

ADDRESS: 229 ARCH ST

Proposal: Construct addition over parking lot

Review Requested: Final Approval

Owner: Berger Development LP

Applicant: Raymond Rola, Raymond F. Role, Architect

History: 1913; Berger Brothers Company; Valentine B. Lee, architect; expanded, 1918

Individual Designation: 1/6/1977

District Designation: Old City Historic District, Contributing, 12/12/2003

Staff Contact: Allyson Mehley, allyson.mehley@phila.gov, 215-686-7660

BACKGROUND:

The building fronting 229 Arch Street, historically known as the Berger Building, was built in two sections. The first was constructed circa 1913 and the second circa 1918. A four-story addition was constructed at the rear of the building in 1990 connecting it to 124 Bread Street, historically known as the Johnson Warehouse, and 234 and 236 Cherry Street. All lots and buildings were consolidated in the early 1990s into a single tax parcel known today as 229 Arch Street.

This application proposes to construct a four-story addition over an existing parking lot at the rear of 229 Arch Street. The new construction will include three stories of residential living space over an open level of parking.

The new addition will connect to existing buildings at the north, south, and west elevations (see Image 2). It will cover the east wall of the 1990s addition and be connected internally. The east wall of the 1990s addition will not be demolished as part of this project. The new addition connects to the historic Berger Building and Johnson Warehouse to the north and south. These connections will be as party walls only, with no internal connections. The new addition will only be visible from Bread Street.

SCOPE OF WORK

- Construct a four-story addition in existing parking area.
- Create open parking area on first level with three levels of residential living space above.
- Clad exterior façade with red brick to match existing.
- Install double-hung wood windows with a six-over-six sash configuration.
- Create window openings detailed with cast stone lintels and sills.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*
 - The proposed addition has limited impact to the Berger Building and Johnson Warehouse.
 - The rear of the Berger Building has been altered previously with a stair tower and 1990s addition.
 - There are no existing openings on the south elevation of the Johnson Warehouse that will be impacted by the new addition. Historic maps show this was once a party wall to a building that has since been demolished.
- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be*

differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- The proposed six-over-six window sash configurations reflect an earlier time period than the construction dates of the historic buildings on the parcel.
- The red brick is proposed to match the historic
- The open parking area is incompatible with the historic property and district.
- *Standard 10: New additions and adjacent construction or related new construction will be undertaken in a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*
 - The new addition will be primarily connected to the 1990s addition. It will use the Berger Building and Johnson Warehouse as party walls. In the future, this addition (and the 1990s addition) could be removed and the essential form and integrity of the historic buildings would be unimpaired.

STAFF RECOMMENDATION: Approval, provided the first level parking is screened with brick or compatible material; the red brick cladding on the addition is compatible but not matching; and the proposed windows are a one-over-one double-hung, with the staff to review details, pursuant to Standards 2, 9, and 10.

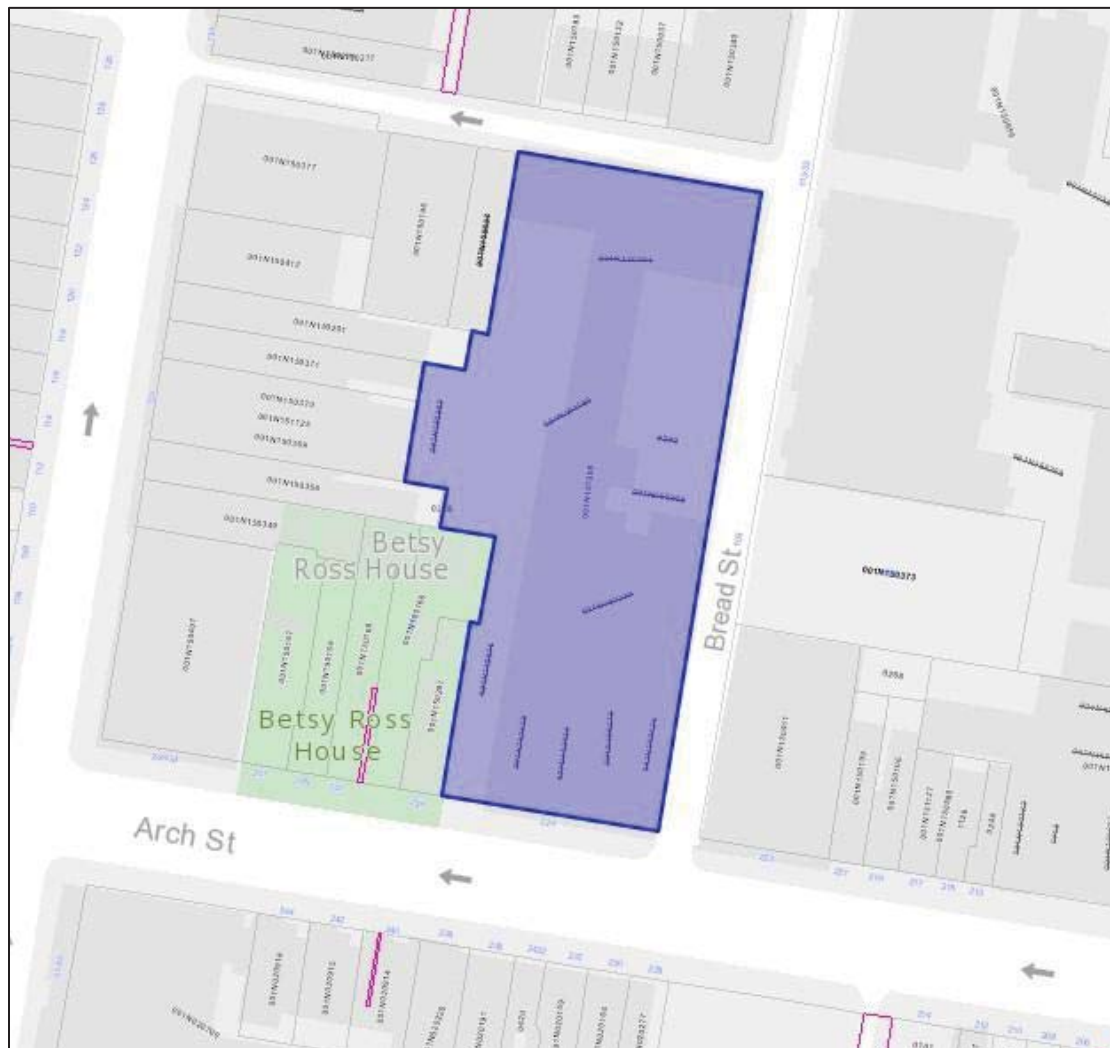


Image 1: 229 Arch Street boundary lot lines. Multiple buildings and a parking lot were combined in the early 1990s to create the current parcel.

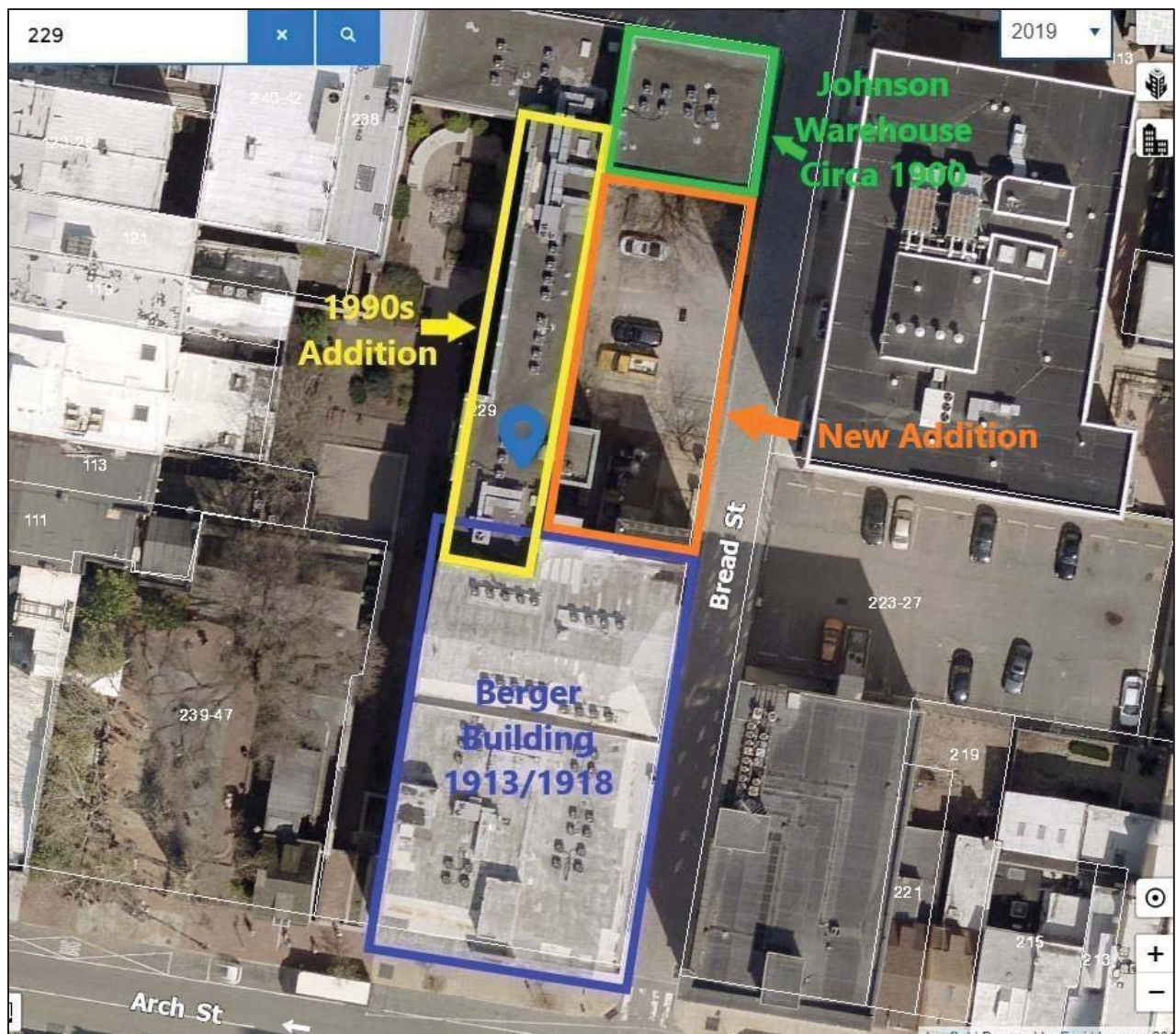


Image 2: The buildings at 229 Arch Street impacted by the new construction and the location of the proposed addition.

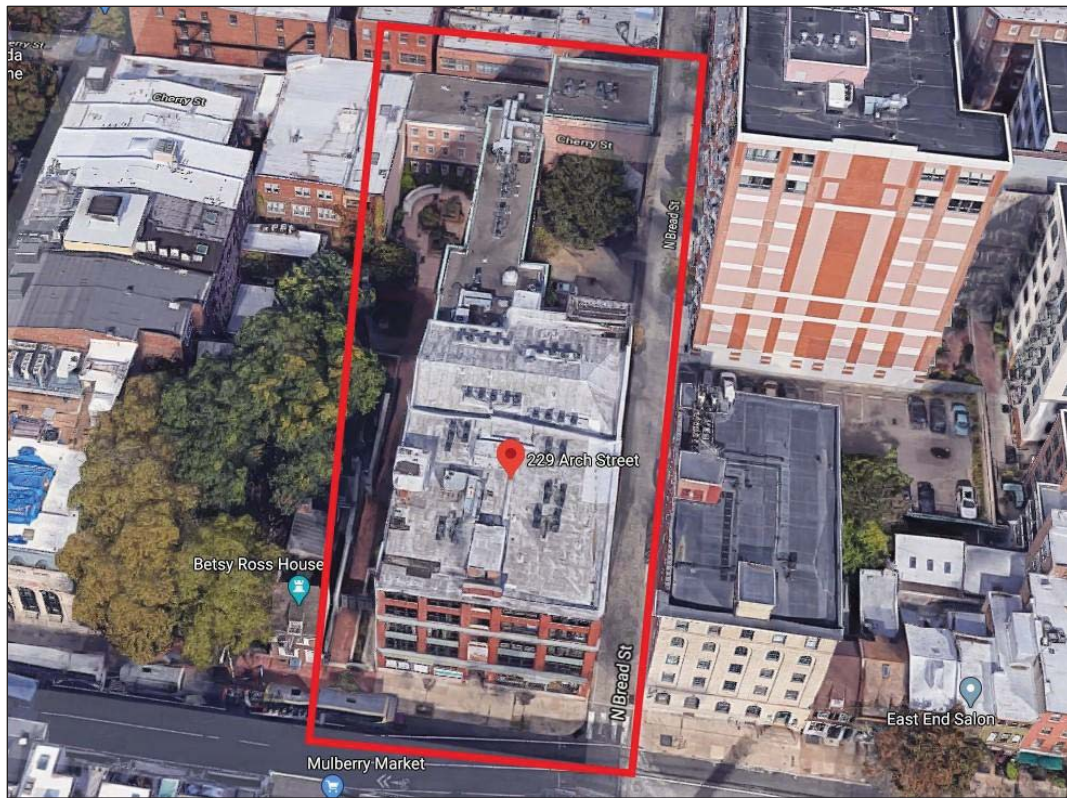


Image 3: View looking north from Arch Street down Bread Street.



Image 4: View south from Cherry Street toward Arch Street.



February 13, 2020
Philadelphia Historic Commission
1515 Arch Street, 13th Floor
Philadelphia, PA 19102
Proposed Alterations to: 229 Arch Street, Philadelphia PA 19106
Final Approval
Client: Berger Development LP

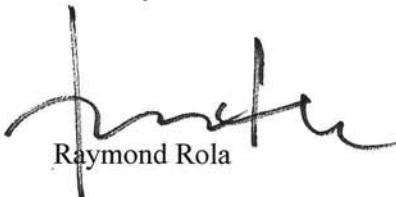
To whom it may concern,

We are proposing an addition to the beautiful and historic property at 229 Arch Street in Old City, also known as the "Berger Building". This building has already undergone a radical restoration project in order to preserve its historic features. Including but not limited to the restoration of the Southern exterior which hosts the "Berger Brothers Company" sign and new windows. The interior restoration included but was not limited to new stairwells, elevators, heating and cooling systems, and electrical work in order to create new dwelling units and commercial spaces. Interior historical features such as brick work, and metal doors were preserved throughout this restoration effort. There have been other additions to the existing property in previous years in order to preserve it for continued use, notably the section of the building known as the "1990's Addition", which faces Bread Street. In this area at street level is also a small parking lot, accessed via Bread Street.

We are proposing an addition onto the "1990's Addition" section of the building, facing Bread Street, which will add a total of 21 new dwelling units, including efficiency units, while preserving the existing ground level parking area. The existing exterior wall facing Bread Street will remain, it will become an interior hallway wall. The existing window openings of this wall will be cut down into doorways as entrance into the new units. This addition will not affect the South elevation which hosts the "Berger Brothers Company" sign. Much the same as the previous restorations and additions aimed to continue the use and lifespan of this Historic property, this addition will do the same. This addition will not impact any historical building elements. The exterior frontage of the proposed addition will include new windows to match existing, and brick work to match existing. All proposed work and materials will match existing building elements as much as possible, and we will work with the PHC to verify materials in field to ensure this.

This submission is for final approval. If there are any comments on the proposed alterations please feel free to contact me at 215-546-3155, or rolaarch@verizon.net. I look forward to working together in bringing this project to fruition.

Sincerely,



Raymond Rola

APPLICATION FOR BUILDING PERMIT

APPLICATION # _____

(Please complete all information below and print clearly)



CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES AND INSPECTIONS
MUNICIPAL SERVICES BUILDING – CONCOURSE
1401 JOHN F. KENNEDY BOULEVARD
PHILADELPHIA, PA 19102
For more information visit us at www.phila.gov/li

ADDRESS OF PROPOSED CONSTRUCTION:

229 Arch street Philadelphia, PA 19106

APPLICANT:

Raymond F. Rola, AIA

COMPANY NAME

Raymond F. Rola, Architect

PHONE # (215) 546-3155

FAX # (215) 545-3999

APPLICANT'S ADDRESS:

1518 Walnut Street Suite 1300

Philadelphia, Pa 19102

LICENSE #

E-MAIL:

PROPERTY OWNER'S NAME:

Berger Development LP

PROPERTY OWNER'S ADDRESS:

2nd Floor Philadelphia PA, 19106-1904

PHONE #

FAX #

ARCHITECT/ENGINEER IN RESPONSIBLE CHARGE

Raymond F. Rola

ARCHITECT/ENGINEERING FIRM:

Raymond F. Rola Architect

ARCHITECT/ENGINEERING FIRM ADDRESS:

1518 Walnut Street Suite 1300

Philadelphia, PA 19102

LICENSE # 18377

E-MAIL: rolaarch@verizon.net

PHONE # (215) 546-3155

FAX # 215-546-3999

CONTRACTOR:

CONTRACTING COMPANY ADDRESS:

CONTRACTING COMPANY:

PHONE #

FAX #

LICENSE #

E-MAIL:

USE OF BUILDING/SPACE

Multi-Family Dwelling

ESTIMATED COST OF WORK

\$ _____

BRIEF DESCRIPTION OF WORK:

Construction of new three (3) story addition over existing parking lot with existing parking lot to remain. New ADA ramp at existing entrance.

TOTAL AREA UNDERGOING CONSTRUCTION: 4,264.00 square feet

COMPLETE THESE ITEMS IF APPLICABLE TO THIS APPLICATION:

OF NEW SPRINKLER HEADS (suppression system permits only): _____ LOCATION OF SPRINKLERS: _____

OF NEW REGISTERS/DIFFUSERS (hvac/ductwork permits only): _____ LOCATION OF STANDPIPES: _____

IS THIS APPLICATION IN RESPONSE TO A VIOLATION? ☐ NO ☒ YES VIOLATION #: _____

All provisions of the building code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statement herein I am subject to such penalties as may be prescribed by law or ordinance.

APPLICANT'S SIGNATURE: _____

DATE: 02 / 10 / 20

PROPOSED ADDITION TO 229 Arch St., Philadelphia PA



ARCHITECT



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pa. 19102
t: 215.544.3155
f: 215.545.3999
rsoloarch@verizon.net

SEAL



OWNER

BERGER DEVELOPMENT LP

KAT SULLIVAN
UNIT FC1
901 N PENN ST
PHILADELPHIA PA
19123

DATE	DESCRIPTION
02/10/20	HISTORIC SUBMISSION

PROPOSED
ADDITION

PROJECT LOCATION

229 ARCH ST.
PHILADELPHIA, PA
19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

C1

ZONING CODE SUMMARY FOR 229 ARCH STREET

PROJECT: 229 ARCH STREET ZONING DISTRICT: CMX-3

	PROVISION	EXISTING	PROPOSED
USE REGULATIONS:	SINGLE FAMILY, TWO FAMILY, MULTI FAMILY	GROUND FLOOR COMMERCIAL MULTI FAMILY (66) UNITS	GROUND FLOOR COMMERCIAL MULTI FAMILY (87 UNITS). 66 UNITS EXISTING + 21 PROPOSED UNITS
MIN. LOT SIZE	N/A	28,639 SF	28,639 SF
MIN. LOT FRONTAGE (WIDTH)	N/A	90' +-	90' +-
MIN. OPEN AREA	INTERMEDIATE: 25% CORNER: 20% (3)	43%	26%
MIN. FRONT YARD SETBACK	BASED ON SETBACK OF ABUTTING LOTS (SEE NOTES [5] AND [6])	N/A	0'-0"
MIN. SIDE YARD DEPTH	N/A	N/A	N/A
MIN. REAR YARD DEPTH	9'-0" OR 10%	N/A	NONE
MIN. REAR YARD AREA	144 SF	N/A	NONE
HEIGHT REGULATIONS	N/A	N/A	50'-0"
FAR	500%	72,316 / 28,639 = 253%	84,274 / 28,639 = 295%
REQUIRED PARKING	NONE REQUIRED IF THE DEVELOPMENT DOES NOT INCREASE BY 25% THE NUMBER OF DWELLING UNITS OR THE GROSS SQUARE FOOTAGE OF THE STRUCTURE.	8 SPACES	8 EXISTING SPACES. SQUARE FOOTAGE INCREASED BY 16.53% (72,316 SF/11,958 SF)



LOCATION MAP

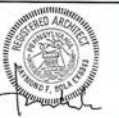
SCALE: NONE

ARCHITECT



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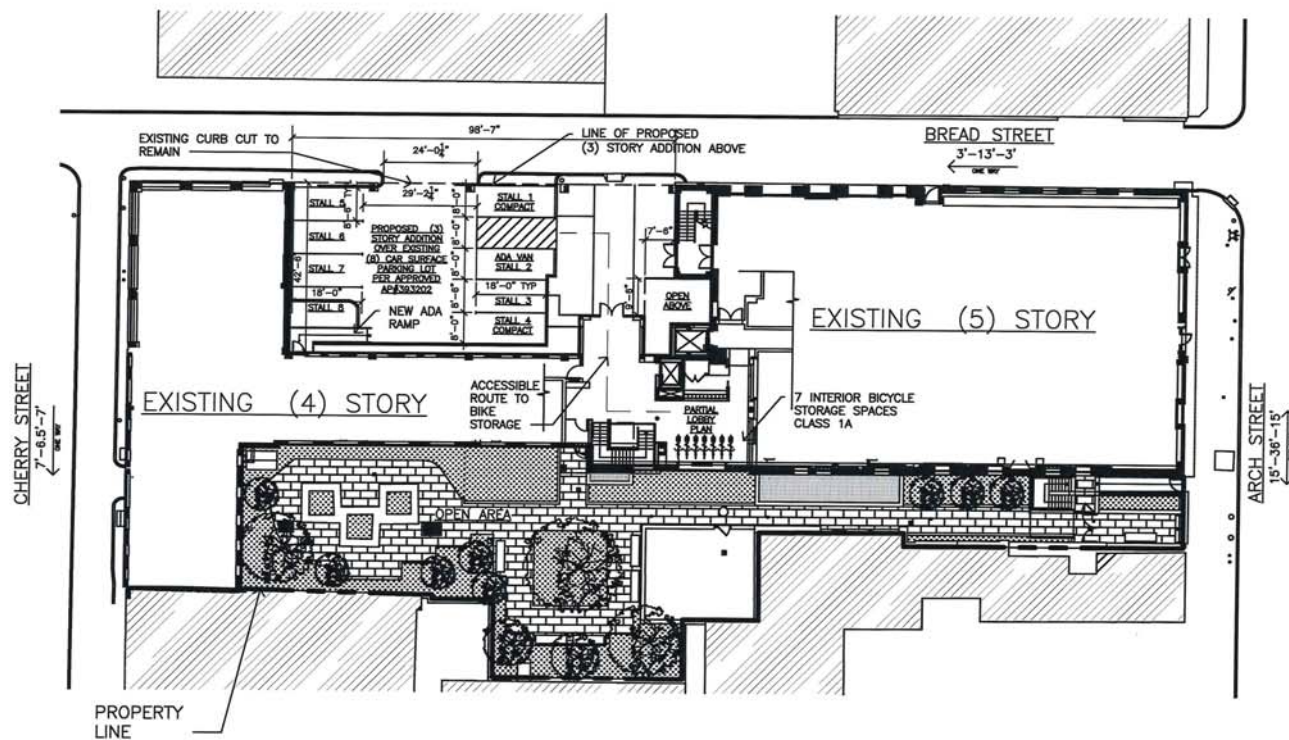
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Z1



1 SITE PLAN
SP1 SCALE: 1/32" = 1' - 0"



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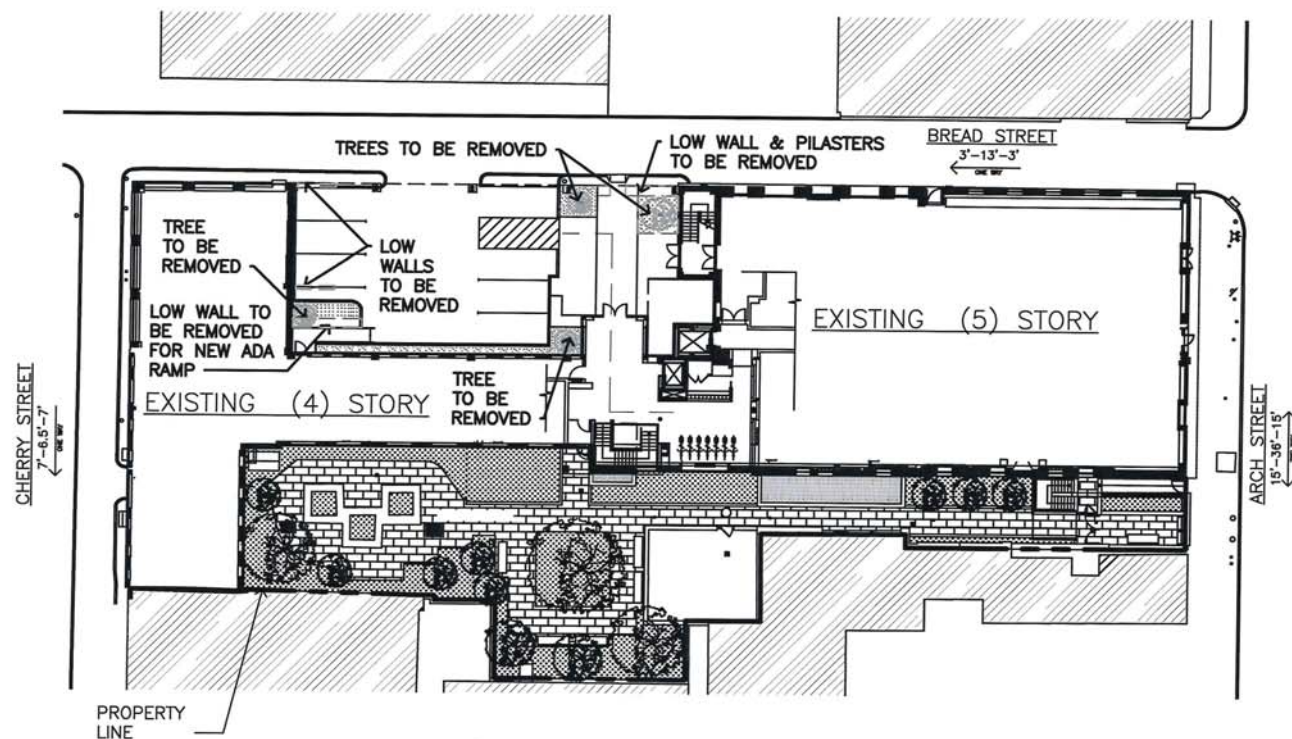
REVIEWED BY: RR

SHEET NO.

SP1

DEMOLITION NOTES

1. EXTERIOR WALLS AND PILASTERS IN PARKING AREA TO BE DEMOLISHED WHERE INDICATED.
2. ALL TREES AND OTHER LANDSCAPING 6'-0" HIGH ABOVE GRADE TO BE REMOVED FROM EXISTING PARKING LOT AND LANDSCAPED AREAS.
3. ALL SIDEWALKS AND WALKWAYS TO BE REPAIRED AS NEEDED AS AFFECTED BY DEMOLITION.
4. ALL SIDEWALK RAMPS TO BE RE-DONE TO MEET ADA STANDARDS AS NEEDED.



1
D1

DEMOLITION PLAN

SCALE: 1/32" = 1' - 0"



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SHEET NO.

D1



1
A1

BREAD ST. ELEV.

SCALE: 1" = 20'-0"

ARCHITECT



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DATE	DESCRIPTION
02/10/20	HYSTORIC SUBMISSION

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PHILADELPHIA, PA
19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A1

[illegible]


1
A2


KEY PLAN

SCALE: 1" = 20'-0"

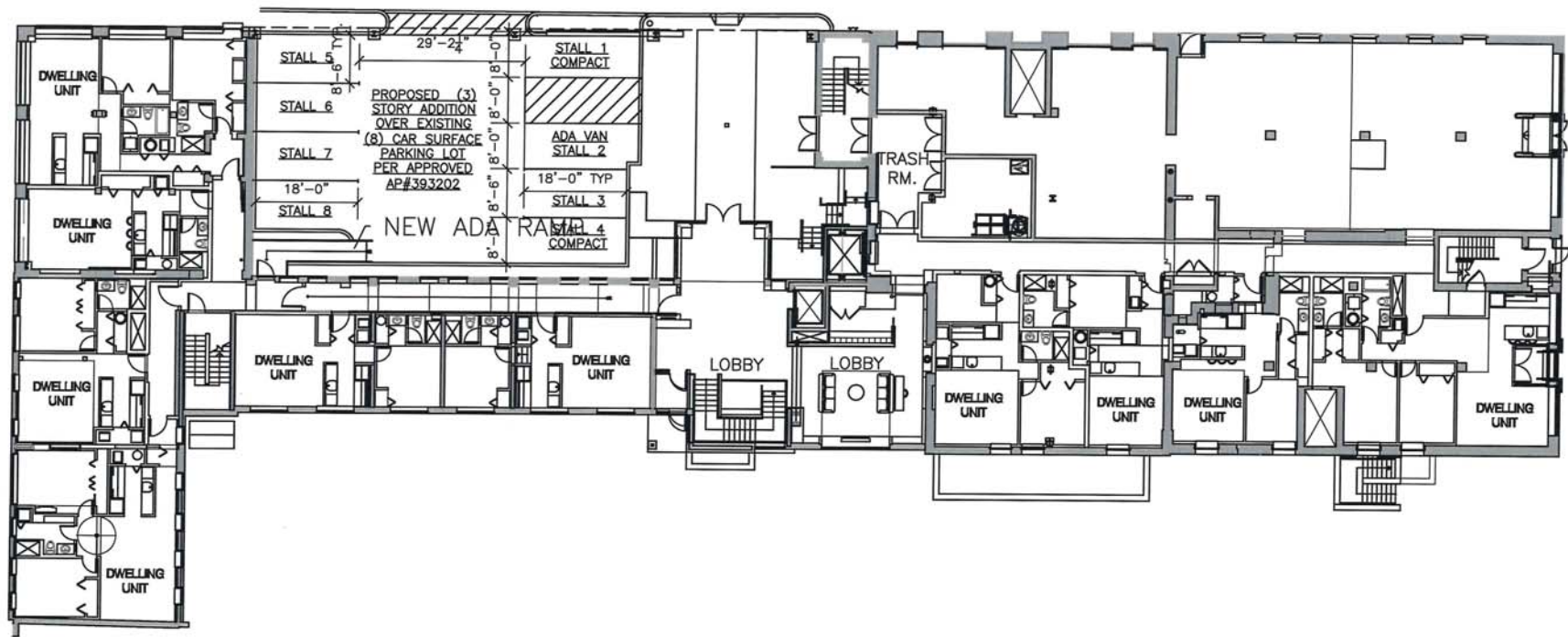
SCALE: 1" = 20'-0"

LEGEND:

 EXISTING WALLS

 NEW WALLS





1
A3 GROUND FLOOR PLAN
SCALE: 1" = 20'-0"



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LOT: -

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DATE: 2020

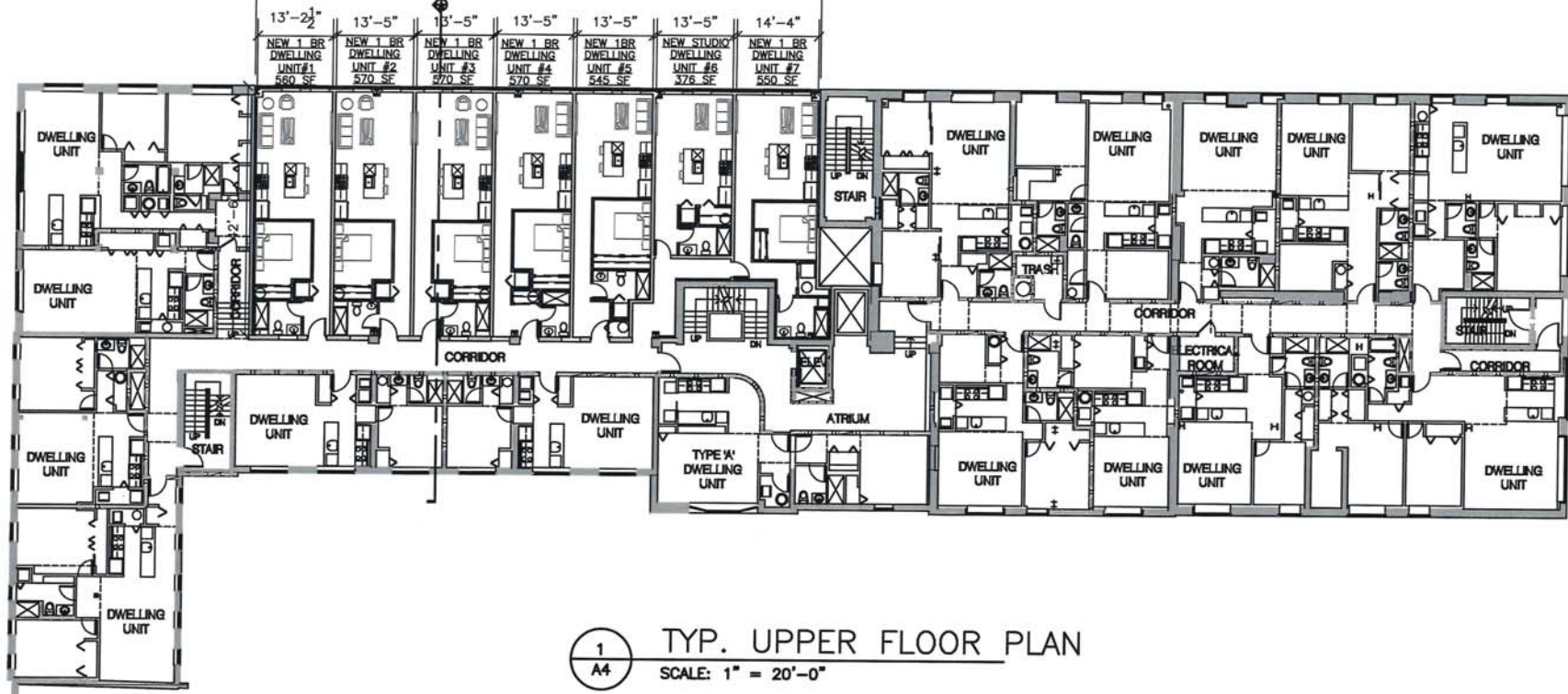
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SHEET NO.

A3

PROPOSED (3) STORY ADDITION OVER EXISTING PARKING



1
A4 TYP. UPPER FLOOR PLAN
SCALE: 1" = 20'-0"



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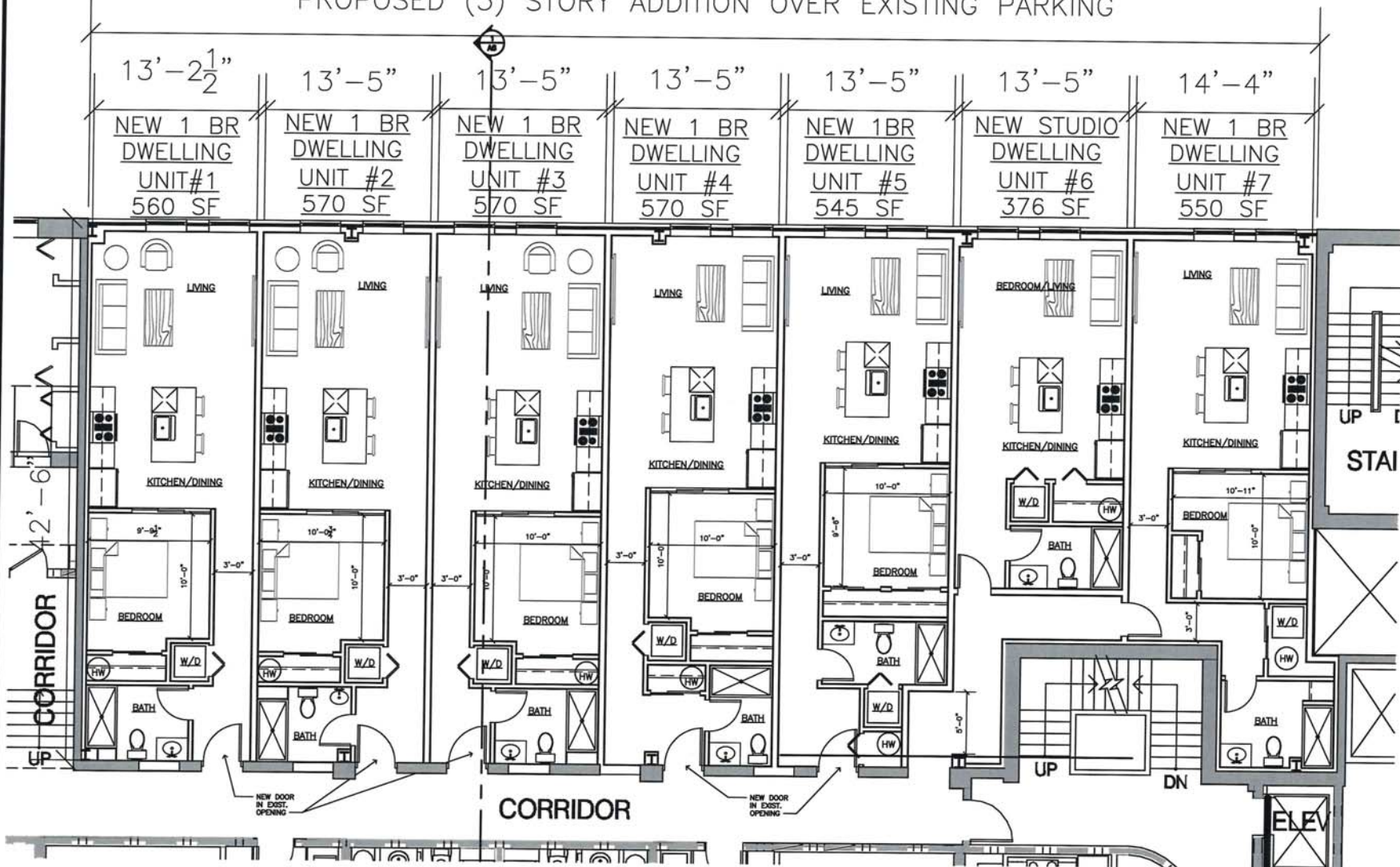
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REVIEWED BY: RR

SHEET NO.

A4

PROPOSED (3) STORY ADDITION OVER EXISTING PARKING



1
A3 NEW ADDITION PLAN (TYP. FOR ALL FLOORS)
SCALE: 1/8" = 1' - 0"



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SEAL



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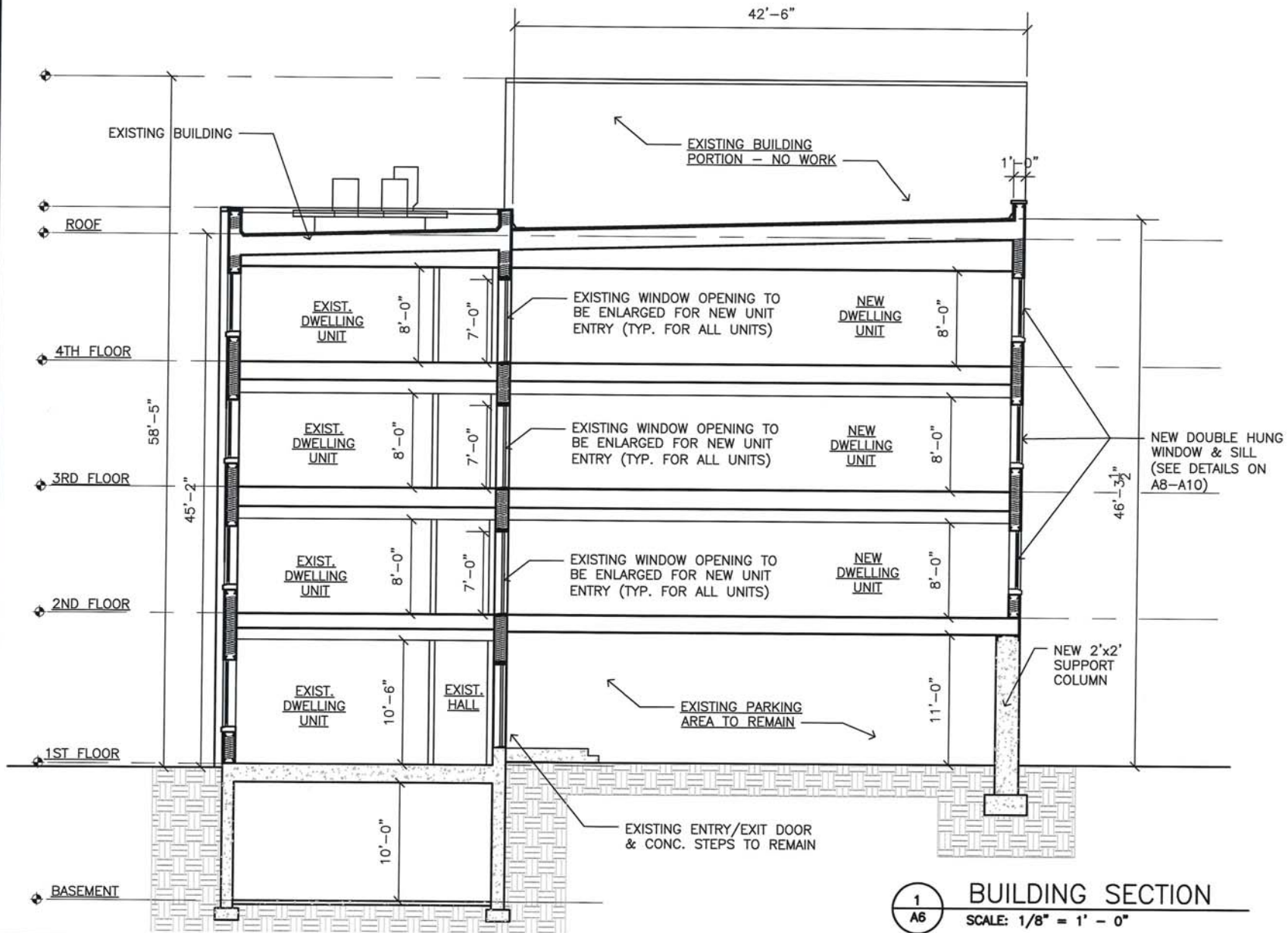
PROPOSED
ADDITION

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229 ARCH ST.
PHILADELPHIA, PA
19106

BLOCK: -
LOT: -
SHEET TITLE:

PROJECT NO. 00000
SCALE: AS NOTED
DATE: 2020
DRAWN BY: RR
REVIEWED BY: RR
SHEET NO.

A5



1
A6

BUILDING SECTION

SCALE: 1/8" = 1' - 0"

ARCHITECT



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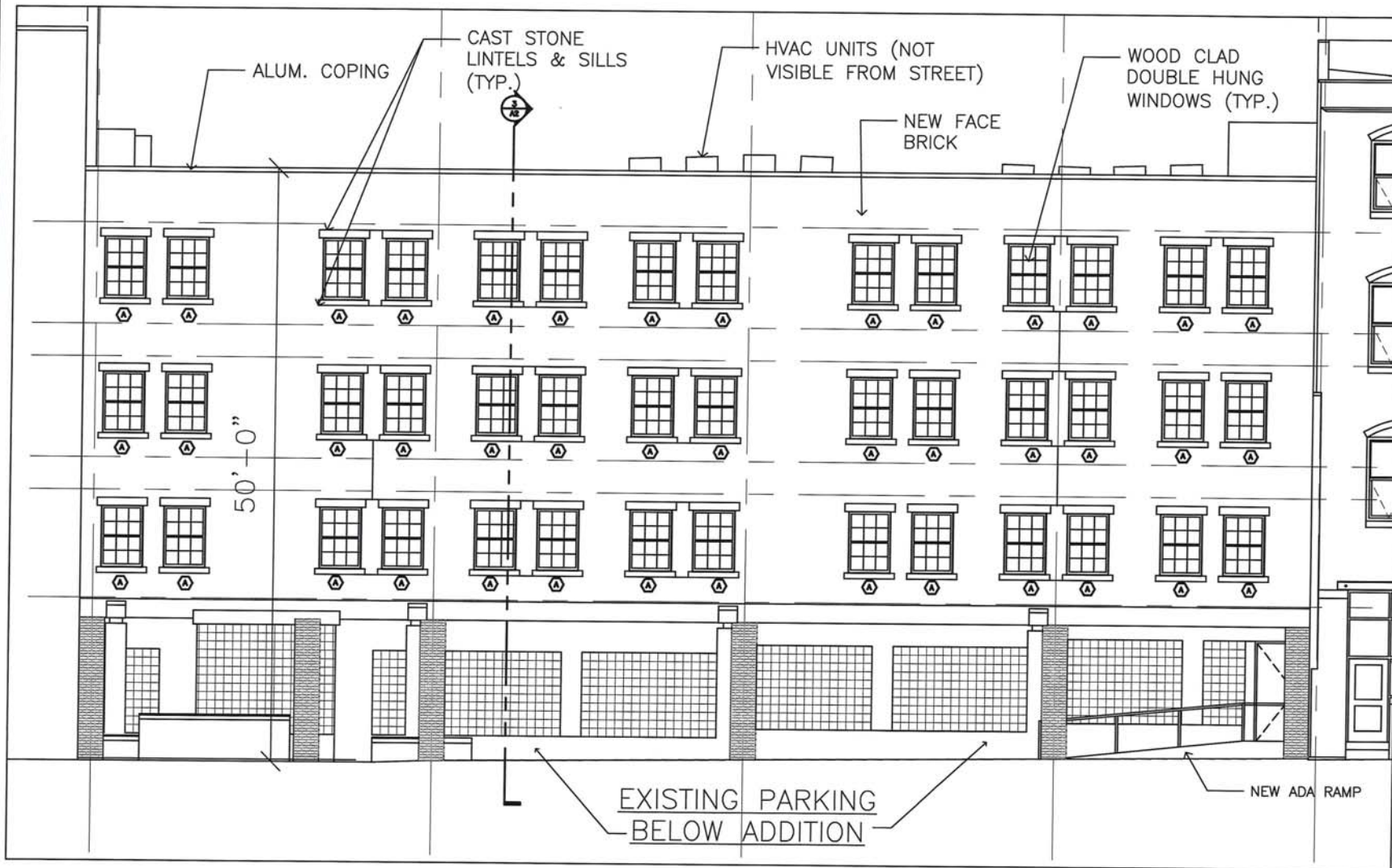
DATE: 2020

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REVIEWED BY: RR

SHEET NO.

A6



1
A7

BREAD ST. ELEV.

SCALE: 1/8" = 1' - 0"

ARCHITECT



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SHEET NO.

A7

GENERAL NOTES

1. WORK AREA EXCLUSIVE TO EXTERIOR ELEMENTS AS PART OF THE 1990 ADDITION TO THE BUILDING AND DOES NOT INCLUDE ANY HISTORICALLY RECOGNIZED AREAS OF THE PROPERTY.
2. ALL NEW WORK TO MATCH EXISTING BUILDING ELEMENTS.
3. PHC STAFF TO REVIEW ALL MATERIALS PRIOR TO INSTALLATION.
4. PHC STAFF TO REVIEW ALL SHOP DRAWINGS FOR APPROVAL.

BRICK & MASONRY

5. ALL NEW BRICK WORK TO MATCH EXISTING - RED FACE BRICK (PHC TO APPROVE SAMPLE IN FIELD PRIOR TO CONSTRUCTION)
6. NEW MORTAR TO MATCH THE COLOR, TEXTURE, COMPOSITION, JOINT WIDTH AND PROFILE OF EXISTING MORTAR.

WINDOWS

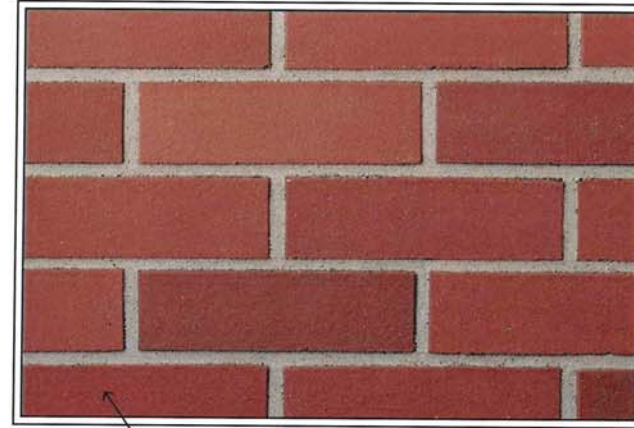
7. TYPE A - NEW DOUBLE HUNG WINDOWS IN OPERABLE WOOD CLAD FRAMES WITH INSULATING GLASS TO BE INSTALLED IN NEW ADDITION WHERE NOTED ON PLANS AND ELEVATIONS. SHOP DRAWINGS TO BE APPROVED BY PHC PRIOR TO INSTALLATION.

DOORS

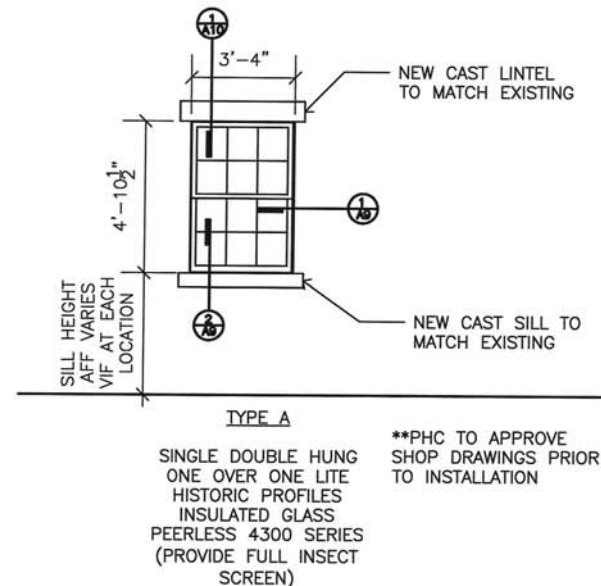
8. NEW INTERIOR UNIT ENTRY DOORS TO MATCH EXISTING UNIT ENTRY DOORS IN QUALITY AND APPEARANCE.
9. NEW UNIT ENTRY DOORS TO BE FIT INTO EXISTING WALL OPENINGS WHERE INDICATED.

INTERIOR

10. INTERIOR FINISHES TO MATCH EXISTING UNITS IN QUALITY. FINISHES TO BE CONTEMPORARY INCLUDING DRYWALL PARTITIONS, WOOD AND TILE FLOORS AND DRYWALL CEILINGS INSTALLED ABOVE EXISTING WINDOW HEADS.
11. DUCTWORK TO BE MOSTLY ENCLOSED AND WILL EITHER BE INSTALLED ABOVE THE EXISTING WINDOW HEADS OR SIGNIFICANTLY RECESSED FROM NEW PERIMETER WALLS. IF THE DUCTWORK NEEDS TO EXTEND BELOW THE HEIGHT OF THE WINDOW HEAD, THE DUCTWORK IN THESE AREAS WILL REMAIN EXPOSED AND BE PAINTED TO MATCH EXISTING SIMILAR ELEMENTS IN THE BUILDING.
12. ALL INTERIOR EXISTING HISTORICAL FEATURES I.E. EXPOSED BRICK, STEEL DOORS AND COLUMNS, AND EXPOSED BEAMS TO REMAIN, NOT INCLUDED IN AREA OF WORK.



EXAMPLE OF FACE BRICK TO BE USED ON ADDITION
(PHC TO APPROVE SAMPLE IN FIELD PRIOR TO CONSTRUCTION)



WINDOW TYPES

SCALE: 1/4" = 1' - 0"



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A8

EXISTING BRICK JAMB BEYOND; DO NOT EXPOSE CUT BRICK AT JAMB, TURN CUT BRICK SO MANUFACTURED EDGE IS EXPOSED

NEW WOOD CLAD WINDOW TO MATCH EXISTING ADJACENT

CONT. SEALANT

NEW CAST STONE SILL; MATCH EXIST ADJACENT SILL

MATCH EXIST ADJACENT SILL

EXIST. AIR SPACE

EXIST. BRICK

1'-1 1/4" EXIST; VIF

GWB JAMB BEYOND, PNT

CONT. SEALANT

1X WD SILL, PNT

2X BLOCKING; PROVIDE COUNTER-SUNK ANCHORS TO METAL FRAMING

NEW TRACK

NEW GWB; PNT

MATCH SILL HEIGHT OF OTHER WINDOW SILLS WITHIN DWELLING UNIT

EXISTING FRAMING, SHEATHING AND INSULATION; CUT FRAMING AS REQUIRED TO CREATE NEW OPENING

FLOOR LEVEL

2
A9

WINDOW SILL DETAIL

SCALE: 3" = 1' - 0"

FACE OF GWB BELOW SILL

2X BLOCKING; PROVIDE COUNTER-SUNK ANCHORS TO METAL FRAMING

WOOD WINDOW SILL BELOW; PNT

CONT. SEALANT

NEW WOOD CLAD WINDOW TO MATCH EXISTING ADJACENT

CONT. SEALANT

NEW CAST STONE SILL; MATCH EXIST ADJACENT SILL

FACE OF BRICK BELOW SILL

NEW FRAMING AS REQ.

NEW GWB; PNT

EXISTING FRAMING, SHEATHING AND INSULATION; CUT FRAMING AS REQUIRED TO CREATE NEW OPENING

EXIST. AIR SPACE

1'-1 1/4" EXIST; VIF

MATCH EXIST ADJACENT SILL

EXISTING BRICK JAMB BEYOND; DO NOT EXPOSE CUT BRICK AT JAMB, TURN CUT BRICK SO MANUFACTURED EDGE IS EXPOSED

1
A9

WINDOW JAMB DETAIL

SCALE: 3" = 1' - 0"

ARCHITECT



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SEAL



OWNER

BERGER DEVELOPMENT LP

KAT SULLIVAN
UNIT FC1
901 N PENN ST
PHILADELPHIA PA
19123

DATE	DESCRIPTION
02/10/20	HISTORIC SUBMISSION

PROPOSED
ADDITION

PROJECT LOCATION:
229 ARCH ST.
PHILADELPHIA, PA
19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

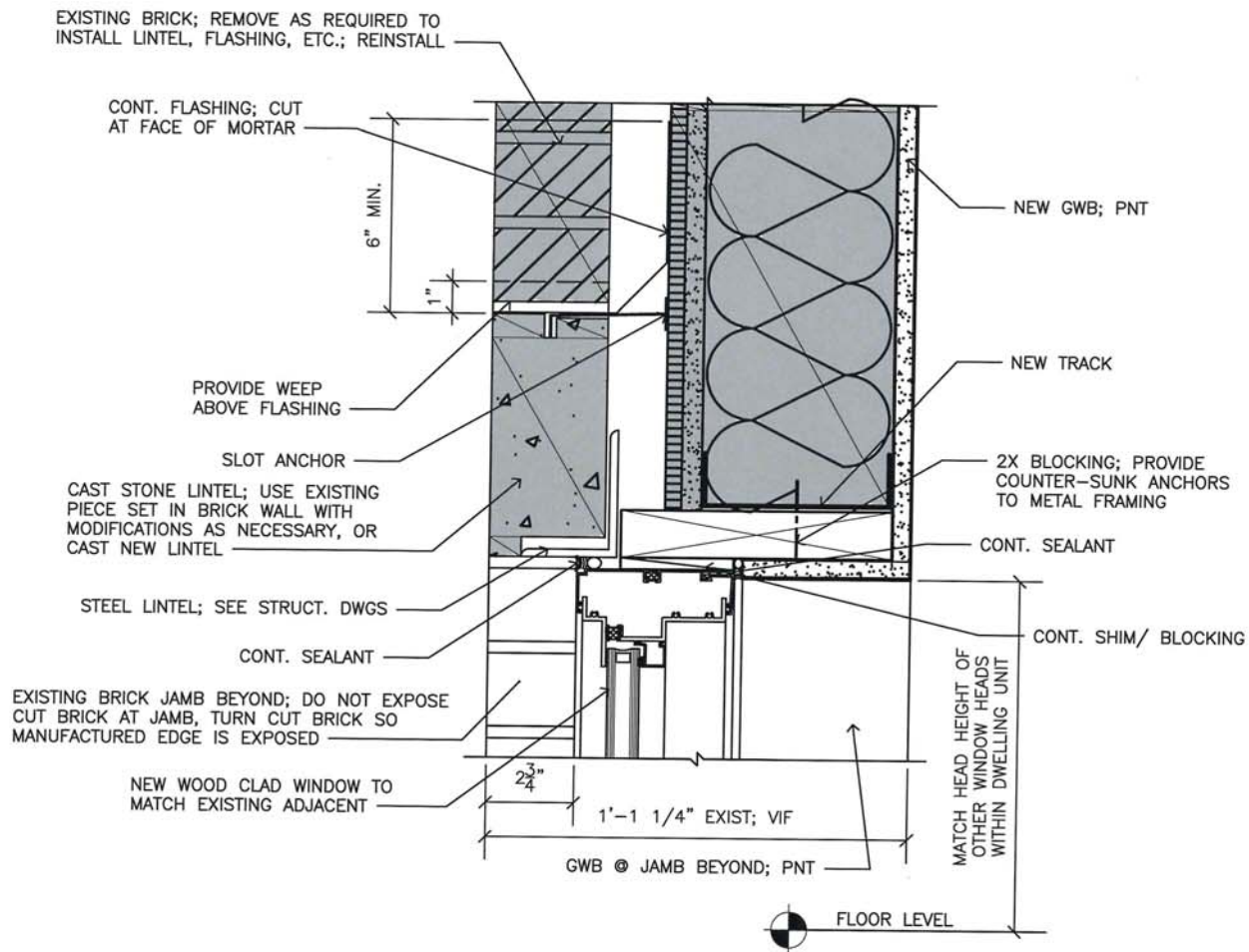
DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A9



1
A10

WINDOW HEAD DETAIL

SCALE: 3" = 1' - 0"

ARCHITECT
robertson & roland
architect

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SEAL



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ADDITION

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PHILADELPHIA, PA
19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A10



AREA OF WORK



ARCHITECT
RAYMOND E. ROLAP
architect
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SEAL



OWNER

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229 ARCH ST.
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19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

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SHEET NO.

A11



AREA OF WORK

ARCHITECT



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SEAL



OWNER

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19123

DATE	DESCRIPTION
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ADDITION

PROJECT LOCATION

229 ARCH ST.
PHILADELPHIA, PA
19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A12



AREA OF WORK



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SEAL



OWNER

BERGER DEVELOPMENT LP

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19123

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ADDITION

PROJECT LOCATION

229 ARCH ST.
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19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

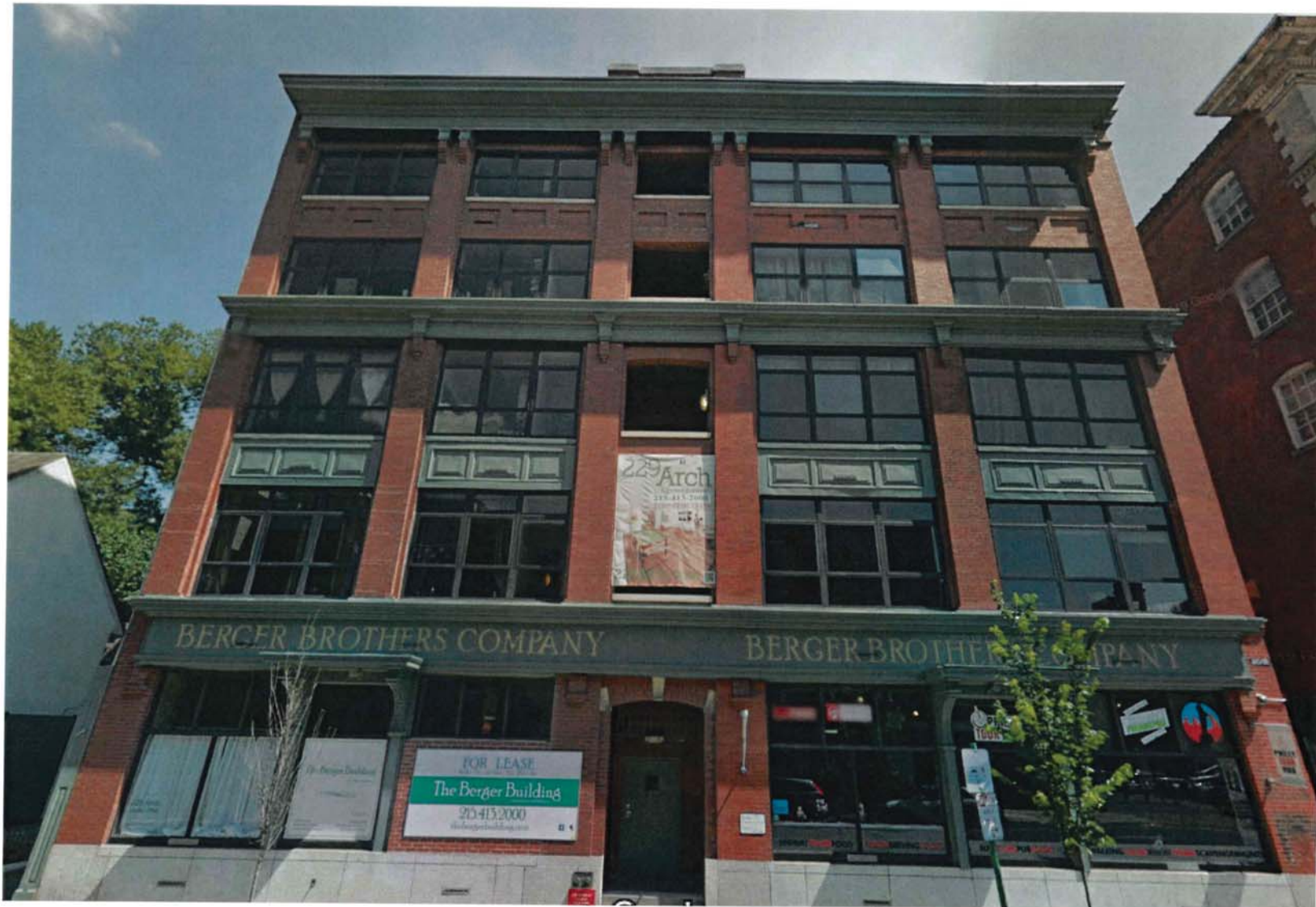
DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A13



ARCH STREET FRONTAGE



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SEAL



OWNER

BERGER DEVELOPMENT LP

KAT SULLIVAN
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19123

DATE	DESCRIPTION
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PROPOSED
ADDITION

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PHILADELPHIA, PA
19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A14



ARCH STREET FRONTAGE



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SEAL



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BERGER DEVELOPMENT LP

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19123

DATE	DESCRIPTION
02/10/20	HISTORIC SUBMISSION

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ADDITION

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229 ARCH ST.
PHILADELPHIA, PA
19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A15



ARCH STREET FRONTAGE



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SEAL



OWNER

BERGER DEVELOPMENT LP

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PHILADELPHIA PA
19123

DATE	DESCRIPTION
02/10/20	HISTORIC SUBMISSION

PROPOSED
ADDITION

PROJECT LOCATION

229 ARCH ST.
PHILADELPHIA, PA
19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A16



ARCH STREET SIDE

ARCHITECT



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SEAL



OWNER

BERGER DEVELOPMENT LP

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DATE	DESCRIPTION
02/10/20	HISTORIC SUBMISSION

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PHILADELPHIA, PA
19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A17



VIEW DOWN BREAD STREET

ARCHITECT



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SEAL



OWNER

BERGER DEVELOPMENT LP

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02/10/20	HISTORY SUBMISSION

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PROJECT LOCATION

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19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A18



BREAD STREET



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SEAL



OWNER

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19106

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LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A19



BREAD STREET



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SEAL



OWNER

BERGER DEVELOPMENT LP

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19123

DATE	DESCRIPTION
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19106

BLOCK: -

LOT: -

SHEET TITLE:

PROJECT NO. 00000

SCALE: AS NOTED

DATE: 2020

DRAWN BY: RR

REVIEWED BY: RR

SHEET NO.

A20