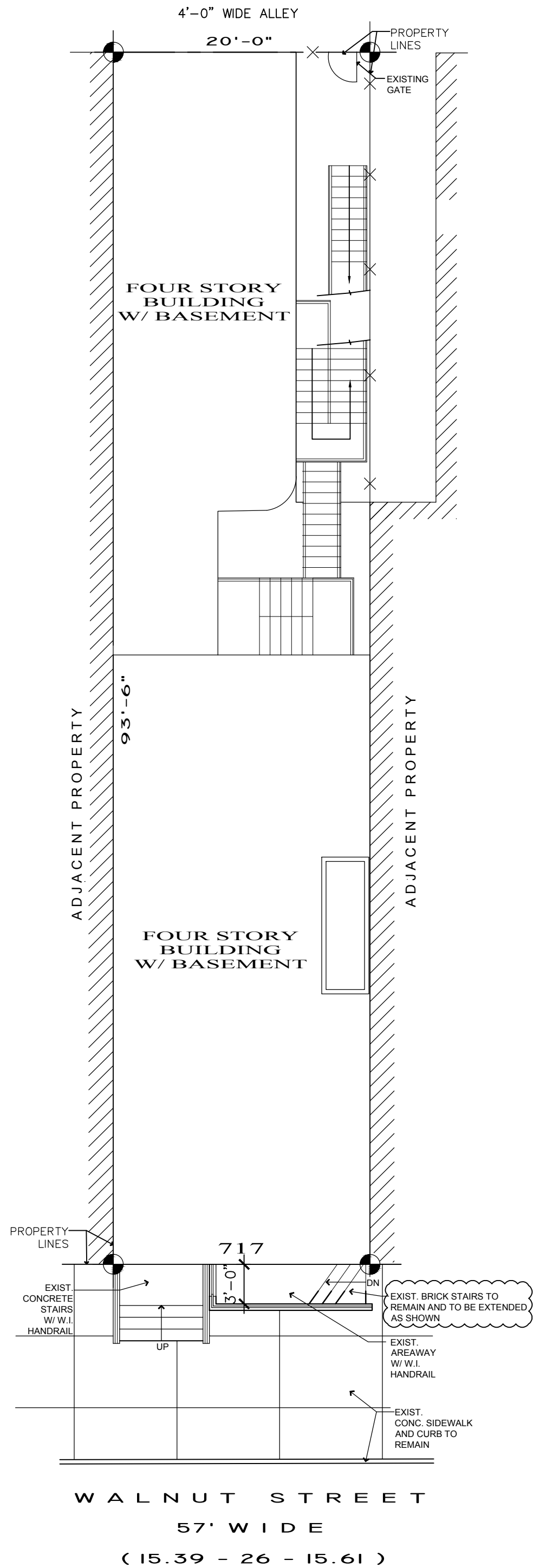


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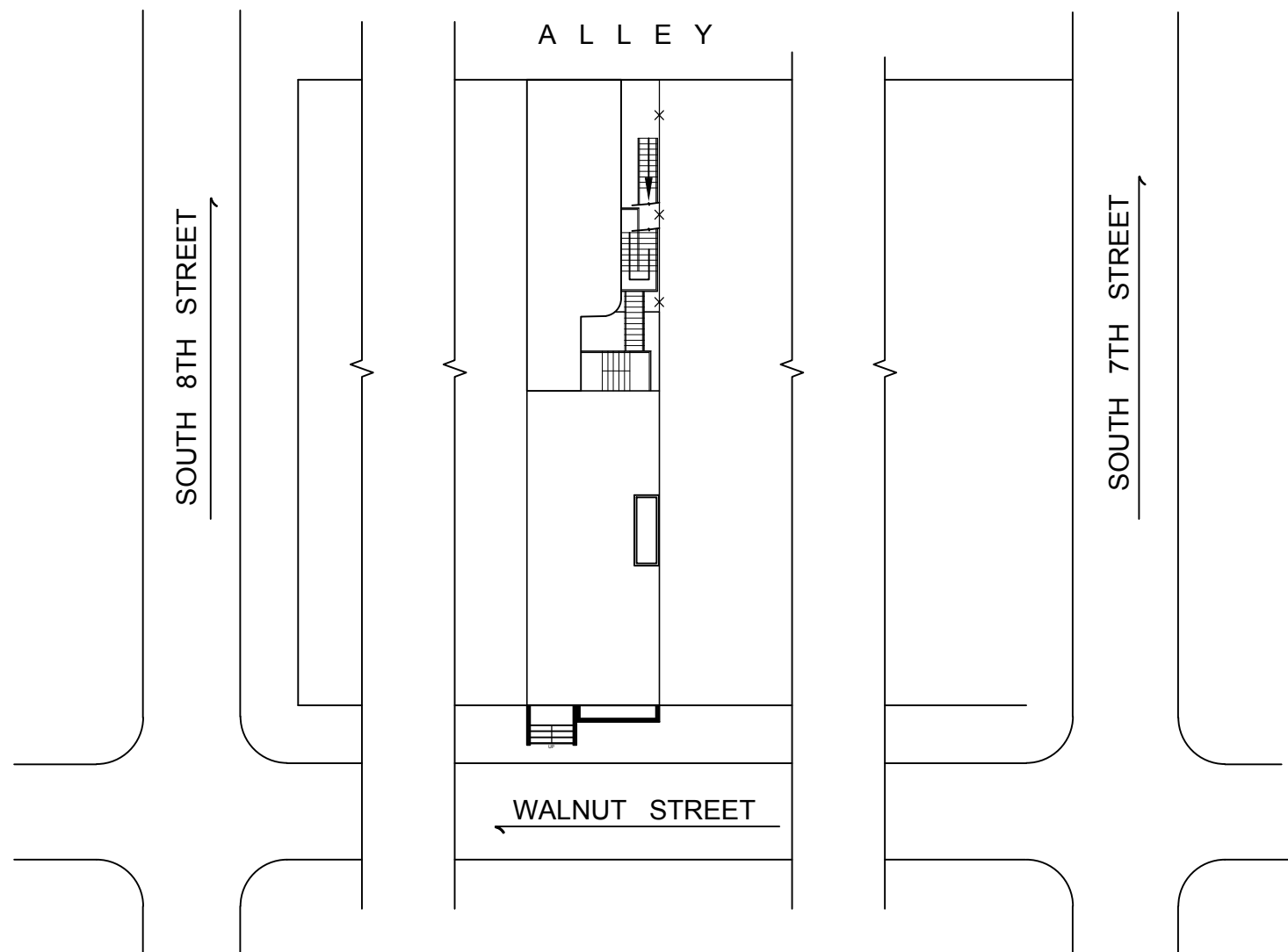
SCALE: 1/8"=1'-0"



NEW RETAINING WALL IN FRONT (EXISTING BASEMENT)

717 WALNUT STREET
PHILADELPHIA, PA 19135

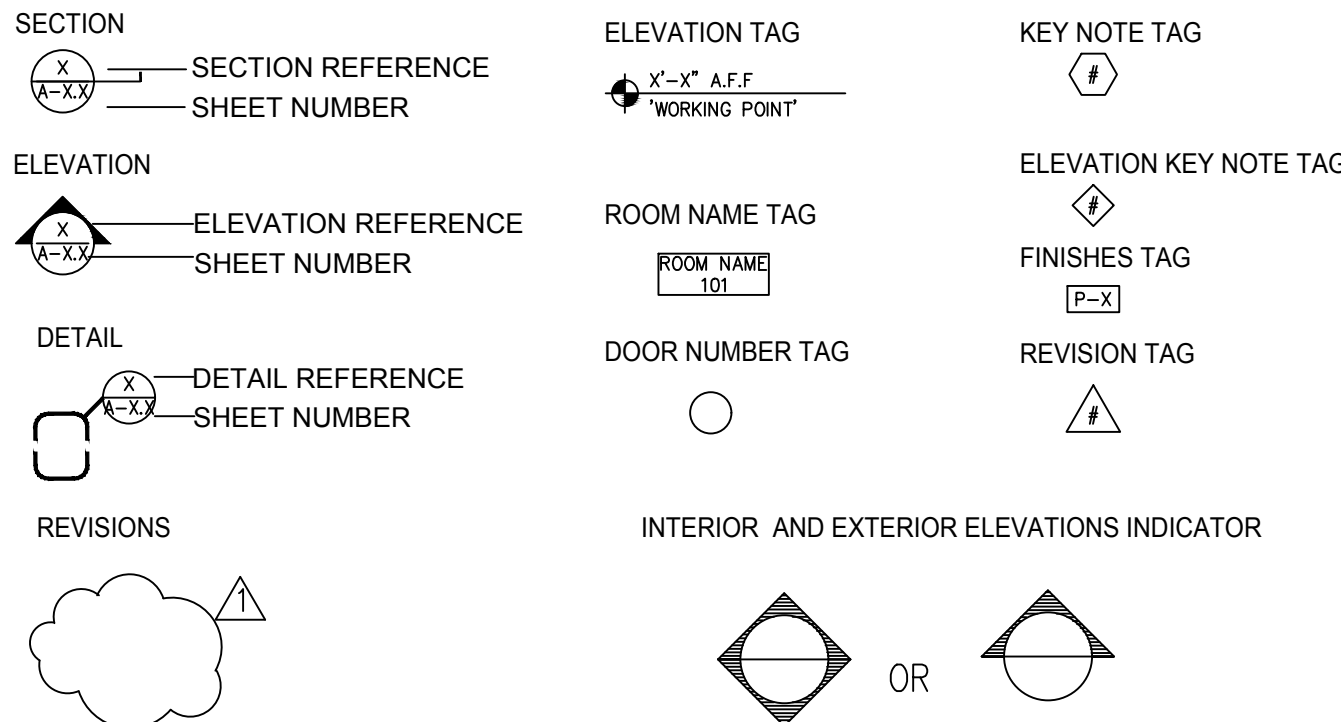
LOCATION MAP:



ABBREVIATION:

A.B.	Anchor Bolt	DET.	Detail	GA.	Gauge
A/C	Air Conditioning	DIM.	Dimension	G.C.	General Contractor
A.F.F.	Above Finish Floor	D.L.	Dead Load	G.I.	Galvanized Iron
ALUM.	Aluminum	DTL.	Detail	GYP.	Gypsum
A.T.	Aluminum Threshold	DWG.	Drawing	H.B.	Hose Bibb
BLDG.	Building	EA.	Each	H.C.	Hollow Core
BLK.	Block	ELECT.	Electric (all)	HDW.	Hardware
BLKG.	Blocking	ELEV.	Elevation	HORIZ.	Horizontal
B/	Bottom	E.W.C.	Elec. Water Cooler	HTG.	Heating
CEM.	Cement	EXH.	Exhaust	HT.	Height
C.I.	Cast Iron	EXP.	Exposed	I.D.	Inside Diameter
C.I.T.	Cast Iron Threshold	F.C.	Fixture Contractor	INSUL.	Insulation
C.L.	Center Line	F.D.	Floor Drain	INT.	Interior
COL.	Column	FIN.	Finish	INV.	Invert
CONC.	Concrete	F.O.C.	Face of Concrete	JST.	Joist
CONT.	Continuous	F.O.M.	Face of Masonry	LAV.	Lavatory

SYMBOL LEGEND:



LIST OF DRAWINGS:

CS-1	COVER SHEET
A-1	EXTERIOR CONCRETE STAIRS PLAN, FRONT ELEVATION AND SECTION WINDOW AND DOOR SPECS

BUILDING INFORMATION:

OCCUPANCY:	B - BUSINESS - (NO CHANGE)
ZONING:	COMMERCIAL MIXED USE DISTRICT: CMX5
TYPE OF CONSTRUCTION:	3B- UNPROTECTED (NO CHANGE)
WIDTH OF EXITS:	32" MIN. - (NO CHANGE)

CODE ANALYSIS:

BUILDING CODE	2018 INTERNATIONAL EXISTING BUILDING CODE
FIRE CODE	2018 INTERNATIONAL BUILDING CODE
ELECTRIC CODE	2017 NATIONAL ELECTRIC CODE
ENERGY CODE	2018 INTERNATIONAL ENERGY CONSERVATION CODE

GENERAL NOTES:

- EXISTING SIDEWALK SHALL BE REPAIRED, CLEANED, POWER WASHED & REPLACED WHERE NECESSARY.
- CONTRACTOR SHALL REPAIR ALL DAMAGE CAUSED BY EQUIPMENT INSTALLATION, REMOVAL OR RELOCATION.
- PROVIDE SEALANT (POLYURETHANE/ELASTOMERIC WITH PERMANENT FLEXIBILITY) AT ANY CRACKS OF SIDEWALK OR CONCRETE SLAB. CLEAN & PREP THE AREA AS REQUIRED BY SEALANT MANUFACTURER.

MENNA ENGINEERS
& ASSOCIATES

ENGINEERS AND CONSULTANTS
6431 LAWNTON STREET
PHILADELPHIA, PA 19128
Tel : 267-250-2335
EMAIL : ejmenna327@gmail.com

DATE

05/29/20

REVISION

REVISED AS/H.C
COMMENTS

NO.

1



DOCUMENTS PREPARED FOR

WYCHE CONSTRUCTION

1434 PRINCESS AVE
CAMDEN, NJ 08103

PROPOSED PROJECT

NEW RETAINING WALL

717 WALNUT STREET
PHILADELPHIA, PA 19103

JOB #: 201935717

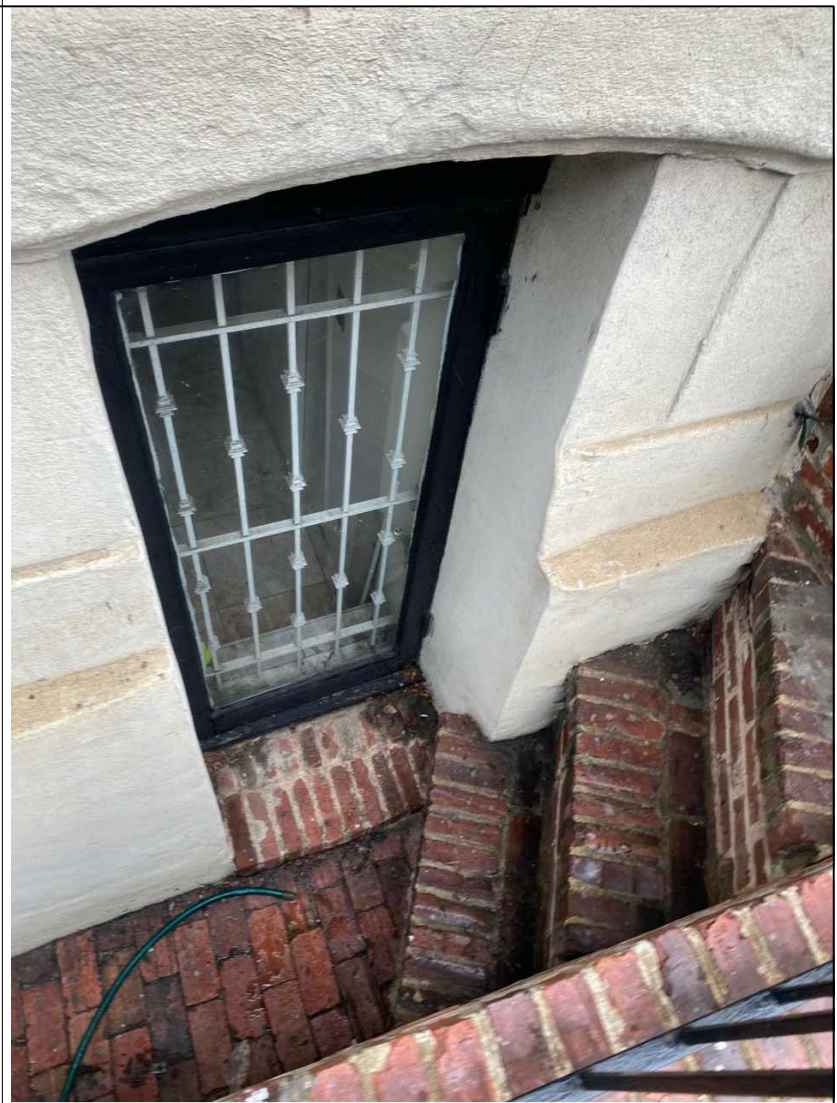
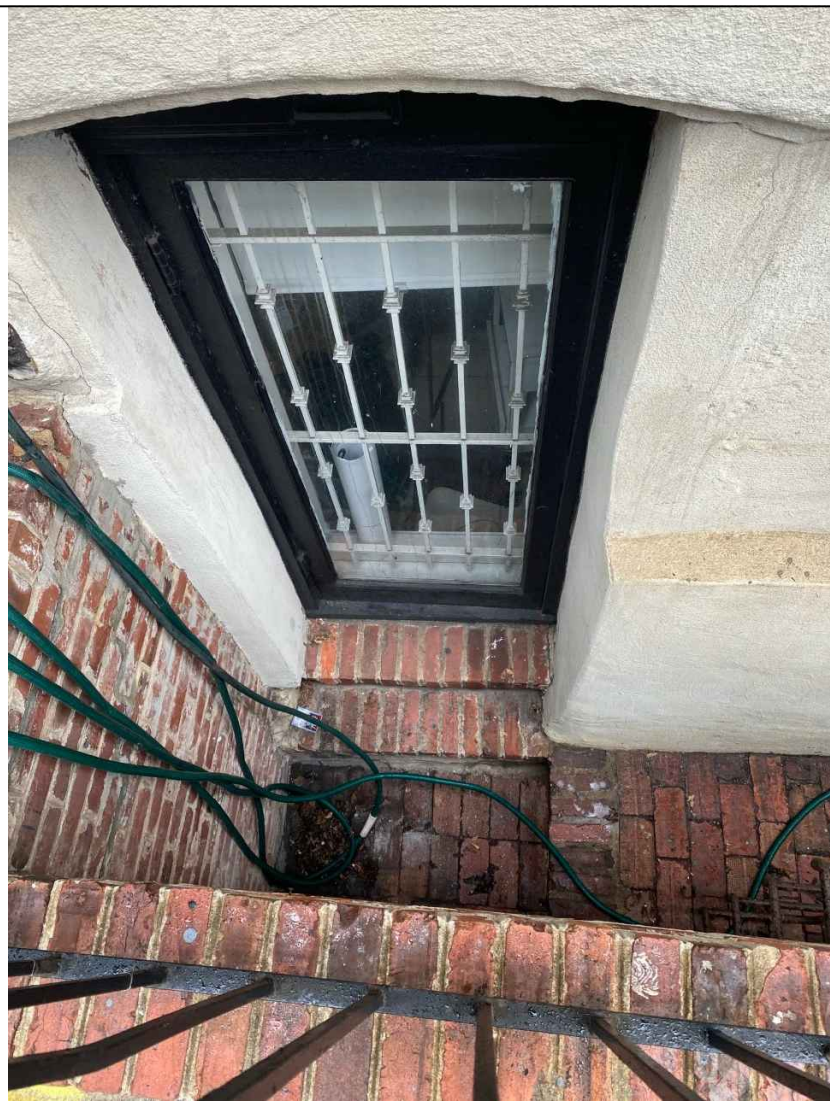
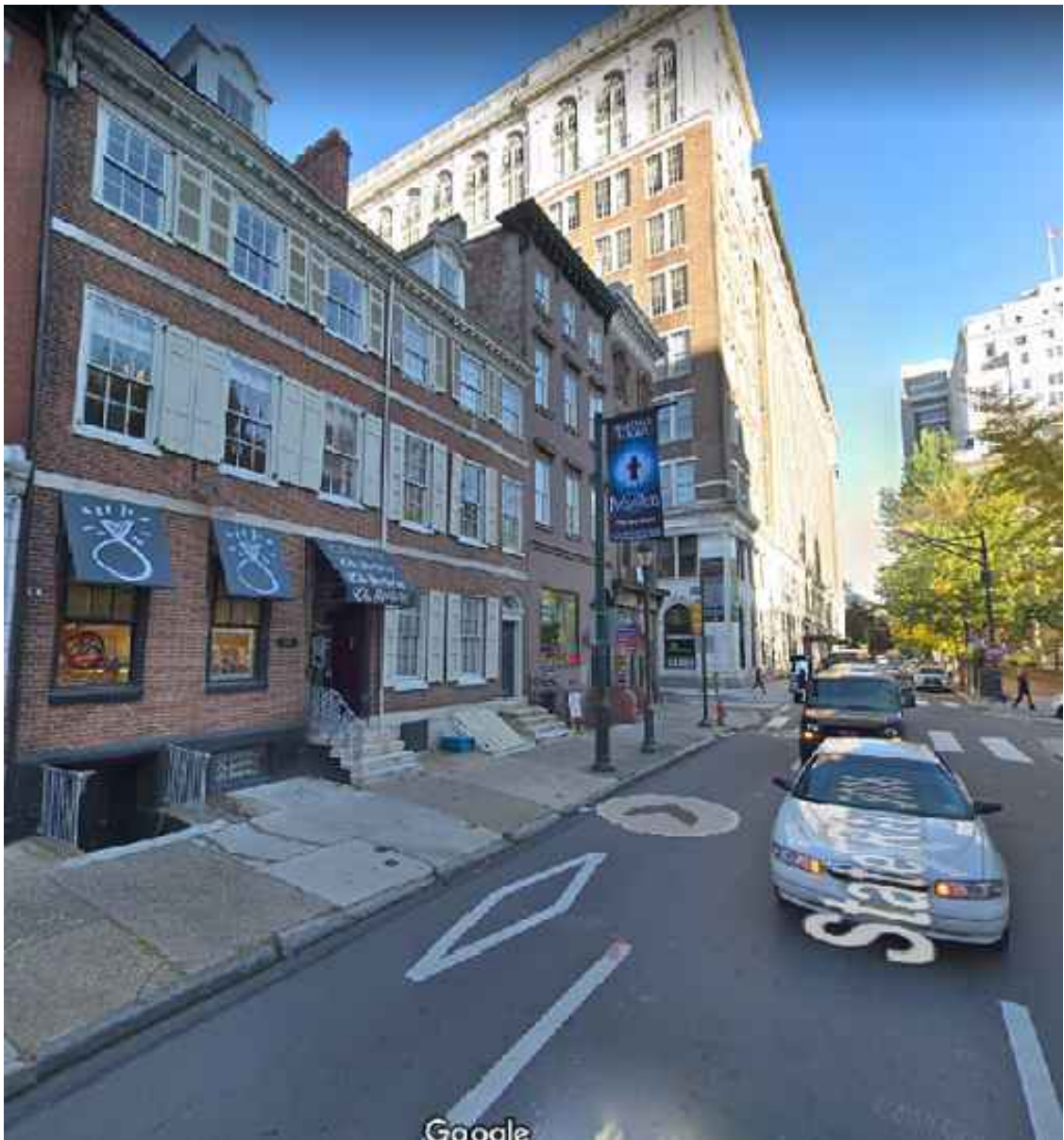
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DATE: 03-30-20

DWG. NO.:

CS

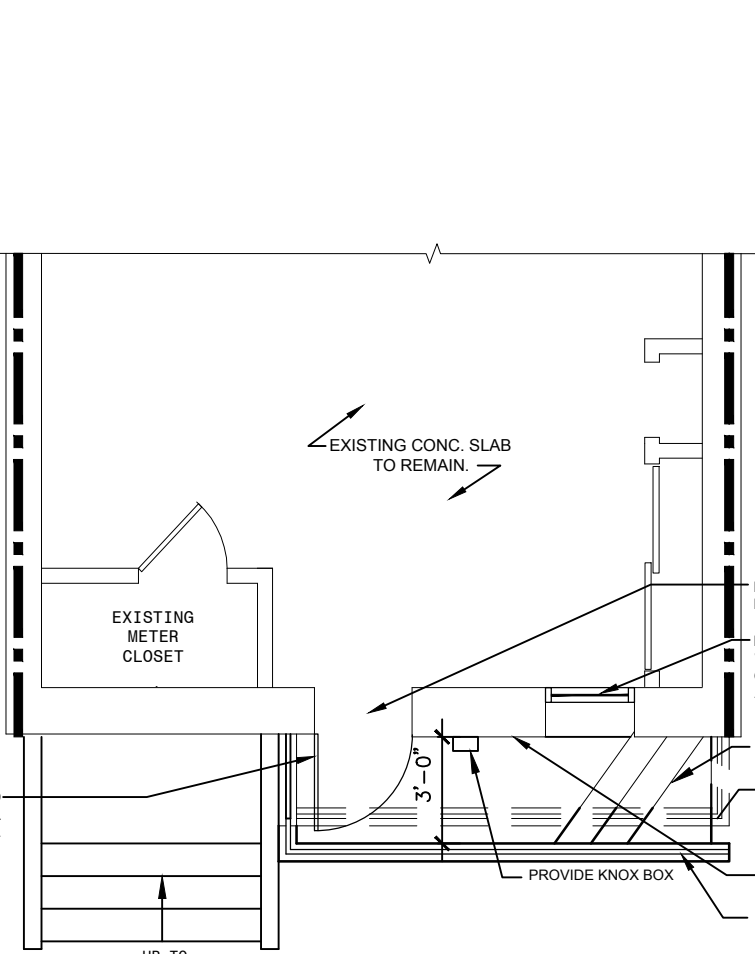
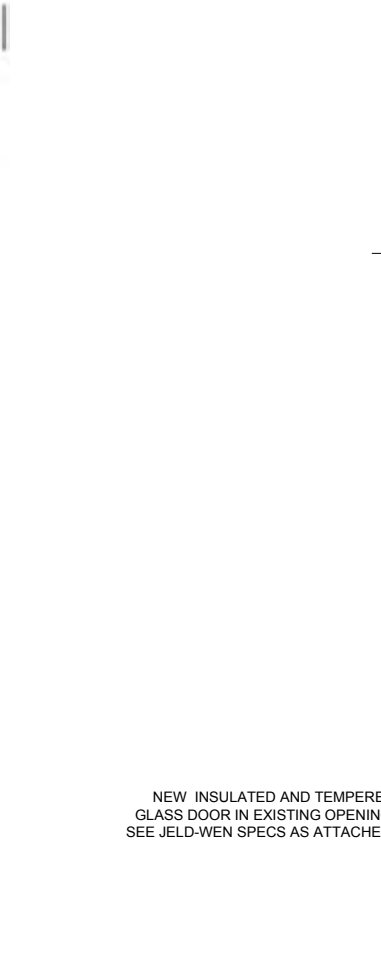
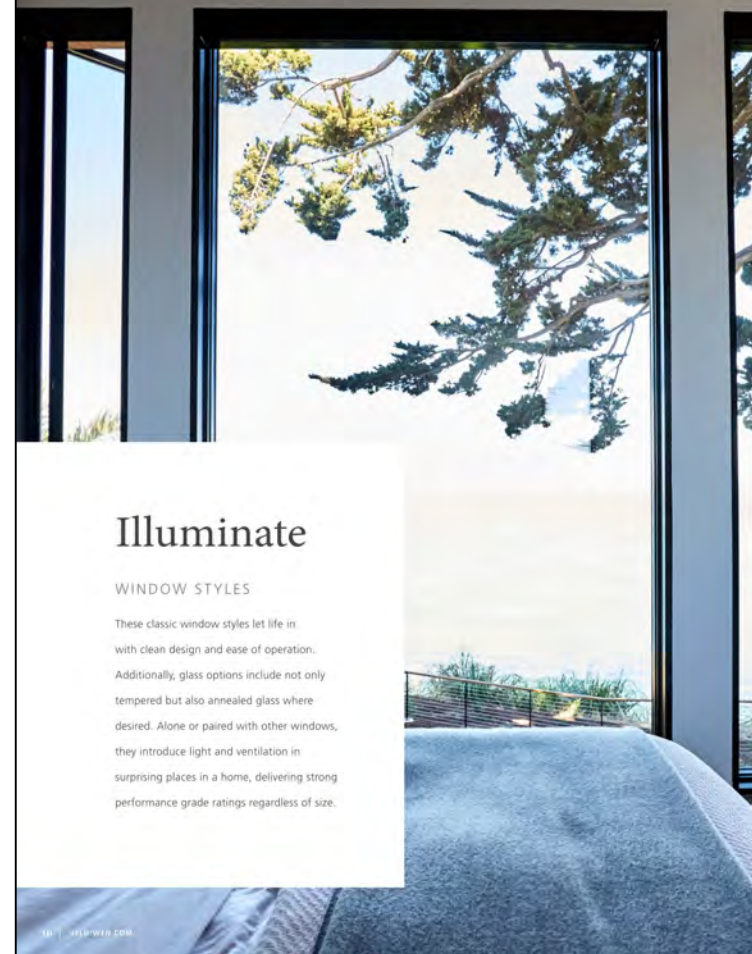
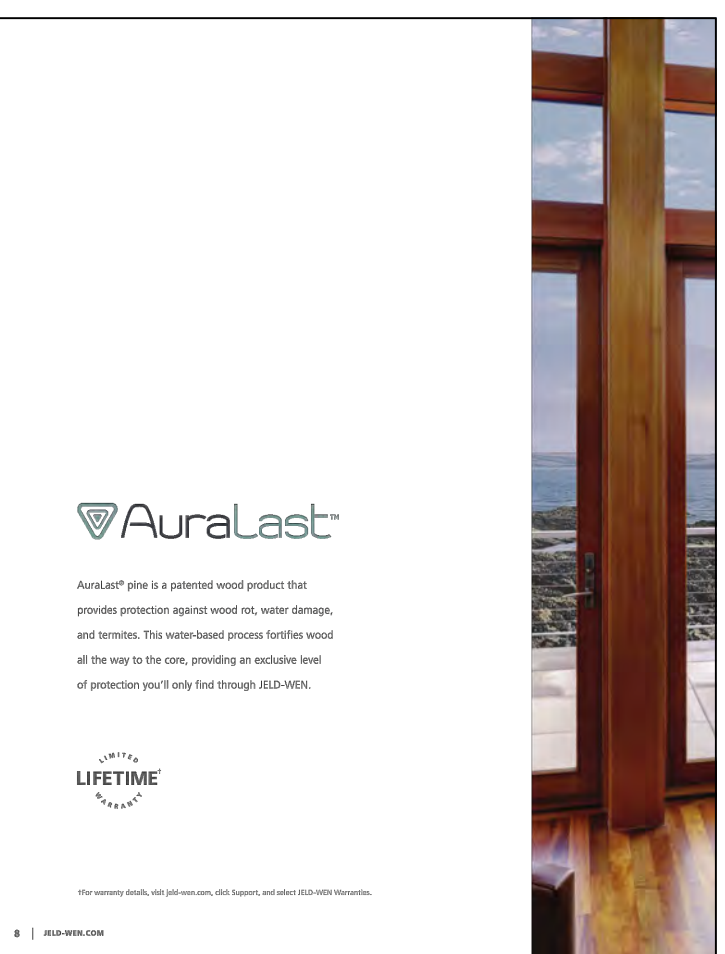
SHEET 1 OF 2



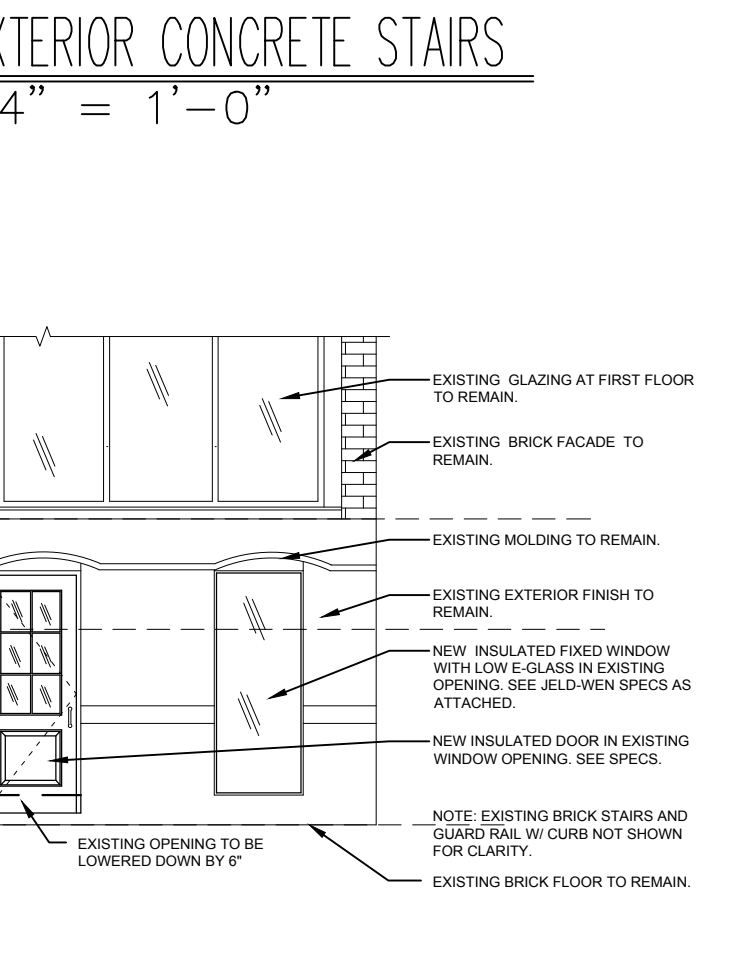
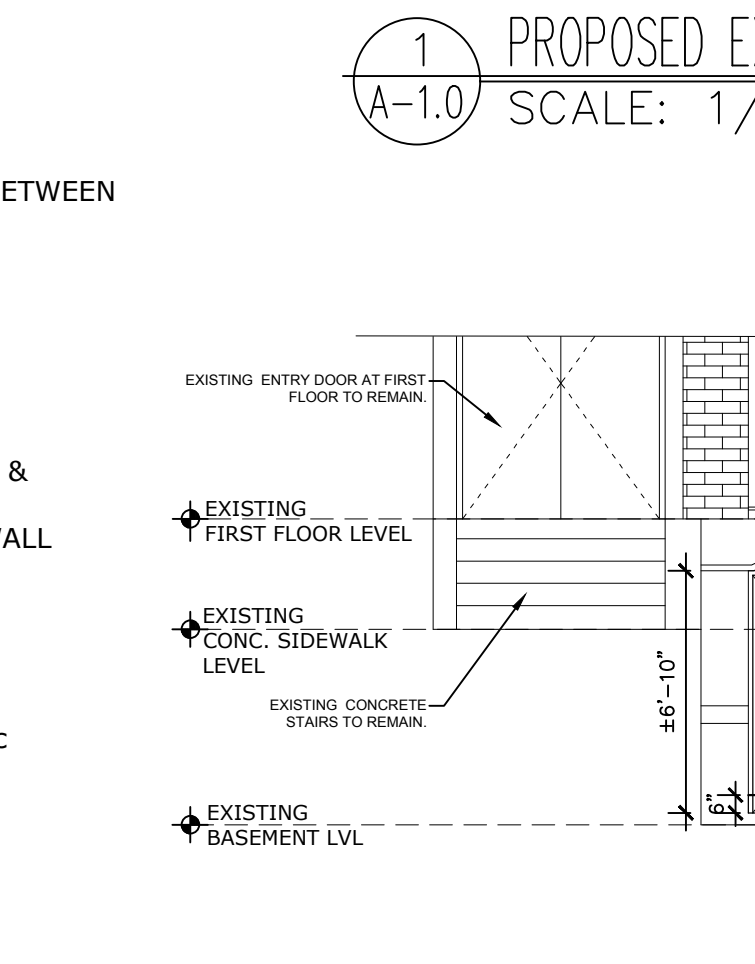
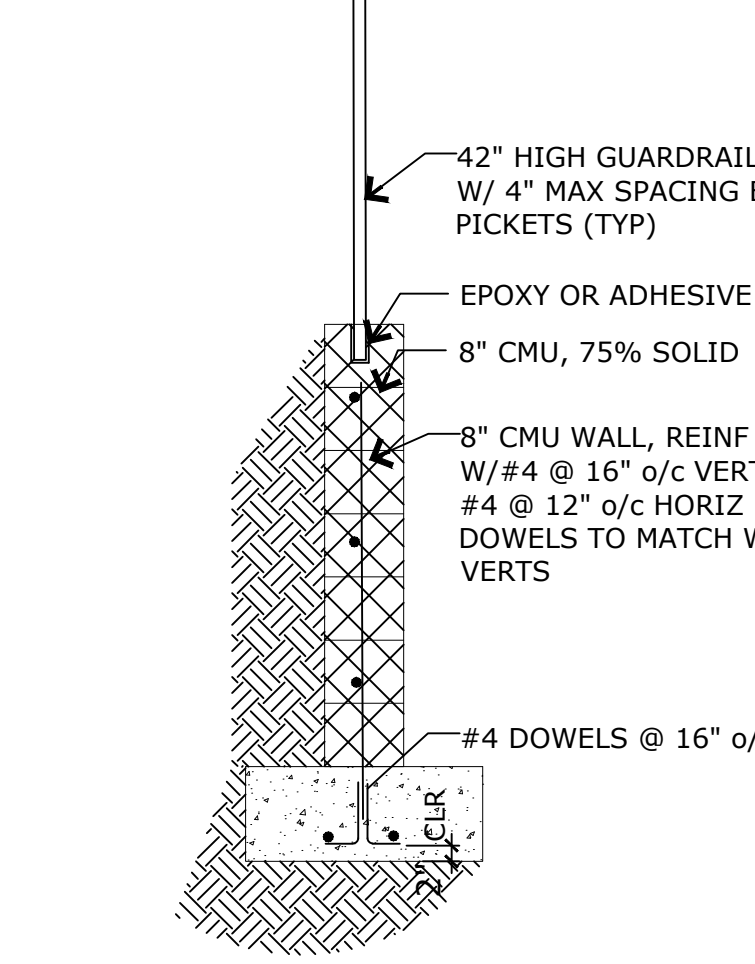
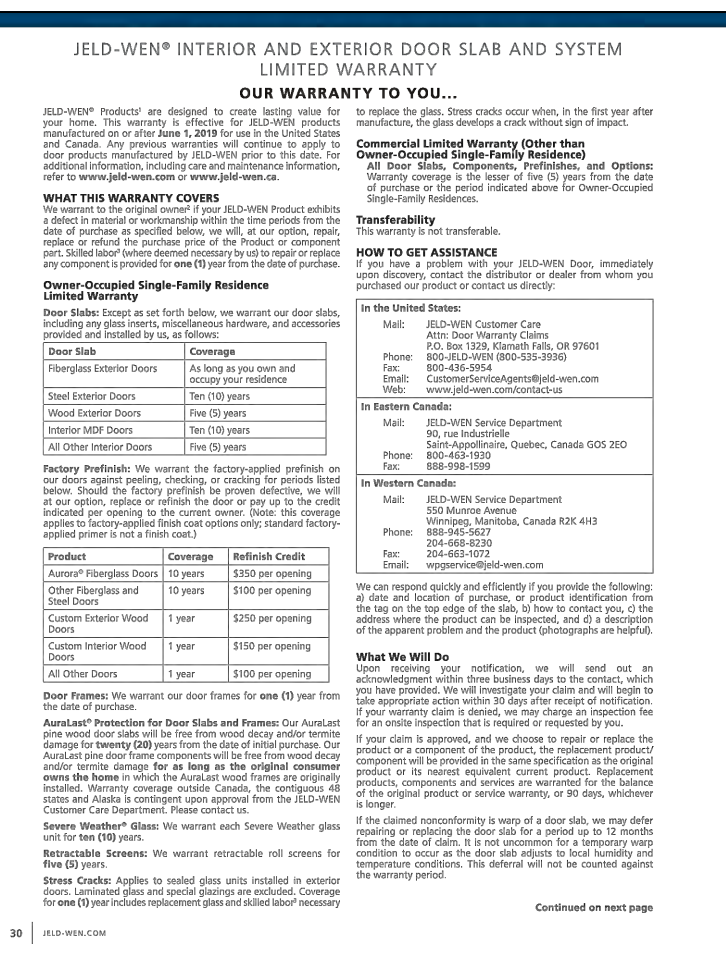
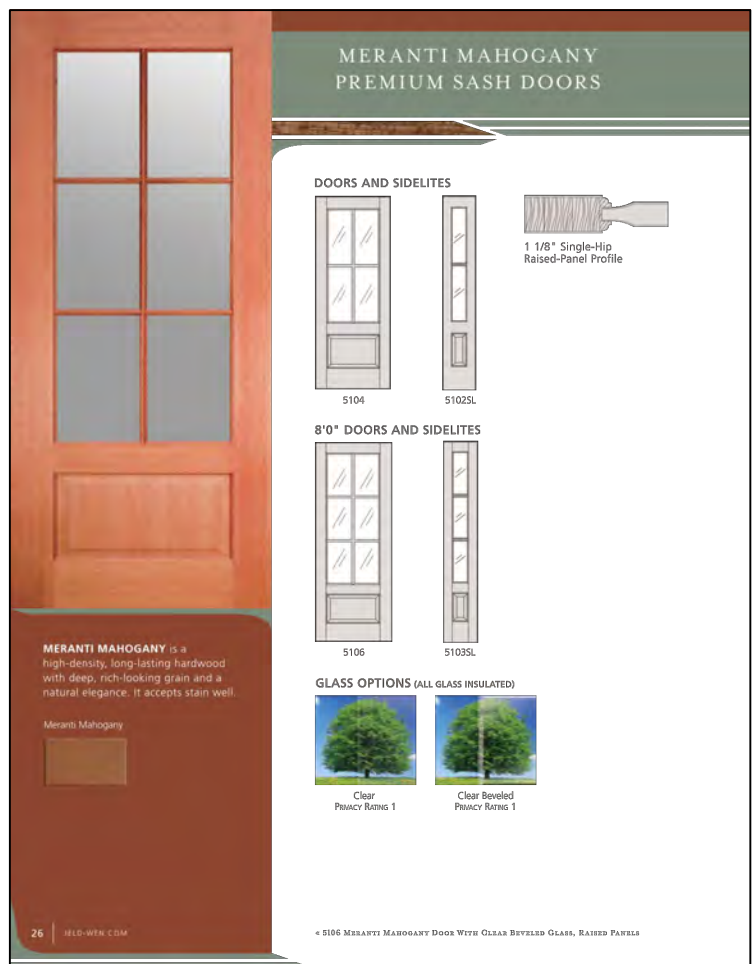
OTHER BUILDINGS HAVE BASEMENT EXTERIOR ENTRANCE IN SAME BLOCK

EXISTING FRONT FACADE

EXISTING BASEMENT WINDOWS



WINDOW SPECS



DOOR SPECS

TYPICAL RETAINING WALL DETAIL

PROPOSED BASEMENT FACADE

MENNA ENGINEERS & ASSOCIATES
ENGINEERS AND CONSULTANTS
6431 LAWNTON STREET
PHILADELPHIA, PA 19128
Tel : 267-250-2335
EMAIL : ejmenna327@gmail.com

DATE	05/29/20
REVISION	REVISED AS/H/C COMMENTS
NO.	1



DOCUMENTS PREPARED FOR
WYCHE CONSTRUCTION
1434 PRINCESS AVE
CAMDEN, NJ 08103

PROPOSED PROJECT
NEW RETAINING WALL
JOB #: 201935717

DRAWN BY: **CAD**

DATE: **03-30-20**

DWG. NO.:
A1
SHEET 2 OF 2

Public comment -- 717 Walnut

Paul Boni <pboni@bonilaw.com>

Fri 5/22/2020 10:47 AM

To: Allyson Mehley <Allyson.Mehley@Phila.gov>

 1 attachments (459 KB)

717 Walnut Stair Notes 5-20-20.pdf;

External Email Notice. This email comes from outside of City government. Do not click on links or open attachments unless you recognize the sender.

Allyson,

On behalf of the Society Hill Civic Association's Zoning & Historic Preservation Committee, which has reviewed the application, I would like to provide some comments for the Architects Committee's consideration:

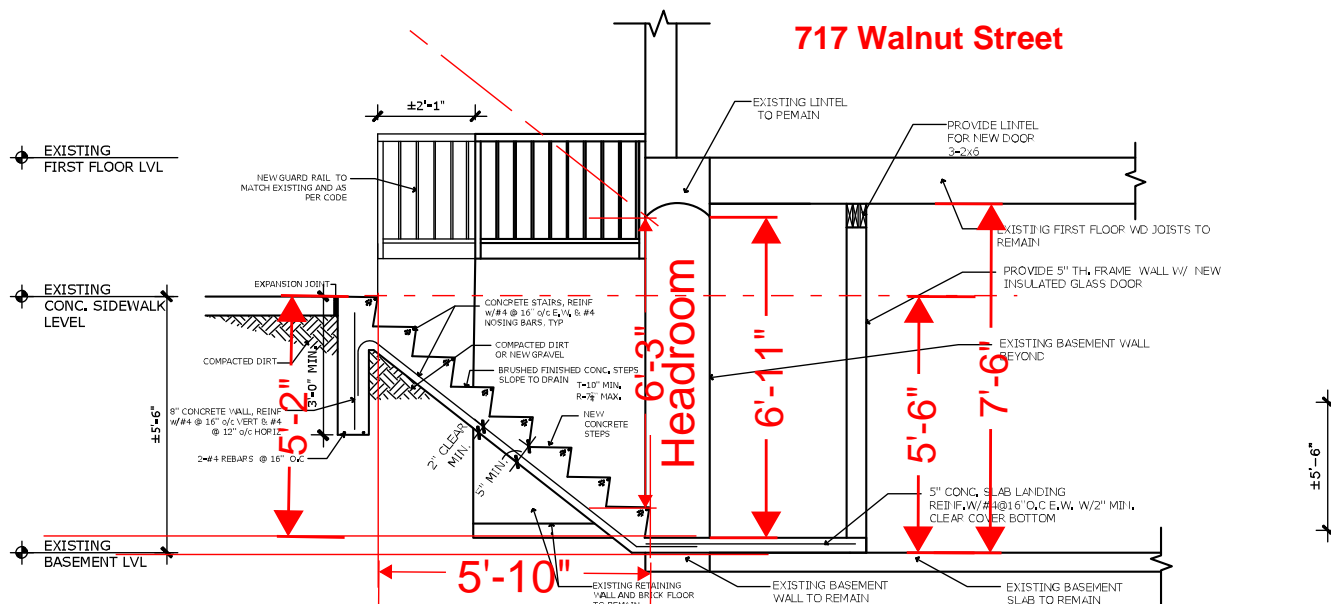
1. We believe that this application, or any revised application, would benefit from an additional drawing showing a N-S section looking West, which would indicate the relationship to the existing stairs going up.
2. There appears to be a grate on the sidewalk in the location of the proposed top step. The grate might be related to a steam line, or an old cavity under the sidewalk. If not studied already, the applicant should look at this feature, and any other utility lines and subsurface features.
3. The proposal might raise building code issues. Please see the attached markup generated by two architects on our committee. Some of the dimensions in the markup are estimated, but those estimates were done very carefully. While not necessarily historic preservation issues, they might be practical issues that could affect the project, and it might help to consider them.
4. We have a concern that the proposed stairs would be open to this highly trafficked sidewalk.

Please forward this information to the Architects Committee, if you can. I am planning to attend the meeting online.

Thank you,

Paul Boni
Chair, Zoning & Historic Preservation Committee
Society Hill Civic Association

Paul's cell, 215-356-2583



Code requires Risers of 7" max for egress, these are 7.75" and exceed code. Nose of bottom step to lintel has less than 6'-8" headroom required. Treads are shown as 10", but code requires 11" minimum.

3 SECTION @ EXTERIOR CONCRETE STAIRS
A-1.0 SCALE: 3/8" = 1'-0"



Existing grating appears to be in the area at the top of the proposed stairs. There may be a void under sidewalk or steam line?

