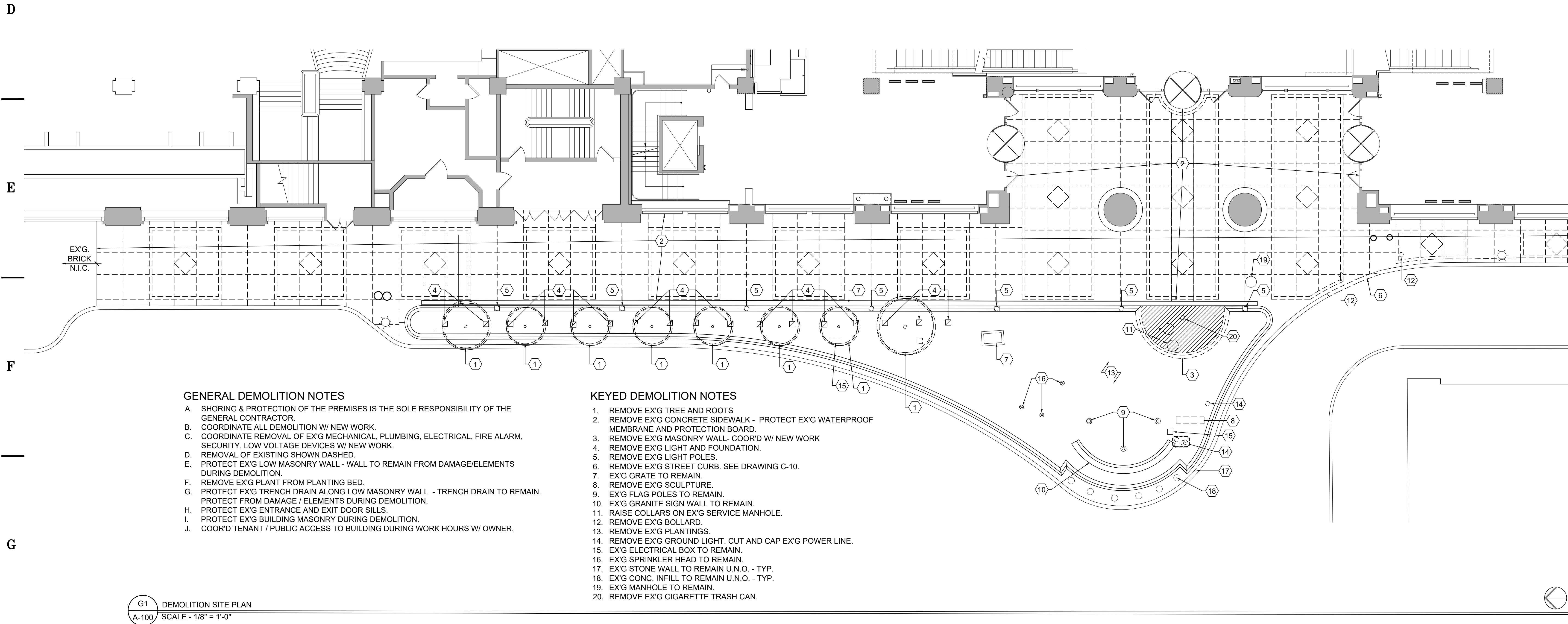
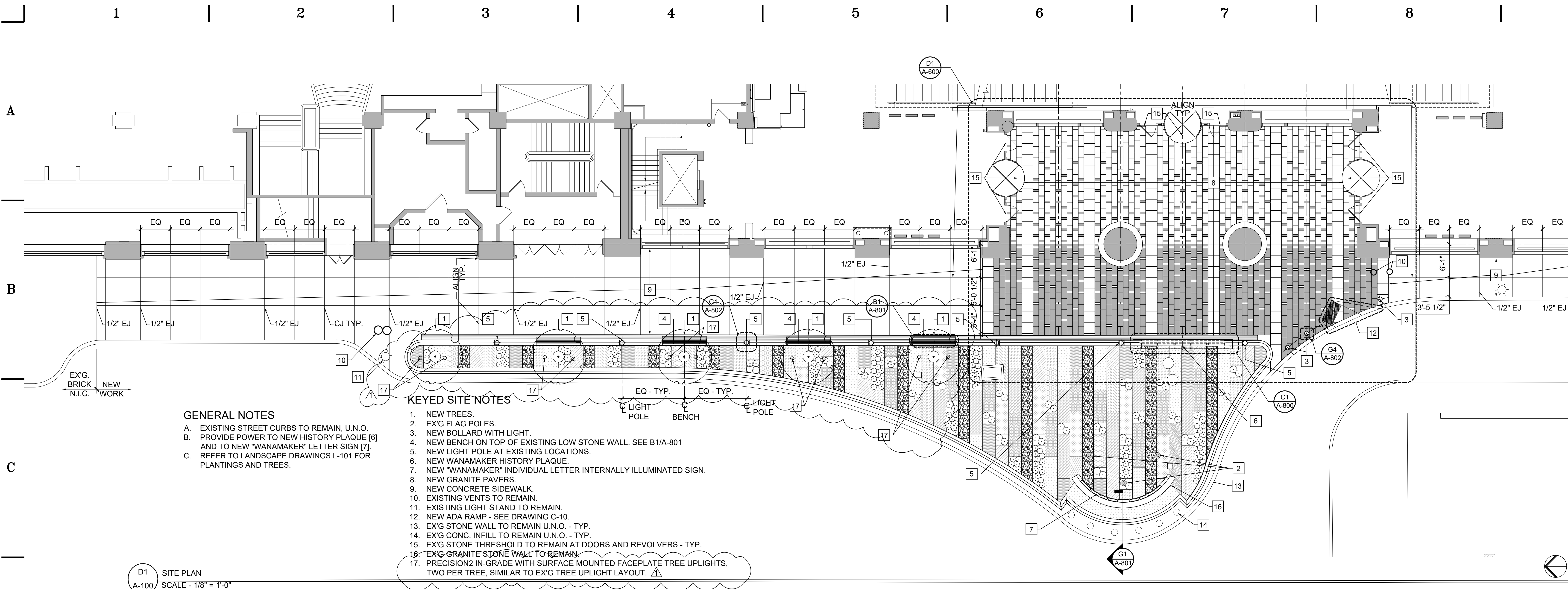
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PROJECT
WANAMAKER PLAZA
RENOVATION

SITE & DEMOLITION
PLAN

SCALE As Noted	PROJECT NO. 031 - 25
DATE IN PROGRESS 5 MAY 2020	SHEET NO.

A-100.00



WANAMAKER
PLAZA

100 E Penn Square
Philadelphia, PA 19107

No.	Description	Date
	Issue for Construction	12/12/19
	Issue for Bid	04/21/20
	Revision 1	05/05/20

ARCHITECT: Tantillo Architecture
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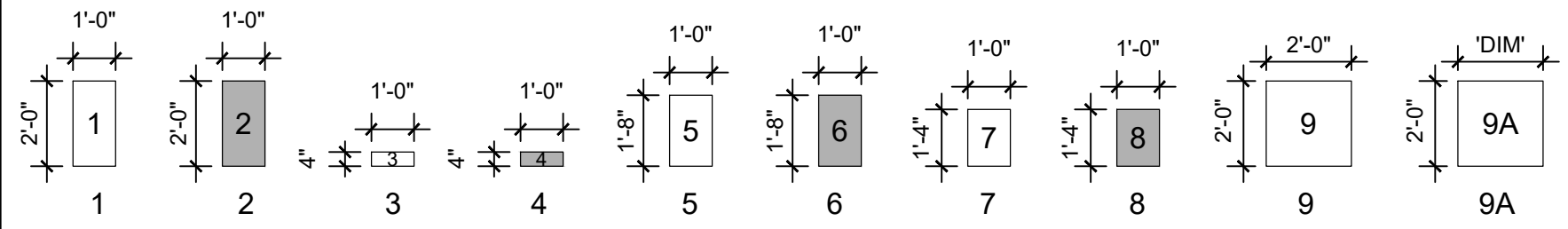
GENERAL NOTES
A. PROVIDE 1/2" SEALANT JOINT AT NEW TO EX'G - TYP. U.N.O.
B. SEE SHEET A-100 FOR ADDITIONAL DETAILS..

KEYED SITE NOTES
1. EX'G VENTS TO REMAIN.
2. NEW BOLLARD WITH LIGHT.
3. NEW "WANAMAKER" SIGNAGE - COOR'D SPACING AND KERNING WITH ARCHITECT AND OWNER.
4. SEE SHEET L-101 FOR PLANTING PLAN.

STONE TYPE LEGEND

LABEL	SIZE	DESCRIPTION	FINISH	TYPE	MANUFACTURER
1	2" x 1'-0" x 2'-0"	SIERRA WHITE (LIGHT GREY)	THERMAL	GRANITE	COLDSRING
2	2" x 1'-0" x 2'-0"	MESABI BLACK (BLACK)	DIAMOND 100	GRANITE	COLDSRING
3	2" x 1'-0" x 4"	SIERRA WHITE (LIGHT GREY)	THERMAL	GRANITE	COLDSRING
4	2" x 1'-0" x 4"	MESABI BLACK (BLACK)	DIAMOND 100	GRANITE	COLDSRING
5	2" x 1'-0" x 1'-8"	SIERRA WHITE (LIGHT GREY)	THERMAL	GRANITE	COLDSRING
6	2" x 1'-0" x 1'-8"	MESABI BLACK (BLACK)	DIAMOND 100	GRANITE	COLDSRING
7	2" x 1'-0" x 1'-4"	SIERRA WHITE (LIGHT GREY)	THERMAL	GRANITE	COLDSRING
8	2" x 1'-0" x 1'-4"	MESABI BLACK (BLACK)	DIAMOND 100	GRANITE	COLDSRING
9	2" x 2'-0" x 2'-0"	MESABI BLACK (DARK GREY)	RUB AND SAND	GRANITE	COLDSRING
9A	2" x 2'-0" x 'DIM'	MESABI BLACK (DARK GREY)	RUB AND SAND	GRANITE	COLDSRING

NOTE: 'DIM' - DIMENSIONS OF PAVERS ARE TO BE COORDINATED WITH FIELD VERIFIED DIMENSIONS PRIOR TO ORDERING OF MATERIAL AND INSTALLATION.



EXISTING WANAMAKER
BUILDING

PROJECT NORTH

PROJECT AREA

SEAL & SIGNATURE

REGISTERED ARCHITECT
Christopher Tantillo, PA License No. RA-403945

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PROJECT
WANAMAKER PLAZA
RENOVATION

ENLARGED
SITE PLAN

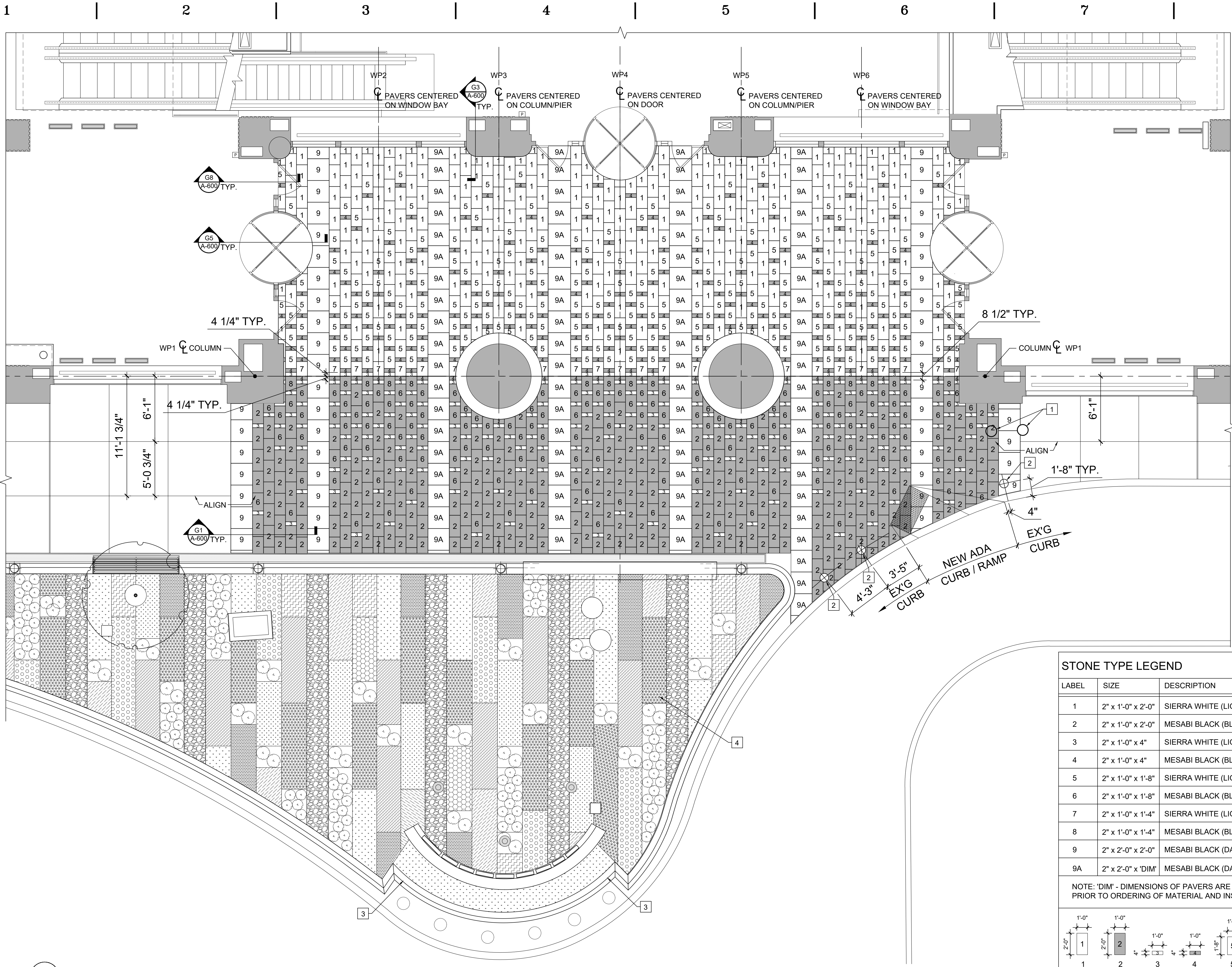
SCALE
As Noted

PROJECT No.
031 - 25

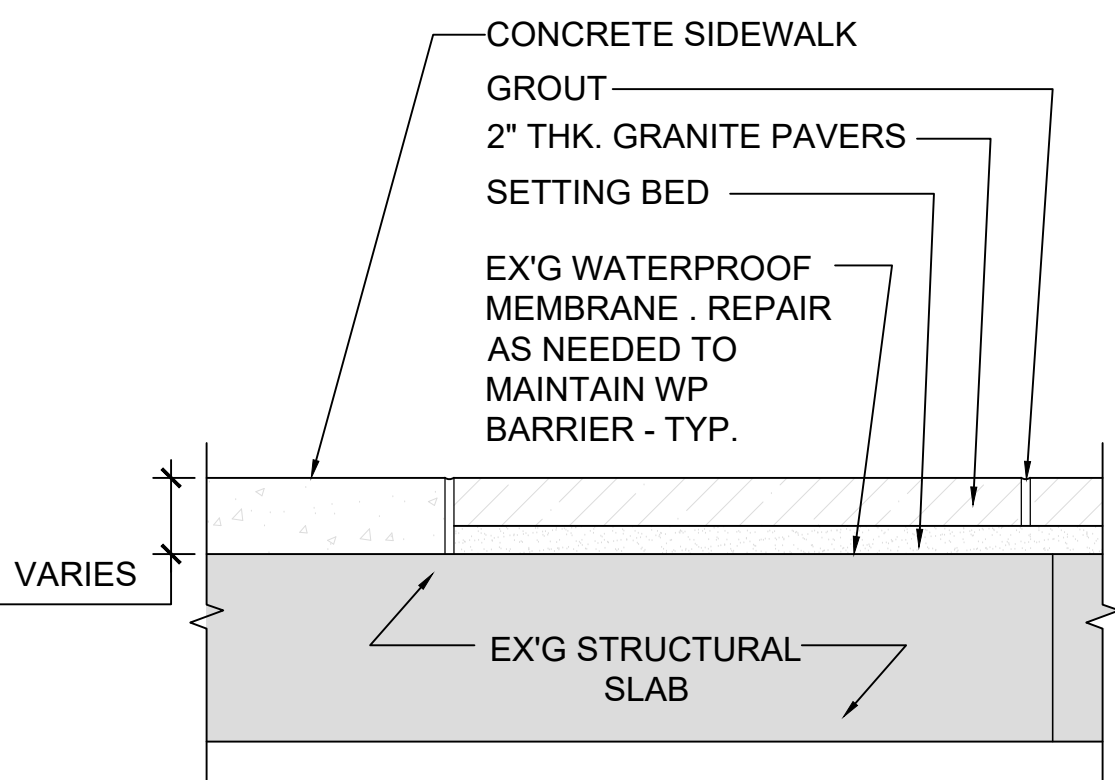
DATE IN PROGRESS
5 MAY 2020

SHEET No.

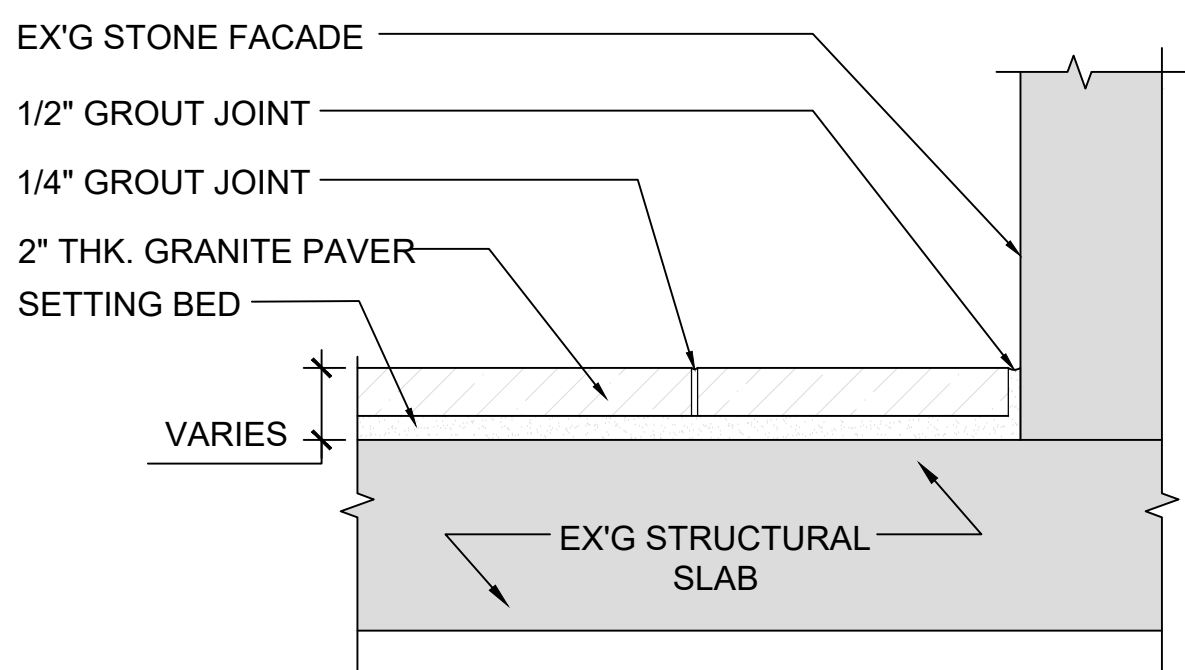
A-600.00



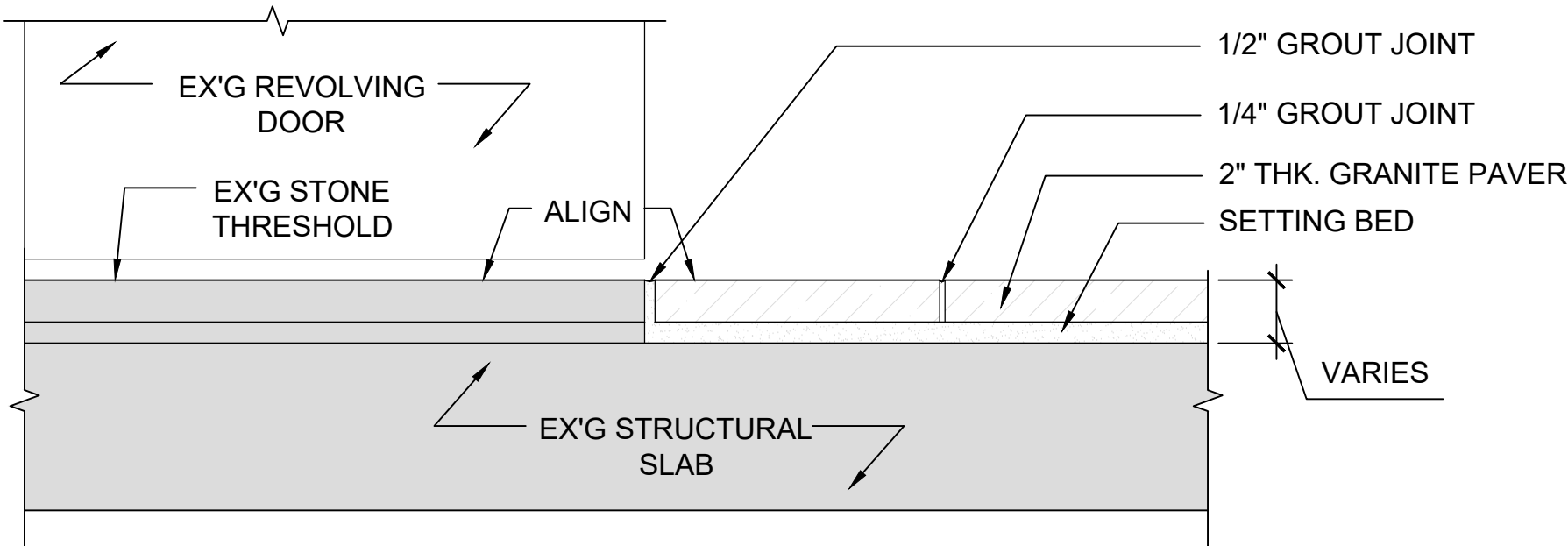
F1 ENLARGED SITE PLAN - PAVING PATTERN
A-600 SCALE - 1/4" = 1'-0"



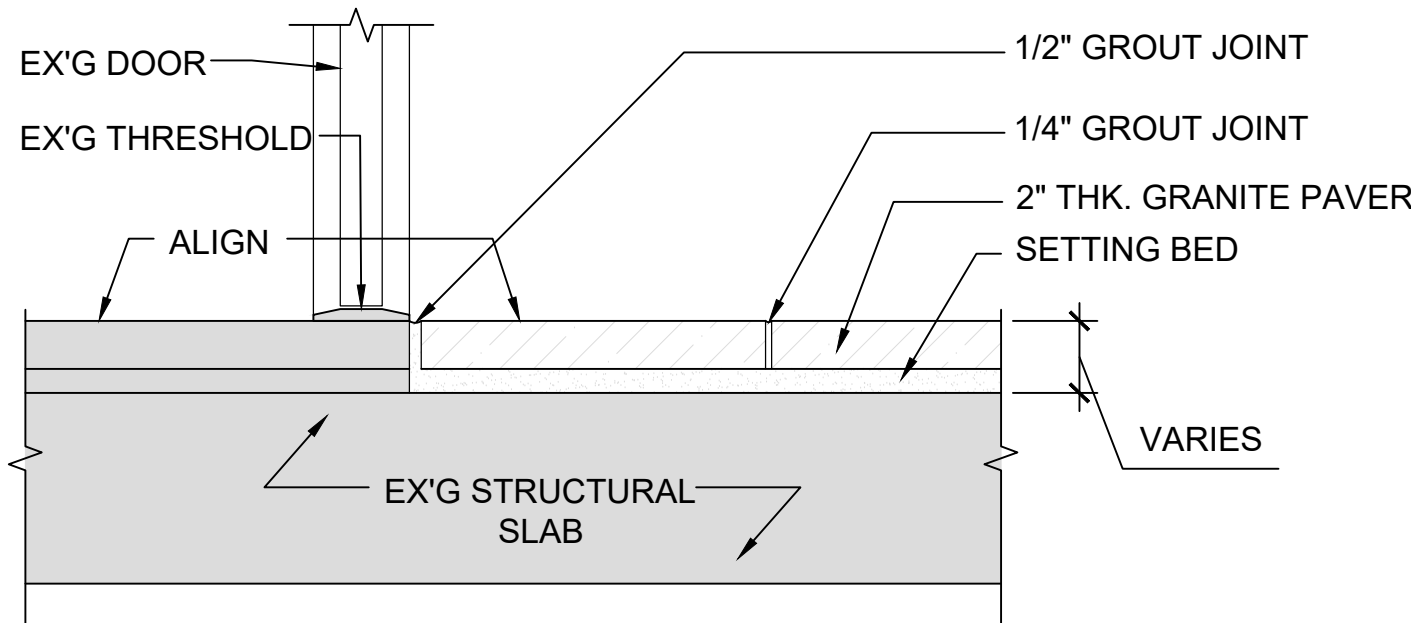
G1 SECTION AT PAVERS
A-600 SCALE - 1-1/2" = 1'-0"



G3 SECTION AT BUILDING
A-600 SCALE - 1-1/2" = 1'-0"

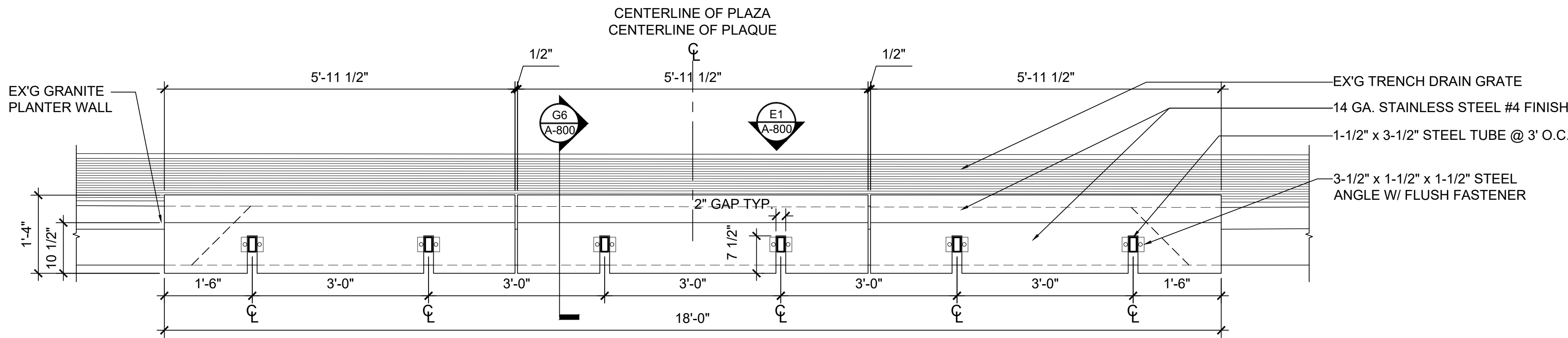


G5 REVOLVING DOOR THRESHOLD
A-600 SCALE - 1-1/2" = 1'-0"



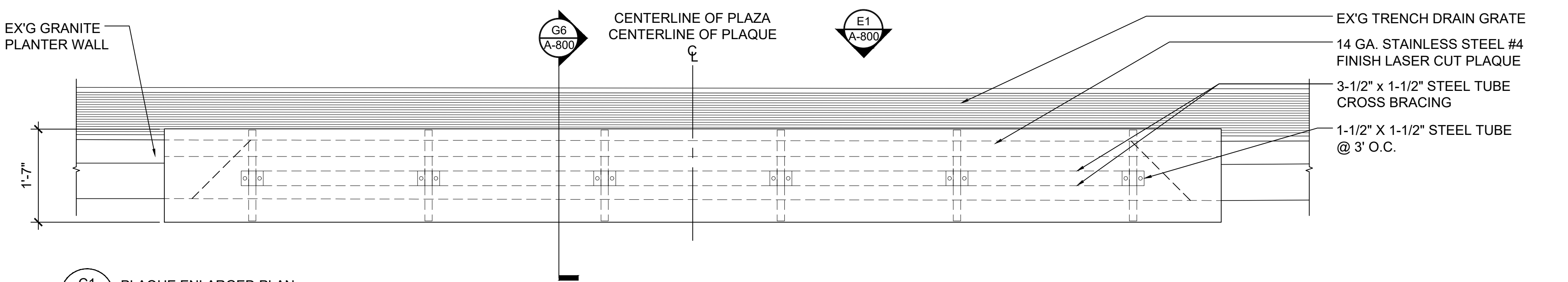
G8 DOOR THRESHOLD
A-600 SCALE - 1-1/2" = 1'-0"

A



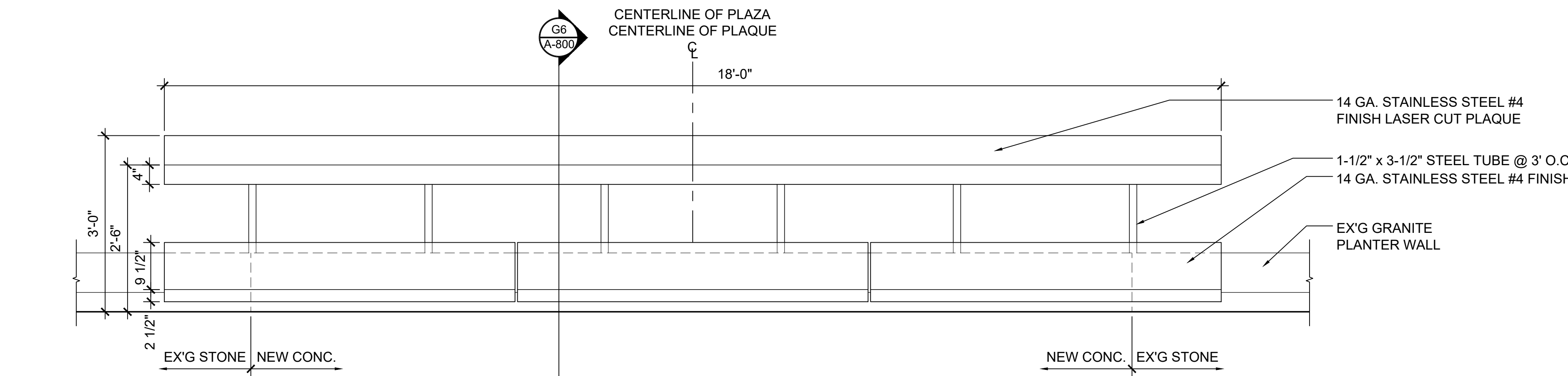
B

B1 PLAQUE ENLARGED PLAN
A-800 SCALE - 3/4" = 1'-0"

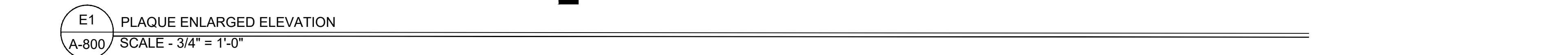


C

C1 PLAQUE ENLARGED PLAN
A-800 SCALE - 3/4" = 1'-0"

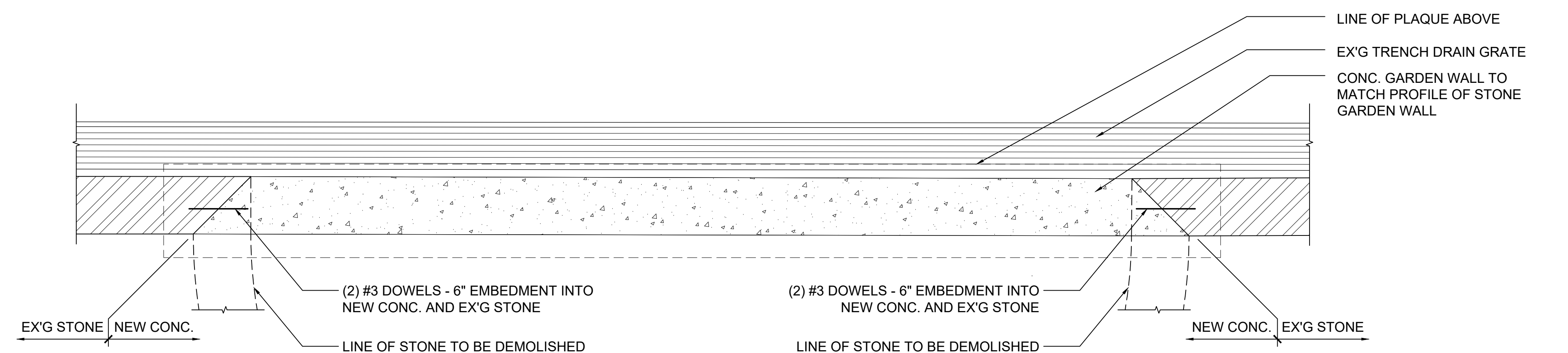


D



E

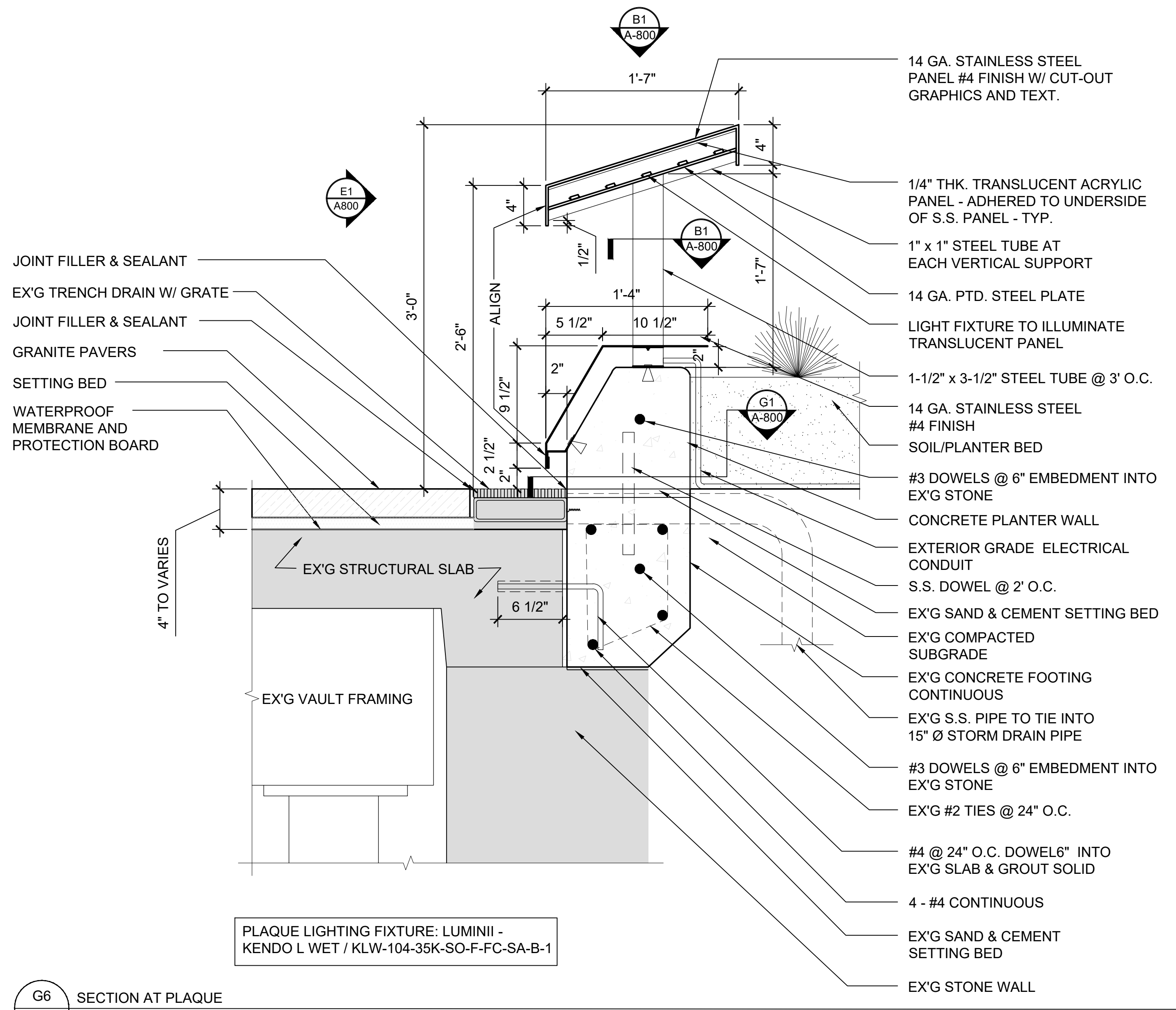
E1 PLAQUE ENLARGED ELEVATION
A-800 SCALE - 3/4" = 1'-0"



F

G1 PLAQUE ENLARGED PLAN / SECTION
A-800 SCALE - 3/4" = 1'-0"

G



G6 SECTION AT PLAQUE
A-800 SCALE - 1-1/2" = 1'-0"

WANAMAKER PLAZA

100 E Penn Square
Philadelphia, PA 19107

No.	Description	Date
1	Issue for Bid	04/21/20
2	Revision 1	05/05/20

ARCHITECT: Tantillo Architecture
2929 Arch Street
Suite 2800
Philadelphia, PA 19104
Tel: 215.864.7315

SURVEYOR: Barry Issett & Associates, Inc.
85 South Route 100
Allentown, PA 18106
Tel: 610-398-0904

LANDSCAPE ARCHITECT: SALT Design Studio
4100 Main Street
Suite 201
Philadelphia, PA 19127
Tel: 215-621-7600

CIVIL ENGINEER: Grist
50 East Sedgwick Street
Philadelphia, PA 19119
Tel: 267-332-8282



PROJECT AREA

PROJECT NORTH

SEAL & SIGNATURE

REGISTERED ARCHITECT
Christopher Tantillo, PA License No. RA-403945

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PROJECT
WANAMAKER PLAZA RENOVATION

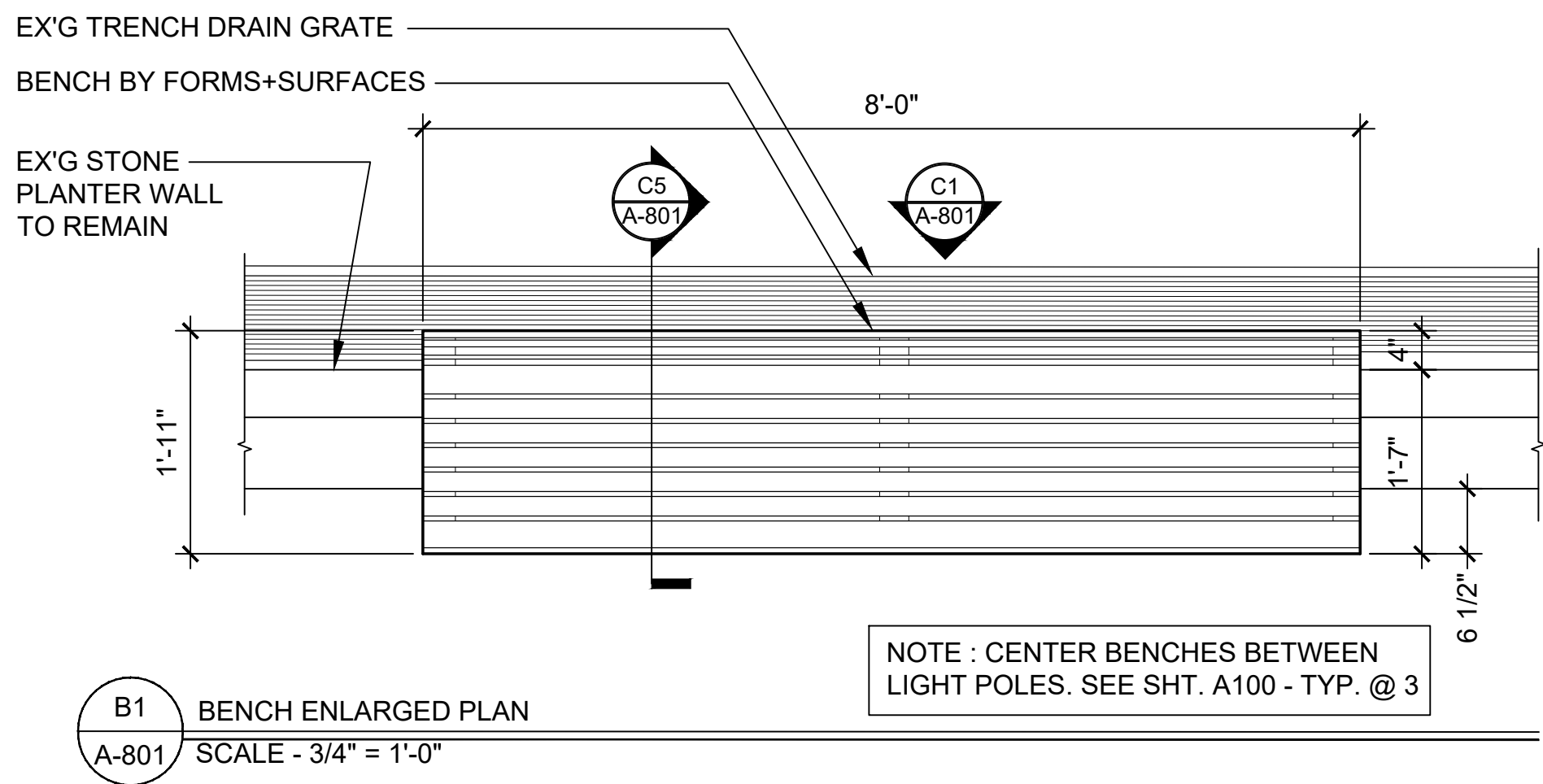
DETAILS

SCALE As Noted	PROJECT No. 031 - 25
DATE IN PROGRESS 5 MAY 2020	SHEET No.

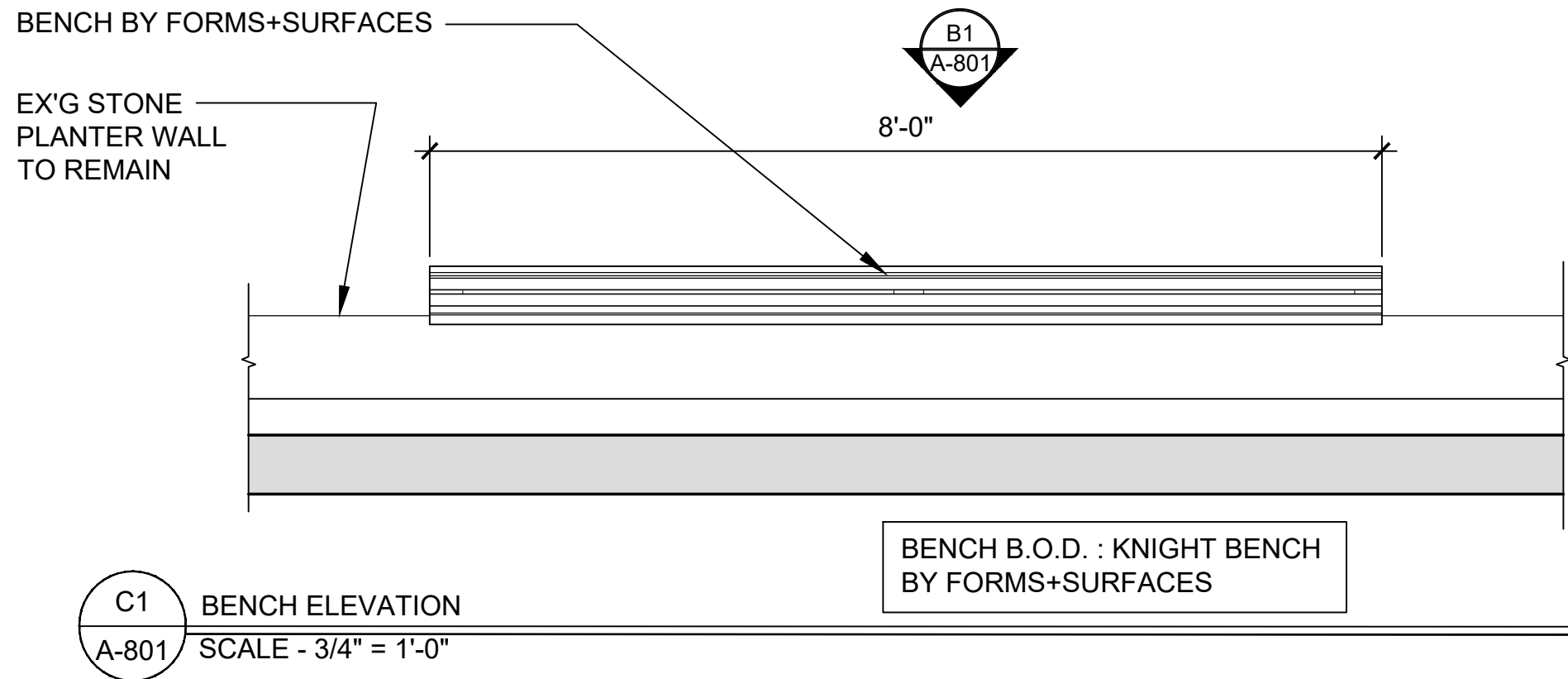
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1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9

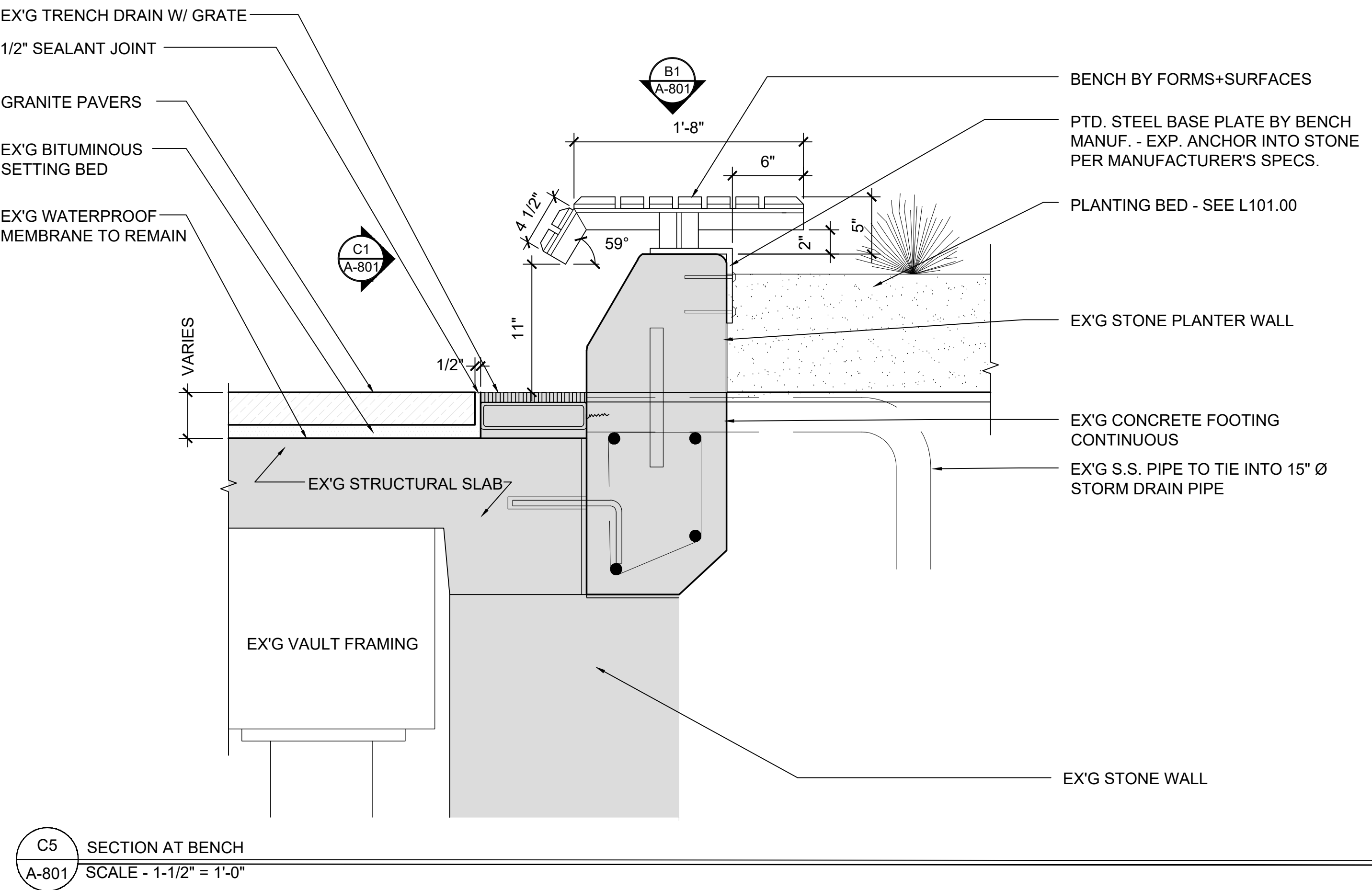
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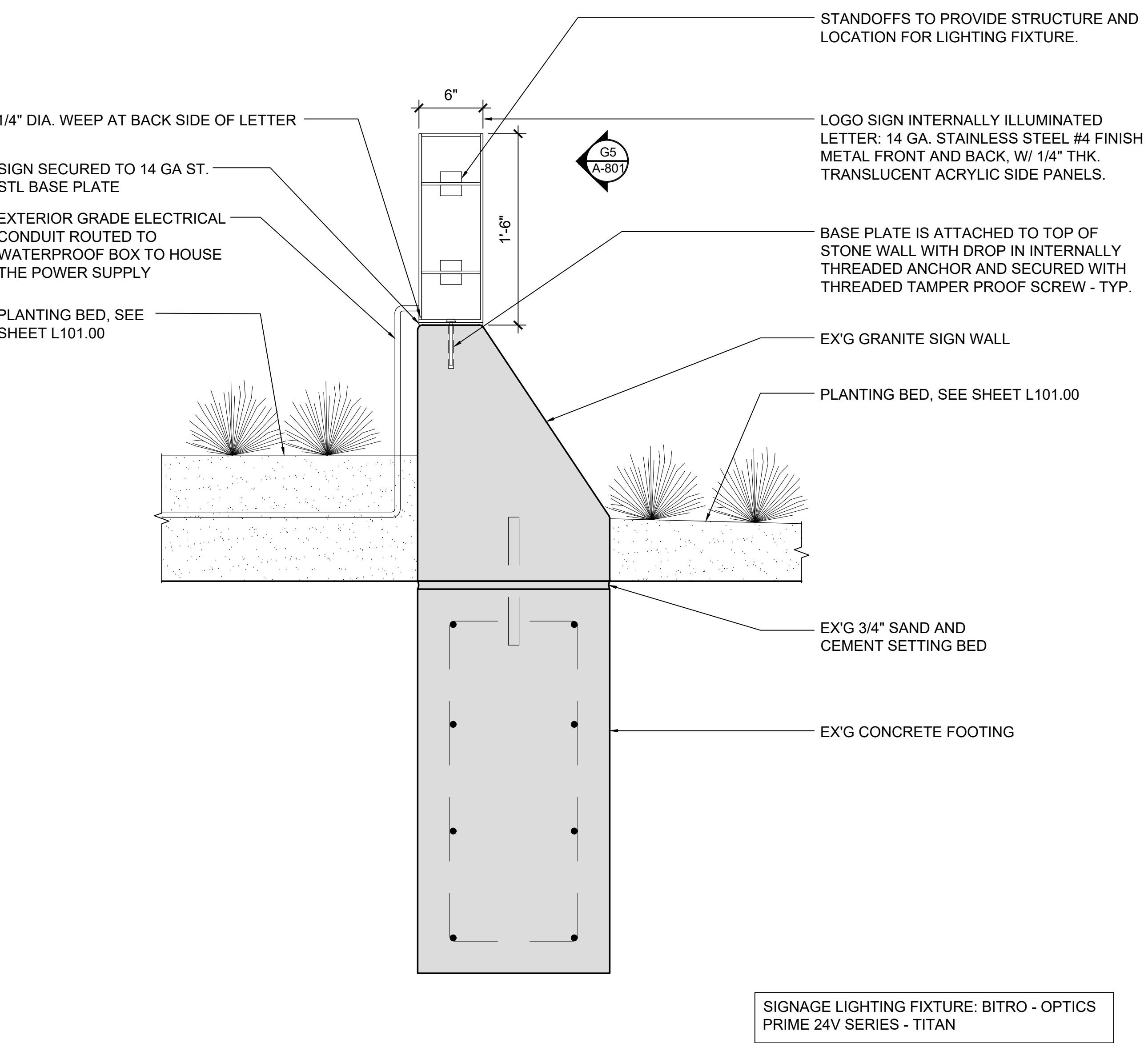
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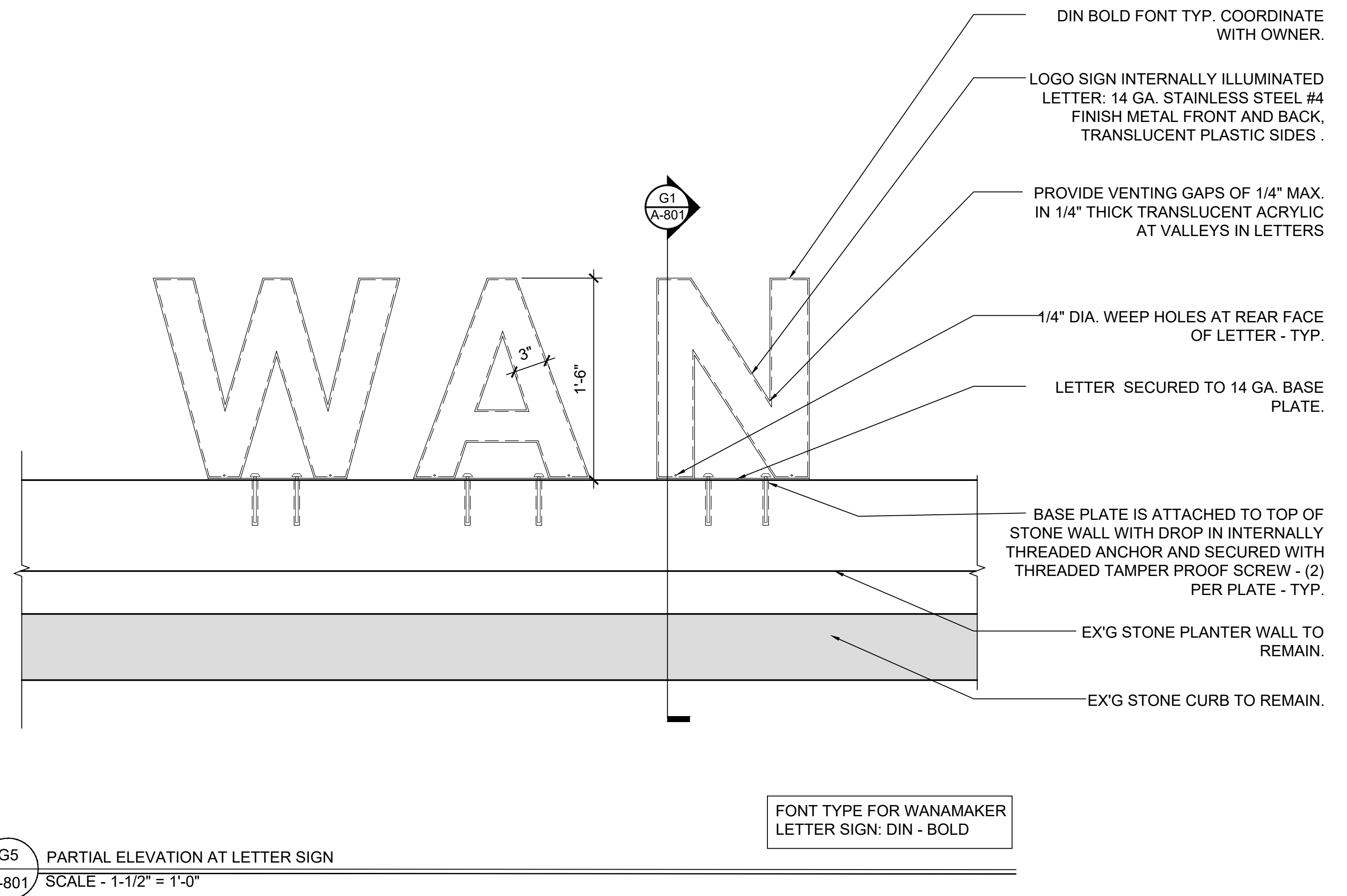
C



D



E



F

G

G1 A-801 SECTION AT SIGNAGE WALL SCALE - 1-1/2" = 1'-0"

WANAMAKER PLAZA

100 E Penn Square
Philadelphia, PA 19107

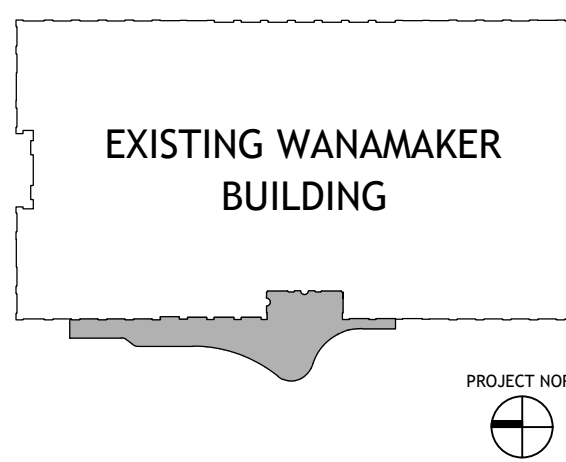
No.	Description	Date
	Issue for Bid	04/21/20
1	Revision 1	05/05/20

ARCHITECT: Tantillo Architecture
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Tel. 610-398-0904

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CIVIL ENGINEER: Grist
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SEAL & SIGNATURE
REGISTERED ARCHITECT
CHRISTOPHER TANTILLO
Christopher Tantillo, PA License No. RA-403945
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PROJECT
WANAMAKER PLAZA RENOVATION

DETAILS

SCALE As Noted	PROJECT No. 031 - 25
DATE IN PROGRESS 5 MAY 2020	
SHEET No.	

A-801.00

A

B

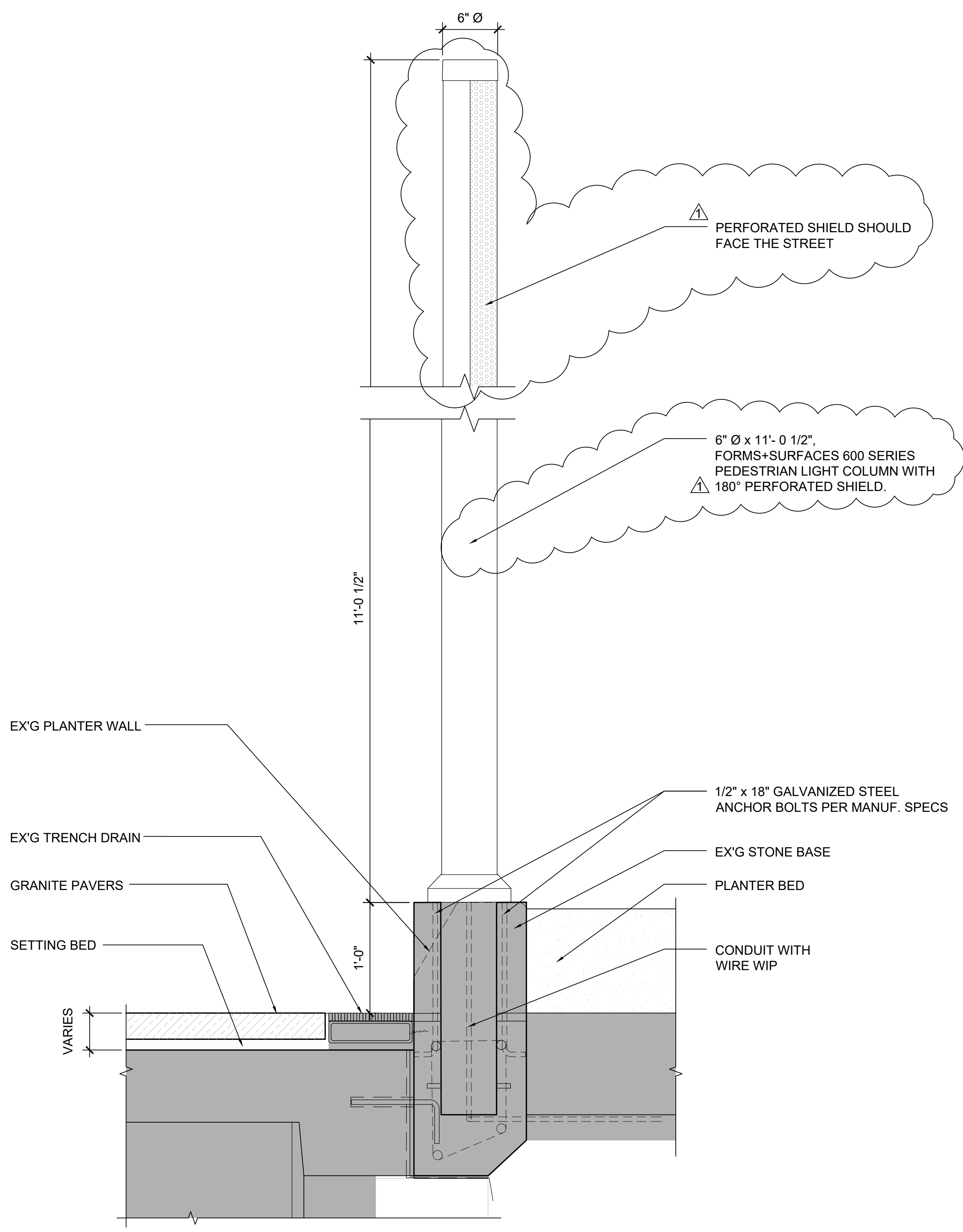
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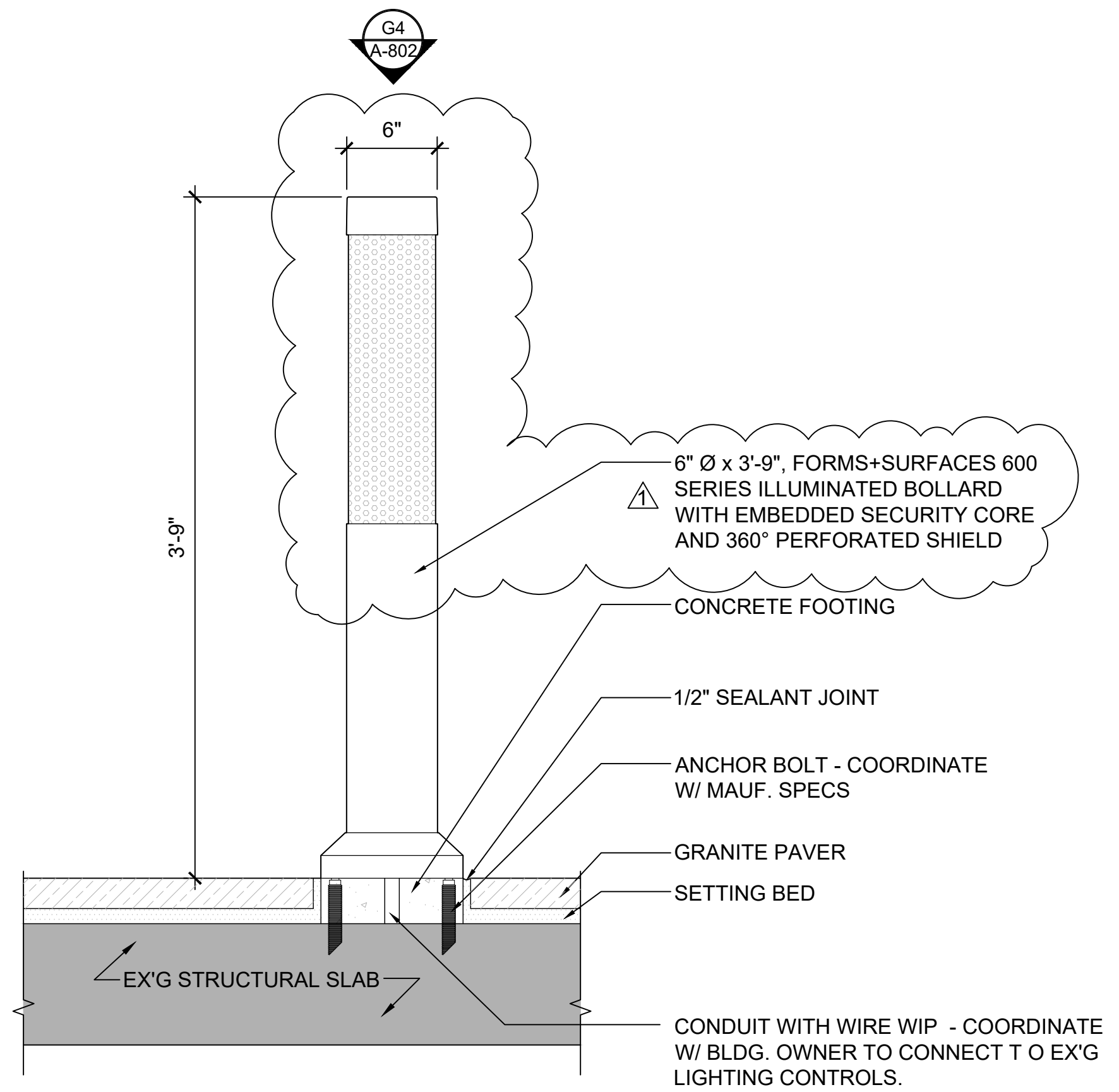
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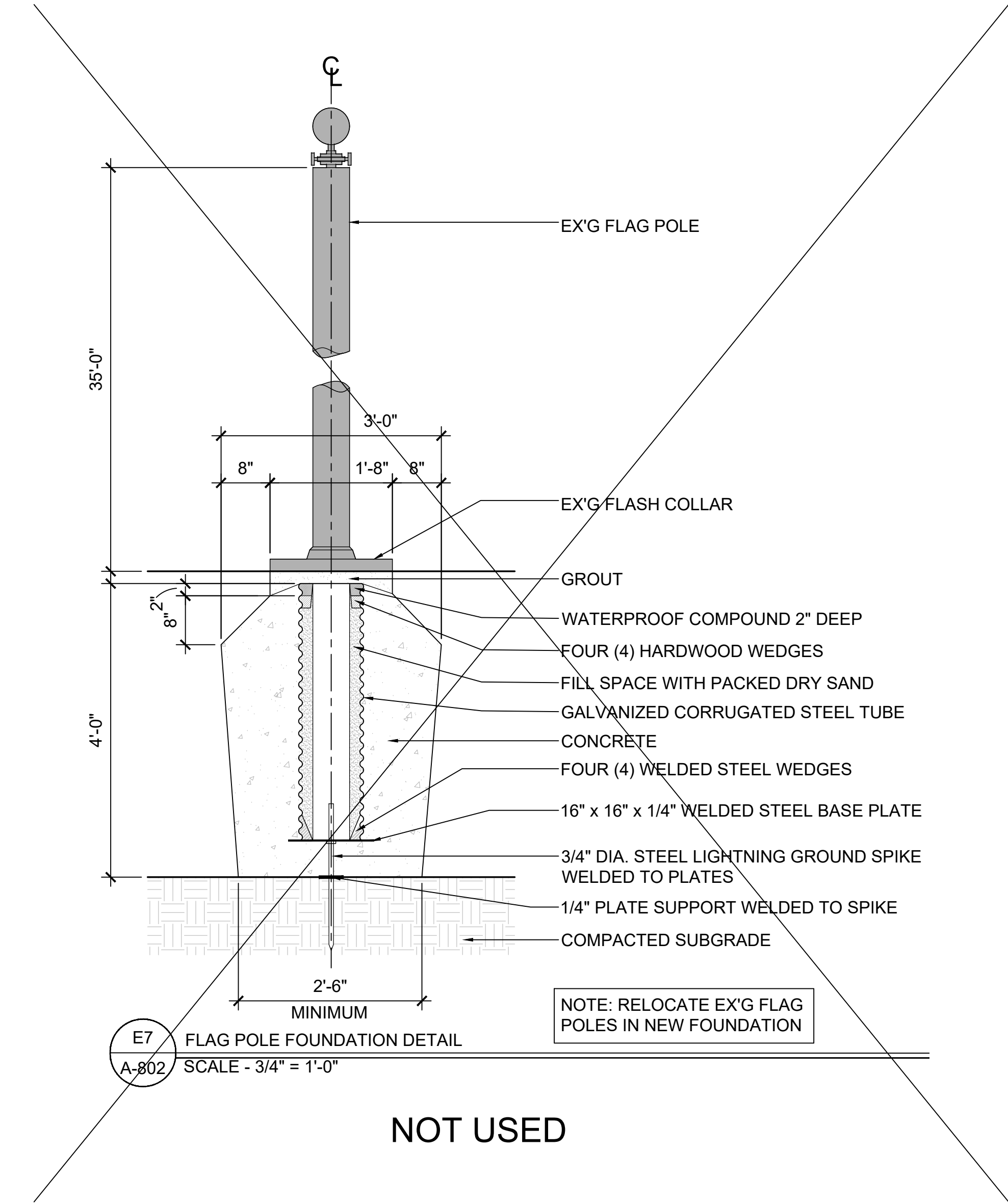
G



E1 LIGHT COLUMN ELEVATION
A-802 SCALE - 1-1/2" = 1'-0"

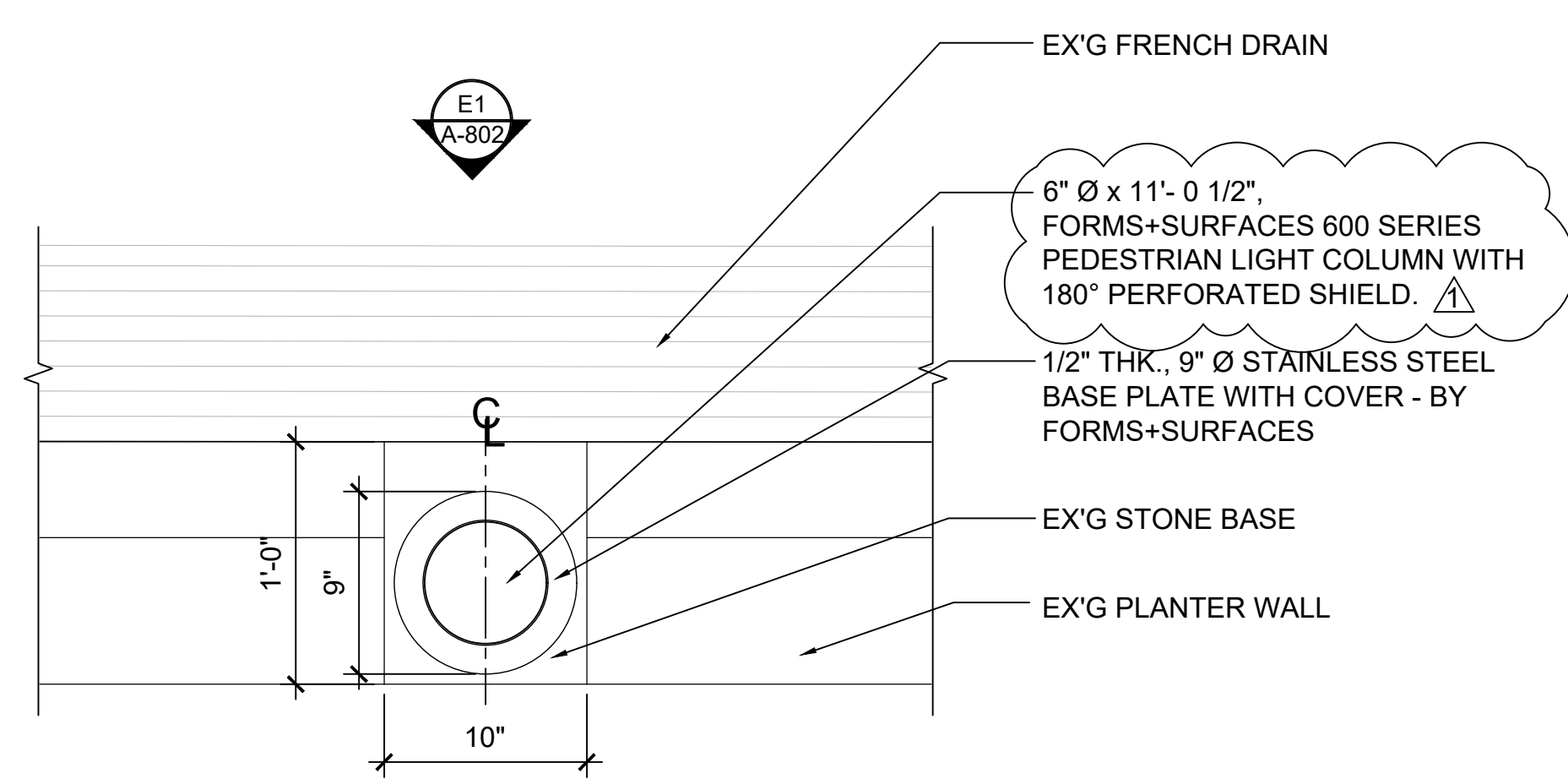


E4 ILLUMINATED BOLLARD ELEVATION
A-802 SCALE - 1-1/2" = 1'-0"

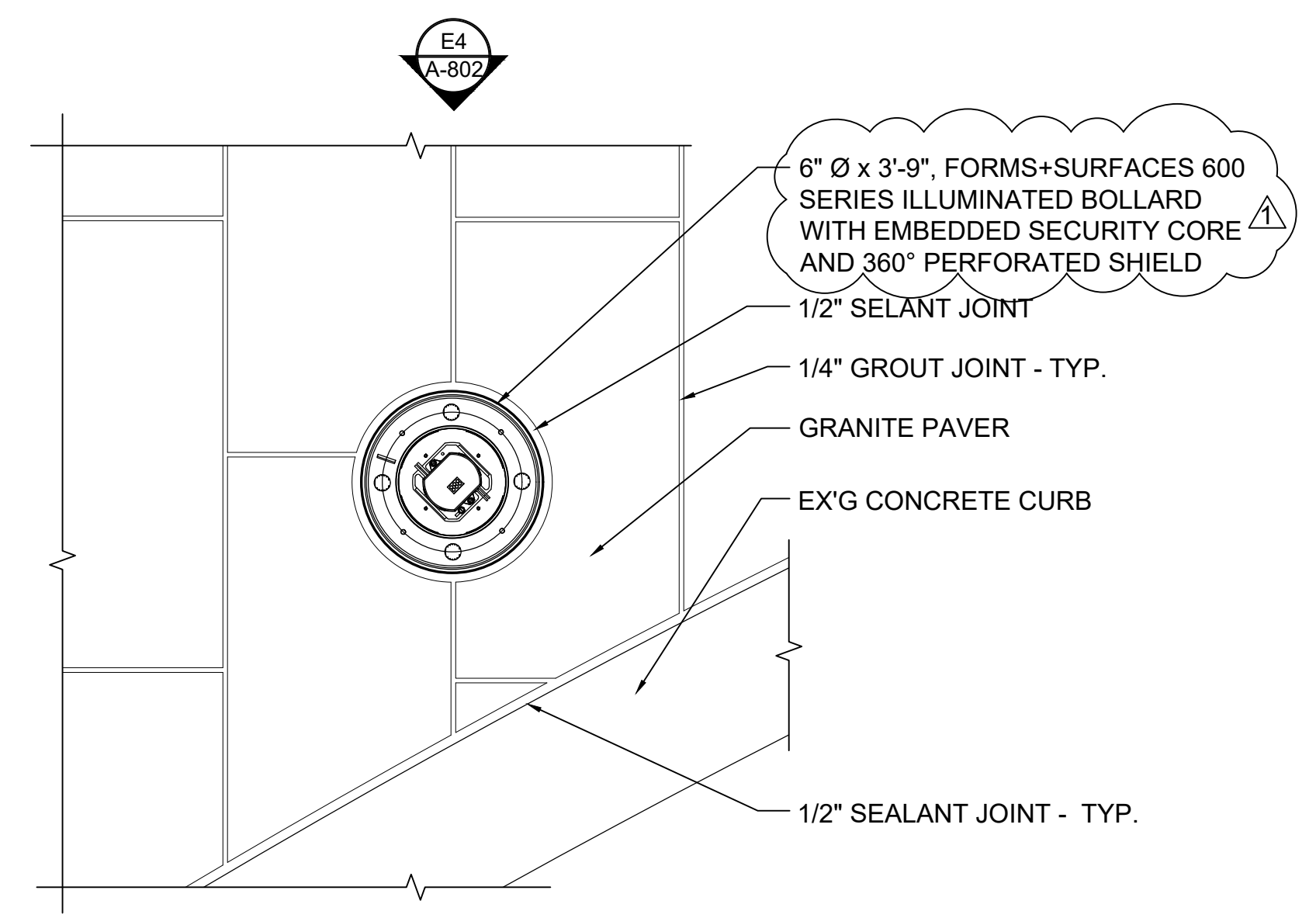


E7 FLAG POLE FOUNDATION DETAIL
A-802 SCALE - 3/4" = 1'-0"

NOT USED



G1 LIGHT ENLARGED PLAN
A-802 SCALE - 1-1/2" = 1'-0"



G4 ILLUMINATED BOLLARD ENLARGED PLAN
A-802 SCALE - 1-1/2" = 1'-0"

WANAMAKER PLAZA

100 E Penn Square
Philadelphia, PA 19107

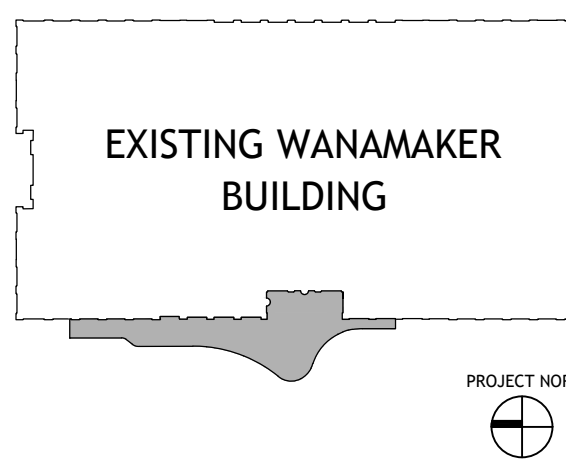
No.	Description	Date
Issue for Bid/Permit		04/21/20
Revision 1		05/05/20

ARCHITECT: Tantillo Architecture
2929 Arch Street
Suite 2800
Philadelphia, PA 19104
Tel: 215.864.7315

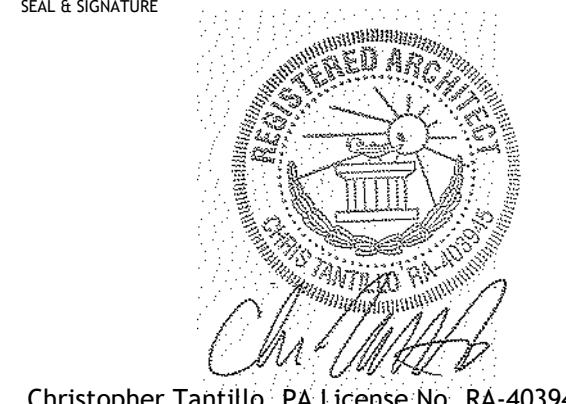
SURVEYOR: Barry Isett & Associates, Inc.
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Tel: 610-398-0904

LANDSCAPE ARCHITECT: SALT Design Studio
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PROJECT AREA



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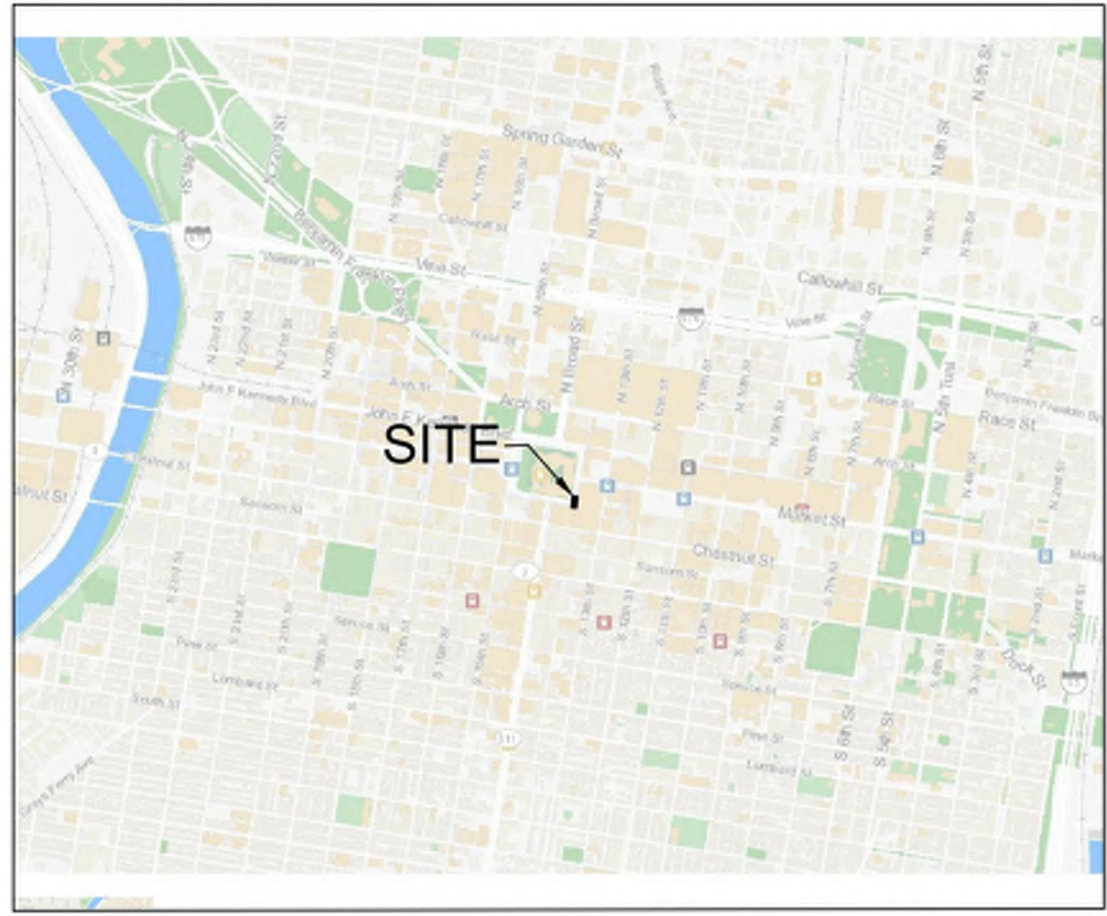
PROJECT
WANAMAKER PLAZA RENOVATION

DETAILS

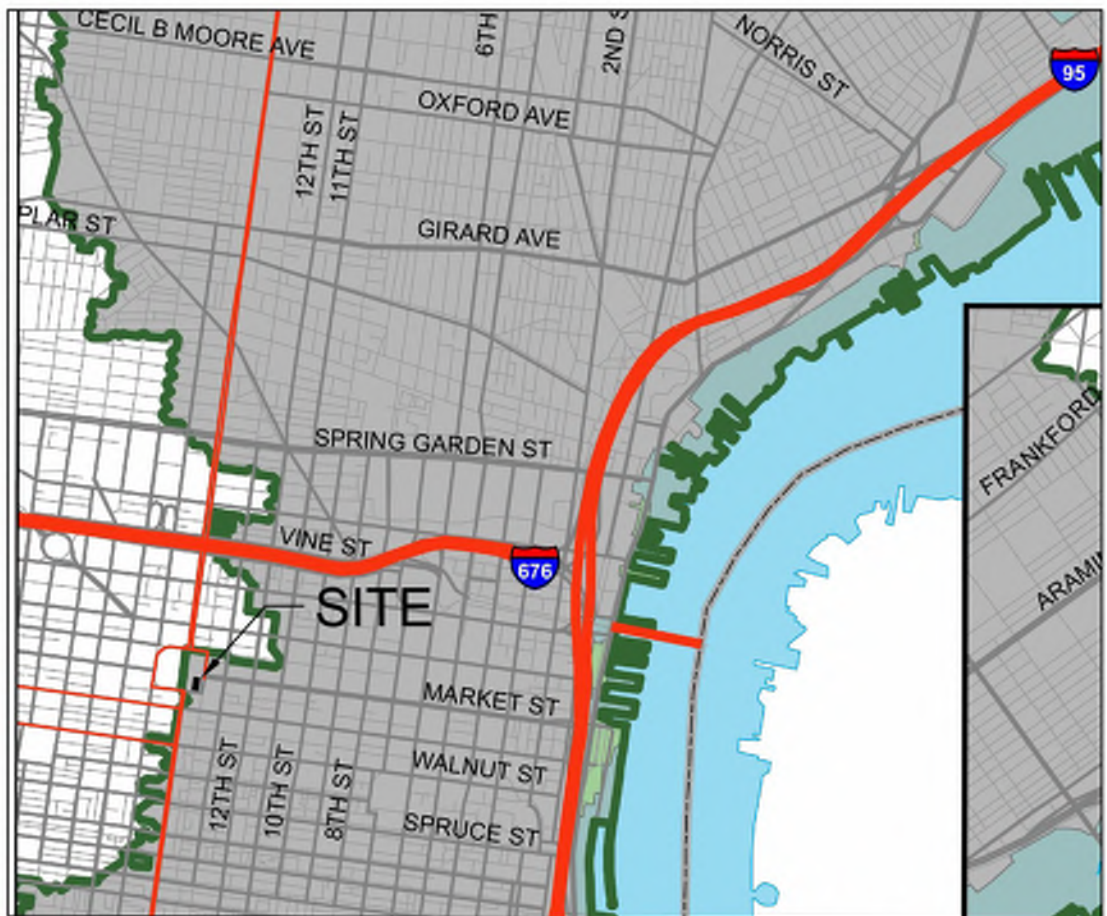
SCALE As Noted	PROJECT No. 031 - 25
DATE IN PROGRESS 5 MAY 2020	
SHEET No.	

A-802.00

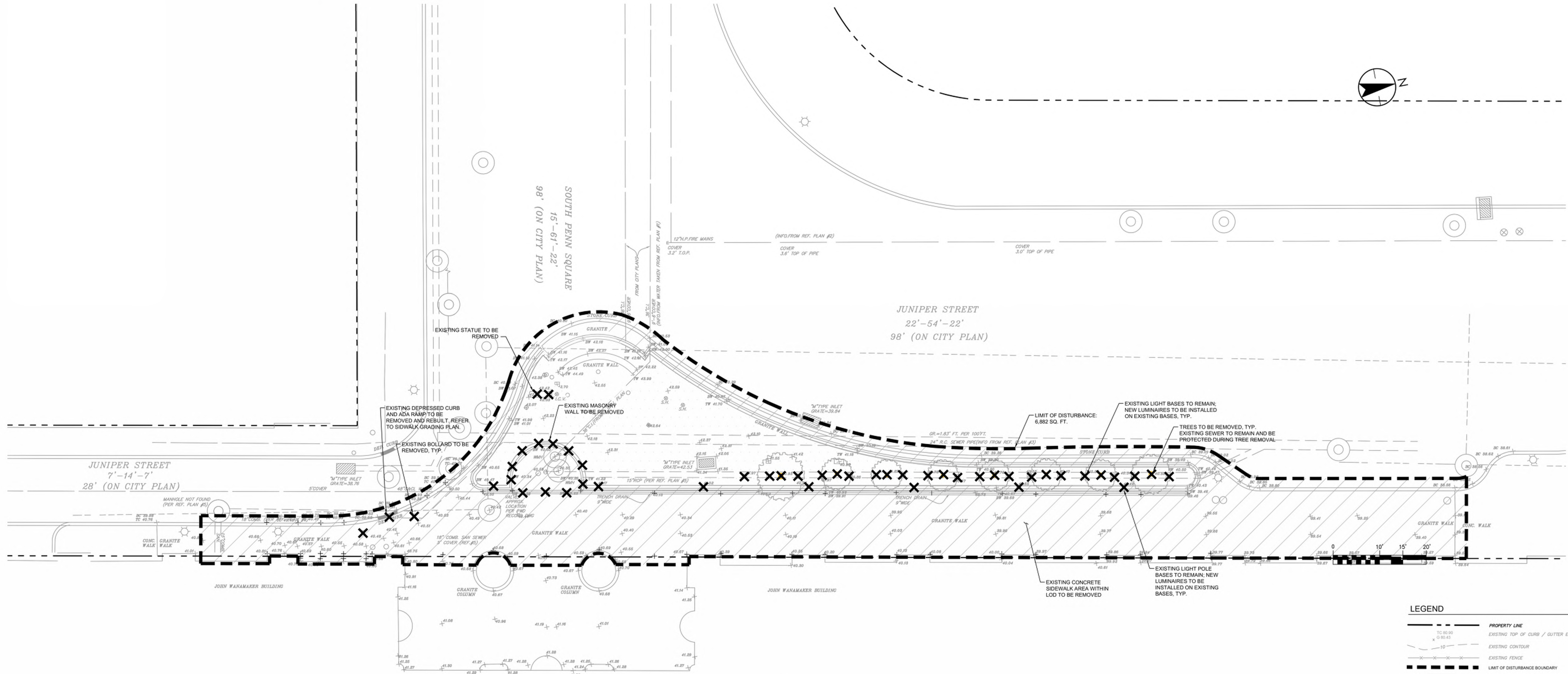
L-501.00



SITE LOCATION MAP
N.T.S.



SITE LOCATION IN WATERSHED
N.T.S.



- NOTES:
- Plan made as per instructions of Tantillo Architecture.
 - This plan illustrates existing conditions and proposed demolition of structures within the limits of disturbance shown. The information on this drawing shall not be used for any other purpose.
 - Project description: Streetscape improvements.
 - Existing conditions information shown on this plan is the result of a survey plan completed by Barry Isett & Associates, Inc. Sheet Title "Partial Topographic Survey - Side Walk Area", Sheet No. SU-1, dated 01/29/20 unless otherwise noted. Locations of existing infrastructure, including but not limited to utilities, have not been field-verified by Grist. Existing infrastructure locations must be verified on site by the Contractor.
 - Benchmark: Rim of PECO manhole in sidewalk, Rim S1 = 40.42, as shown on survey plan.
 - The vertical datum is taken from City Streets Plan of "Revising the City Lines and Grades on a Portion of City Plan No. 307 of Juniper Street including Curb Rasi, from Market Street to a Point Approximately Two Hundred Eighty-Three Feet South of Market Street", 5th Ward, Approved August 3, 1980. Confirmed August 20, 1990, as indicated on survey plan.
 - Boundary and right-of-way dimensions are presented in the City of Philadelphia District Standard of Measurement (DS), as indicated on the survey plan. Other dimensions and distances are in US Standard All streets adjacent to property are legally open as public rights of way.
 - Parking: There are no parking spaces on site.
 - There is no observed evidence of current earth moving work, building construction, or building additions on site.
 - The information shown on this plan is for the ultimate user named herein and is not valid to any other parties.
 - Refer also to Drawing A-100.00, prepared by Tantillo Architecture. If any discrepancies are noted between the information shown on this plan and drawings by Tantillo Architecture or SALT Design Studio, immediately stop work and contact the Engineer.
 - The Contractor is responsible for protection of existing infrastructure, including but not limited to utilities.
 - If any discrepancies are noted between the information shown on this plan and observed field conditions, immediately stop work and contact the Engineer.
 - Equipment used in construction shall be of such weight, size and capacity to efficiently work without causing instability or displacement of the water main. In unpaved areas, equipment shall not be permitted to operate atop the main without the placement of appropriate timbers or steel plates to distribute the live load.
 - Any work near the PWD water transmission system must be coordinated with Mr. Cliff Lahann, Lead Control Operations Engineer (215-685-9502).
 - Use extra caution when excavating near PWD infrastructures. In case of water or drainage emergency contact (215) 685-4300.
 - The use of a Hydro-Hammer or similar equipment near PWD infrastructure is prohibited.
 - Existing light pole and light fixture bases are to remain. New luminaires are proposed utilizing existing light pole and fixture bases. No new light pole or fixture bases are proposed.
 - No new electrical conduit trenching is proposed.

REFER ALSO TO DRAWINGS BY TANTILLO ARCHITECTURE AND SALT DESIGN STUDIO.

IF ANY DISCREPANCIES ARE NOTED BETWEEN THE INFORMATION ON THIS PLAN AND DRAWINGS BY TANTILLO ARCHITECTURE OR SALT DESIGN STUDIO, OR OBSERVED FIELD CONDITIONS, IMMEDIATELY STOP WORK AND CONTACT THE ENGINEER.

LEGEND	
	PROPERTY LINE
	EXISTING TOP OF CURB / GUTTER ELEVATION
	EXISTING CONTOUR
	EXISTING FENCE
	LIMIT OF DISTURBANCE BOUNDARY
	PERVIOUS / LANDSCAPED AREA
	IMPERVIOUS / HARDSCAPED AREA
	STRUCTURE OR TREE TO BE DEMOLISHED/REMOVED



Owner Contact Information:
Natalie Kidd
215-651-0406
nkidd@gamerimar.com

Philadelphia Center
Realty Associates
50 S. 16th St.
Suite 3500
Philadelphia, PA 19102

PWD TRACKING NO.: FY20-WANA-5742-01

WANAMAKER PLAZA

100 E Penn Square
Philadelphia, PA 19107

No.	Description	Date

ARCHITECT: Tantillo Architecture
2929 Arch Street
Suite 2800
Philadelphia, PA 19104
Tel: 215-864-7315

SURVEYOR: Barry Isett & Associates, Inc.
85 South Route 100
Allentown, PA 18106
Tel: 610-398-0904

LANDSCAPE ARCHITECT: SALT Design Studio
4100 Main Street
Suite 201
Philadelphia, PA 19127
Tel: 215-621-7600

CIVIL ENGINEER: Grist
50 East Sedgwick Street
Philadelphia, PA 19119
Tel: 267-332-8282



PROJECT AREA



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WANAMAKER PLAZA RENOVATION

EXISTING CONDITIONS PLAN

SCALE 1"=10'	PROJECT No. 031-25
DATE IN PROGRESS January 31, 2020	SHEET No.

C-10

A

B

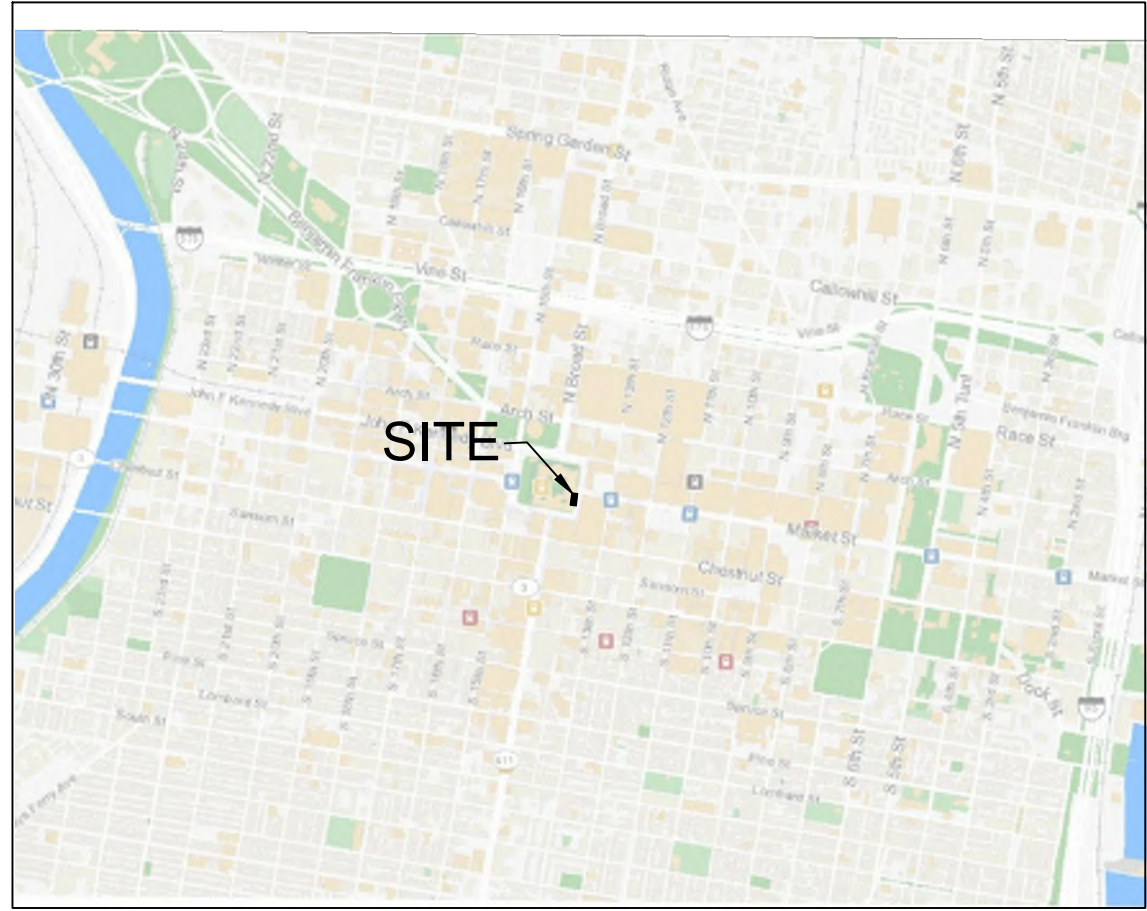
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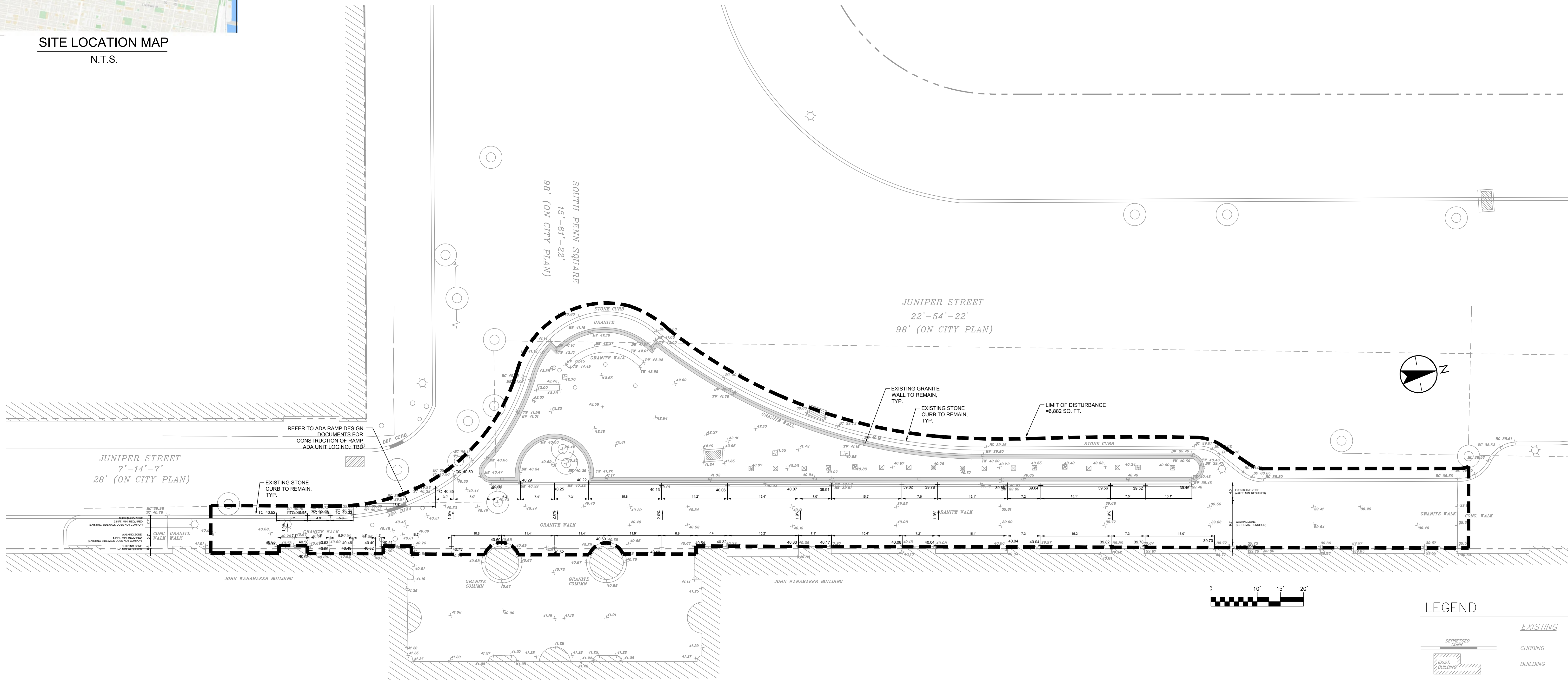
E

F

G



SITE LOCATION MAP
N.T.S.



LEGEND

EXISTING	
DEPRESSED CURBING	
EXIST. BUILDING	
UNDERGROUND ELECTRIC	
UNDERGROUND TELEVISION	
WATER MAIN & VALVE	
GAS MAIN & VALVE	
SANITARY LINE, MANHOLE, & CLEANOUT	
STORM LINE, MANHOLE, & INLET	
SIGN	
CONTOUR	
SPOT ELEVATION	
DOOR SILL	
IRRIGATION CONTROL BOX	
LAMP	
GROUND LIGHT	
LIGHT STAND	
SPRINKLER HEAD	
PROPOSED	
LIMIT OF DISTURBANCE BOUNDARY	
PROPOSED SPOT ELEVATION	
PROPOSED SLOPE	

- NOTES:
- Development Type: Streetscape
 - Proposed Use: Pedestrian footway and landscaped planter
 - Zoning Designation: CMX-5
 - Paving Limits: As shown on Drawings prepared by Tantillo Architecture.
 - Grading: Sidewalk to be regraded as shown.
 - Existing conditions information shown on this plan is the result of a survey plan completed by Barry Isett & Associates, Inc., Sheet Title "Partial Topographic Survey - Side Walk Area", Sheet No. SU-1, dated 01/29/20 unless otherwise noted. Locations of existing infrastructure, including but not limited to utilities, have not been field-verified by Grist. Existing infrastructure locations must be verified on site by the Contractor.
 - Refer to drawing L101, Planting Plan, prepared by Salt Design Studio, for proposed planting information.
 - West of South Penn Square, Juniper Street is classified as a Local Street, according to the Philadelphia Complete Streets Design Handbook. East of South Penn Square, Juniper Street is classified as an Urban Arterial Street, according to the Philadelphia Complete Streets Design Handbook.
 - All information shown on this plan is for review by the Philadelphia Streets Department and reference by Tantillo Architecture and is not valid to any other parties.

UTILITY CONTACTS, PER COMMITTEE OF HIGHWAY SUPERVISORS:

STREETS: MAUREEN WANGARI
215-688-5097
MAUREEN.WANGARI@PHILA.GOV

PWD: BILL DOBBINS
WILLIAM DOBBINS@PHILA.GOV

PGW: MONICA LYV
215-684-6116
MONICA.LYV@PGWORKS.COM

WENBIN ZHAO
215-684-6904
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PECO: NICOLE DOUGHERTY
215-731-3130
NICOLE.DOUGHERTY@PECO.COM

COMCAST: KEITH ALLRIDGE (AMERICOMM, LLC; CONTRACTOR)
717-731-7586
KEITH@AMERICOMM-LLC.COM

JACK CLAYTON
215-339-7912
JACK_CLAYTON@CABLE.COMCAST.COM

VERIZON: BRIAN M. MAGEE
215-381-6051
BRIAN.M.MAGEE@VERIZON.COM

- NOTES:
- CONTACT THE ENGINEER IMMEDIATELY IF ANY UTILITIES OTHER THAN THOSE LISTED ABOVE ARE IDENTIFIED IN THE FIELD.
 - IF ANY UTILITIES ARE FOUND TO BE IN CONFLICT WITH PROPOSED WORK, STOP WORK IMMEDIATELY AND CONTACT THE ENGINEER.

REFER ALSO TO DRAWINGS BY TANTILLO ARCHITECTURE AND SALT DESIGN STUDIO.

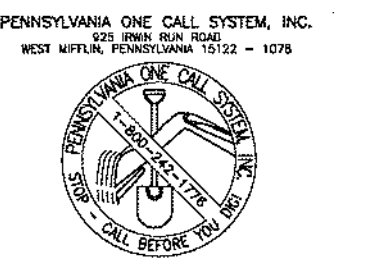
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SITE PHOTO No. 1



SITE PHOTO No. 2



BEFORE YOU DO ANYWHERE IN PENNSYLVANIA CALL 1-800-742-1774. NON-RESIDENTS MUST BE LICENSED DIRECTLY BY THE STATE OF PENNSYLVANIA. OUTSIDE THE STATE OF PENNSYLVANIA, OUTSIDE THE STATE OF PENNSYLVANIA, OUTSIDE THE STATE OF PENNSYLVANIA.

WANAMAKER PLAZA

100 E Penn Square
Philadelphia, PA 19107

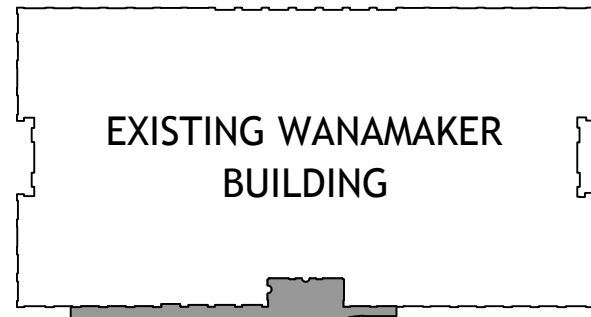
No.	Description	Date

ARCHITECT: Tantillo Architecture
2929 Arch Street
Suite 2000
Philadelphia, PA 19104
Tel: 215.864.7315

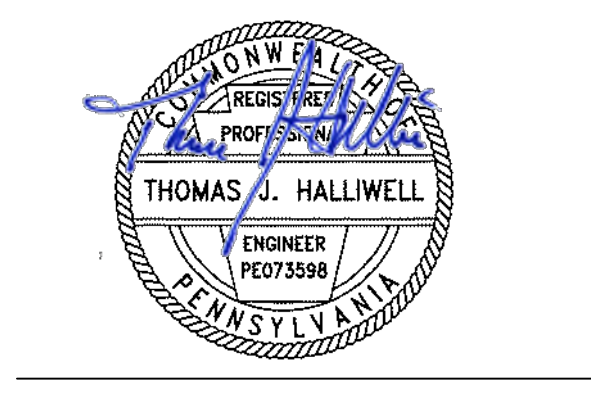
SURVEYOR: Barry Isett & Associates, Inc.
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Tel: 610-398-0904

LANDSCAPE ARCHITECT: SALT Design Studio
4100 Main Street
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Philadelphia, PA 19127
Tel: 215-621-7600

CIVIL ENGINEER: Grist
50 East Sedgwick Street
Philadelphia, PA 19119
Tel: 267-332-8282



SEAL & SIGNATURE



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WANAMAKER PLAZA RENOVATION

GRADING PLAN

SCALE 1"=10'	PROJECT NO. 031-25
-----------------	-----------------------

DATE IN PROGRESS

January 31, 2020

SHEET NO.

Owner Contact Information:
Natalie Kidd
215-851-0406
nkidd@amenmar.com

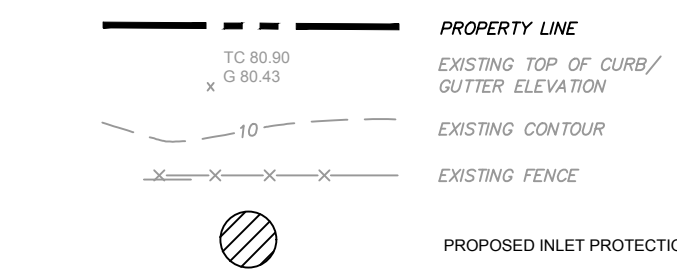
Philadelphia Center
Realty Associates
50 S. 16th St.
Suite 3500
Philadelphia, PA 19102

PWD TRACKING NO.: FY20-WANA-5742-01

ARCHITECT: Tantillo Architecture
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Tel. 215-621-7600

CIVIL ENGINEER: Grist
50 East Sedgwick Street
Philadelphia, PA 19119
Tel. 267-332-8282

[illegible][illegible]

- 19 A log showing dates that ESS BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to PWD at the time of inspection.
- 20 All construction activities shall be conducted in accordance with applicable laws, regulations, and best practices.
- 21 All areas to be stabilized shall be scarified to a minimum depth of three to five inches – up to 12 inches on compacted soils or loose materials.
- 22 All fills shall be compacted as required to reduce erosion, seepage, settlement, subsidence, or other related problems. Fill intended for supporting buildings, structures, and conduits, etc., shall be compacted in accordance with local requirements or codes.
- 23 Fills shall be constructed in layers no greater than 6 inches thick.
- 24 Fill materials shall be free of frozen particles, brush, rocks, soil, or other foreign or objectionable materials that would interfere with or impede the stabilization process.
- 25 Frozen materials or soft, muddy, or highly compressible materials shall not be incorporated into fills.
- 26 Material placed on saturated or frozen ground shall be compacted.
- 27 Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
- 28 Areas that are not immediately stabilized immediately upon reaching finished grade. Cut slopes in compact bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be stabilized by seeding and mulching.
- 29 Immediately after each disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas by seeding and mulching. If the operator cannot stabilize the entire area, the operator shall stabilize at least 75% of the area. Areas that will not be stabilized within one year shall be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within one year shall be stabilized in accordance with the permanent stabilization specifications.
- 30 Permanent stabilization is defined as a minimum annual, perennial 70% vegetative cover or other permanent non-vegetative stabilizing agent, such as concrete armorment, riprap, or gabions. Temporary stabilization may be capable of stabilizing an area due to slumping, sliding, or other movements.
- 31 Stabilization methods shall include, but not be limited to: (a) temporary stabilization; (b) final stabilization; (c) revegetation; (d) seeding; (e) mulching; (f) sodding; (g) hydroseeding; (h) sowing; (i) planting; (j) other approved methods.
- 32 After final slope stabilization has been achieved, temporary ESS BMPs must be removed or converted to permanent post-construction stormwater management measures. During removal or conversion of the ESS BMPs, shall be stabilized immediately by seeding and/or ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
- 33 Sediment basins and/or traps shall be kept free of all construction waste, wash water, and other debris having potential to clog the outlet pipe.
- 34 During construction, the selected contractor is expected to follow the PCSMP approved by PWD. No change or deviation from the Approved PCSMP is permitted without prior approval from PWD.
- 35 The design and construction of the proposed stormwater management structure shall be done in accordance with the City of Philadelphia Water Department "Water Main Standard Details and Conduitor Specifications," 1985 edition, and "Standard Details and Construction Specifications for Stormwater Management Structures," 1985 edition.
- 36 Contact PWD Water Transport Records (1101 Market Street, Second Floor, Phone: 215-686-6271) for additional approvals and permits for contact PWD before submitting a permit application.
- 37 All building materials and wastes shall be stored in the site and recycled or disposed of in accordance with the PADEP's Solid Waste Management Regulations (25 Pa.C.S. title 260, § 1 et seq., 271.1, et seq., 287.1 et seq. No building materials or wastes or useless

- At least seven (7) days prior to any earth disturbance, the Inspections Coordinator (PWID Office: 215-685-6387) must be called to schedule a preconstruction meeting.
- At least seven (7) days prior to any earth disturbance, the Inspections Coordinator (PWID Office: 215-685-6387) must be called to schedule a preconstruction meeting.
- At least seven (7) days prior to any earth disturbance, the Inspections Coordinator (PWID Office: 215-685-6387) must be called to schedule an inspection (for each SMP).
- At least seven (7) days prior to any earth disturbance and permanent stabilization of all disturbed areas, the owner and/or operator shall contact Inspections Coordinator of PWID Office: 215-685-6387 for a final inspection prior to removal/conversion of the E&S Best Management Practices (BMP).
- As soon as slopes, channels, ditches, and other disturbed areas reach final grade, they must be stabilized. Construction of activity for four (4) days or longer requires temporary stabilization.
- When a project requires the use of a sediment trap, it must be submitted to PA/DE upon completion of construction (when applicable).
- When a project requires the use of a sediment trap, it must be submitted to PA/DE upon completion of construction (when applicable).
- Objects of considerable mass (i.e. concrete blocks, sand bags, etc.) immediately downstream of the sediment traps and/or on paved surfaces (at same site) are recommended by the manufacturer for stakes).


1. Notify occupants of nearby properties, in writing, ten (10) days before commencing in earthworks (excavation, land clearing, or other activity) that will disturb more than 5,000 sq ft land area.
2. For earthworks, or excavation, or demolition involving structures - 2 stories in height – written notification must be provided to the adjacent property owner(s) in writing, ten (10) days before the start of the work, the seven (7) nearest properties across the street from the work site, and the seven (7) nearest properties to be found at the rear of the property.
3. For earthworks, or excavation, or demolition involving structures - 3 stories in height – written notification is provided adjacent to work site.
4. Use Control Notification (Control) form template can be found at:
<https://www.phila.gov/departments/control-forms-and-regulations/>
5. Control Notification (Control) form, and earthworks activities may not be visible at the point it passes the work site property line.
6. Use of vacuum or similar suction systems to capture dust kicked up by power tools when grinding.
7. Application of water or approved dust suppressant to a work site with ongoing excavation, land clearing, or other activity that will disturb more than 5,000 sq ft land area.
8. General prohibition against overly abrasive blasting of exterior surfaces open to the outside air when temperatures is above freezing.
9. Use of water, or other approved dust suppressant, sand, gravel, and other similar construction materials.
10. Control material chute when dropping material or debris more than 20.00 of the exterior walls of a building or structure. Materials must be contained when dropped, and / or exit of chute must be sealed against the top of the receiving container / dumpster.
11. Control material chute when dropping material or debris more than 20.00 of the exterior walls of a building or structure. Materials must be contained when dropped, and / or exit of chute must be sealed against the top of the receiving container / dumpster.
12. Minimum of 5 ft height from the bottom of the fencing.
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REFER ALSO TO DRAWINGS BY TANTILLO
ARCHITECTURE AND SALT DESIGN STUDIO.

IF ANY DISCREPANCIES ARE NOTED BETWEEN THE
INFORMATION ON THIS PLAN AND DRAWINGS BY
TANTILLO ARCHITECTURE OR SALT DESIGN STUDIO
OR OBSERVED FIELD CONDITIONS, IMMEDIATELY
STOP WORK AND CONTACT THE ENGINEER.


EXISTING WANAM
BUILDING

PROJECT NORTH



PROJECT AREA

SEAL & SIGNATURE



COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
THOMAS J. HALLIWELL
ENGINEER
PE073598

All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law, statutory and other reserved rights, including copyright therein.

PROJECT WANAMAKER PLAZA RENOVATION

E&S CONTROL PLAN

PROJECT No.	031-25
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DATE IN PROGRESS

January 31, 202

SHEET No.

c 30

C. J. C.

PWD TRACKING NO.: FY20-WANA-5742-01

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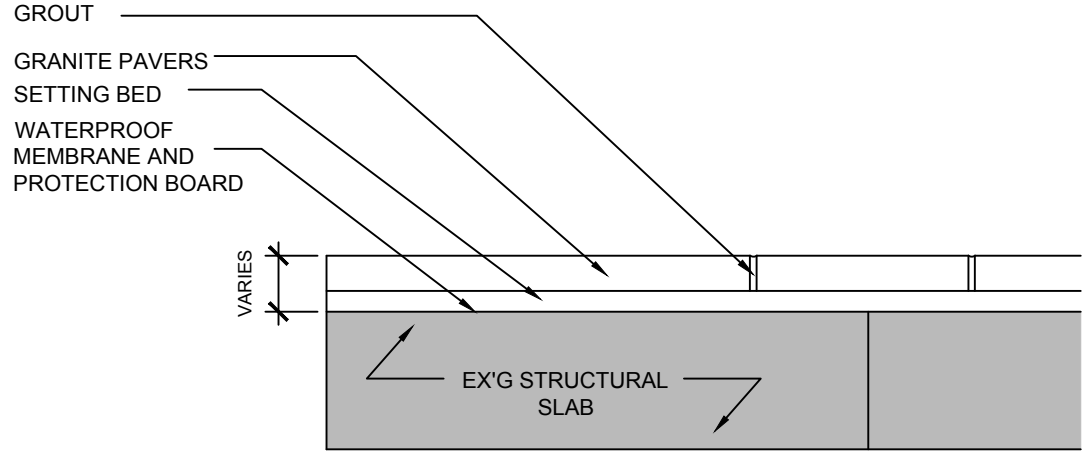
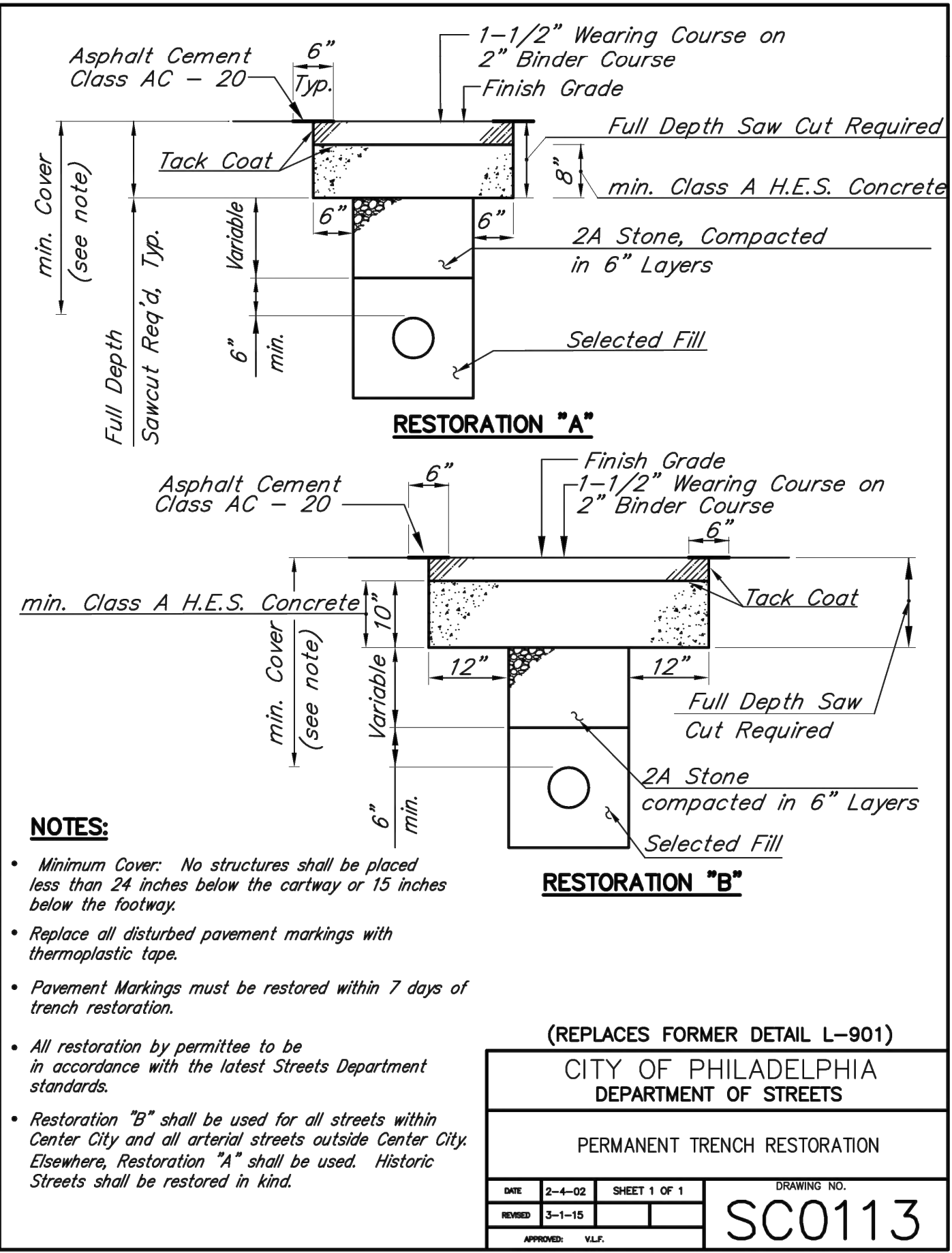
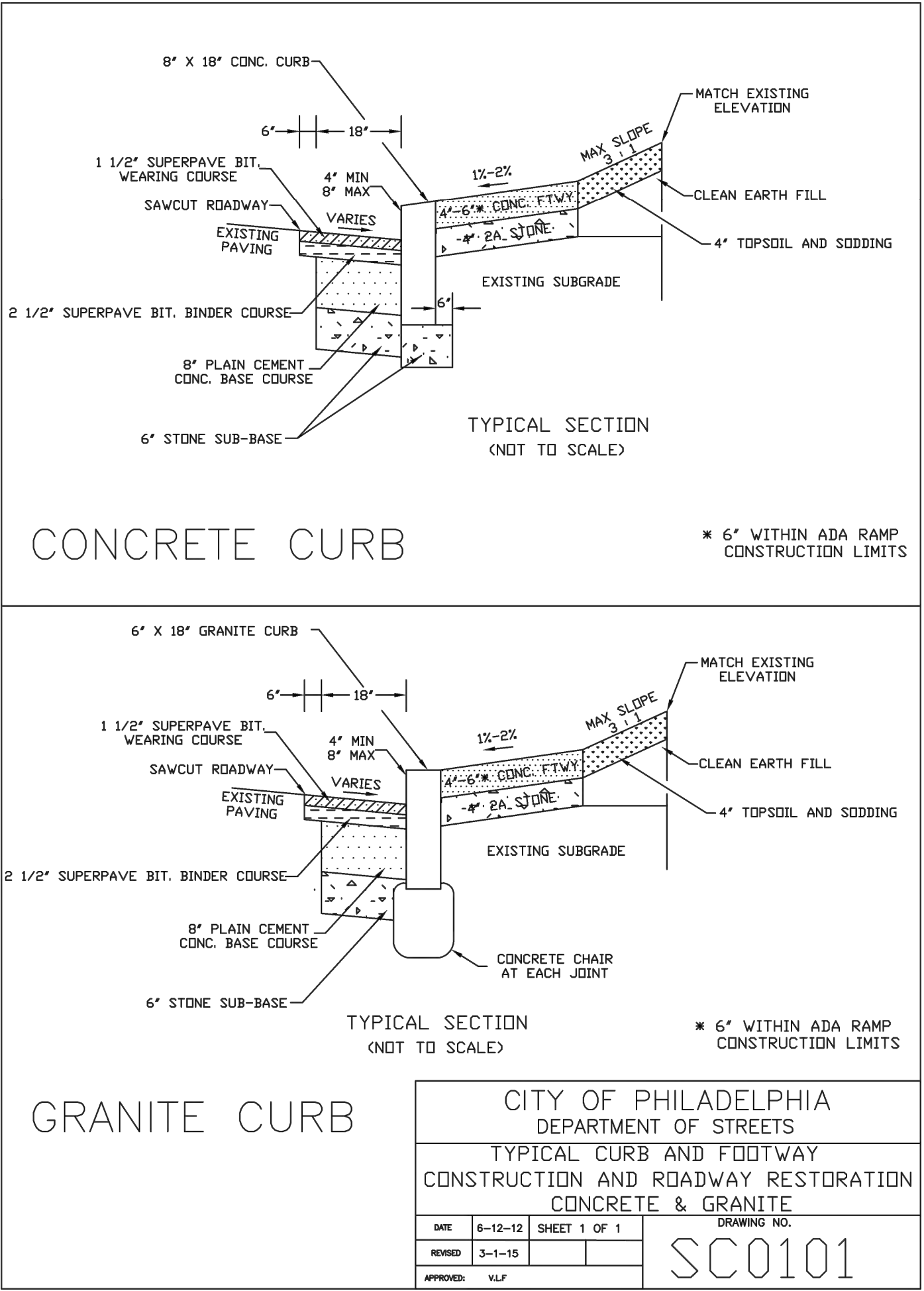
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GRANITE PAVERS DETAIL

- STANDARD PHILADELPHIA STREETS DEPARTMENT NOTES:**
- Work to be done in accordance with standard specifications, approved drawings, and regulations of the Department of Streets, Philadelphia Water Department, Philadelphia Parks and Recreation Department, and special provisions of the proposal.
 - Pursuant to the requirements of Pennsylvania Act 287 (1974), and as amended, the Contractor shall contact the Pennsylvania One Call System at 1-800-242-1776, at least 3 working days prior to excavation. Pennsylvania One Call System No. 2019.095.3659 and Ward No. 45.
 - Utilities shown are taken from public record. The contractor must verify the exact location and depth.
 - Horizontal and vertical control, line and grade stakes for curb, paving, etc. will be furnished by the 2nd Survey District of the City of Philadelphia based on item no. 4-1040. Note: This item, Engineering Services, is a pre-determined amount to be determined by the Surveyor & Regulator and to be included in the Contractor's bid.
 - Permits for bollards, curb, & sidewalk paving will be furnished by the 3rd Highway District of the City of Philadelphia.
 - The City of Philadelphia shall provide inspection services for paving and related work, to be paid under item no. 4-1041 at a cost of \$345 per day. The Contractor shall contact the Construction Unit of the Division of Surveys, Design & Construction at (215) 686-5539, a minimum of 2 weeks prior to the start of work. This item, Inspection Services, shall be included in the contractor's bid.
 - Street light pole locations are not final. The Streets Department Street Lighting Engineer will determine the exact locations of the street light poles during construction. Contact the Street Lighting Engineer at (215) 686-5517 to coordinate street light pole locations.
 - Street trees must be permitted by the Philadelphia Department of Parks & Recreation. Contact the Street Tree Management Division at (215) 685-4363.
 - For projects on State Routes, notice is hereby given that the receipt of a permit from either the Philadelphia Streets Department, or the Pennsylvania Department of Transportation (PennDOT) does not imply a permit from the other. All permits must be obtained prior to the start of construction.
- NOTES:**
- Development Type: Streetscape
 - Proposed Use: Pedestrian footway and landscaped planter
 - Zoning Designation: CMX-5
 - Paving Limits: As shown on Drawings prepared by Tantillo Architecture.
 - Grading: Sidewalk to be reggraded as shown.
 - Existing conditions information shown on this plan is the result of a survey plan completed by Barry Iselt & Associates, Inc., Sheet Title "Partial Topographic Survey - Side Walk Area", Sheet No. SU-1, dated 01/29/20 unless otherwise noted. Locations of existing infrastructure, including but not limited to utilities, have not been field-verified by Grist. Existing infrastructure locations must be verified on site by the Contractor.
 - Refer to drawings prepared by Tantillo Architecture for detailed information regarding proposed plaza improvements.
 - Refer to drawing L101, Planting Plan, prepared by Salt Design Studio, for proposed planting information.
 - All information shown on this plan is for review by the Philadelphia Streets Department and reference by Tantillo Architecture and is not valid to any other parties.

Owner Contact Information:
Natalie Kidd
215-851-0406
nkidd@amerimar.com
Philadelphia Center
Realty Associates
50 S. 18th St.
Suite 3500
Philadelphia, PA 19102

[PWD TRACKING NO.: FY20-WANA-6742-01]

WANAMAKER PLAZA

100 E Penn Square
Philadelphia, PA 19107

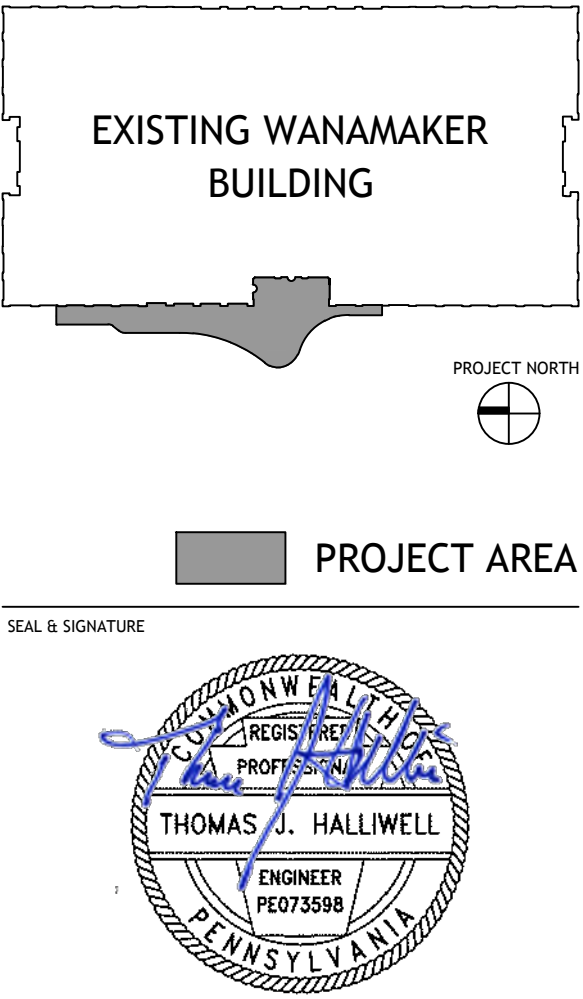
No.	Description	Date

ARCHITECT: Tantillo Architecture
2929 Arch Street
Suite 2800
Philadelphia, PA 19104
Tel: 215.864.7315

SURVEYOR: Barry Iselt & Associates, Inc.
85 South Route 100
Allentown, PA 18106
Tel. 610-398-0904

LANDSCAPE ARCHITECT: SALT Design Studio
4100 Main Street
Suite 201
Philadelphia, PA 19127
Tel. 215-621-7600

CIVIL ENGINEER: Grist
50 East Sedgwick Street
Philadelphia, PA 19119
Tel. 267-332-8282



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PROJECT
**WANAMAKER PLAZA
RENOVATION**

STANDARD DETAILS

SCALE NTS	PROJECT No. 031-25
DATE IN PROGRESS January 31, 2020	SHEET No.

C-40

