

ADDRESS: 260 S 20TH ST

Proposal: Demolish rear ell; construct three-story rear addition

Review Requested: Final Approval

Owner: Su Bin Jian and Bo Meng Lin

Applicant: Chwen-Ping Wang and Yao-Chang Huang, Sky Design Studio

History: 1860

Individual Designation: None

District Designation: Rittenhouse Fittler Historic District, Contributing, 2/8/1995

Staff Contact: Allyson Mehley, allyson.mehley@phila.gov, 215-686-7660

BACKGROUND:

The application proposes to demolish the rear wall of the main block and three-story rear ell and replace it with a three-story addition. The addition is proposed to cover the width of the property. Historic maps show that the 1860 building originally had a one-story rear wing (see Figure 1). The existing rear ell was added between 1860 and 1895 (see Figure 2).

This application was originally reviewed by the Architectural Committee (8/27/2019) and Historical Commission (9/13/2019) earlier in 2019. The Historical Commission voted to deny the application due to its incompleteness. The Commission's findings and conclusions were as follows:

The Historical Commission found that:

- The rear ell is not visible from any public right-of-way.
- Historic rear ells can be character-defining features of buildings, even if not visible from the street.
- The proposed scope includes removing the entire rear wall of the main block. It was noted by the Commission that the removal of the full rear wall of the building constitutes a demolition. Because of the lack of the detailed information in the application, the Commission could not determine if the proposed scope of work constituted an alteration or demolition.
- The new addition will be wider than original ell and will cover entire rear of building and extend rear property line.
- The application is not complete. The drawings and photographs do not communicate fully what currently exists, current conditions, what is being removed, and what the new construction would look like.
- The application requires additional information to fully evaluate the proposed scope of work. Existing condition drawings (elevations and plans) and existing condition photographs should be submitted for review. The Commission must be able to understand what currently exists on the rear ell including information such as window and door openings and overall condition. More fully developed drawings of the new addition should be submitted as well.

The Historical Commission concluded that:

- The application does not provide enough information to fully assess whether the proposed scope of work does or does not comply with the Standards.
- The staff should visit the site and document the rear of the building.
- The application should be revised to provide explicitly the current state of the rear of the building and the proposal for it.

The staff visited the property on 2 October 2019 and verified that rear of property is not visible from the street. The staff observed that the rear ell has been altered several times including the construction of a one-story addition and changes to window openings. During a walk through of the interior space, the rear ell exhibited sloping floorboards and other signs that the ell has shifted owing to an insufficient foundation.

To address the concerns of the Architectural Committee and Historical Commission raised during the earlier review, the applicant has submitted additional drawings, photographs, and an assessment letter from a structural engineer.

SCOPE OF WORK

- Demolish existing three-story rear ell.
- Demolish rear wall of main block.
- Construct new three-story addition with rear roof deck on second floor and rear balcony on third floor. Addition will cover the full width of rear property. Addition will have crawlspace rather than a full basement.
- Clad new rear wall with brick.
- Interior renovations within main block; no work to front facade.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*
 - Although the demolition of the rear ell will result in the removal of materials and the alteration of features, spaces, and spatial relationships, none of this area is visible from the public-right of way. Only the front facade facing S. 20th Street is visible from the public right-of-way and no changes are proposed for the front façade. Although the general form of the late nineteenth-century ell still exists, it has been altered many times. Moreover, the rear ell appears to have been poorly constructed and is in poor condition. Also, the adjacent building no longer has an ell and was built out to the property line at an earlier date. Although historic fabric will be removed, the building's visible historic character will not change to pedestrians walking through the Rittenhouse Fittler Historic District.
- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The historic rear ell is shifting and is structurally compromising the overall building due to the lack of a foundation and a crack in the rear wall. The addition will be the same height as the historic ell and the rear wall will be clad in brick. The adjacent property is already built out to the property line and the proposed new addition will cover the full width of the rear property and be built against this party wall (Figure 5).

STAFF RECOMMENDATION: Approval, with the staff to review details, pursuant to Standards 2 and 9.

Historic Maps

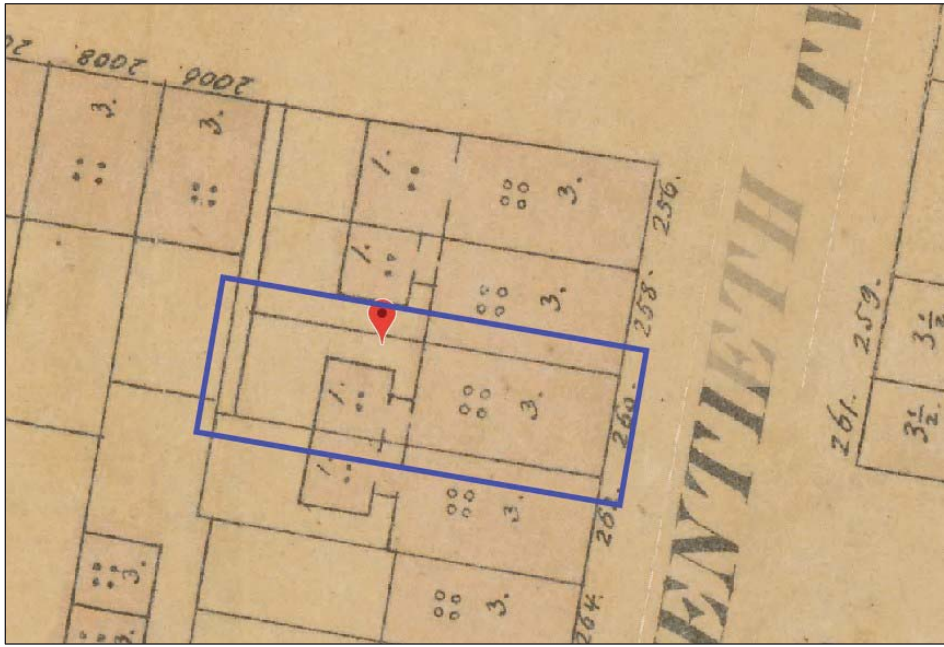


Figure 1: 1858-60 Philadelphia Atlas, Hexamer & Locher

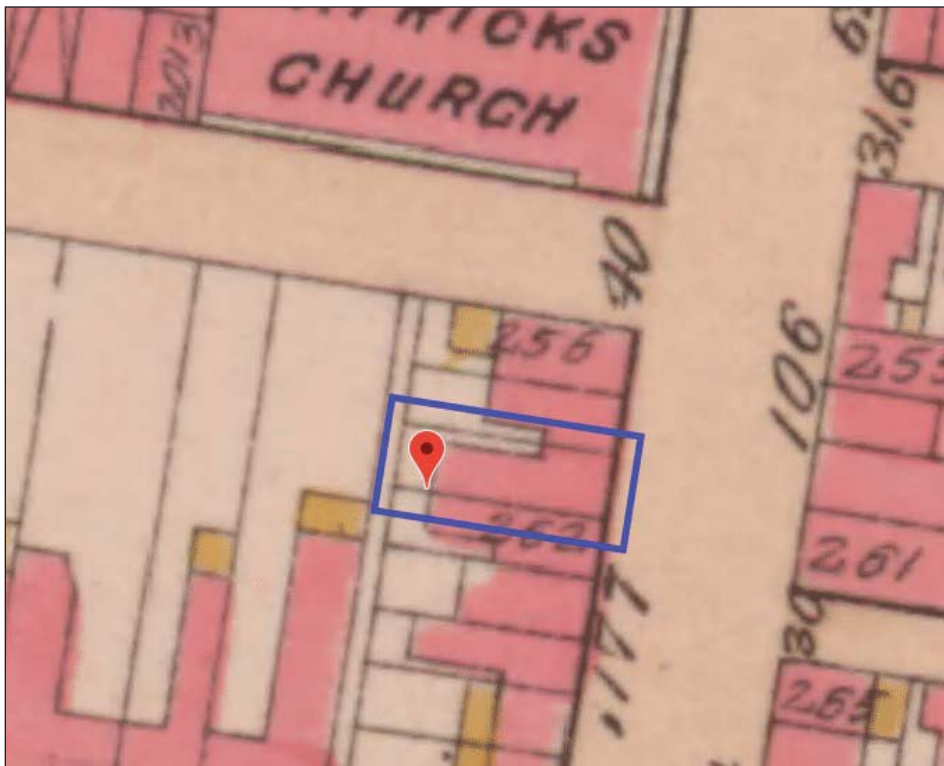


Figure 2: 1895 Philadelphia Atlas, G. W. Bromley

Images



Figure 3 (above): Gate in front of alley that leads to rear of 260 S 20th Street.

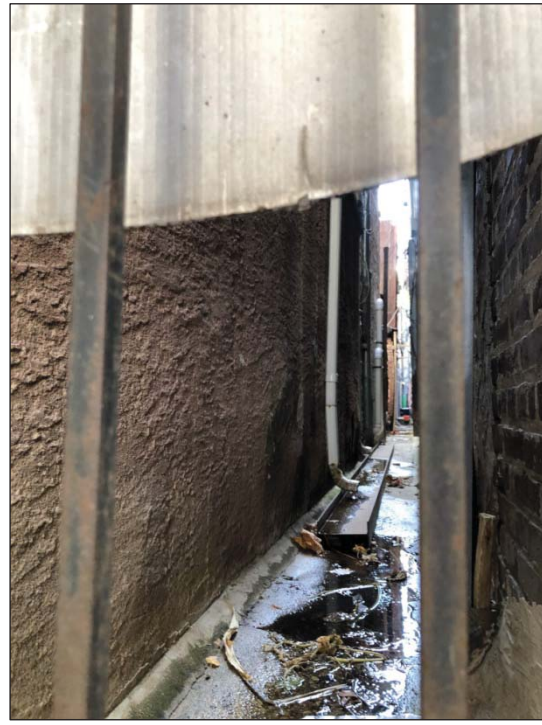


Figure 4 (above): View through gate. Rear of property and ell is not visible.



Figure 5 (at right): View from rear alley behind 260 S 20th back out to street. The wall visible on the right side of photograph is the south wall of the adjacent building. This would become a party wall to the proposed addition.

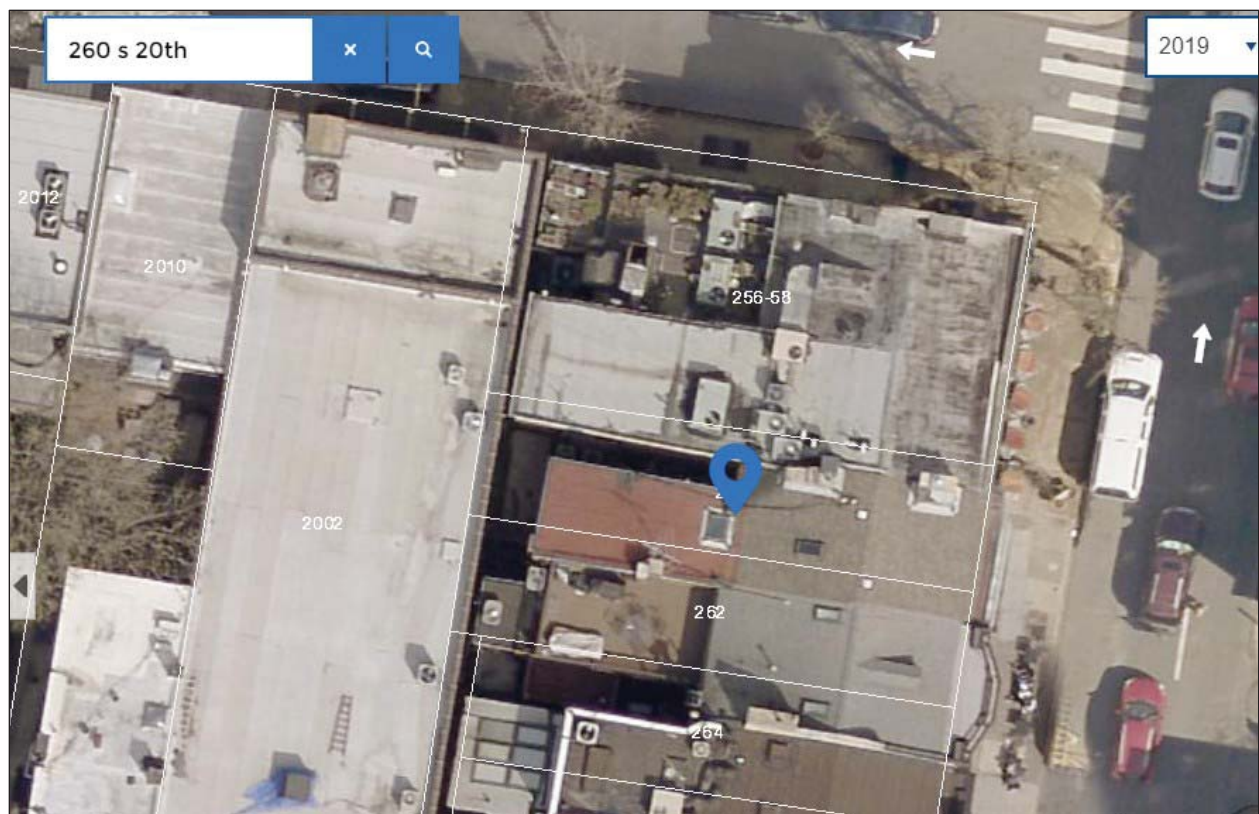


Figure 6: 2019 aerial view of 260 S 20th Street.

Project Address: 260 S 20th Street, Philadelphia, PA

Property Owner: Su Bin Jian; Bo Meng Lin
2425 S Hancock St. Philadelphia, PA

The owner would like to apply for Final Approval for the following changes. We are proposing the following:

1. A (3) story rear addition for the use of (1) nail salon on 1st floor/cellar, One Apartment on 2nd floor w/ rear roof deck and (1) one apartment on 3rd floor w/ rear balcony.
2. The new (3) story addition will have a length of 30'-11 ¼" X 16'-7" width, 29'-3" Height and 2'-6" rear setback.
3. Scope of Work:
 - Existing front façade to remain.
 - Remove existing (1) One Story rear portion and full demolition of (3) Three-story rear ell and back wall of main block. To replace with (3) Three Story addition with rear roof deck on 2nd floor and rear 3rd floor balcony.
 - New interior renovations on the existing (3) story front portion of building.

Additional comments on drawings:

1. Site visit has been carried out with personnel from Historical Department.
2. Photos of the current condition of the "L" is included on sheet A0.1
3. We added 2 section drawings to depict the "L" in its current condition and proposed design. The section drawings also show the rear wall of the main bulk are to be demolished.

Shall you have any questions, please do not hesitate to contact me.

Sincerely,



Yao-Chang Huang, AIA

APPLICATION FOR BUILDING PERMIT

APPLICATION # _____

(Please complete all information below and print clearly)



CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES AND INSPECTIONS
MUNICIPAL SERVICES BUILDING – CONCOURSE
1401 JOHN F. KENNEDY BOULEVARD
PHILADELPHIA, PA 19102
For more information visit us at www.phila.gov/li

ADDRESS OF PROPOSED CONSTRUCTION:

260 S 20th Street Philadelphia, PA 19103

APPLICANT:

CHWEN-PING WANG AC#2361933

COMPANY NAME

SKY DESIGN

PHONE # (610) 896-3649

FAX #

APPLICANT'S ADDRESS:

1823 SPRING GARDEN ST

PHILADELPHIA PA 19130

LICENSE # 802513

E-MAIL: SKY@SKY-DS.COM

PROPERTY OWNER'S NAME:

Jiang Su Bin, Lin Bo Meng

PHONE # (610) 896-3649

FAX #

PROPERTY OWNER'S ADDRESS:

2524 S Hancock Street, Philadelphia PA 19148

ARCHITECT/ENGINEER IN RESPONSIBLE CHARGE

YAO CHANG HUANG AC#2361933

ARCHITECT/ENGINEERING FIRM:

SKY DESIGN STUDIO PC

PHONE # (610) 896-3649

FAX # 2158275370

ARCHITECT/ENGINEERING FIRM ADDRESS:

1823 SPRING GARDEN ST

PHILADELPHIA, PA 19130

LICENSE # 802513

E-MAIL: SKY@SKY-DS.COM

CONTRACTOR:

CONTRACTING COMPANY:

PHONE #

FAX #

CONTRACTING COMPANY ADDRESS:

LICENSE #

E-MAIL:

USE OF BUILDING/SPACE

1 Vacant Commerical & 2-Family Residential

ESTIMATED COST OF WORK

\$ _____

BRIEF DESCRIPTION OF WORK:

TO REMOVE AND REPLACE:

REAR 1-STORY ADDITION WITH ROOD DECK AT 2ND FLOOR LEVEL

FULL DEMOLITION OF 3-STORY REAR ELL AND BACK WALL OF MAIN BLOCK

TO CONSTRUCT :

3-STORY ADDITION IN FORMER SIDE YARD/ LIGHT WELL & INTERIOR RENOVATION THROUGHOUT

FOR THE USE OF:

CELLAR & 1ST FLOOR FOR VACANT COMMERCIAL

2ND-3RD FLOOR FOR 2 DWELLING UNITS.

TOTAL AREA UNDERGOING CONSTRUCTION: 3,173.00 square feet

COMPLETE THESE ITEMS IF APPLICABLE TO THIS APPLICATION:

OF NEW SPRINKLER HEADS (suppression system permits only): _____ LOCATION OF SPRINKLERS: _____

OF NEW REGISTERS/DIFFUSERS (hvac/ductwork permits only): _____ LOCATION OF STANDPIPES: _____

IS THIS APPLICATION IN RESPONSE TO A VIOLATION? ☐ NO ☐ YES VIOLATION #: _____

All provisions of the building code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statement herein I am subject to such penalties as may be prescribed by law or ordinance.

APPLICANT'S SIGNATURE: _____

DATE: 12 / 05 / 2019

JDM Engineering LLC

Structural Engineering Consultants

815 RT 54

Williamstown, NJ 08094

(856) 264-3851

September 3, 2019

RE: 260 S 20th Street
Philadelphia PA

To Whom It May Concern,

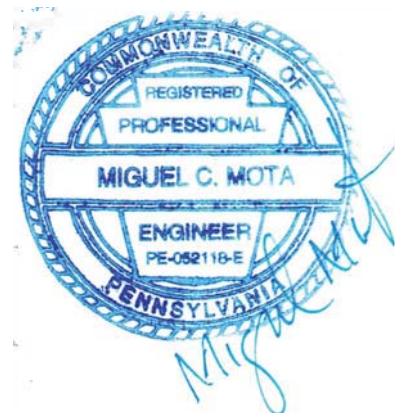
This report is written to document observations conducted during an inspection of the work associated to evaluate the rear wall at the above referenced location.

The inspection determined that the rear wall was partially cracked and did not have a foundation. As a result, the wall was deemed unsafe requiring replacement with the proposed rear wall.

Please do not hesitate to contact me should you have any questions.

Sincerely,

Miguel Mota, PhD, PE
JDM Engineering LLC
Williamstown, NJ 08094
PA PE License # PE052118E (Exp 9/30/19)
Special Inspector License 050800
Special Inspection Agency 051274
ICC Certified Special Inspector





1 AERIAL VIEW OF BUILDING
A9.1 SCALE: NTS



1 LOOKING WEST AT FRONTAGE
ON S 20TH ST



2 LOOKING NORTH IN REAR ALLEY
LEADING TO
RITTENHOUSE SQUARE ST



3 LOOKING AT "L" FROM REAR ALLEY
REMAINING 1-STORY ADDITION &
REAR/ SIDE WALLS TO BE DEMOLISHED



4 LOOKING AT BUILDING REAR
FROM REAR ALLEY
REMAINING 1-STORY ADDITION &
REAR WALL
TO BE DEMOLISHED



5 LOOKING AT BUILDING REAR
FROM REAR ALLEY
REMAINING 1-STORY ADDITION &
REAR WALL
TO BE DEMOLISHED



6 LOOKING AT BUILDING REAR
FROM REAR ALLEY
REMAINING REAR WALL
TO BE DEMOLISHED

260 S. 20TH ST.
NO CHANGES
ON EXISTING
FACADE



1 PHOTO LOOKING WEST
A8 N.T.S.

SKY
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PHILADELPHIA, PA 19130
SKY@SKY-DS.COM

PROJECT ADDRESS

260 S. 20th St.
Philadelphia, P.A.

DRAWING TITLE

FACADE
PHOTO

DRAWING NUMBER

A8

PROJECT ADDRESS

260 S. 20th St.
 Philadelphia, P.A.

DRAWING TITLE

REAR
 WALL
 PHOTOS

DRAWING NUMBER
A9

EXISTING
 REAR WALL
 TO BE DEMOLISHED



1 LOOKING AT 2ND & 3RD FL. REAR WALL
 A9 N.T.S.

EXISTING
 REAR WALL
 TO BE DEMOLISHED

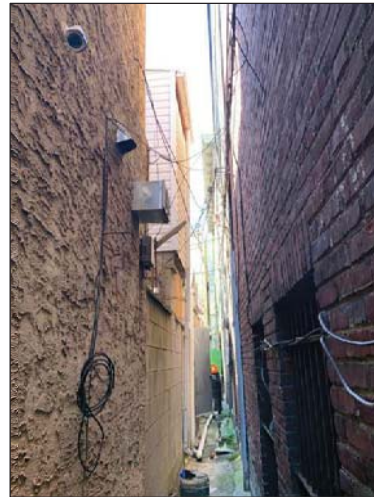


2 LOOKING AT GROUND LEVEL REAR WALL
 A9 N.T.S.

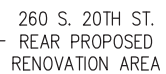
EXISTING
 REAR WALL
 TO BE DEMOLISHED



3 LOOKING AT GROUND LEVEL
 A9 N.T.S.



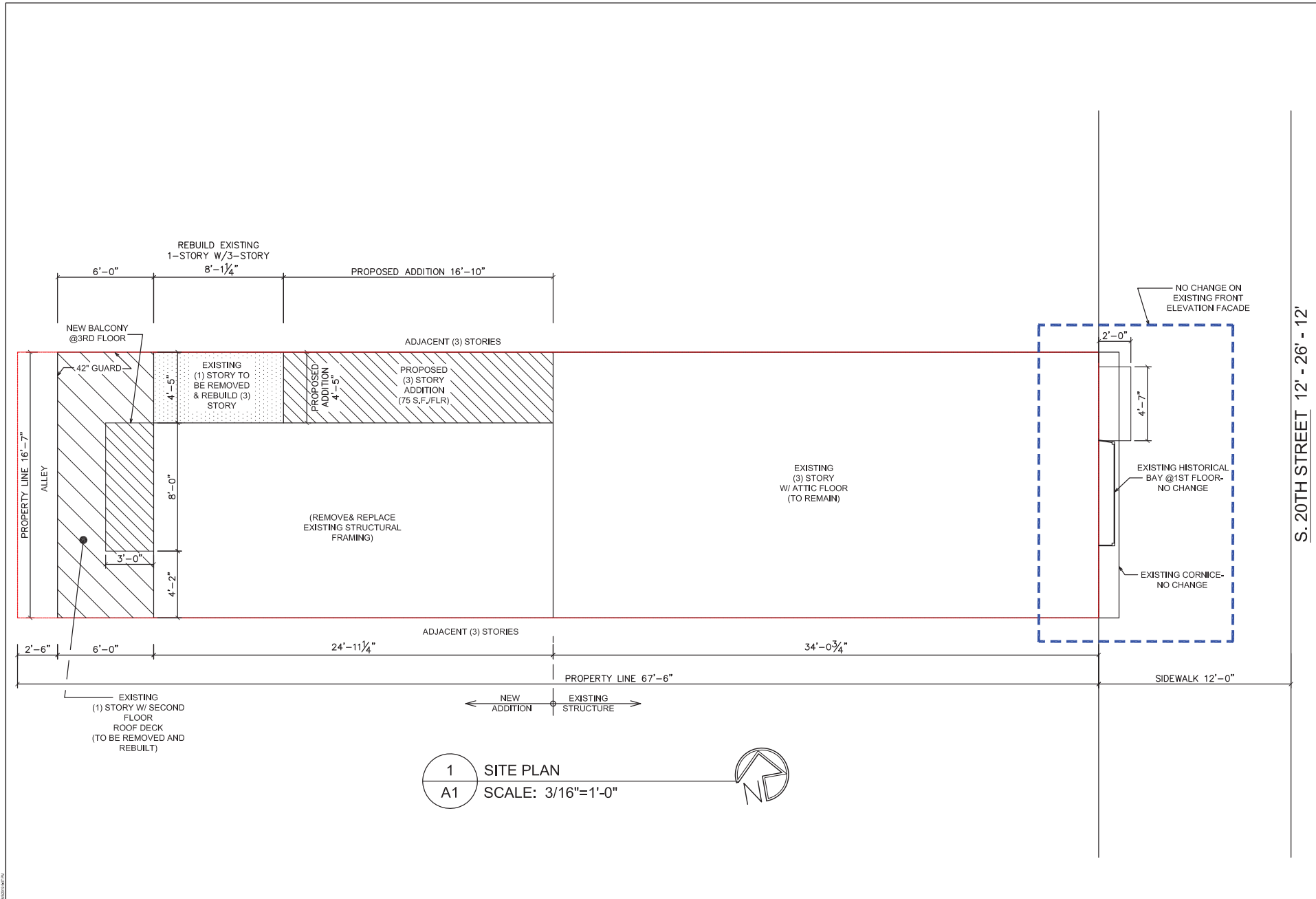
4 LOOKING AT REAR ALLEY
 A9 N.T.S.



1	PHOTO LOOKING TOP EAST
A10	N.T.S.

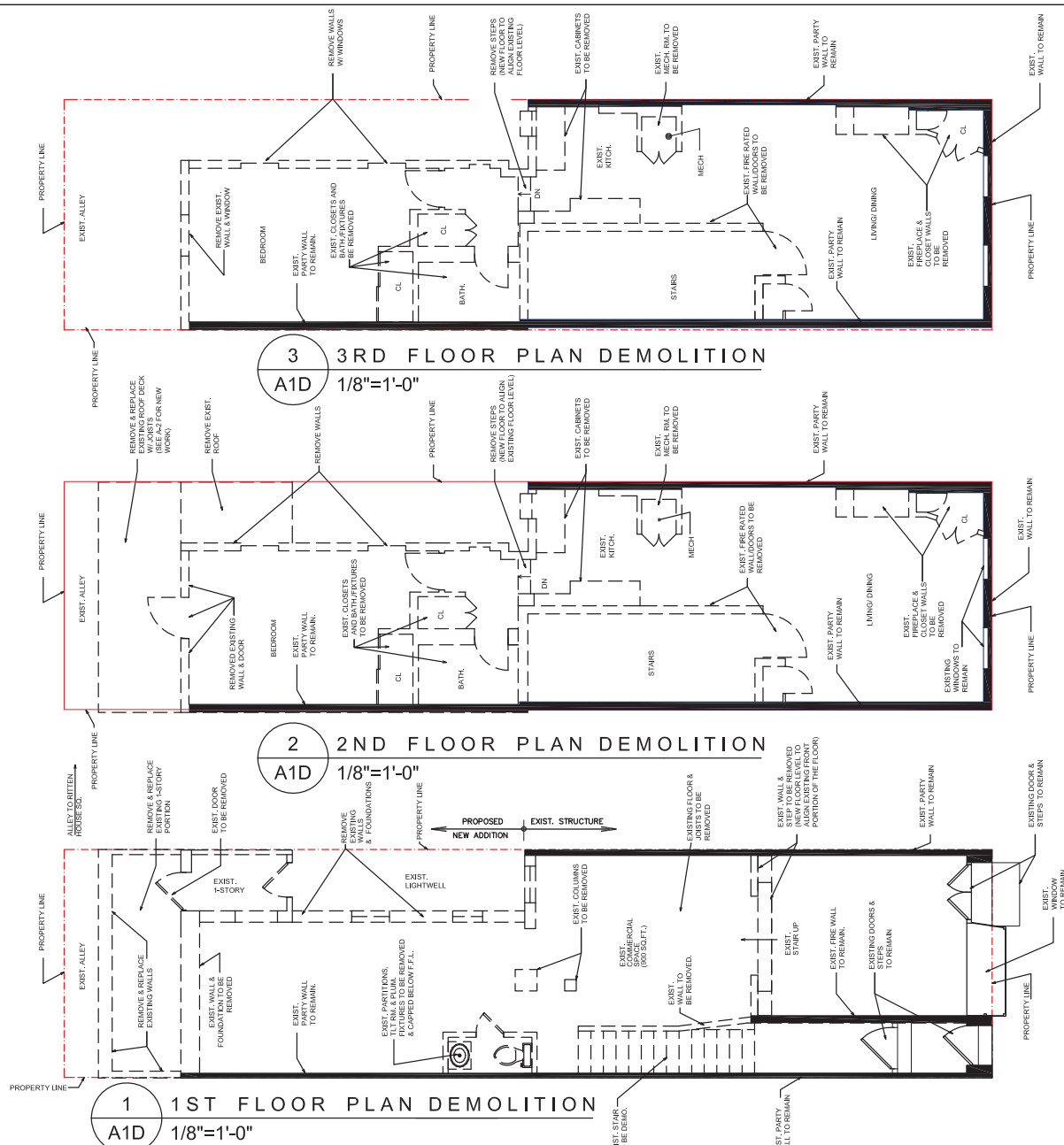


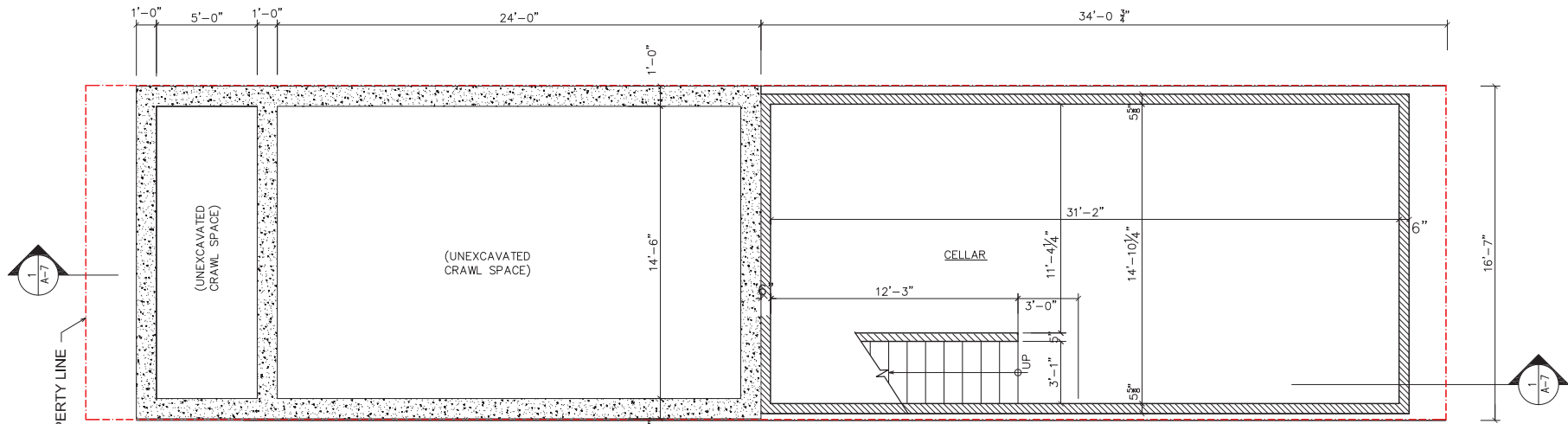
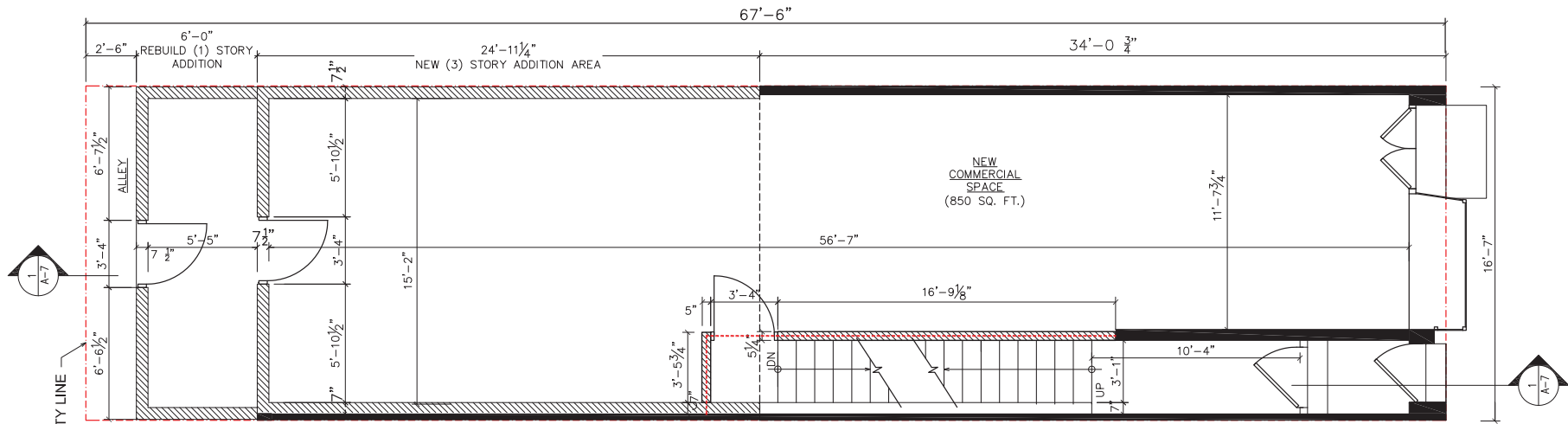
1 PHOTO LOOKING TOP SOUTH
A10 N.T.S.



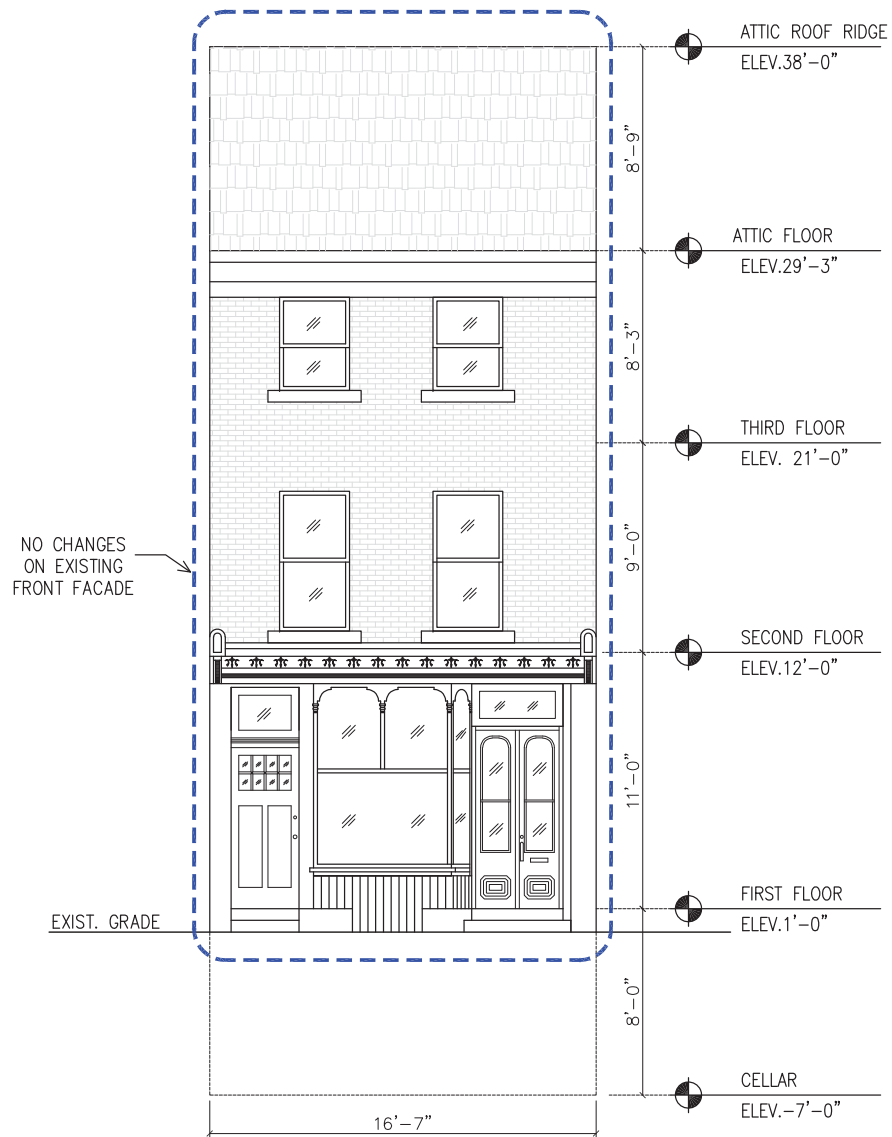
1 SITE PLAN
A1 SCALE: 3/16"=1'-0"



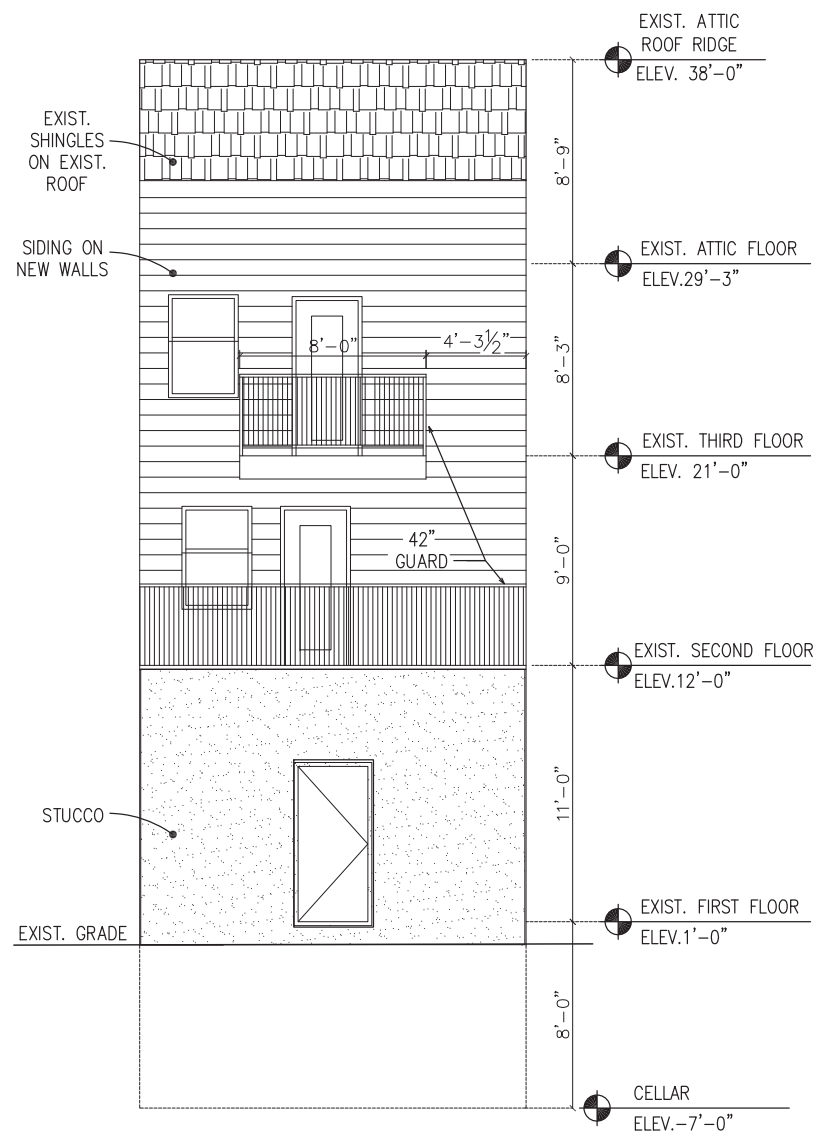




city design standards: 20th st 11x17 sidewalk, 20th st 20th st 15th-4th 3 story 11x17 sidewalk



1	EXISTING FRONT ELEVATION
A5	3/16"=1'-0"

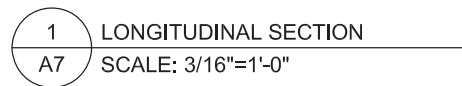


2 PROPOSED REAR ELEVATION
A5 3/16"=1'-0"





260 S. 20th St.
Philadelphia, P.A.

BUILDING
SECTION

A7

EXIST. ROOF RIDGE
ELEV. 38'-0"

EXIST. ATTIC
ELEV. 29'-3"

EXIST. 3RD FLOOR
ELEV. 21'-0"

EXIST. 2ND FLOOR
ELEV. 12'-0"

EXIST. 1ST FLOOR
ELEV. 1'-0"

GRADE
ELEV. 0'-0"

EXIST. CELLAR
ELEV. -7'-0"

8'-9"

8'-3"

9'-0"

11'-0"

7'-0"

S 20TH ST

VACANT

VACANT

VACANT

VACANT

VACANT

REMAINING WALL
TO BE DEMOLISHED

REMAINING WALL
TO BE DEMOLISHED

DEMOLISHED
2ND FLOOR
BALCONY

DEMOLISHED
1ST FLOOR
1-STORY ADDITION

2'-6" ALLEY

REAR ALLEY

REMAINING
1-STORY ADDITION
TO BE DEMOLISHED



1 BUILDING SECTION- CURRENT CONDITION
A7.1 SCALE: 1/32" = 1'-0"

2 KEY PLAN
A7.1 SCALE: 1/32" = 1'-0"

SKY
SKY DESIGN STUDIO

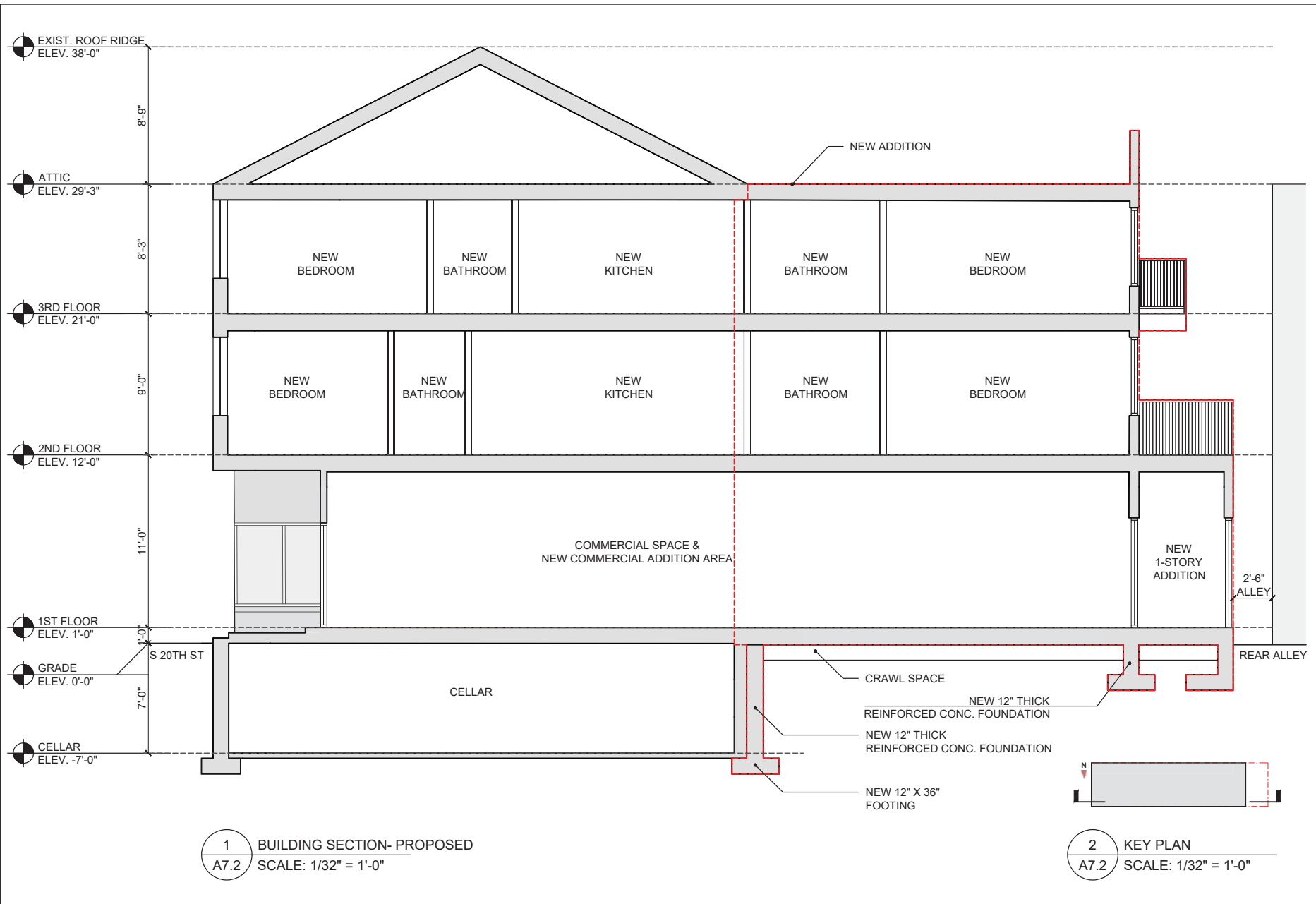
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F 215 827 5370
1823 SPRING GARDEN
PHILADELPHIA
PA 19130
SKY@SKY-DS.COM

PROJECT ADDRESS
260 S 20TH ST
PHILADELPHIA
PA 19103

HISTORICAL COMMITTEE
SUBMISSION

DRAWING TITLE
BUILDING SECTION
CURRENT CONDITION
DRAWING NUMBER

A7.1



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260 S 20TH ST
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PA 19103

HISTORICAL COMMITTEE
SUBMISSION

DRAWING TITLE
BUILDING SECTION
PROPOSED
DRAWING NUMBER

A7.2



PROJECT ADDRESS

(3) STORY ADDITION
280 S. 20TH STREET
PHILADELPHIA, PA

OWNER

SU BIN JIAN
BO MENG LIN
2524 S. HANCOCK ST
PHILADELPHIA, PA 19148

CONSULTANT

STRUCTURAL ENGINEER
JEM ENGINEERING LLC
815 RT 54
WILLIAMSTOWN, NJ 08094
856-264-2851
MIKECNOTA@GMAIL.COM

SUBMISSION

BUILDING PERMIT
04/05/19

GENERAL NOTE

GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR A CORRECT CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

SEAL

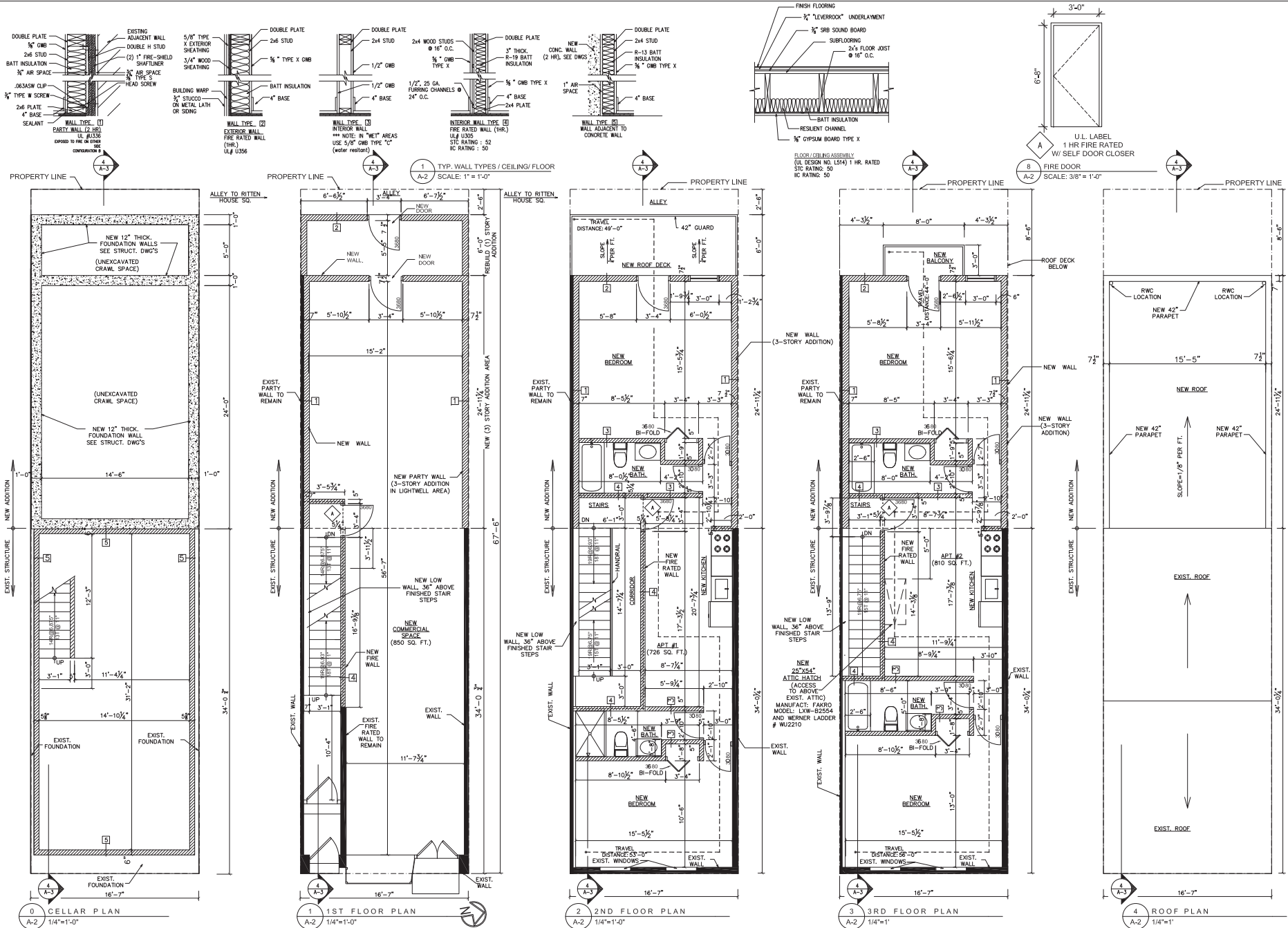


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NEW WORK
FLOOR PLANS

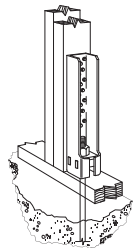
DRAWING NUMBER

A-2

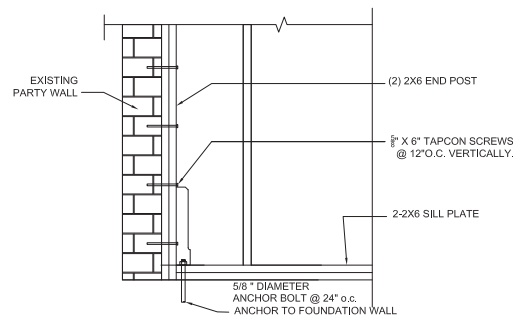


1 WALL BRACING DETAIL
S-2 SCALE: N.T.S.

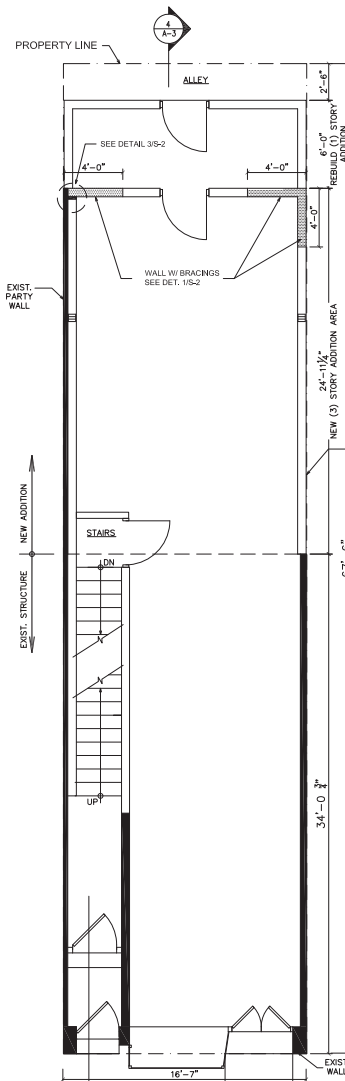
- ## WALL BRACING NOTES
- UNLESS OTHERWISE NOTED, THE FOLLOWING SHALL BE THE SPECIFIED METHODS FOR WALL BRACING.
1. STRUCTURE TO BE FULLY SHEATHED WITH PANELS OF 3/8" MIN. THICKNESS.
 2. CONTINUOUS WOOD STRUCTURE WITH PANEL SHEATHING SHALL BE IN ACCORDANCE WITH METHOD D 3 OF IRC SECTION 703.
 3. FOR BRACED WALL PANELS LESS THAN 24" IN WIDTH, ABW WALL PANELS.
 4. FASTENING METHOD SHALL BE USED PER IRC SECTION R602.10.6, REFER TO MANUFACTURERS SPECIFICATIONS WHEN INSTALLING ENGINEERED WALL PANELS.
 5. USE 6d COMMON NAILS 8" FROM EDGES AND 12" o.c. AT INTERIOR SUPPORTS TO FASTEN WOOD PANEL AND WALL SHEATHING TO FRAMING.
 6. FOR STUDS 16" o.c. OR LESS, 4" FROM EDGES AND 8" o.c. AT INTERIOR SUPPORTS. FOR OTHER STUDS, REFER TO IRC TABLE R602.10.4 FOR FASTENER SCHEDULES.



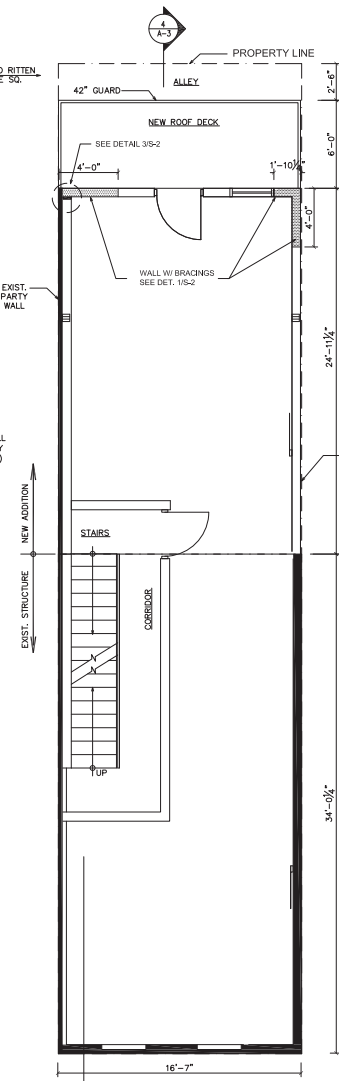
2 TYP. WALL BRACING INTALLATION
S-2 SCALE: N.T.S.



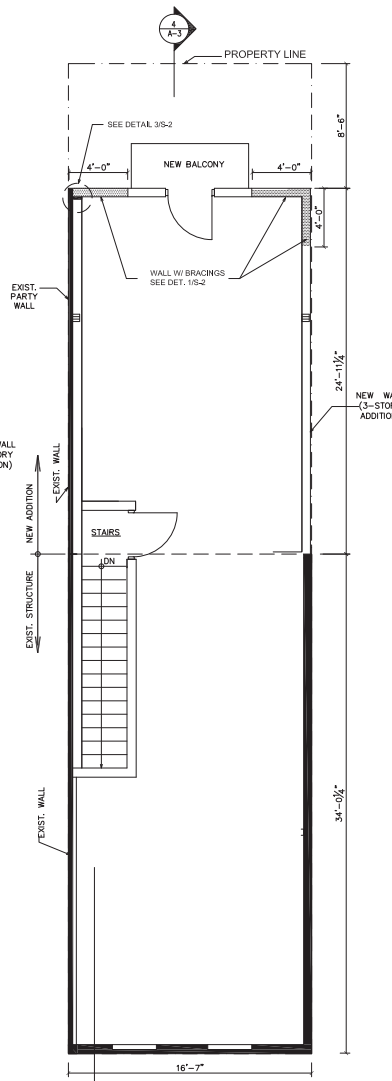
3 FRAME CONNECTION TO PARTY WALL DETAIL
S-2 SCALE: N.T.S.



4 BRACING 1ST FL. PLAN
S-2 1/4"=1'-0"



5 BRACING 2ND FL. PLAN
S-2 1/4"=1'-0"



6 BRACING 3RD FL. PLAN
S-2 1/4"=1"



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SKY@SKY-DS.COM

PROJECT ADDRESS

(3) STORY ADDITION

260 S. 20TH STREET
PHILADELPHIA, PA

OWNER

SU BIN JIAN
BO MENG LIN
2524 S. HANCOCK ST
Philadelphia, PA 19148

CONSULTANT

STRUCTURAL ENGINEER
JDM ENGINEERING LLC
815 RT 54
WILLIAMSTOWN, NJ 08094
856-264-3851
MIKECMOTA@GMAIL.COM

SUBMISSION

BUILDING PERMIT
04/05/19

GENERAL NOTE

GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING & VERIFYING ALL DIMENSIONS PRIOR TO & DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION. NO VERIFICATION OF CONTRACTOR IS RESPONSIBLE FOR NOTING THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND ANY GOVERNING BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT 10 DAYS PRIOR TO START OF CONSTRUCTION FOR ADDENDUMS OR RULES.

SEAL



DRAWING TITLE

STRUCTURAL FLOOR PLANS & DETAILS

DRAWING NUMBER

S-2